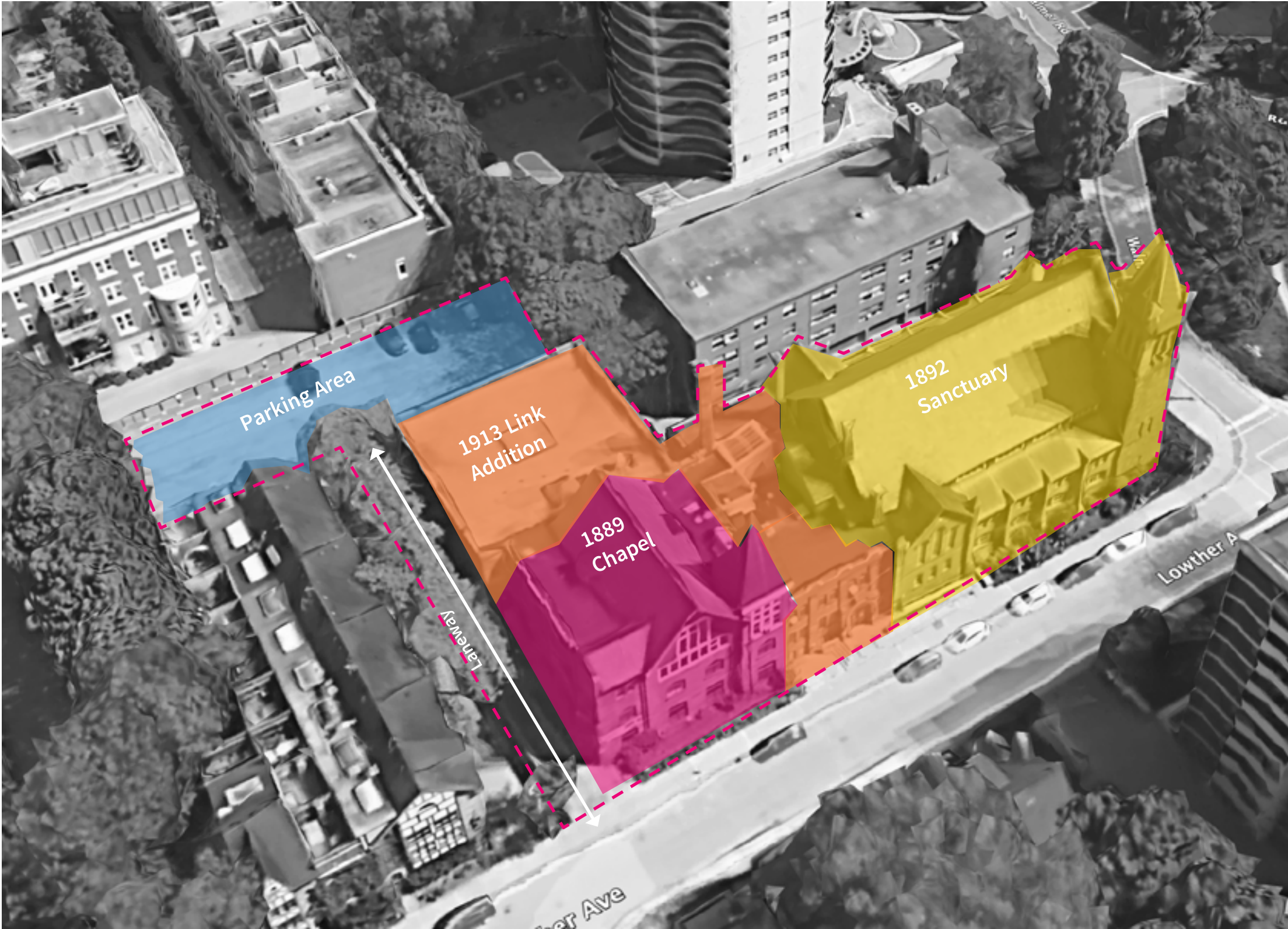


SITE EVOLUTION OVERVIEW



- 1892 Sanctuary Building, designed by Langley and Burke
- 1889 Chapel, designed by Langley and Burke
- 1913 Link Building Addition, designed by Burke, Horwood & White
- Parking Area

Phases of Development

1. 1889 Chapel - Langley & Burke

- First building was meant to be constructed at corner lot, but due to expropriation for a public park (later Gwendolyn MacEwan Park) and other issues, the Sunday School building was constructed on the neighbouring lot as a temporary place of worship, prior to construction of the Sanctuary building
- Modified Italianate Romanesque style, with influence from surrounding Annex residential form, expressed through bay & gable relationship, Queen Anne detailing at the third story, and tracery windows

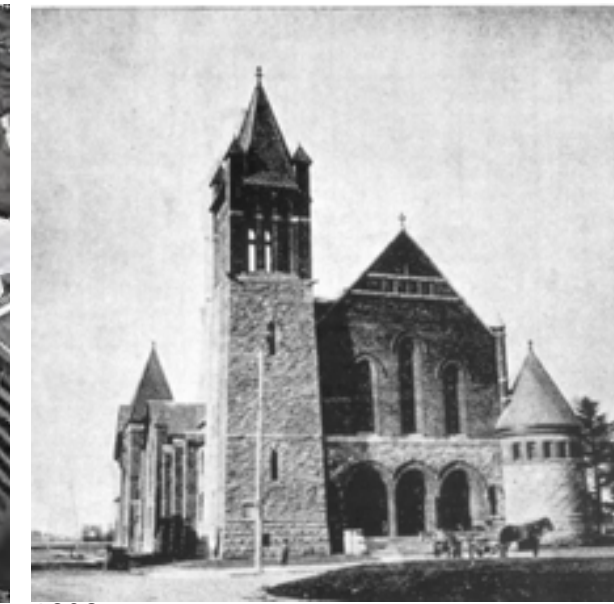


Note that the above drawing shows the Sunday School building in reverse

PHASES OF DEVELOPMENT

2. 1892 Sanctuary - Langley & Burke

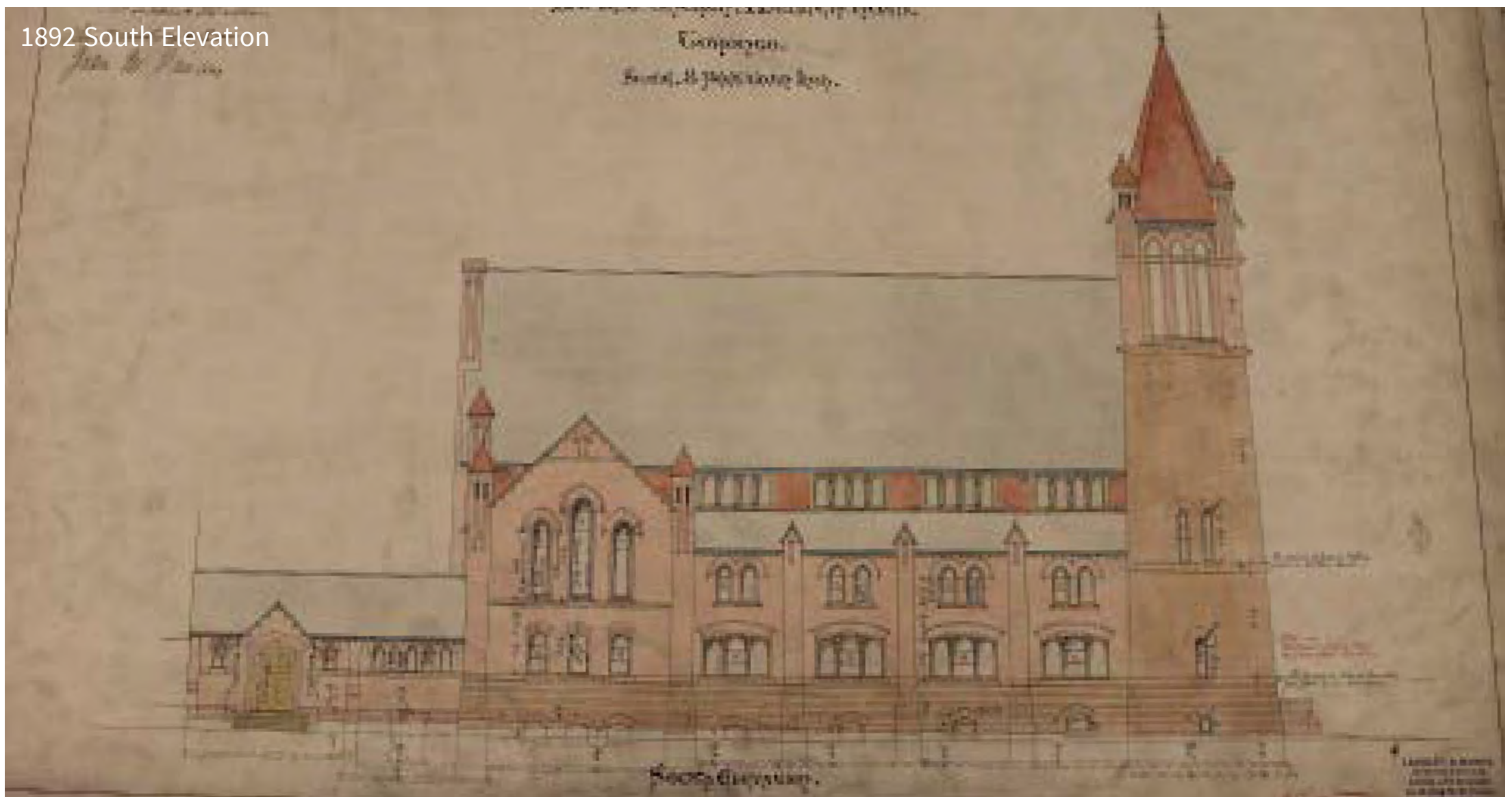
- Built in response to rapidly expanding congregation
- Owner of the site, Elmore Harris (then-pastor) influenced the egalitarian and community-based design of the Sanctuary
- Italianate Romanesque Style, expressed through round tower, asymmetrical massing, large arched windows, and pressed metal/wood trim



1892



2022



PHASES OF DEVELOPMENT

3. 1913 Chapel Conversion to Sunday School with Memorial Building Link - Burke, Horwood & White

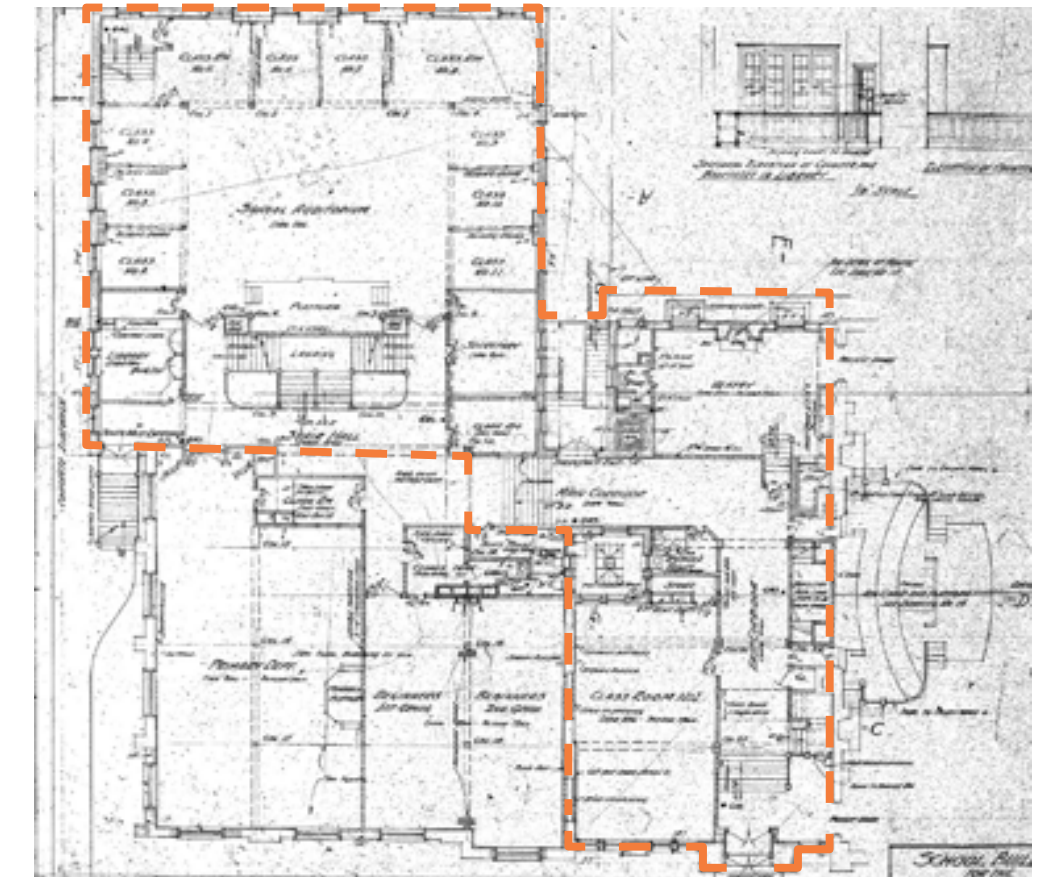
- Major exterior and interior renovations to convert 1889 Chapel to Sunday School
- 1913 Memorial Building Link built as an infill addition
- Memorial Building Link replaces previous porch and corridor; rear of Chapel removed and replaced with new construction
- Collegiate style, expressed through repetitive fenestration pattern, repeating buttresses, square windows at the first storey, curved windows at the second storey, and a feature entrance arch with stone coping
- Memorial Building Link designed as a transition between the 1889 Chapel and 1892 Sanctuary buildings

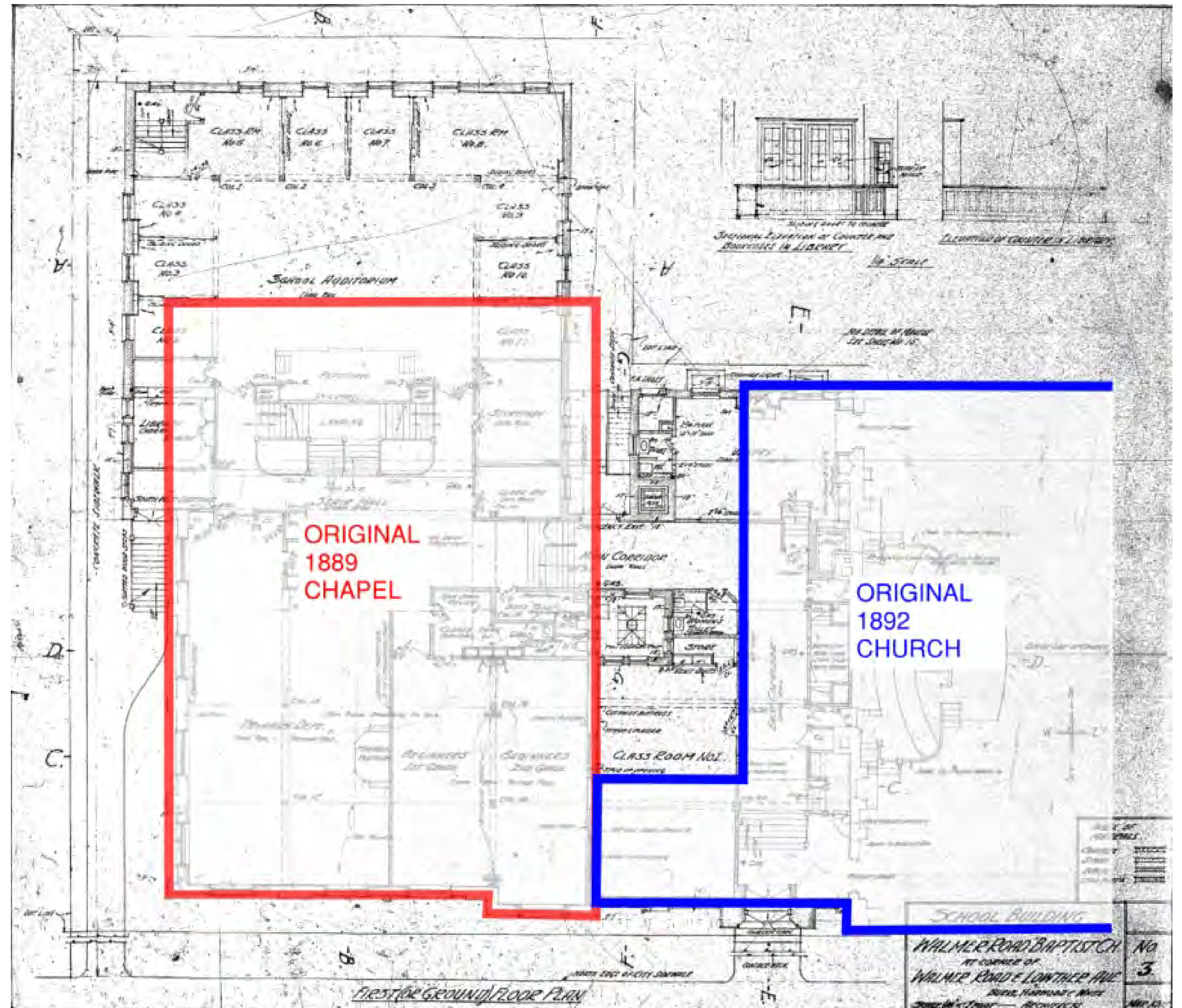
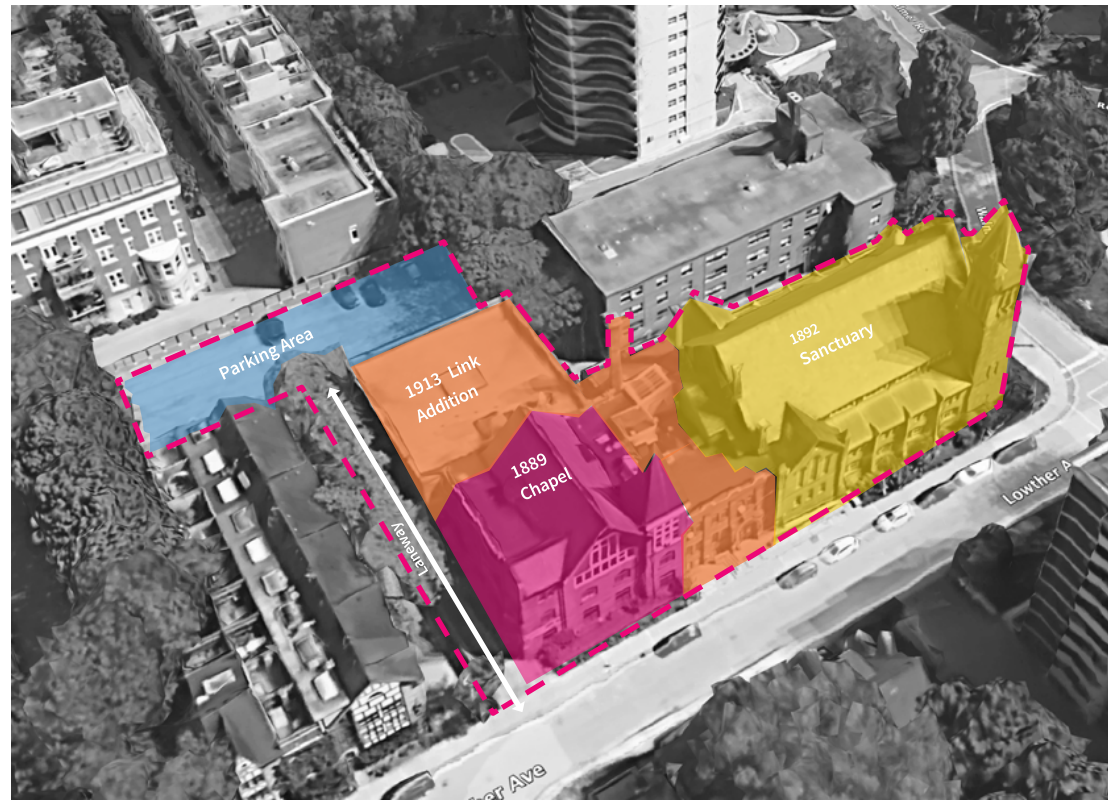


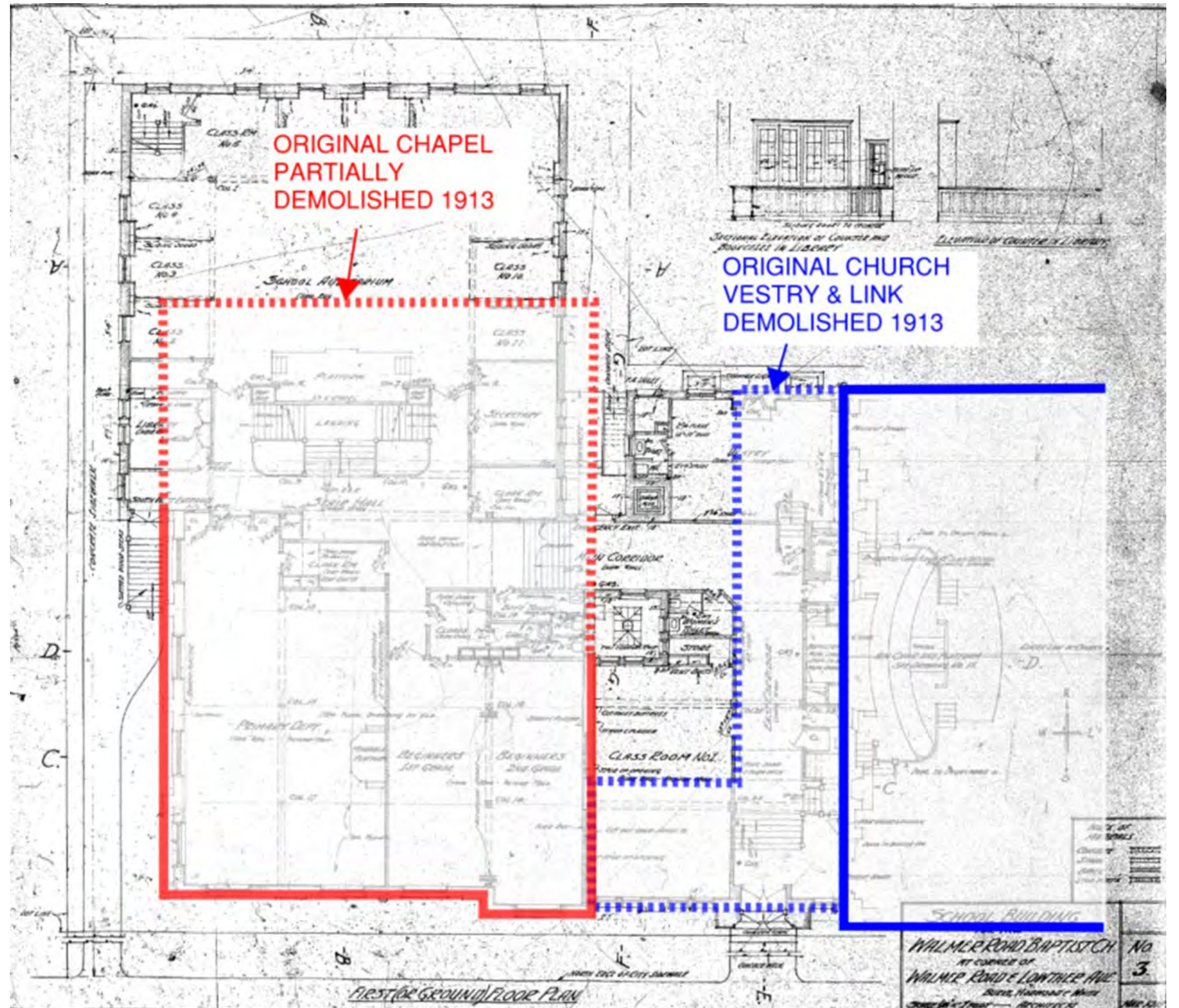
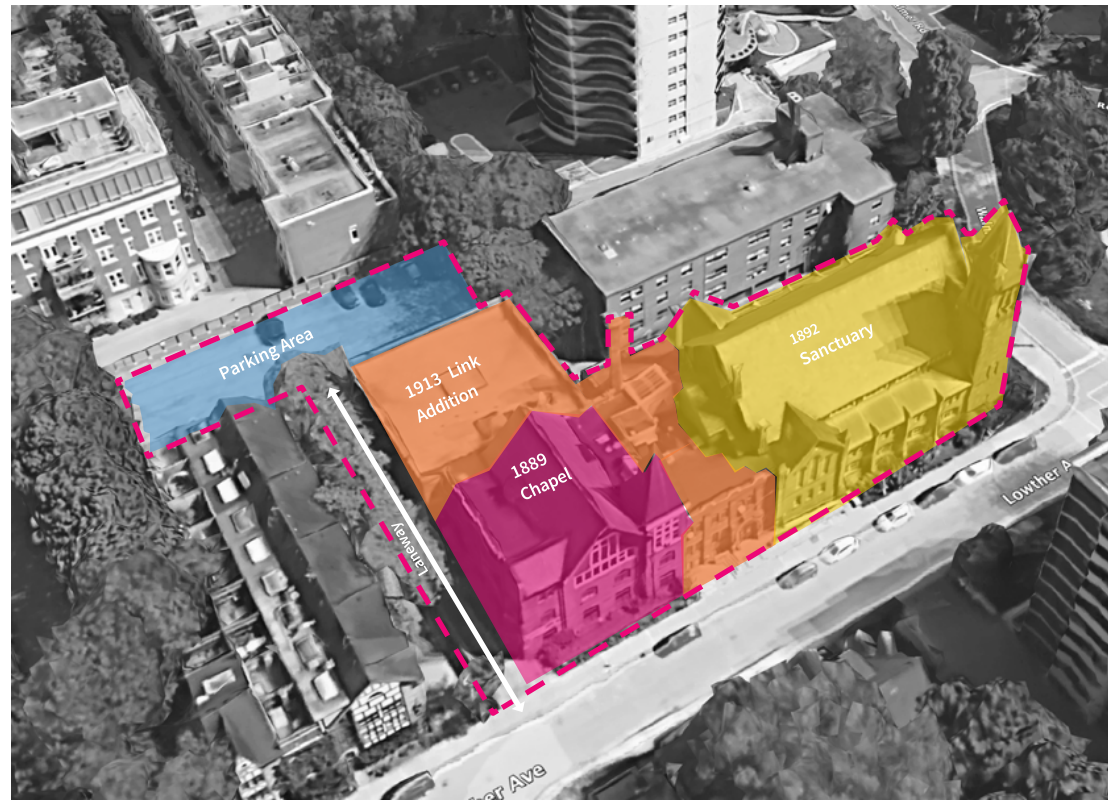
1913 South Elevation

