



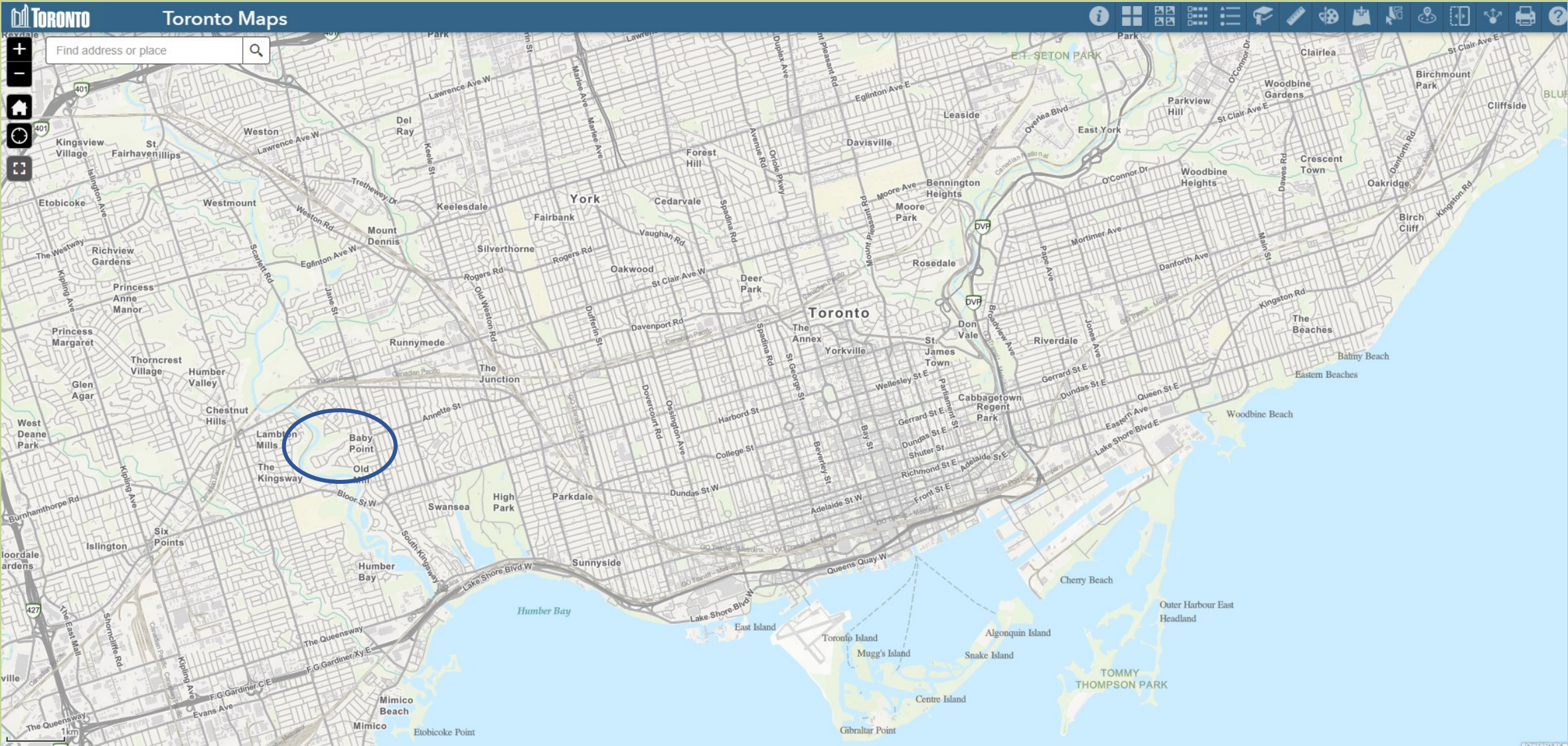
In partnership with
ASI Heritage
Wendy Shearer Landscape Architect
Lura Consulting
Re:Public Urbanism



Teiaiaagon-Baby Point Heritage Conservation District Plan

Toronto Preservation Board
November 28, 2024

District Location



HCD Study Outline

Research and Data Collection

1. Community Engagement
2. History and Evolution
3. Built Form and Landscape Survey

Analysis

4. Character Analysis
5. Evaluation of Significance

Recommendations

6. Statement of District Significance
7. Proposed Boundary
8. Potentially Contributing Properties
9. Objectives for HCD Plan
10. Policy Context
11. Recommended Properties for Further Research



