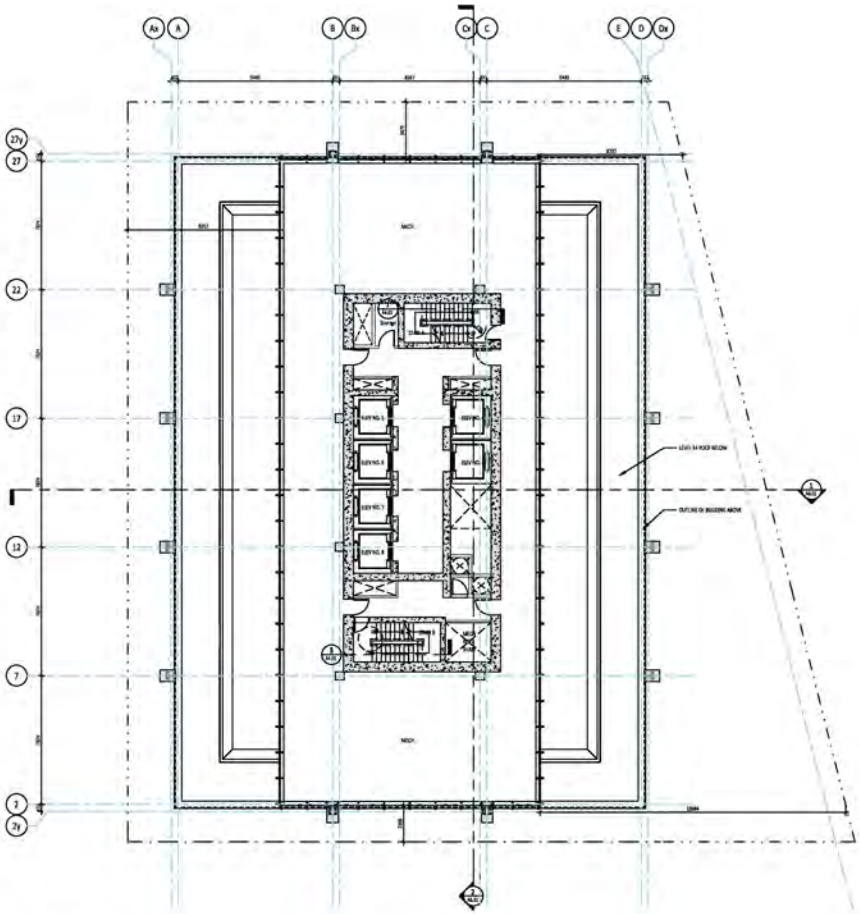
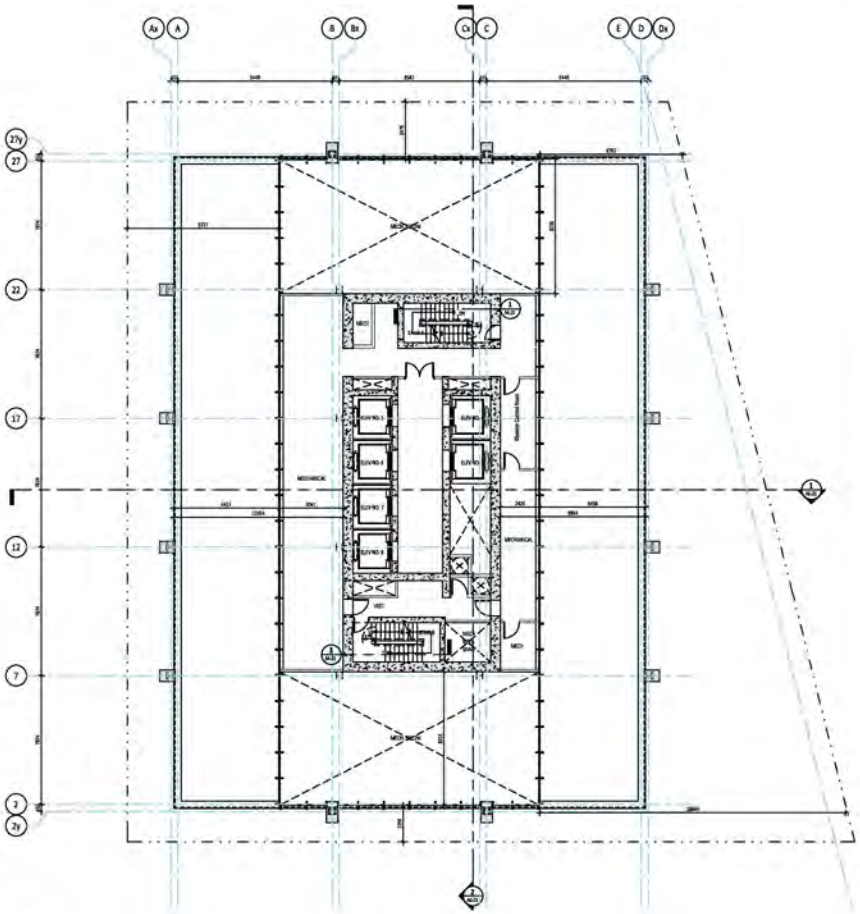
NEW CONSTRUCTION

EXISTING



2 A3.07 Level 15



1 A3.07 Level 16

1	[illegible]
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No.	Note

KPMB Architects
151 King St E, Suite 1200
Toronto, ON, Canada M5A 0L4
416.277.9154

QWL Realty Advisors

200 University

Project North True North

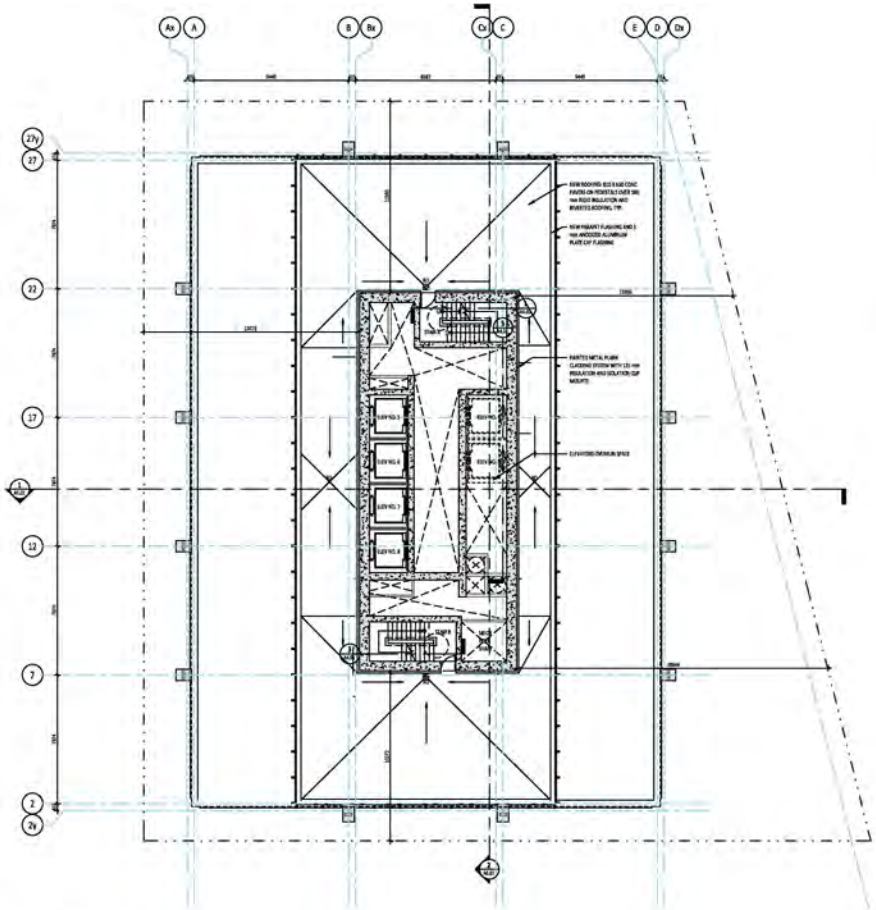
Project No. 2014
Scale 1 : 100
Plot Date 06/01/2021

