

2500 DON MILLS

NORTH YORK, ONTARIO

CLIENT:

MARLIN SPRING

Toronto, Ontario

ARCHITECT:

WALLMAN ARCHITECTS

99 Spadina Ave, Suite 600, Toronto, Ontario, M5V 3P8

ISSUED FOR OPA, ZBA and SPA:

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No	Issued For	Date
1	Issued for OPA, ZBA	2022-03-31
2	Issued for OPA, ZBA	2023-09-27
3	Issued for OPA, ZBA	2024-05-17

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Drawing Title

COVER SHEET &
DRAWING LIST

Project

MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

Scale

Drawn by

Checked by

Project No.

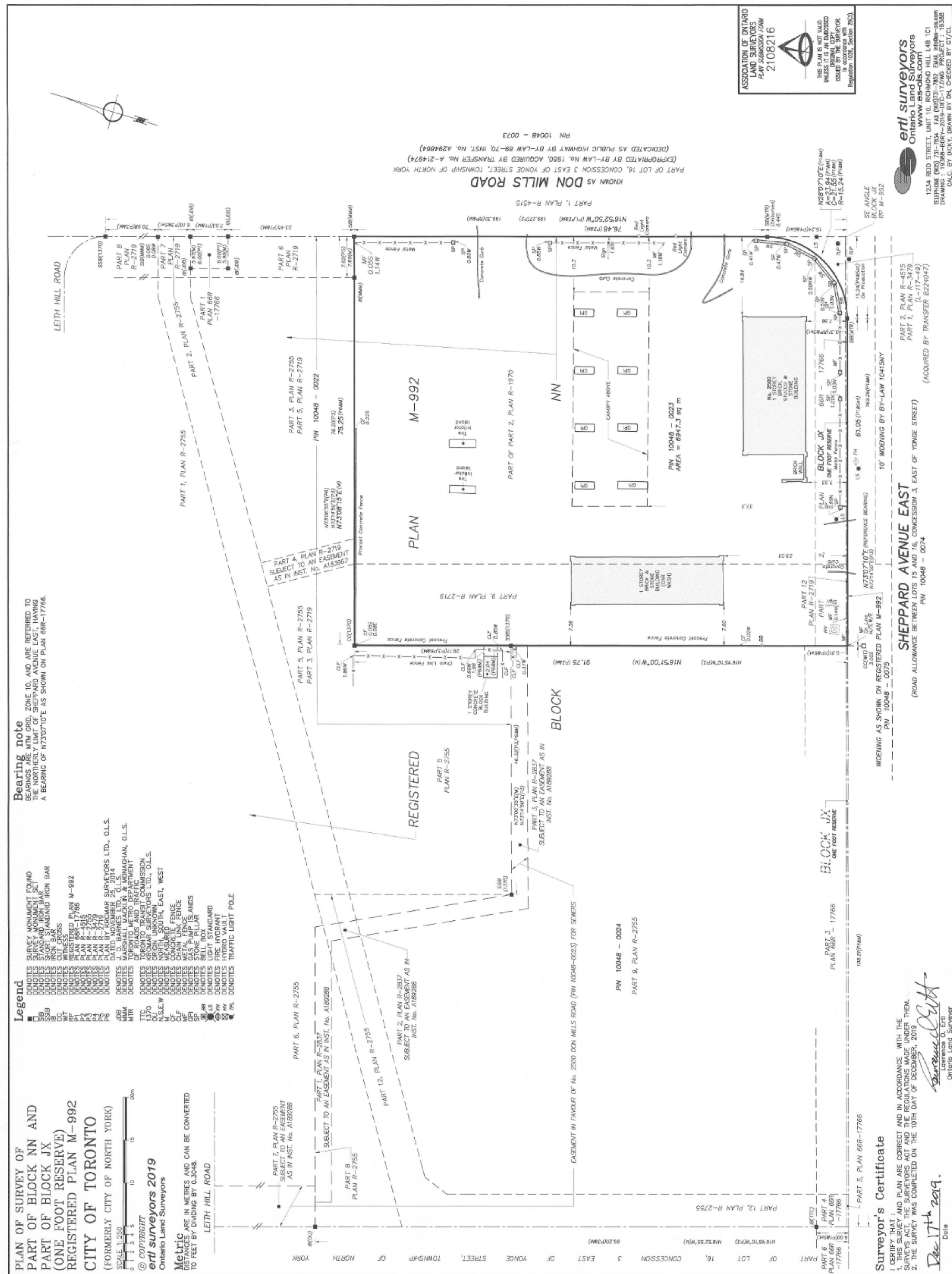
21-09

Date

07/31/2023

Drawing No.

A0.00



No	Issued For	Date
1	Issued for OPA, ZBA	2022-03-31
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Drawing Title

LEGAL SURVEY

Project

MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

Scale

Drawn by

Checked by

Project No.

Date _____

Drawing No.

A0.01

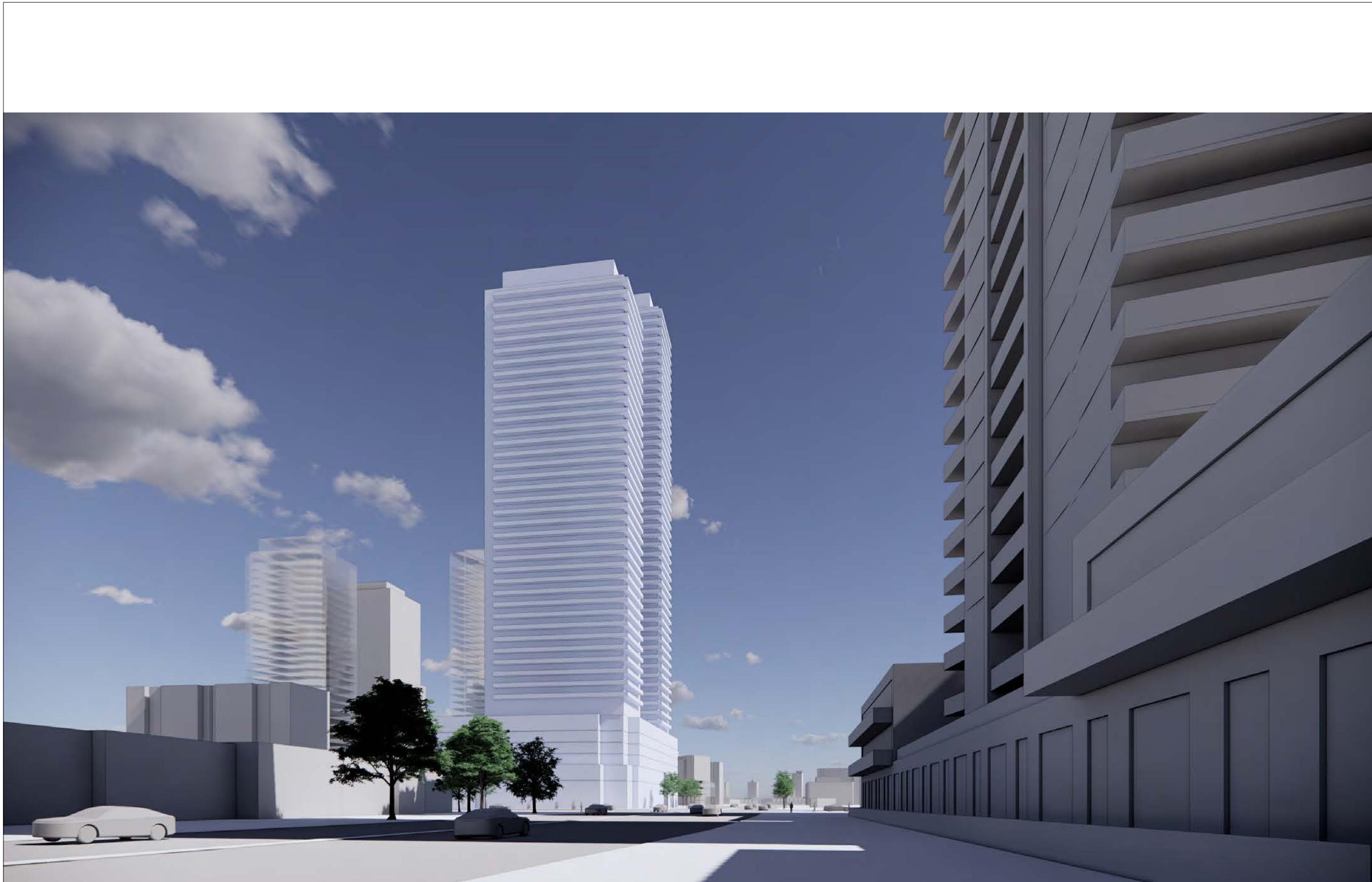
2500 DON MILLS

PROJECT STATISTICS (BY LAW 569-2013)		
SITE AREA :		
1) Road Widening Area	266.9	m ²
2) Site Area	6,981.2	m ²
OVERALL SITE AREA		
10% parkland Deduction	668.1	m ²
GROSS FLOOR AREA	72,662.7	m ²
- RESIDENTIAL GFA	71,566.1	m ²
- NON-RES. GFA	1,096.5	m ²
FSI	10.46	
BUILDING HEIGHT	52 + 43 Storey	

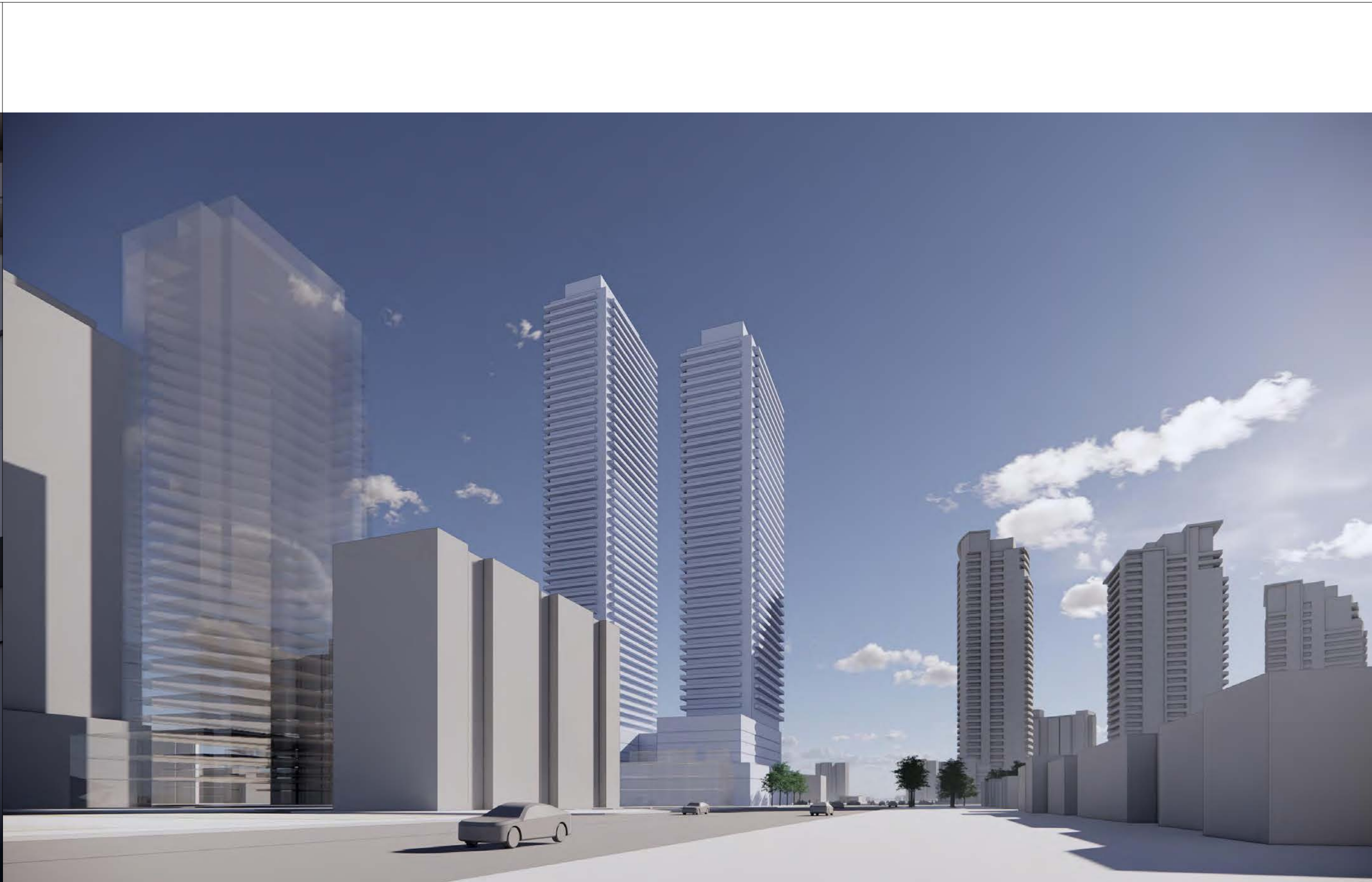
Levels	UNIT SUMMARY							Total Units	TOTAL GCA	Deductions											TOTAL GFA		
	STUDIO	1 BR	1BR+D (NO HUNG)	2BR	2BR+D	3BR																	
							Mech/Elec Rm			Elevator	Service Shaft	Garbage Shaft	Amenity Deduction	Loading Deduction	Ext Stairs	Below Grade Storage	Voids	Parking	Bic. Parking / Storage Deduction	Total Deductions			
									(m²)	(m²)	(m²)	(m²)	(m²)	(m²)	(m²)	(m²)	(m²)	(m²)	(m²)	(m²)	(m²)		
BELOW GRADE																							
	P1	Res. Parking							5,348.6	57,571.9											4,918.9	429.7	4,624.8
	P2	Res. Parking							4,211.1	45,392.5											4,149.7	67.4	725.4
	P3	Res. Parking							4,211.1	45,992.5											4,149.7	67.4	725.5
	P4	Res. Parking							1,879.2	20,277.5											1,841.7	37.5	403.6
	TOTAL BELOW GRADE								15,962.0	168,584.3	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	15,960.0	602.0	6,076.7

TOWER A : 56 Storey / 597 Units / 6 Elevators																							
PODIUM AND TOWER																							
Ground Floor		Res. Lobby/Retail	0	0	0	0	0	0	3	928.5	9,994.1	38.0			1.7	0.0	95.0	63.5			322.5	666.0	6,522.6
Mezz		Residential	0	0	0	0	0	0	0	928.5	9,994.1	38.0								928.5	0.0	-0.2	
2		Bikes / Res. / Amenity	0	3	1	0	0	0	2	6	996.0	9,752.1	38.0			1	173.9	52.7		928.5			
3		Residential / Podium	0	4	5	2	1	0	3	15	1,067.3	11,380.7	35.1							984.7	984.7	6,999.2	
4		Residential / Podium	0	4	5	2	1	0	3	15	1,067.3	11,380.7	35.1							984.7	984.7	10,599.2	
5		Residential / Podium	0	4	5	2	1	0	3	15	1,067.3	11,380.7	35.1							72.6	984.7	10,599.2	
6		Residential / Podium	0	4	5	2	1	0	3	15	1,067.3	11,380.7	35.1							72.6	984.7	10,599.2	
7		Amenity / Residential	0	4	0	0	2	1	0	7	750.0	8,072.9	37.6			2	252.7	24.2		315.7	434.3	6,674.7	
8		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
9		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
10		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
11		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
12		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
13		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
14		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
15		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
16		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
17		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
18		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
19		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
20		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
21		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
22		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
23		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
24		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
25		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
26		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
27		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
28		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
29		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
30		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
31		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
32		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
33		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
34		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
35		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
36		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
37		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
38		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
39		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
40		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
41		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
42		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
43		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
44		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
45		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
46		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
47		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
48		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
49		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
50		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
51		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
52		Residential	0	5	3	0	3	0	1	12	750.0	8,072.9	35.1							60.5	689.5	7,421.7	
MPH		MPH									541.0	5,823.5	541.0	0.0	0.0	0.0	0.0	0.0	0.0	541.0	0.0	0.0	
TOTAL ABOVE GRADE										42,033.2	452,441.4	541.0	1,933.5	0.0	62.6	426.6	95.0	1,375.6	0.0	0.0	124.4	0.0	5,396.4

TOWER B : 43 Storey / 546 Units / 5 Elevators																									
PODIUM AND TOWER																									
Ground Floor	Res. Lobby/Retail	0	0	0	0	0	1	5	6	2,264.4	24,373.6	40.4	1.4	174.0	51.9	63.8	331.5	1,932.9	20,895.7						
Mezzanine	Residential	0	0	0	0	0	0	0	0	2,264.4	24,373.6	38.0	1.2	34.2				1,453.4	849.0	1,135.2					
2	Bikes / Res. / Amenity	1	4	1	1	0	0	1	12	2,169.1	23,399.1	35.1						1,219.5	886.5	791.2					
3	Residential / Podium	0	2	10	6	1	0	1	3	22	1,678.1	18,062.0	30.3					119.3	1,491.7	16,566.9					
4	Residential / Podium	0	3	10	6	1	0	4	24	1,673.6	18,014.0	30.6						68.1	1,605.5	17,281.0					
5	Residential / Podium	0	3	10	6	1	0	4	24	1,673.6	18,014.0	30.6						68.1	1,605.5	17,281.0					
6	Residential / Podium	0	3	10	6	1	0	4	24	1,673.6	18,014.0	30.6						68.1	1,605.5	17,281.0					
7	Amenity Residential	0	3	1	0	2	0	1	7	750.0	8,072.9	32.7	1.2	218.9	27.1			277.9	472.1	5,081.5					
8	Residential	0	4	4	0	3	0	1	12	750.0	8,072.9	30.6						54.0	684.0	7,469.9					
9	Residential	0	4	4	0	3	0	1	12	750.0	8,072.9	30.6						54.0	684.0	7,469.9					
10	Residential	0	4	4	0	3	0	1	12	750.0	8,072.9	30.6						54.0	684.0	7,469.9					
11	Residential	0	4	4	0	3	0	1	12	750.0	8,072.9	30.6						54.0	684.0	7,469.9					
12	Residential	0	4	4	0	3	0	1	12	750.0	8,072.9	30.6						54.0	684.0	7,469.9					
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32	Residential	0	4	4	0	3	0	1	12	750.0	8,072.9	30.6						54.0	684.0	7,469.9					
33	Residential	0	4	4	0	3	0	1	12	750.0	8,072.9	30.6						54.0	684.0	7,469.9					
34	Residential	0	4	4	0	3	0	1	12	750.0	8,072.9	30.6						54.0	684.0	7,469.9					
35	Residential	0	4	4	0	3	0	1	12	750.0	8,072.9	30.6						54.0	684.0	7,469.9					
36	Residential	0	4	4	0	3	0	1	12	750.0	8,072.9	30.6						54.0	684.0	7,469.9					
37	Residential	0	4	4	0	3	0	1	12	750.0	8,072.9	30.6						54.0	684.0	7,469.9					
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39	Residential	0	4	4	0	3	0	1	12	750.0	8,072.9	30.6						54.0	684.0	7,469.9					
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42	Residential	0	4	4	0	3	0	1	12	750.0	8,072.9	30.6						54.0	684.0	7,469.9					
43	Residential	0	4	4	0	3	0	1	12	750.0	8,072.9	30.6						54.0	684.0	7,469.9					
MPH		MPH	1	163	15	29	113	2	58	0	841.0	5,823.5	541.0	0				6,217.7	35,530.0	0.0	0.0				
TOTAL ABOVE GRADE			0%	30%	54%	5%	21%	0%	11%	551	41,681.1	448,687.1	541.0	1,388.4	0.0	53.0	1,334.5	114.0	2,098.6	0.0	0.0	63.8	6,217.7	35,530.0	351,407.0



1. VIEW FROM DON MILLS ROAD LOOKING NORTH



2. VIEW FROM SHEPPARD E. AVE LOOKING EAST



3. RESIDENTIAL ENTRANCE FOR SOUTH TOWER (VIEW FROM SHEPPARD E. AVE)



4. RESIDENTIAL ENTRANCE FOR NORTH TOWER (VIEW FROM DON MILLS ROAD)

No	Issued For	Date
1	Issued for OPA, ZBA	2024-05-17

WALLMANARCHITECTS

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Drawing Title

PRELIMINARY MASSING VIEWS

Project
MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

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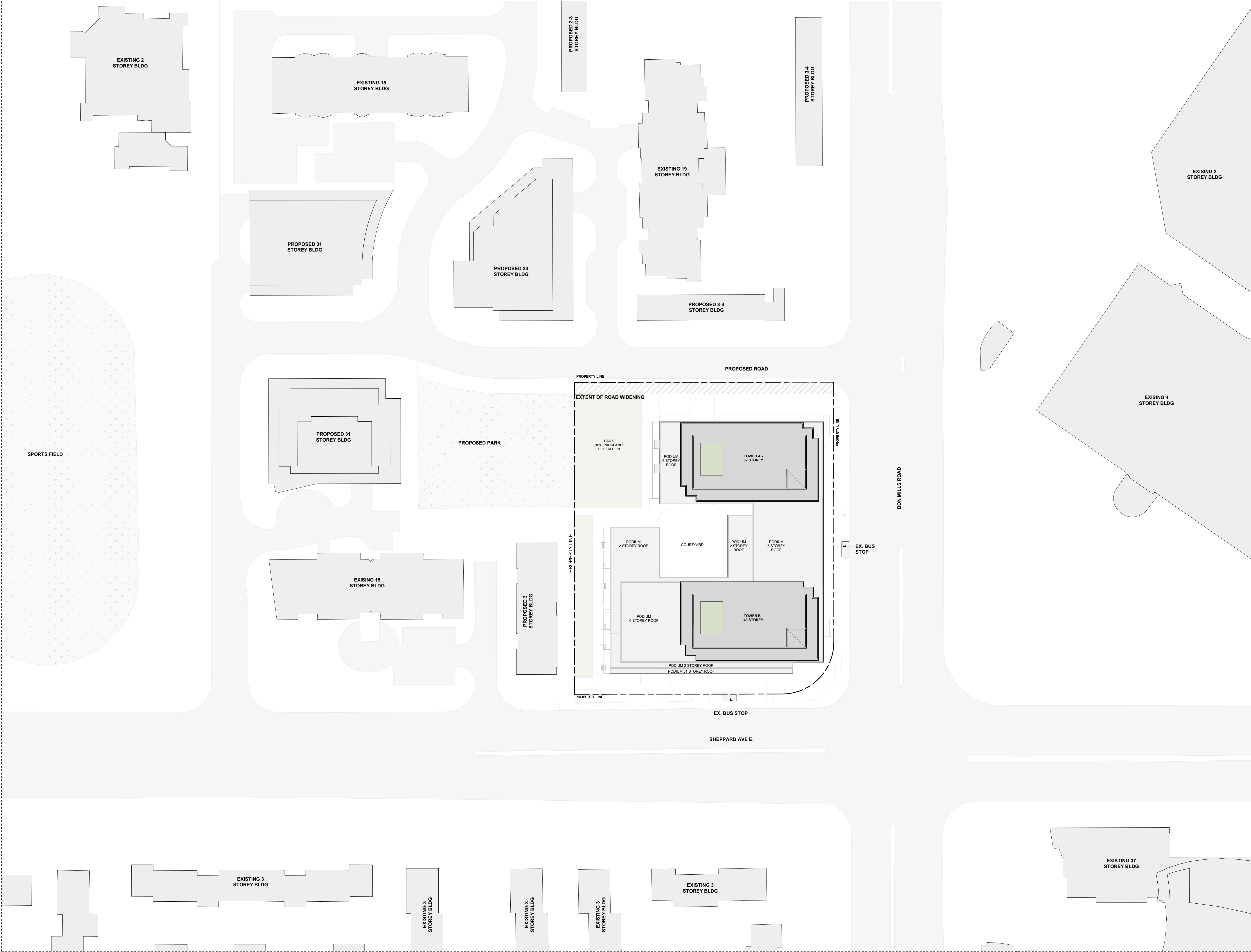
Date

03/06/20

Drawing No.

A0.03

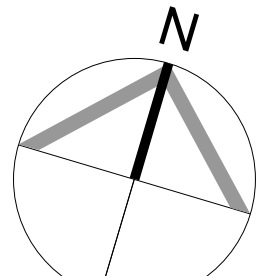
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No	Issued For	Date
1	Issued for OPA, ZBA	2022-03-31
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Drawing Title

CONTEXT PLAN

Project

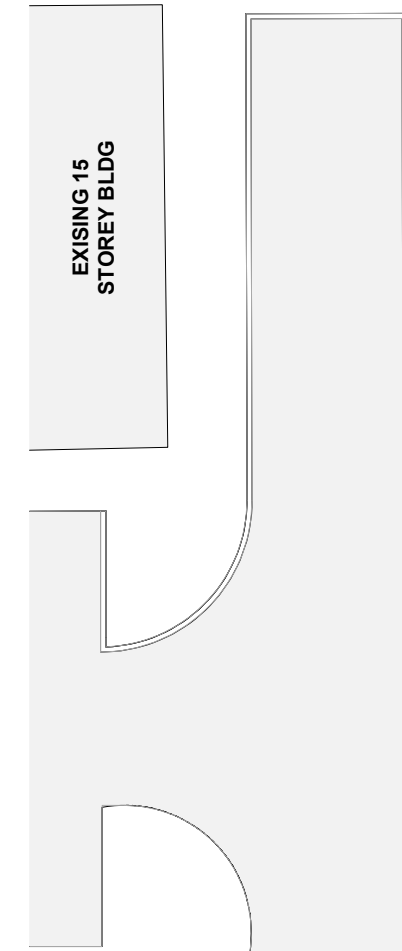
MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

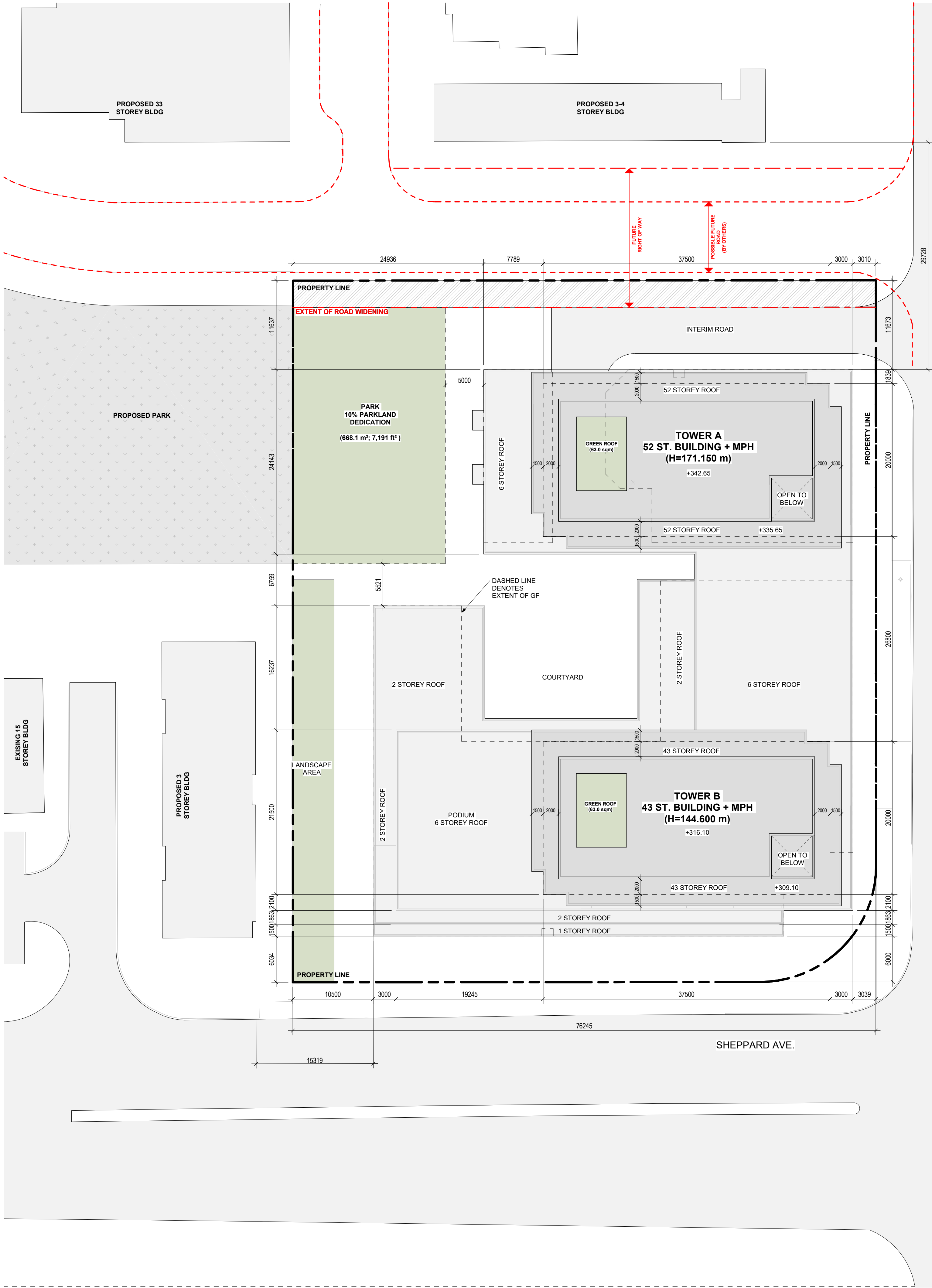
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	Drawn by
	Checked by
21-09	Project No.
07/31/2023	Date
	Drawing No.

A1.01



SHEPPARD AVE.

A1.02



BICYCLE PARKING NOTES AND LEGEND

STACKED BICYCLE PARKING
2500mm MIN VERTICAL CLEARANCE

HORIZONTAL BICYCLE PARKING
1900mm MIN VERTICAL CLEARANCE

VERTICAL BICYCLE PARKING
1900mm MIN VERTICAL CLEARANCE

NOTE: ALL BICYCLE PARKING SPACES AND ACCESS DRIVE AISLES TO COMPLY WITH DIMENSIONAL REQUIREMENTS OF CITY OF TORONTO PARKING STANDARDS

SITE PLAN NOTES

FIRE HYDRANT

FIRE DEPARTMENT CONNECTION

GAS METER

STANDARD EXIT DOOR TO/FROM PARKING GARAGE W/ VISION PANEL

CONVEX MIRROR

PARKING NOTES AND LEGEND

TYPICAL PARKING STALL COLUMN CONDITION

TYPICAL PARKING STALL WALL CONDITION

ACCESSIBLE PARKING STALL

EV PARKING STALL

NOTE: ALL PARKING SPACES AND ACCESS DRIVE AISLES TO COMPLY WITH DIMENSIONAL REQUIREMENTS OF CITY OF TORONTO STANDARDS

1) VERTICAL CLEARANCE OVER ENTIRE PARKING SPACE TO BE 2.0m MIN (UNLESS NOTED OTHERWISE)

2) THE MINIMUM WIDTH MUST BE INCREASED BY 300mm FOR EACH SIDE OF THE PARKING SPACE THAT IS OBSTRUCTED BY MORE THAN 1m FROM THE FRONT OR REAR OF THE SPACE

TYPE G LOADING SPACE

VERTICAL CLEARANCE OF 6.1m ALONG ENTIRE LENGTH MIN. 200mm REINFORCED CONCRETE ALONG ENTIRE LENGTH WITH MAX SLOPE OF 2%

1. LOADING SPACE TO COMPLY WITH THE MINIMUM DIMENSIONAL REQUIREMENTS OF CITY OF RICHMOND HILL.

2. STAGING AREA TI BE CONSTRUCTED OF MIN. 200mm REINFORCED CONCRETE WITH A MAX. SLOPE OF 2%

TYPE G - VEHICULAR DESIGN

TYPE C LOADING SPACE

VERTICAL CLEARANCE OF 3.0m ALONG ENTIRE LENGTH MIN. 200mm REINFORCED CONCRETE ALONG ENTIRE LENGTH

GENERAL NOTES:

1. INSTALL AND MAINTAIN A FLASHING WARNING LIGHT SYSTEM WITH APPROPRIATE SIGNAGE AT THE TOP OF THE ACCESS RAMP LEADING TO THE UNDERGROUND GARAGE THAT WARNS MOTORISTS EXITING THE PARKING GARAGE TO WATCH FOR LARGE TRUCKS AND PEDESTRIANS MANOEUVERING BEYOND THE TOP OF THE ACCESS RAMP.