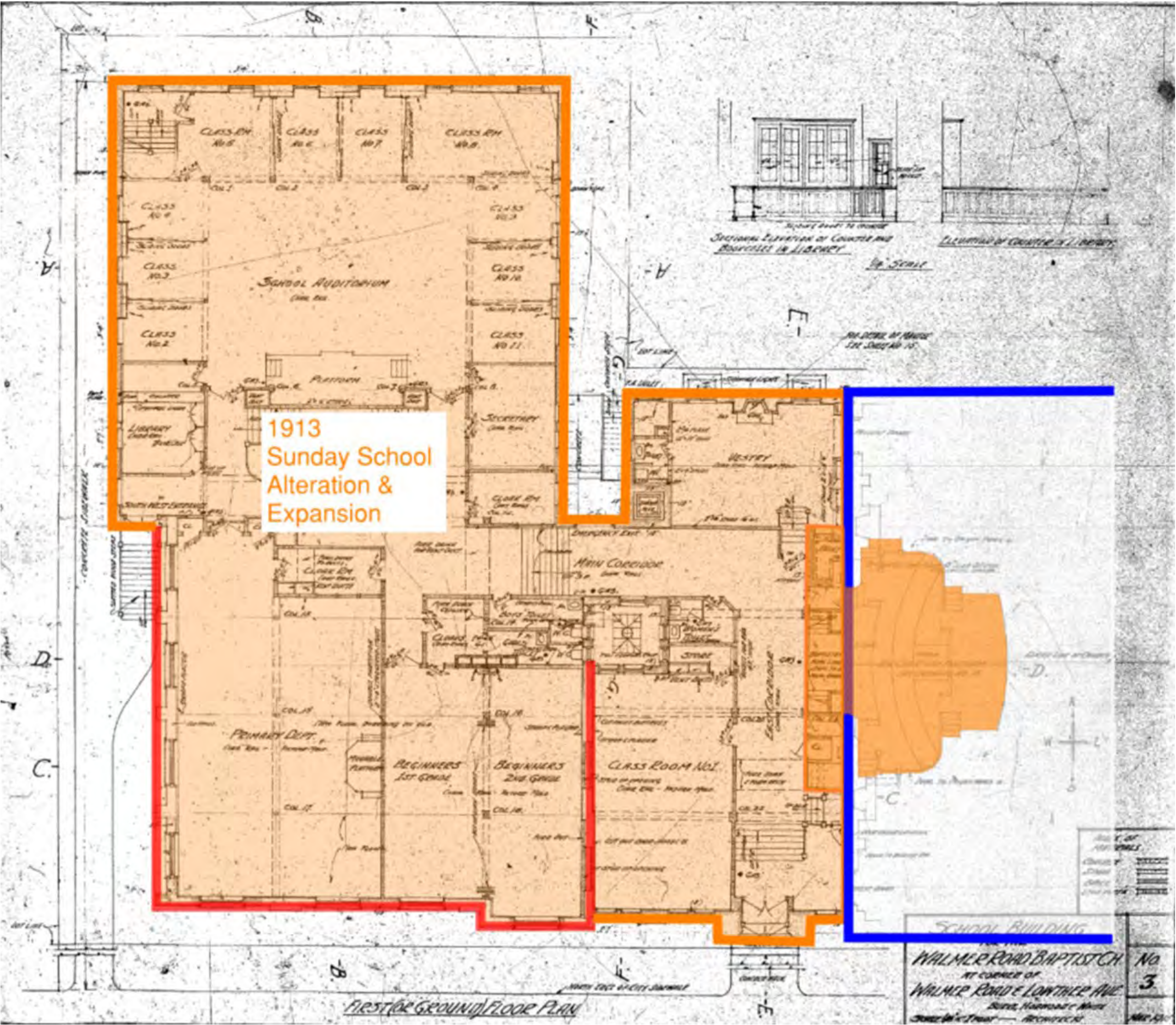


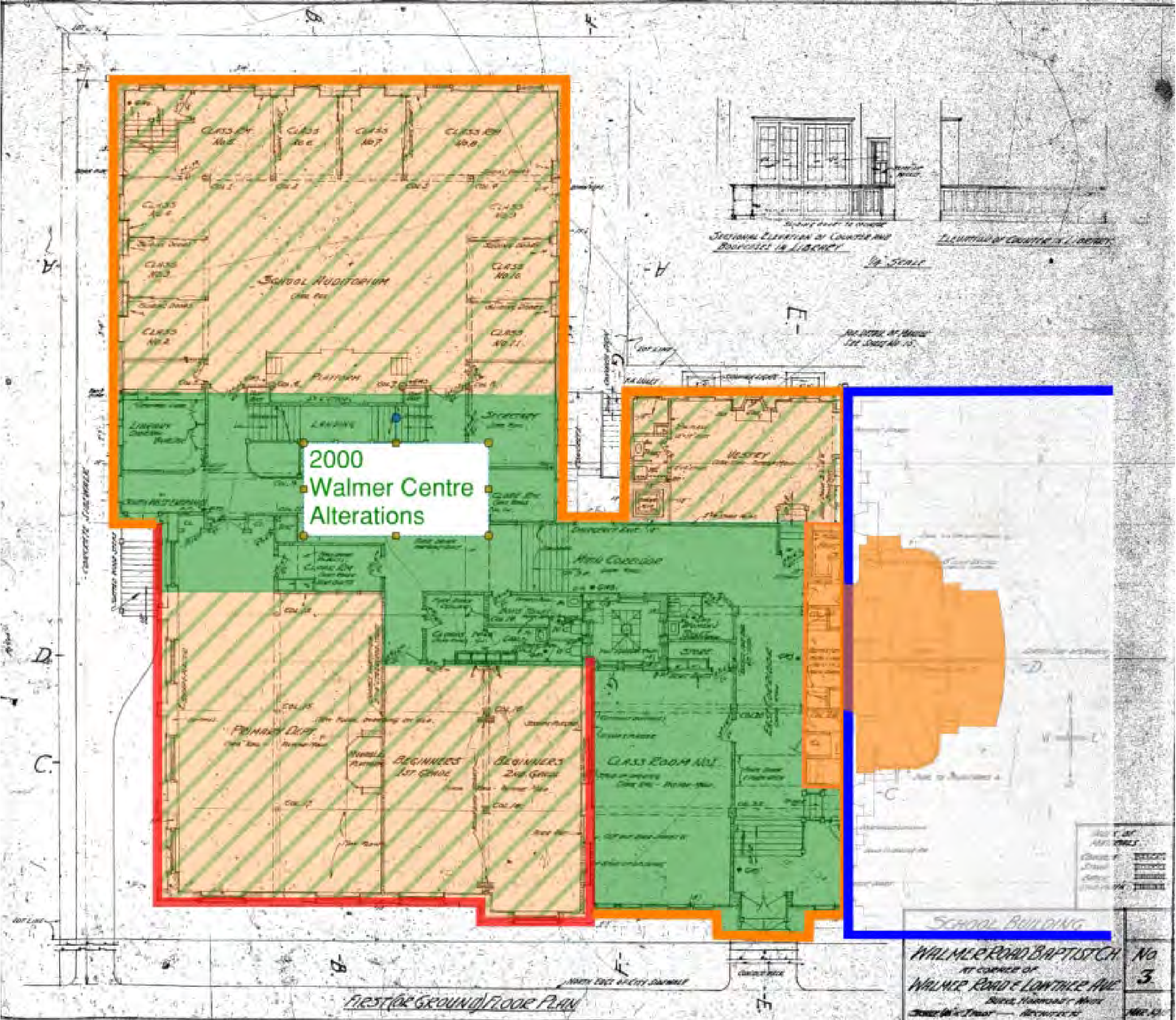
1913 Ground Floor Plan





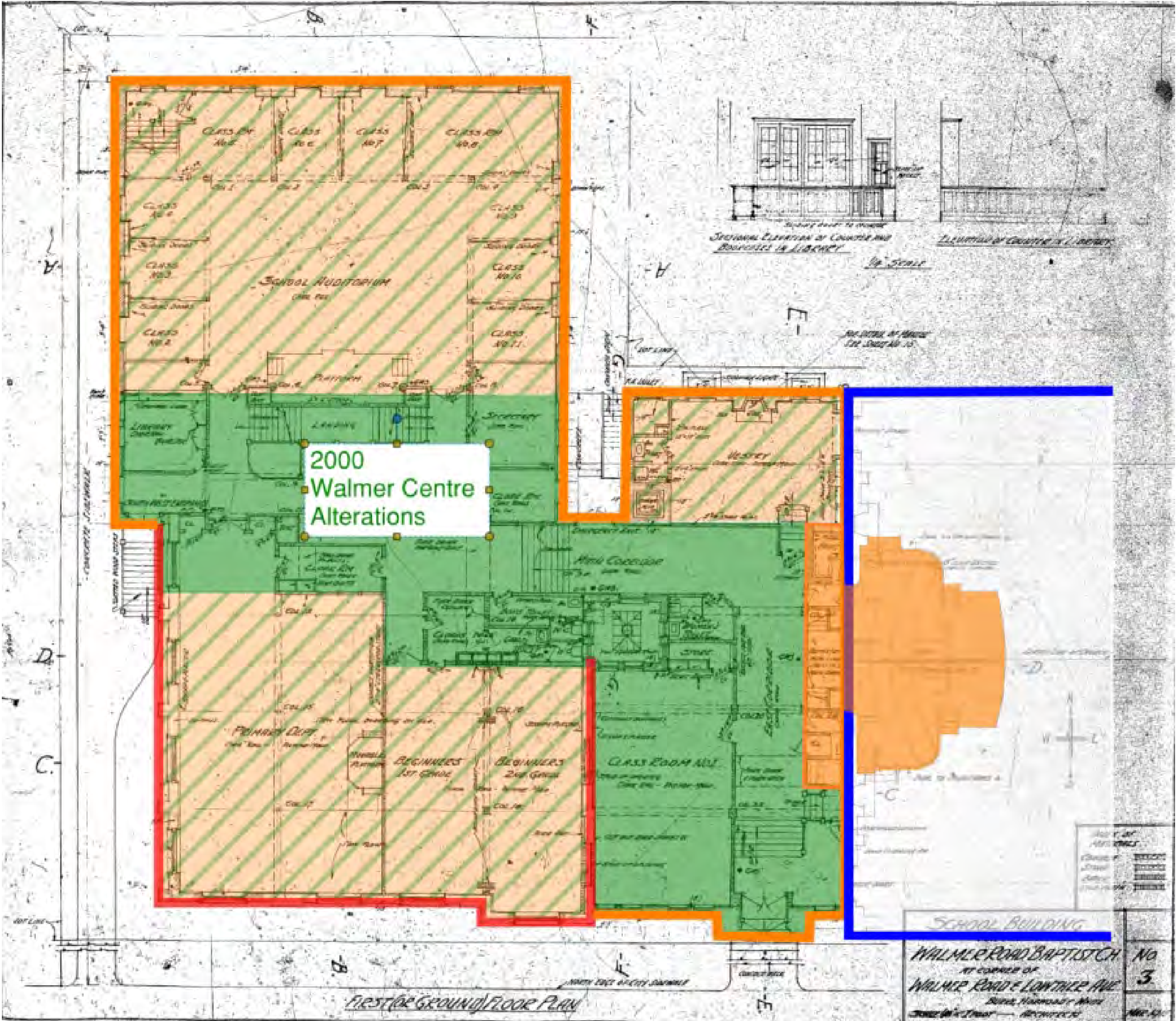


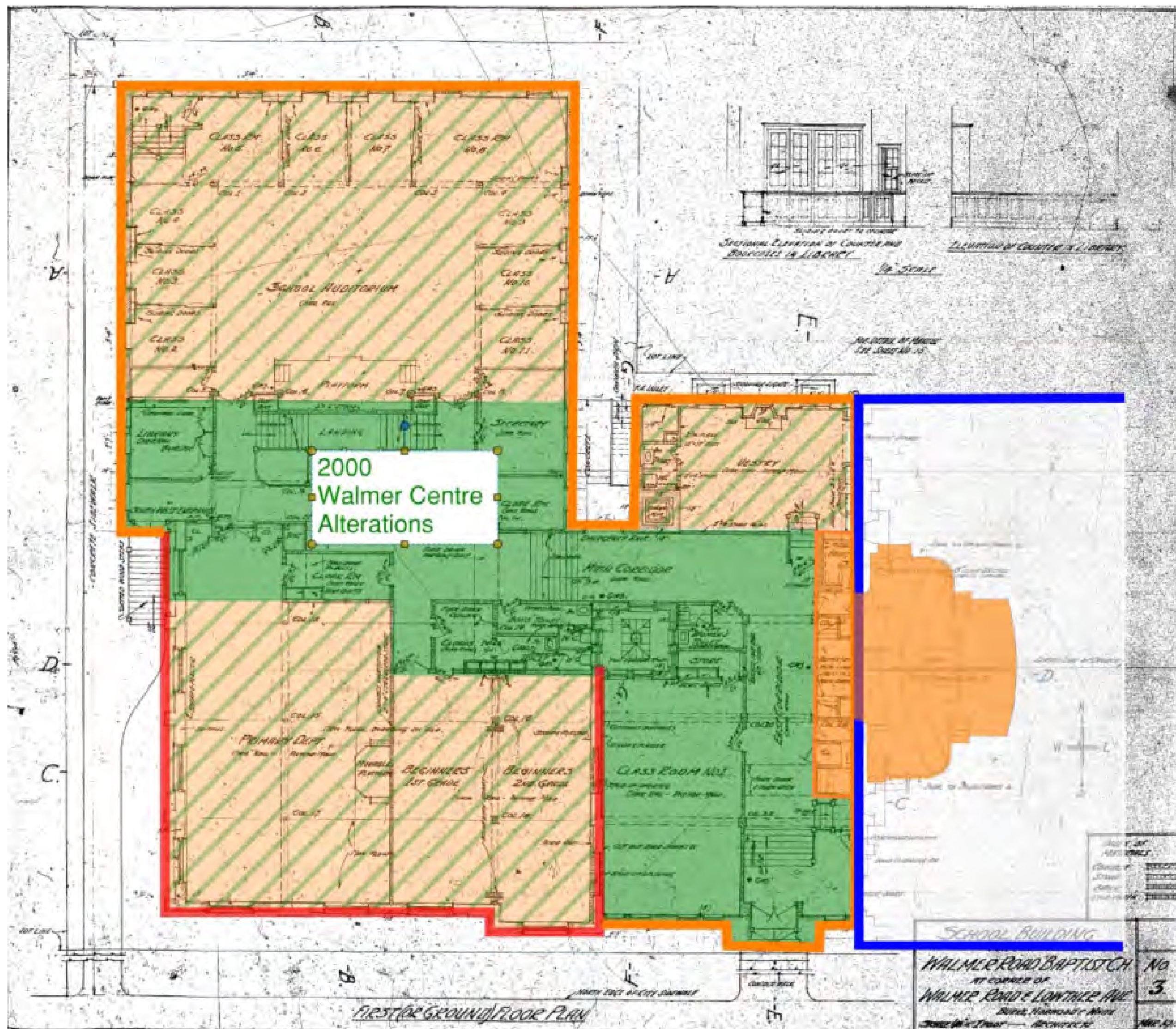
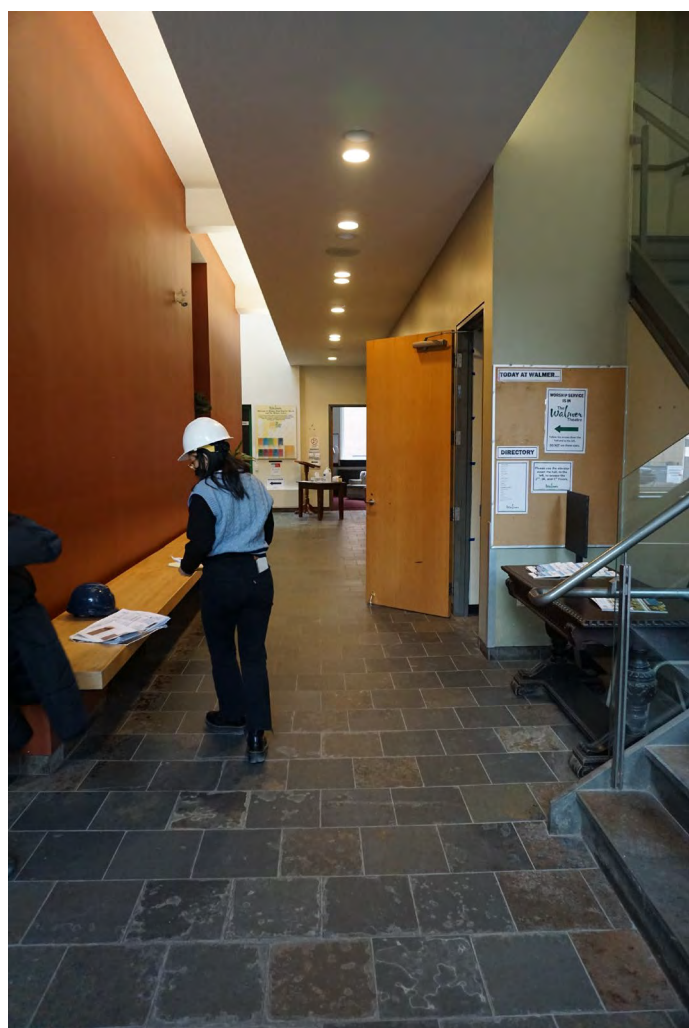