History & Evolution

Since time immemorial

Indigenous presence

C. 9000 BCE

The Toronto Carrying Place Trail forms

C.1300 CE – 1650 CE

Ancestral Huron-Wendat inhabit lower stretches of the Humber River

Circa 1670-1688 CE

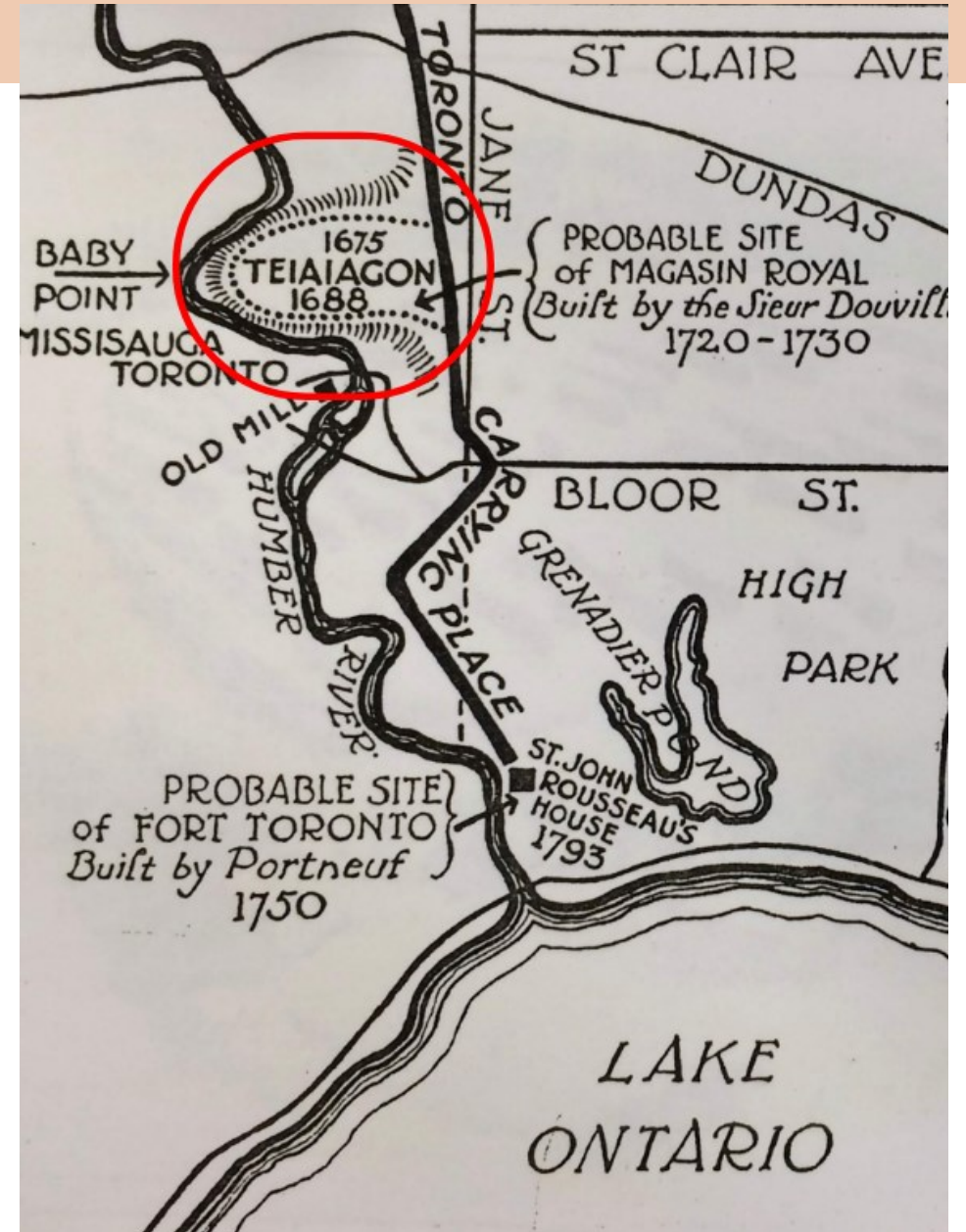
The Seneca village of Teiaiagon is established.

1702

The Mississauga may have established a village on the west bank of the Humber River across from the original site of Teiaiagon

1911-1941

Robert Home Smith, a prominent Toronto businessperson develops, the area as a "Garden Suburb" with period revival homes and designed bucolic landscape.



Heritage Conservation District Plan Contents

- 1.0 Introduction
- 2.0 Legislative and Policy Framework
- 3.0 Statement of District Significance
- 4.0 Statement of Objectives
- 5.0 District Boundary and Resources
- 6.0 Policies and Guidelines for Archaeological Resources
- 7.0 Policies and Guidelines for Landscape (all Zones)
- 8.0 Policies and Guidelines for Parks and Public Realm
- 9.0 Policies and Guidelines for Contributing Properties
- 10.0 Policies and Guidelines for Non-Contributing Properties
- 11.0 Implementation
- 12.0 Recommendations
- 13.0 Appendices