2. "NO PARKING" SIGNAGE TO BE INSTALLED ADJACENT TO LOADING SPACES.

Rb - 51 (300mmX300mm)

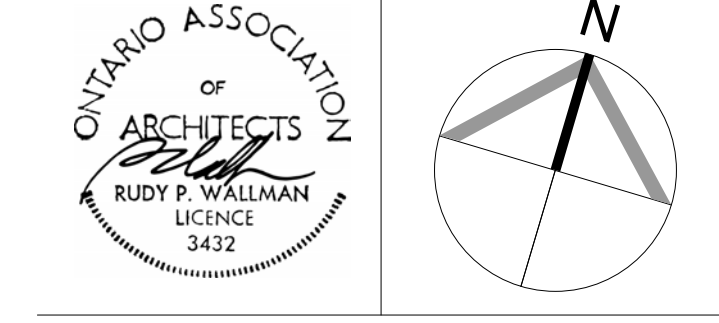
SOLID WASTE NOTES:

A TRAINED ON-SITE STAFF MEMBER MUST BE PRESENT TO MANEUVER BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.

No	Issued For	Date
1	Issued for OPA, ZBA	2022-03-31
2	Issued for OPA, ZBA	2023-09-27
3	Issued for OPA, ZBA	2024-05-17

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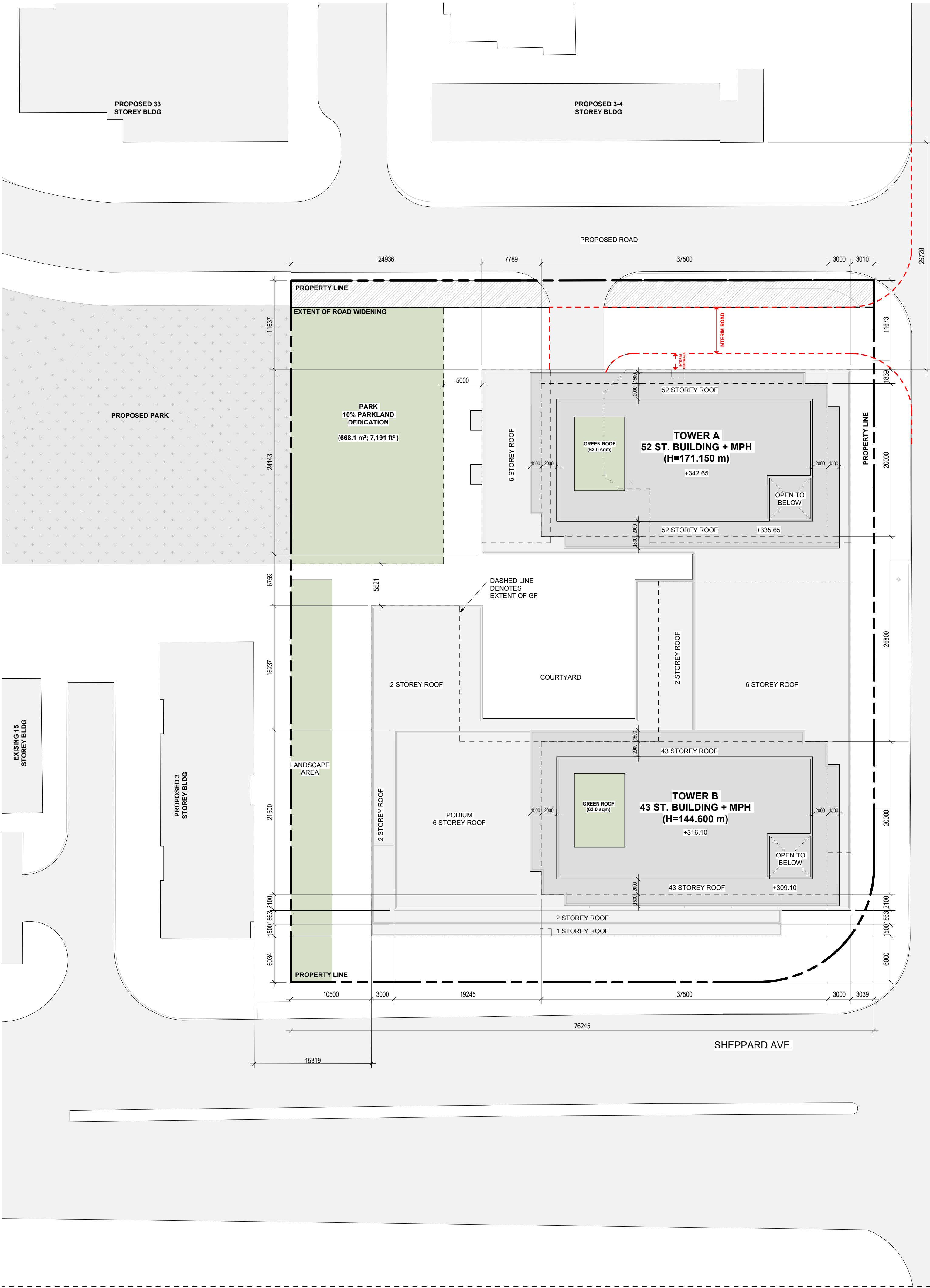
BLOCK PLAN - INTERIM CONDITION

Project
MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS
As indicated
Scale
Drawn by
Checked by
Project No.
21-09
Date
07/31/2023
Drawing No.

A1.04



BICYCLE PARKING NOTES AND LEGEND

STACKED BICYCLE PARKING
2500mm MIN VERTICAL CLEARANCE

HORIZONTAL BICYCLE PARKING
1900mm MIN VERTICAL CLEARANCE

VERTICAL BICYCLE PARKING
1900mm MIN VERTICAL CLEARANCE

NOTE: ALL BICYCLE PARKING SPACES AND ACCESS DRIVE AISLES TO COMPLY WITH DIMENSIONAL REQUIREMENTS OF CITY OF TORONTO PARKING STANDARDS

SITE PLAN NOTES

FIRE HYDRANT

FIRE DEPARTMENT CONNECTION

GAS METER

STANDARD EXIT DOOR TO/FROM PARKING GARAGE W/ VISION PANEL

CONVEX MIRROR

PARKING NOTES AND LEGEND

TYPICAL PARKING STALL COLUMN CONDITION

TYPICAL PARKING STALL WALL CONDITION

ACCESSIBLE PARKING STALL

EV PARKING STALL

NOTE: ALL PARKING SPACES AND ACCESS DRIVE AISLES TO COMPLY WITH DIMENSIONAL REQUIREMENTS OF CITY OF TORONTO STANDARDS

1) VERTICAL CLEARANCE OVER ENTIRE PARKING SPACE TO BE 2.0m MIN (UNLESS NOTED OTHERWISE)

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TYPE G LOADING SPACE

VERTICAL CLEARANCE OF 6.1m ALONG ENTIRE LENGTH MIN. 200mm REINFORCED CONCRETE ALONG ENTIRE LENGTH WITH MAX SLOPE OF 2%

1. LOADING SPACE TO COMPLY WITH THE MINIMUM DIMENSIONAL REQUIREMENTS OF CITY OF RICHMOND HILL.

2. STAGING AREA TI BE CONSTRUCTED OF MIN. 200mm REINFORCED CONCRETE WITH A MAX. SLOPE OF 2%

TYPE G - VEHICULAR DESIGN

TYPE C LOADING SPACE

VERTICAL CLEARANCE OF 3.0m ALONG ENTIRE LENGTH MIN. 200mm REINFORCED CONCRETE ALONG ENTIRE LENGTH

GENERAL NOTES:

1. INSTALL AND MAINTAIN A FLASHING WARNING LIGHT SYSTEM WITH APPROPRIATE SIGNAGE AT THE TOP OF THE ACCESS RAMP LEADING TO THE UNDERGROUND GARAGE THAT WARNS MOTORISTS EXITING THE PARKING GARAGE TO WATCH FOR LARGE TRUCKS AND PEDESTRIANS MANOEUVERING BEYOND THE TOP OF THE ACCESS RAMP.

2. "NO PARKING" SIGNAGE TO BE INSTALLED ADJACENT TO LOADING SPACES.

SOLID WASTE NOTES:

A TRAINED ON-SITE STAFF MEMBER MUST BE PRESENT TO MANEUVER BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.

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3	Issued for OPA, ZBA	2024-05-17

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ONTARIO ASSOCIATION of ARCHITECTS
RUDY P. WALLMAN
LICENCE 3432

Drawing Title

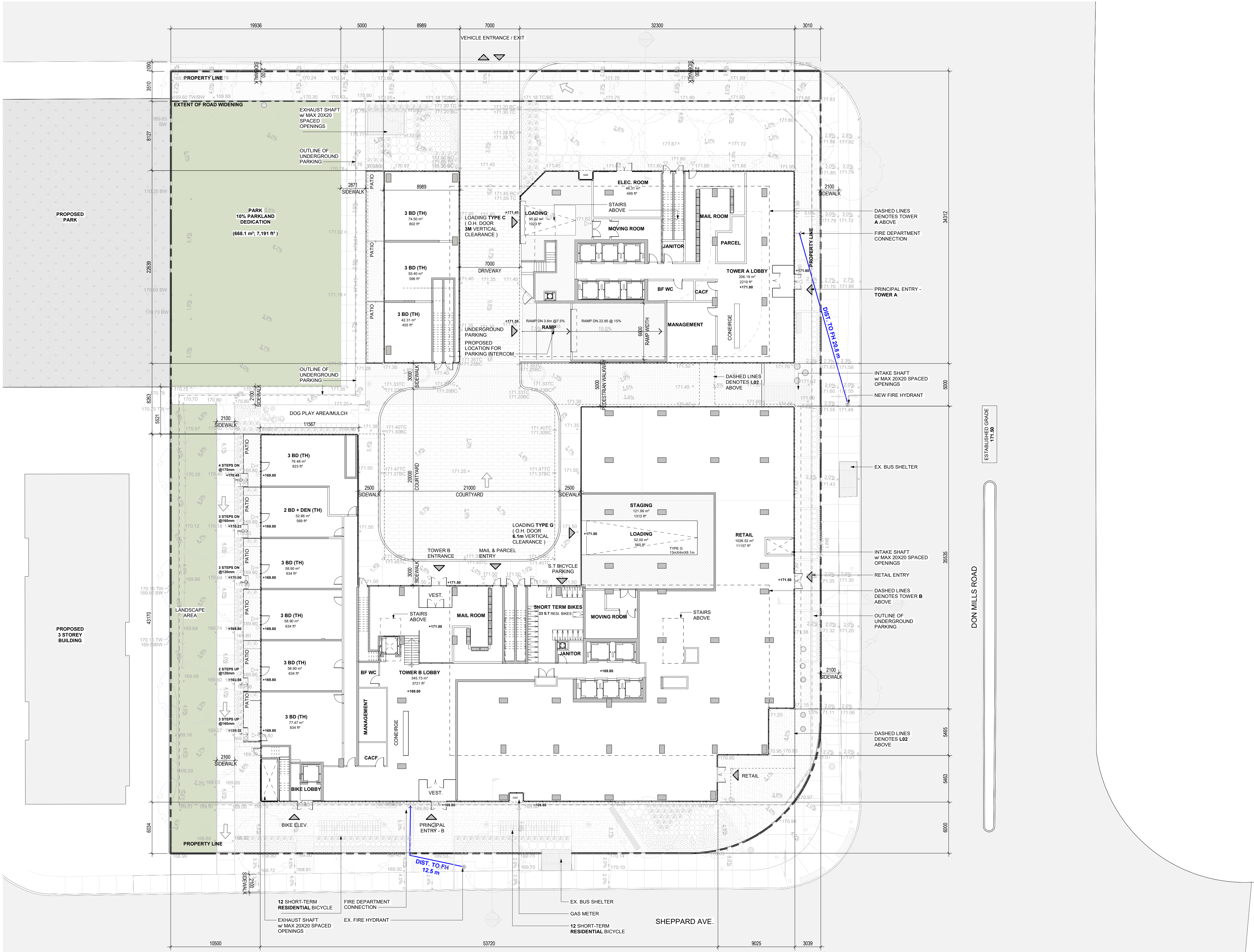
BLOCK PLAN - ULTIMATE CONDITION

Project
MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS
As 800cated
Scale
Drawn by
Checked by
Project No.
21-09
Date
07/31/2023
Drawing No.

A1.05



No	Issued For	Date
1	Issued for OPA, ZBA	2022-03-31
2	Issued for OPA, ZBA	2023-09-27
3	Issued for OPA, ZBA	2024-05-17

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Drawing Title

LEVEL 1 - GROUND FLOOR

Project

MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

Scale

1 : 200

Drawn by

Checked by

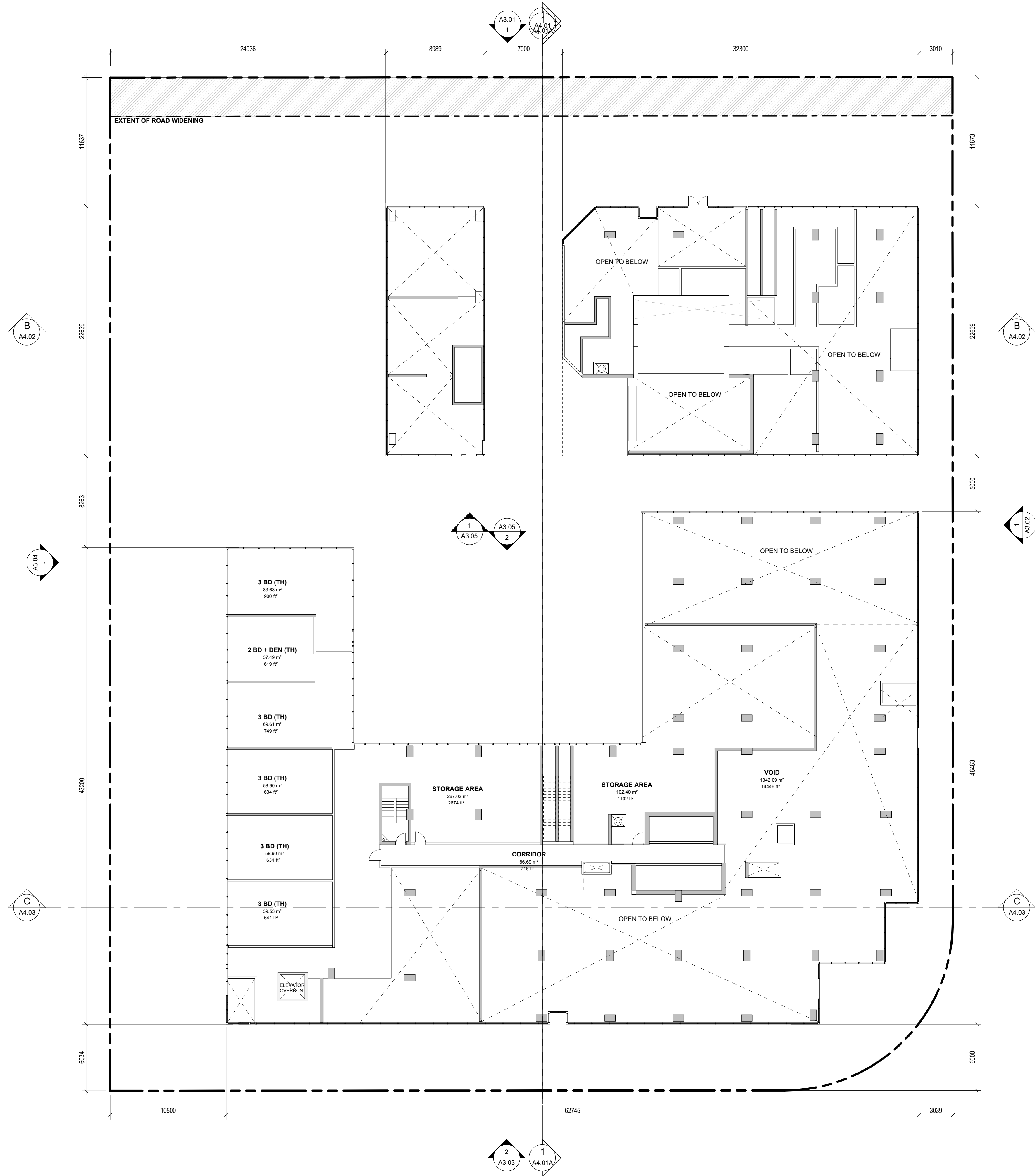
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21-09

Date

Drawing No.

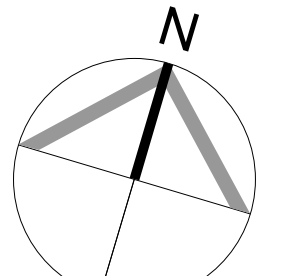
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1	Issued for OPA, ZBA	2022-03-31
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3	Issued for OPA, ZBA	2024-05-17

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Drawing Title

TOWER B - MEZZANINE FLOOR

Project

MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

Scale

1 : 200

Drawn by

Checked by

Project No.

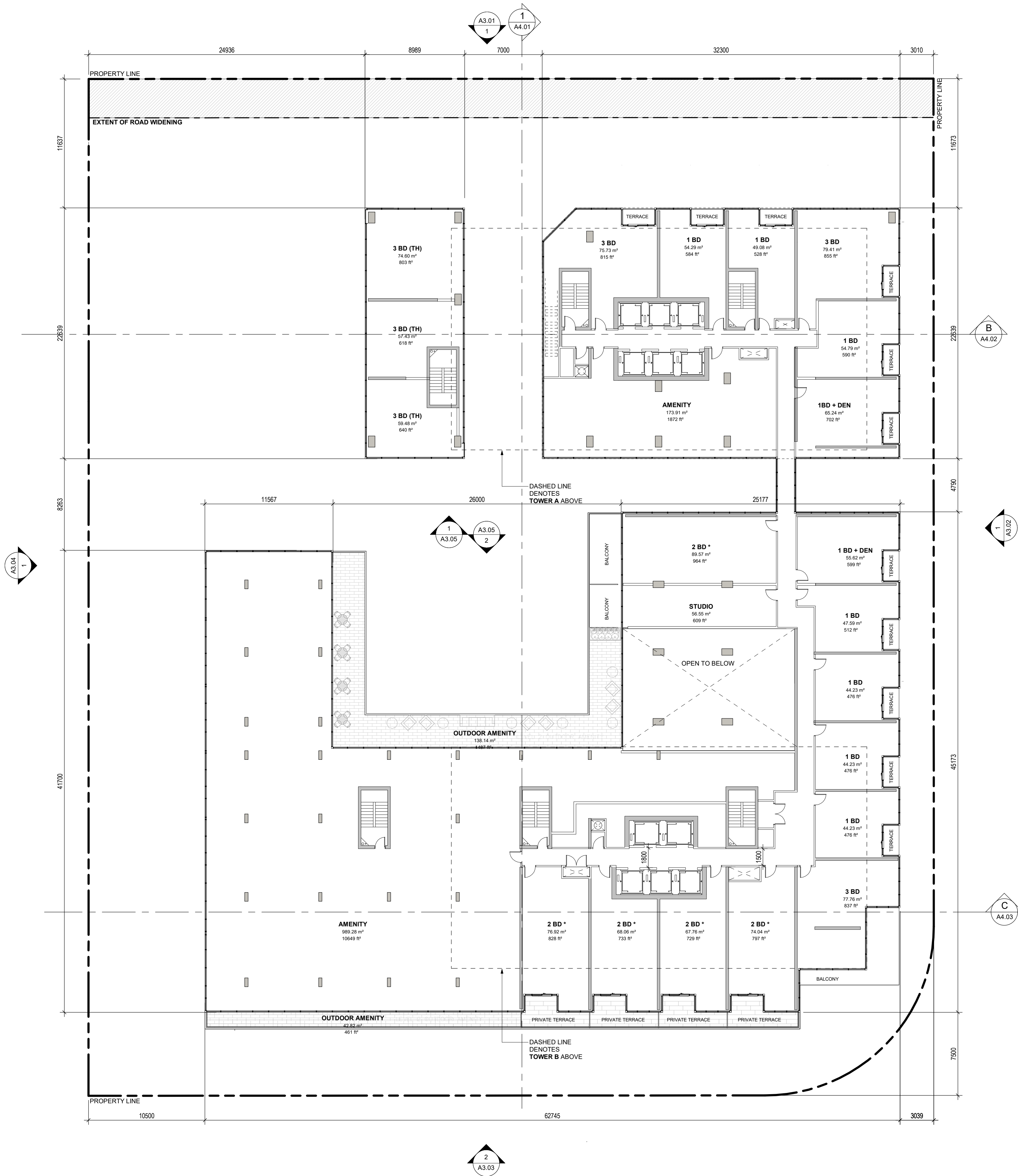
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Date

07/31/2023

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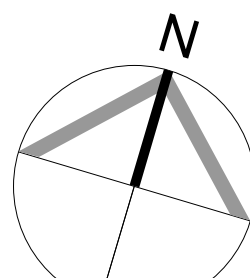
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No	Issued For	Date
1	Issued for OPA, ZBA	2022-03-31
2	Issued for OPA, ZBA	2023-09-27
3	Issued for OPA, ZBA	2024-05-17

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Drawing Title

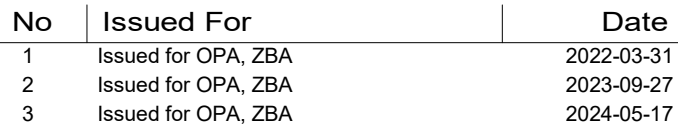
LEVEL 2

Project
MARLIN SPRING

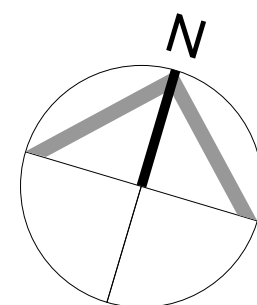
2500 DON MILLS

PROJECT ADDRESS	Scale	Drawn by	Checked by	Project No.	Date	Drawing No.
1 : 200				21-09	07/31/2023	

A2.03



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Drawing	Title
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LEVEL 3

Project

MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

1 : 200 Scale

1 : 200 Scale

Drawn by

Drawn by

Checked by _____

Checked by _____

21-09	Project №.
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21-09	Project №.
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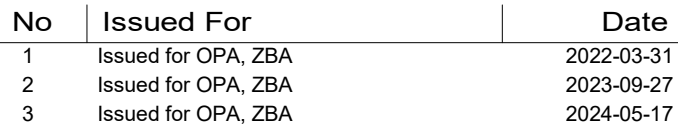
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07/31/2023 Date

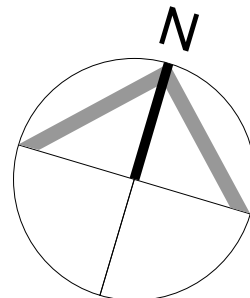
Drawing No.

Drawing No.

A2.04



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Drawing Title

LEVEL 4-6

Project

MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

1 : 200 Scale

Drawn by _____

Checked by _____

Project No.

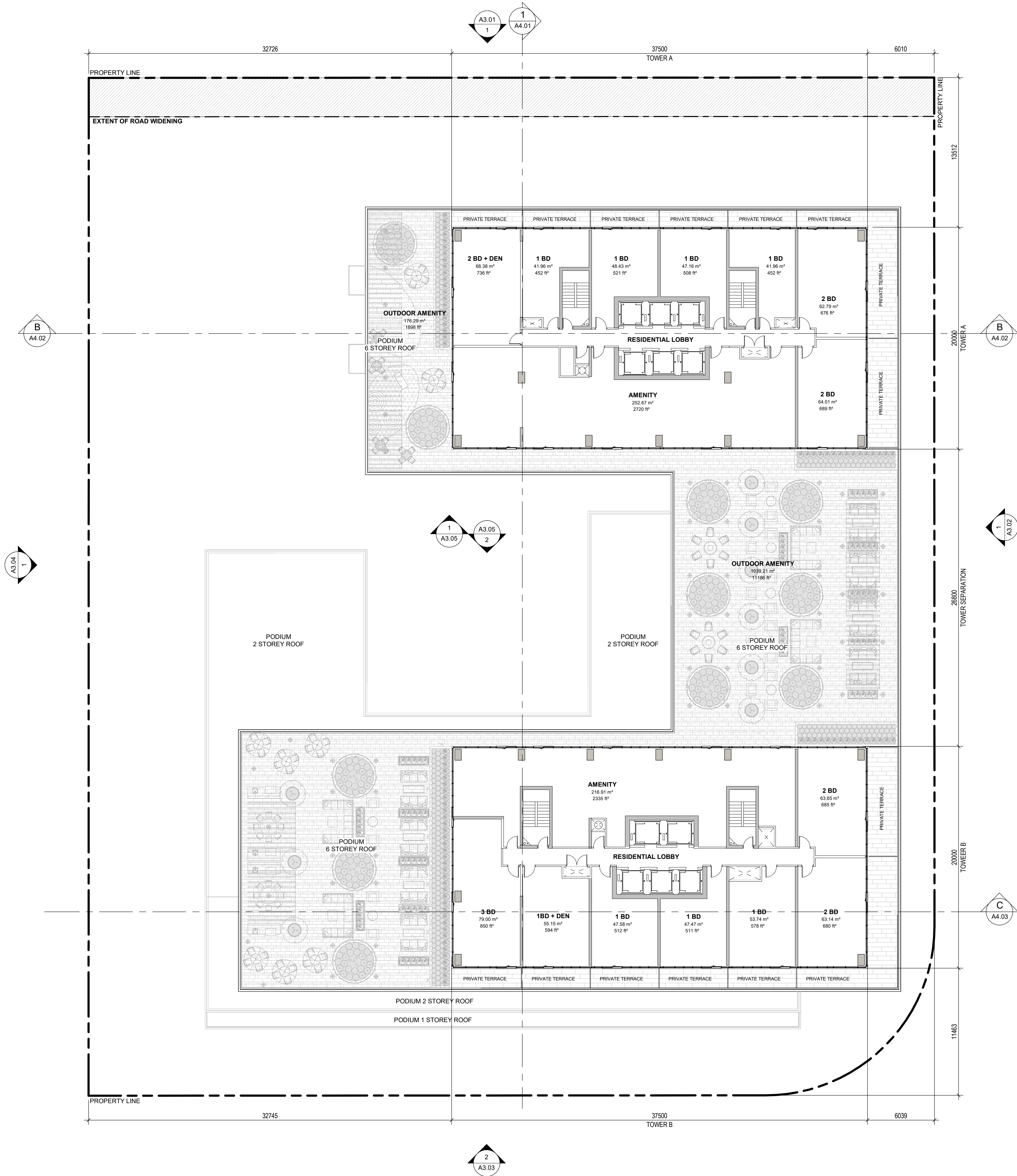
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Drawing No.

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A2.05

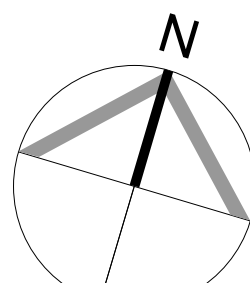
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No	Issued For	Date
1	Issued for OPA, ZBA	2022-03-31
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3	Issued for OPA, ZBA	2024-05-17

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Drawing Title

LEVEL 7 - OUTDOOR AMENITY

Project

MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

Scale

1 : 200

Drawn by

Checked by

Project No.

21-09

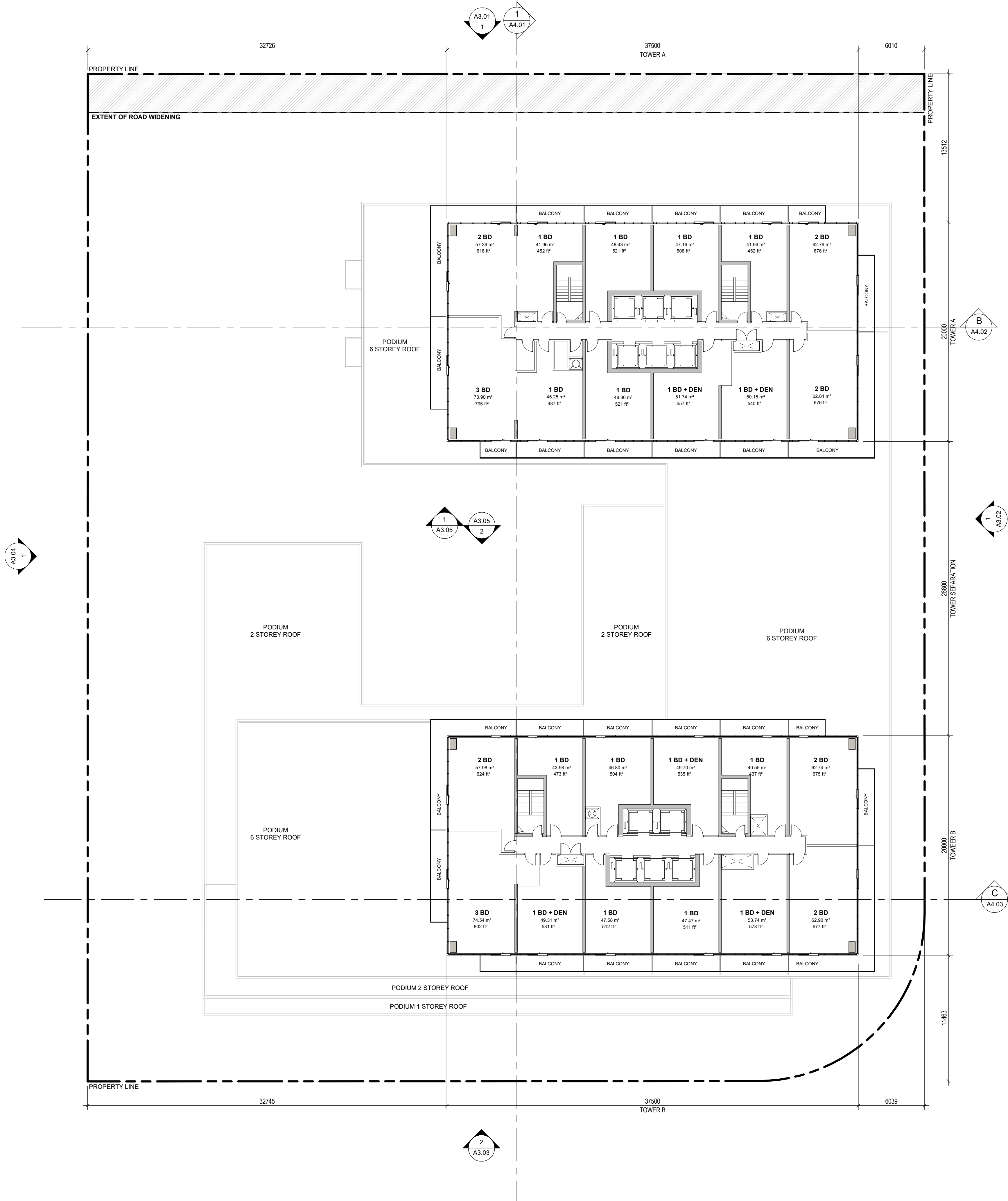
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07/31/2023

Drawing No.