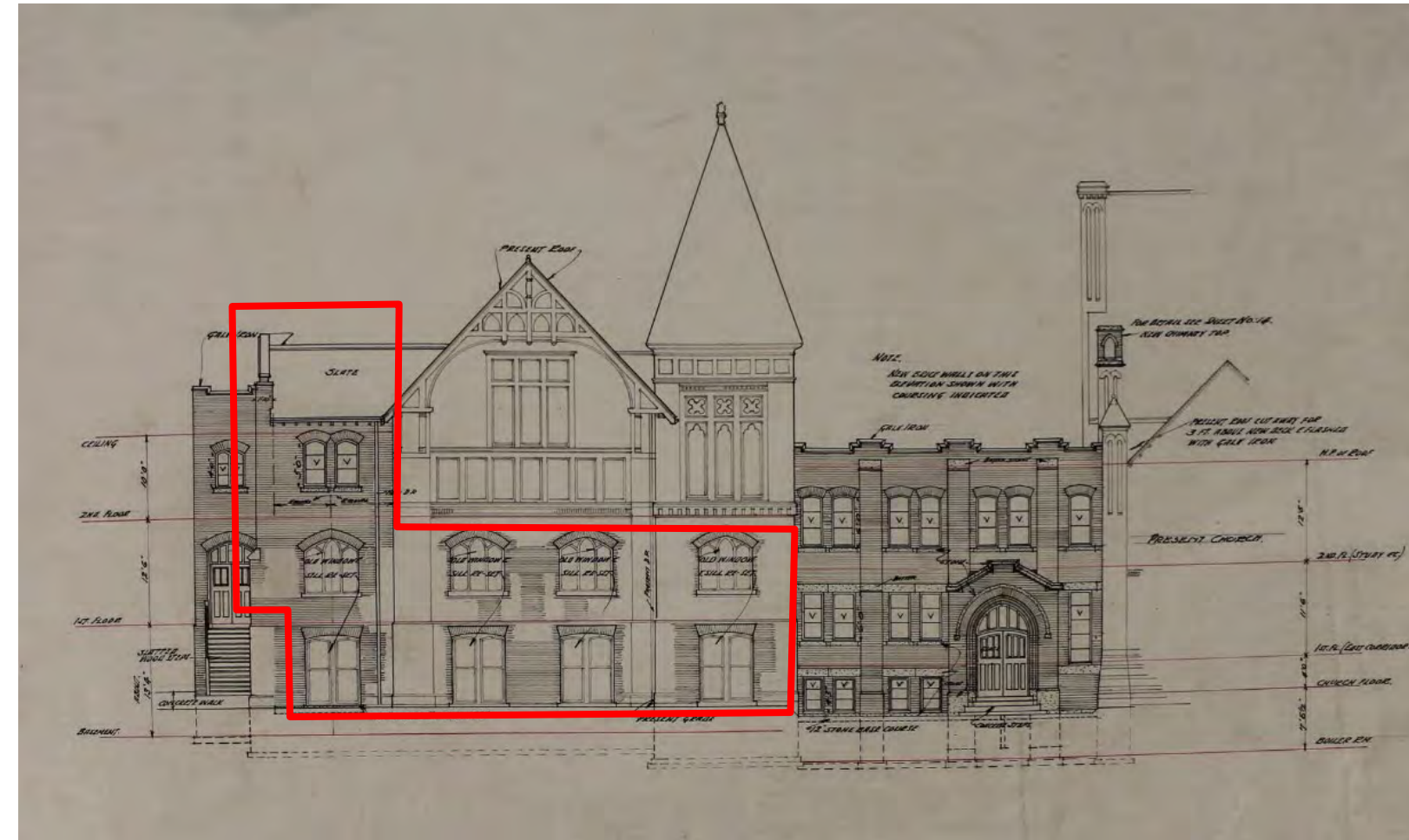


38 WALMER ROAD | Without Prejudice

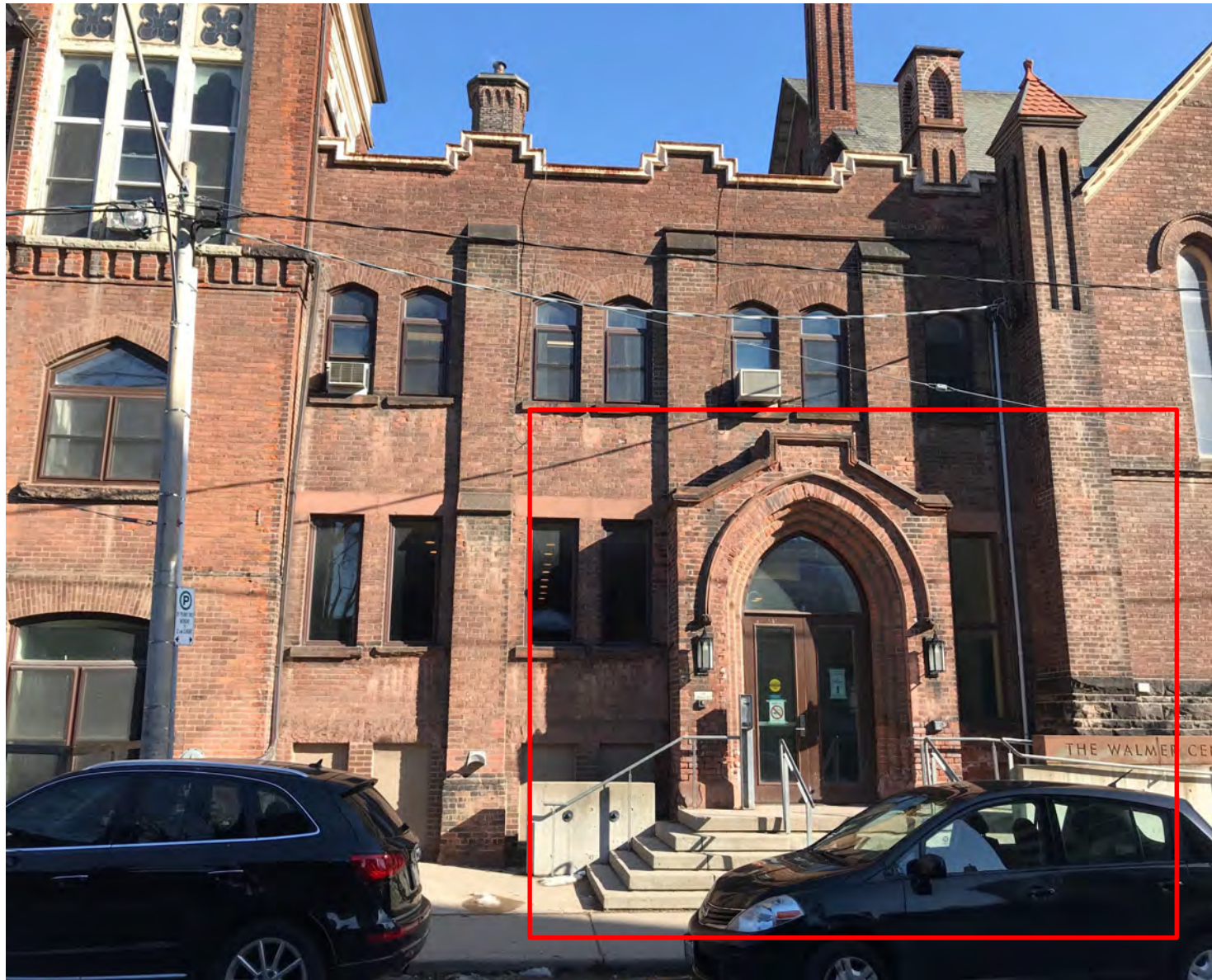




EXTERIOR ALTERATIONS

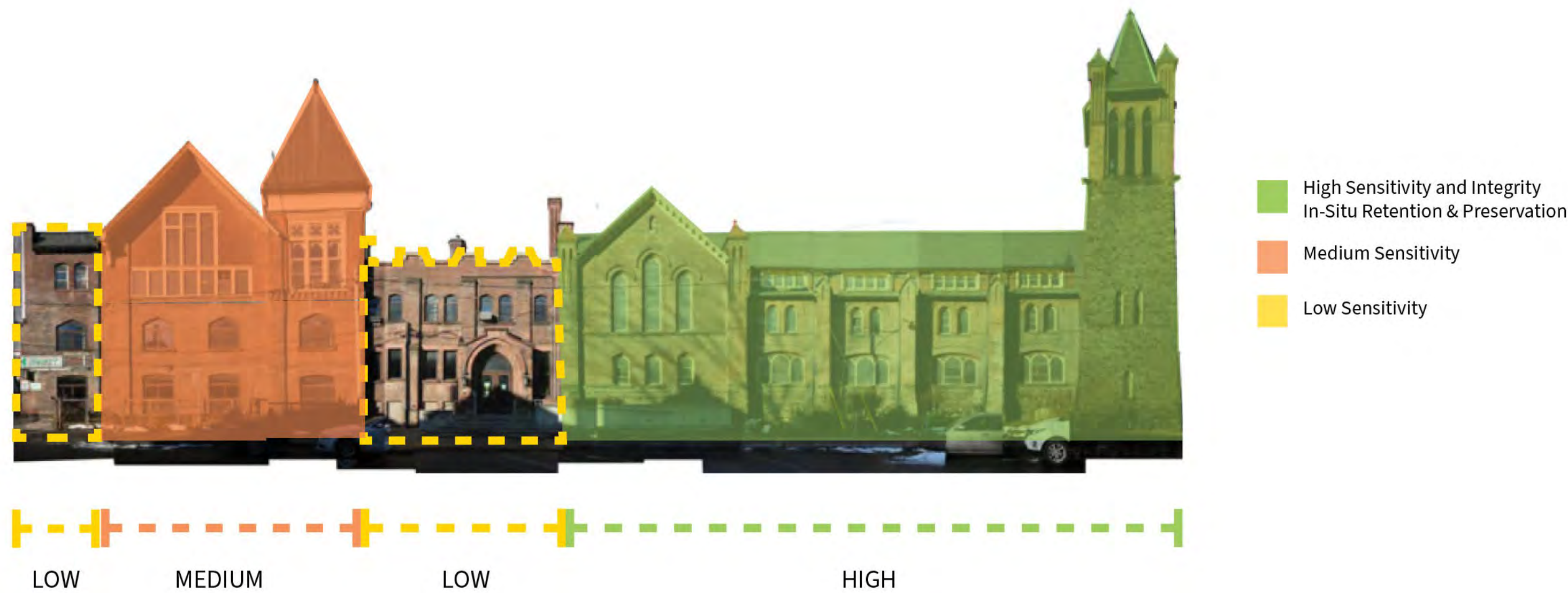


EXTERIOR ALTERATIONS



CONSERVATION PRIORITY

South Elevation





CONSERVATION PRIORITY

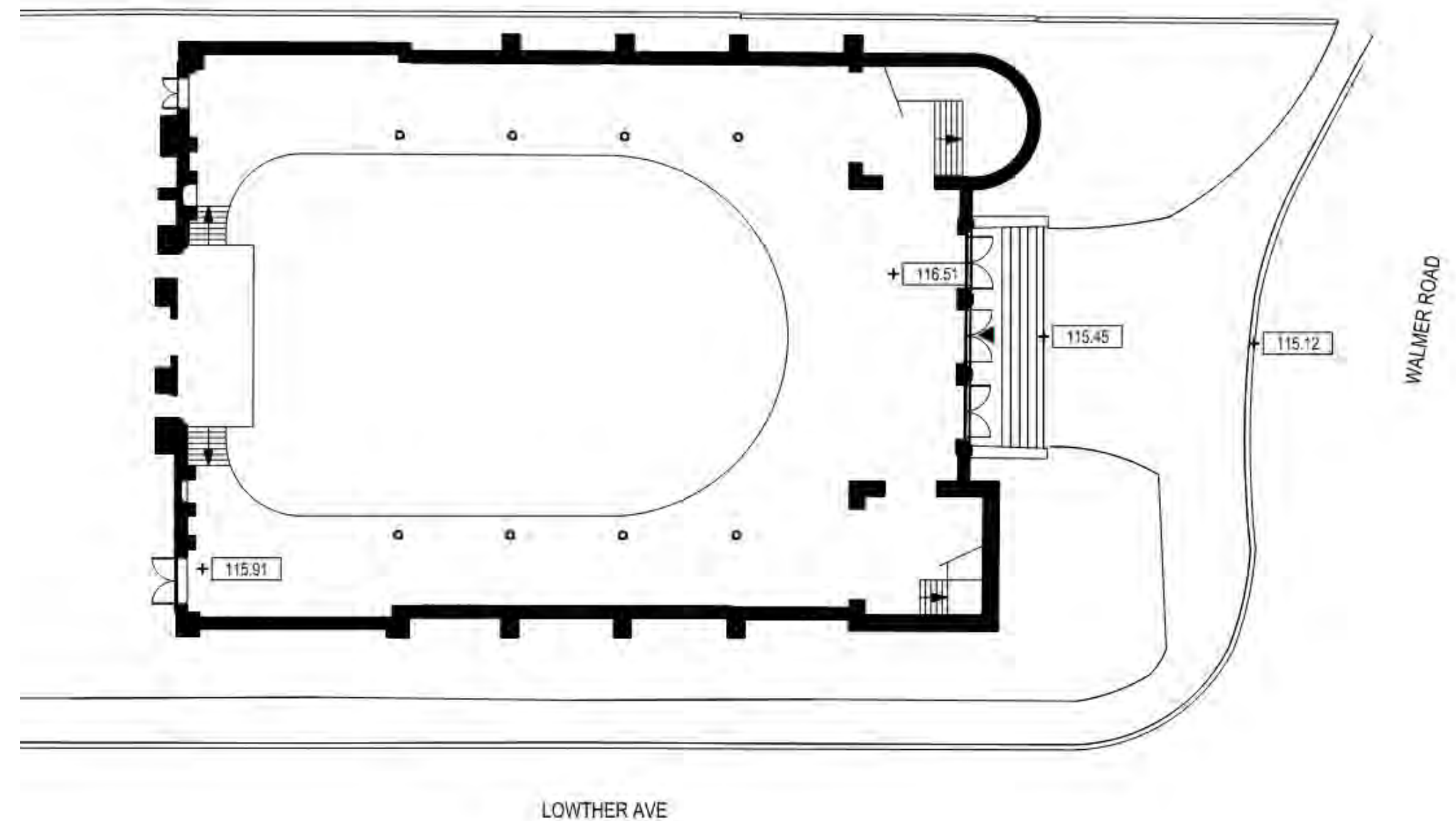
- Sanctuary has highest priority for conservation due to its design value and integrity
- Sunday School has medium priority for conservation as the original structure on site, but intended as temporary. Its architectural integrity has diminished by alterations over time.
- Memorial Building link has lowest priority, as an addition to the Sunday School and auxiliary to the Sanctuary. Its architectural integrity has diminished by alterations over time.

- 1892 Sanctuary Building, designed by Langley and Burke
- 1889 Sunday School Building, designed by Langley and Burke
- 1913 Link Building Addition, designed by Burke, Horwood & White

CONSERVATION STRATEGY

Sanctuary

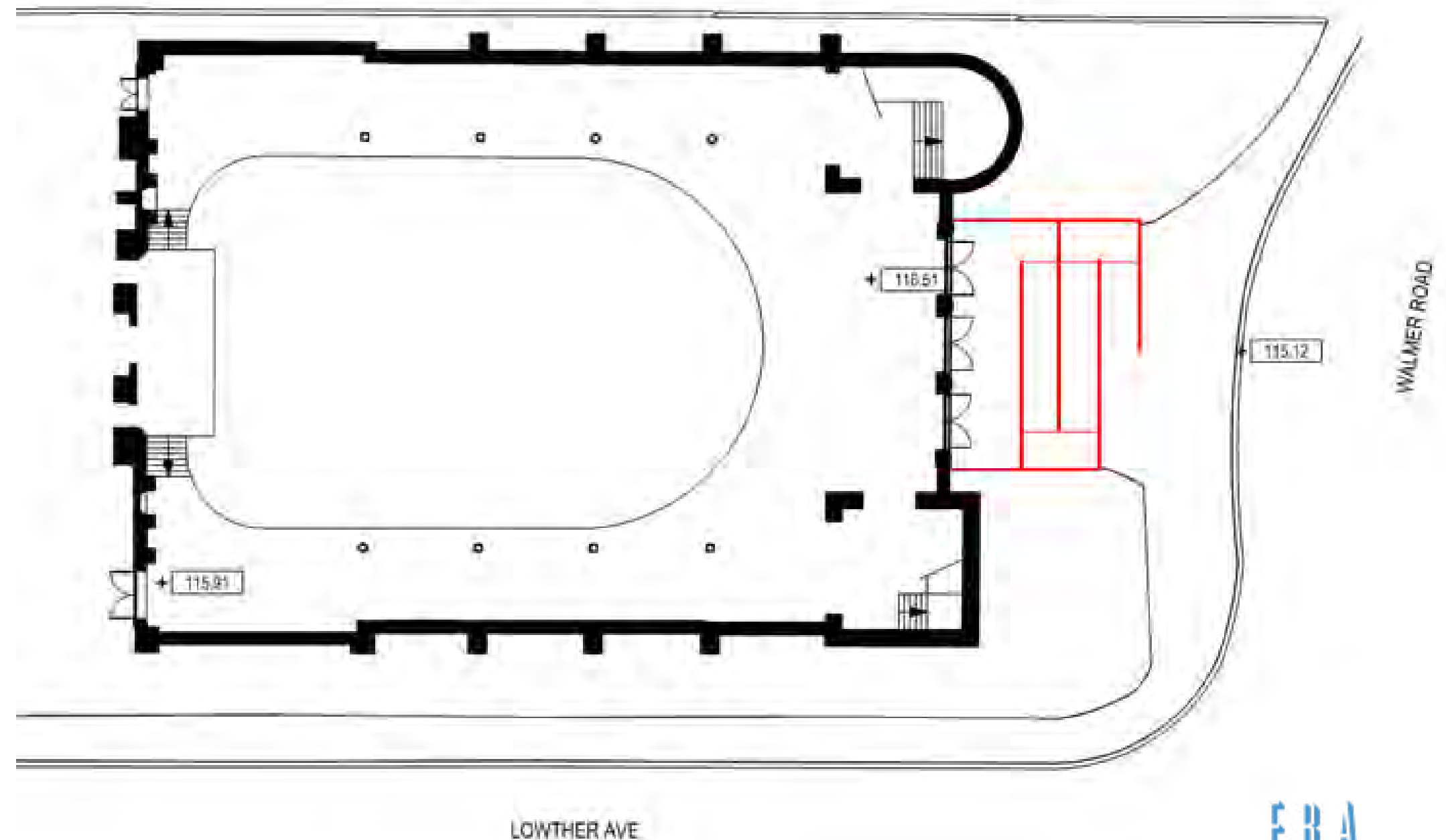
- Redevelopment to prioritize the reactivation and conservation of sanctuary as community landmark
- To provide equitable barrier-free access to the Sanctuary, we need to either drop the ground floor and doors to meet grade or provide a barrier-free ramp.



- Providing an OBC compliant barrier free ramp would require **16.7 meters** of ramping plus intermediate landings to transition from grade to the current door level to meet the minimum 1:12 slope.
- Providing a ramp that meets the recommended 1:15 slope, would require **20.8 meters** of ramping plus intermediate landings in front of the Church.
- Ramp guardrails would block visibility of doors and masonry detailing from street.
- Existing doors would need to be modified with new transom rail to house new barrier free hardware closer devices. Doors would become shorter.



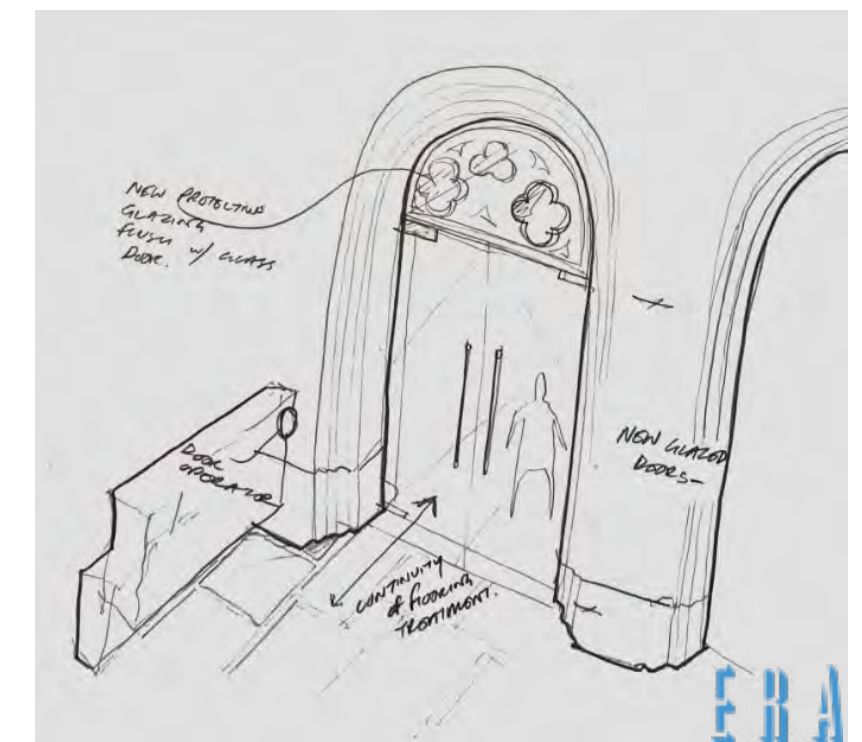
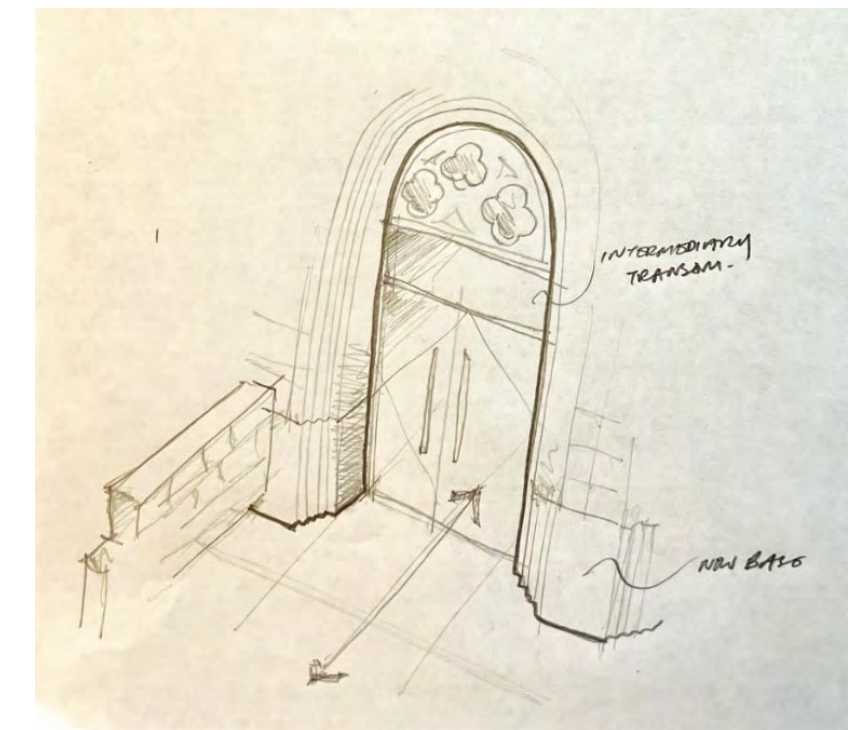
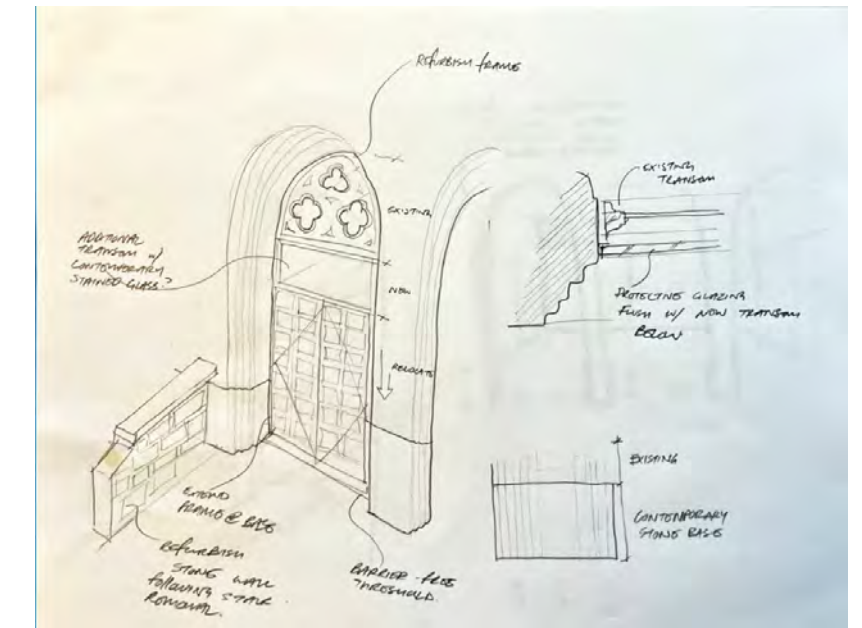
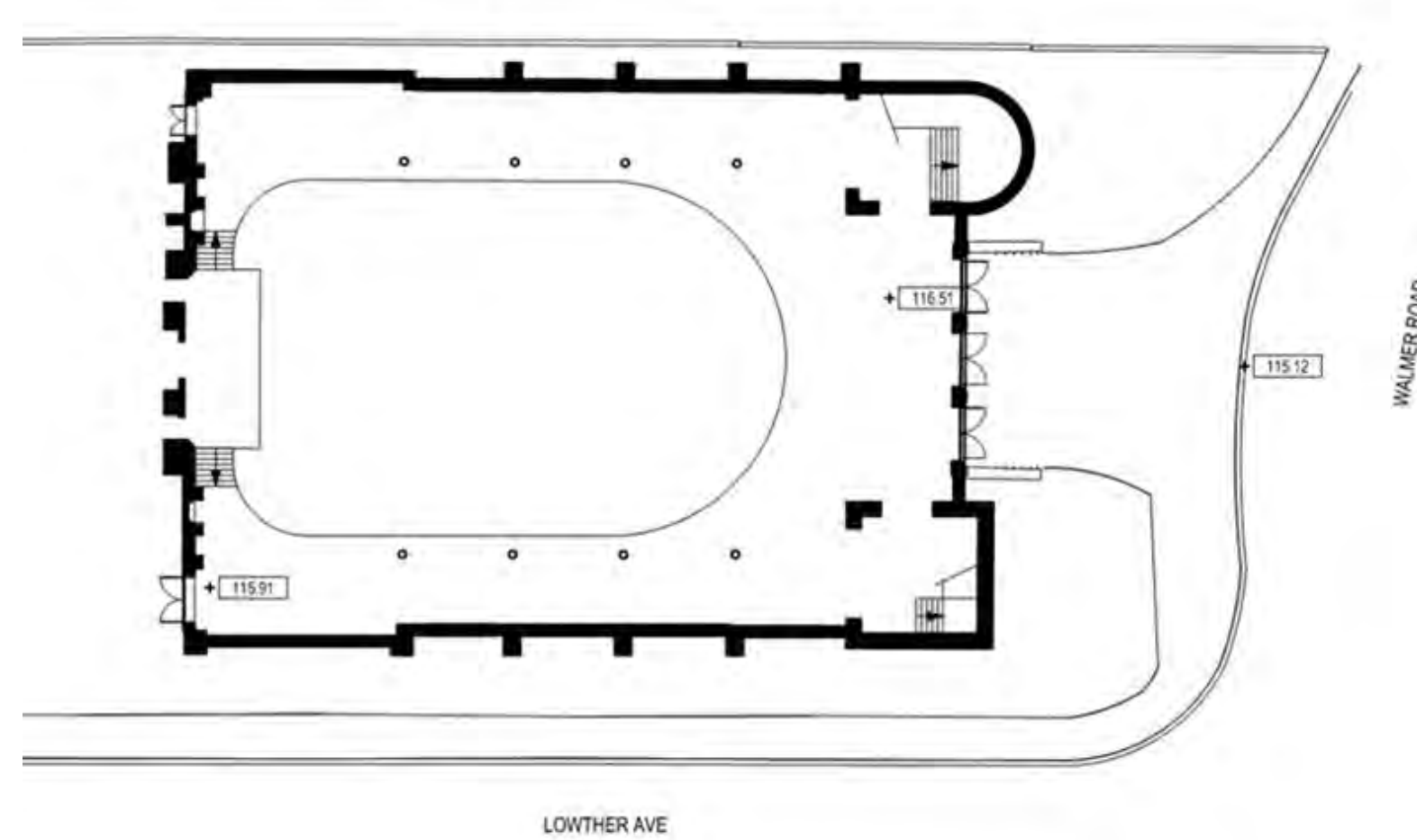
38 WALMER ROAD | Without Prejudice



- The front entrance doors have an unusual configuration with a double set of exterior doors
- The proposal will remove the inner doors as this configuration is not OBC compliant for exiting and presents a major challenge for accessibility in terms of door operation.



- Lowering the doors to meet grade will still retain the existing masonry arches and brick detailing.
- Removals of existing masonry is limited to the steps and the back up wall behind.
- New masonry infills will respond to the historic details in a distinct, contemporary manner that will preserve the original masonry proportions.
- The wood and stained-glass transom windows will be maintained
- Options for the treatment of the doors will be explored.

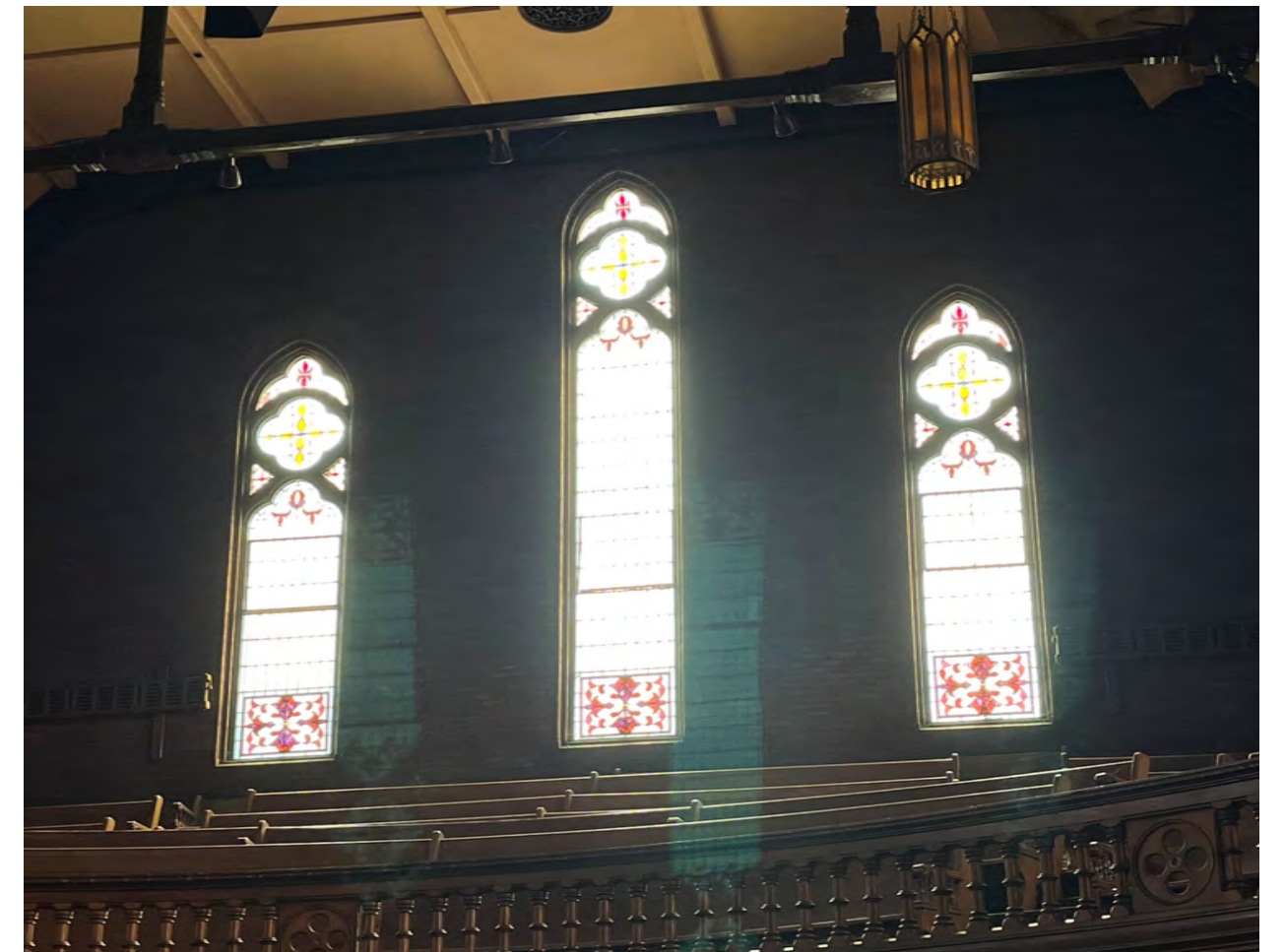






- Current scheme proposes new window openings on South elevation only.

- All existing windows on ground floor, second floor and clerestory level of Sanctuary will be retained and conserved
- The addition of new storm windows or secondary glazing will be considered to improve thermal performance of the existing windows
- Crawl space level windows on north and south elevations of Sanctuary will be infilled and lightwells removed.