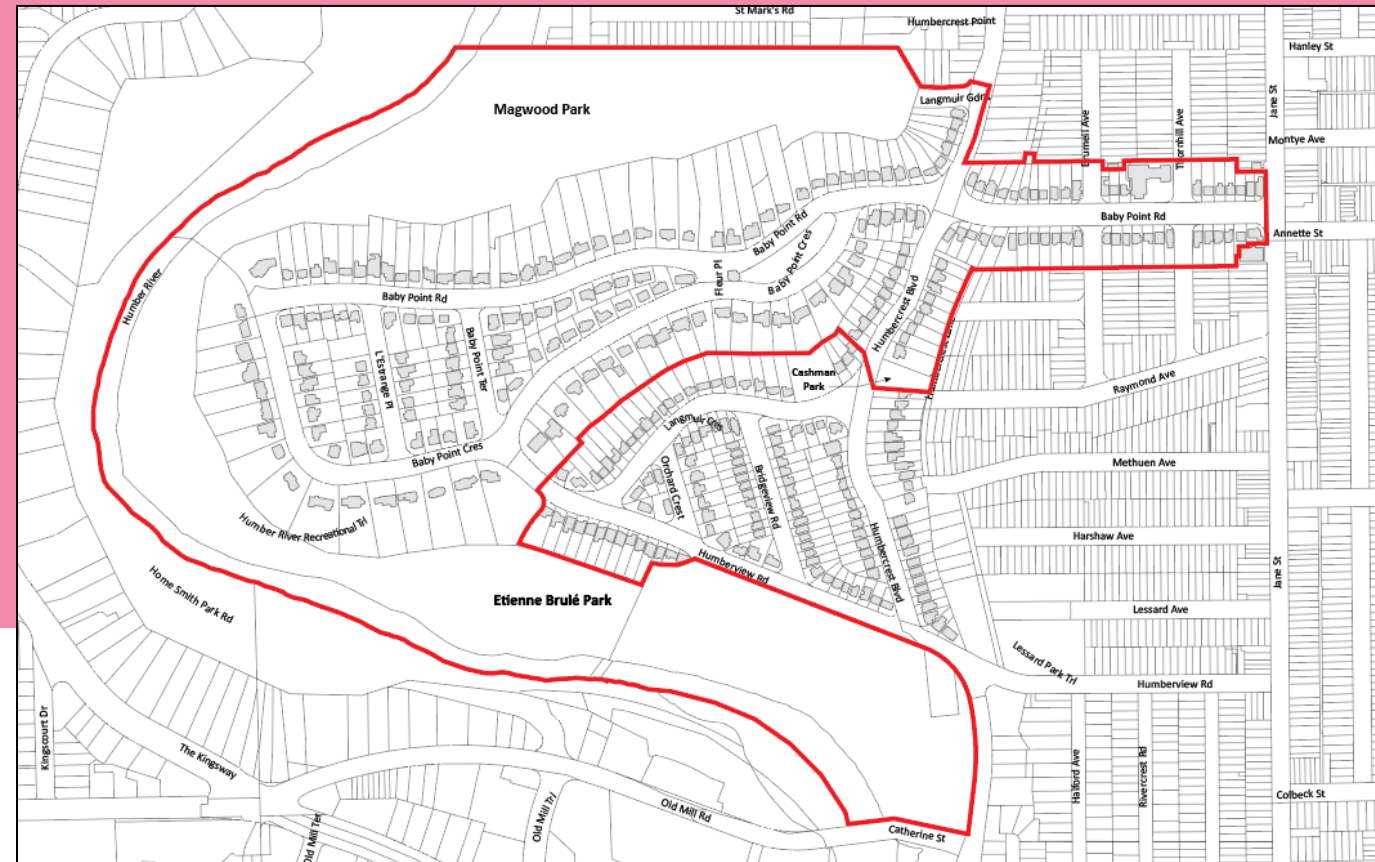


The Teiaiagon-Baby Point District

is a crescent-shaped area in the west end of Toronto, comprised of a large promontory with steep forested slopes that extend into the Humber River Valley.

What makes the District significant?

- **Historical and associative values** as the ancestral lands of the Mississaugas of the Credit, the Haudenosaunee, and the Wendat peoples, as the location of Teiaiagon, a mid-to-late 17th century Haudenosaunee village, as a key node in the Toronto Carrying Place Trail, and archaeological resources.
- **Design and physical values** as a Garden Suburb with early-20th century residential buildings.
- **Natural values** for its picturesque character and landscape features.
- **Contextual values** for its vistas and access to the Humber River, its tree canopy, and its topography.
- **Social and community values** for First Nations who have an enduring connection to this land and river from time immemorial; the three parks, Baby Point Gates, Baby Point Club, and Humbercrest United Church.



Summary of Heritage Attributes of the District



- The Humber River— a designated Canadian Heritage River
- The vistas (panoramic views) of the promontory from Étienne Brûlé Park, Magwood Park, and the Humber River shores; the vistas of the Humber River from Magwood Park and Étienne Brûlé Park; and the vistas of Magwood Park and Étienne Brûlé Park from the Humber River shores
- The extensive tree canopy, much of which predates the neighbourhood's residential development, to which Indigenous communities hold a significant connection, and which was purposefully retained and integrated into the Garden Suburb design
- The mature trees in front yards contributing to the streetscape and the continuous greenery of the park-like setting and the mature trees in the rear yards that are visible from the public realm and support the park-like setting of the houses
- The natural topography, including the Humber River Valley, the ravine lands, and the promontory
- Magwood Park, Étienne Brûlé Park, and part of Cashman Park which provide the historical continuity of the natural environment, provide access to the Humber River and hold a significant connection to Indigenous communities, and which provide a green edge to the neighbourhood
- The site of the historic village of Teiaiagon, its associated archaeological resources and burials
- The City of Toronto's Teiaiagon Archaeologically Sensitive Area (ASA), associated with Indigenous uses
- The historically strategic location of Teiaiagon atop the promontory, adjacent to and overlooking the Humber River and the southern terminus of the Toronto Carrying Place National Historic Event, also known as the historic Toronto Carrying Place Trail