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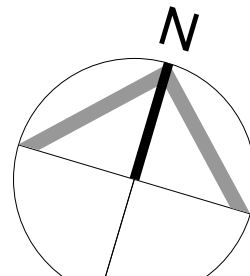
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No	Issued For	Date
1	Issued for OPA, ZBA	2022-03-31
2	Issued for OPA, ZBA	2023-09-27
3	Issued for OPA, ZBA	2024-05-17

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Drawing Title

LEVEL 8

Project
MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

Scale

1 : 200

Drawn by

Checked by

Project No.

21-09

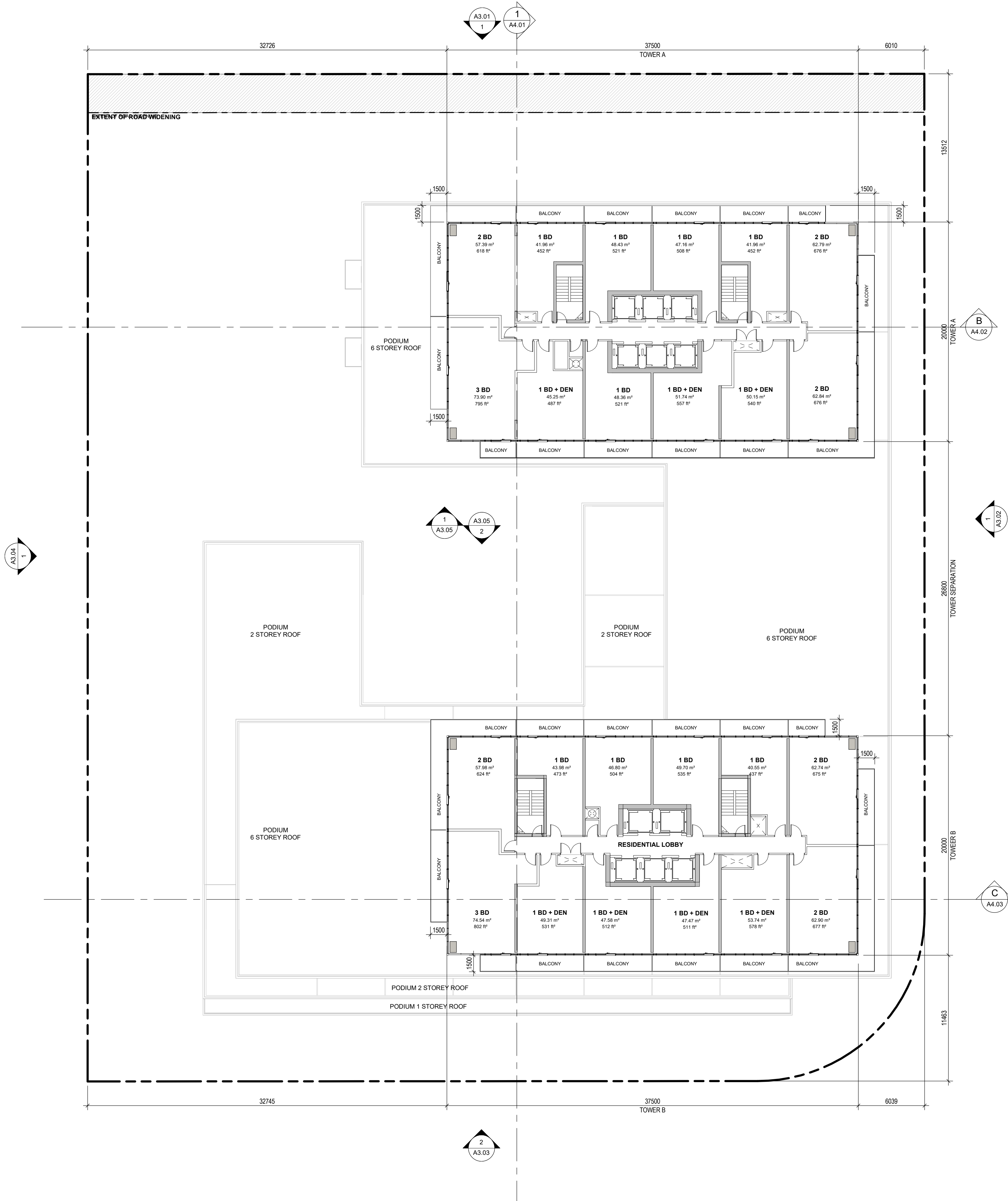
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07/31/2023

Drawing No.

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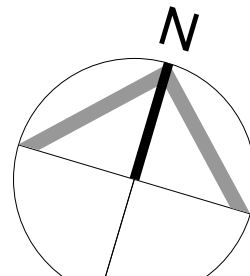
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No	Issued For	Date
1	Issued for OPA, ZBA	2022-03-31
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Drawing Title

TYPICAL FLOOR

Project

MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

Scale

1 : 200

Drawn by

Checked by

Project No.

21-09

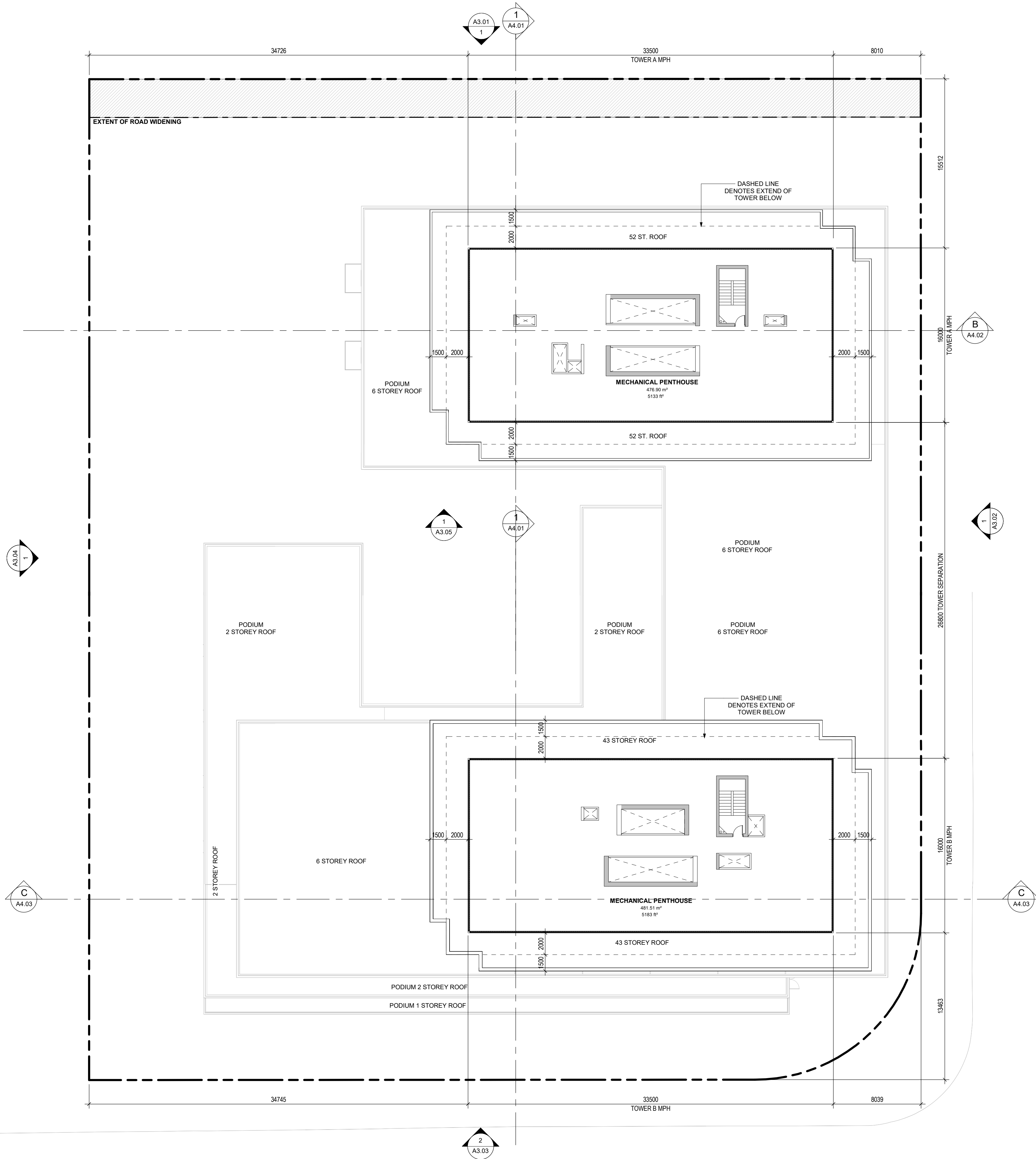
Date

07/31/2023

Drawing No.

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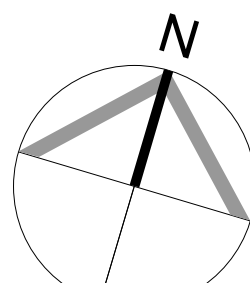
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No	Issued For	Date
1	Issued for OPA, ZBA	2022-03-31
2	Issued for OPA, ZBA	2023-09-27
3	Issued for OPA, ZBA	2024-05-17

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Drawing Title

MECH. PENTHOUSE

Project

MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

1 : 200

Scale

Drawn by

Checked by

21-09

Project No.

07/31/2023

Date

Drawing No.

A2.09

Plot Title: 5/17/2024 1:24:24 PM File Path: C:\Users\india\Documents\21-09_2500 Don Mills_RVT23_mdl\ar\TR-A.rvt



ESTABLISHED GRADE
171.50

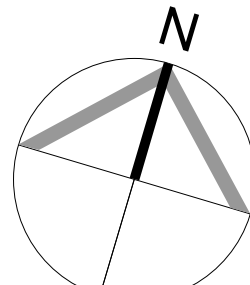
DON MILLS ROAD

SHEPPARD AVE.

No	Issued For	Date
1	Issued for OPA, ZBA	2022-03-31
2	Issued for OPA, ZBA	2023-09-27
3	Issued for OPA, ZBA	2024-05-17

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Drawing Title

ROOF PLAN

Project

MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

1 : 200

Scale

Drawn by

Checked by

21-09

Project No.

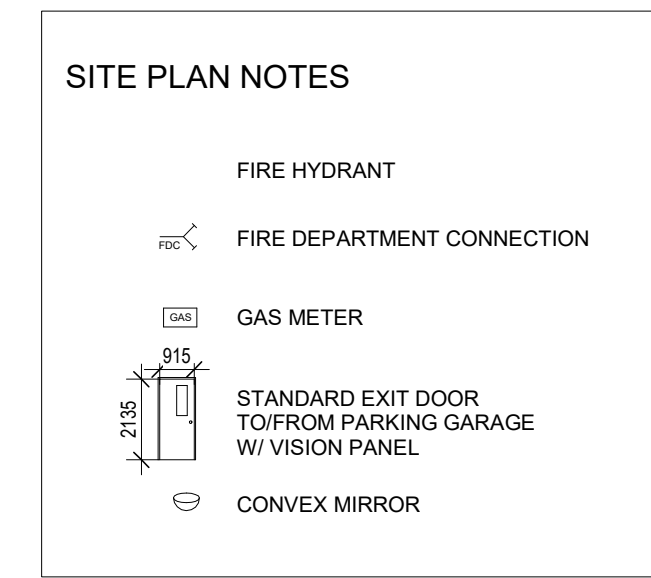
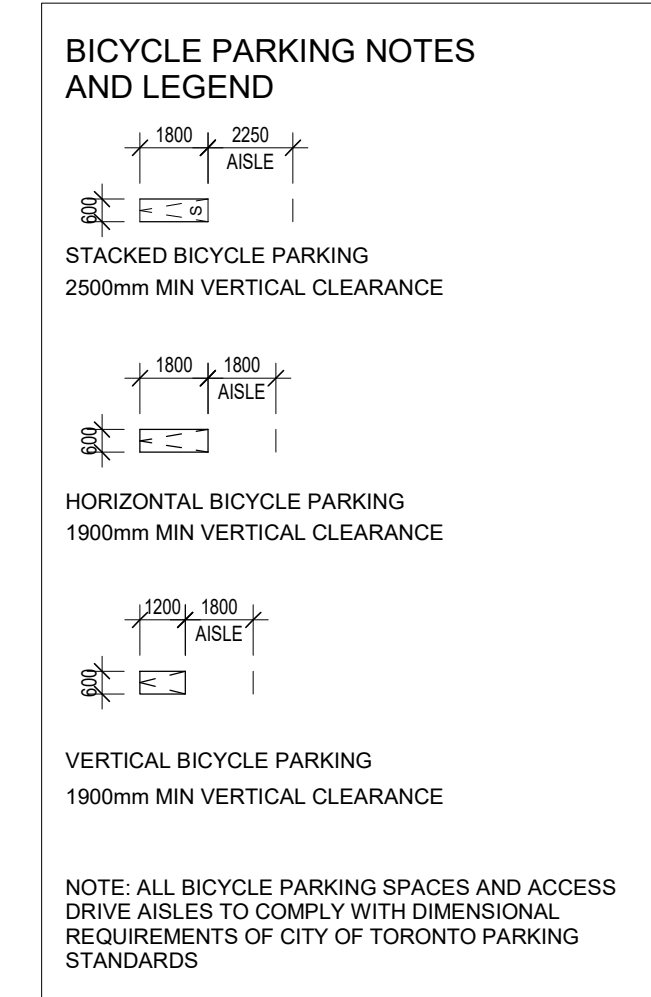
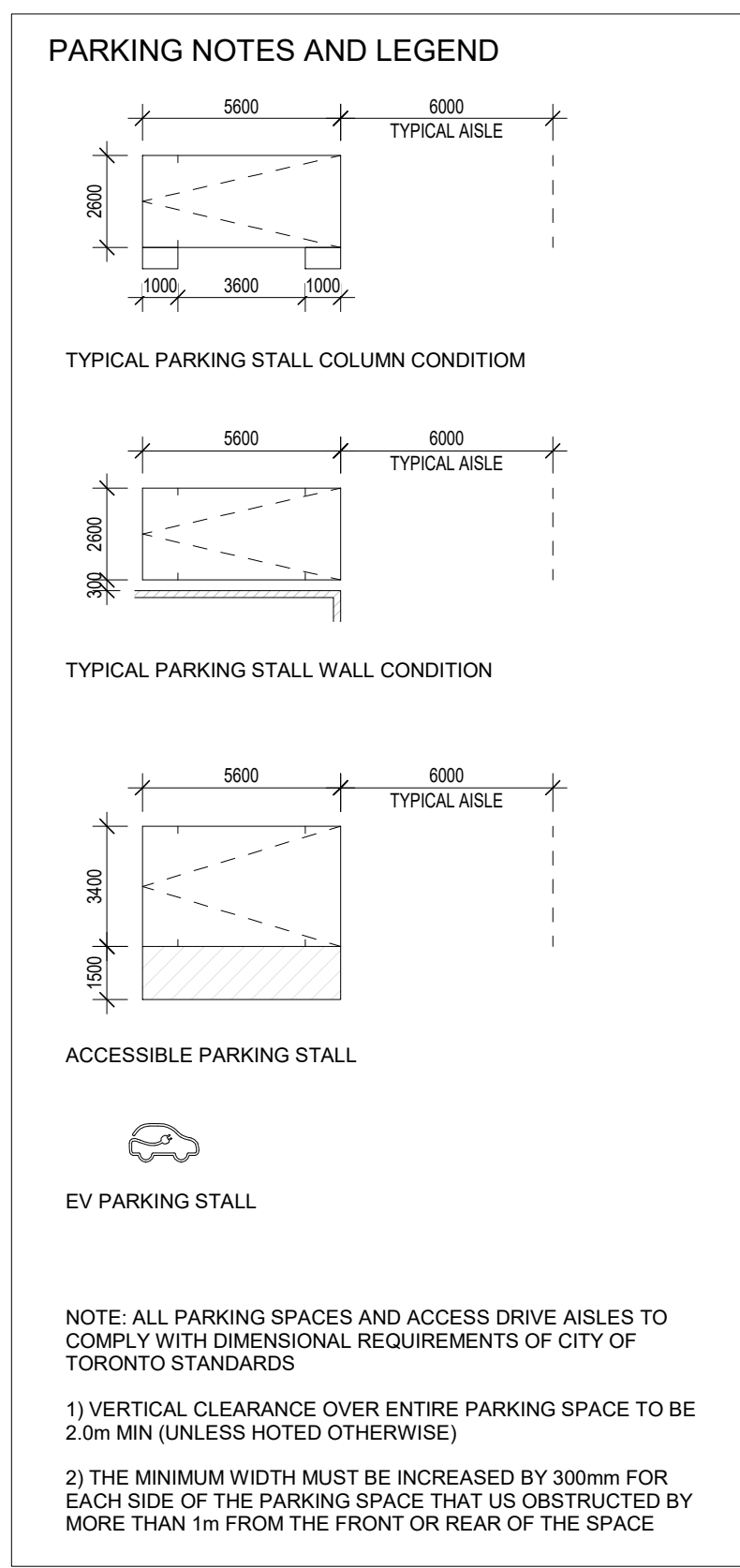
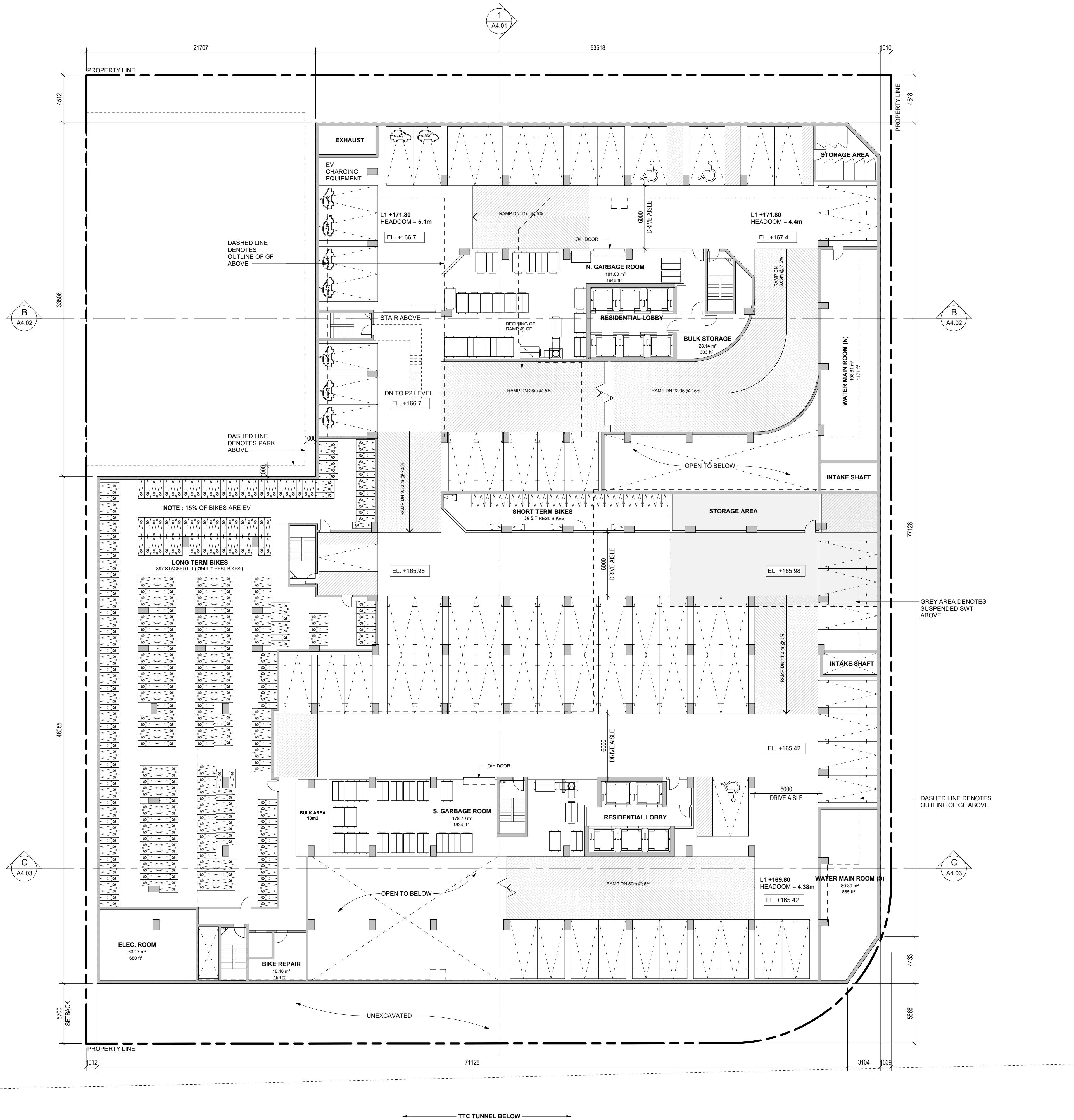
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Date

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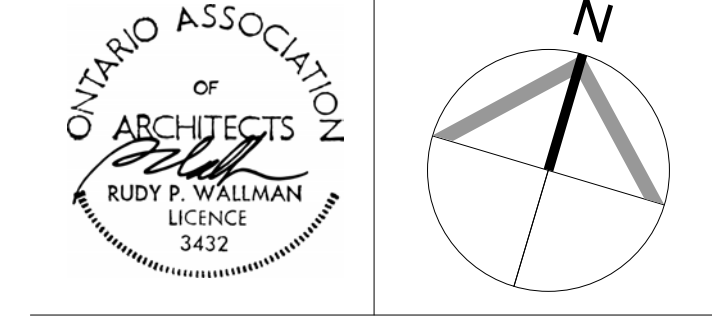
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No	Issued For	Date
1	Issued for OPA, ZBA	2022-03-31
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Drawing Title

LEVEL P1

Project
MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

Scale
1 : 200

Drawn by

Checked by

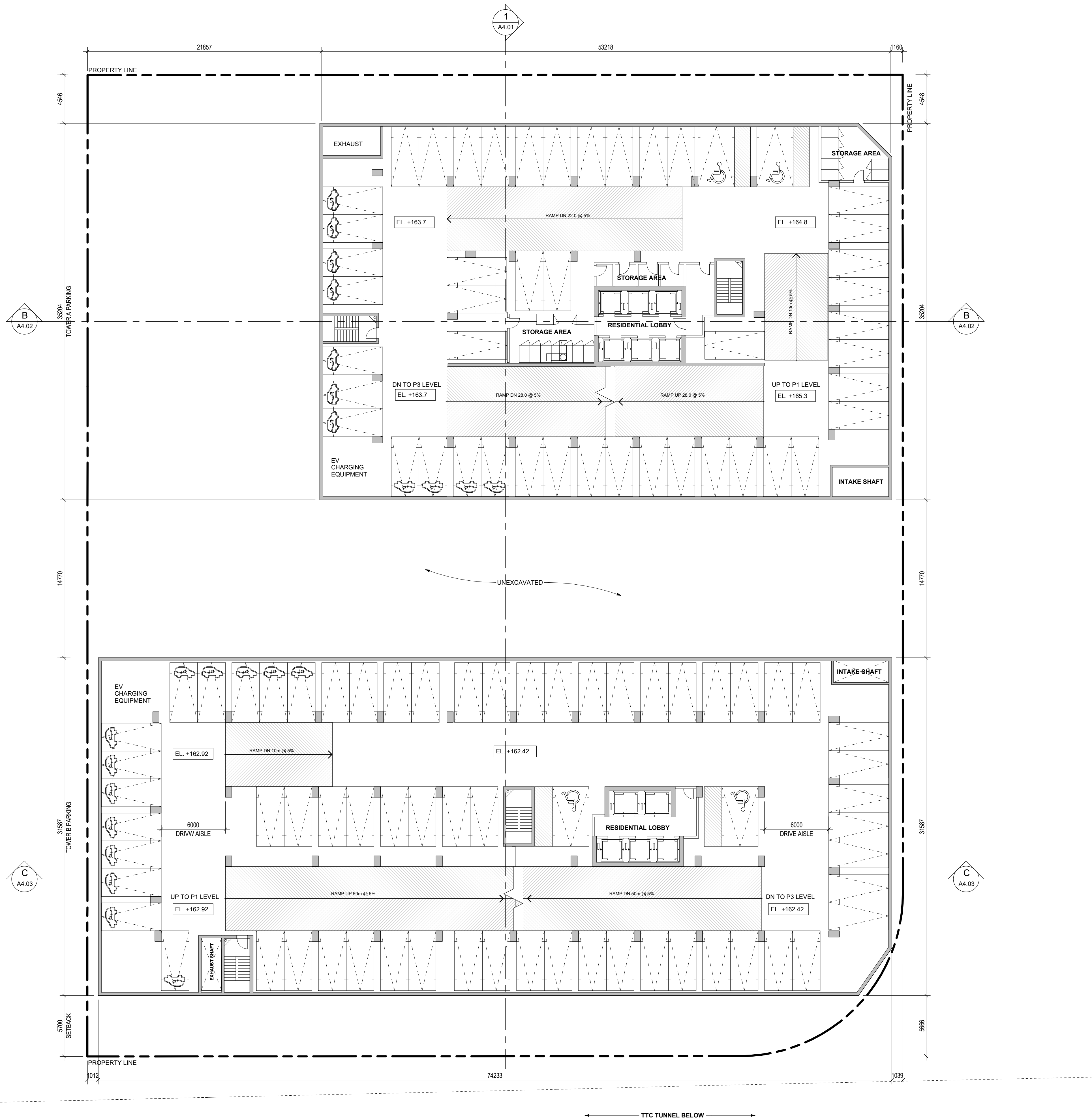
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Date
07/31/2023

Drawing No.

A2.11

Plot Date: 5/17/2024 1:24:35 PM File Path: C:\Users\india\Documents\21-09_2500 Don Mills_PV23_millsp\TRIA.rvt



PARKING NOTES AND LEGEND

TYPICAL PARKING STALL COLUMN CONDITION

TYPICAL PARKING STALL WALL CONDITION

ACCESSIBLE PARKING STALL

EV PARKING STALL

NOTE: ALL PARKING SPACES AND ACCESS DRIVE AISLES TO COMPLY WITH DIMENSIONAL REQUIREMENTS OF CITY OF TORONTO STANDARDS

1) VERTICAL CLEARANCE OVER ENTIRE PARKING SPACE TO BE 2.0m MIN (UNLESS NOTED OTHERWISE)

2) THE MINIMUM WIDTH MUST BE INCREASED BY 300mm FOR EACH SIDE OF THE PARKING SPACE THAT IS OBSTRUCTED BY MORE THAN 1m FROM THE FRONT OR REAR OF THE SPACE

BICYCLE PARKING NOTES AND LEGEND

STACKED BICYCLE PARKING
2500mm MIN VERTICAL CLEARANCE

HORIZONTAL BICYCLE PARKING
1900mm MIN VERTICAL CLEARANCE

VERTICAL BICYCLE PARKING
1900mm MIN VERTICAL CLEARANCE

NOTE: ALL BICYCLE PARKING SPACES AND ACCESS DRIVE AISLES TO COMPLY WITH DIMENSIONAL REQUIREMENTS OF CITY OF TORONTO PARKING STANDARDS

SITE PLAN NOTES

FIRE HYDRANT

FIRE DEPARTMENT CONNECTION

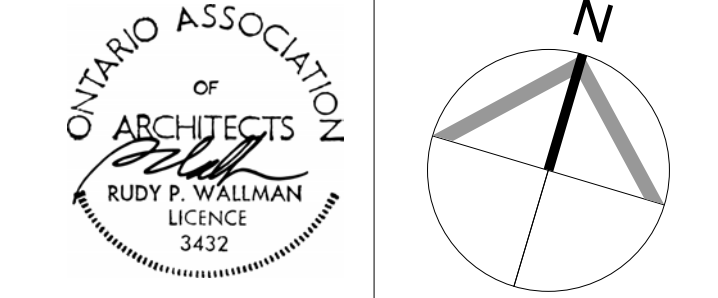
GAS METER

STANDARD EXIT DOOR TO/ FROM PARKING GARAGE W/ VISION PANEL

CONVEX MIRROR

No	Issued For	Date
1	Issued for OPA, ZBA	2022-03-31
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3	Issued for OPA, ZBA	2024-05-17

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Drawing Title

LEVEL P2

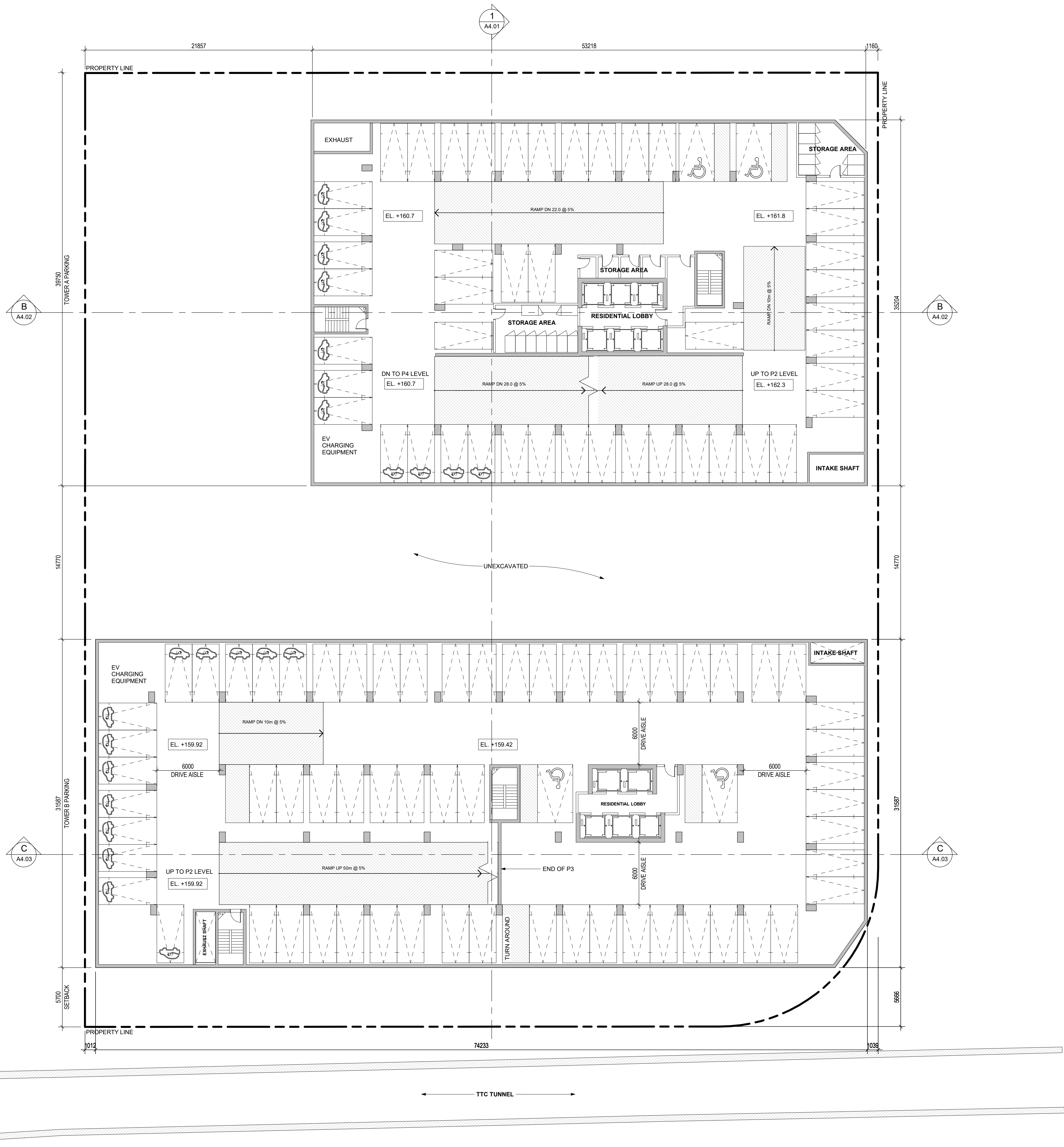
Project
MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS	
1 : 200	Scale
	Drawn by
	Checked by
21-09	Project No.
07/31/2023	Date
	Drawing No.