LEVEL 15 PLAN AND
LEVEL 16 PLANS

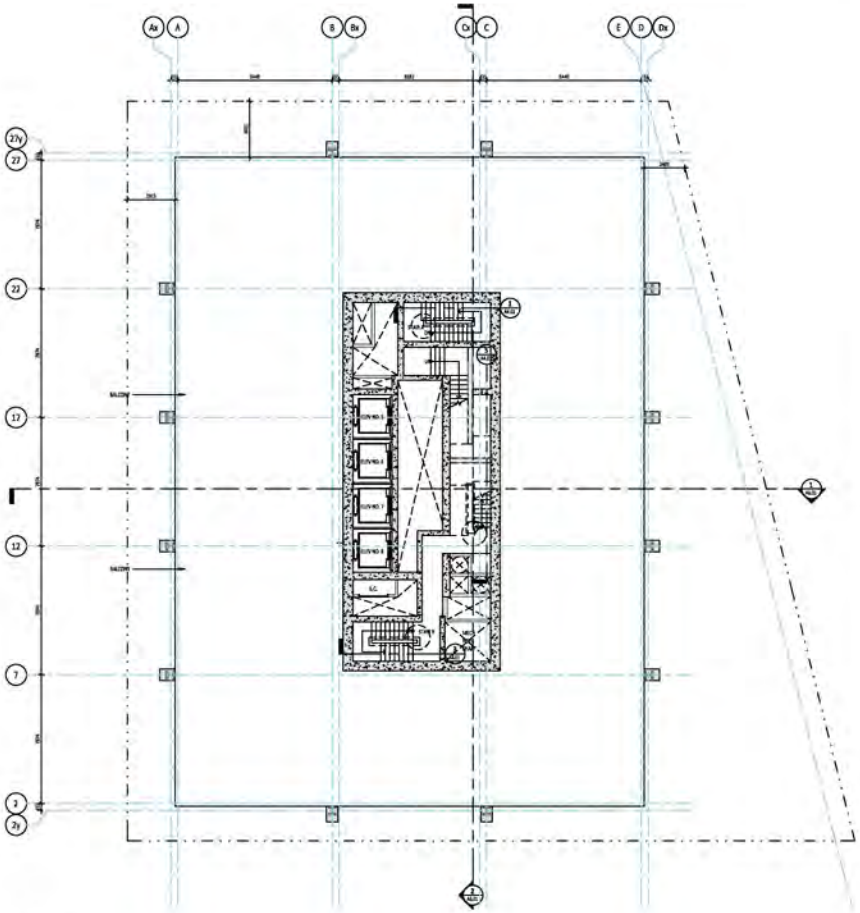
A3.07

NEW CONSTRUCTION

EXISTING



2 Level 16 ROOF
A3.08 1 : 100



1 Level 17
A3.08 1 : 100

1	2021-03-26	
2	2021-04-16	
3	2021-05-14	Issued for Planning Approval

No.	Date	Issued

KPMB Architects
151 King St E, Suite 1200
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416.977.5114

QWL Realty Advisors

200 University

Project North True North

Project No. 2019
Scale 1 : 100
Plot Date 2021/05/21

LEVEL 16 ROOF AND LEVEL 17 PLANS

A3.08

NEW CONSTRUCTION

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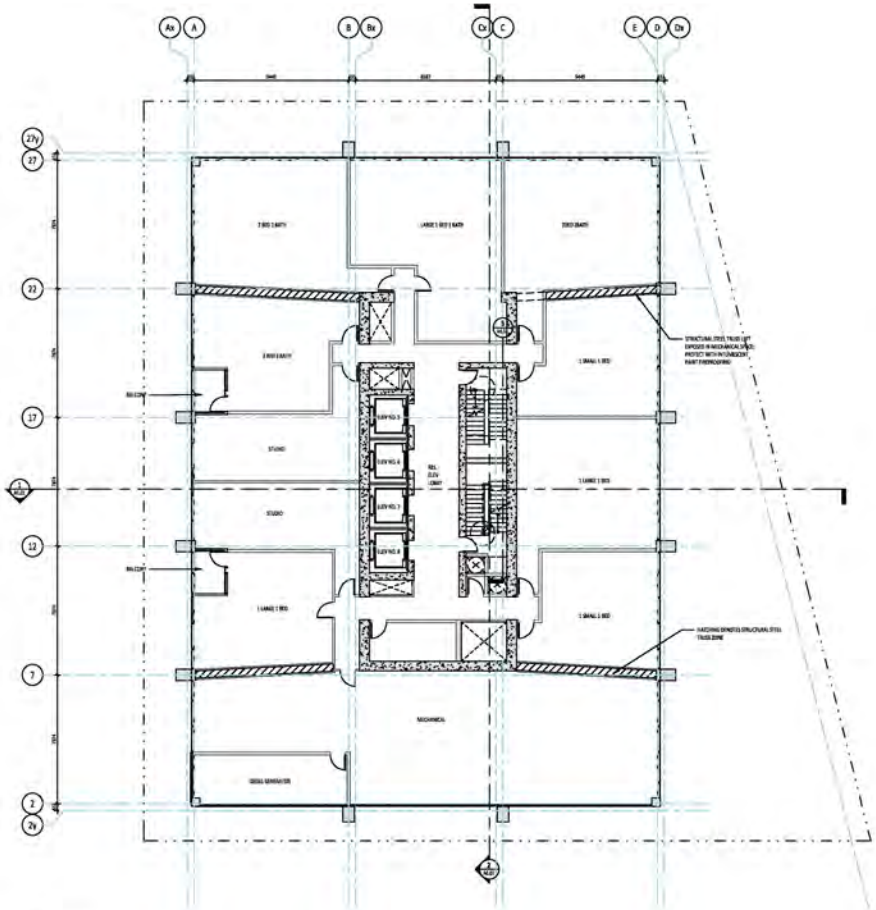
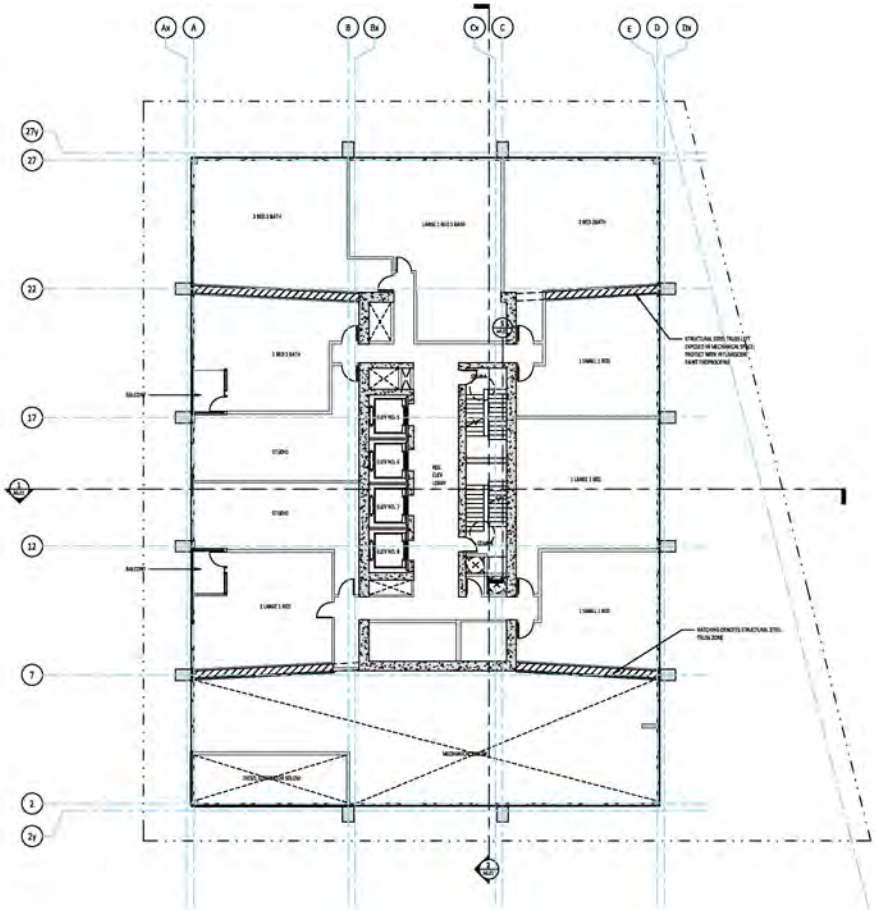


2 A3.09 Level 18



1 A3.09 Level 19

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2	2021-06-04	[illegible]
3	2021-06-11	[illegible]
No.	Date	Issue