Summary of Heritage Attributes of the District



- The plan of the neighbourhood which exemplifies Garden Suburb design principles as envisioned by Robert Home Smith
- The curvilinear street pattern that follows and reflect the natural topography
- The street proportion which contributes to the intimate visual character
- The pattern of building including the houses that are setback from the road and the landscaped yards which contribute to the park-like setting of the Garden Suburb design
- The landscaped front yards, with setbacks and predominance of soft landscaping
- Historic landscape features along the front yards, including the ornamental stone walls and associated fencing that are representative of the Garden Suburb design
- The Baby Point Gates, a gathering place and District entrance marker
- 1 Baby Point Road, the former residence of Robert Home Smith and one of the neighbourhood's first houses
- The Baby Point Club property, a community and social hub founded by the neighbourhood's early residents
- Humbercrest United Church, an important neighbourhood institution and community landmark
- The predominantly low-rise scale of houses, generally two to two-and-a-half storeys tall
- The predominant use of brick, stone, and traditional stucco
- The collection of buildings constructed during the Period of Significance representing early-20th century architectural styles, namely English Cottage (with Tudor influence) and Colonial Revival (with Georgian and Edwardian influence)
- The architectural details of contributing properties

Policies and Guidelines for Archaeological Resources



Overlap of the District and the Teiaiagon ASA

All Properties

- Prior to the submission of a heritage permit application, scope and methodologies for **archaeological assessment** shall be confirmed with Heritage Planning.
- **First Nations** engagement is required at all stages of archaeological assessment, as outlined in the City of Toronto Terms of Reference for Archaeological Assessments, the Provincial Standards and Guidelines for Consultant Archaeologists and supporting bulletins.
- **Notify Heritage Planning** immediately of any discovery of archaeological resources within the District, even relating to alterations on properties cleared of archaeological concern.

Policies and Guidelines for Archaeological Resources



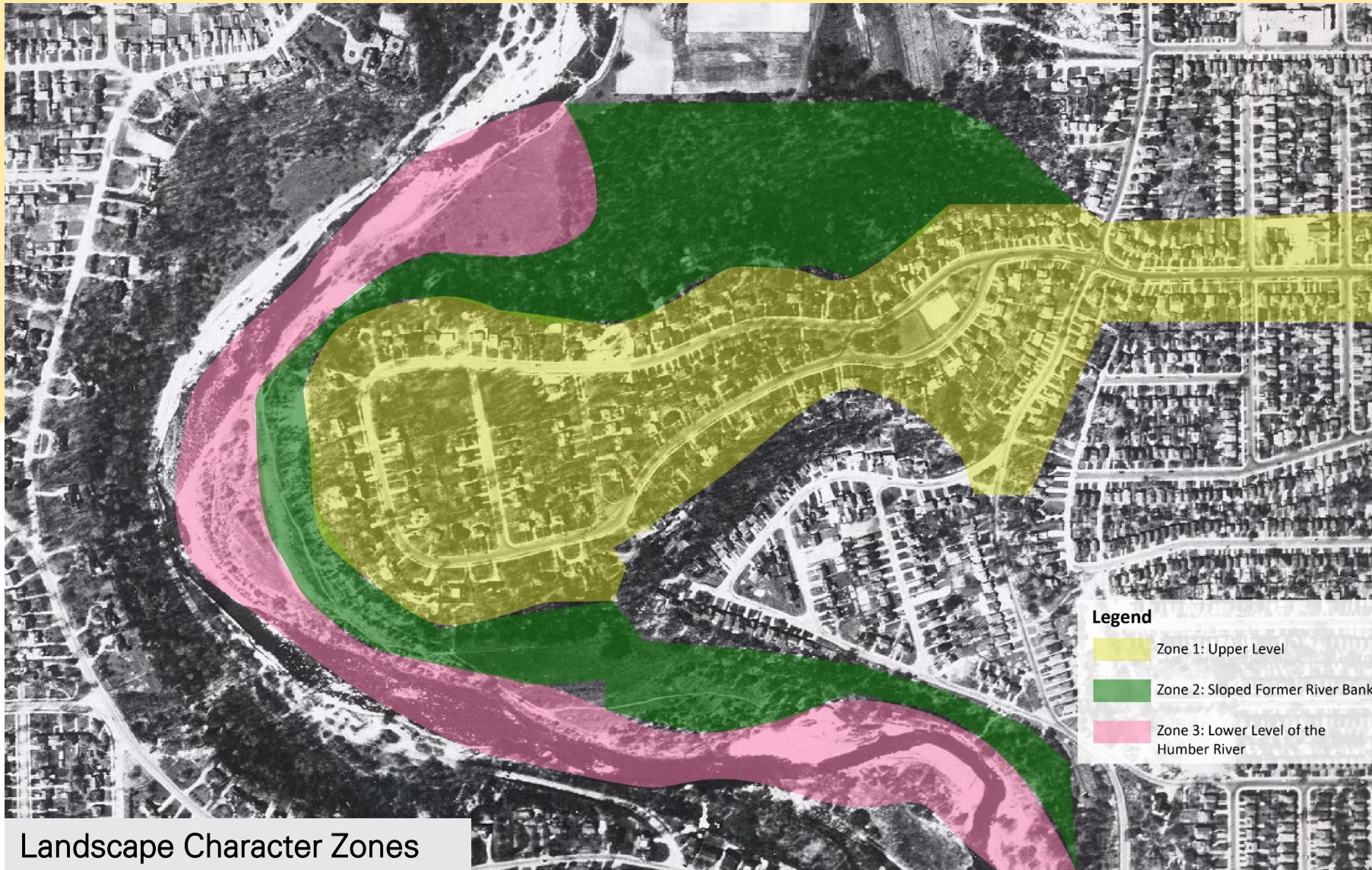
Overlap of the District and the Teiaiaagon ASA