- Current scheme proposes to retain the existing attic and ceiling configuration



120.40
PROPOSED SANCTUARY SECOND FLOOR

115.35
PROPOSED SANCTUARY GROUND LEVEL

NEW WINDOWS

NEW BENCHES
INTEGRATED INTO
BASE OF FIREPLACES

DOOR TO LOBBY
VESTIBULE

NEW INFILL BASE

FLOOR LEVEL LOWERED
TO PROVIDE COMPLETE
BARRIER-FREE ACCESS

NEW ACCESS
DOOR TO
ELEVATOR
CORRIDOR

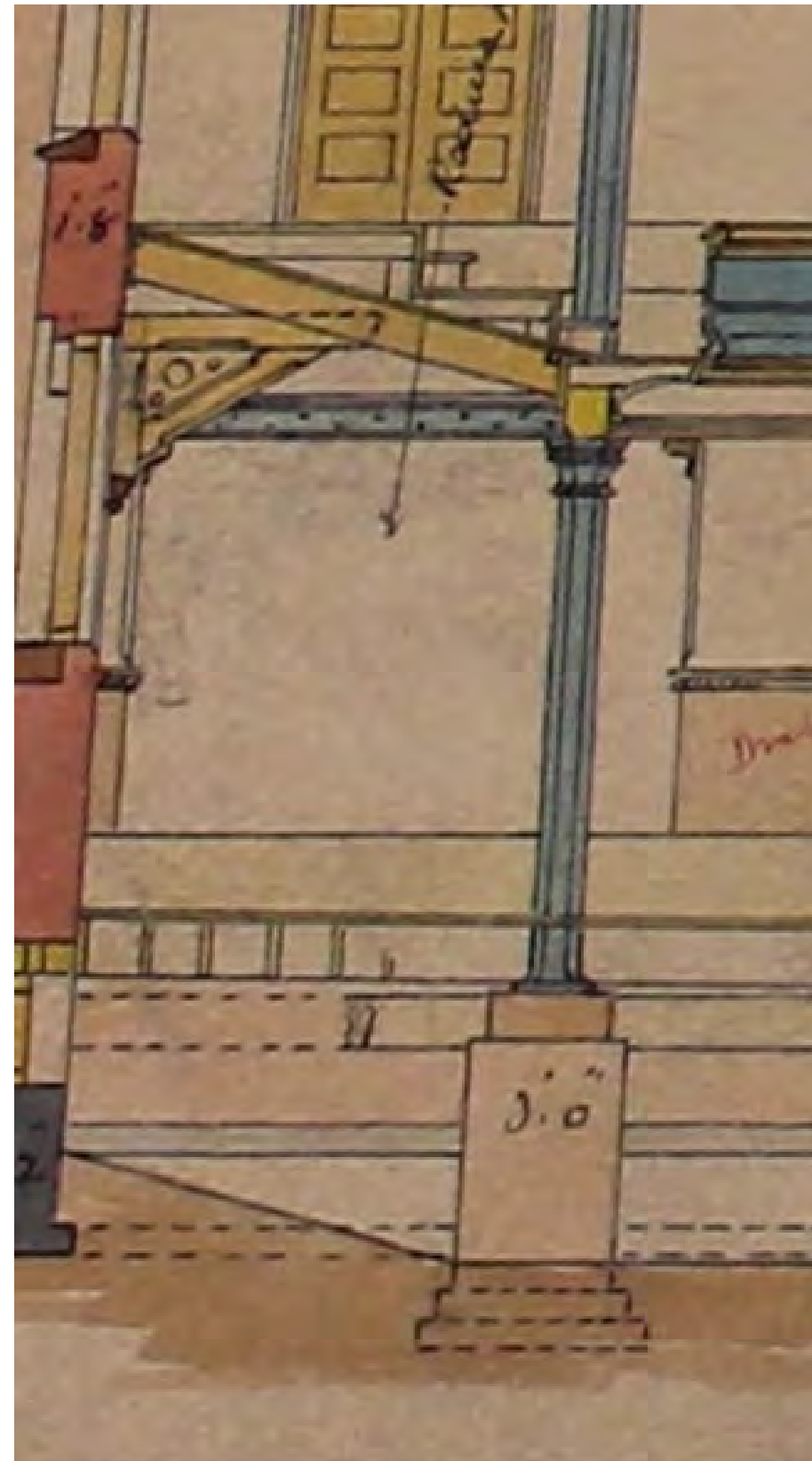
NEW FEATURE
STAIR

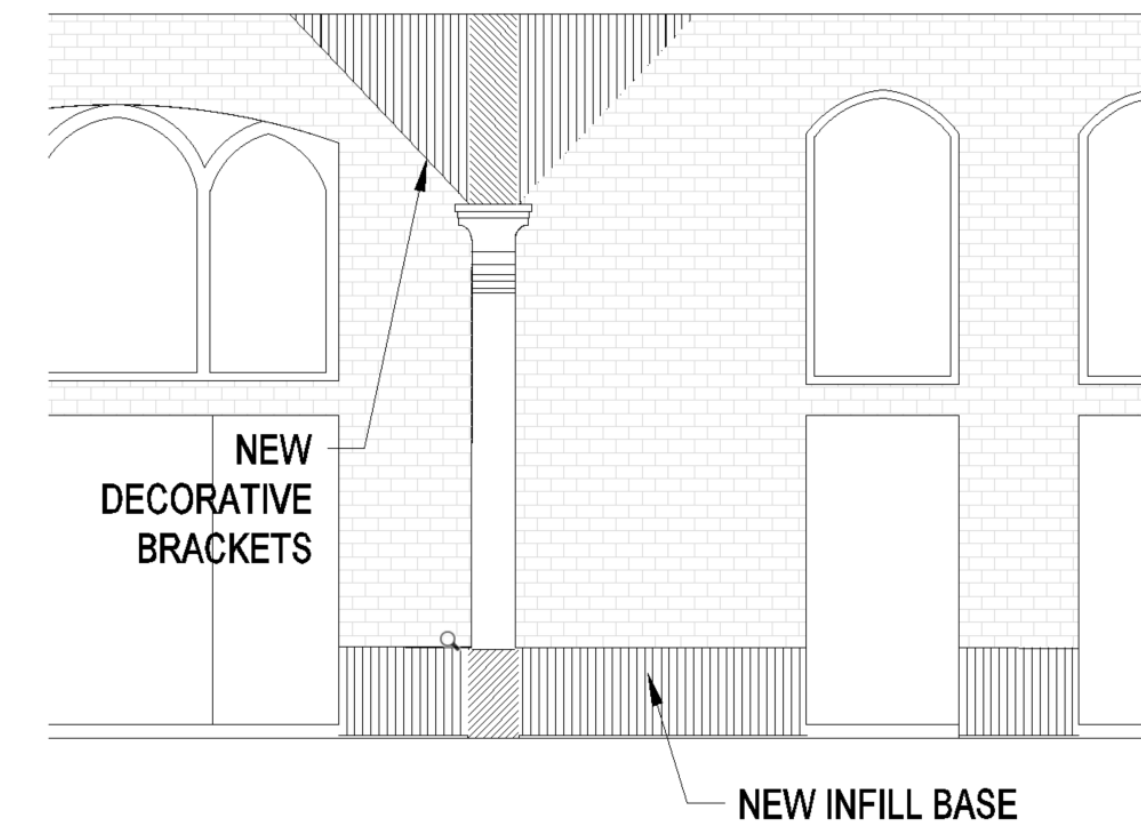
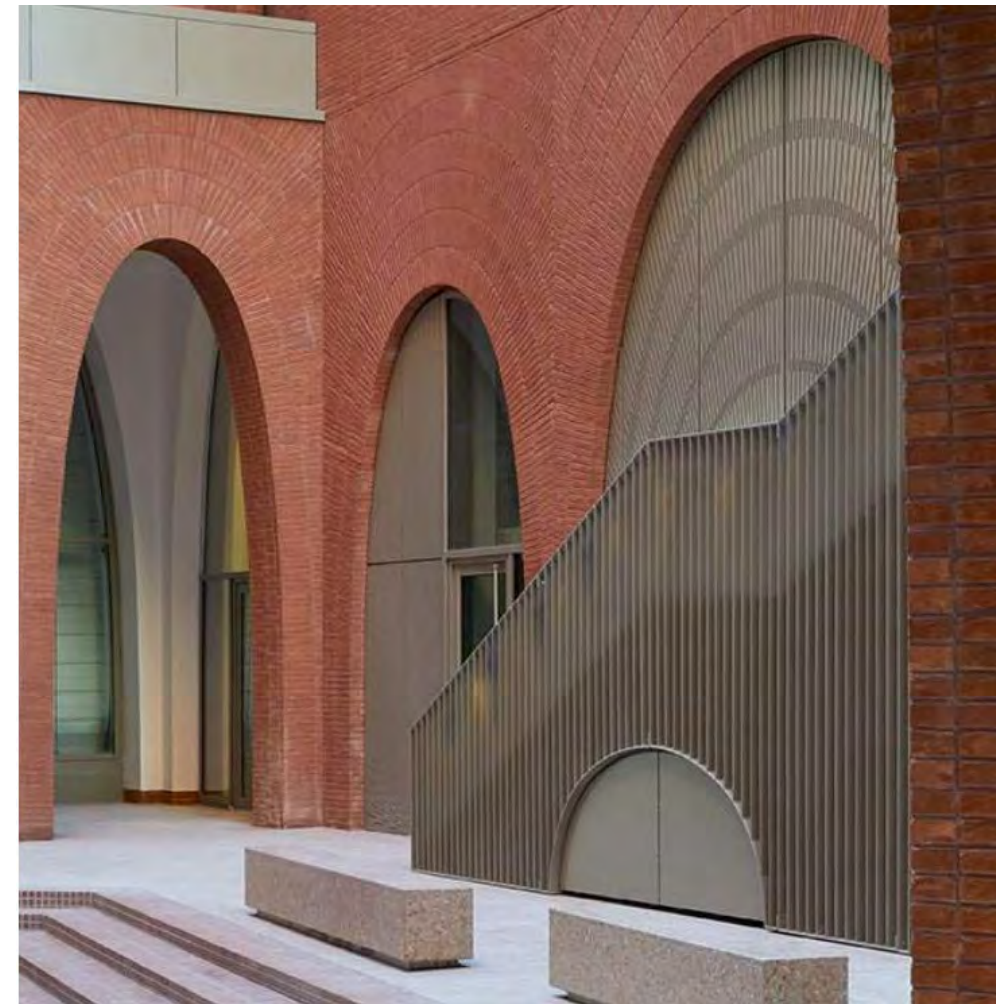
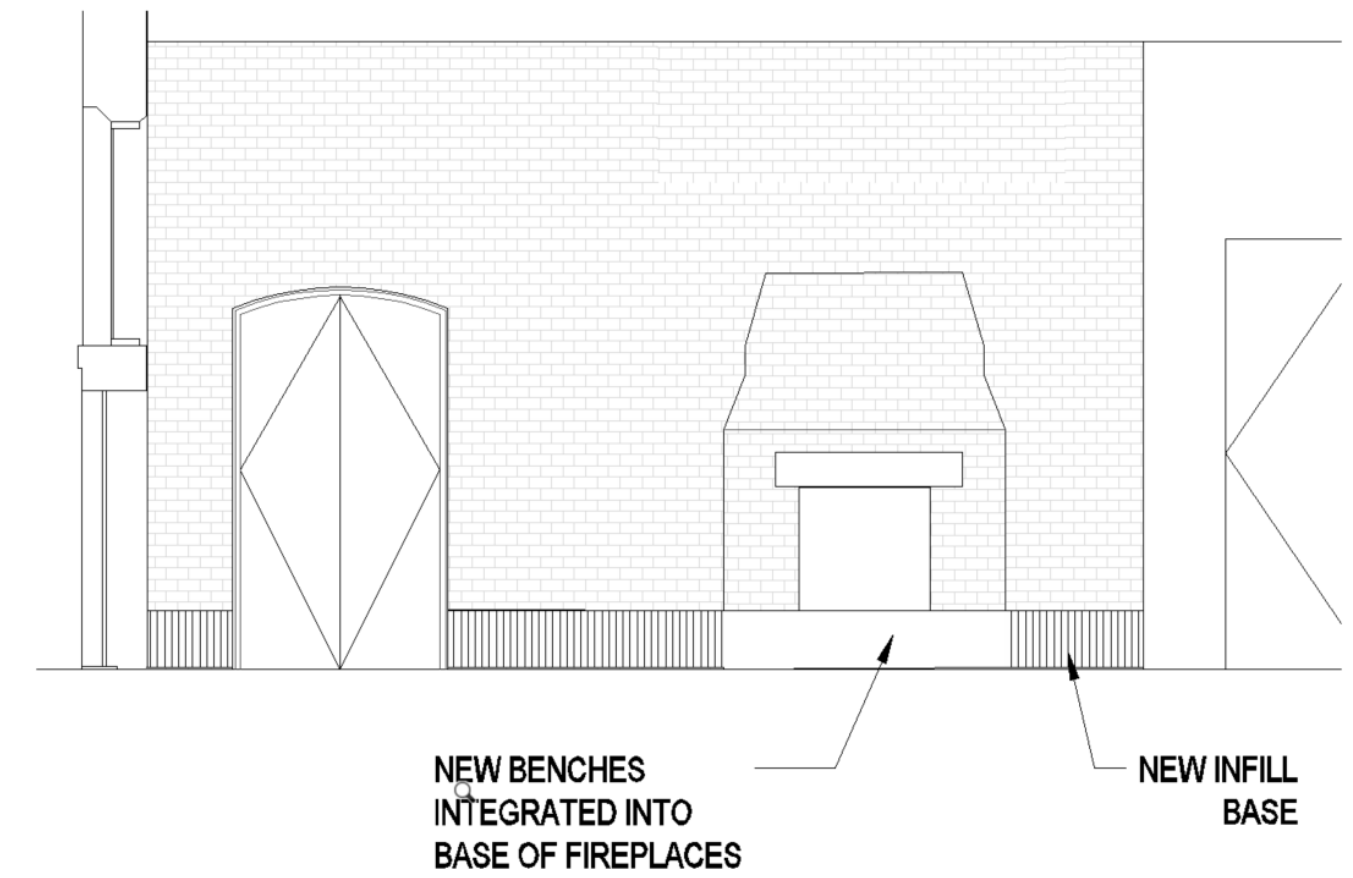
ACCESS TO
ELEVATOR
CORRIDOR

OPEN TO CONDO
AMENITY AREA



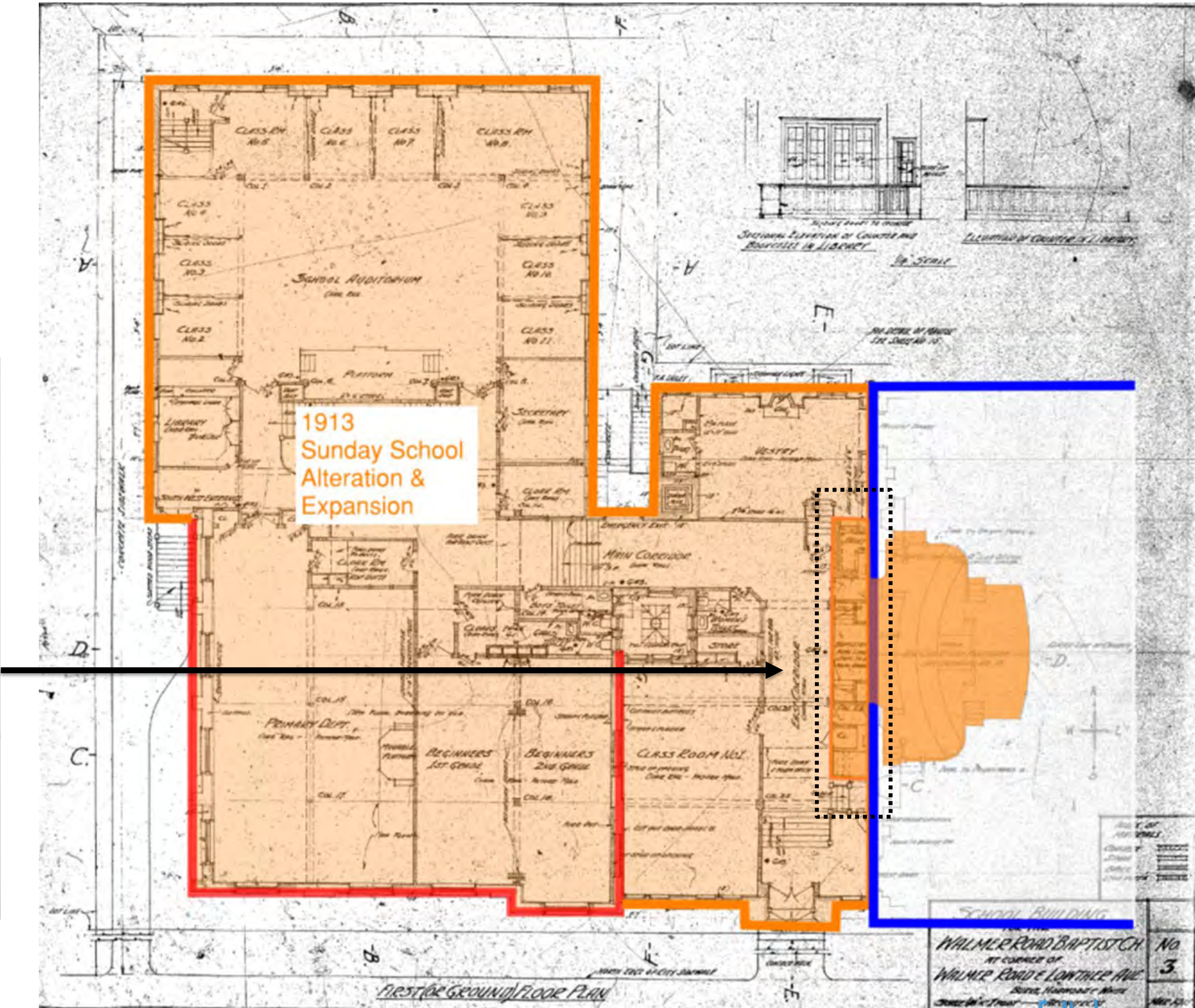
- Current scheme proposes to retain all existing cast iron columns
- Columns at ground floor level will be extended to suit new floor level





- new GF level – infill treatment and textures inspired by new design language

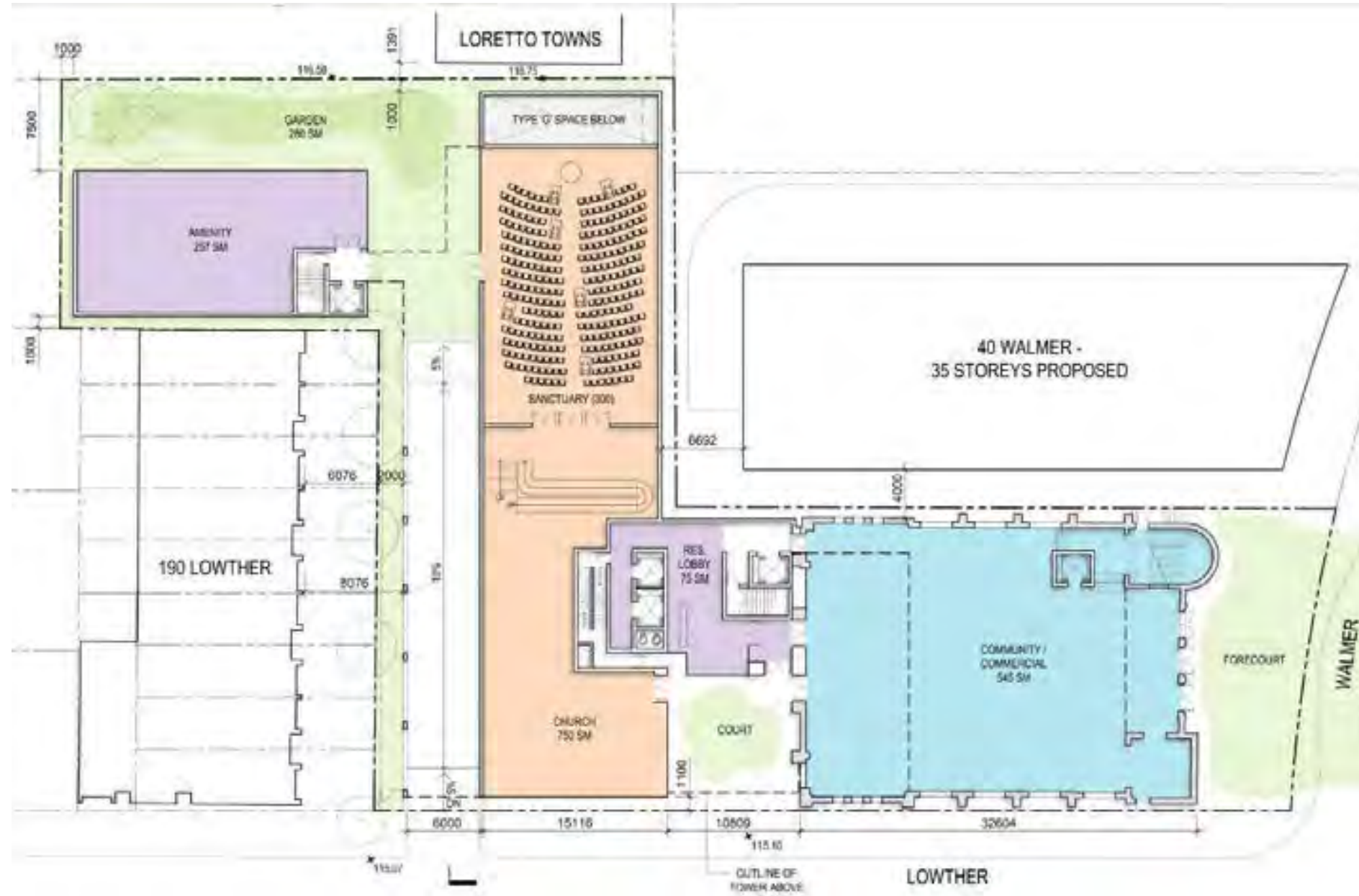
- The Baptismal tank is part of the interior of the remnant Memorial Building Link space and will be removed and its function relocated into new sanctuary when the Link is demolished



- The wall sconces on the ground floor will be conserved and maintained in the present locations
- There is a variety of pendant light fixture types and sizes within the Sanctuary
- Options for reusing the pendant light fixtures will be explored against the new interior layouts



NEW SANCTUARY IMPACTS



Proposed Ground Floor Plan

- Existing sanctuary non-operational since 2016 due to safety and functional reasons
- For Walmer Road Baptist Church congregation to remain on the site, new sanctuary is proposed
- Original Chapel/Sunday School, and rear auditorium - identified as an attribute of the Memorial Building Link, will be removed and replaced with new church and residential tower above.
- Redevelopment is facilitating ongoing use of Baptist Church congregation on site

MEMORIAL BUILDING LINK



ALTERED
OPENINGS
FOR EGRESS
AND TO
MATCH NEW
FLOOR LEVEL

Memorial Building – South Façade Retention

Heritage Attributes (Design & Physical Value)	
Exterior:	
The form, scale and massing of the building being two-storeys with flat roof and comprising two connected volumes wrapping around the Sunday School building	
The reddish-brown brick cladding and brickwork of the facades forming buttresses, a crenelated parapet and arched doorway reveals; smoothly-dressed sandstone finishes comprising label mouldings, coping, lintels and sills	
The fenestration with pointed-arch and flat-headed windows; the leaded-glass wood-sash windows	
Interior:	
The auditorium space and its features including its stage, pointed proscenium arch with Gothic columns, and balconies with their wood balustrades, large support brackets	



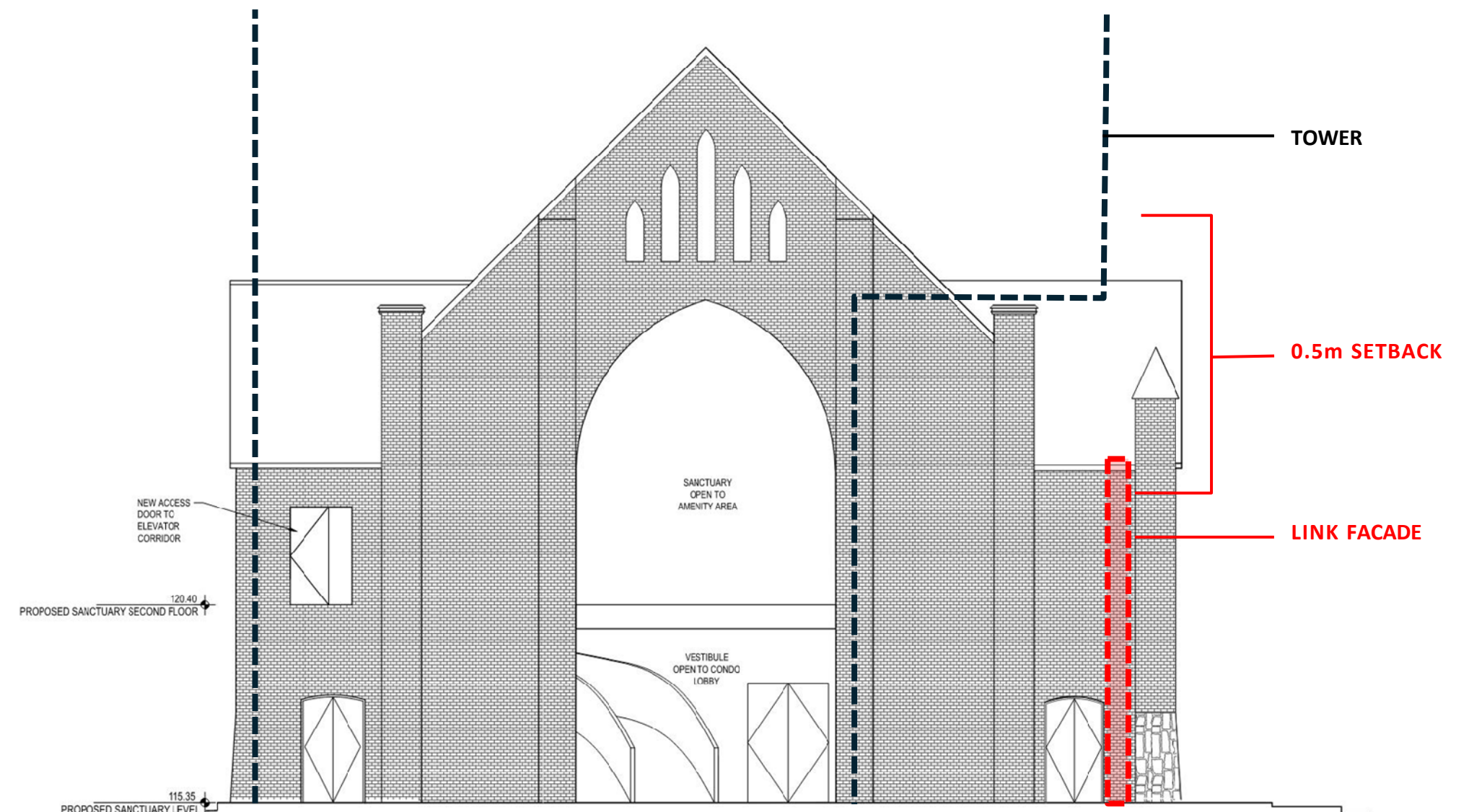
CONSERVATION CONSIDERATIONS

- Proposal achieves meaningful conservation of Sanctuary
- Conservation of 1889 Chapel/1913 Sunday School is not feasible
- With removal of 1889 Chapel/1913 Sunday School and construction of a new Sanctuary, what remains is a remnant façade from an addition
- Minimal contextual value will remain of the Memorial Building link, which was an addition to the 1889 Chapel, with limited opportunity for meaningful conservation
- Additional alterations to Memorial Building Link proposed include: modifications to entrance doors to new lower floor level; an additional exit may also be required



URBAN DESIGN CONSIDERATIONS

- While facade retention of the Memorial Building link is feasible within new development, it compromises the public realm and opportunity for enhancement along Lowther Avenue, in consideration of required relocation of the tower floor plate to achieve separation distances.
- Due to the limited additional heritage value that the Memorial Building facade contributes to the overall integrity of the site, it is ERA's opinion that its removal is warranted in favour of overarching urban design objectives and public realm benefits.



- There would be a maximum tower setback of 0.5 metres from the Link facade due to tower floorplate and tower separation requirements.

URBAN DESIGN CONSIDERATIONS

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- Due to the limited additional heritage value that the Memorial Building facade contributes to the overall integrity of the site, it is ERA's opinion that its removal is warranted in favour of overarching urban design objectives and public realm benefits.