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416.977.5154

QWL Realty Advisors

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Project North True North

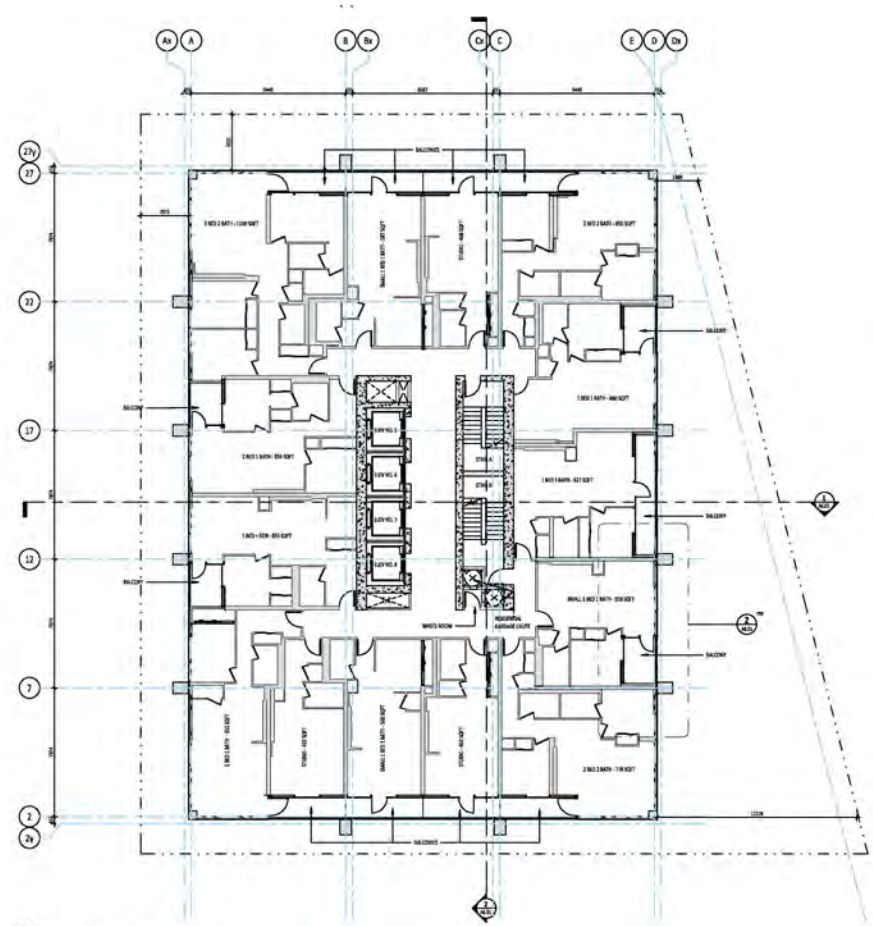
Project No. 2019
Scale 1 : 100
Plot Date 06/01/2021

LEVEL 18 AND LEVEL 19 PLANS

A3.09

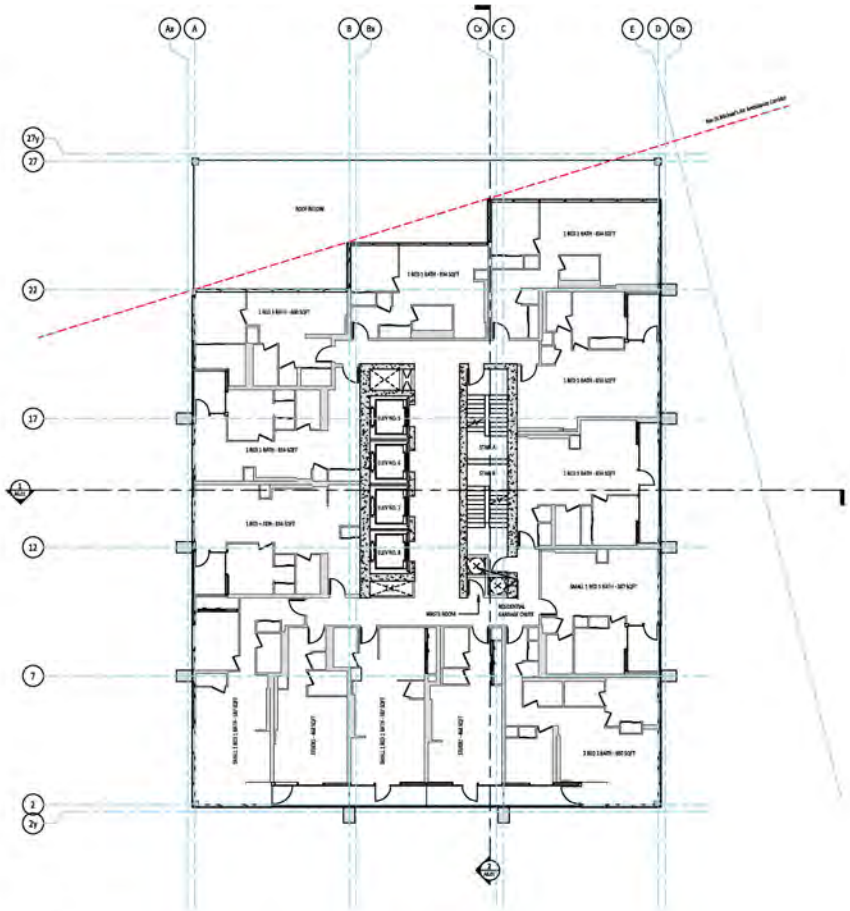
NEW CONSTRUCTION

EXISTING



2 A3.10 Level 20-45 - TYPICAL RES LAYOUT

1:100



1 A3.10 Level 46-53 - TYPICAL RES LAYOUT

1:100

1	ISSUED FOR SPA
2	ISSUED FOR SPA
3	ISSUED FOR SPA
4	ISSUED FOR SPA

No. Date Issue

KPMB Architects

151 King St E, Suite 1200
Toronto, ON, Canada M5A 0L4
416.977.5154

QWL Realty Advisors

200 University

Project North True North

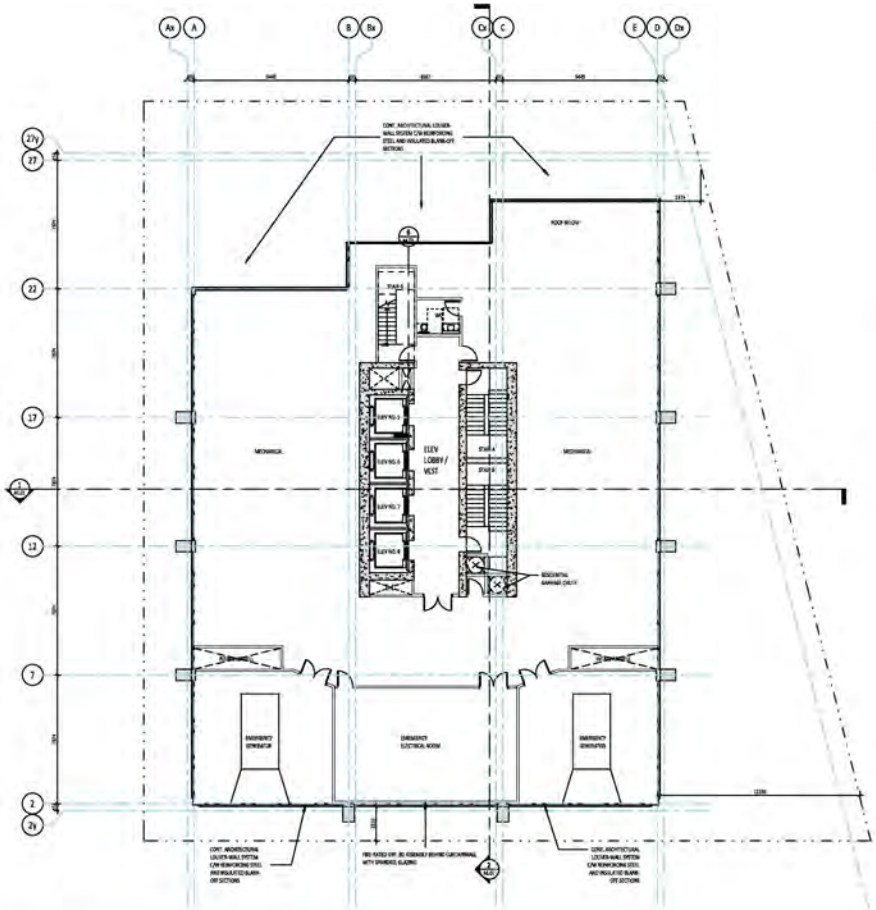
Project No. 2019
Scale 1 : 100
Plot Date 2021/10/21