All Properties

An Archaeological Assessment is required for:

- **New structures**/installations in open space areas within other part(s) of the property requiring **subsurface disturbances**.
- **Additions** to existing structures, (including below ground additions) requiring **subsurface disturbances**, i.e. patios and deck footings, fences, pools, sheds and other outbuildings.
- Foundation repair/alteration to existing buildings.
- Major landscaping involving **subsurface excavation/grade changes or soil disturbances** beyond minor gardening, but including tree planting and stump removal.
- New public service hook-ups or repairs to existing buried public services.
- Excavation for **below grade private utilities** including components from irrigation systems and exterior lighting.
- Site grading.
- Work on driveways and sidewalks that require removal of existing materials and **additional excavation**.
- **Site alteration**, including any construction activities requiring **permits or approvals under provincial legislation**, such as the Planning Act or the Building Code Act.

District Landscape



Policies and Guidelines for Landscape (All Zones)



Soft Landscaping

- Conserve existing **soft landscaping**
- Preserve **grades** and **topographical features**.



Hardscaping and Lighting

- Avoid replacing soft landscaping with hardscaping
- Avoid new front yard hardscaping for parking
- Avoid new exterior lighting that negatively impacts the physical and visual heritage attributes of the District.



Ornamental Features

- Conserve designed historic landscape features such as **ornamental stone walls**

Policies and Guidelines for Landscape (All Zones)



Tree Canopy

- Avoid the **removal or injury of trees.**
- **Conserve the tree canopy**
- Allowing trees to grow in their natural form, pruning only to maintain tree health
- **Avoid the disturbance of soil in the root protection zone.**
- Replacing any tree that are removed (due to injury or illness) with trees that will contribute to the canopy within 25 years.
- New trees requiring new **soil excavation within the ASA** will require a heritage permit, and where relevant, an **archaeological assessment.**

Policies and Guidelines for Parks and Public Realm

- Conserve tree canopy
- Conserve archaeological resources in tree planting and removals
- Conserve vistas
- Encourage engagement with Indigenous communities and integration of Toronto Carrying Place Trail and Teiaiagon history in District improvements or alterations
- Support passive recreation of the parks



The District's Built Form

Architectural Styles

Colonial Revival
(with Georgian and Edwardian influence)



English Cottage
(with Tudor influence)



Building Typologies

Typology A
Hipped/side gable,
3-5 bays



Typology B
Hipped/side gable,
2 bays



Typology C
Bay/picture window,
2-3 bays



Typology D
Multi-storied front,
gable bay



Categorization of Properties

Contributing Properties are those with built form (buildings and structures) that:

- were constructed during the Home Smith Building Restrictions Period (1911-1941) and;
- maintain their integrity and have not been significantly altered as seen from the public realm.

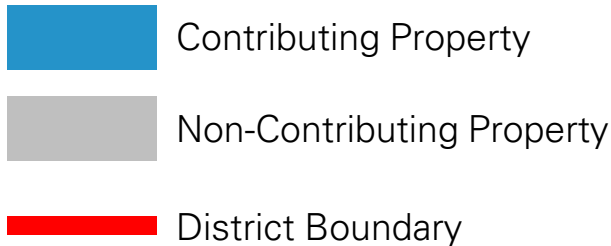


Contributing Property



Non-Contributing Property

Contributing Properties



Policies and Guidelines for Built Heritage Resources

Policies only apply to exterior portions of the property that are visible from the public realm, except for alterations that may require an archaeological assessment