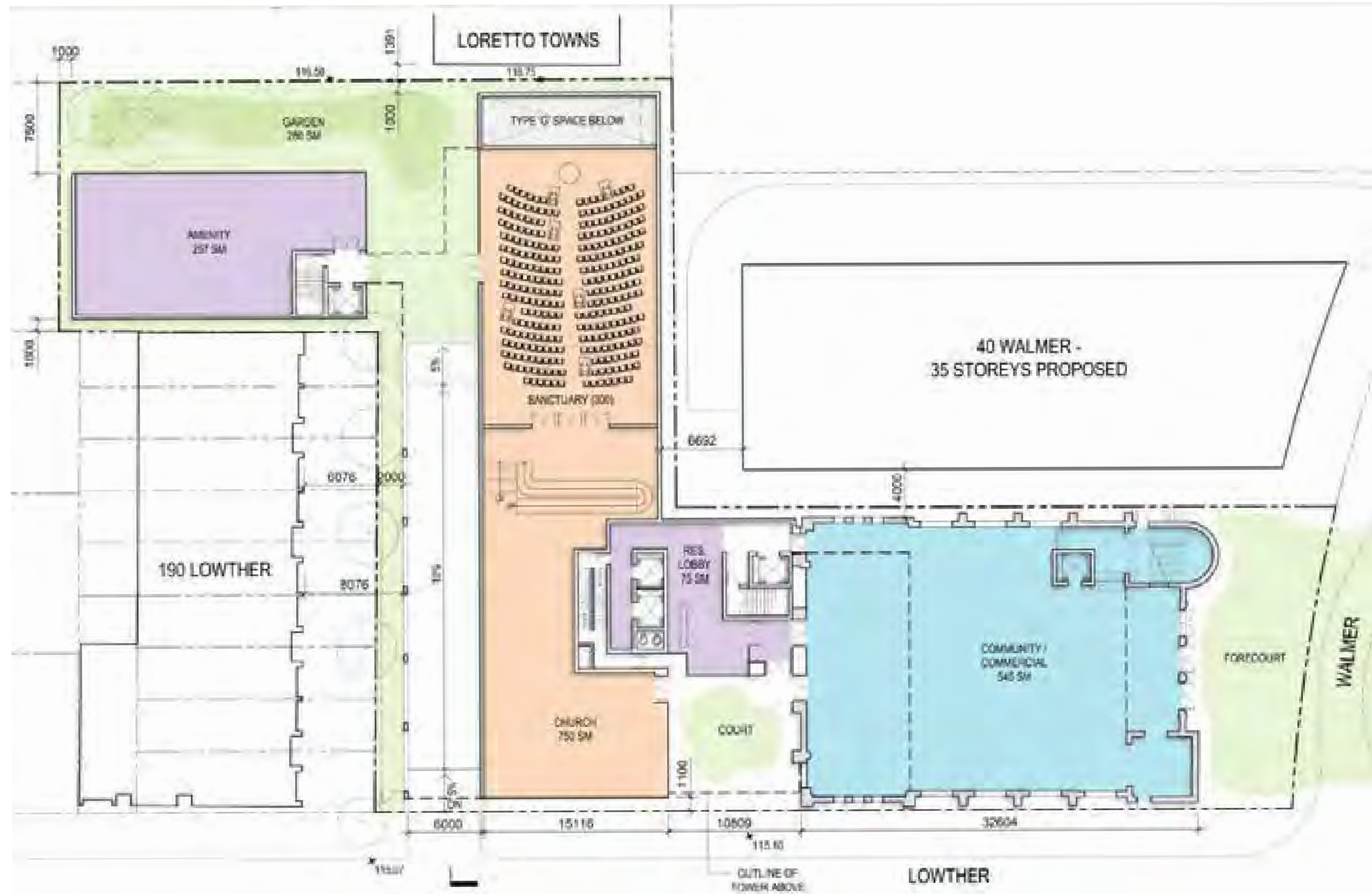


WITH LINK **PERSPECTIVE VIEWS**



WITHOUT LINK **PERSPECTIVE VIEWS**

VIEW FROM LOWTHER TOWARDS SHELTERED COURT



	Design / Physical Heritage Attributes*	Intervention (Alteration, Conservation, etc)	Comments from Clint Robertson, HPS	Response / Rationale
Sunday School Building (1889 Chapel / 1913 Sunday School)	Exterior:			
	The form, scale and massing of the building being three storeys and rectangular with corner tower	Demolition		To facilitate ongoing historic use of Walmer Road Baptist Church on-site, proposal removes and replaces with new sanctuary and residential lobby with tower above.
	The front gable roof with lower parapeted cross gables and flat sections; roof elements comprising an eave bracket, open eaves with exposed rafters and wooden tongue and groove soffits; and the tower's cornice, pyramidal roof and finial	Demolition		To facilitate ongoing historic use of Walmer Road Baptist Church on-site, proposal removes and replaces with new sanctuary and residential lobby with tower above.
	The reddish-brown brick cladding and brickwork of the facades forming buttresses and corbel tables; terra-cotta gable shingles; and stone sills	Demolition		To facilitate ongoing historic use of Walmer Road Baptist Church on-site, proposal removes and replaces with new sanctuary and residential lobby with tower above.
	The fenestration, with pointed arch and segmental arched windows as well as a large multi-part gable window (with leaded glazing) and multi-part tower windows with foil-shaped sashes to mimic tracery and leaded and stained-glazing; wood-sash windows with leaded glazing	Demolition		To facilitate ongoing historic use of Walmer Road Baptist Church on-site, proposal removes and replaces with new sanctuary and residential lobby with tower above.
	Interior:			
	The extended height ceiling of the gymnasium space (original sanctuary) with timber, open-truss ceiling	Demolition		To facilitate ongoing historic use of Walmer Road Baptist Church on-site, proposal removes and replaces with new sanctuary and residential lobby with tower above.
	The ornamented cast-iron structural columns within the basement	Demolition		To facilitate ongoing historic use of Walmer Road Baptist Church on-site, proposal removes and replaces with new sanctuary and residential lobby with tower above.
Sanctuary Building (1892)	Exterior:			
	The form, scale and massing of the cruciform-shaped building with lofty nave and lower sides, and with an asymmetrical main façade arrangement comprising a tall bell tower and lower stair tower	Whole building retention in-situ, including tall bell tower and lower stair tower. There will be a new exit from north elevation of north tower with limited view from public realm.		The new exit from the north tower stair will have a limited view from public realm and is being altered for OBC reasons. The south tower will not be impacted.
	The materials of brown, rough-faced, Credit Valley sandstone base, walls, courses and sills and contrasting reddish-brown cladding and brickwork forming label mouldings, buttresses, and the terra-cotta shingled clerestory		The proposed new sanctuary space is already served by the existing ground floor windows. If additional light is desired by also having enlarged lower ground floor windows the existing arched window openings should be retained and lowered into enlarged lightwells if needed.	Elevation diagrams have been drafted by HPA to show how our proposal conserves proportions of the base on the exterior and the dogtooth detail on the interior. Refer to slides 21-23.
		The materials of Credit Valley sandstone, red brick, terra-cotta, slate, copper, glass and wood will be retained. New windows are being proposed on the ground floor of the south elevation. Previously-proposed north elevation windows have been deleted from the scheme. Exit door from south tower is TBD, new exit door is proposed from north tower and not visible from public realm.	The lower ground floor window opening on the south side is not proposed to serve the sanctuary but a vestibule (see pictures below). The existing stone arch should be maintained but the window lengthened to provide a doorway – in this way the adjacent new door in the exterior stone of the bell tower would not be required.	New scheme does not require this alteration.

	Design / Physical Heritage Attributes*	Intervention (Alteration, Conservation, etc)	Comments from Clint Robertson, HPS	Response / Rationale
			The HIA notes that the “new window openings feature large terracotta fins that reference the material palette of the new podium”. These are not shown on the submitted material and it is unclear what they are and how they relate to the podium. Any changes to windows should be minimal and should be designed to be compatible with the church façade’s architecture and materials.	N/A - this was part of previous scheme, and is not part of the new scheme
	The steeply-sloped front gable roof over the nave with lower cross gables over the transepts and lower slopes roofs over the sides (aisles) and the pyramidal bell tower roof and the conical copper-clad stair tower roof	Roofs are not being altered		N/A
	The fenestration, with a variety of pointed- and segmental-arched windows containing wooden sash, leaded glazing, and front windows with wood tracery; ribbons of leaded-glass clerestory windows atop the nave; the arcaded, deeply set windows and the narrow rounded-arch and lancet openings within the towers and gables; the 1948, stained glass Warren Family memorial window of the south elevation	The second floor leaded stained glass windows are proposed to be retained in the upper portion but altered in the lower portion to allow for operability and meet sunlight and ventilation requirements.	See aforementioned comments relating to the exterior materials	Windows are proposed to be altered in the lower portion to allow for operability and meet sunlight and ventilation requirements. Refer to slides 21-23.
			The gable (attic-level) lancet openings which now consists of louvered openings would become windows – more detail about the window profile, finish and material needed.	N/A - making the attic an occupiable space has been deleted from the current scheme.
		Clerestory windows will be retained and restored with potentially added interior storms. Second level windows on east elevations will be retained and restored with potentially added interior storms. North and south elevation second level windows - TBD. Existing ground floor windows will be retained and restored with potentially added interior storms. New windows will be made operable where required.	The HIA says that the second-floor leaded stained-glass windows are proposed to be retained in the upper portion but altered in the lower portion to allow for operability to meet sunlight and ventilation requirements.” See the photograph below of a typical example of one of the second floors windows and clarify how this window can be altered to make part of it operable while retaining the existing glazing? Clarification is needed as to whether the proposal is to alter or remove these windows.	N/A
			The HIA goes on to say that the proposal “keeps all of the windows intact with minor alterations.” The elevations however show changes to third floor windows and say that the congregation are still to decide whether to retain or replace some of the stained glass with clear glass. Please clarify. All original windows and their stained and leaded glass should be retained and repaired where possible.	N/A

	Design / Physical Heritage Attributes*	Intervention (Alteration, Conservation, etc)	Comments from Clint Robertson, HPS	Response / Rationale	
	The main entrance with its three pointed-arch doorways each with formed brick mouldings and reveals, panelled wood double doors, transom lights with wooden tracery of foils and leaded and stained glass	The wood and leaded glass transoms will be retained and restored. Existing panelled wood double doors and doorframes will be replaced with new wood doors. Three pointed-arch doorways will be retained, brick mouldings will be retained, and openings will be dropped 1 metre to new grade. Infills will be required to lower jambs of new door opening to where steps have been removed. Material of replacement doors TBD.	The front doorway surrounds would be lowered, not only affecting existing materials but also the configuration of these primary openings. If the removal of the front entrance steps and the lowering of the front entrance doors are required to provide an accessible entrance, details of how the new lower parts of the entrance arches would be designed to relate to the original material above and to highlight the proportions of these entrances are needed. The HIA only says the changes would be “compatible yet distinguishable in design and materiality from the historic fabric”. Without further details of how this could or would be achieved the impact of this proposed change cannot be determined. Examples of where similar changes would help to demonstrate that the principal entrances of other historic buildings can be altered in a similar fashion that is both “compatible yet distinguishable in design and materiality from the historic fabric.”	Refer to Slides 17-20.	
	Interior: The following heritage attributes have been identified as "liturgical elements":				
	The configuration with lofty single volume nave with its raked floor and separate entrance foyer containing two tower staircases	Addition of a complete second floor while still maintaining a lofty volume. The raked ground floor is being removed and replaced with a flat ground floor at a lower level for barrier free access. The north tower staircase will exit through a new door on the north elevation.		New second floor proposed to rehabilitate Sanctuary for publically accessible, neighbourhood amenity (community commercial use). The north tower staircase will be altered because of OBC requirements. Refer to Slides 17-20 regarding front entrance.	
	The elaborate open-truss roof with strapwork plaster ceiling	The open-truss roof will be retained. The plaster ceiling will be retained and repaired, as it is in poor condition.	The open-truss roof to remain but the interventions to the strapwork plaster ceiling is unclear. Clarification of the intentions for the plaster ceiling is required.	Previously proposed scheme incorporated Sanctuary attic into occupiable space. That is no longer being proposed.	
	The horseshoe-shaped gallery with tiered seating, and with wood balustrades of ash and turned balusters of birch	These attributes are being removed but are being commemorated by the retention of the columns.		This is necessary because of new second floor.	
	The elaborately cast-iron columns supporting the balconies and the ceiling	All eight cast iron columns will be retained. The columns will be lengthened to accommodate lower floor level, with infill brackets at the top to reach the second floor level.Additional columns will be required to support new second floor. New columns will be distinct but will have an arrangement that's complementary to the original.	The HIA says the eight existing cast iron columns on the ground floor will be removed and replaced with four contemporary columns – the original columns should be retained and re-used if possible. Opportunities for moving and reusing all of the existing columns should be explored.	Previous scheme which contemplated removal of ground floor columns because of Sanctuary layout is no longer applicable. Refer to slide 26.	
	The exposed, pressed-red-brick walls of the sanctuary incorporating ornamental brickwork detailing such as a dado, courses, and label mouldings	The pressed brick walls will be generally maintained. Newly exposed section at base of wall will be infilled with new cladding that is complementary in materials and texture to historic brick. New ground floor window openings have been located to avoid impacts on the dado course detail below window.	It's unclear how the removal of the gallery and incorporation of a new floor plate will impact/ interact with existing wall materials in these areas. New demising walls will also impact / interact with the sanctuary walls. Further clarification of this is required in order to assess this impact.	Refer to Slide 21-22, and 27.	
	The raised chancel with carved and panelled oak rood screen and pulpit	These attributes will be removed.		The raised chancel will be removed and replaced with feature staircase to connect the adaptively re-used Sanctuary with the new entrance lobby. It is a liturgical feature that the congregation does not wish to take with them.	
	The pipe organ recesses, oak casing and façade pipes metal lined baptismal tank	The metal lined baptismal tank is not proposed to be retained, as the Walmer Road Baptist Church will have a new one in the new sanctuary. The brick arches for the pipe organ recesses will be retained. The retention of the oak casings and facade pipes will be explored.	This attribute (metal lined baptismal tank) will be affected as it will no longer occupy its original location and is proposed to be retained, or retained in-part, and moved. It's not clear what amount of its materials will be retained however, or how they will be incorporated into a new design or how they will impact other attributes (existing walls).	The metal lined baptismal tank exists on the side of the Memorial Building Link and is part of the building that is being demolished. The Walmer Road Baptist Church does not wish to move it to the new space. The pipe organs will be removed, and a connection between the Sanctuary and new lobby will be contained within the existing arched opening. Refer to Slide 25.	
	The three-part stained glass memorial window	This window will be retained.		N/A	

	Design / Physical Heritage Attributes*	Intervention (Alteration, Conservation, etc)	Comments from Clint Robertson, HPS	Response / Rationale
	The two fireplaces with tiled hearth and ornamental brickwork chimneypieces	The two fireplaces will be retained in-situ and will be extended with a complementary base because of the lowered floor.	These attributes will be retained, however their relationship to the floor level will be affected. It's unclear how they will relate to a future floor level or what materials will complement them to form a new relationship with a new floor level. Further details of this is required to assess the impact on these heritage attributes.	Refer to Slide 27.
	The bronze hanging light fixtures and sconces with Gothic stylistic motifs	These light fixtures and sconces will be retained.	It is unclear how these attributes will be affected – details are required.	Refer to Slide 29.
	The oak finishes comprising the staircase balustrades, the foyer wall assembly with wainscot panelling, and the solid panelled and glazed doors	The tower staircase balustrades will be retained. The foyer wall assembly with wainscot panelling - TBD. Inner leaf of door will not be retained. Oak wood doors to towers will be replaced with fire-rated door assemblies for fire protection		Due to OBC compliance. Refer to Slide 19.
Memorial Building (1913)	Exterior:			
	The form, scale and massing of the building being two storeys with flat roof and comprising two connected volumes wrapping around the Sunday School building	Demolition		Volumes wrapping around the Sunday School building require to be replaced with new sanctuary, and residential tower with a new core.
	The reddish-brown brick cladding and brickwork of the facades forming buttresses, a crenelated parapet and arched doorway reveals; smoothly-dressed sandstone finishes comprising label mouldings, coping, lintels and sills	Demolition		Remnant façade along Lowther Avenue has limited integrity due to numerous alterations over time - if retained, further alterations to ground floor openings to address new floor heights would be required. Therefore its priority for conservation is low, in favour of urban design considerations and public realm enhancement of Lowther Avenue.
	The fenestration with pointed-arch and flat-headed windows; the leaded-glass wood-sash windows	Demolition		Fenestration on front elevation of Lowther Avenue no longer contains leaded-glass, wood-sash windows.
	Interior:			
	The auditorium space and its features including its stage, pointed proscenium arch with Gothic columns, and balconies with their wood balustrades, large support brackets	Demolition		The auditorium space and its features are proposed to be replaced with new sanctuary, and residential tower with a new core.

*Source: Designation By-law 805-2023

DRAFT - R1

38 Walmer Rd.

“Link Facade” Memo

To: Clint Robertson, City of Toronto Heritage
Preservation Services

From: Hariri Pontarini Architects with ERA Architects,
c/o Nazia Aftab and Joe Loreto

RE: Proposed Redevelopment Scheme by TAS
at 38 Walmer Road.

Summary

The following memo provides a list of reasons of why we are advocating for the removal of the “Link Facade” at 38 Walmer Rd. (the portion of the “Link Building” visible along the Lowther Ave. elevation, connecting the existing Sanctuary building to the east and the existing Sunday School building to the west).

The proposed redevelopment includes a rehabilitated Sanctuary building with community / commercial programming, which has been vacant since 2016 due to safety and functionality issues. The redevelopment facilitates the ongoing use of the site by the Walmer Road Baptist Church with a new church facility, a new residential tower, and two levels of underground parking with loading below grade.

The site is subject to an Agreement of Purchase and Sale (APS) between TAS and the Walmer Road Baptist Church (WRBC). High-level terms of the APS, provided on a without-prejudice basis, include:

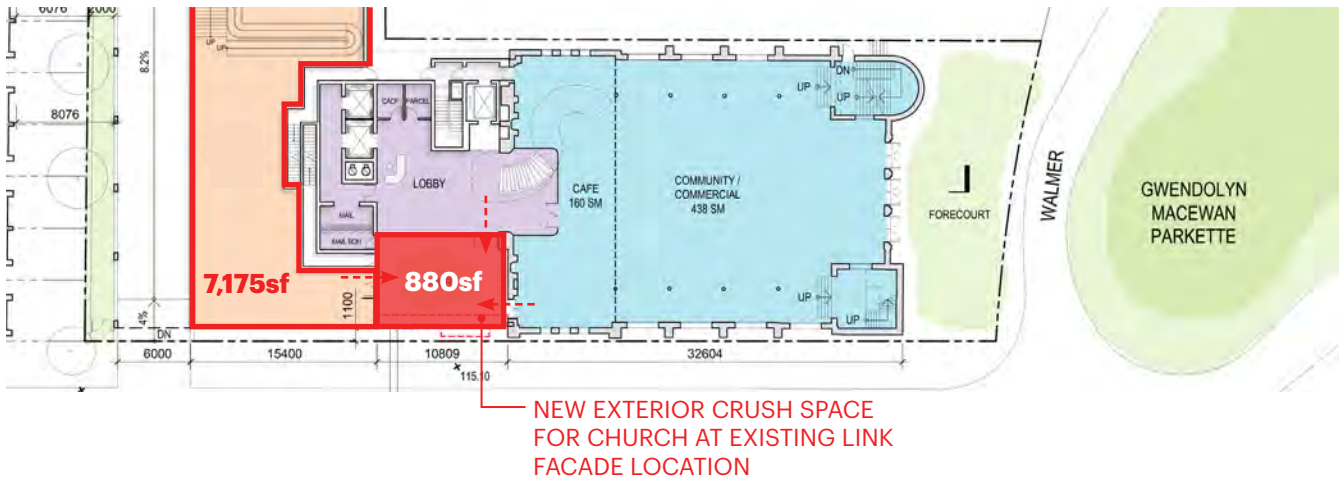
- A minimum Church area of 10,250 sf GFA, of which 7,175 sf must be on the ground floor (70% of total required area).
- 25 feet minimum of street frontage along Lowther Ave.
- 2 assembly spaces for 300 people, with circulation requirements for 600 people on site.

The following items outline why incorporating the “Link Façade” into the new development, even with significant alterations, is detrimental to the accessibility and programming of the new development.

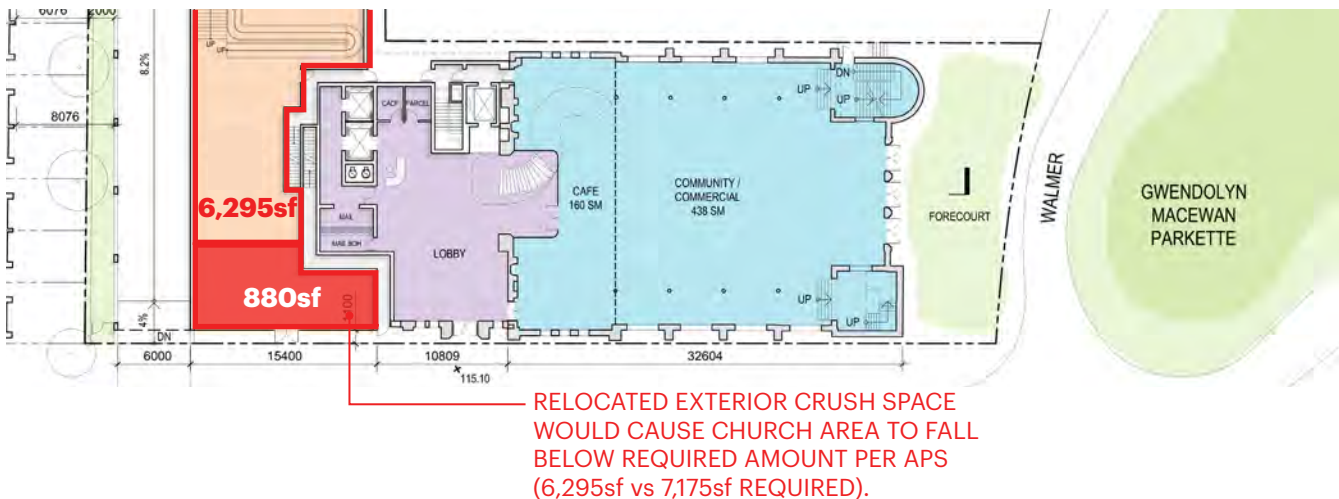
1.

The “Link Façade” in its current location does not allow for a required Church exterior “crush space”.

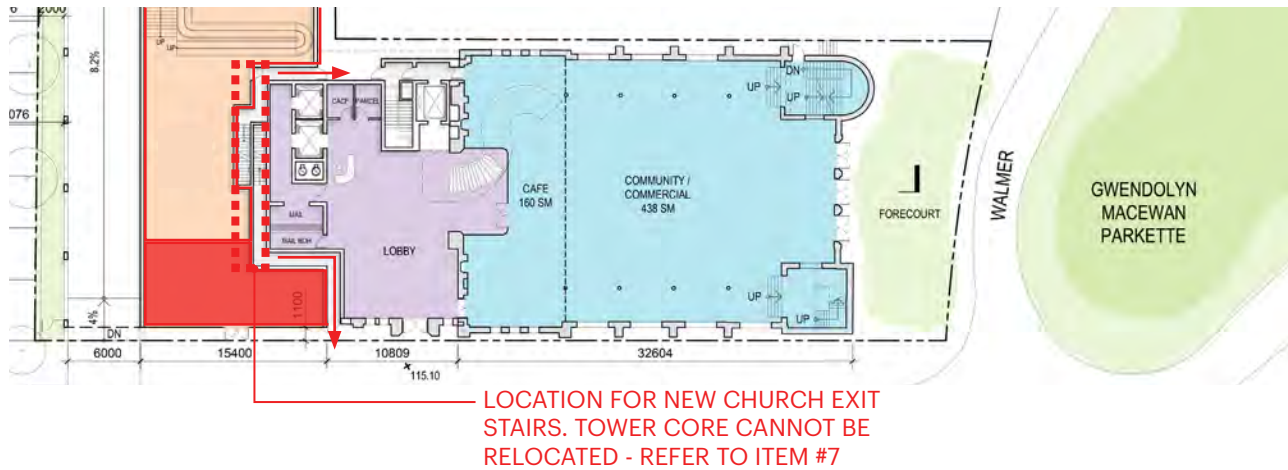
1.1. Exterior crush space along Lowther is required for safe exiting of up to 300-600 people. The constrained sidewalk condition at Lowther is unable to safely accommodate upwards of 600 people.



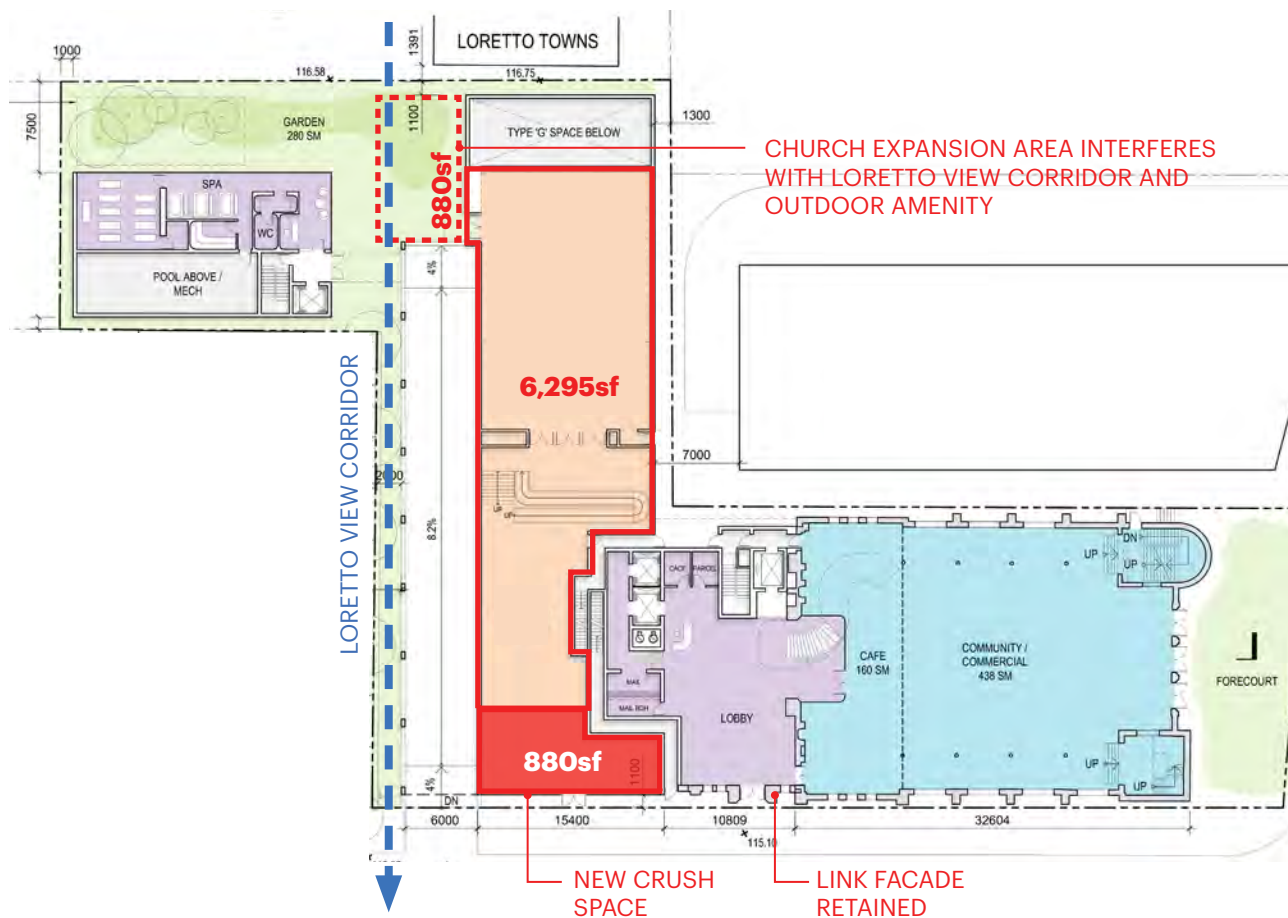
1.2. If the Link Façade were to remain and the crush space accommodated within the new Church area, the ground floor church GFA would fall below the 7,175sf that is required in the APS.