A2.12

Plot Date: 5/17/2024 1:24:37 PM File Path: C:\Users\india\Documents\21-09_2500 Don Mills_PV123_millsp\TRIA.rvt



PARKING NOTES AND LEGEND

TYPICAL PARKING STALL COLUMN CONDITION

TYPICAL PARKING STALL WALL CONDITION

ACCESSIBLE PARKING STALL

EV PARKING STALL

NOTE: ALL PARKING SPACES AND ACCESS DRIVE AISLES TO COMPLY WITH DIMENSIONAL REQUIREMENTS OF CITY OF TORONTO STANDARDS

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BICYCLE PARKING NOTES AND LEGEND

STACKED BICYCLE PARKING
2500mm MIN VERTICAL CLEARANCE

HORIZONTAL BICYCLE PARKING
1900mm MIN VERTICAL CLEARANCE

VERTICAL BICYCLE PARKING
1900mm MIN VERTICAL CLEARANCE

NOTE: ALL BICYCLE PARKING SPACES AND ACCESS DRIVE AISLES TO COMPLY WITH DIMENSIONAL REQUIREMENTS OF CITY OF TORONTO PARKING STANDARDS

SITE PLAN NOTES

FIRE HYDRANT

FIRE DEPARTMENT CONNECTION

GAS METER

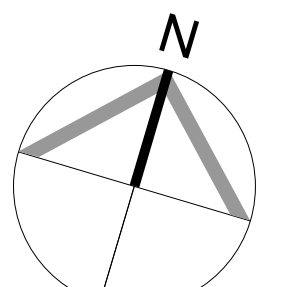
STANDARD EXIT DOOR TO/FROM PARKING GARAGE W/ VISION PANEL

CONVEX MIRROR

No	Issued For	Date
1	Issued for OPA, ZBA	2022-03-31
2	Issued for OPA, ZBA	2023-09-27
3	Issued for OPA, ZBA	2024-05-17

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Drawing Title

LEVEL P3

Project

MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

1 : 200 Scale

Drawn by

Checked by

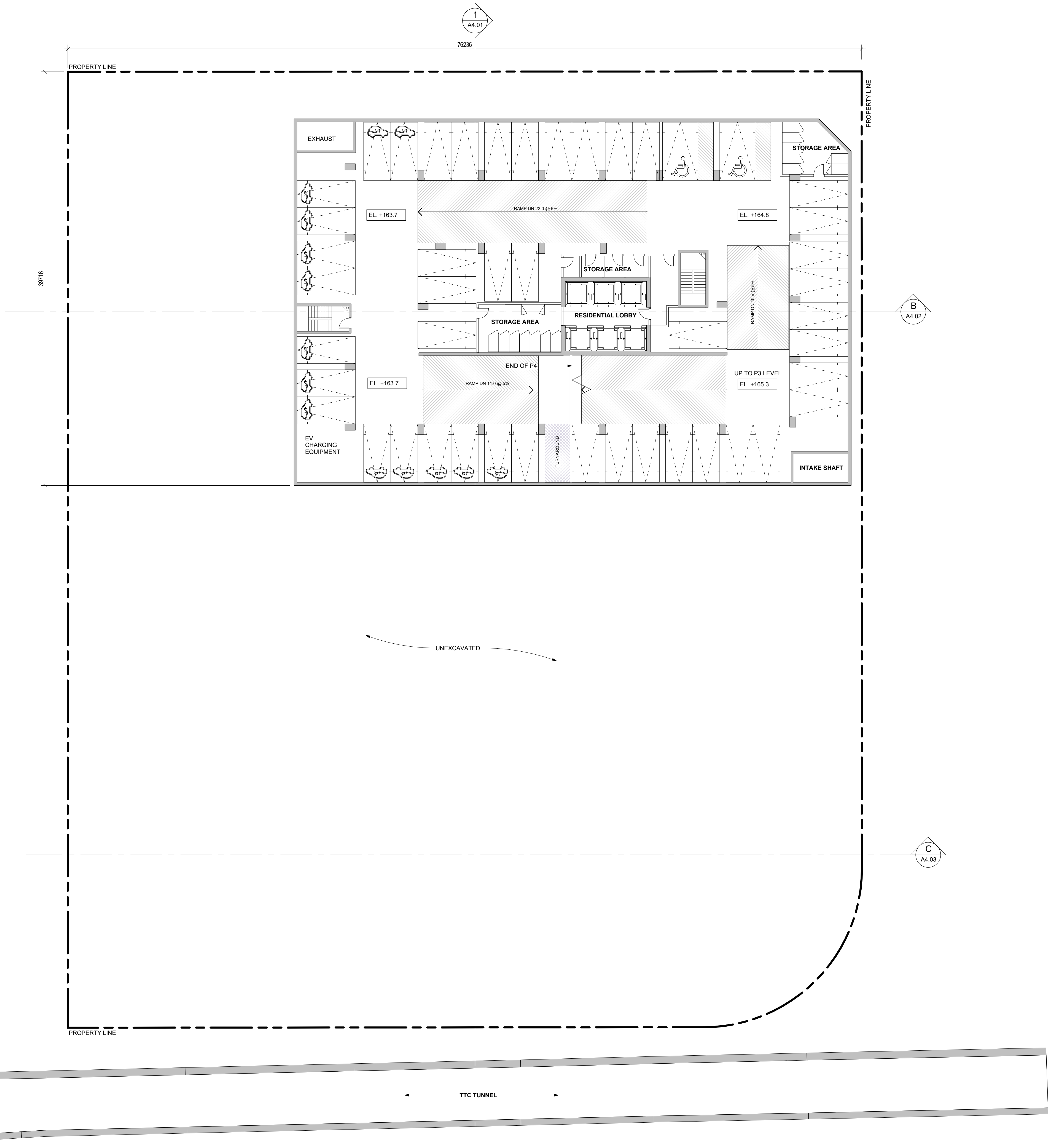
21-09 Project No.

07/31/2023 Date

Drawing No.

A2.13

Plot Date: 5/17/2024 1:24:40 PM File Path: C:\Users\india\Documents\21-09_2500 Don Mills_PV123_milliaf\TBA.rvt



PARKING NOTES AND LEGEND

TYPICAL PARKING STALL COLUMN CONDITION

TYPICAL PARKING STALL WALL CONDITION

ACCESSIBLE PARKING STALL

EV PARKING STALL

NOTE: ALL PARKING SPACES AND ACCESS DRIVE AISLES TO COMPLY WITH DIMENSIONAL REQUIREMENTS OF CITY OF TORONTO STANDARDS

1) VERTICAL CLEARANCE OVER ENTIRE PARKING SPACE TO BE 2.0m MIN (UNLESS NOTED OTHERWISE)

2) THE MINIMUM WIDTH MUST BE INCREASED BY 300mm FOR EACH SIDE OF THE PARKING SPACE THAT IS OBSTRUCTED BY MORE THAN 1m FROM THE FRONT OR REAR OF THE SPACE

BICYCLE PARKING NOTES AND LEGEND

STACKED BICYCLE PARKING
2500mm MIN VERTICAL CLEARANCE

HORIZONTAL BICYCLE PARKING
1900mm MIN VERTICAL CLEARANCE

VERTICAL BICYCLE PARKING
1900mm MIN VERTICAL CLEARANCE

NOTE: ALL BICYCLE PARKING SPACES AND ACCESS DRIVE AISLES TO COMPLY WITH DIMENSIONAL REQUIREMENTS OF CITY OF TORONTO PARKING STANDARDS

SITE PLAN NOTES

FIRE HYDRANT

FIRE DEPARTMENT CONNECTION

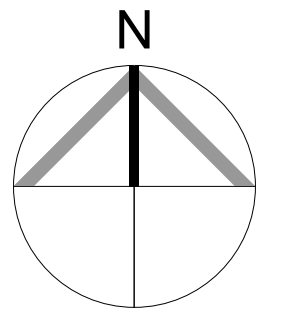
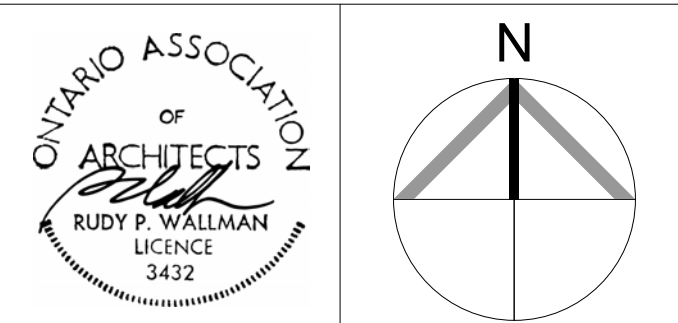
GAS METER

STANDARD EXIT DOOR TO/FROM PARKING GARAGE W/ VISION PANEL

CONVEX MIRROR

No	Issued For	Date
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Drawing Title

LEVEL P4

Project

MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

Scale

1 : 200

Drawn by

Checked by

Project No.

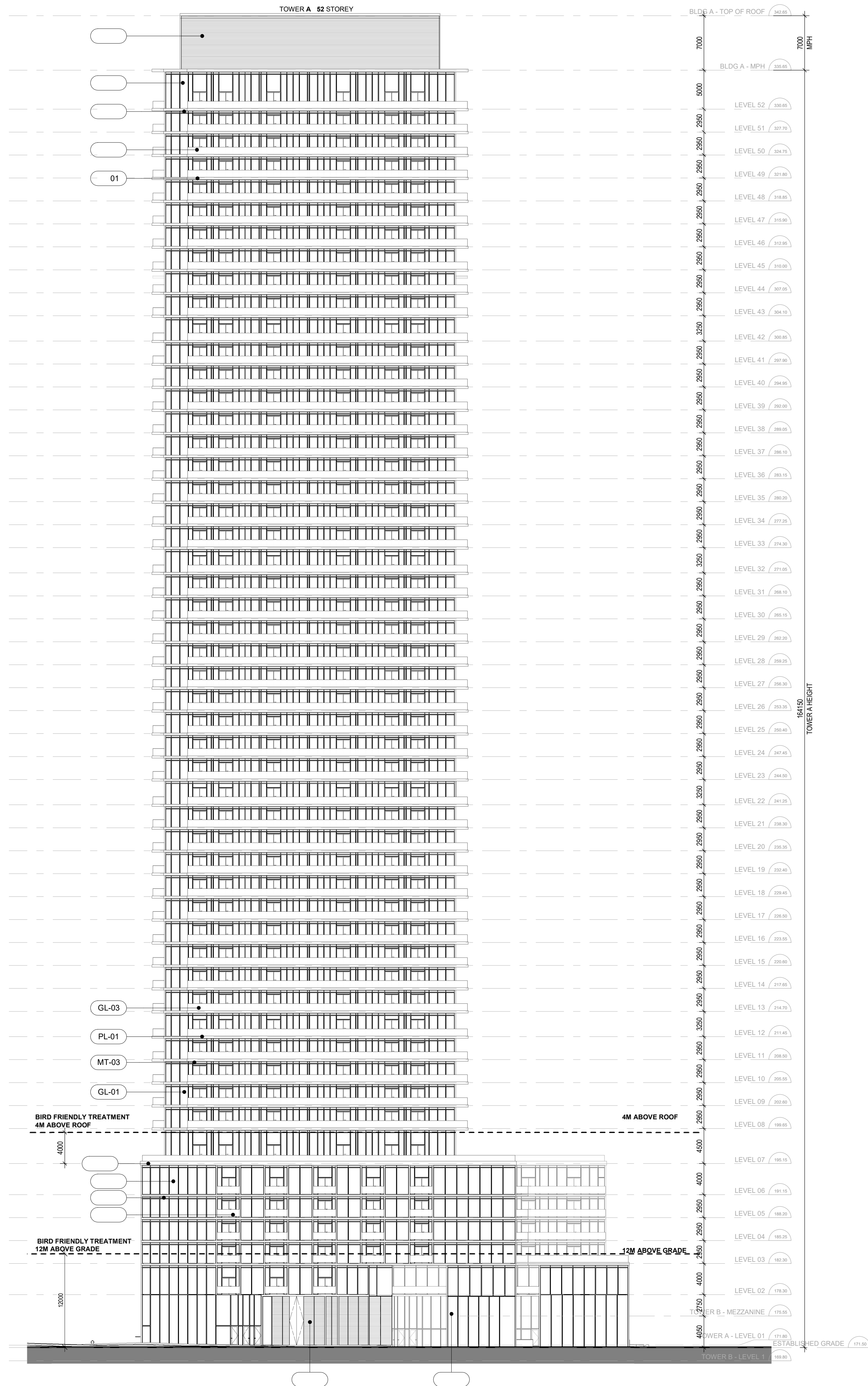
21-09

Date

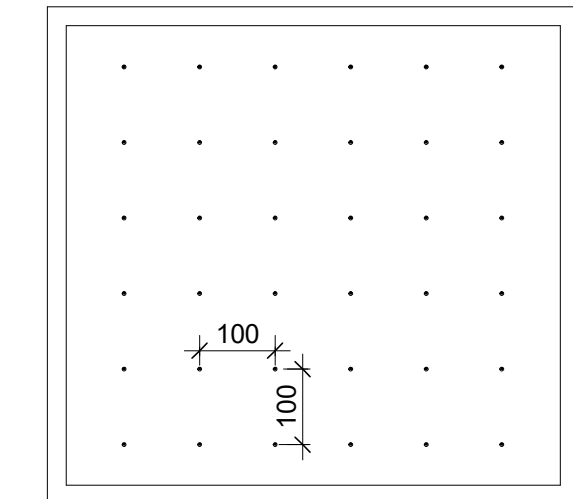
07/31/2023

Drawing No.

A2.14



BIRD-FRIENDLY GLAZING REQUIREMENTS



TYPICAL BIRD FRIENDLY GLASS TREATMENT
WITH 5mm dia. VISUAL MARKERS

NOTES FOR BIRD-FRIENDLY GLAZING:

- a. ALL GLAZING TO CONFORM WITH D'ARONTO GREEN STANDARDS TER 1 BRD FRIENDLY GLAZING REQUIREMENTS
- b. A MINIMUM OF 65% OF ALL EXTERIOR GLAZING WITHIN THE FIRST 6m OF THE BUILDING ABOVE GRADE INCLUDING BALCONY RAILINGS TO BE TREATED WITH VISUAL MARKERS APPLIED TO GLASS WITH A MAXIMUM SPACING OF 100mm x 100mm AND HAVE A MIN. DIAMETER OF 5mm
- c. ALL SPANDREL PANELS TO BE OF LOW- REFLECTANCE
- d. ALL GLASS WITHIN THE FIRST 6m OF THE BUILDING ADJACENT TO A GREEN ROOF MUST BE TREATED AS PER THE REQUIREMENTS OF THIS STANDARD

No	Issued For	Date
1	Issued for OPA, ZBA	2022-03-31
2	Issued for OPA, ZBA	2023-09-27
3	Issued for OPA, ZBA	2024-05-17

ELEVATION MATERIAL LEGEND:

GL-01	DARK GREY ALUMINUM FRAME CLEAR GLAZING
GL-02	DARK GREY ALUMINUM FRAME SPANDREL GLAZING
GL-03	GLASS CURTAINWALL
GL-04	CURTAIN WALL SYSTEM WITH CLEAR GLAZING
MT-01	DARK GREY METAL PANELS
MT-02	WHITE PERFORATED METAL GUARDRAIL
MT-03	DARK GREY METAL LOUVERS
MT-04	WHITE METAL PANELS
MT-05	COLOURED METAL PANELS
PL-01	WHITE PRECAST CONCRETE PANELS
PL-02	DARK GREY PRECAST PANELS SMOOTH
PL-03	WOOD-PRINTED ALUMINUM PANEL

TGS BIRD FRIENDLY PATTERN:
VISUAL MARKERS OF MINIMUM DIAMETER OF 5mm AND MAXIMUM
SPACING OF 100mm x 100mm

A MIN. OF 85% OF ALL EXTERIOR GLAZING WITHIN THE FIRST 16m OF THE
BUILDING ABOVE GRADE TO BE TREATED BY:

- LOW REFLECTANCE, OPAQUE MATERIALS
- VISUAL MARKERS APPLIED TO GLASS WITH A MAX. SPACING
OF 100mm x 100mm

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Drawing	Title
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NORTH ELEVATION

Project

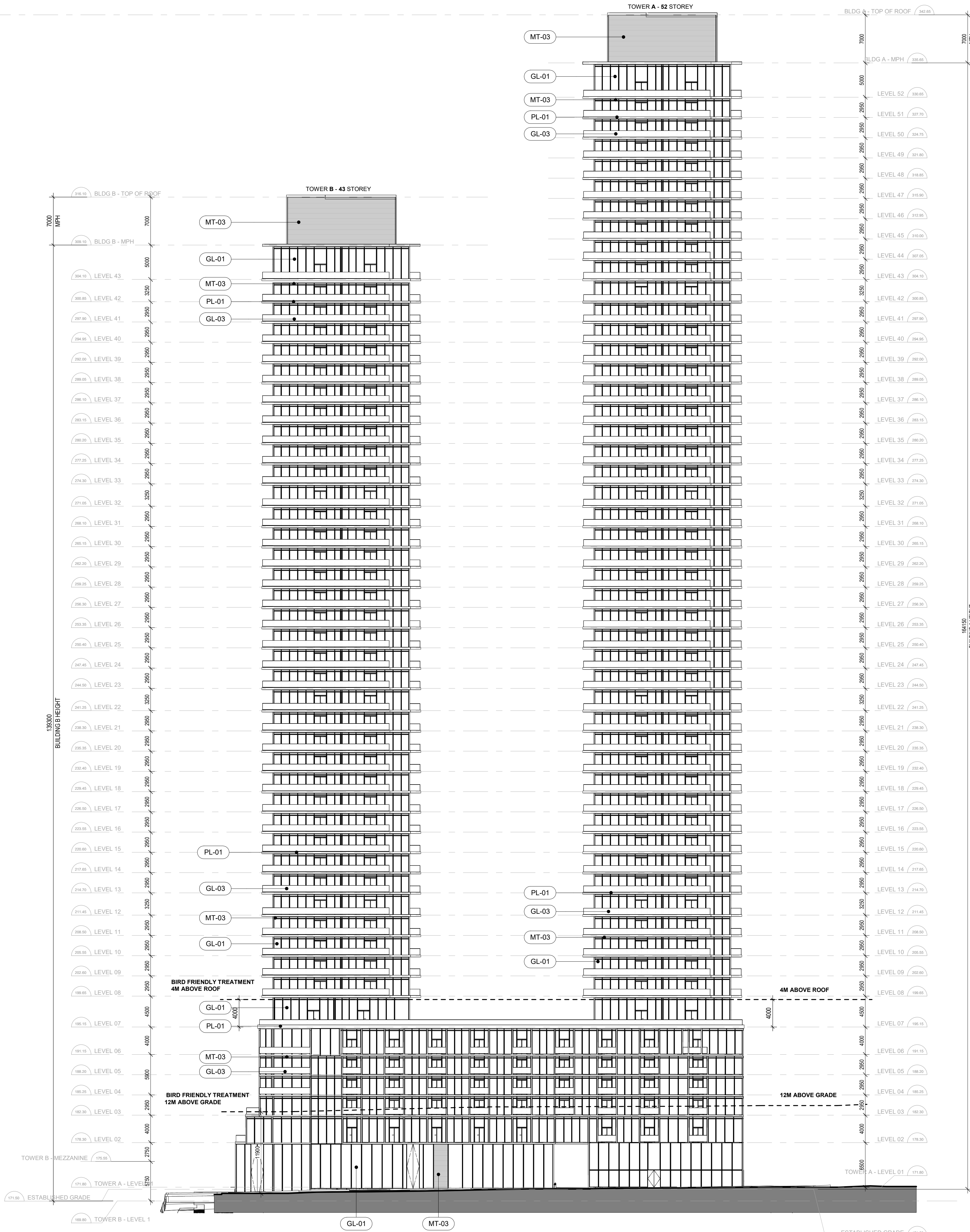
MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS	
21-09	Scale
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	Date
	Drawing No.

A3.01

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Drawing Title

EAST ELEVATION

Project

MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

Scale

As indicated

Drawn by

Checked by

Project No.

21-09

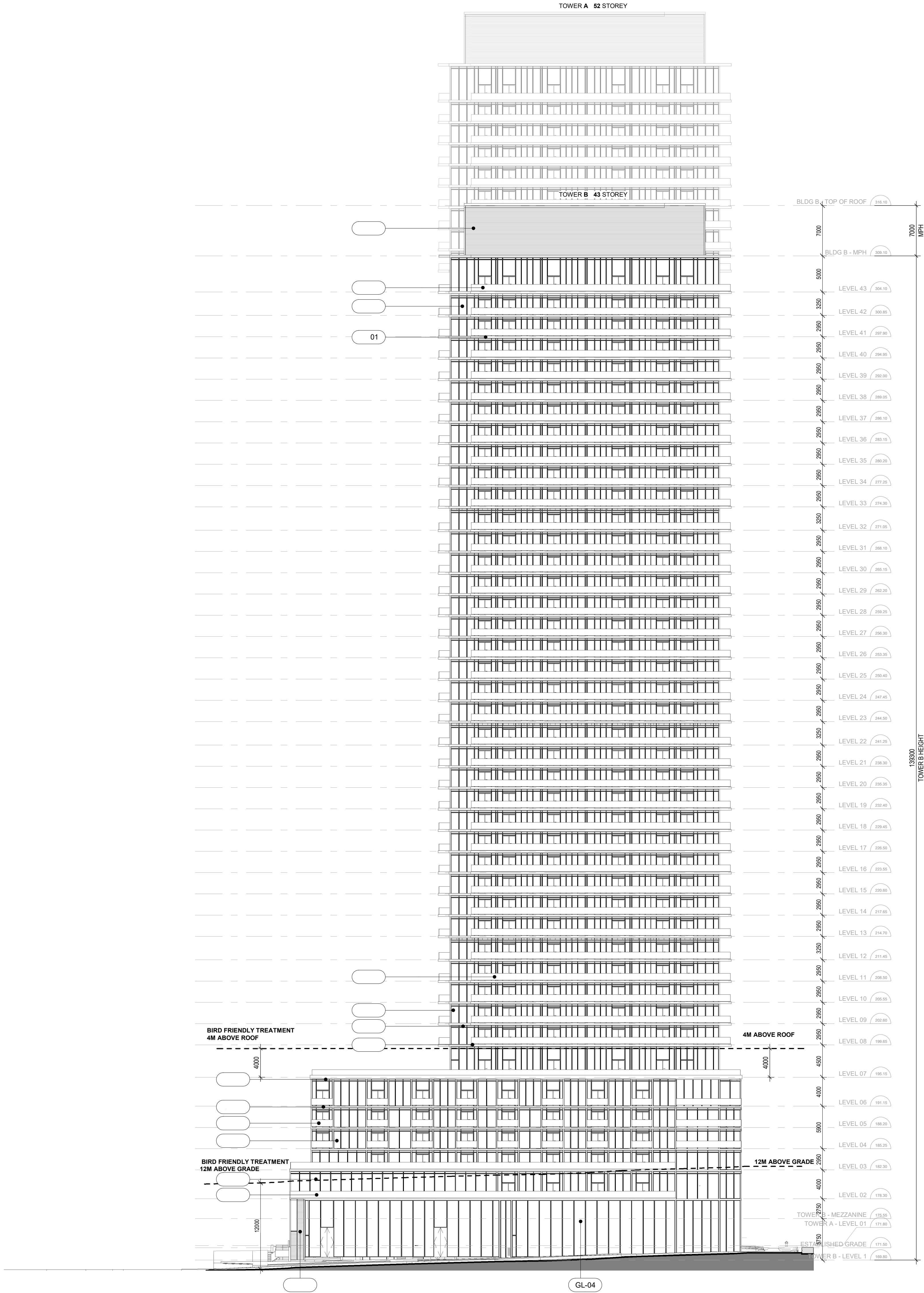
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07/31/2023

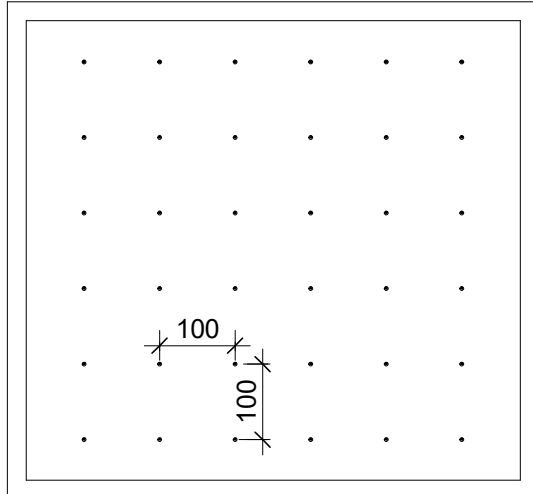
Drawing No.

A3.02

Plot Date: 5/17/2024 1:25:45 PM File Path: C:\Users\india\Documents\21-09_2500 Don Mills_PVT23_milliaf\TNA.rvt



BIRD-FRIENDLY GLAZING REQUIREMENTS



TYPICAL BIRD FRIENDLY GLASS TREATMENT WITH 5mm Ø VISUAL MARKERS

NOTES FOR BIRD-FRIENDLY GLAZING:

- ALL GLAZING TO CONFORM WITH TORONTO GREEN STANDARDS TER 1 BIRD FRIENDLY GLAZING REQUIREMENTS
- A MINIMUM OF 85% OF ALL EXTERIOR GLAZING WITHIN THE FIRST 6m OF THE BUILDING ABOVE GRADE (INCLUDING BALCONY RAILINGS) TO BE TREATED WITH VISUAL MARKERS APPLIED TO GLASS WITH A MAXIMUM SPACING OF 100mm x 100mm AND HAVE A MIN. DIAMETER OF 5mm
- ALL SPANDREL PANELS TO BE OF LOW-REFLECTANCE
- ALL GLASS WITHIN THE FIRST 6m OF THE BUILDING ADJACENT TO A GREEN ROOF MUST BE TREATED AS PER THE REQUIREMENTS OF THIS STANDARD

No	Issued For	Date
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ELEVATION MATERIAL LEGEND:

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GL-02	DARK GREY ALUMINUM FRAME SPANDREL GLAZING
GL-03	GLASS GUARDRAIL
GL-04	CURTAIN WALL SYSTEM WITH CLEAR GLAZING
MT-01	DARK GREY METAL PANELS
MT-02	WHITE PERFORATED METAL GUARDRAIL
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MT-04	WHITE METAL PANELS
MT-05	COLOURED METAL PANELS
PL-01	WHITE PRECAST CONCRETE PANELS
PL-02	DARK GREY PRECAST PANELS SMOOTH
PL-03	WOOD-PRINTED ALUMINUM PANEL

TGS BIRD FRIENDLY PATTERN:
VISUAL MARKERS OF MINIMUM DIAMETER OF 5mm AND MAXIMUM SPACING OF 100mm x 100mm
A MIN. OF 85% OF ALL EXTERIOR GLAZING WITHIN THE FIRST 6m OF THE BUILDING ABOVE GRADE TO BE TREATED BY:
a. LOW REFLECTANCE, OPAQUE MATERIALS
b. VISUAL MARKERS APPLIED TO GLASS WITH A MAX. SPACING OF 100mm x 100mm

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Drawing Title

SOUTH ELEVATION

Project

MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

Scale

1 : 250 ated

Drawn by

Checked by

Project No.