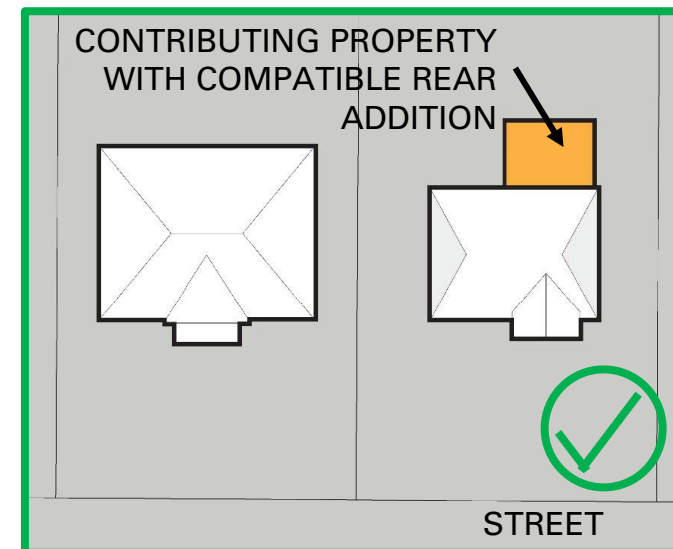
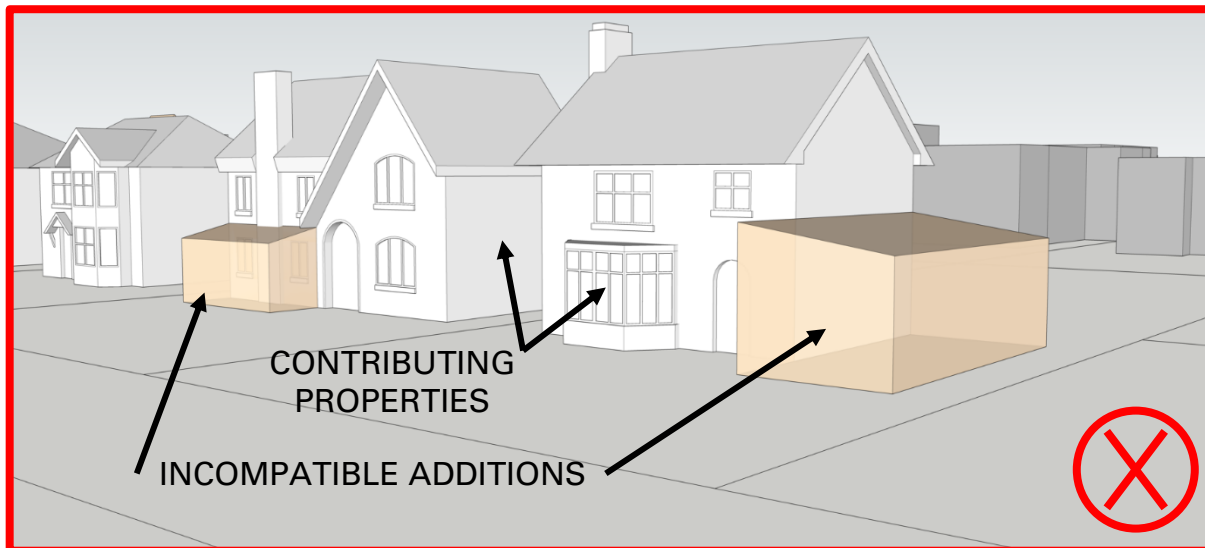
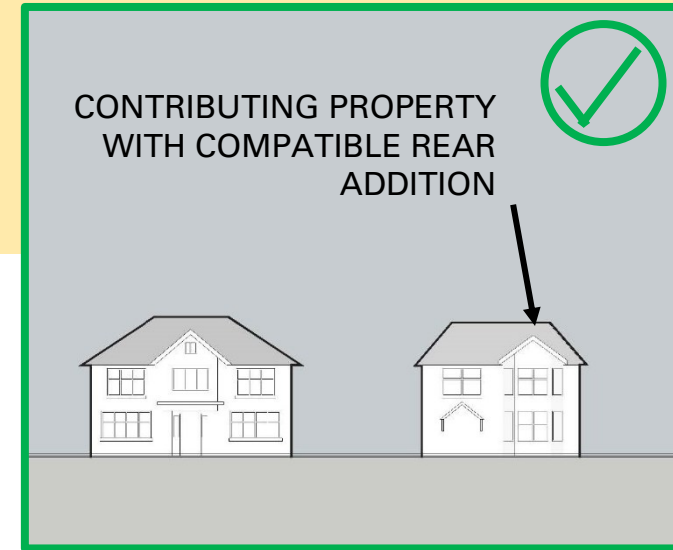
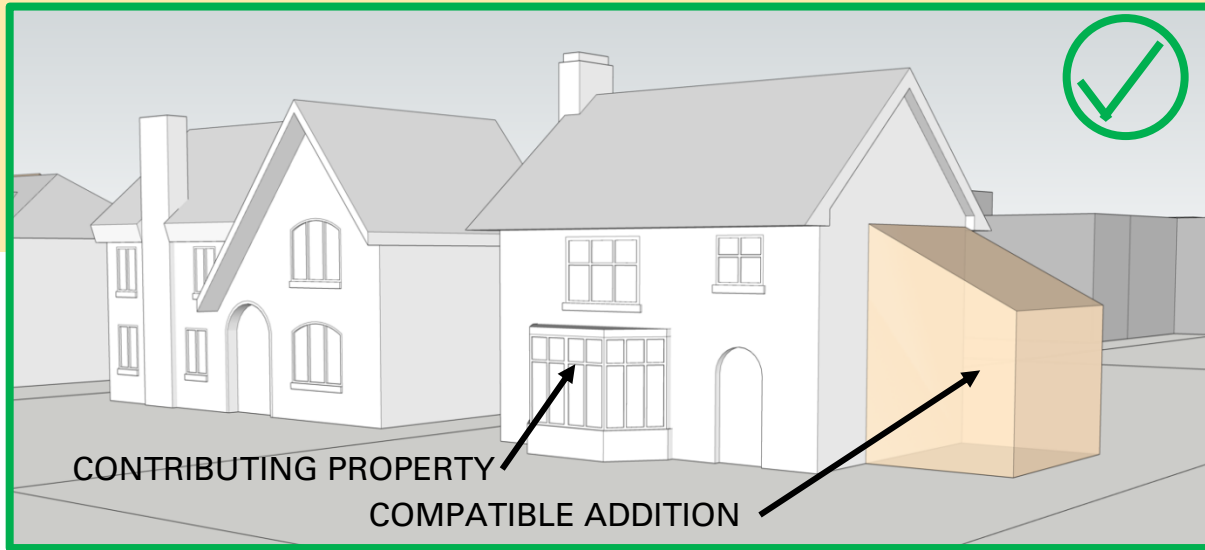
Policies and Guidelines for Contributing Properties