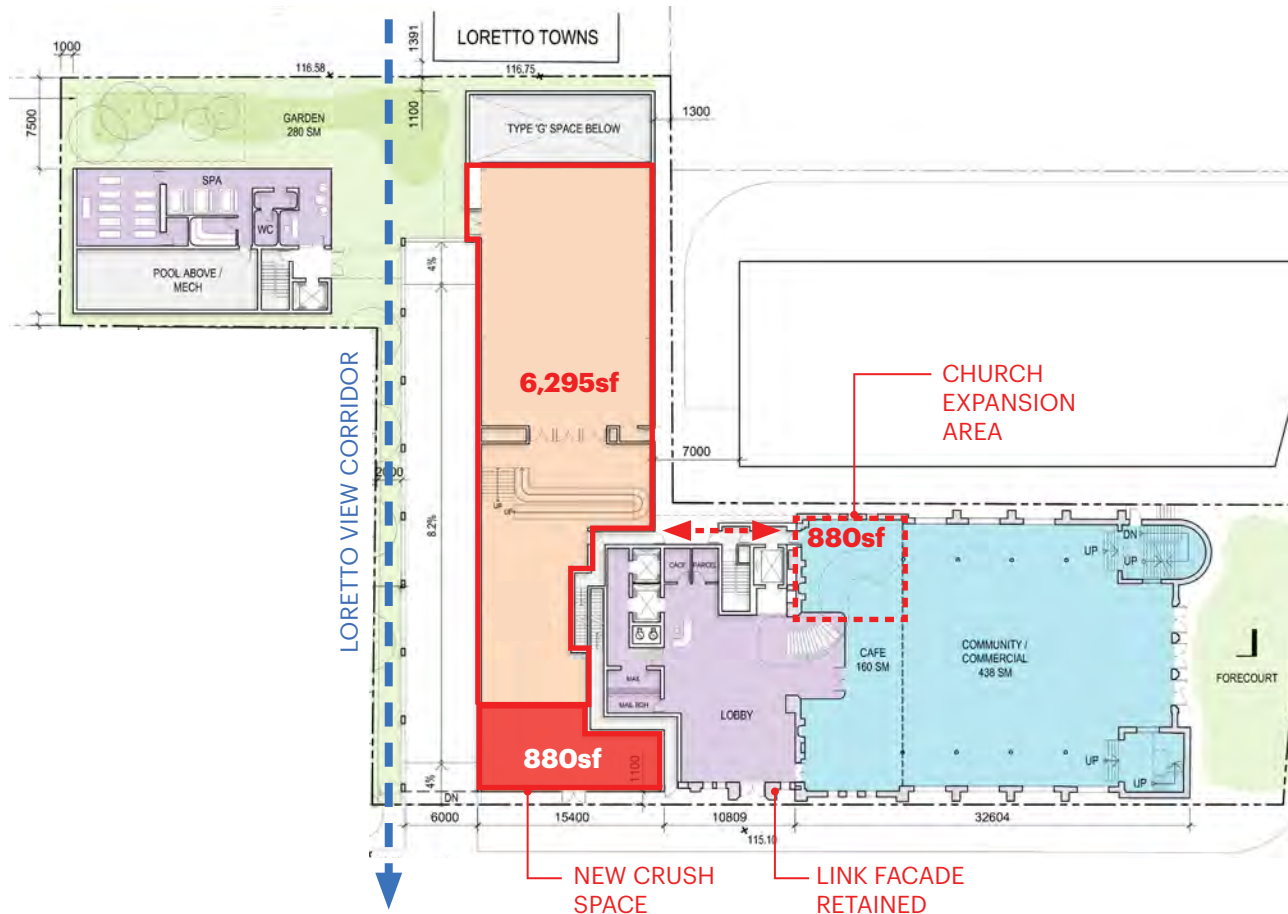
1.3. Exit stairs to the new church are required adjacent to the tower core, therefore the church space cannot expand into the area currently shown as mail room or lobby.



1.4. The ground floor area cannot be expanded to the rear, as it would encroach onto Loretto view corridor and amenity requirements.



1.5. The ground floor area of the new church that would be lost to the crush space area would need to be regained within the existing Sanctuary, negatively impacting the proposed restoration work and resulting in a disconnected internal layout for the WRBC.



Summary: To accommodate the required program on site and to minimize impact to the existing Sanctuary, it is not functionally feasible to maintain the memorial link facade. If the facade is retained, the minimum ground floor area for the new church as required per the APS cannot be met while allowing for the required crush space to ensure safe circulation in and out of the building for upwards of 600 people (including children and strollers as part of the anticipated Sunday School and family-oriented programming of the church). This threatens WRBC's ability to continue to operate on the site.

2.

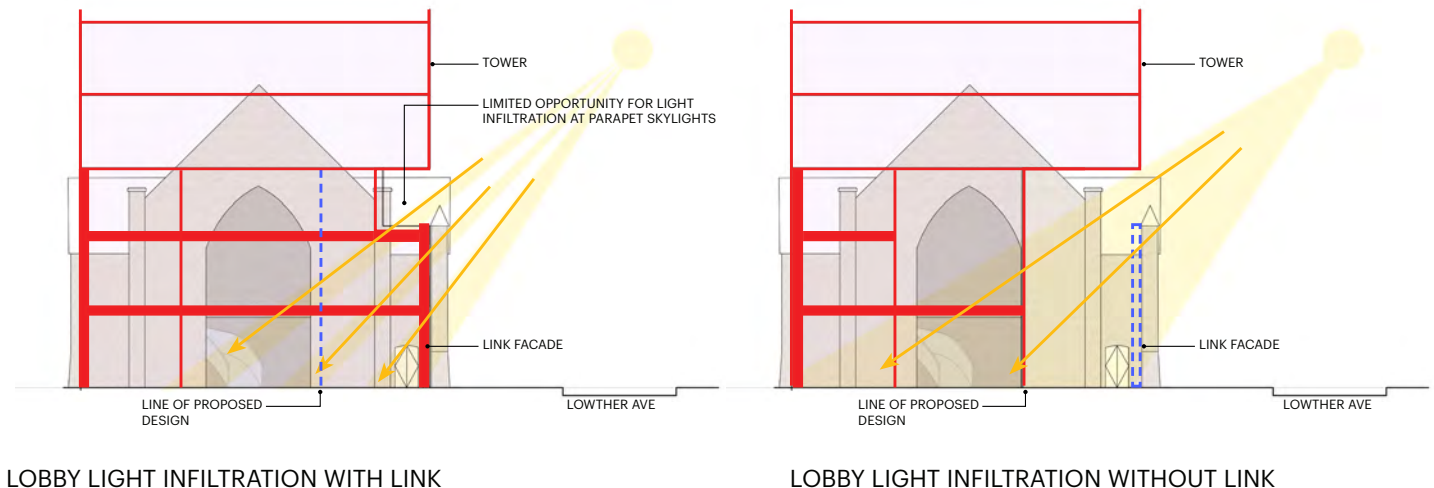
The “Link Façade” in its current location would create an undesirable deep lobby condition with limited opportunity for daylighting.

2.1. By keeping the “Link Façade” in its current location, the shared community / residential lobby would become very deep. Even with enlarged window openings, daylight is limited through the masonry facade.

2.2. The lobby is intended to be the main access point for the development. Having a deep, dark lobby condition with limited glazing would not allow for the desired arrival experience at the ground floor, particularly for the community / commercial space.

2.3. The proposed “Court” made possible by the removal of the “Link Façade” would allow for a shallower lobby condition into which natural light could infiltrate, as well as increased access to natural light for the new Church facility and community / commercial space.

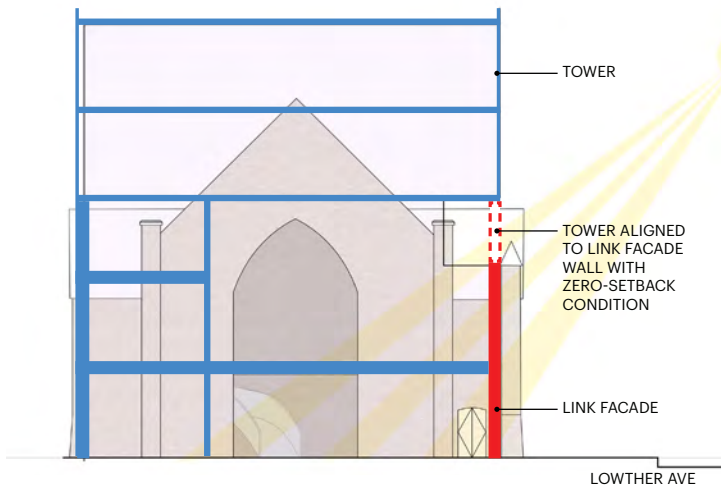
2.4. Skylights beyond the link façade parapet are possible, but their proximity to the overhanging tower volume above would limit the amount of light that could be provided. Additionally, skylights would be detrimental to the client’s desire to achieve a CAGBC Zero Carbon Design Building.



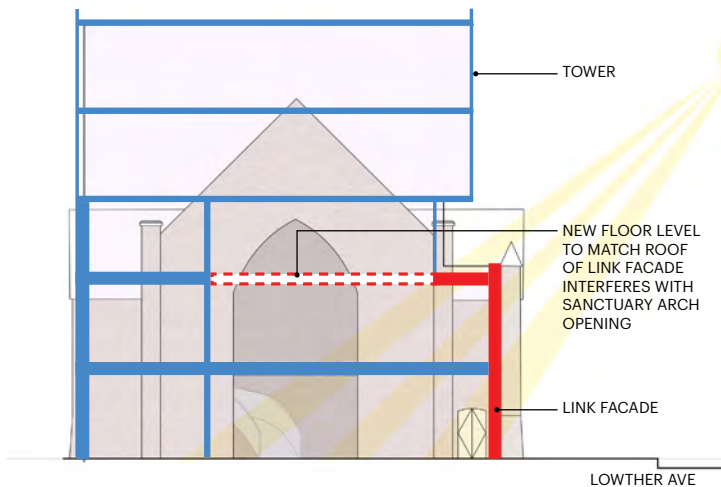
3.

Retention of the “Link Façade” would render infeasible the proposal to fully expose the central arch opening which currently houses the organ pipes on the west elevation of the Sanctuary. If the link facade is retained, two options are available:

3.1. Option 1: Align the Link Façade with the tower face for vertical structural support, eliminating an articulated reveal.



3.2. Option 2: Retain the existing floor structure to support the Link Façade, which interferes with the Sanctuary arch.



4.

An additional exit door would be required in the existing “Link Façade”, per OBC requirements.

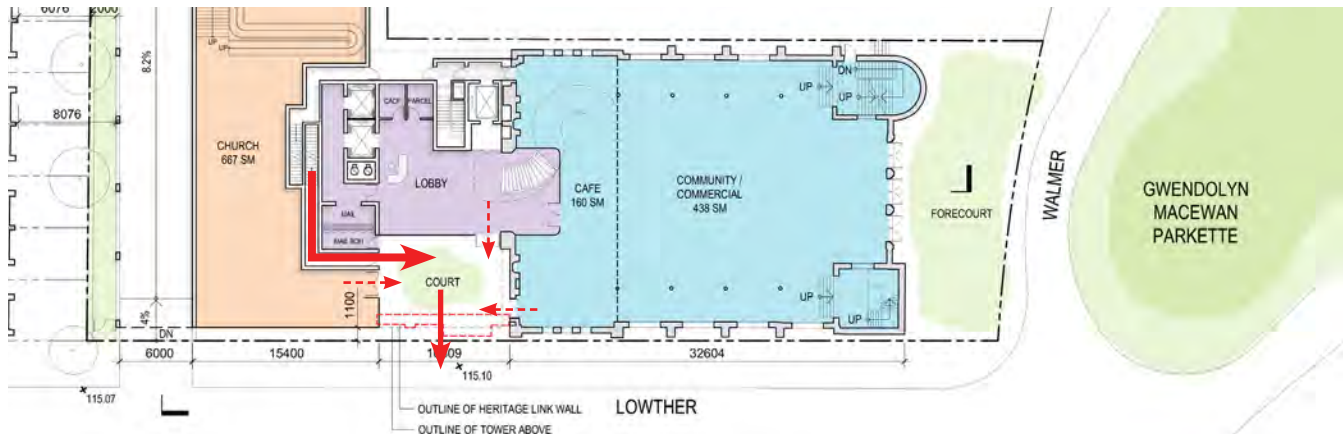
4.1. Per OBC requirements, the proposed development requires one protected exit leading from the residential tower at the Lowther frontage. In the current design, this exit opens into the proposed “Court”.

4.2. If the Link façade is retained, this exit pathway would have to be extended south and a new exit door would be needed in the “Link Façade”. The required exit door width is wider than the existing window openings and would therefore require the existing western-most pair of windows to be infilled.

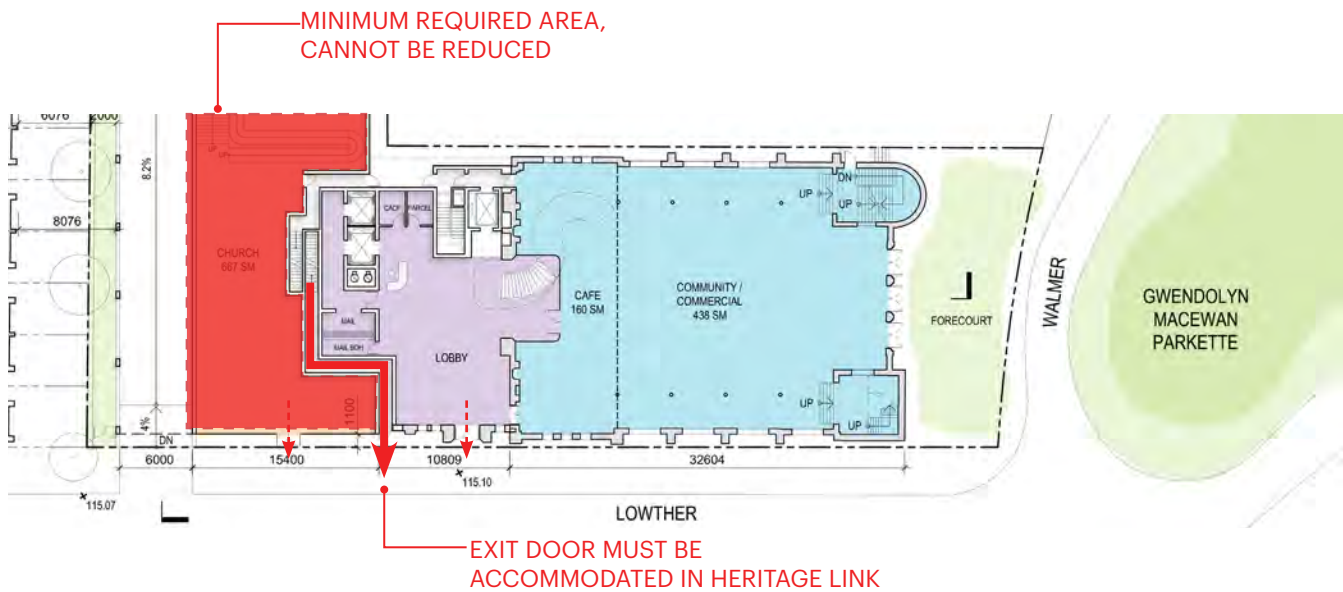
4.3. As per the terms of the APS with the Walmer Road Baptist Church (outlined in the summary), 7,175 sf must be located at the ground floor. The current design accommodates exactly that amount of area. Therefore, the exit pathway extension cannot be shifted west to avoid the “Link Façade”.



DIAGRAMS CONTINUE ON PAGE 6.



GROUND FLOOR WITHOUT LINK: Exit into court.



GROUND FLOOR WITH LINK: Exit onto Lowther Ave.

5.

The existing interior floor level and ground floor windows would no longer match the proposed floor level.

5.1. To allow for full accessibility from all access points across the site, the proposed floor level for the new development is to be at grade (115.35m).

5.2. The existing floor level at the “Link Building” is 115.91m. Therefore, the new floor would be 0.56m below the existing floor level.

5.3. Consequently, the existing ground floor windows would start 7’ above grade and create a basement-like condition. This would require the openings to be enlarged, joining together the ground floor and basement window openings, altering the heritage facade.



6.

The existing “Link Façade” door would no longer match the proposed floor level.

6.1. If the “Link Façade” is retained, the existing door location would serve as the main entrance for the shared community / residential lobby. Consequently, the existing door would need to be lowered to match the new FFE at grade.

6.2. The existing ramp at Lowther would need to be removed and the heritage brickwork at the arched portal extended to grade, further altering the heritage facade.

6.3. The cumulative alterations required in items 3-5 would result in ~20% of the façade being altered from it’s existing condition.



7.

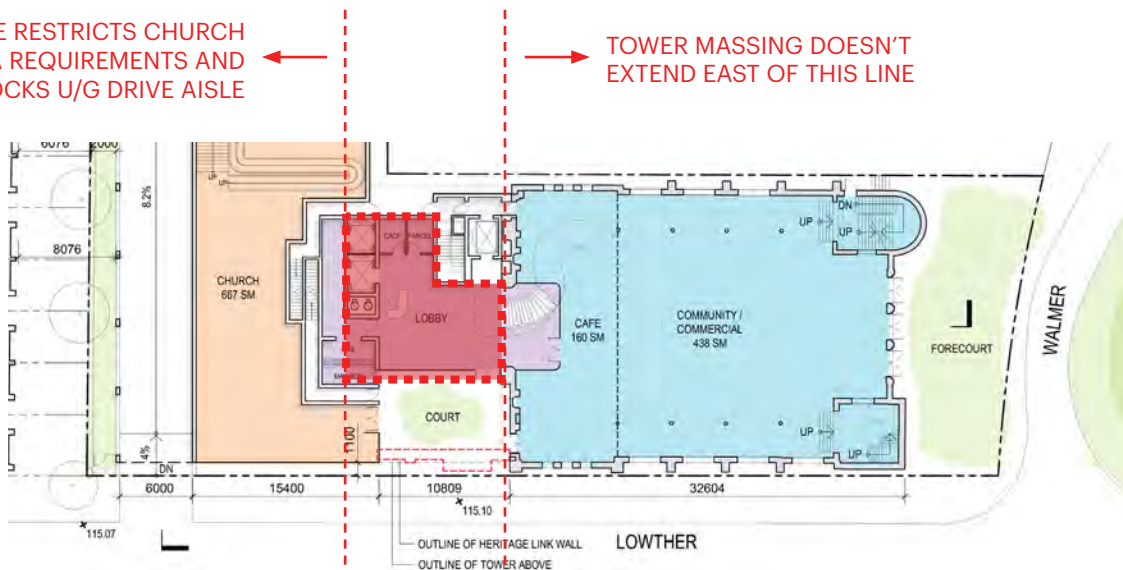
The proposed program arrangement cannot be reorganized to accommodate retention of the “Link Façade”.

7.1. The proposed program arrangement is determined by the location of the tower core.

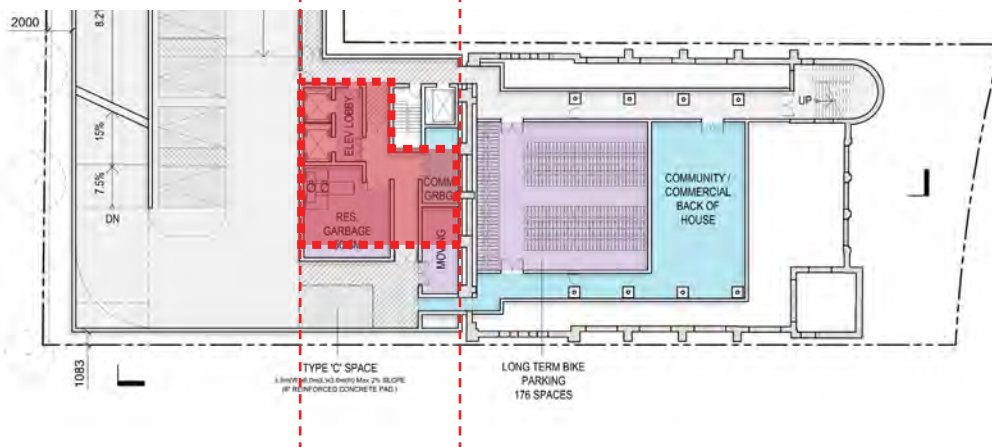
7.2. The tower core cannot be moved, as this would interfere with the below-grade parking / loading area, the required WRBC ground floor area, and the requirement to retain the existing sanctuary building.

TOWER CORE RESTRICTS CHURCH
APS AREA REQUIREMENTS AND
BLOCKS U/G DRIVE AISLE

TOWER MASSING DOESN'T
EXTEND EAST OF THIS LINE



GROUND FLOOR



PARKING (P1)

RELEVANT POLICIES

Provincial Policy Statement (PPS) (2020)

The PPS guides the creation and implementation of planning policy across Ontario municipalities, and provides a framework for the conservation of heritage resources, including the following relevant policies:

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.*

2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.*

The proposed development is consistent with the relevant policies in the PPS as it conserves the cultural heritage value and heritage attributes of the Site, and adjacent heritage resources.

A Place to Grow: Growth Plan for the Greater Golden Horseshoe (The Growth Plan) (2019)

The Growth Plan offers a framework for implementing the Province of Ontario's vision for building stronger, prosperous communities by better managing growth in the Greater Golden Horseshoe region. With the objective of "protecting what is valuable", Section 4.2.7 of the Growth Plan, 2019 states:

1. Cultural heritage resources will be conserved in order to foster a sense of place and benefit communities, particularly in strategic growth areas.

The proposed development conforms to the objectives of the Growth Plan as it protects the cultural heritage resources on and adjacent to the Site to help foster a sense of place and benefit the community.

City of Toronto Official Plan

Section 3.1.6 of the City of Toronto Official Plan (OP) contains policies concerning development on or adjacent to heritage properties.

Policy 2 states:

Properties and Heritage Conservation Districts of potential cultural heritage value or interest will be identified and evaluated to determine their cultural heritage value or interest consistent with provincial regulations, where applicable, and will include the consideration of cultural heritage values including design or physical value, historical or associative value and contextual value. The evaluation of cultural heritage value of a Heritage Conservation District may also consider social or community value and natural or scientific value. The contributions of Toronto's diverse cultures will be considered in determining the cultural heritage value of properties on the Heritage Register.

Policy 3 states:

Heritage properties of cultural heritage value or interest properties, including Heritage Conservation Districts and archaeological sites that are publicly known will be protected by being designated under the Ontario Heritage Act and/or included on the Heritage Register.

Policy 4 states:

Properties on the Heritage Register will be conserved and maintained consistent with the Standards and Guidelines for the Conservation of Historic Places in Canada, as revised from time to time and as adopted by Council.

Policy 5 states:

Proposed alterations, development, and/or public works on or adjacent to, a property on the Heritage Register will ensure that the integrity of the heritage property's cultural heritage value and attributes will be retained, prior to work commencing on the property and to the satisfaction of the City. Where a Heritage Impact Assessment is required in Schedule 3 of the Official Plan, it will describe and assess the potential impacts and mitigation strategies for the proposed alteration, development or public work.

Policy 22 states:

Heritage Impact Assessment will address all applicable heritage conservation policies of the Official Plan and the assessment will demonstrate conservation options and mitigation measures consistent with those policies. A Heritage Impact Assessment shall be consistent with those policies. A Heritage Impact Assessment shall be considered when determining how a heritage property is to be conserved.

Policy 23 states:

A Heritage Impact Assessment will evaluate the impact of a proposed alteration to a property on the Heritage Register, and/or to properties adjacent to a property on the Heritage Register, to the satisfaction of the City.

Policy 24 states:

Heritage Impact Assessment will be required for the proposed demolition of a property on the Heritage Register. Where demolition of a property adjacent to a property on the Heritage Register is proposed, the City may require a study on the implications of the demolition on the structural integrity of the property on the Heritage Register.

Policy 26 states:

New construction on, or adjacent to, a property on the Heritage Register will be designed to conserve the cultural heritage values, attributes and character of that property and to mitigate visual and physical impact on it.

Policy 47 states:

Those religious heritage properties that remain in active use for worship purposes will be subject to the policies of this Section of the Plan which, in the event of any conflict, will take precedence over the other policies of this Plan.

Policy 49 states:

The liturgical elements of any religious heritage property in active use for worship shall be excluded from the heritage conservation provisions of this Plan. For the purposes of this section, “liturgical element” means a building element, ornament or decoration that is a symbol or material thing traditionally considered by a religious organization to be part of the rites of public worship.

Policy 51 states:

So long as the place of worship remains in active use for religious purposes interior alterations related to the rites of worship including removal, alteration or installation of structures, fixtures and/or liturgical elements will not be subject to the Heritage policies of this Plan.

The proposed development maintains the integrity of the property’s cultural heritage value and identified heritage attributes. This Heritage Impact Assessment was undertaken to address the heritage conservation policies and assess the impact of the proposed alterations to the designated heritage Site.

The proposed new construction has incorporated measures designed to mitigate the visual and physical impact of the proposed development on the heritage building, thereby conserving the cultural heritage values and attributes of the property and adjacent heritage resources.

The proposed development fulfills the intent of Official Plan Chapter 3.1.6, Policies 47, 49 and 51 related to Heritage Places of Worship through the exclusion of liturgical elements within the Site from heritage conservation provisions to allow the Congregation sufficient space for new programming and place of worship.