LEVEL 20-45 PLAN AND LEVEL 46-53

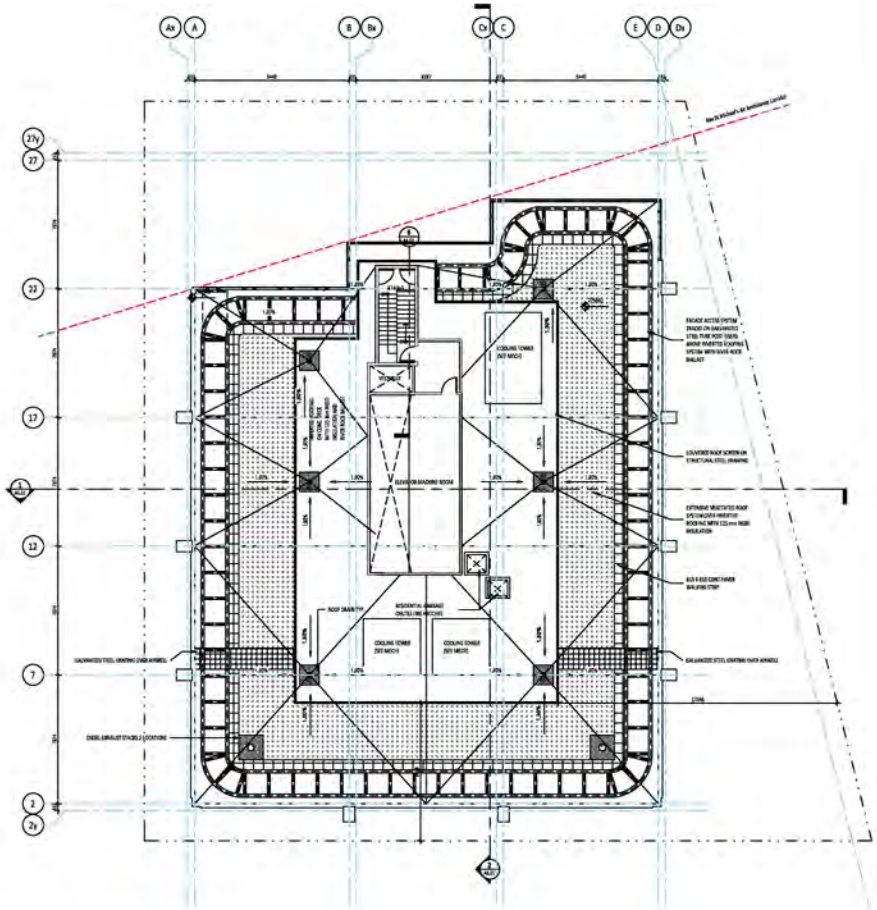
A3.10

NEW CONSTRUCTION

EXISTING



1 A3.11 Level 54 - Mechanical Penthouse



2 A3.11 ELEVATOR MACHINE ROOM AND ROOF PLAN

KPMB Architects
151 King St E, Suite 1200
Toronto, ON, Canada M5A 0L4
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QWL Realty Advisors

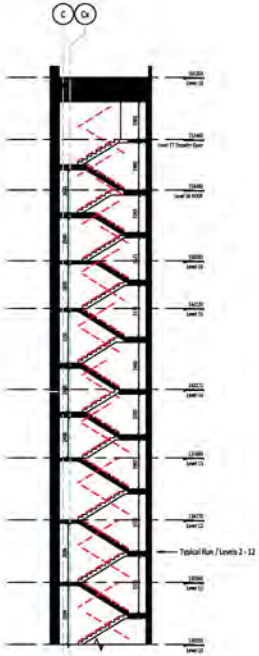
200 University

Project North True North

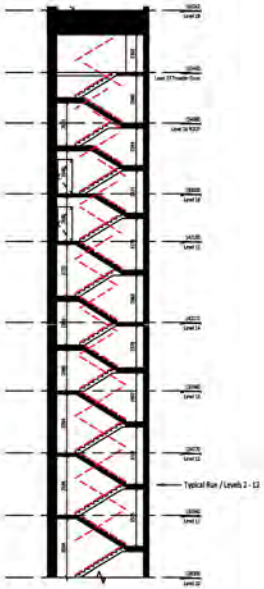
Project No. 2014
Scale 1 : 100
Plot Date 2015/10/21

M.P.H. AND ROOF PLANS

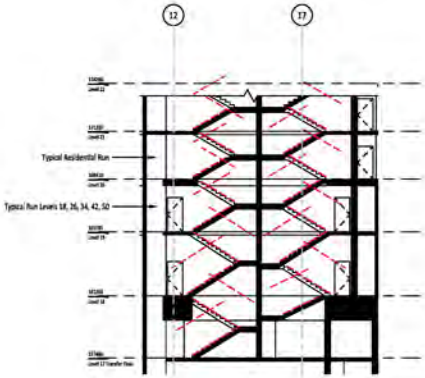
A3.11



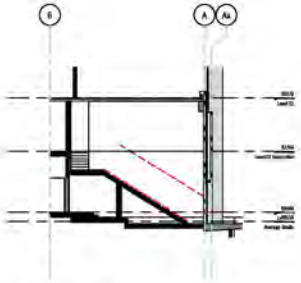
1 A4.01 LOWER STAIR A SECTION LEVELS 10 - 17



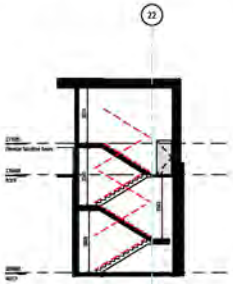
3 A4.01 LOWER STAIR B SECTION LEVELS 10 - 17



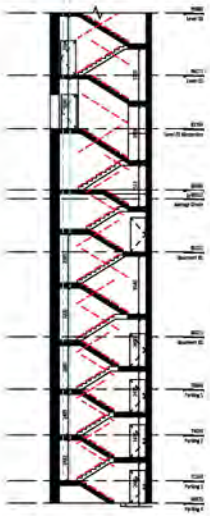
5 A4.01 UPPER STAIRS A & B SECTION



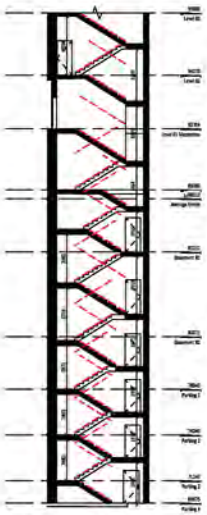
7 A4.01 STAIR D SECTION



6 A4.01 STAIR G SECTION



2 A4.01 LOWER STAIR A SECTION LEVELS P4 - 03



4 A4.01 LOWER STAIR B SECTION LEVELS P4 - 03

1	[illegible]
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3	[illegible]

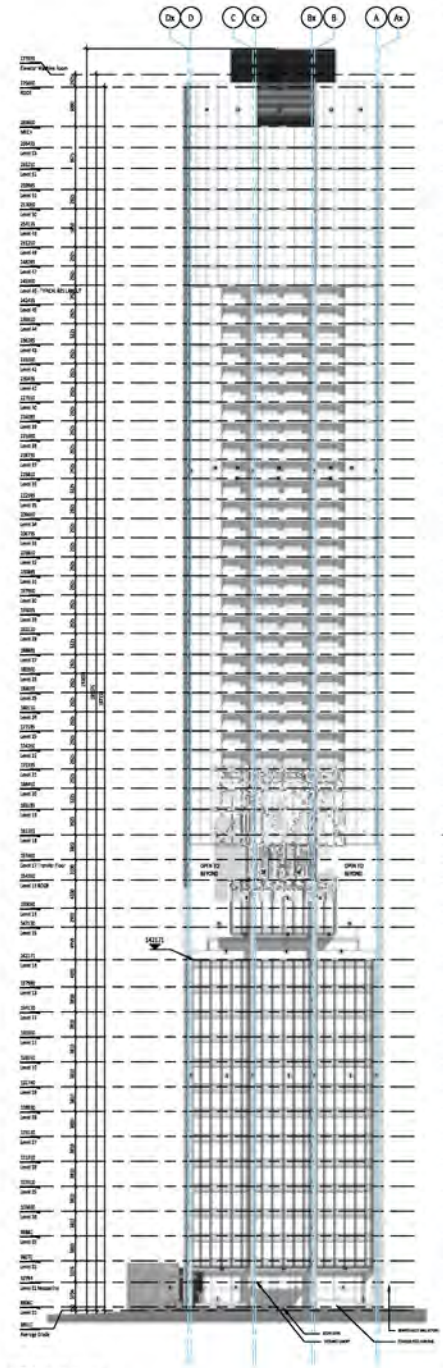
KPMB Architects
[illegible]

DWL Realty Advisors
200 University

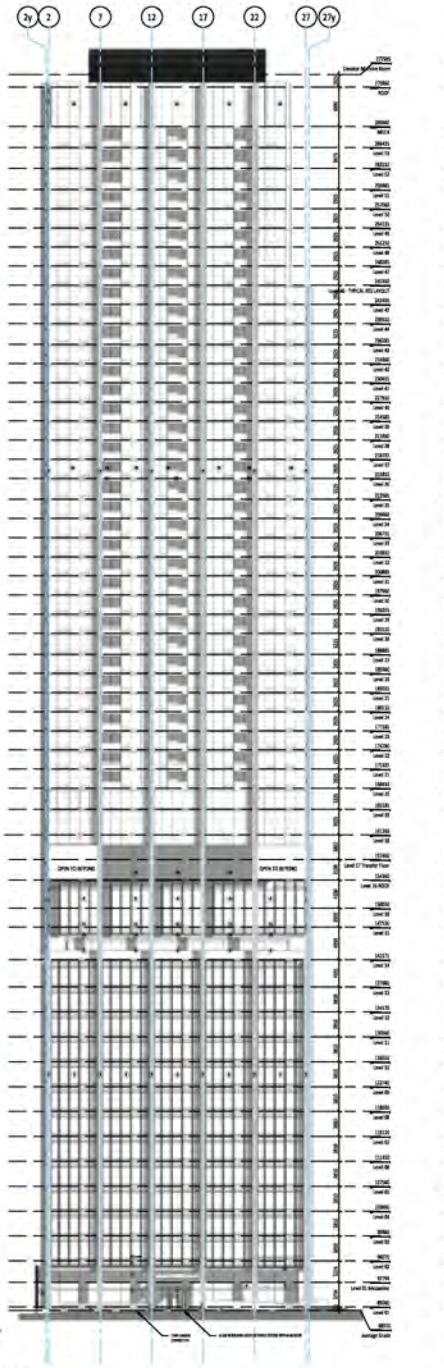
Project No. 216
Scale 1 : 100
Plot Date [illegible]