21-09

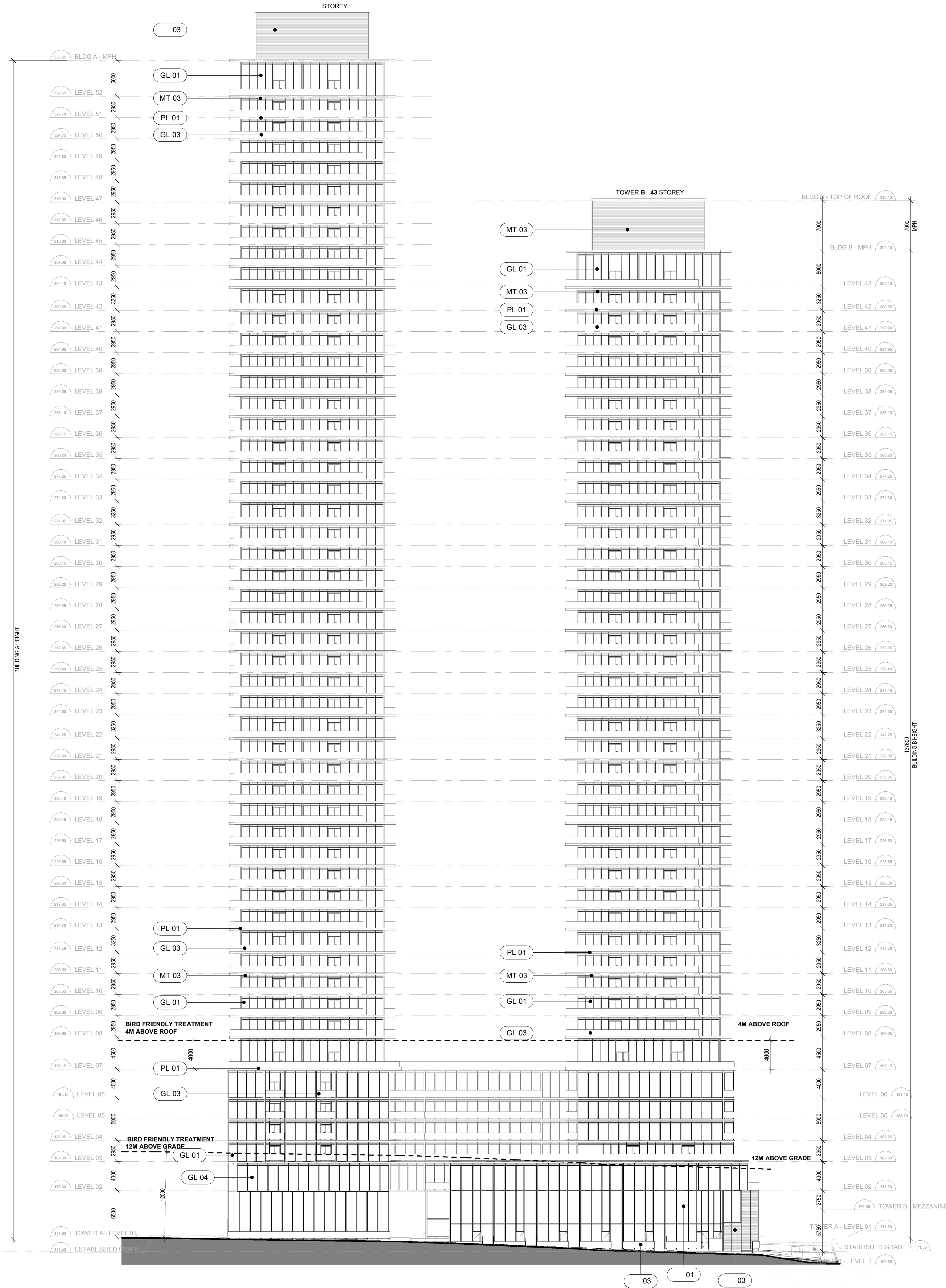
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07/31/2023

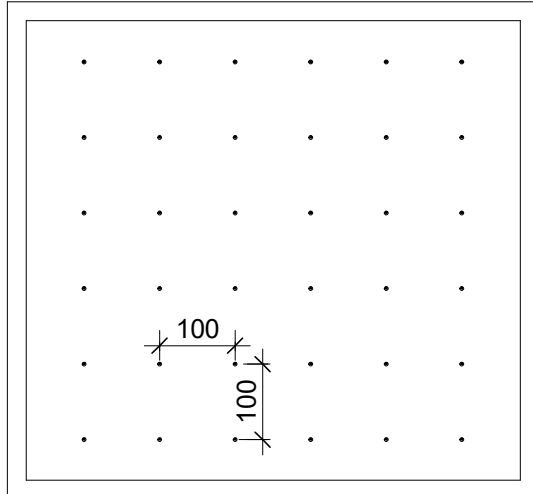
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BIRD-FRIENDLY GLAZING REQUIREMENTS



TYPICAL BIRD-FRIENDLY GLASS TREATMENT WITH 5mm dia. VISUAL MARKERS

NOTES FOR BIRD-FRIENDLY GLAZING:

- ALL GLAZING TO CONFORM WITH TORONTO GREEN STANDARDS TIER 1 BIRD-FRIENDLY GLAZING REQUIREMENTS
- A MINIMUM OF 85% OF ALL EXTERIOR GLAZING WITHIN THE FIRST 6m OF THE BUILDING ABOVE GRADE (INCLUDING BALCONY RAILINGS) TO BE TREATED WITH VISUAL MARKERS APPLIED TO GLASS WITH A MAXIMUM SPACING OF 100mm x 100mm AND HAVE A MIN. DIAMETER OF 5mm
- ALL SPANDREL PANELS TO BE OF LOW-REFLECTANCE
- ALL GLASS WITHIN THE FIRST 6m OF THE BUILDING ADJACENT TO A GREEN ROOF MUST BE TREATED AS PER THE REQUIREMENTS OF THIS STANDARD

No	Issued For	Date
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Drawing Title

WEST ELEVATION

Project

MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

Scale

1 : 250 ated

Drawn by

Checked by

Project No.

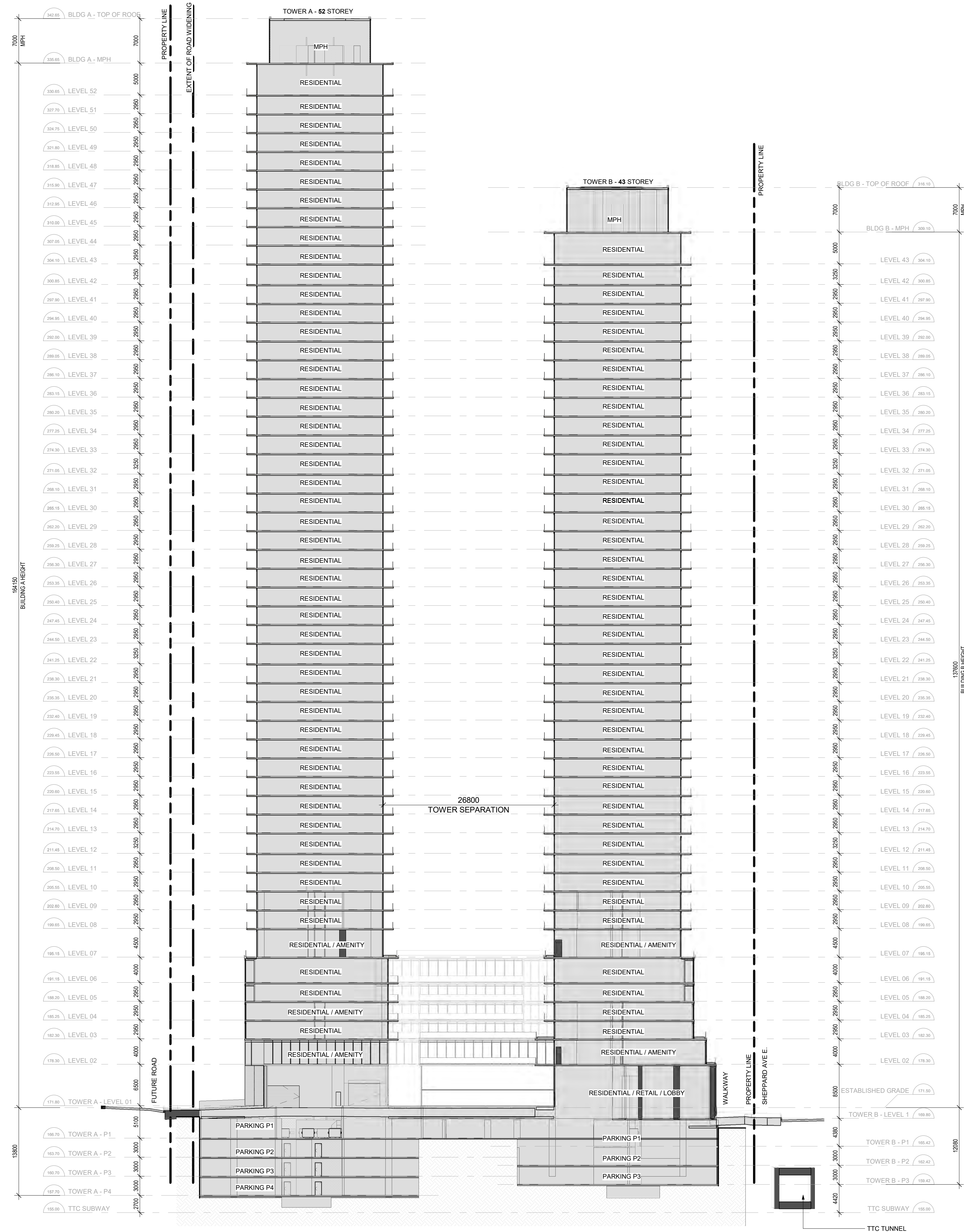
21-09

Date

07/31/2023

Drawing No.

A3.04



No	Issued For	Date
1	Issued for OPA, ZBA	2022-03-31
2	Issued for OPA, ZBA	2023-09-27
3	Issued for OPA, ZBA	2024-05-17

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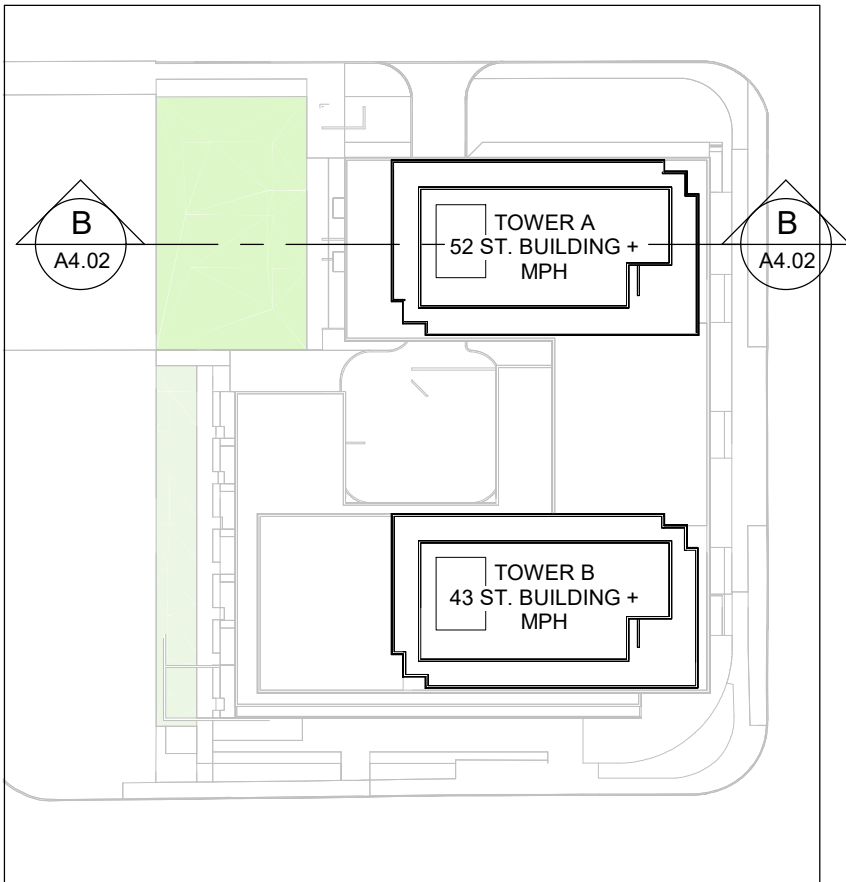
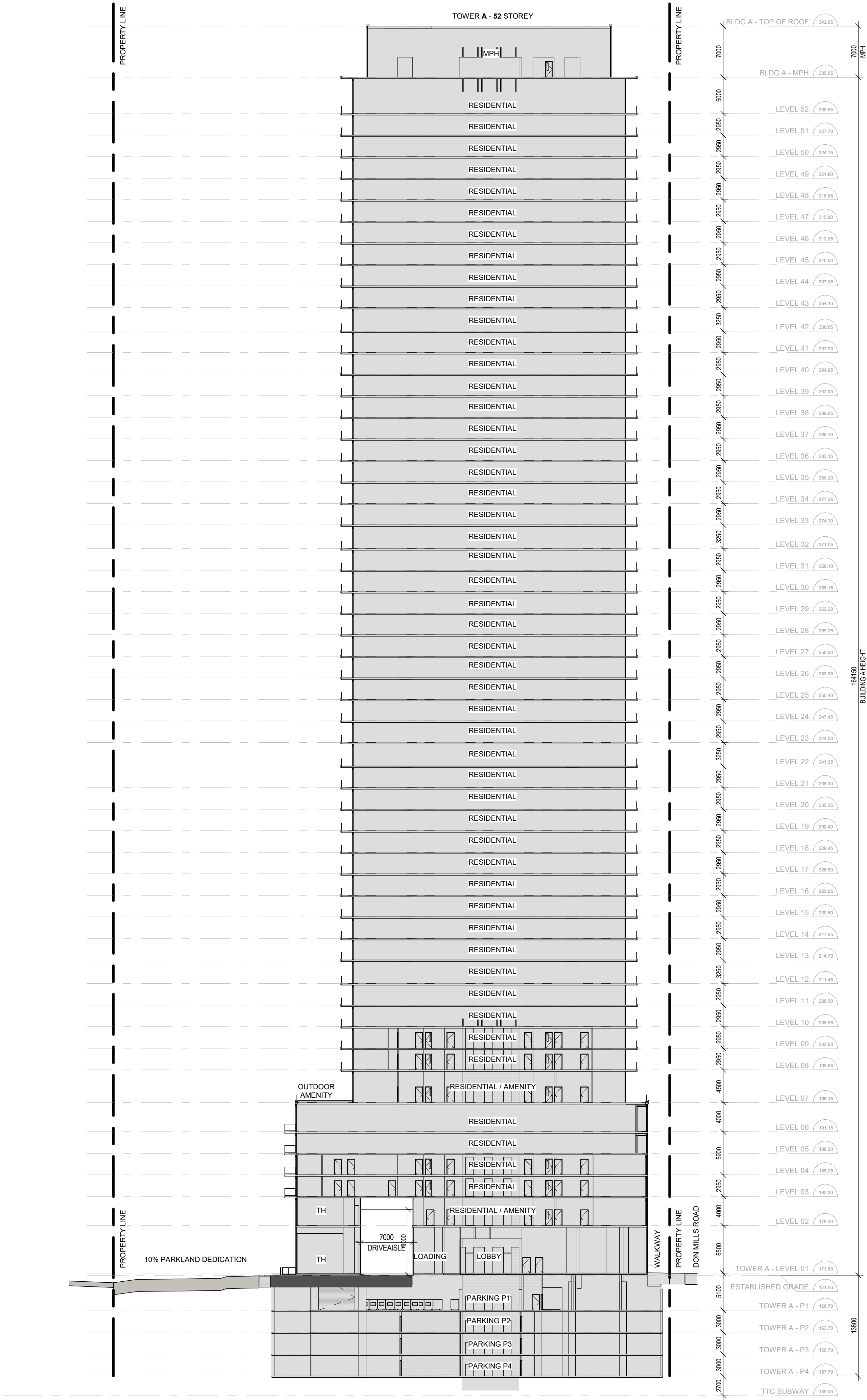
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Project

2500 DON MILLS

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	Checked by
21-09	Project No.
07/31/2023	Date
	Drawing No.

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No	Issued For	Date
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3	Issued for OPA, ZBA	2024-05-17

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Drawing Title

SECTION B-B

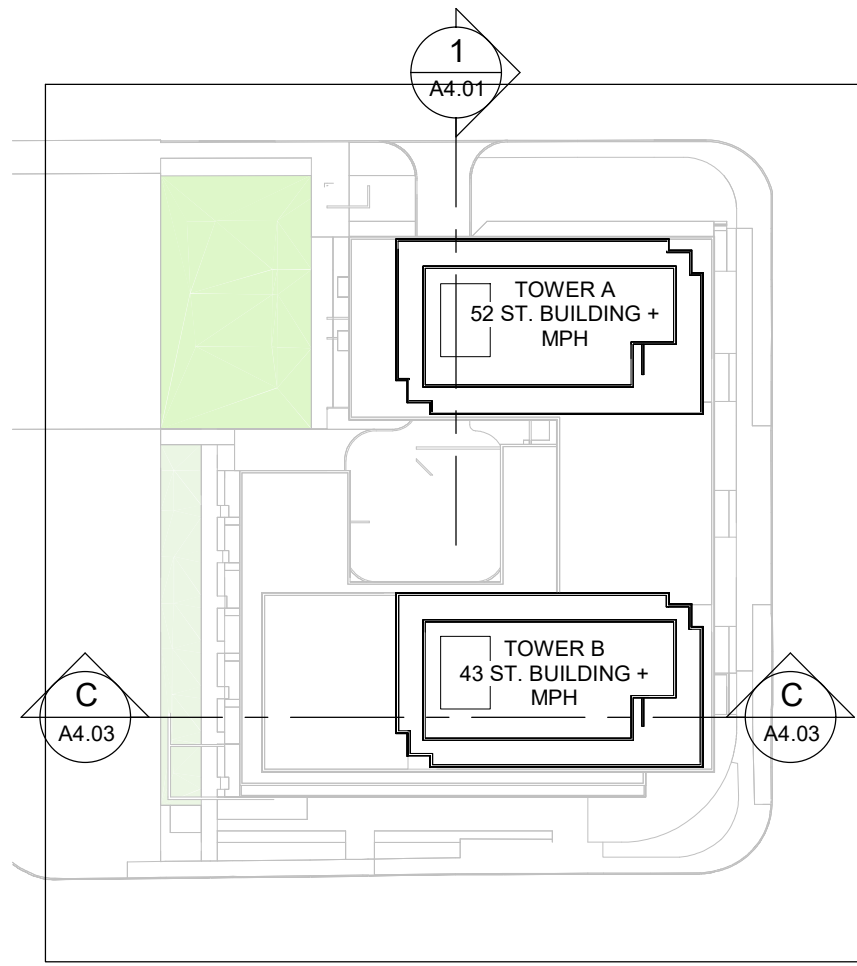
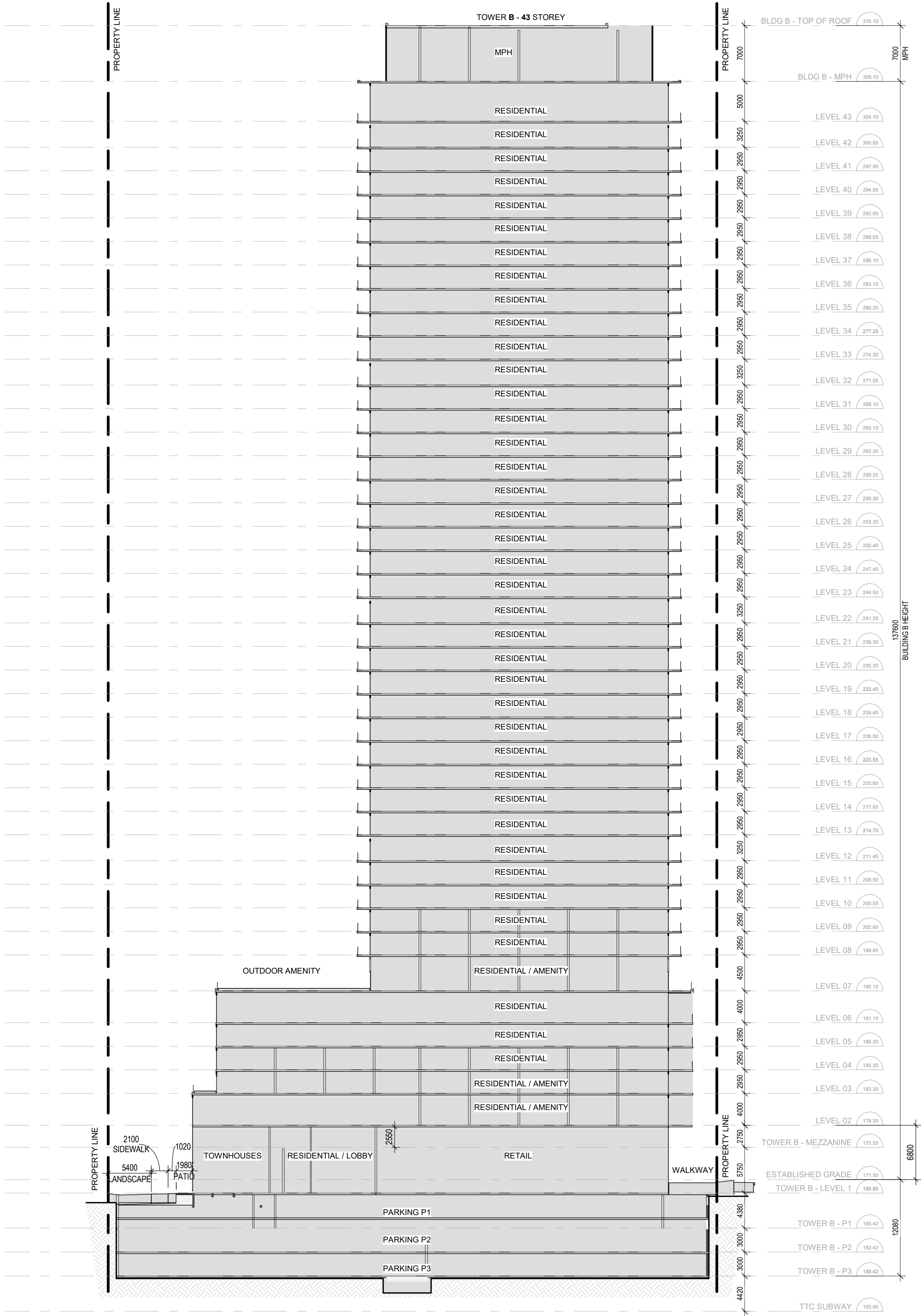
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MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS
As indicated
Scale
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Checked by
Project No.
21-09
Date
07/31/2023
Drawing No.

A4.02



No	Issued For	Date
1	Issued for OPA, ZBA	2022-03-31
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Drawing Title

SECTION C-C

Project

MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS	Scale
As indicated	Drawn by
	Checked by
21-09	Project No.
07/31/2023	Date
	Drawing No.

A4.03



SEPTEMBER 9:18 AM



SEPTEMBER 10:18 AM



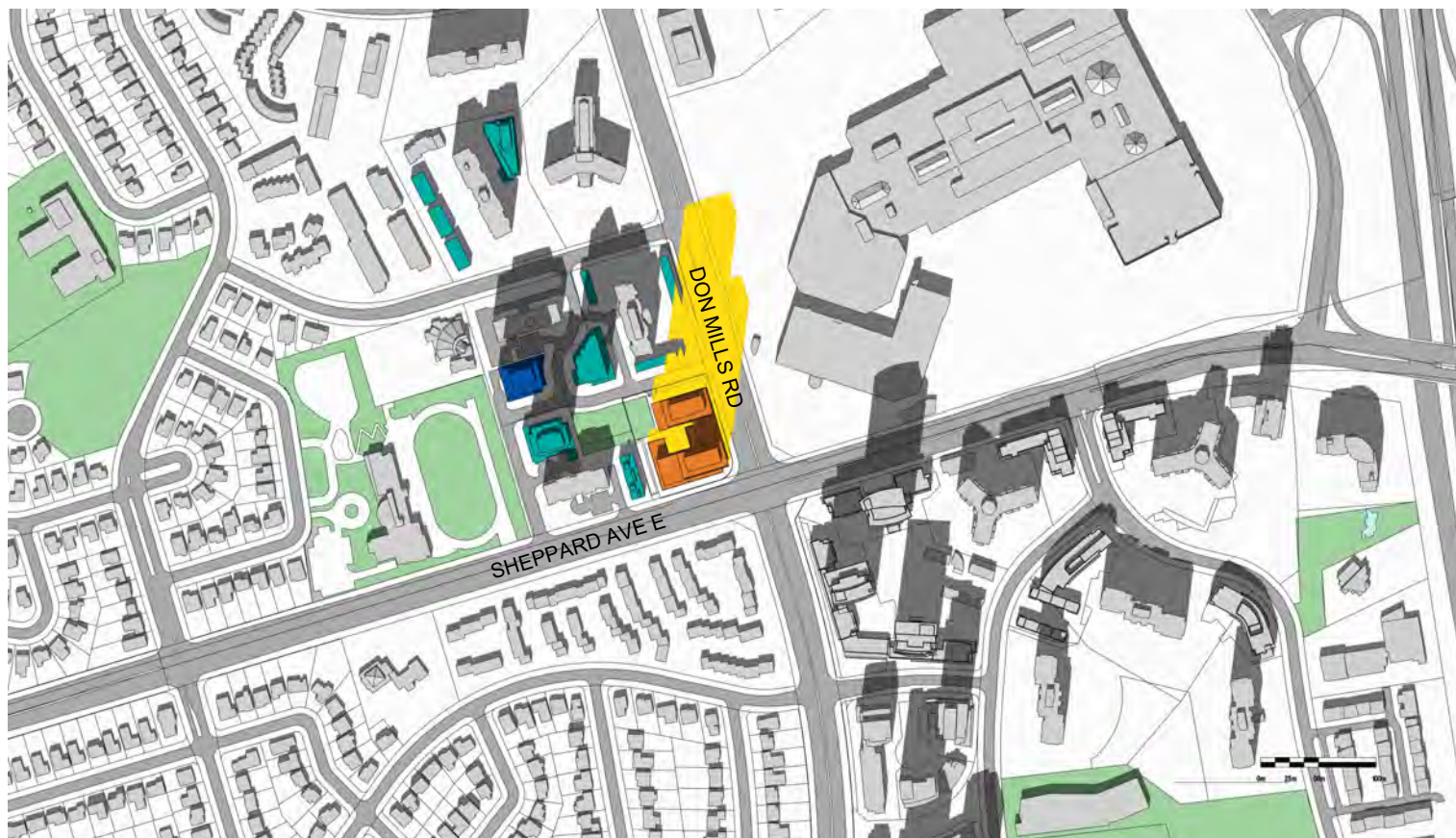
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SEPTEMBER 02:18 PM



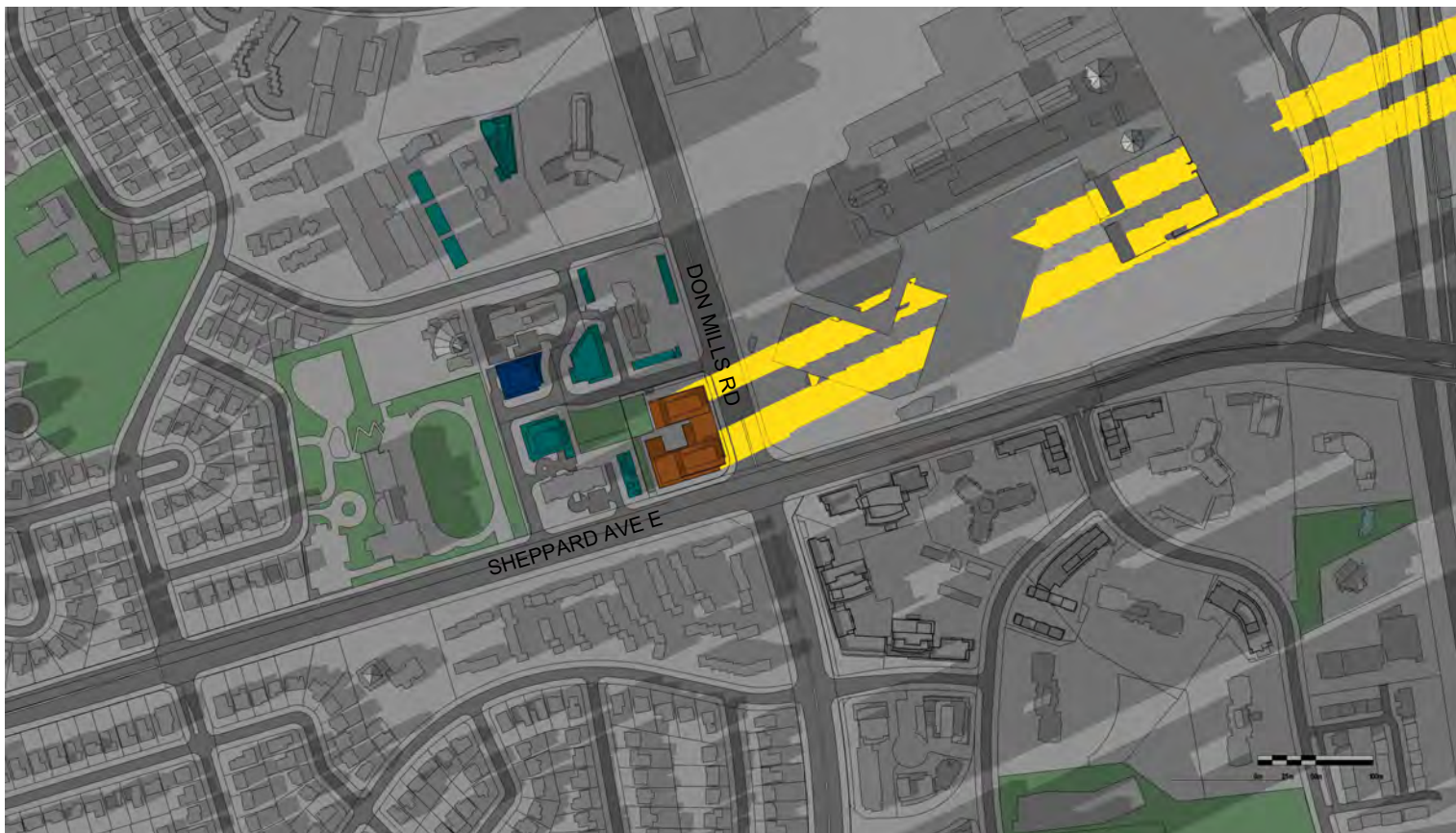
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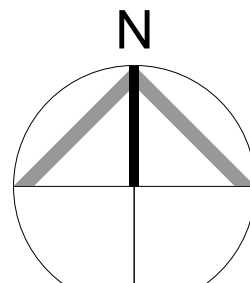


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No	Issued For	Date
1	Issued for OPA, ZBA	2022-03-31
2	Issued for OPA, ZBA	2023-09-27
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Drawing Title

SHADOW STUDIES

Project
MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

Scale

Drawn by

Checked by

Project No.

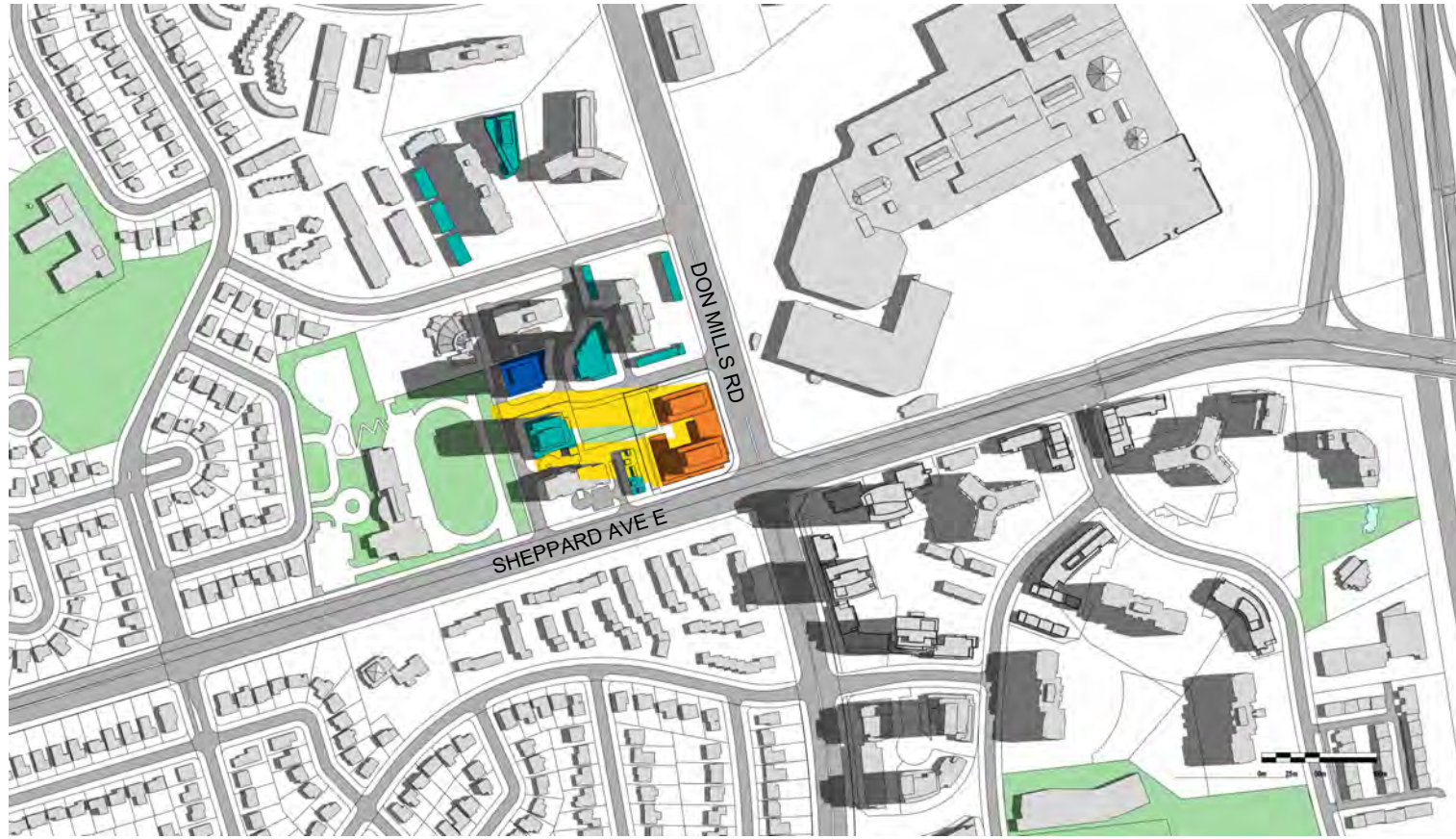
21-09

Date

07/31/2023

Drawing No.