The historic roofs, exterior walls, porches, garages, windows, and doors of the contributing properties give the District its value. **They should be repaired and retained.**

- Additions and alterations should be based on a firm understanding of how the property contributes to the District's **cultural heritage value** and **heritage attributes**.
- Additions and alterations should be planned according to **recognized conservation practices and treatments**.
- **Maintain properties** in a manner that will ensure the conservation and integrity of the District's cultural heritage values and heritage attributes.
- Restoration (re-instating attributes of a property) projects should be based on thorough supporting historic documentation and materials.
- Conserve the **massing, roofline and street proportions**.
- Avoid **front additions to a contributing property**.
- Conserve the **three-dimensional integrity**.
- Additions should be compatible with the façade articulations and architectural expression of the contributing property

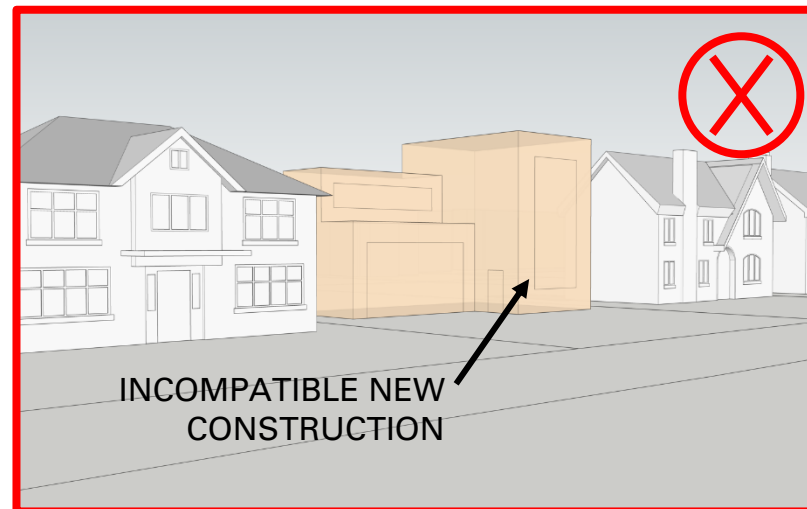
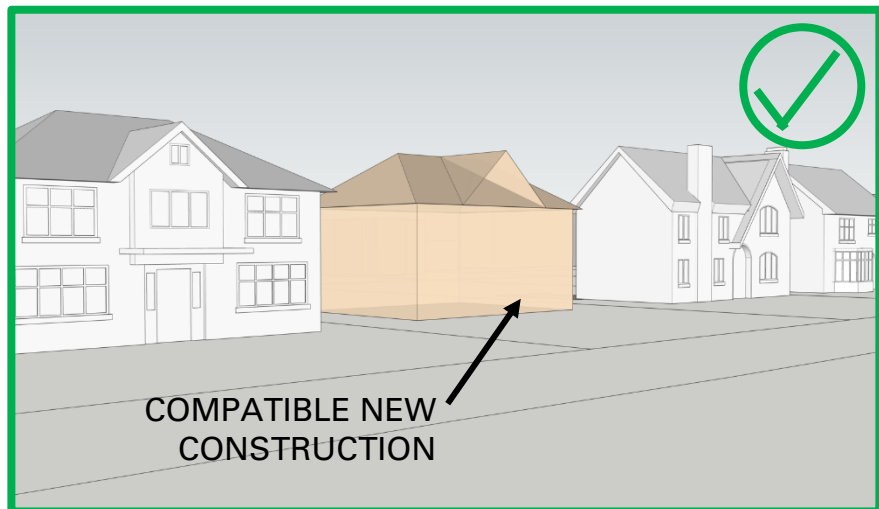
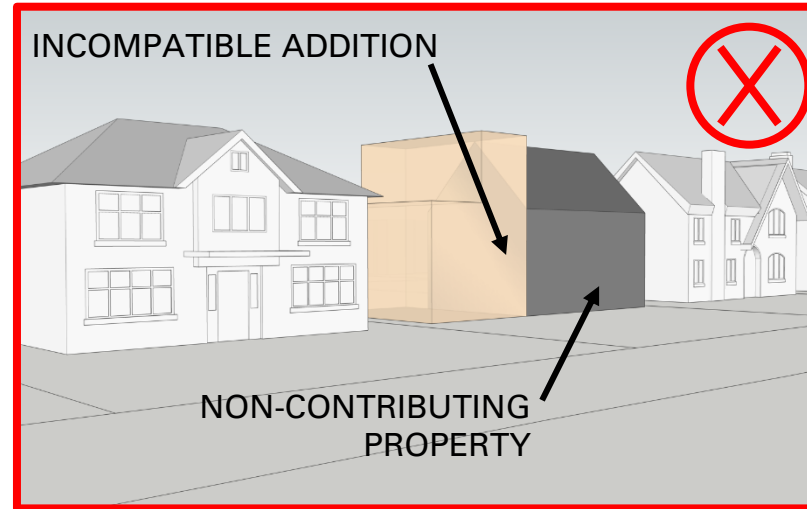
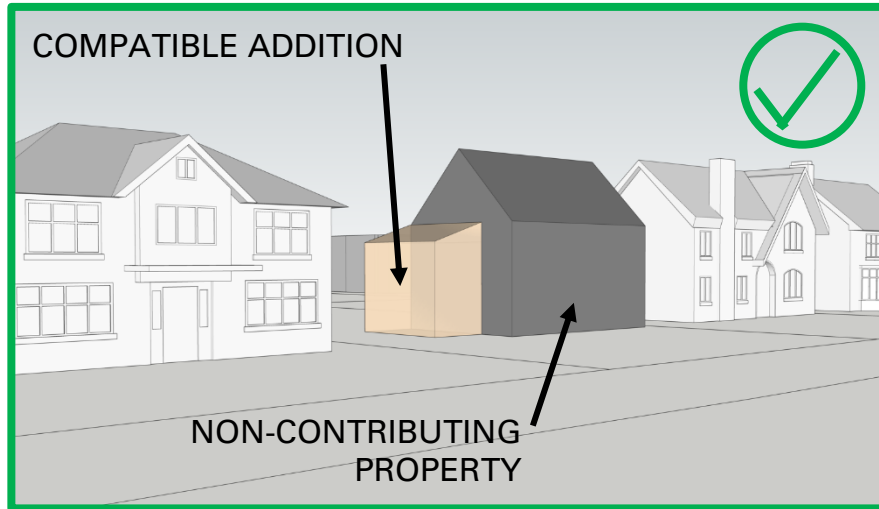


Policies and Guidelines for Contributing Properties



Policies and Guidelines for Non-Contributing Properties

Through **compatibility**, they can support the scale and character of the District



- **New construction** should be compatible with and distinguishable from the **heritage values** and **attributes** of the District.
- Demolition of a building or structure is permitted, once plans for a replacement building(s) have been submitted and approved, including a **heritage permit**.
- **New construction** and additions should conserve the **articulation and rhythm** of the façade from **adjacent contributing properties**.