STAIR SECTIONS

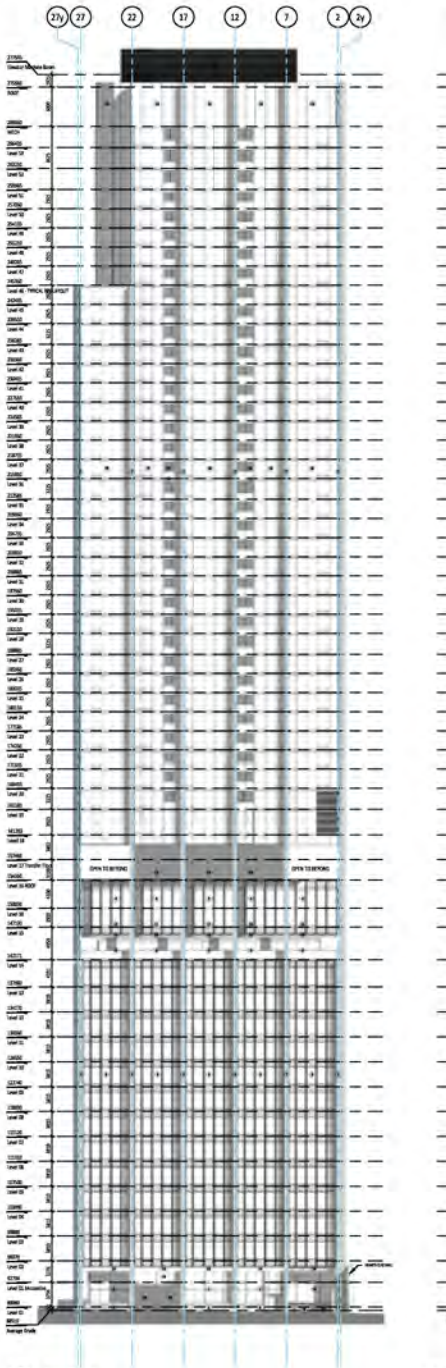
A4.01



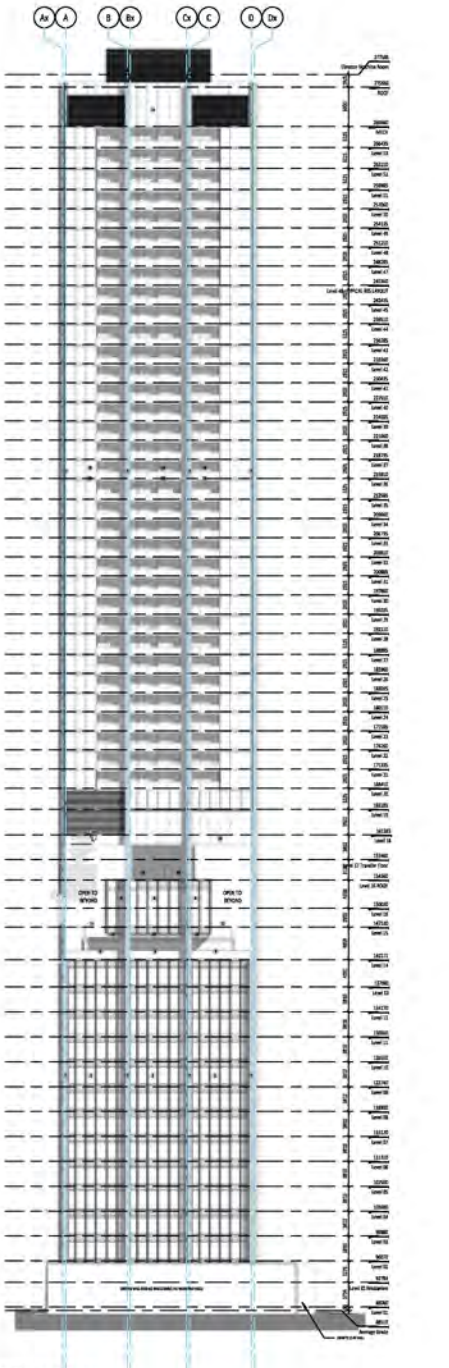
1 North Elevation
A5.01 1 : 200



2 East Elevation
A5.01 1 : 200



3 West Elevation
A5.01 1 : 200



4 South Elevation
A5.01 1 : 200

Systems and Materials Key for Elevations:

1.Structural glazing system with low iron glass IGUs
2.Stone slab facing
3.High-span SSG curtainwall glazing system with clear vision glass IGUs
4.Grid curtainwall glazing system with opaque clear glass spandrels
5.Custom profiled aluminum SSG curtainwall glazing system with decorative cap to match existing exterior profiles, clear and low iron glass triple IGUs
6.Curtainwall glazing system with decorative cap system to match existing exterior profiles, clear and low iron glass triple IGUs
7.Aluminum plate column enclosures
8.High-span curtainwall glazing system with decorative cap system to match existing exterior profiles, clear and low iron glass triple IGUs with translucent frit pattern
9.High-span SSG curtainwall glazing system with low iron glass IGUs
10.Acrylic unitized window wall system with clear glass IGUs
11.Aluminum and glass balcony railing system
12.Aluminum louver wall system
13.Metal plate cladding system
14.Aluminum panel cladding system
15.Louvered aluminum screen
16.High-speed fabric rolling door

1	ISSUED FOR REVIEW
2	ISSUED FOR REVIEW
3	ISSUED FOR REVIEW - REVISED PER COMMENTS

KPMB Architects
351 King St E, Suite 1200
Toronto, ON, Canada M5A 0L6
416.977.5154