A6.01



JUNE 9:18 AM

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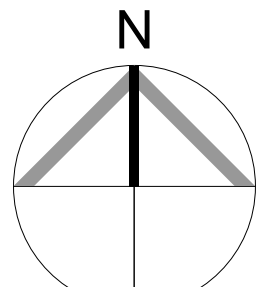


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No	Issued For	Date
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Drawing Title

SHADOW STUDIES

Project
MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

Scale

Drawn by

Checked by

Project No.

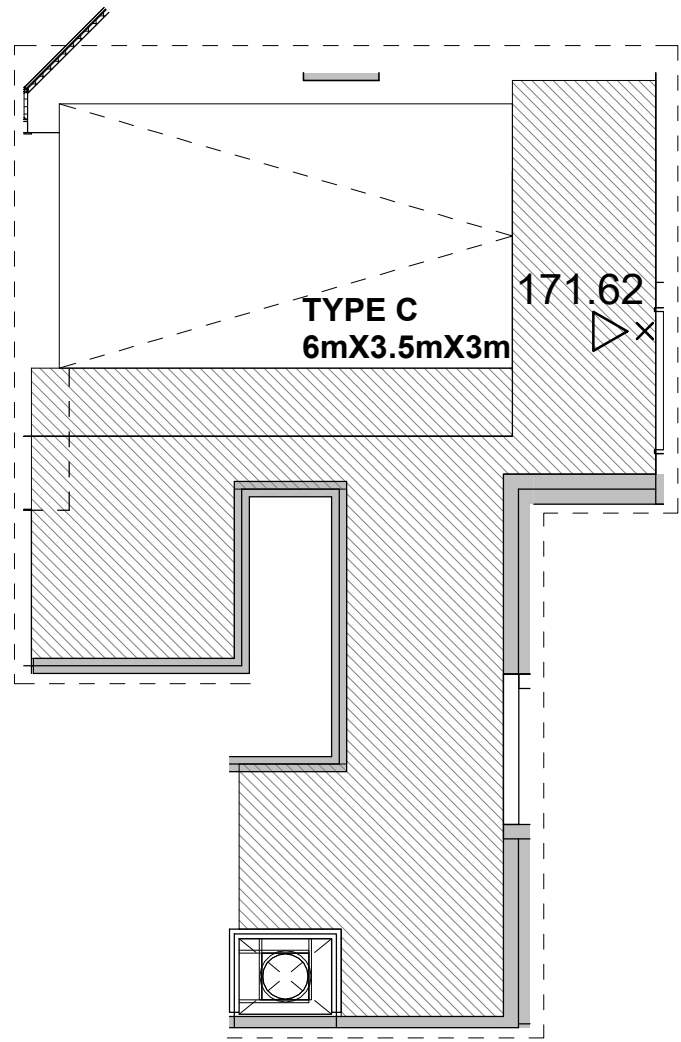
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Date

07/31/2023

Drawing No.

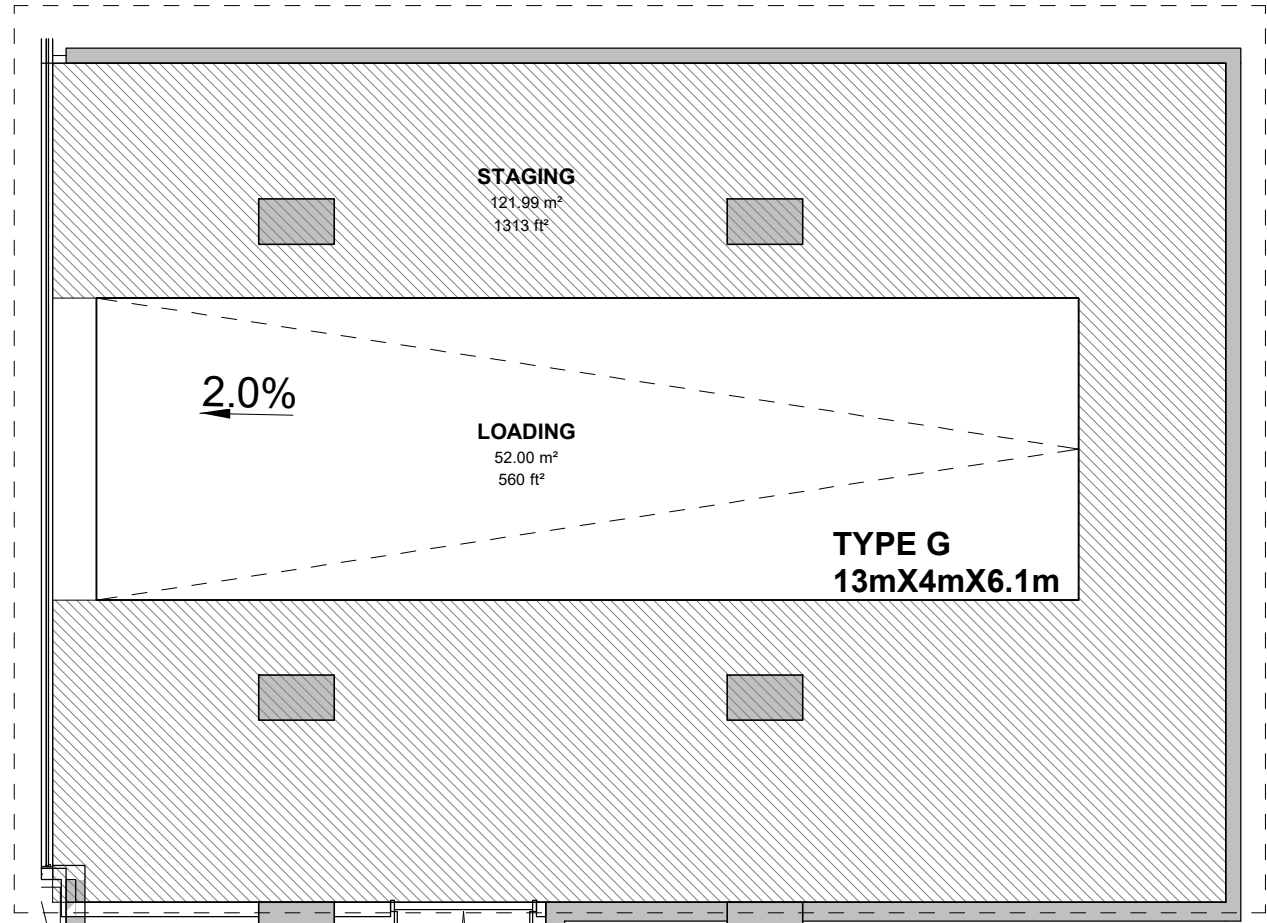
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LOADING AREA - LEVEL 01 - NORTH TOWER

Scale: 1 : 100

1
A8.01



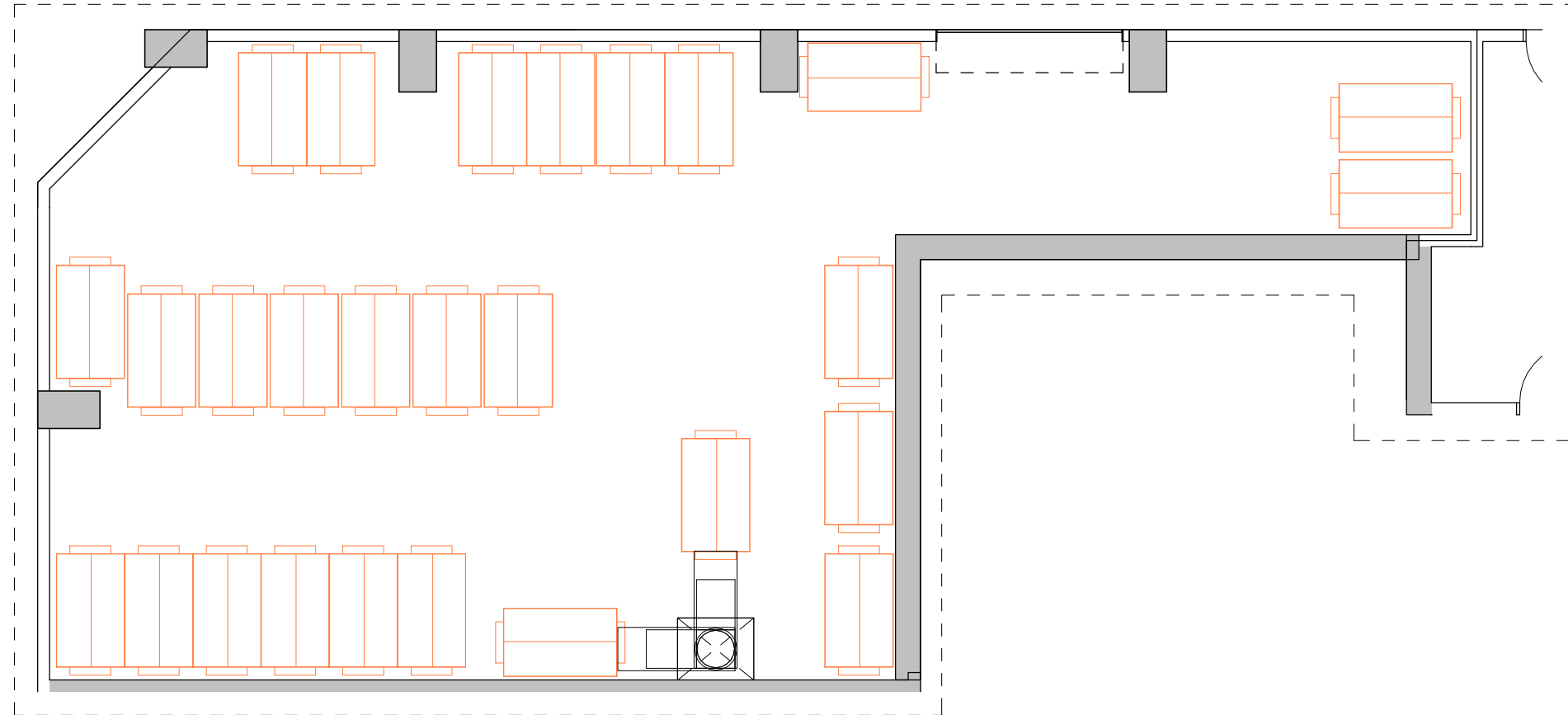
LOADING AREA- LEVEL 01 - SOUTH TOWER

Scale: 1 : 100

2
A8.01

NORTH TOWER: 621 RESIDENTIAL UNITS

GARBAGE BINS: 10
RECYCLE BINS: 10
ORGANIC BINS: 5



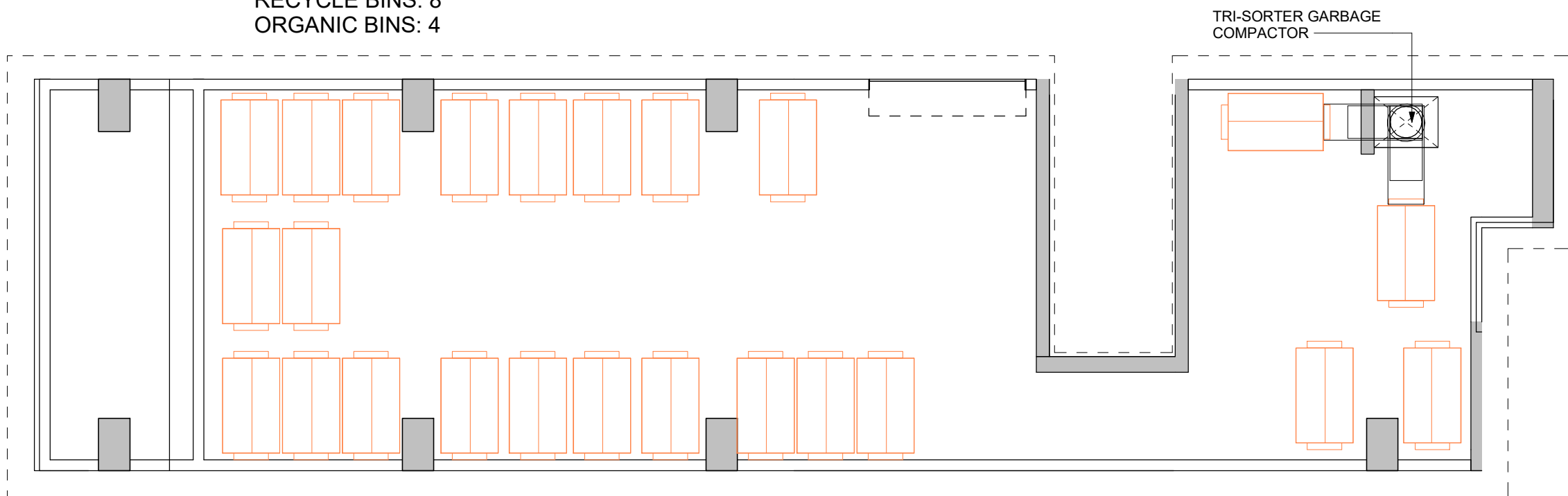
WASTE - LEVEL P1 - NORTH TOWER

Scale: 1 : 100

3
A8.01

SOUTH TOWER: 546 RESIDENTIAL UNITS

GARBAGE BINS: 8
RECYCLE BINS: 8
ORGANIC BINS: 4



WASTE - LEVEL P1 - SOUTH TOWER

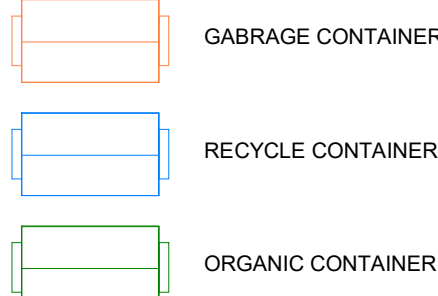
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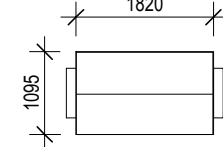
ADDITIONAL SOLID WASTE NOTES:

1. ALL DRIVEWAYS AND PASSAGEWAYS PROVIDING ACCESS TO THE TYPE G LOADING SPACE TO BE CONSTRUCTED TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, INCLUDING REQUIREMENTS OF THE CITY OF RICHMOND HILL.
2. TYPE G LOADING SPACE AND COLLECTION PAD TO BE CONSTRUCTED OF 200mm REINFORCED CONCRETE WITH A MAXIMUM GRADE OF 2%.
3. ALL DRIVEWAYS PROVIDING ACCESS TO LOADING SPACES WILL BE LEVEL (+/-8%), HAVE MIN. VERTICAL CLEARANCE OF 4.4M THROUGHOUT, A MIN. WIDTH OF 4.5M THROUGHOUT AND BE 6M WIDE AT POINT OF INGRESS.
4. PROVIDE AND MAINTAIN 'NO PARKING' SIGNS ADJACENT TO THE LOADING SPACE AREA.
5. WASTE STORAGE ROOMS TO BE CLIMATE CONTROLLED.

SOLID WASTE LEGEND:

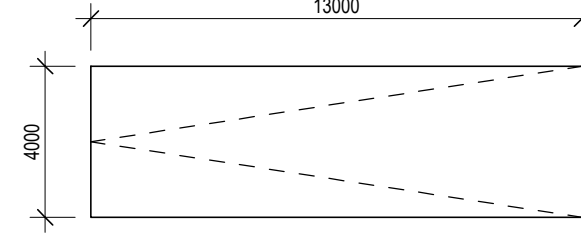


ALL CONTAINER ARE 3 CUBIC YARD BINS (1820Dx1095Wx1220H)



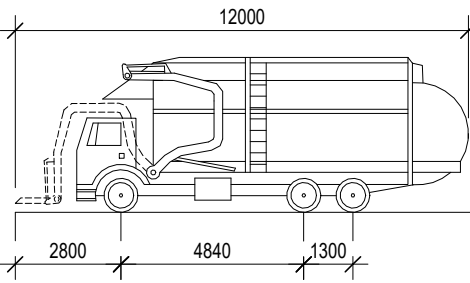
TYPE G LOADING SPACE

VERTICAL CLEARANCE OF 6.1m ALONG ENTIRE LENGTH MIN. 200mm REINFORCED CONCRETE ALONG ENTIRE LENGTH WITH MAX SLOPE OF 2%



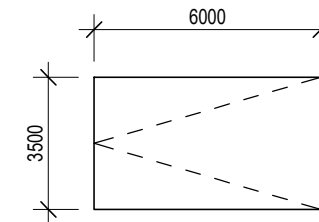
1. LOADING SPACE TO COMPLY WITH THE MINIMUM DIMENSIONAL REQUIREMENTS OF CITY OF RICHMOND HILL.
2. STAGING AREA TO BE CONSTRUCTED OF MIN. 200mm REINFORCED CONCRETE WITH A MAX. SLOPE OF 2%.

TYPE G - VEHICULAR DESIGN



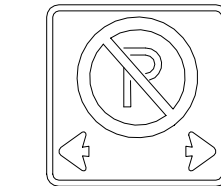
TYPE C LOADING SPACE

VERTICAL CLEARANCE OF 3.0m ALONG ENTIRE LENGTH MIN. 200mm REINFORCED CONCRETE ALONG ENTIRE LENGTH



GENERAL NOTES:

1. INSTALL AND MAINTAIN A FLASHING WARNING LIGHT SYSTEM WITH APPROPRIATE SIGNAGE AT THE TOP OF THE ACCESS RAMP LEADING TO THE UNDERGROUND GARAGE THAT WARNS MOTORISTS EXITING THE PARKING GARAGE TO WATCH FOR LARGE TRUCKS AND PEDESTRIANS MANOEUVERING BEYOND THE TOP OF THE ACCESS RAMP.
2. "NO PARKING" SIGNAGE TO BE INSTALLED ADJACENT TO LOADING SPACES.



Rb - 51 (300mmX300mm)

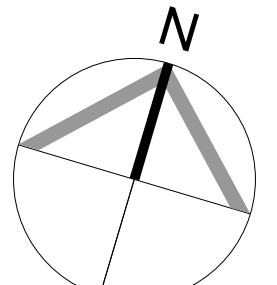
SOLID WASTE NOTES:

A TRAINED ON-SITE STAFF MEMBER MUST BE PRESENT TO MANEUVER BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.

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Drawing Title

WASTE MANAGEMENT

Project
MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

As indicated Scale

Drawn by

Checked by

Project No.

21-09

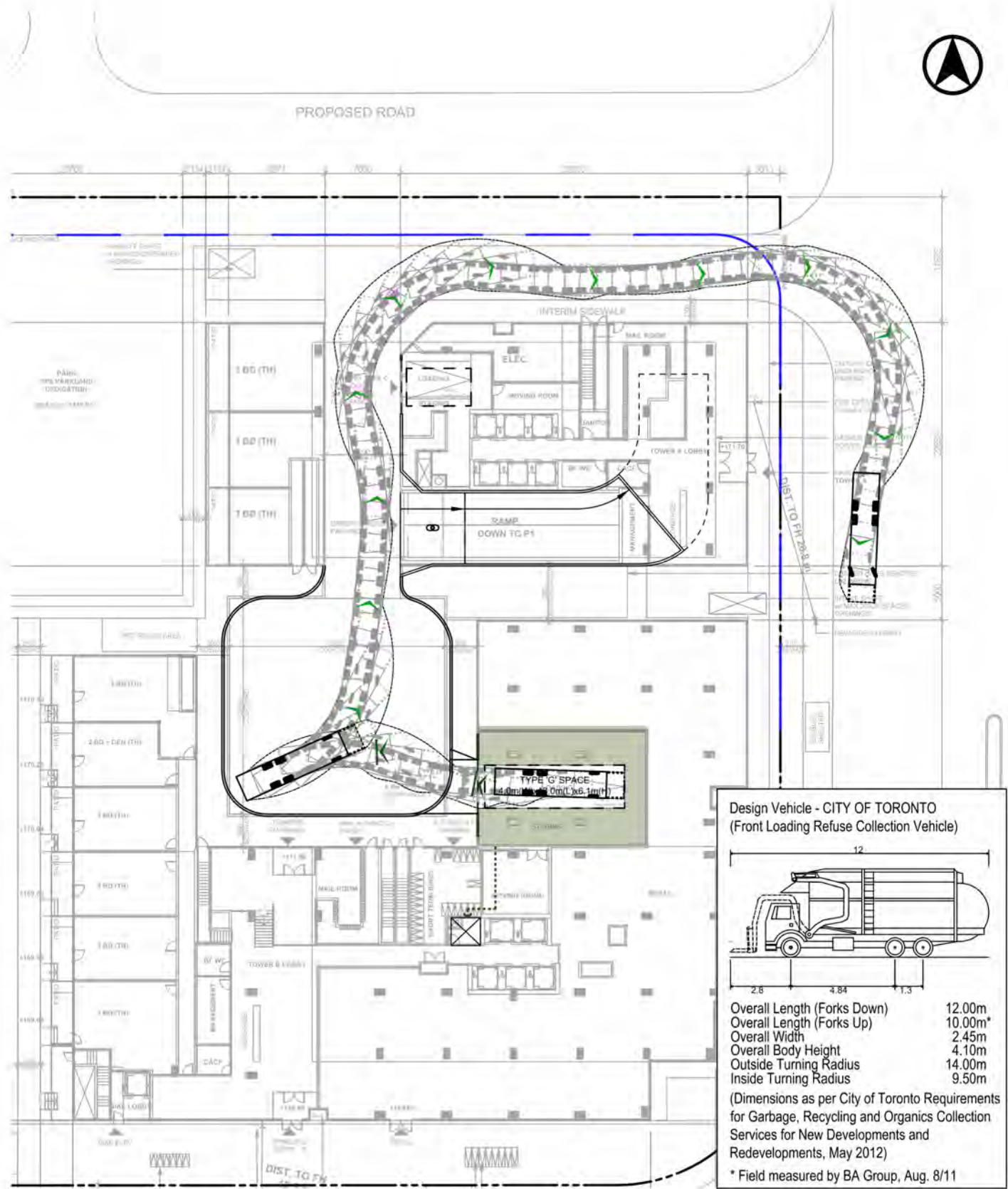
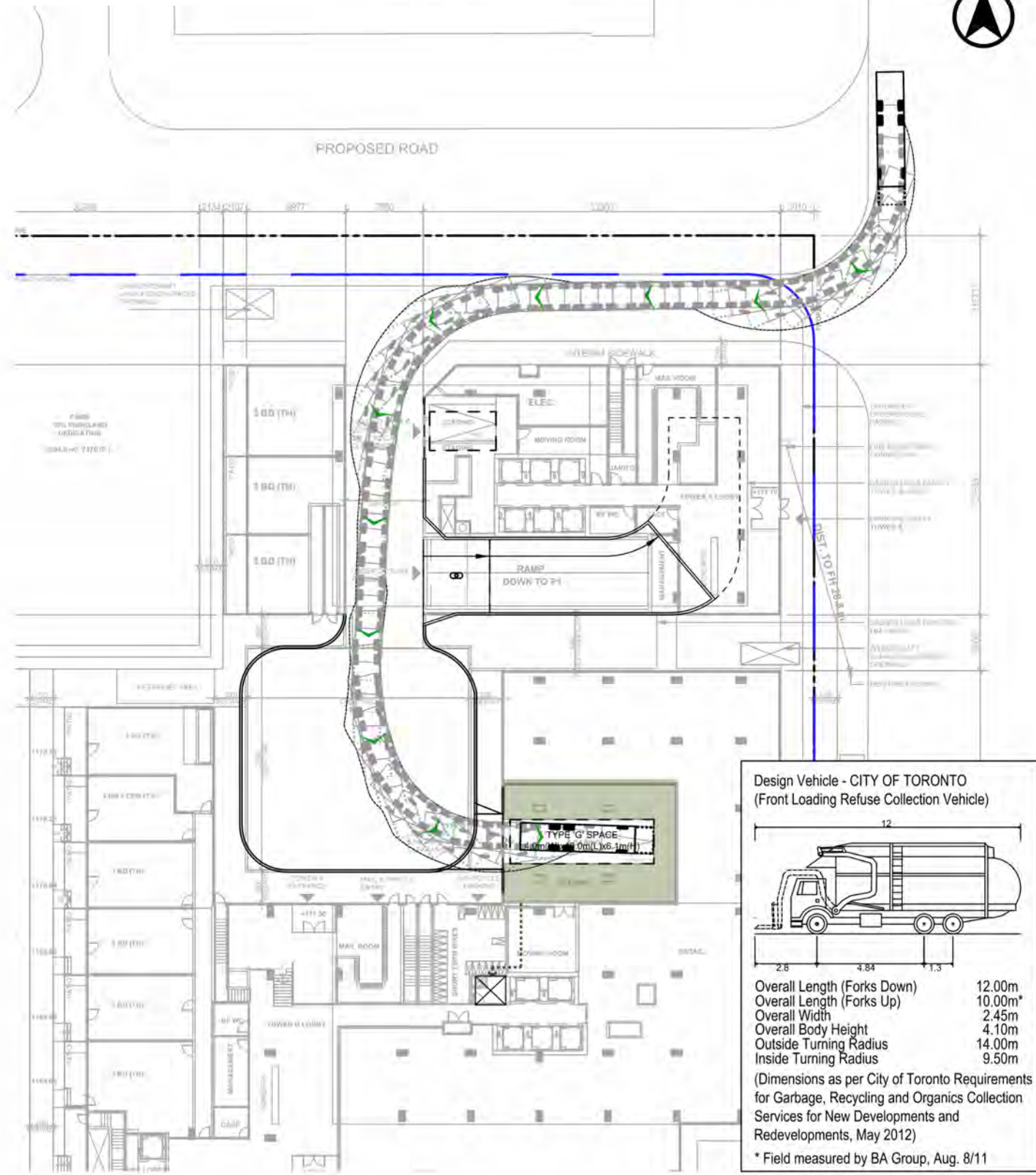
Date

01/17/22

Drawing No.