- **New construction** and additions should conserve predominant **roof ridge height** of **adjacent contributing properties**.
- **New construction** and additions **should not** have garages or **blank walls** facing the public realm.
- Additions and alterations **should not negatively impact** the **cultural heritage values** and **heritage attributes** of the District.
- **New construction** and infill should be compatible with the character of the District's **cultural heritage values**.

Implementation

Summary of Heritage Permits Deemed to be Issued

Certain classes of alterations are considered minor in nature and may be carried out without applying for a heritage permit:

- **Painting** of wood, stucco or metal finishes (excludes masonry)
- **Repair** of existing architectural features, provided they are repaired in-kind
- Installation of eavestroughs
- **Weatherproofing**, including installation of removable storm windows and doors, caulking, and weatherstripping
- Installation of exterior lights (where heritage attributes are not altered and below-grade infrastructure is not required)
- **Temporary** signage
- **Maintenance** of existing features
- **Pruning** of trees to maintain tree health and pruning of branches that are dead or in conflict with a building or utility (although all necessary permits must be secured pursuant to Municipal Code Chapters 813 and 658)
- **Landscaping** (hard and soft) that does not require subsurface excavation/grade changes (e.g. seeding)
- Repair of existing **above-grade utilities** or public works
- Temporary or **seasonal** installations and decorations
- Topping and stemming of City-owned trees
- In the event of an imminently hazardous tree, cutting down and injuring of that tree is permitted. However, any ground disturbance, such as removal of a stump, will require a heritage permit.



Thank you