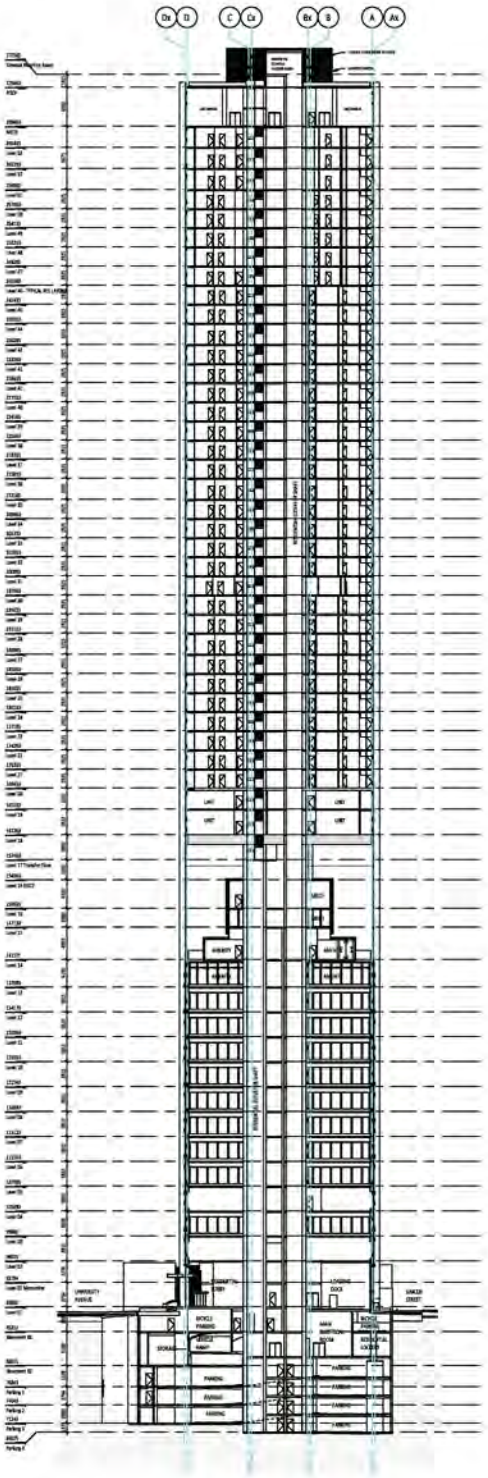
GWL Realty Advisors
200 University

Project North Plan North

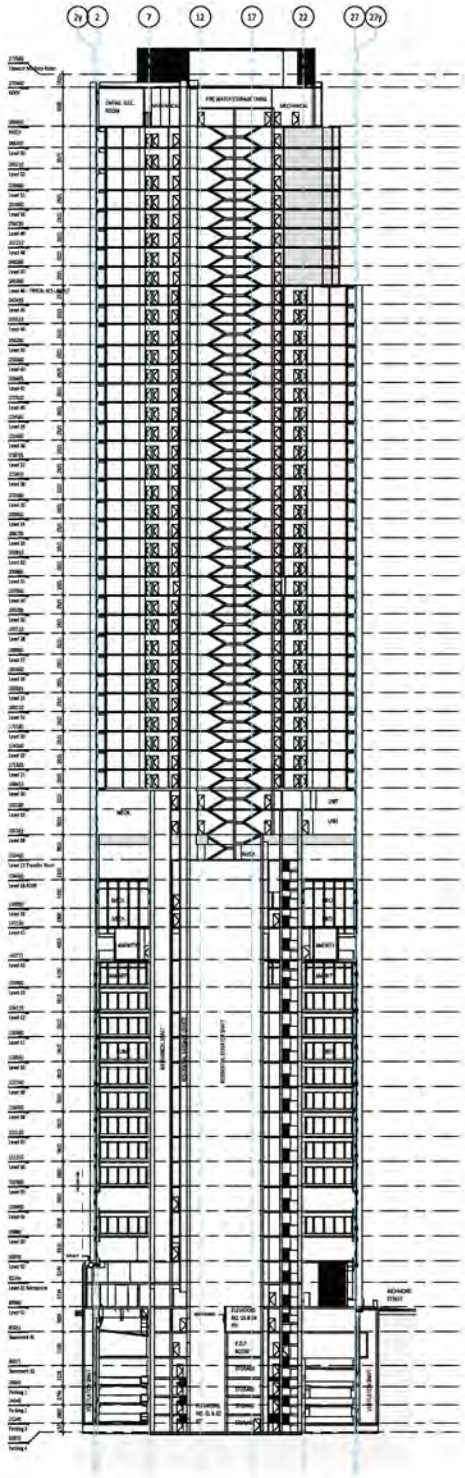
Project No. 2016
Scale 1 : 200
Plot Date 2021/10/21