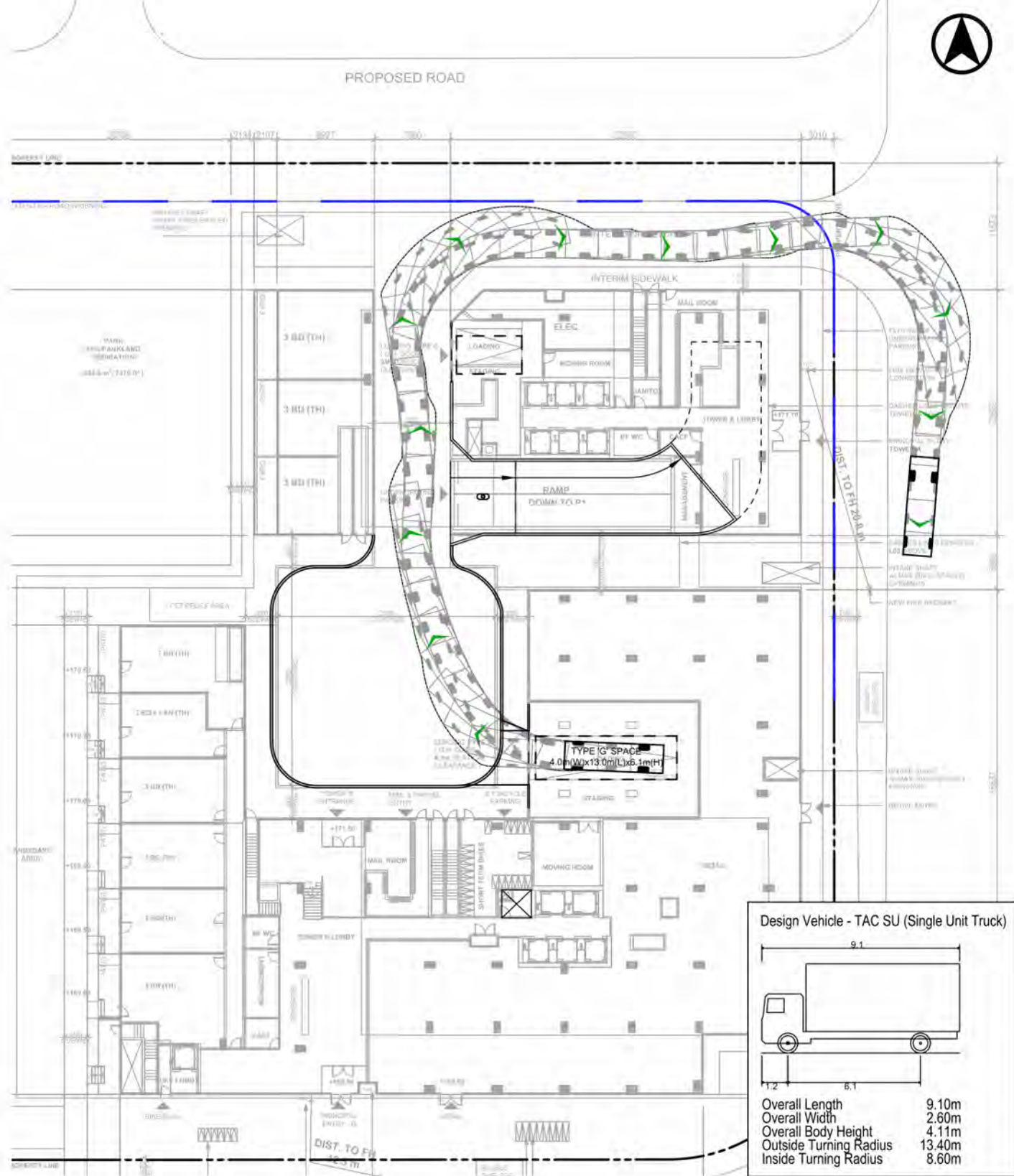
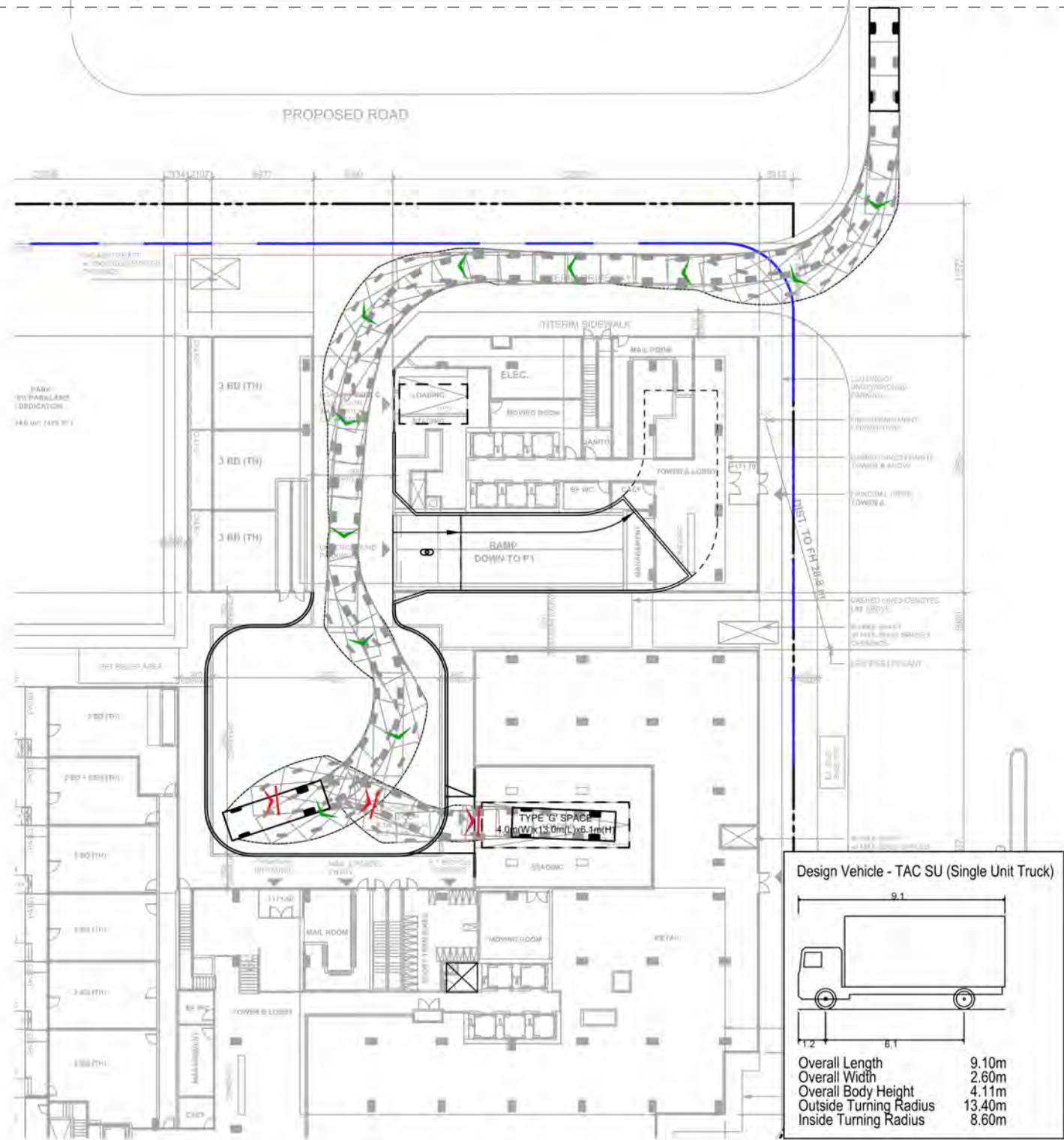
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VEHICLE MANOEUVRE DIAGRAM - INTERIM TYPE G - CITY OF TORONTO GARBAGE TRUCK - INBOUND

VEHICLE MANOEUVRE DIAGRAM - INTERIM TYPE G - CITY OF TORONTO GARBAGE TRUCK - OUTBOUND



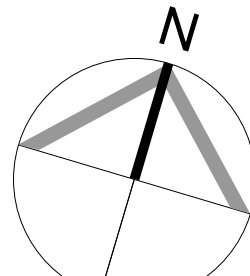
VEHICLE MANOEUVRE DIAGRAM - INTERIM TYPE G - TAC SINGLE UNIT TRUCK - INBOUND

VEHICLE MANOEUVRE DIAGRAM - INTERIM TYPE G - TAC SINGLE UNIT TRUCK - OUTBOUND

No	Issued For	Date
1	Issued for OPA, ZBA	2022-03-31
2	Issued for OPA, ZBA	2023-09-27
3	Issued for OPA, ZBA	2024-05-17

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Drawing Title

MANOEUVERING DIAGRAMS - 01

Project
MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

Scale

Drawn by

Checked by

Project No.

21-09

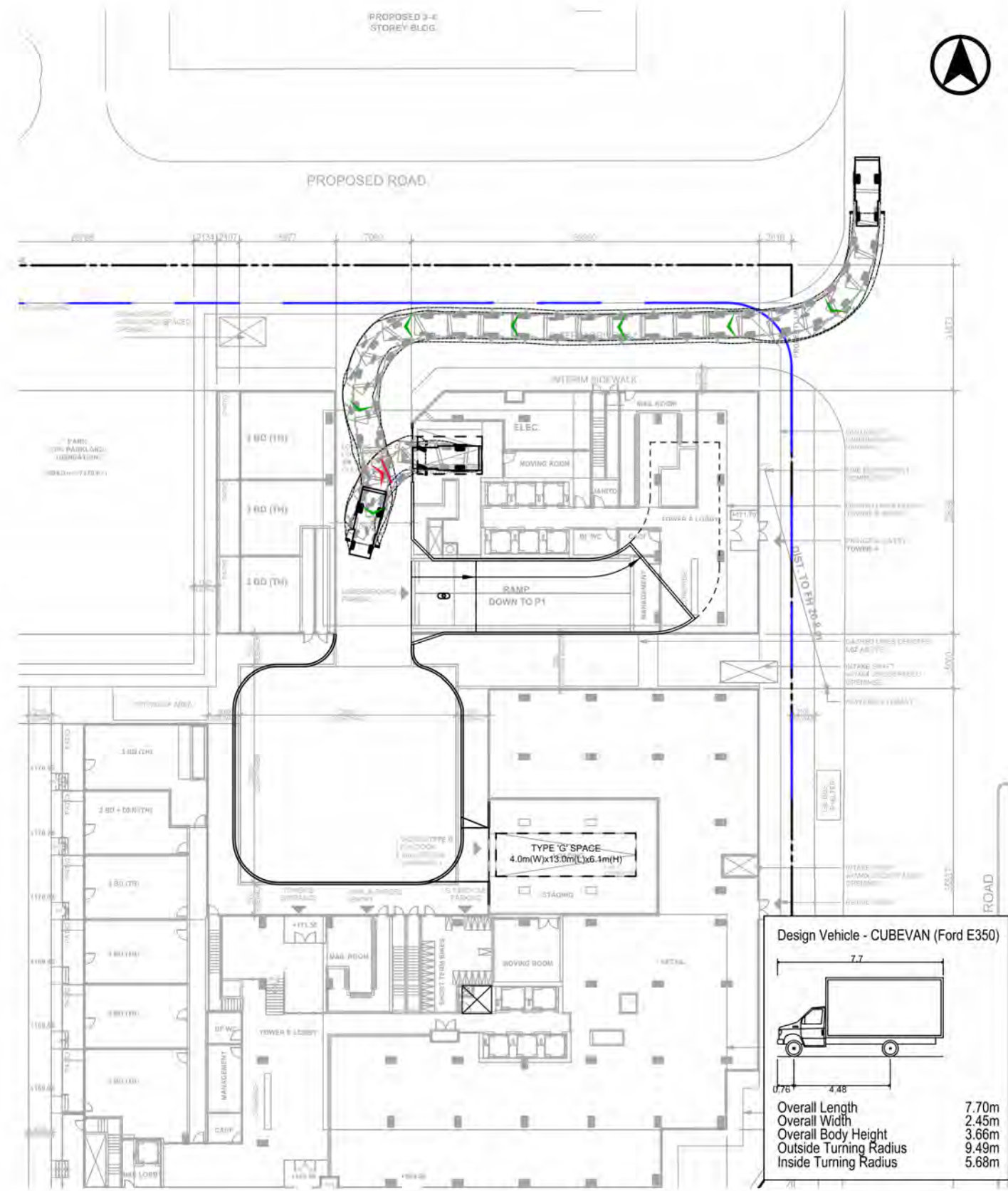
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03/06/20

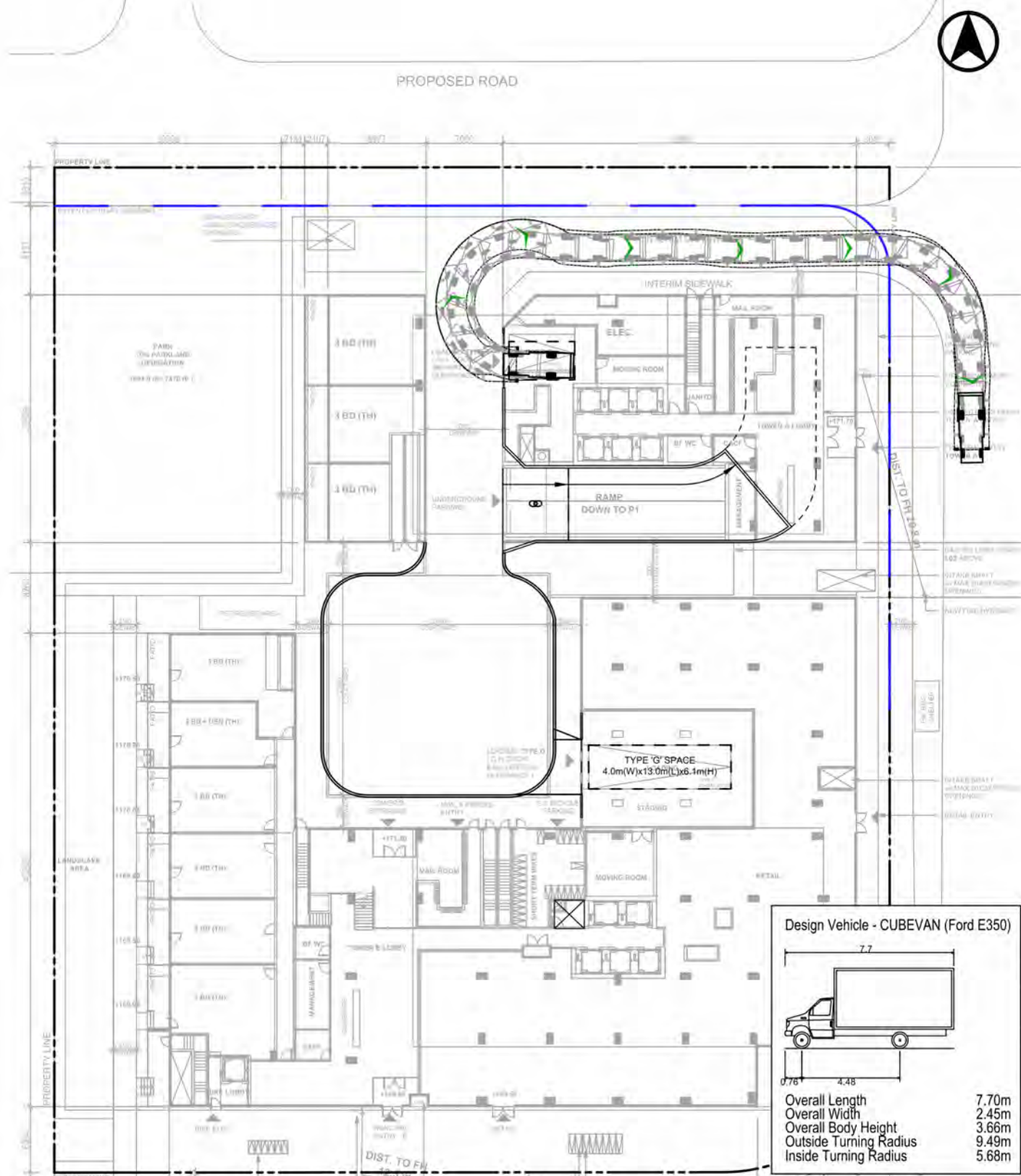
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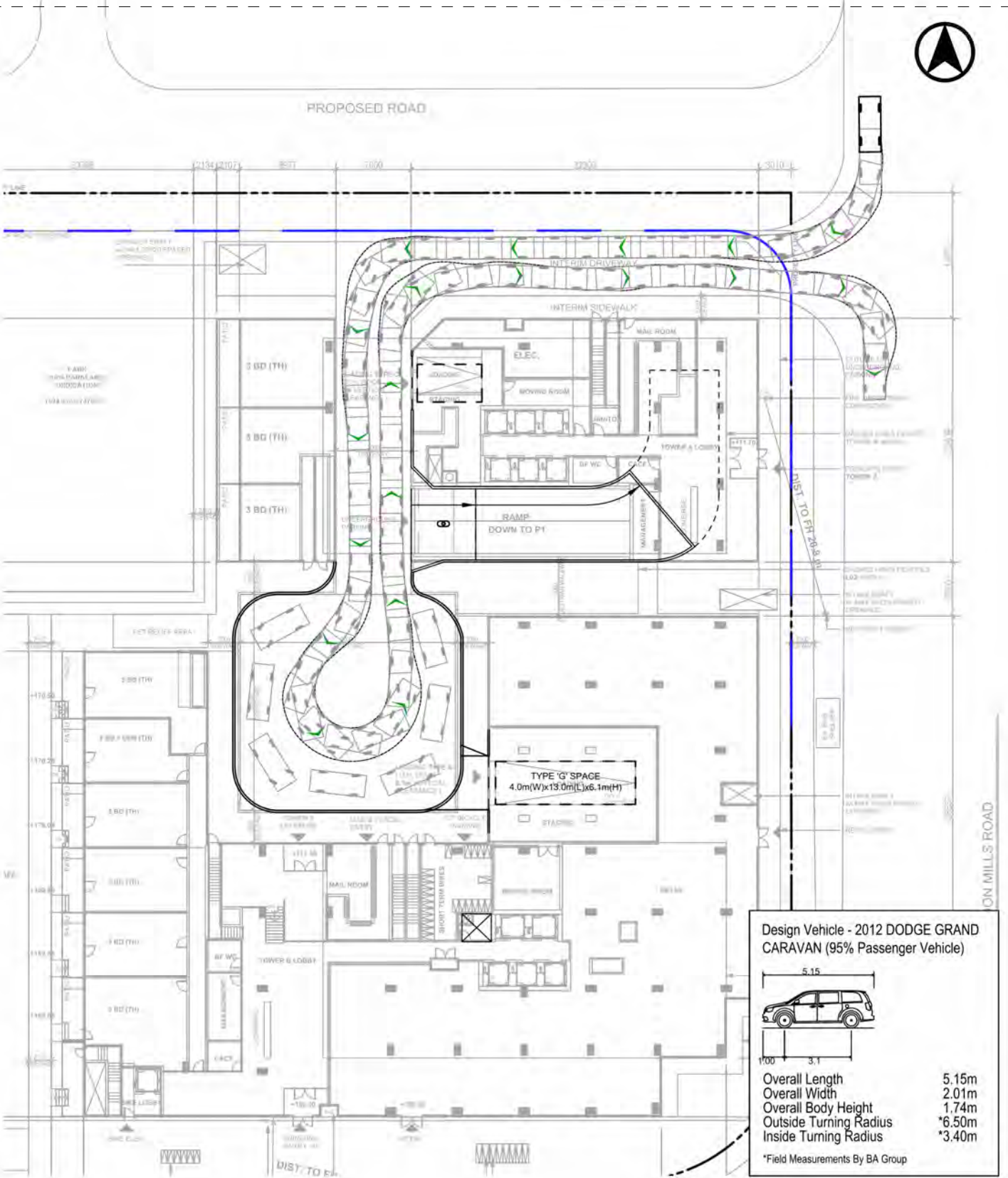
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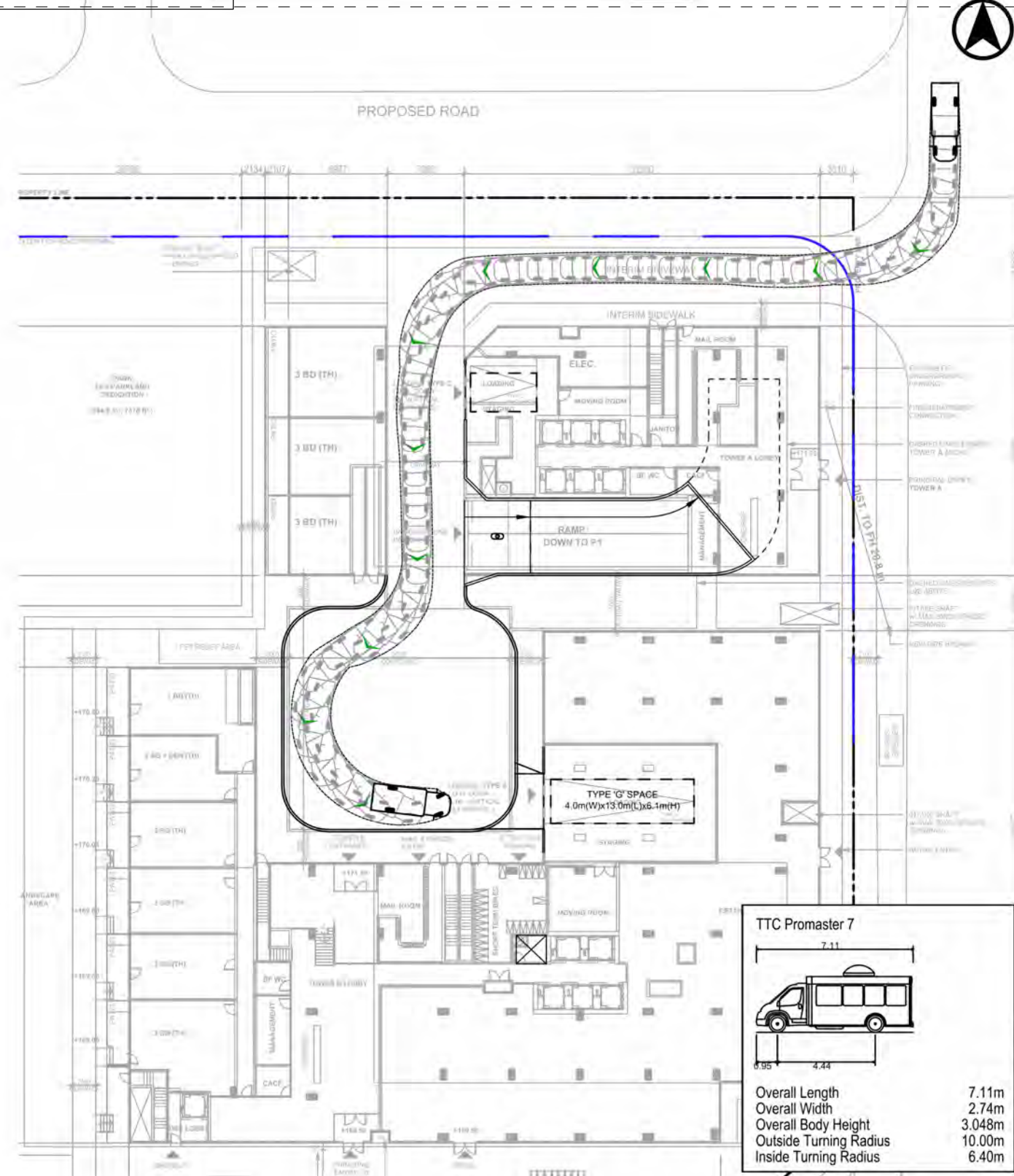
VEHICLE MANOEUVRE DIAGRAM - INTERIM TYPE C -
FORD E350 CUBEVAN- INBOUND



VEHICLE MANOEUVRE DIAGRAM - INTERIM TYPE C -
FORD E350 CUBEVAN- OUTBOUND



VEHICLE MANOEUVRE DIAGRAM - INTERIM
PICK-UP / DROP-OFF

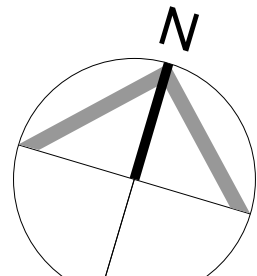


VEHICLE MANOEUVRE DIAGRAM - INTERIM
PICK-UP / DROP-OFF TTC FRIENDLY BUS - INBOUND

No	Issued For	Date
1	Issued for OPA, ZBA	2022-03-31
2	Issued for OPA, ZBA	2023-09-27
3	Issued for OPA, ZBA	2024-05-17

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Drawing Title

MANOEUVERING DIAGRAMS - 02

Project
MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

Scale

Drawn by

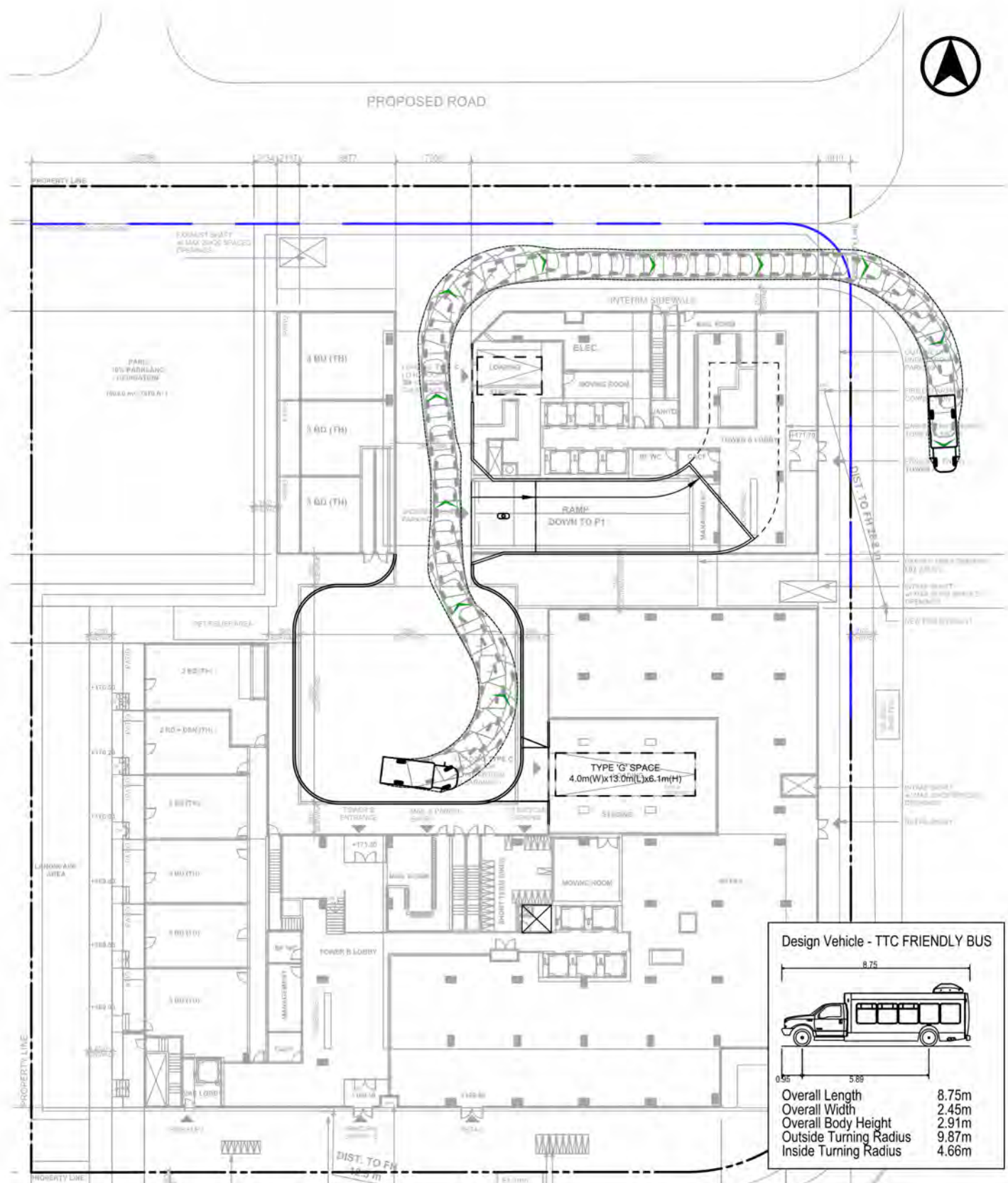
Checked by

Project No.
21-09

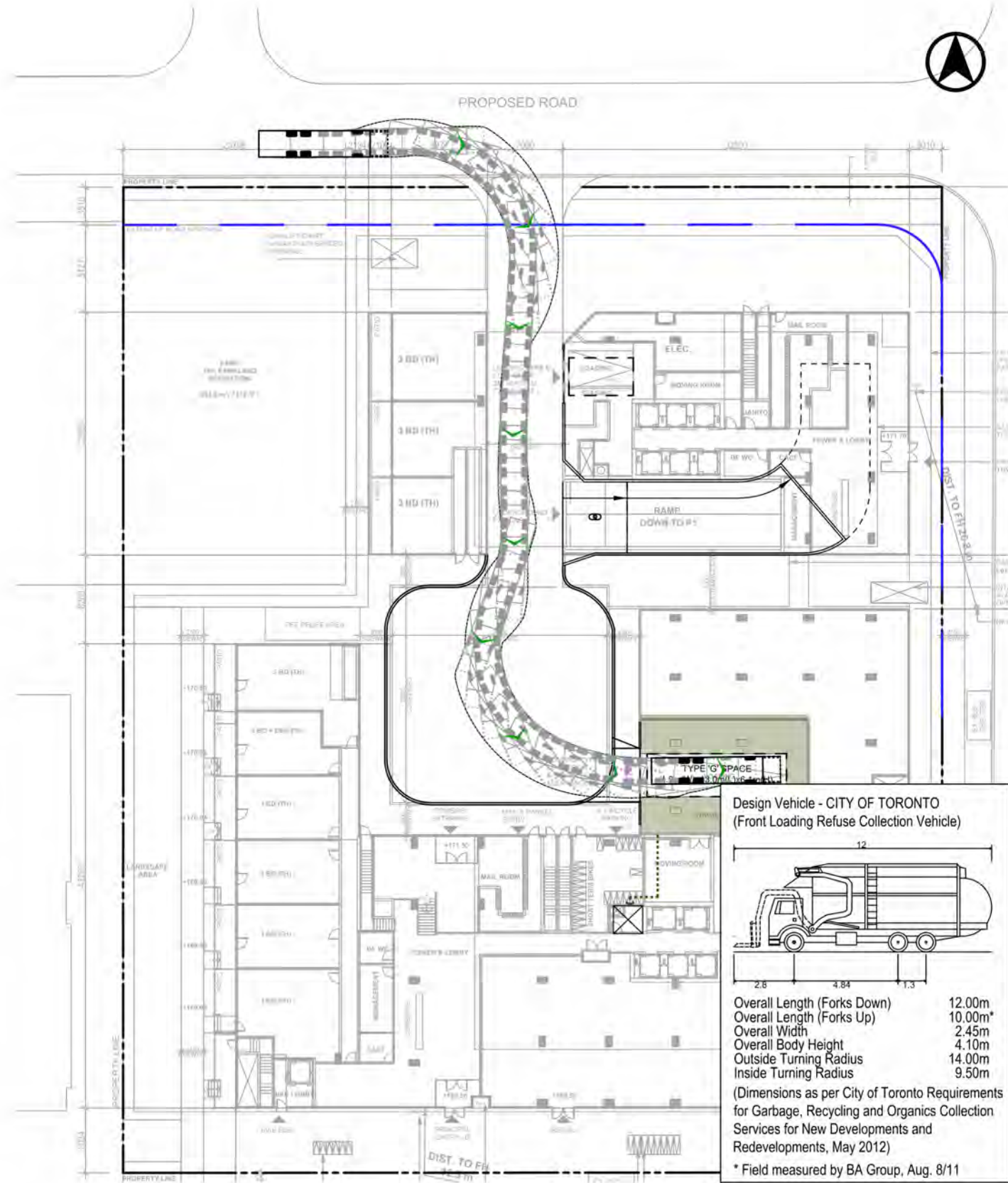
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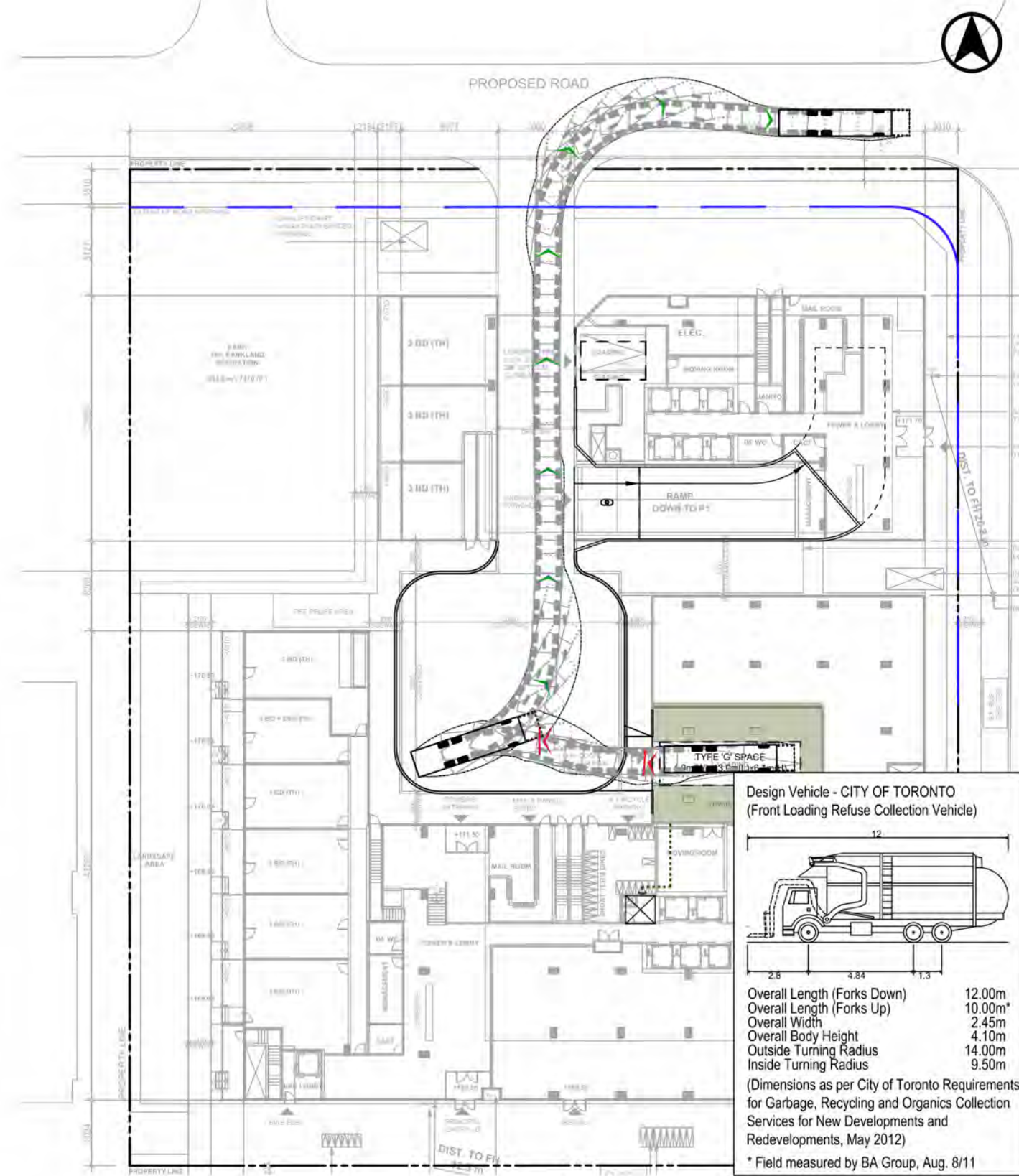
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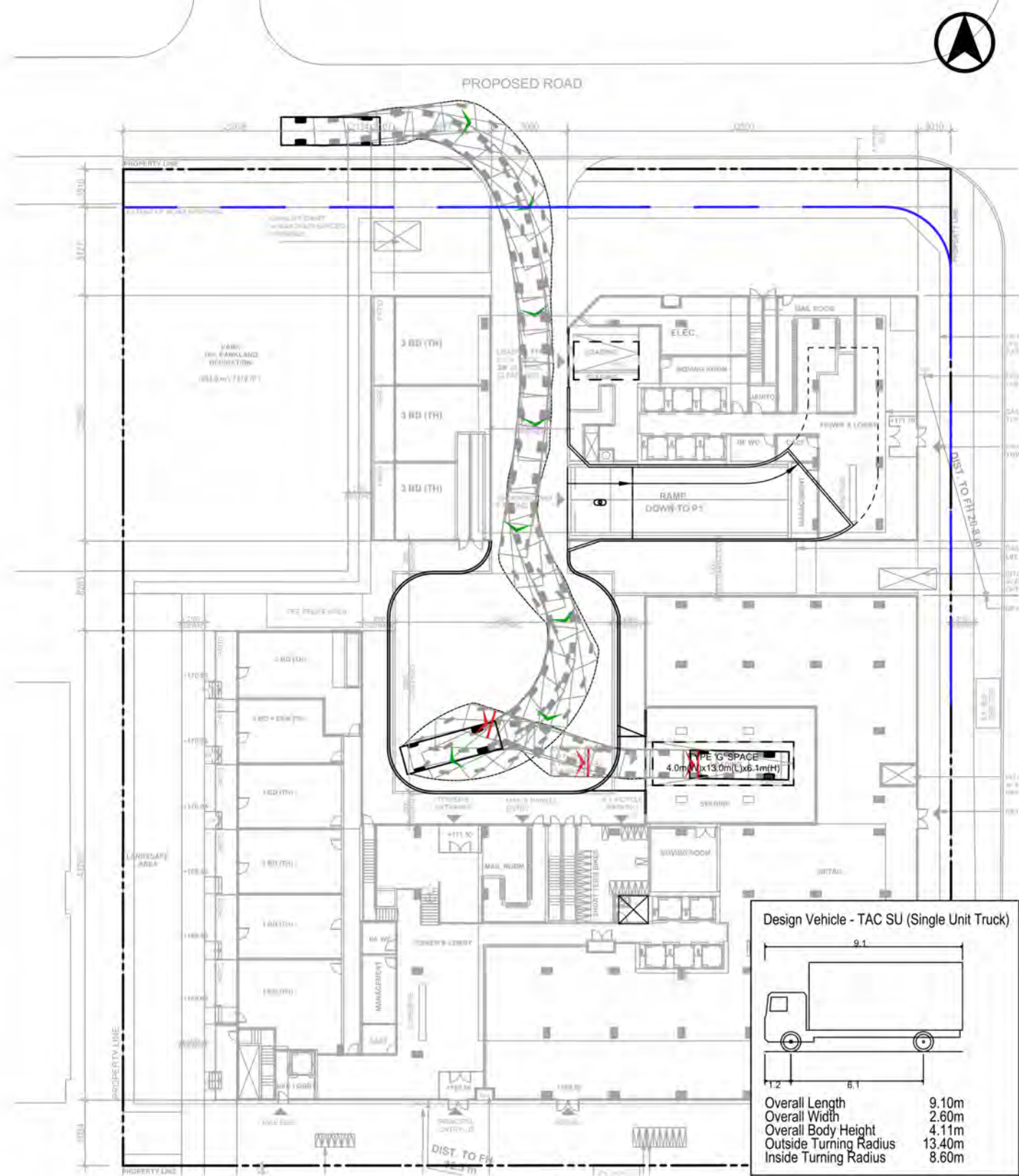
VEHICLE MANOEUVRE DIAGRAM - INTERIM
PICK-UP / DROP-OFF TTC FRIENDLY BUS - OUTBOUND