38 WALMER ROAD SETTLEMENT OFFER **R1**

October 25, 2024

WITHOUT PREJUDICE

HARIRI PONTARINI
ARCHITECTS

CONTENTS

Plans:

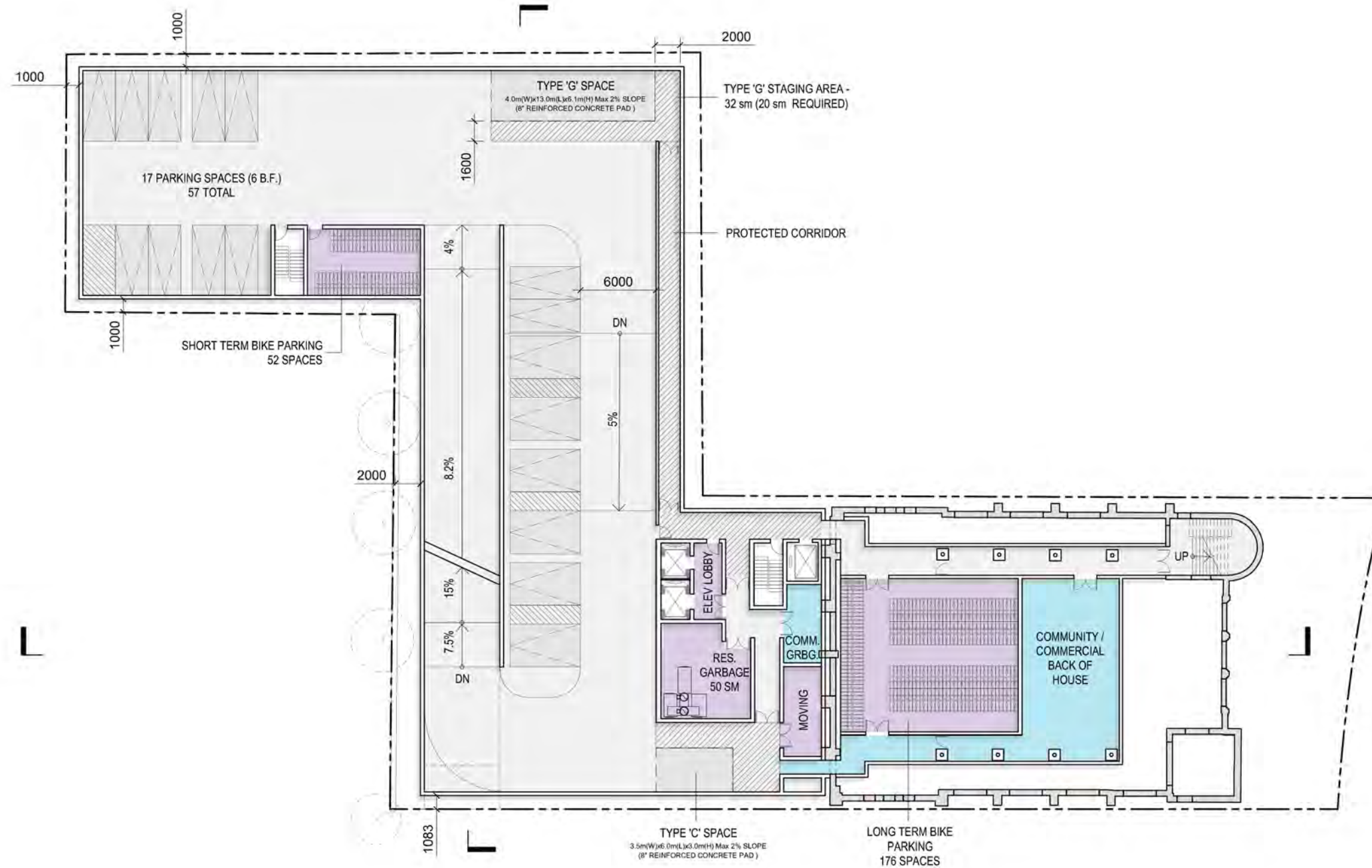
- Site Plan
- Level P1
- Level P2
- Ground Floor
- Second Floor
- Third Floor
- Fourth Floor
- Fifth + Sixth Floor
- Seventh Floor
- Eighth Floor
- Typical Tower Floor (levels 9-25)

Elevations:

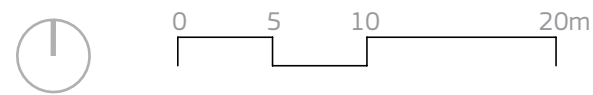
- South Elevation
- North Elevation
- East Elevation
- West Elevation