ELEVATIONS

A5.01



1 A6.01 SECTION-EW FACING SOUTH
1:100



2 A6.01 SECTION-NS FACING WEST
1:100

NEW CONSTRUCTION

EXISTING

KPMB Architects

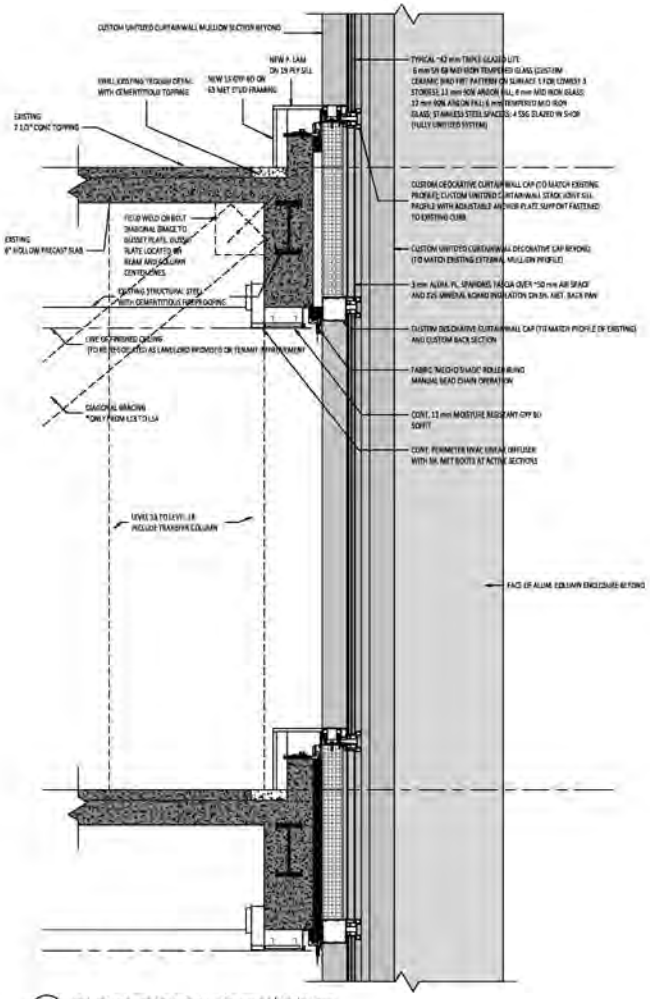
CMS Realty Advisors
200 University

BUILDING SECTIONS

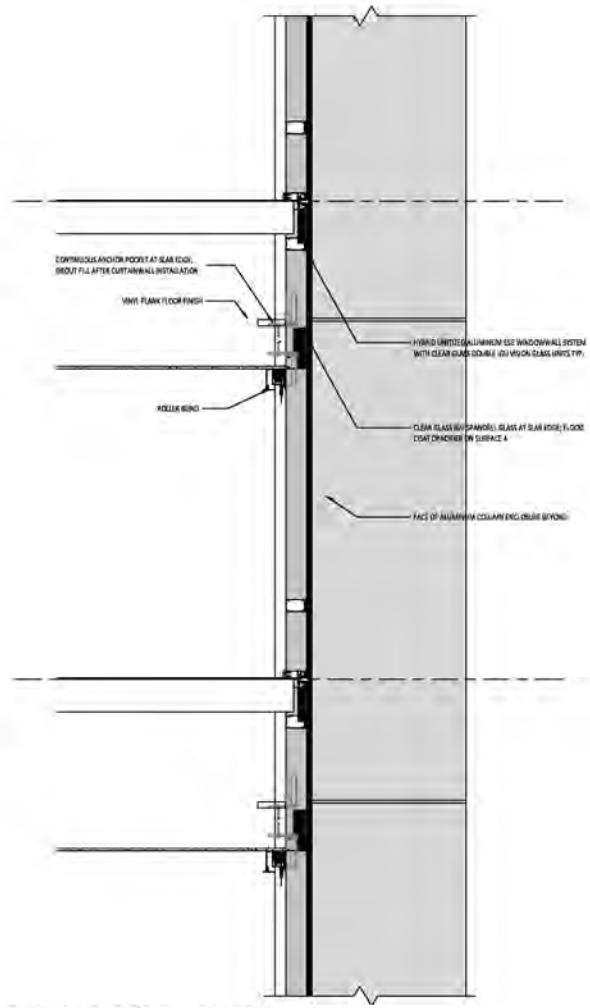
A6.01

NEW CONSTRUCTION

EXISTING



1 Unitized Curtainwall Glazing System - Commercial / Existing Floors
A7.01 1 : 10



2 Unitized Hybrid WindowWall Glazing System - Residential Floors
A7.01 1 : 10

KPMB Architects

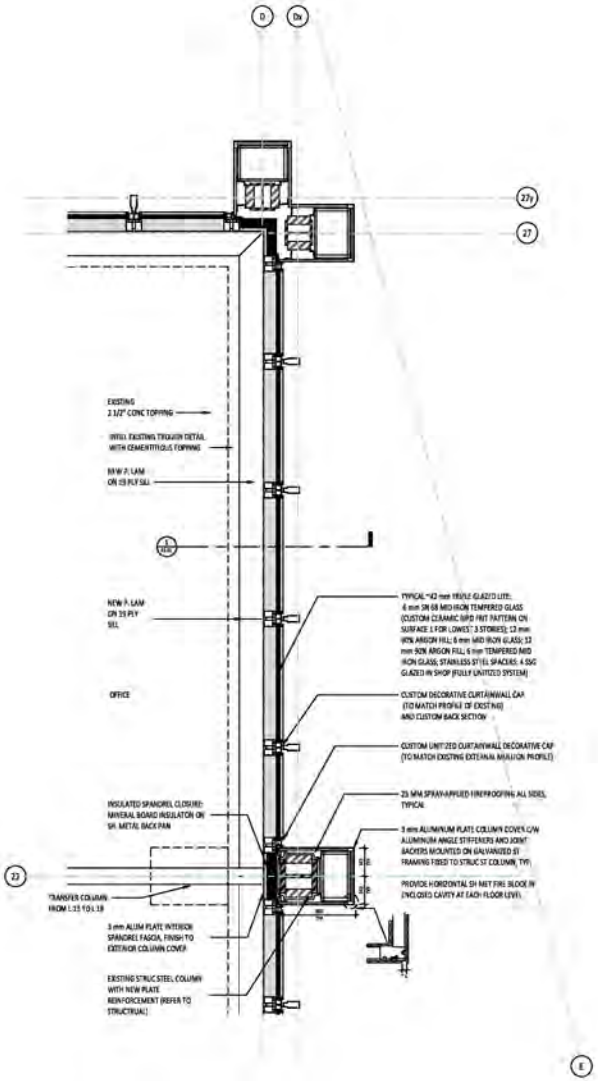
Dwl Realty Advisors
208 University

TYPICAL WALL SECTIONS

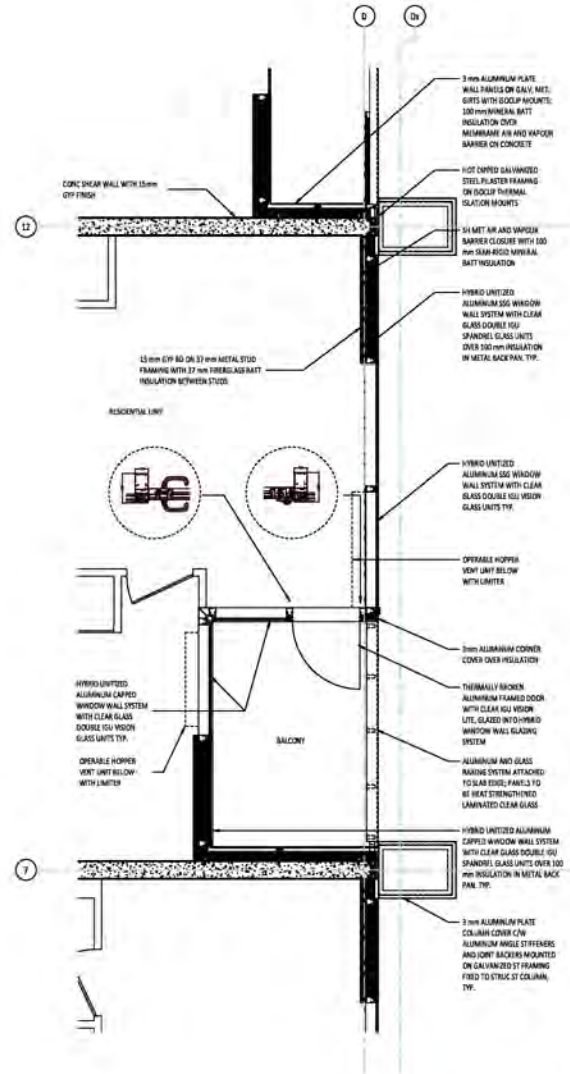
A7.01

NEW CONSTRUCTION

EXISTING



1 / A8.01 Typical Existing Facade Plan Detail
1 : 10



2 / A8.01 Typical New Tower Exterior Facade Plan Details
1 : 10

No.	Date	Revision
1	[illegible]	[illegible]
2	[illegible]	[illegible]
3	[illegible]	[illegible]
4	[illegible]	[illegible]

KPMB Architects
[illegible]

CMS Realty Advisors
200 University

Project No: [illegible]
Scale: 1 : 10
Plot Date: [illegible]

TYPICAL PLAN DETAILS

A8.01

APPENDIX VII: CONSERVATION DESIGN PARAMETERS (ERA 2023)

200 University Avenue
Preliminary Conservation Approach

October 2021

ERA

The Sun Life Building

TORONTO **ONTARIO**

FACTS ABOUT THE BUILDING

FOURTEEN office floors.

Two penthouse floors for ventilation and elevator overhead equipment.

SIX basement floors, including a four-level parking garage with space for 133 cars: at the rate of one space per 1,000 sq. ft. of rentable office area.

HEIGHT: 215 feet above ground level.

DEPTH: 69 feet below ground level — 21 feet below the level of Lake Ontario.

TOTAL Floor Area: 276,150 sq. ft.

LAND occupied by the building: 132 feet by 96 feet.

STRUCTURAL Material: Total weight is 26,000 tons.

SURFACE of the building is all glass and anodized aluminum. Anodized aluminum differs from ordinary aluminum in the electro-chemical treatment of its surface, giving it a non-tarnishing coating. Anodizing is eight-ten-thousands of an inch thick. Glass surface is 58,800 sq. ft.

FLOORS: Pure vinyl floor tiles; granite floors in the lobby.

CEILINGS: Perforated metal pan acoustic ceilings; lobby ceilings have gold anodized aluminum louvred panels.

POTENTIAL population of building: 1,450.

A BRANCH of the Bank of Montreal is on the ground floor level.

9 Originally Sun Life, 200 University Ave John B. Parkin Associates with A.J.C. Paine, 1961. A fine building by the Parkin office that looks just as good, and even contemporary, 55 years on. The firm's desi leader, John C. Parkin, fought the city's requirements for setbacks and a stone façade, winning the right to build with curt wall and anodized aluminum. A one-storey banking pavilion originally lay to the southeast. The design of the façade clearly derives from Skidmore, Owings & Merrill's Inland Steel Building in Chicago. *AB*

9 | 200 University Ave

Completed in 1961, the Sun Life Building was designed by John B Parkin Associates (John C Parkin partner in charge). It was added to the City's Heritage Register in 1991. It is contemporaneous with other important International Style projects like Skidmore, Owings & Merrill's Inland Steel Building in Chicago and shares many signature characteristics including expressed structural pilasters on the facades and the use of a signature metal for exterior finishes (anodized aluminum in the case of 200 University and stainless steel in the case of Inland Steel). Other distinctive features include the lantern-like treatment of the mechanical penthouse which featured a translucent glass fascia with a shallow annular 'lightbox' corridor behind to facilitate illumination of all sides. The curtainwall system is unusual and employs a 'reversed' mullion that projects to the exterior on the façade and 'zipper' glazing for the sealed insulating glass vision units. Graceful proportions and a generous setback provide an appropriate sense of gravitas for this University Avenue address.

Modernist Precedents

Inland Steel Building, Chicago - SOM

Civic Center, Chicago - SOM

"The Special bylaw for University Ave. says that structures should be built to the street line, and should be of light-colored masonry. The north building in any block is to set the height for the block...

...The bylaw required either a "wedding cake" design, under which successive stories above the 130-foot level are cut back"

The Globe, 1957

"John C. Parkin, fought the city's requirements for setbacks and a stone facade, winning the right to build with curtain wall and anodized aluminum"

Toronto Architecture, A City Guide

Modernist Conservation Principles

1 Encourage conservation and adaptive reuse

"Promote the conservation and reuse of buildings and sites of the Modernist Movement" (Eindhoven Seoul Statement, 2014, Docomomo)

2 Establish prioritized areas of significance

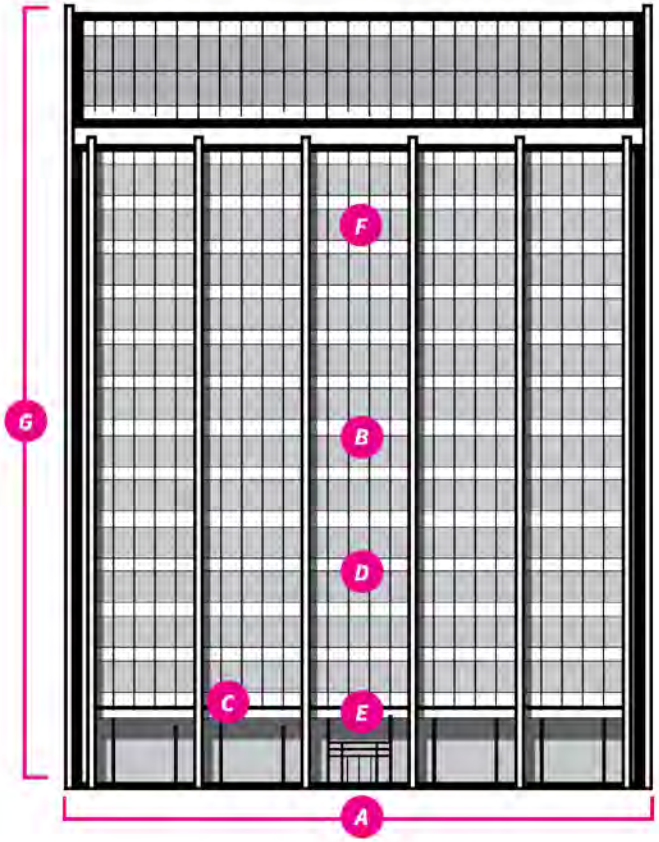
Buildings "may require substantial intervention to better accommodate human needs… Establish prioritized categories of spatial and material significance to guide design" and *"encourage creative approaches to engaging the old with the new" (Section 10, Toward APT Consensus Principles for Practice on Renewing Modernism, 2017, Association for Preservation Technology)*

3 Ensure additions are true to the original design intent

"Depending on the nature of the cultural heritage, its cultural context, and its evolution through time, authenticity judgments may be linked to… form and design, materials and substance, use and function, traditions and techniques, location and setting, and spirit and feeling… permitting the elaboration of the specific artistic, historic, social, and scientific dimensions of the cultural heritage being examined" (Point 13, Nara Document on Authenticity, 1994, ICOMOS).