VEHICLE MANOEUVRE DIAGRAM - ULTIMATE TYPE G
CITY OF TORONTO GARBAGE TRUCK - INBOUND



VEHICLE MANOEUVRE DIAGRAM - ULTIMATE TYPE G
CITY OF TORONTO GARBAGE TRUCK - OUTBOUND

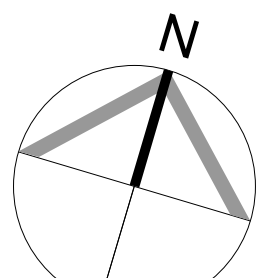


VEHICLE MANOEUVRE DIAGRAM - ULTIMATE TYPE G
TAC SINGLE UNIT TRUCK - INBOUND

No	Issued For	Date
1	Issued for OPA, ZBA	2022-03-31
2	Issued for OPA, ZBA	2023-09-27
3	Issued for OPA, ZBA	2024-05-17

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Drawing Title

MANOEUVERING DIAGRAMS - 03

Project
MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

Scale

Drawn by

Checked by

Project No.

21-09

Date

03/06/20

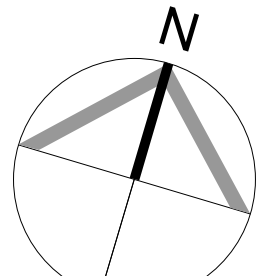
Drawing No.

A8.04

No	Issued For	Date
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2	Issued for OPA, ZBA	2023-09-27
3	Issued for OPA, ZBA	2024-05-17

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Drawing Title

MANOEUVERING DIAGRAMS - 04

Project

MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

Scale

Drawn by

Checked by

Project No.

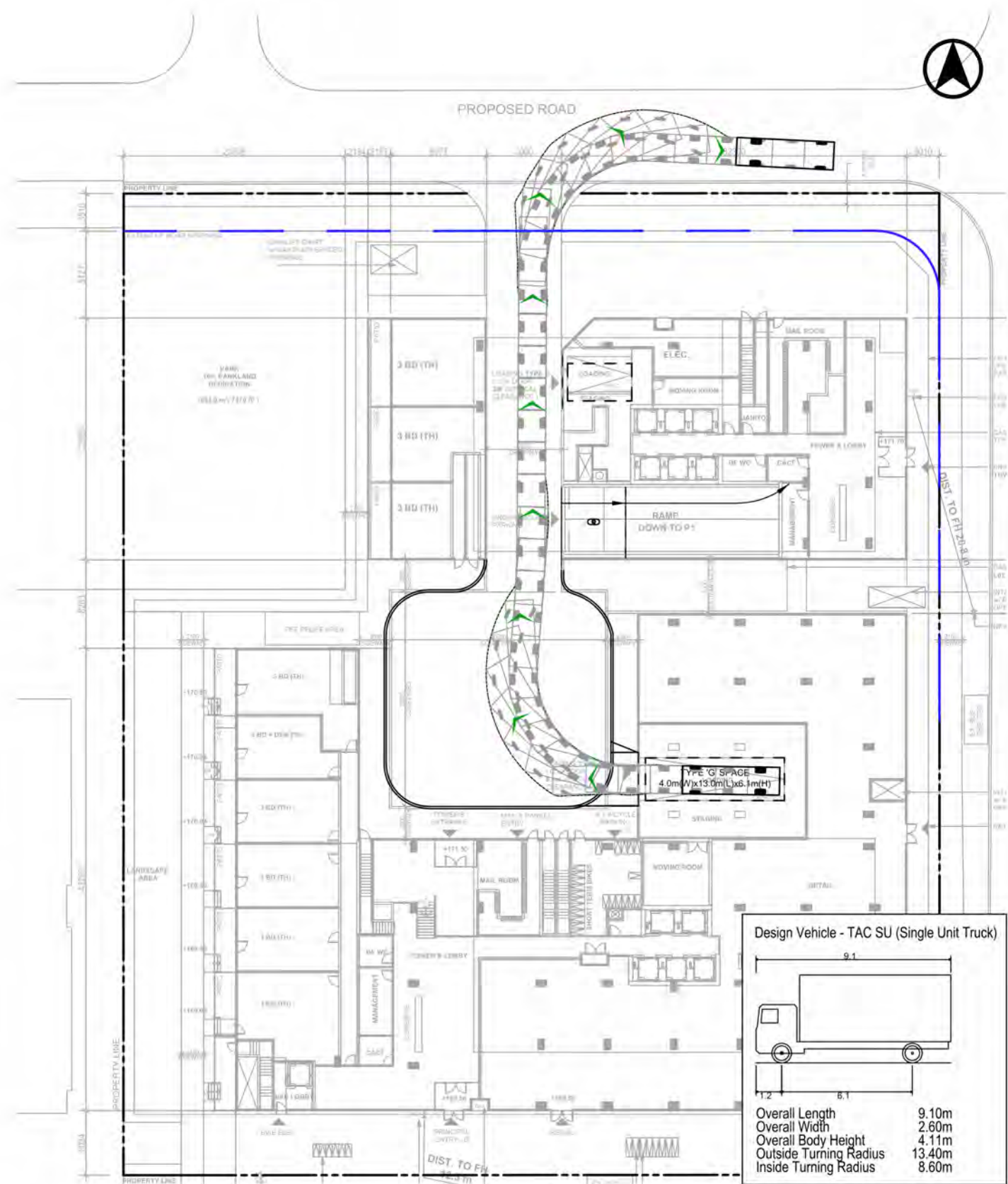
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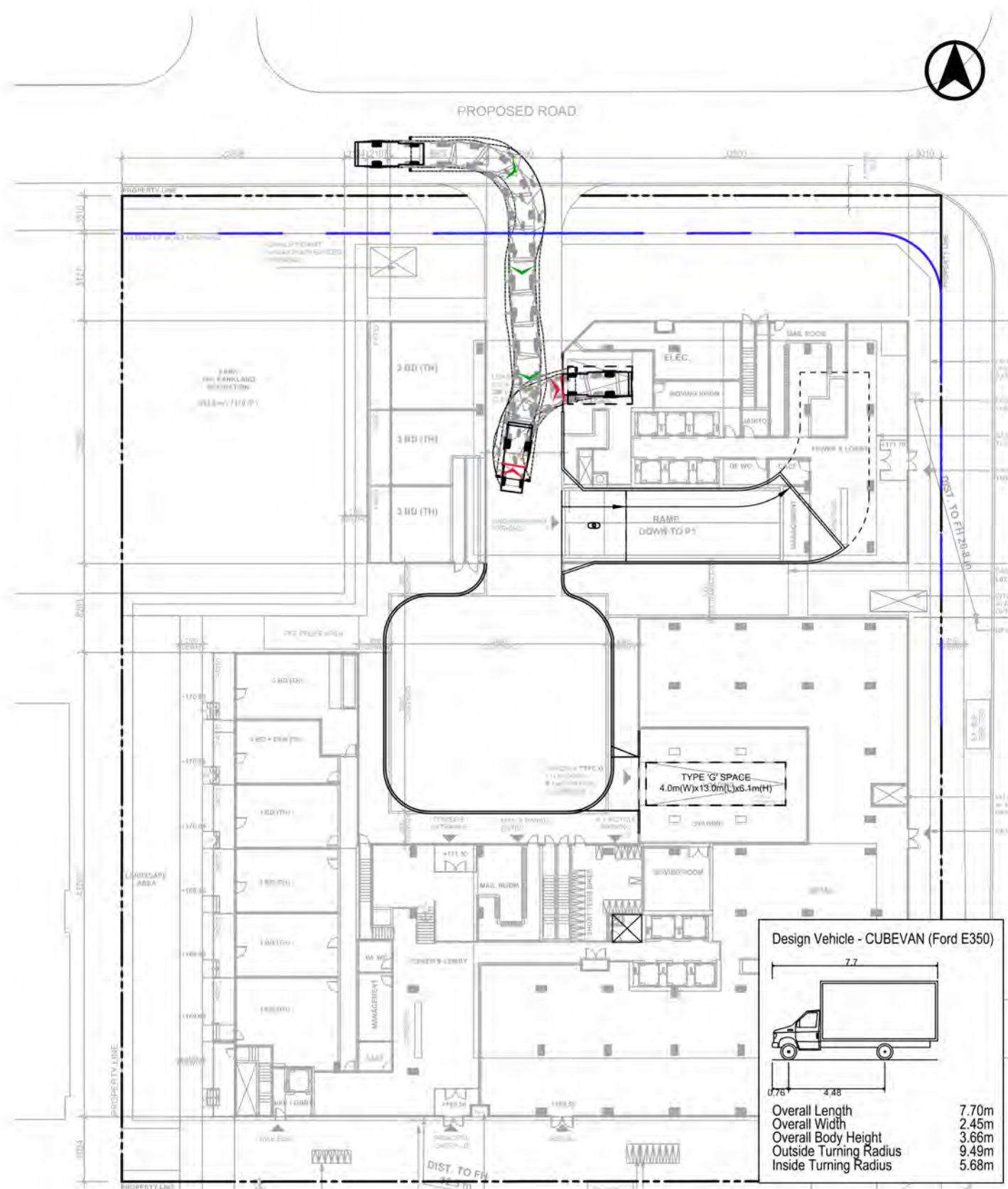
03/06/20

Drawing No.

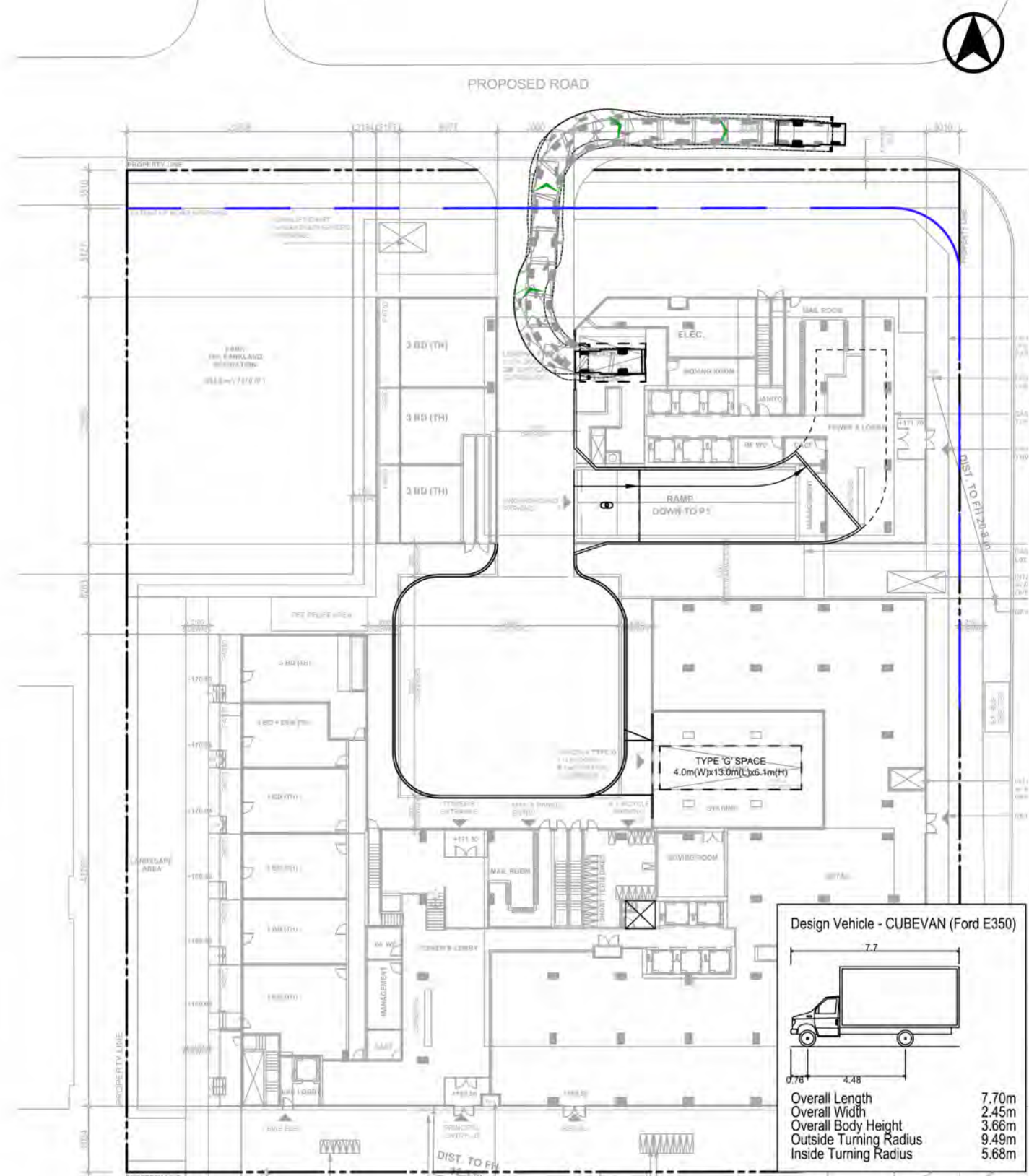
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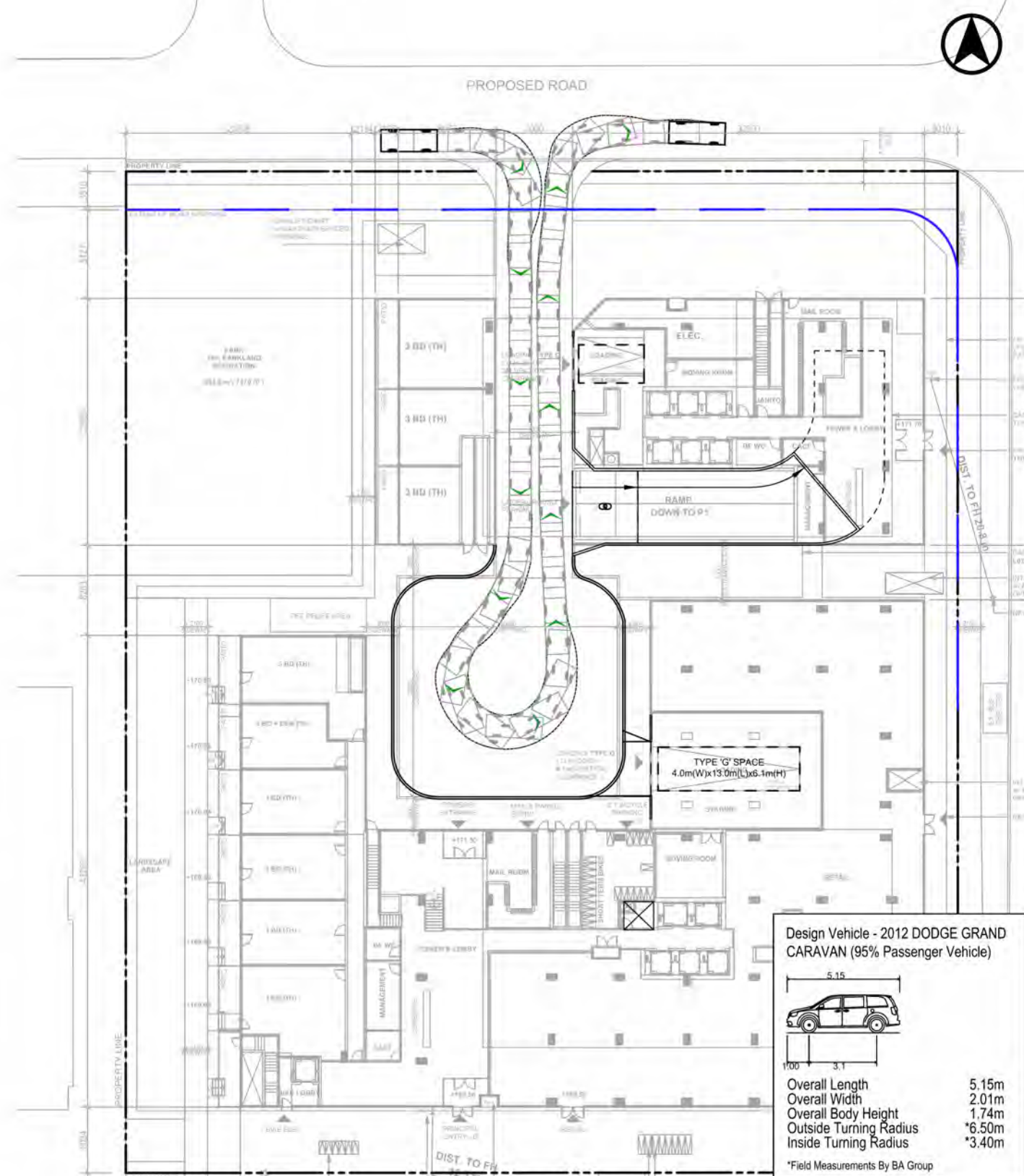
VEHICLE MANOEUVRE DIAGRAM - ULTIMATE TYPE G
TAC SINGLE UNIT TRUCK - OUTBOUND



VEHICLE MANOEUVRE DIAGRAM - ULTIMATE TYPE C
FORD E350 CUBEVAN - INBOUND

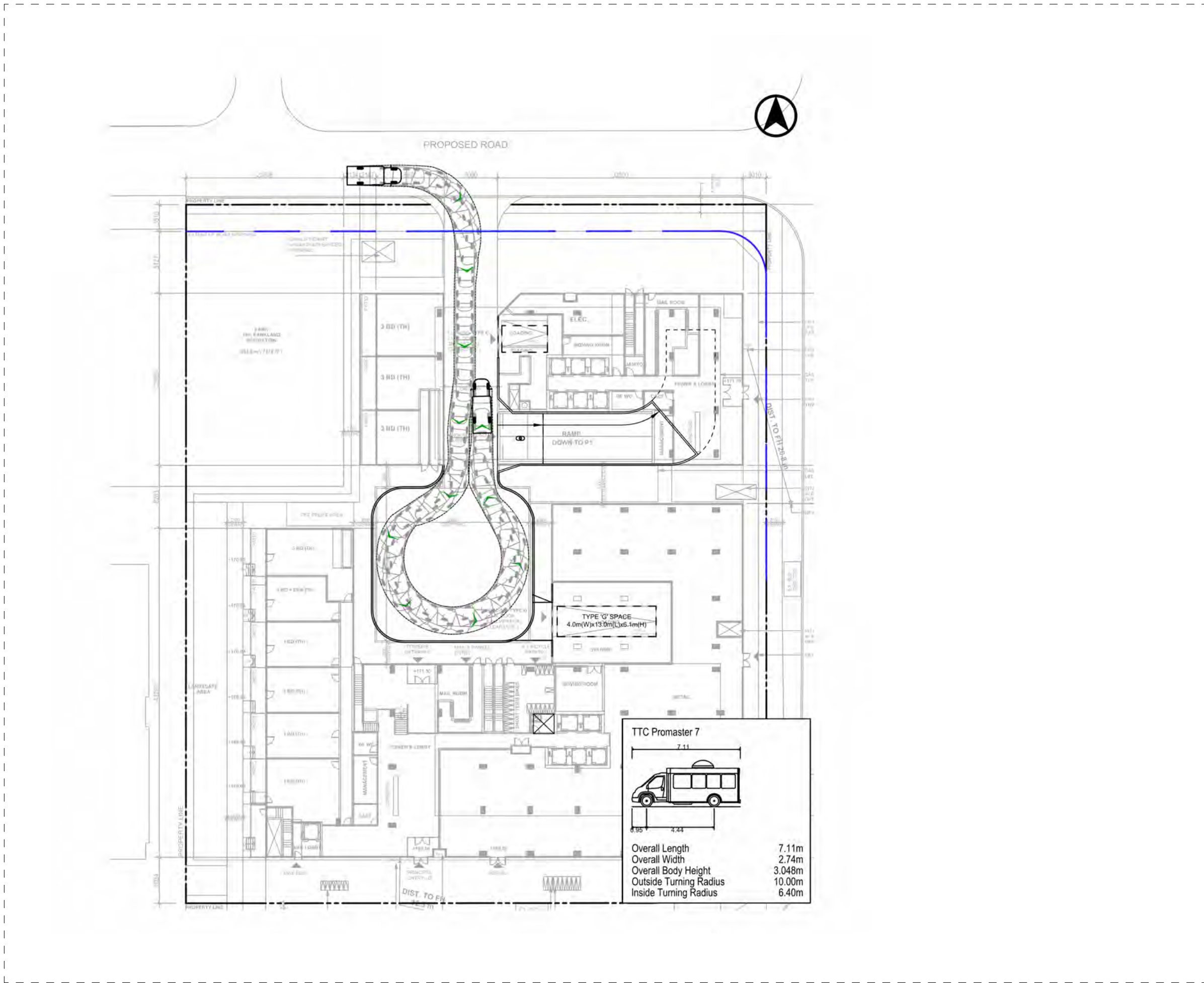


VEHICLE MANOEUVRE DIAGRAM - ULTIMATE TYPE B
FORD E350 CUBEVAN - OUTBOUND

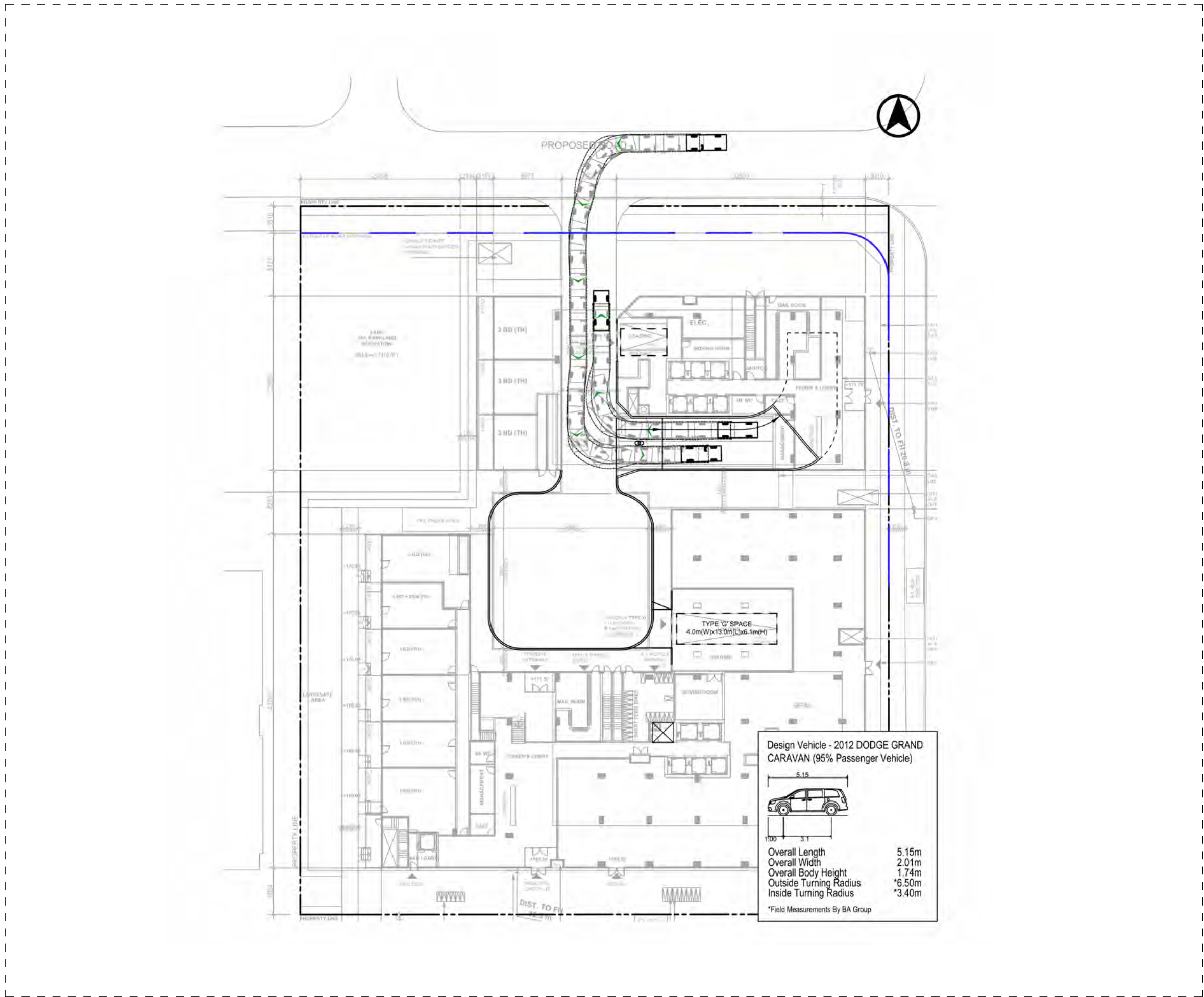


VEHICLE MANOEUVRE DIAGRAM - ULTIMATE TYPE
PICK-UP / DROP OFF - 2012 DODGE GRAND CARAVAN
(95% PERCENTILE)

P:\01 - 2500 DON MILLS\21-09_2500 Don Mills_RVT23_milliaf\TMA.rvt
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VEHICLE MANOEUVRE DIAGRAM - ULTIMATE TYPE
PICK-UP / DROP OFF - TTC FRIENDLY BUS

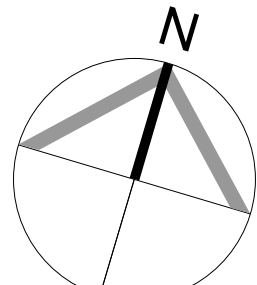


VEHICLE MANOEUVRE DIAGRAM - ULTIMATE TYPE
RAMP ACCESS INBOUND & OUTBOUND - 2012 DODGE
GRAND CARAVAN (95% PERCENTILE)

No	Issued For	Date
1	Issued for OPA, ZBA	2022-03-31
2	Issued for OPA, ZBA	2023-09-27
3	Issued for OPA, ZBA	2024-05-17

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Drawing Title

MANOEUVERING DIAGRAMS - 05

Project

MARLIN SPRING

2500 DON MILLS

PROJECT ADDRESS

Scale

Drawn by

Checked by

Project No.

21-09

Date

03/06/20

Drawing No.

A8.06