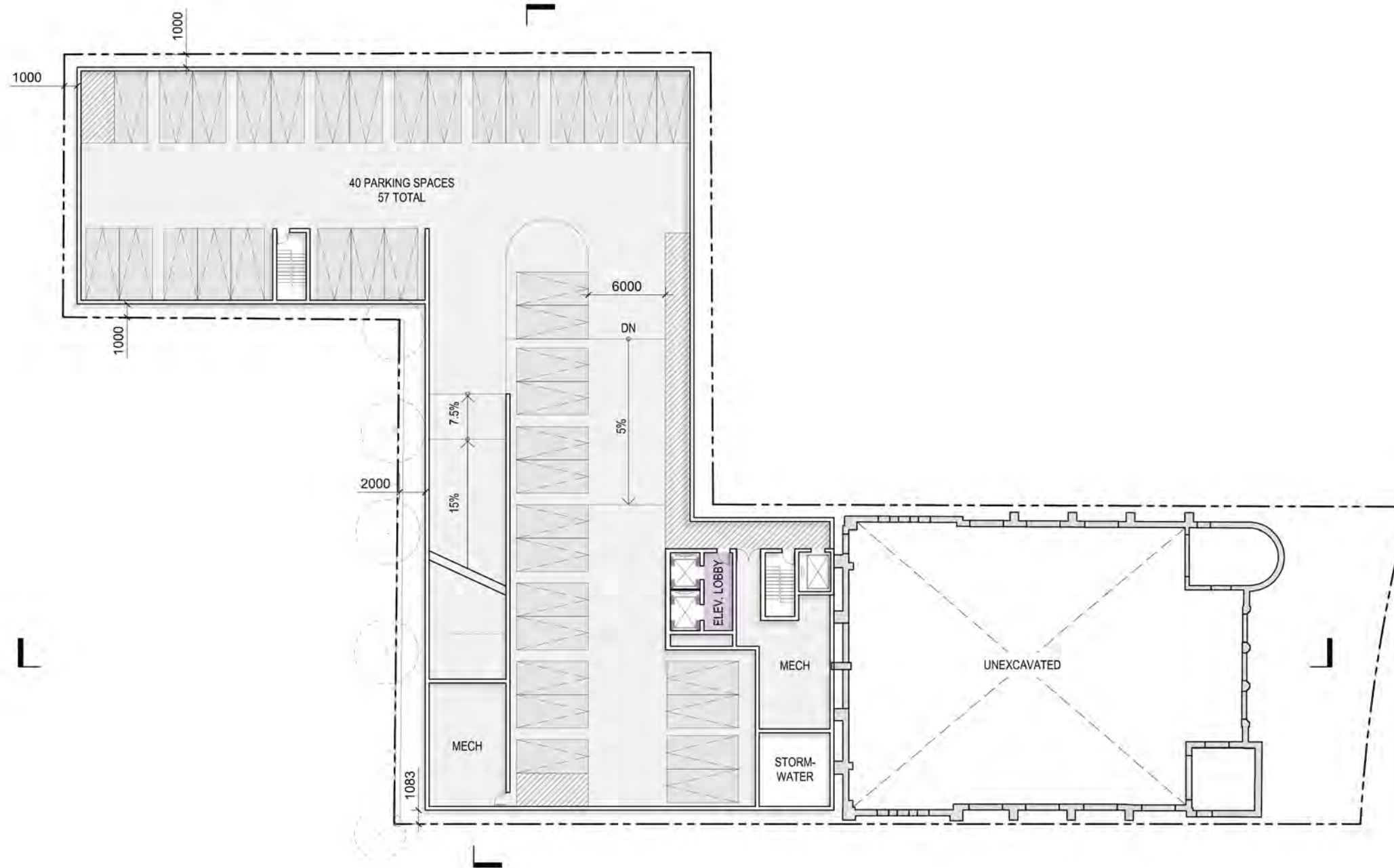
Massing Views

Statistics

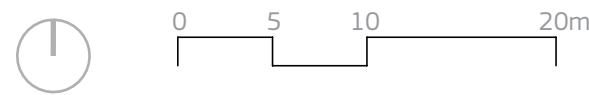


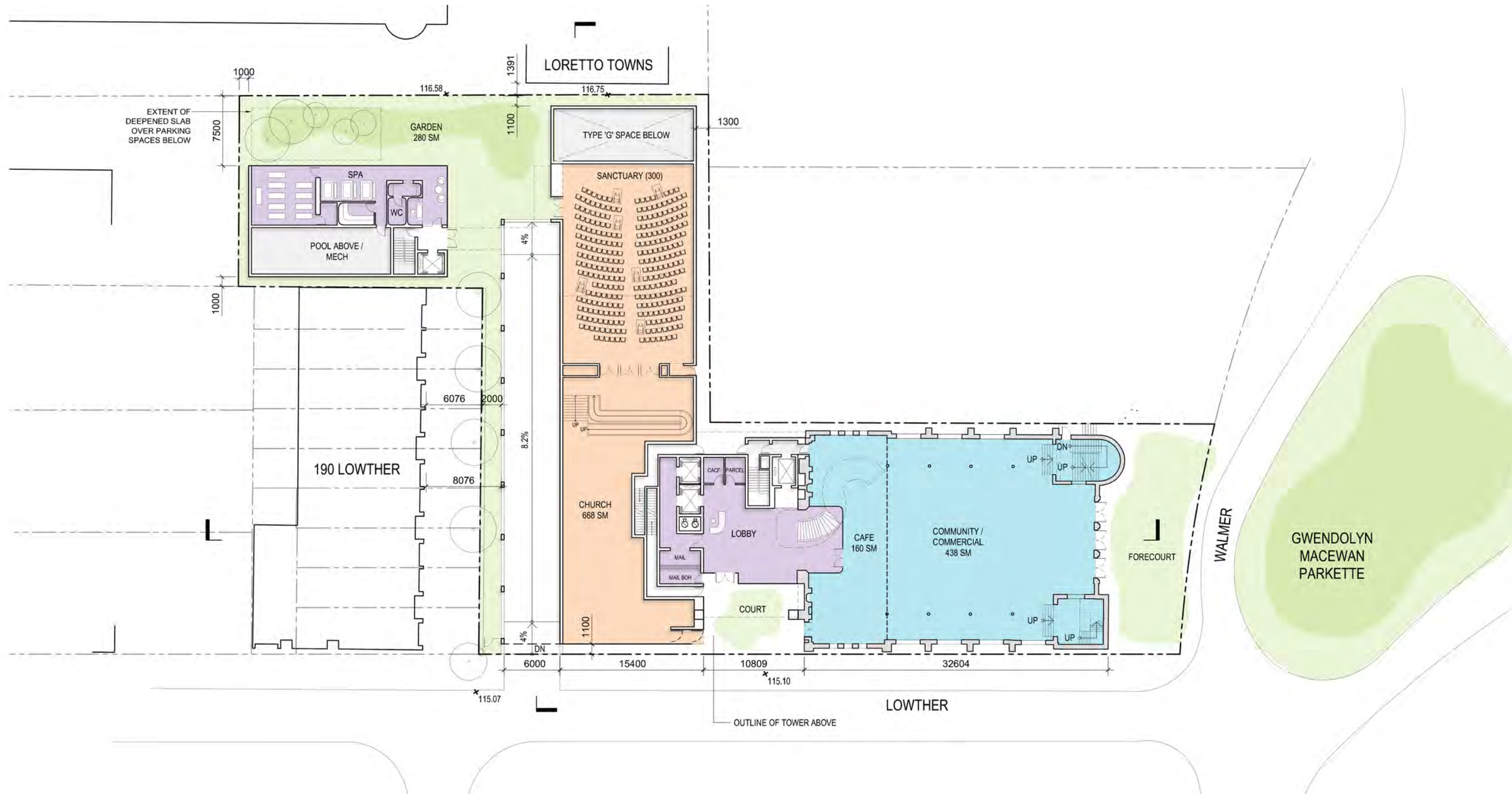
PARKING LEVEL P1



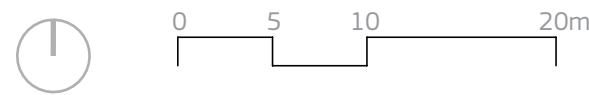


PARKING LEVEL P2



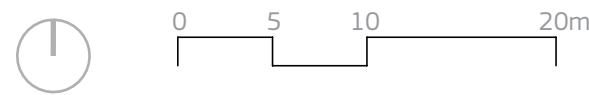


GROUND FLOOR



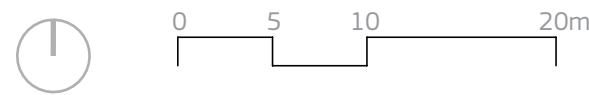


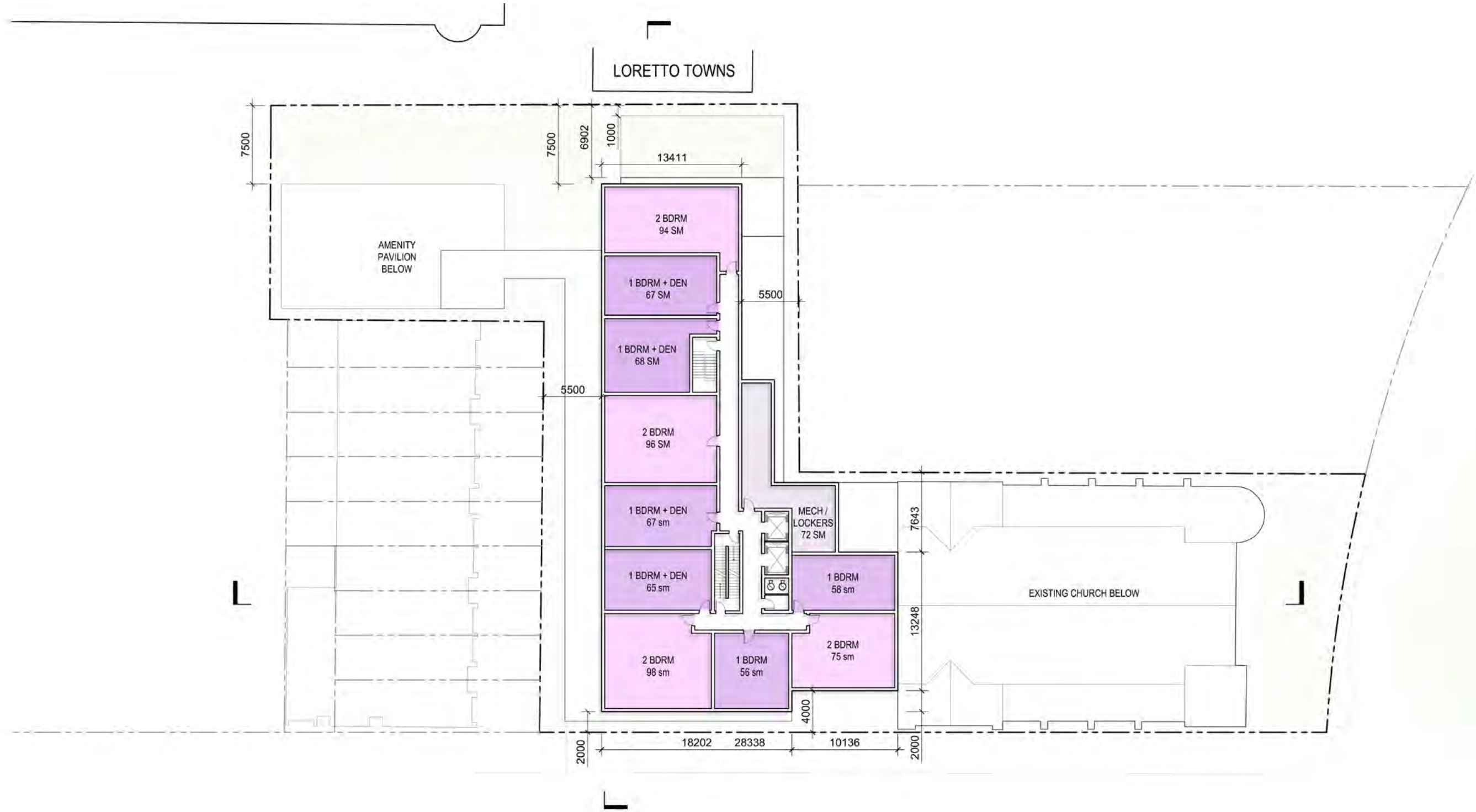
THIRD FLOOR



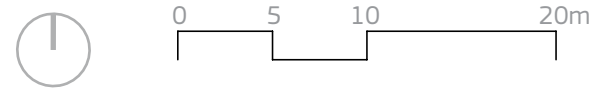


FOURTH FLOOR



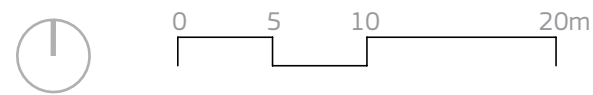


FIFTH + SIXTH FLOOR



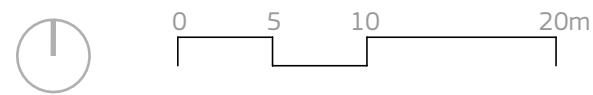


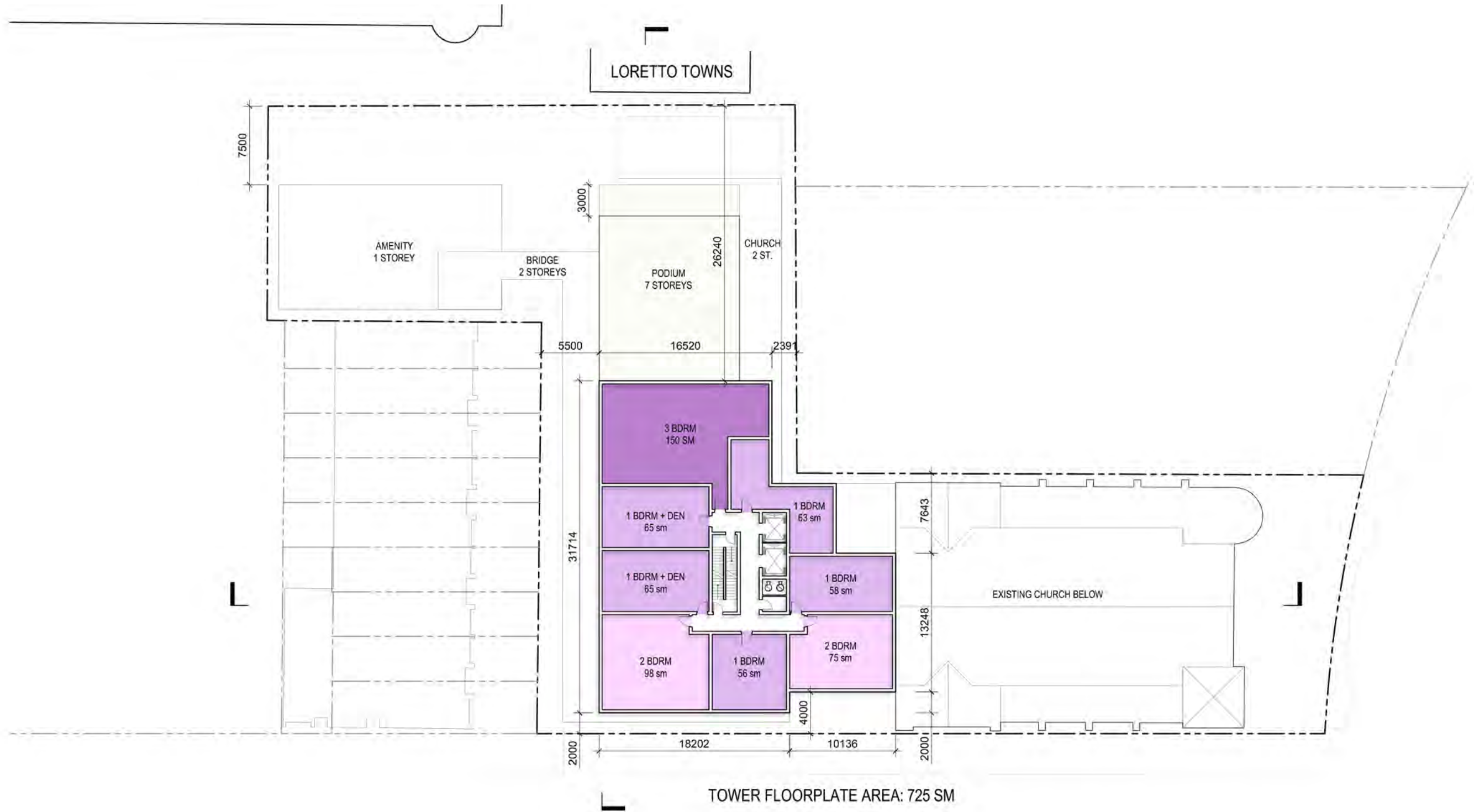
SEVENTH FLOOR



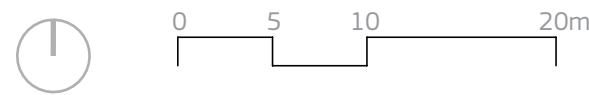


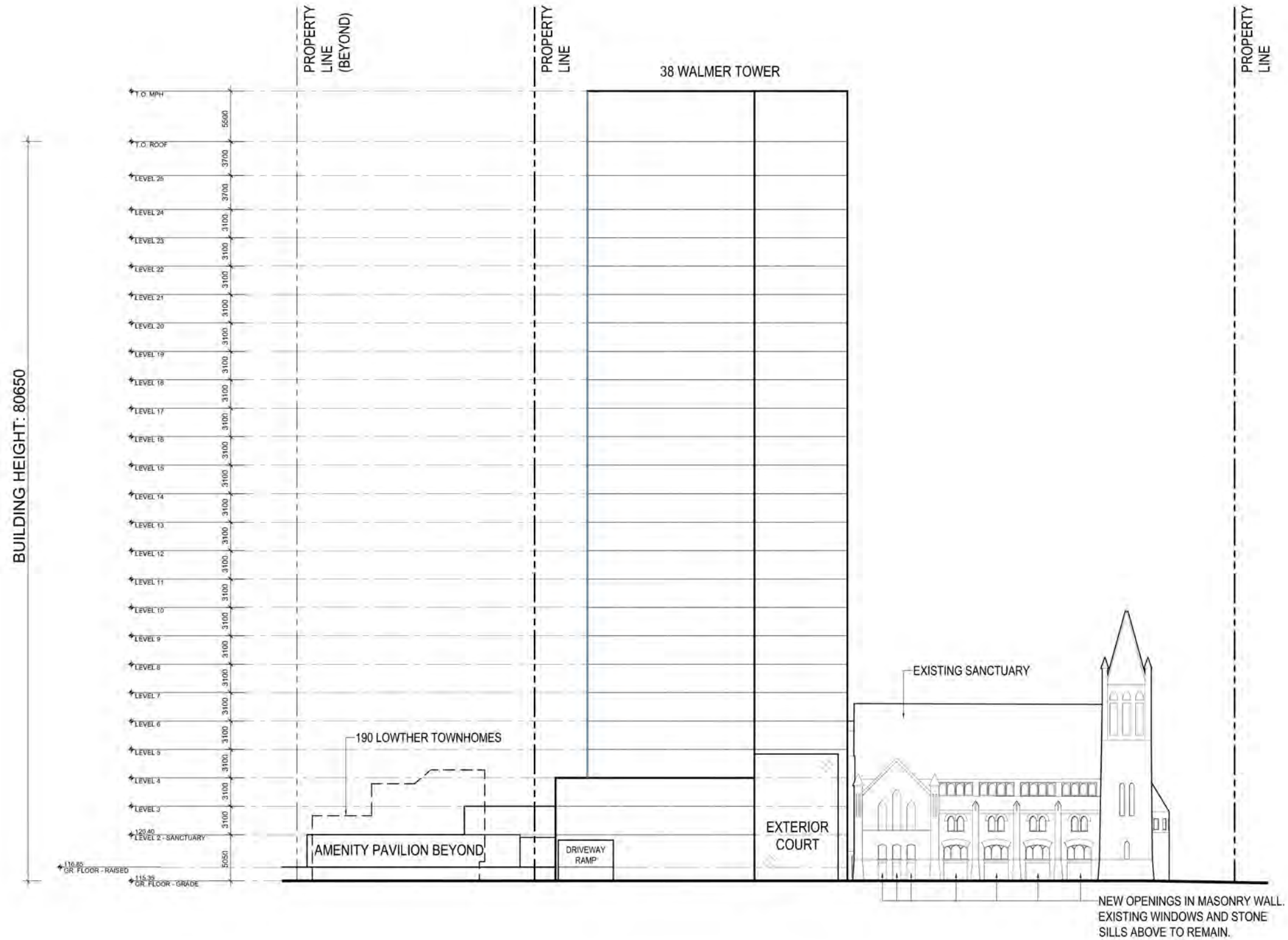
EIGHTH FLOOR



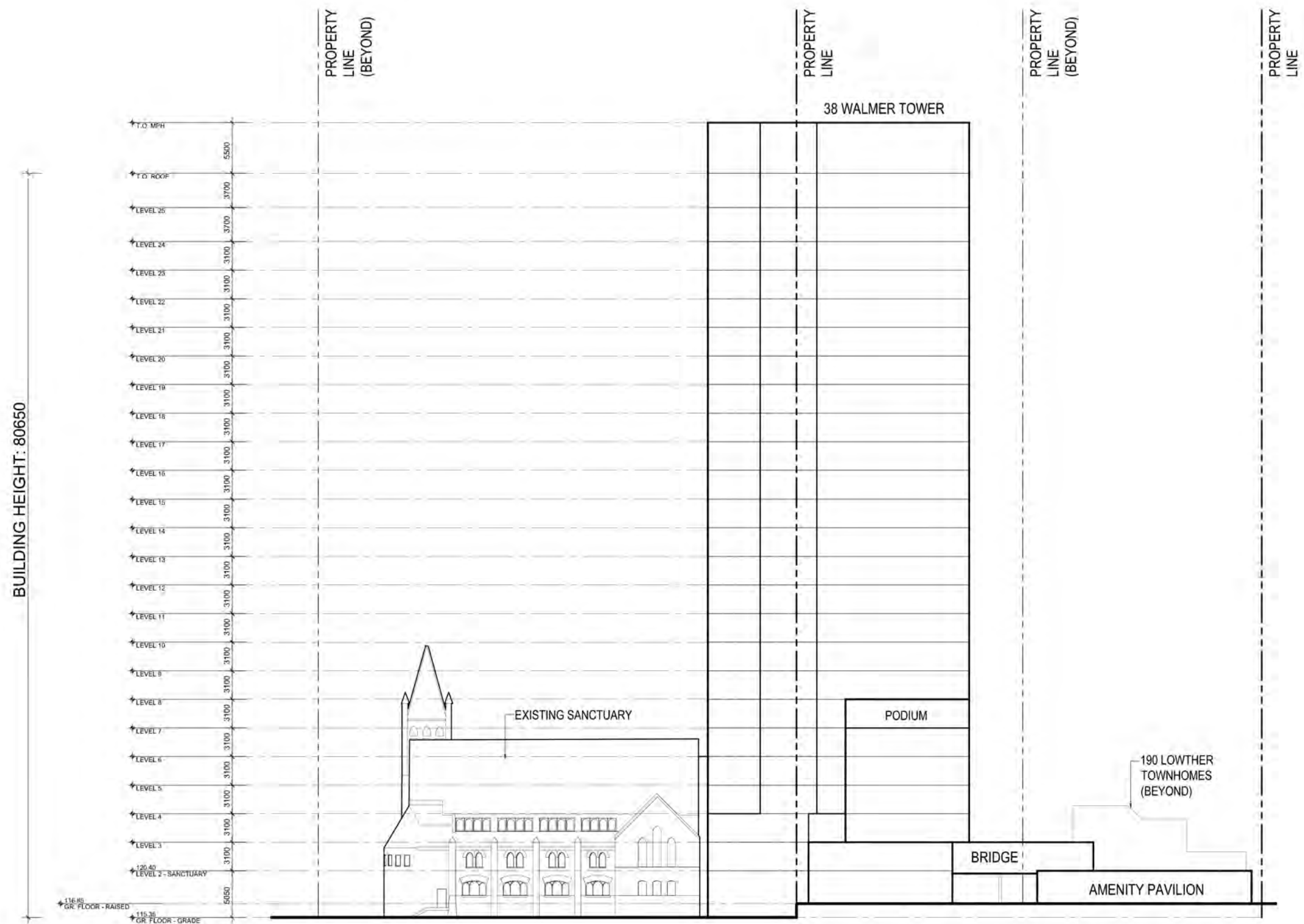


TYP. TOWER FLOOR - LEVEL 9-25





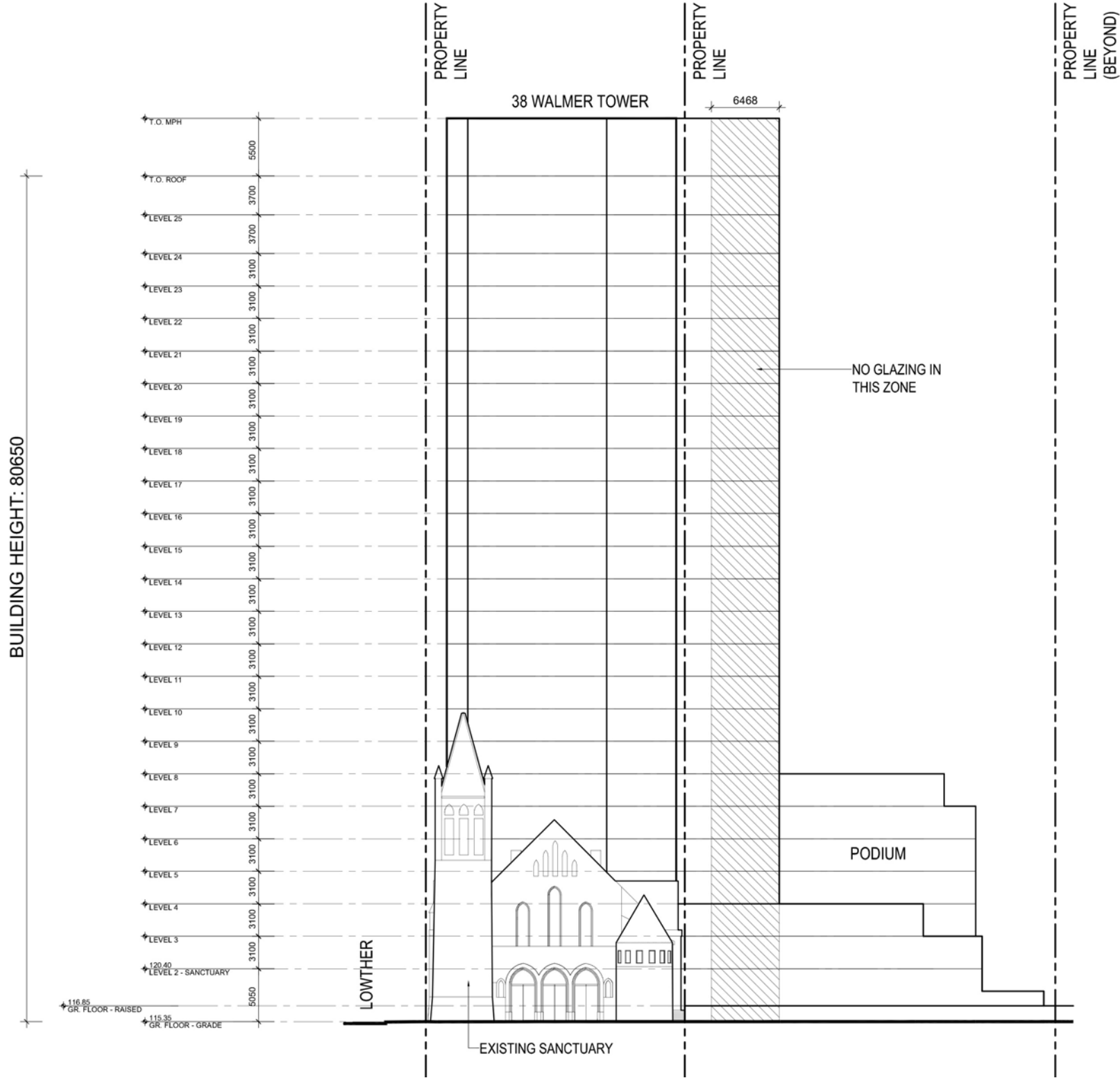
SOUTH ELEVATION

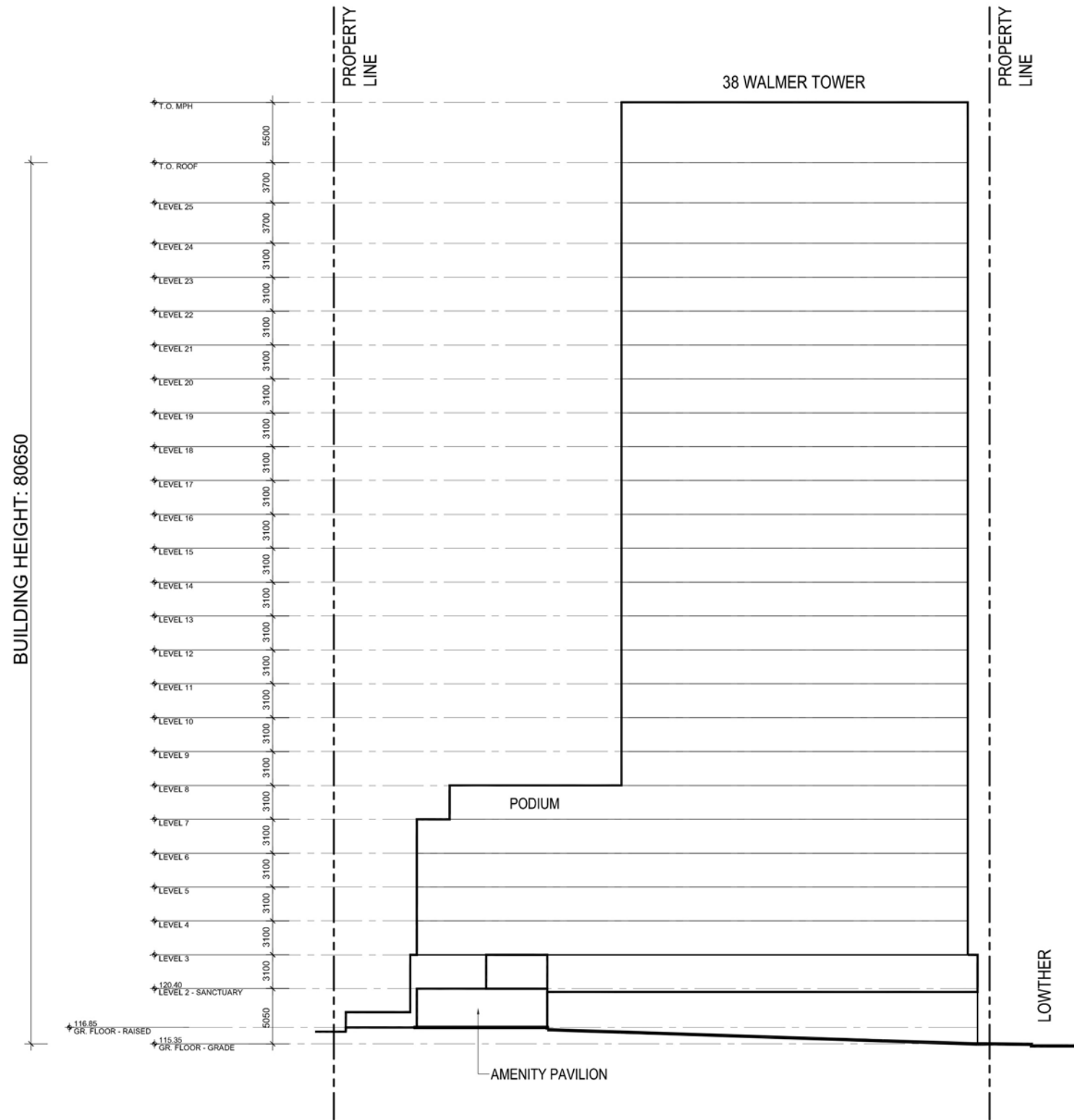


NORTH ELEVATION

EAST ELEVATION

WITHOUT PREJUDICE

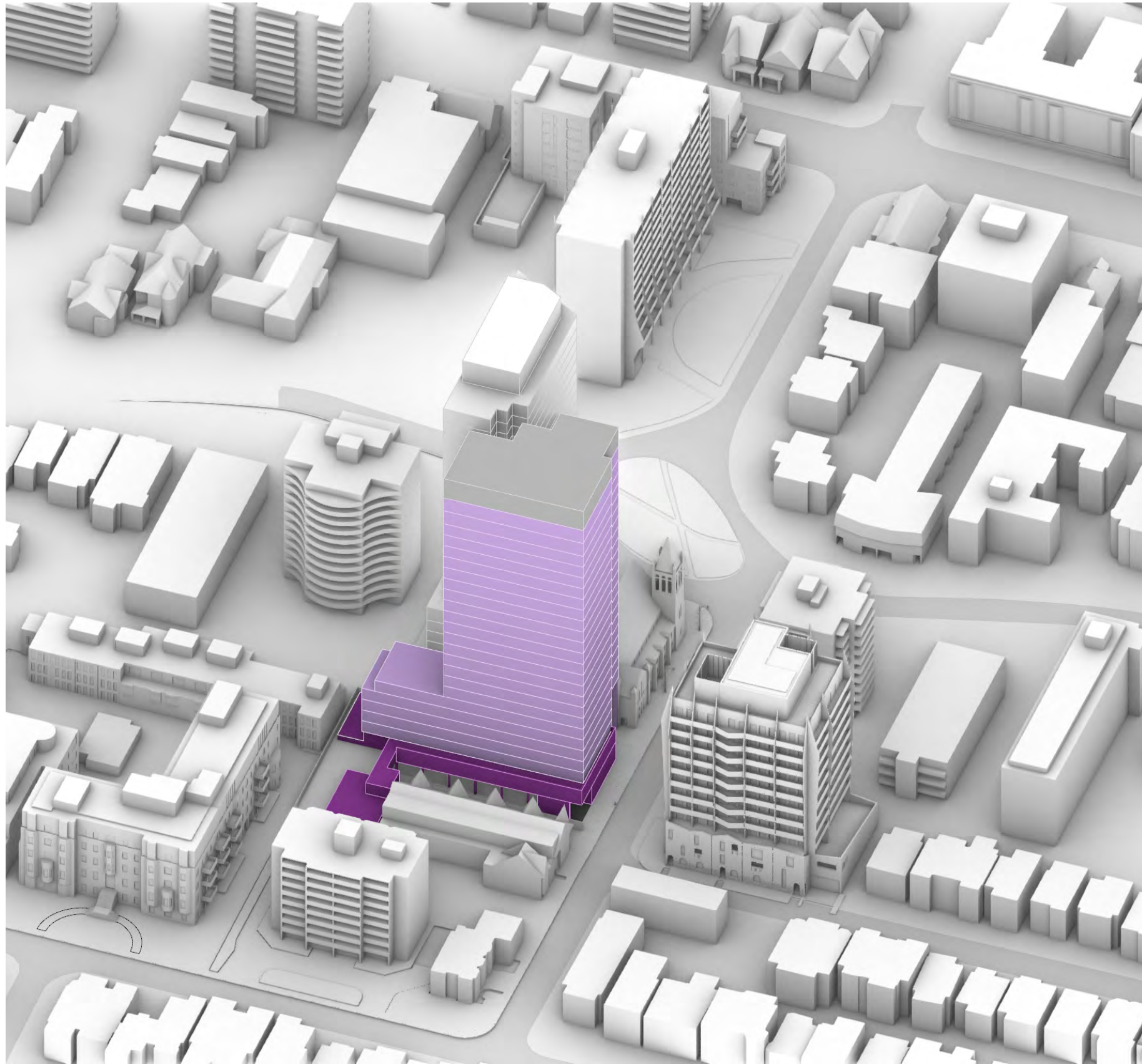




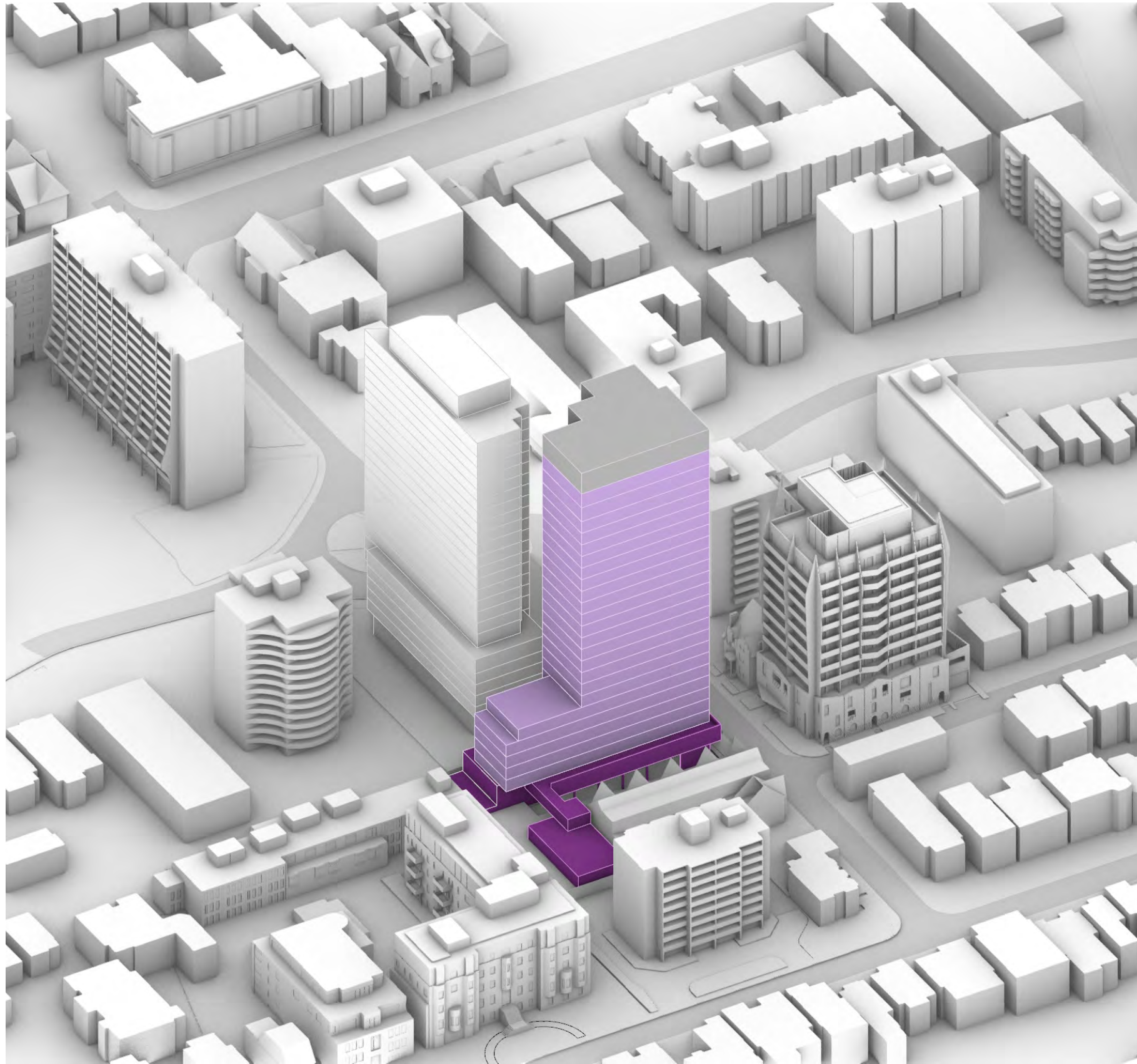
WEST ELEVATION



MASSING VIEW - SOUTH-EAST ISOMETRIC



MASSING VIEW - SOUTH-WEST ISOMETRIC



MASSING VIEW - NORTH-WEST ISOMETRIC



MASSING VIEW - NORTH-EAST ISOMETRIC



PERSPECTIVE VIEWS - VIEW FROM WALMER AND LOWTHER



PERSPECTIVE VIEWS - VIEW TOWARDS COURT AT LOWTHER

			RESIDENTIAL											
25 STOREYS - 80.65 m			GROSS BUILDING AREA (GBA)	Exclusions as per Zoning By-law 569-2013										GROSS FLOOR AREA (GFA)
				BELOW GRADE	MECHANICAL PENTHOUSE	BALCONIES	EXIT STAIRS	ELEVATOR SHAFTS	GARBAGE CHUTES	LOADING SPACE / PARKING RAMP	BIKE STORAGE ABOVE GRADE	OPEN TO BELOW	INDOOR AMENITY	
	U/G	P1	2,215.0	2,215.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
		P2	1,960.0	1,960.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0
	PODIUM	1	549.0	0.0	0.0	0.0	87.5	35.5	4.5	0.0	0.0		141.5	280.0
		2	765.0	0.0	0.0	0.0	63.5	35.5	4.5	0.0	0.0		100.5	561.0
		3	1,046.0	0.0	0.0	0.0	54.0	27.0	4.5	0.0	0.0	89.0	0.0	871.5
		4	939.5	0.0	0.0	0.0	35.0	16.5	4.5	0.0	0.0	99.0	0.0	784.5
		5	976.0	0.0	0.0	0.0	35.0	16.5	4.5	0.0	0.0		0.0	920.0
		6	976.0	0.0	0.0	0.0	35.0	16.5	4.5	0.0	0.0		0.0	920.0
		7	935.5	0.0	0.0	0.0	35.0	16.5	4.5	0.0	0.0		0.0	879.5
	TOWER	8	725.0	0.0	0.0	0.0	20.5	17.0	4.5	0.0	0.0		151.0	532.0
		9	725.0	0.0	0.0	0.0	20.5	17.0	4.5	0.0	0.0		0.0	683.0
		10	725.0	0.0	0.0	0.0	20.5	17.0	4.5	0.0	0.0		0.0	683.0
		11	725.0	0.0	0.0	0.0	20.5	17.0	4.5	0.0	0.0		0.0	683.0
		12	725.0	0.0	0.0	0.0	20.5	17.0	4.5	0.0	0.0		0.0	683.0
		13	725.0	0.0	0.0	0.0	20.5	17.0	4.5	0.0	0.0		0.0	683.0
		14	725.0	0.0	0.0	0.0	20.5	17.0	4.5	0.0	0.0		0.0	683.0
		15	725.0	0.0	0.0	0.0	20.5	17.0	4.5	0.0	0.0		0.0	683.0
		16	725.0	0.0	0.0	0.0	20.5	17.0	4.5	0.0	0.0		0.0	683.0
		17	725.0	0.0	0.0	0.0	20.5	17.0	4.5	0.0	0.0		0.0	683.0
		18	725.0	0.0	0.0	0.0	20.5	17.0	4.5	0.0	0.0		0.0	683.0
		19	725.0	0.0	0.0	0.0	20.5	17.0	4.5	0.0	0.0		0.0	683.0
		20	725.0	0.0	0.0	0.0	20.5	17.0	4.5	0.0	0.0		0.0	683.0
		21	725.0	0.0	0.0	0.0	20.5	17.0	4.5	0.0	0.0		0.0	683.0
		22	725.0	0.0	0.0	0.0	20.5	17.0	4.5	0.0	0.0		0.0	683.0
		23	725.0	0.0	0.0	0.0	20.5	17.0	4.5	0.0	0.0		0.0	683.0
		24	725.0	0.0	0.0	0.0	20.5	17.0	4.5	0.0	0.0		0.0	683.0
		25	725.0	0.0	0.0	0.0	20.5	17.0	4.5	0.0	0.0		0.0	683.0
MPH	725.0	0.0	725.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0		
TOTAL (m²)			24,137.0	4,175.0	725.0	0.0	714.0	470.0	112.5	0.0	0.0	393.0	17,547.5	
TOTAL (ft²)			259,808.3	44,939.3	7,803.8	0.0	7,685.4	5,059.0	1,210.9	0.0	0.0	4,230.2	188,879.5	

STATISTICS - RESIDENTIAL PORTION

TOTAL BUILDING		RESIDENTIAL UNIT MIX				AMENITY		CAR PARKING					
TOTAL GBA	TOTAL GFA	1 BED	2 BED	3 BED	TOTAL	INDOOR	OUTDOOR	Req. Per By-Law 89-2022	-				Per Level
									Residential	Visitor	Church	BF	
2,439.0	0.0	0	0	0	0	0	0	P1	8	3	8	6	19
1,960.0	0.0	0	0	0	0	0	0	P2	38	-	-	-	38
1,931.0	1,589.0	0	0	0	0	142	168	TOTAL					57
2,029.5	1,481.0	0	0	0	0	101	220	BICYCLE PARKING STATS					
1,046.0	871.5	4	2	1	7	0	0	Req. Per By-Law 569				Per Level	
939.5	784.5	3	3	1	7	0	0		Long Term		Short Term		
976.0	920.0	6	4	0	10	0	0	P1	183		40		223
976.0	920.0	6	4	0	10	0	0	P2	-		-		-
935.5	879.5	5	3	1	9	0	0	TOTAL					223
725.0	532.0	5	2	0	7	131	258	LOADING					
725.0	683.0	5	2	1	8	0	0	Req. Per By-Law 569	1 TYPE G			Per Level	
725.0	683.0	5	2	1	8	0	0		Quantity		TYPE		
725.0	683.0	5	2	1	8	0	0	P1	2		TYPE C+G		2
725.0	683.0	5	2	1	8	0	0	P2	-		-		-
725.0	683.0	5	2	1	8	0	0	TOTAL					2
725.0	683.0	5	2	1	8	0	0						
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725.0													



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June 30, 2022
Revised July 5, 2022
Revised July 6, 2022

TAS
491 Eglinton Ave. West
Toronto, ON M5N 1A8

Attn: Ms. Vedrana Maric

Re: 38 Walmer Road & 188 Lowther Avenue
Heritage Retention
Our Project No. 22074

Dear Ms. Maric,

The portion of the existing building to be retained at 38 Walmer Road consists of a 2-storey building with a partial basement best described as a crawl space. The building was originally a sanctuary space for church congregation, from our understanding, the original Sanctuary structure was built in 1892 and consists of load bearing masonry exterior walls. The interior consists of cast iron columns and long span wood trusses that support the existing wood framed roof. The cast iron columns are supported by brick piers which are visible in the crawl space. The Ground Floor framing is supported on a series of brick piers in the crawl space which in turn supports the wood beam and wood floor framing. Similarly, the partial 2nd Floor framing consists of wood beams spanning from the cast iron columns to the exterior masonry walls.

It is our understanding that only the 1892 Sanctuary building will be retained in-situ and the Sunday School and Link addition will be demolished to allow for the proposed future development. Based on this, no temporary exterior or interior retention structure is required to support the existing building as all 4 of the existing perimeter walls from the original building are still in place and will not be removed as part of the demolition process.

Special attention will need to be paid to the organ room area as it appears that a portion of the floor is cantilevering past the West extent of the wall to be retained. Options to manage this would be to completely demolish this portion of the floor during the initial demolish phase, as it is not apart of the future developments plans, or demolish up to the West wall and provide temporary reshoring.

As part of the proposed development, the existing horseshoe shaped balcony will be demolished and replaced with a new full 2nd Floor. This can be accomplished structurally with new steel framing for the floor system in addition to supplementary new steel columns supported on new foundations. No new additional load will be applied to the existing cast iron columns. In order to allow for a more open concept in the congregation space, it is also our understanding that the existing cast iron columns will be removed from Ground to 2nd Floor. The existing cast iron column from 2nd Floor to the underside of the existing roof truss will be supported on new long span steel trusses, which will be supported on new steel columns being supported on new foundations. Prior to installation of these new steel trusses on 2nd Floor, temporary reshoring for the existing roof will need to be installed to allow the existing cast iron columns to be cut off from Ground to 2nd Floor. New trusses will also need to be pre-loaded to minimize deflection.

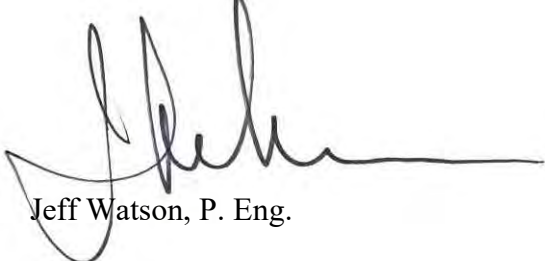
It is our understanding that the Ground Floor framing will also be removed and rebuilt to allow the space to be more accessible to the existing grade on the exterior. As the existing Ground Floor framing is independently supported from the rest of the vertical structure, it can be removed and replaced with either a slab on grade, supported on top of a backfilled crawl space, or on a suspended slab over a new basement space. The extent of the basement would need to be reviewed in terms of depth and proximity to the existing perimeter walls to ensure that the existing foundations are not being undermined, in which case local underpinning may be required. It is to be noted that if existing, the Ground Floor framing is removed, exterior grade is not to exceed 1200mm above the base of the crawl space otherwise temporary bracing, sequenced demolition or counter backfill may be required on the interior of the crawl space to prevent any movement of the existing exterior walls.

Based on our review, we are of the opinion that the existing building can be largely retained in situ for the duration of excavation and construction of the proposed adjacent development. This conclusion was based on targeted test locations opened in the existing crawl space, Ground Floor and 2nd Floor, to expose and verify the existing structure and framing. Therefore, in our opinion, the proposed reconfiguration of the Sanctuary building is structurally feasible.

Should you have any questions or require anything further, please do not hesitate to contact this office.

Yours very truly,

JABLONSKY, AST AND PARTNERS
CONSULTING ENGINEERS



Jeff Watson, P. Eng.



cc: Kevin Deonaraine, JAP