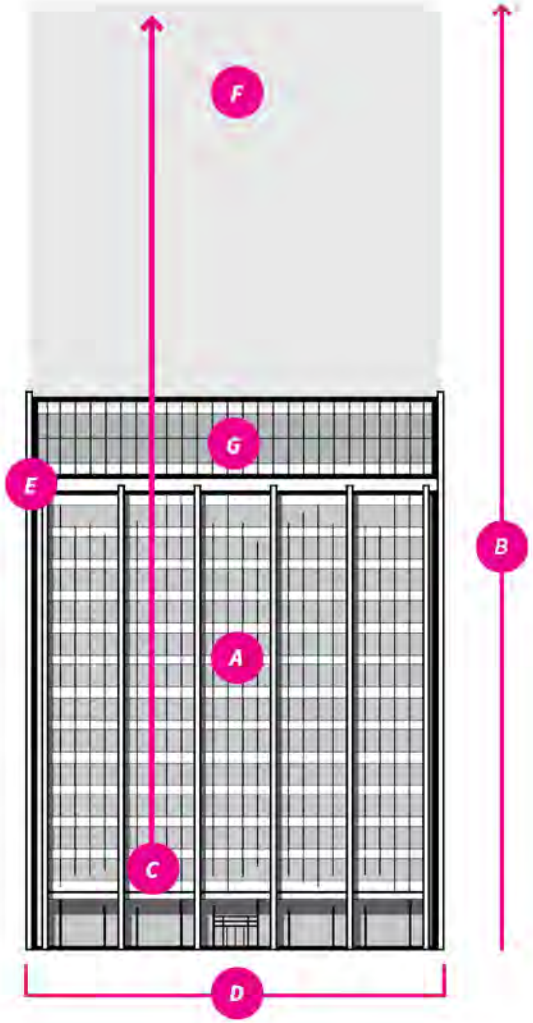
4 Ensure additions interpret (not imitate) materials, texture and colour and are discernible as new

"…new additions should be designed to respect the scale, siting, composition, proportion, structure, landscape, materials, texture and colour of the place or site. Additions should be discernible as new… interpreting not imitating" (Article 7.1, Madrid New Delhi Document, 2017, ICOMOS)



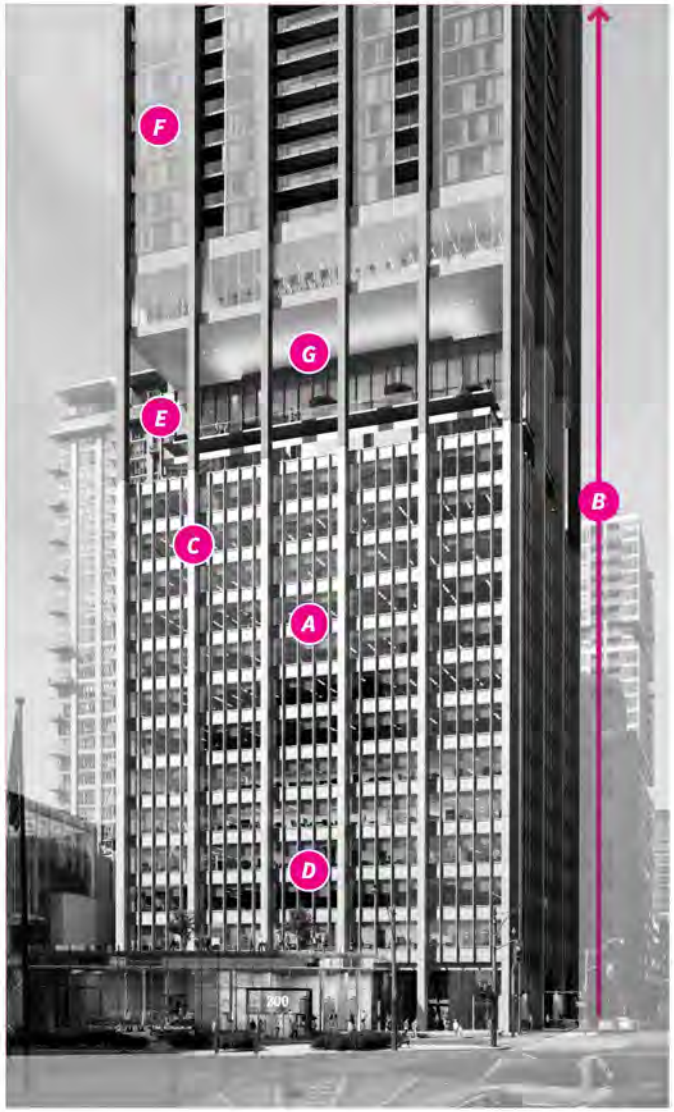
University Ave Modernist Office

- **A** Large commercial floor plate (flexible to accommodate various configurations and serve market interest)
- **B** Curtain wall on building perimeter made possible by inset structural elements
- **C** Mixed use for multiple tenants
- **D** Maximize natural light to tenanted areas
- **E** Shared formal access for multiple tenants and elevator lobby
- **F** Streetwall that contributes to a canyon-form along University Avenue, complementing the Dunnington Grubb boulevard vision, and minimizing shadowing
- **G** Heights that push building technologies to their limit, and respond to policy directives (Historic Zoning By-law 13409) and macro-economic demands



Design Parameters

- **A** Rehabilitate and reinstate high-performance curtainwall system on all elevations
- **B** Emphasize Original Design Intent of Verticality
- **C** Interpret Vertical Rhythm of Articulations
- **D** Maintain Building's Balanced Symmetry
- **E** Maintain Penthouse Setbacks to Create Visual Separation of Volumes
- **F** Promote Visual Subordination to the existing building's minimalist aesthetic
- **G** Penthouse As Horizontal Band



Heritage Design Parameters

- **A** Retain and Restore Curtainwall Envelope on all Elevations
- **B** Emphasize Original Design Intent of Verticality
- **C** Interpret Vertical Rhythm of Articulations
- **D** Maintain Building's Balanced Symmetry
- **E** Maintain Penthouse Setbacks to Create Visual Separation of Volumes
- **F** Promote Visual Subordination to the existing building's minimalist aesthetic
- **G** Penthouse As Horizontal Band

ERA

Heritage Design Parameters

- **A** Retain and Restore Curtainwall Envelope on all Elevations
- **B** Emphasize Original Design Intent of Verticality
- **C** Interpret Vertical Rhythm of Articulations
- **D** Maintain Building's Balanced Symmetry
- **E** Maintain Penthouse Setbacks to Create Visual Separation of Volumes
- **F** Promote Visual Subordination to the existing building's minimalist aesthetic
- **G** Penthouse As Horizontal Band

APPENDIX VIII: ENGINEERING MEMO (ENTUITIVE, 2024)

Entuitive Corporation
200 University Avenue, 7th Floor
Toronto, ON M5H 3C6 Canada
T. 416.477.5832

ENTUITIVE

June 10, 2024

Erin Smith
Senior Heritage Planner
City of Toronto

Re: 200 University Redevelopment, Structural Feasibility Report
Our Project No. C018-0812

Dear Erin,

Entuitive has been retained by GWL to review the feasibility of redeveloping the 200 University property. Our work commenced with concept design in 2018, included schematic design in 2021, and continues as we support the various design options developed by the team.

In this time, we developed structural concepts for the vertical expansion of the tower. We completed load rundowns to check the capacity of the existing structure. Where required we have developed reinforcement details to enhance the capacity of the existing elements without increasing the size of the existing column enclosures. We have consulted with the Geotechnical Engineer to understand how the tower can be supported at the base. We developed lateral models to study the performance of the tower under wind and seismic loads. Lastly, we worked with the team to design the typical tower floors and the transfer system that allows the new and exiting grids to work together.

We have reviewed the May 21st, 2024 ZBA set prepared by KPMB for this submission and confirm that the design is structurally feasible. We have reviewed ERA's 200 University HIA dated June 10, 2024 and confirm the proposed conservation strategy, in the context of this proposal, is structurally feasible.

Sincerely,
Entuitive

Jamie Hamelin, M.A.Sc., P. Eng.
Principal
Jamie.hamelin@entuitive.com
D: 647.401.5416

LICENSED PROFESSIONAL ENGINEER
J. A. HAMELIN
100137370
JUNE 10, 2024
PROVINCE OF ONTARIO