

Palace Arms

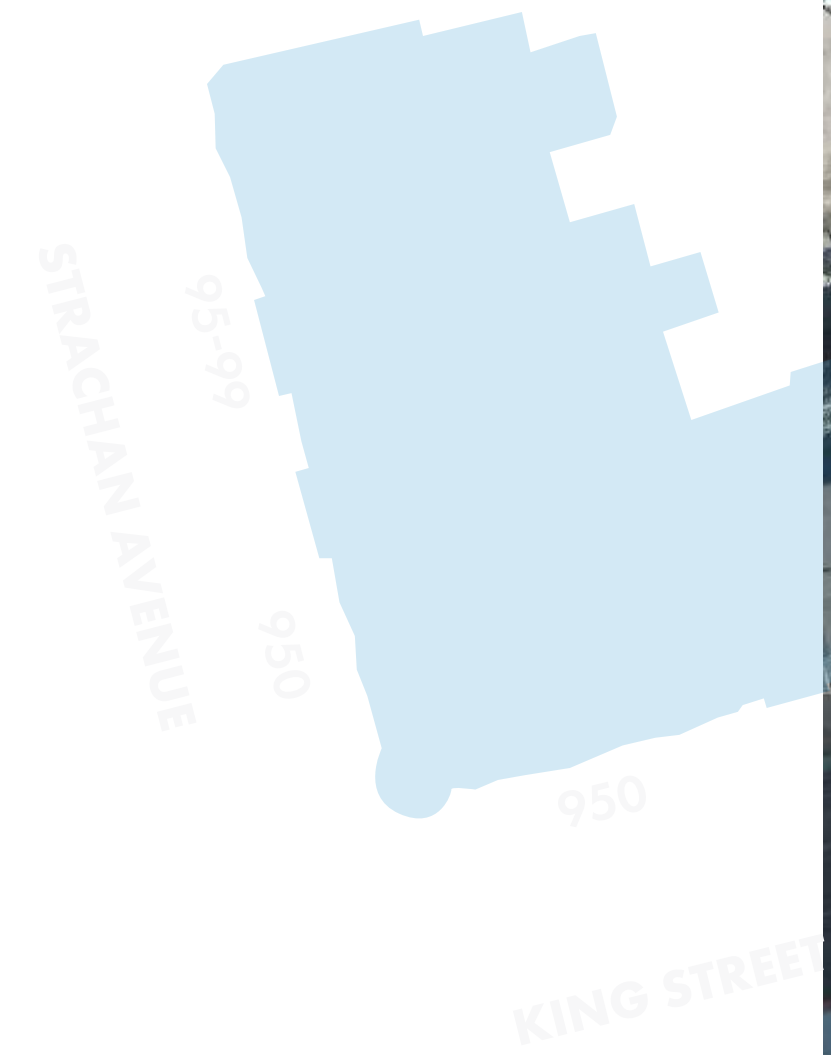
**938-950 King Street West, and
95-99 Strachan Avenue**

Toronto Preservation Board
January 18, 2024

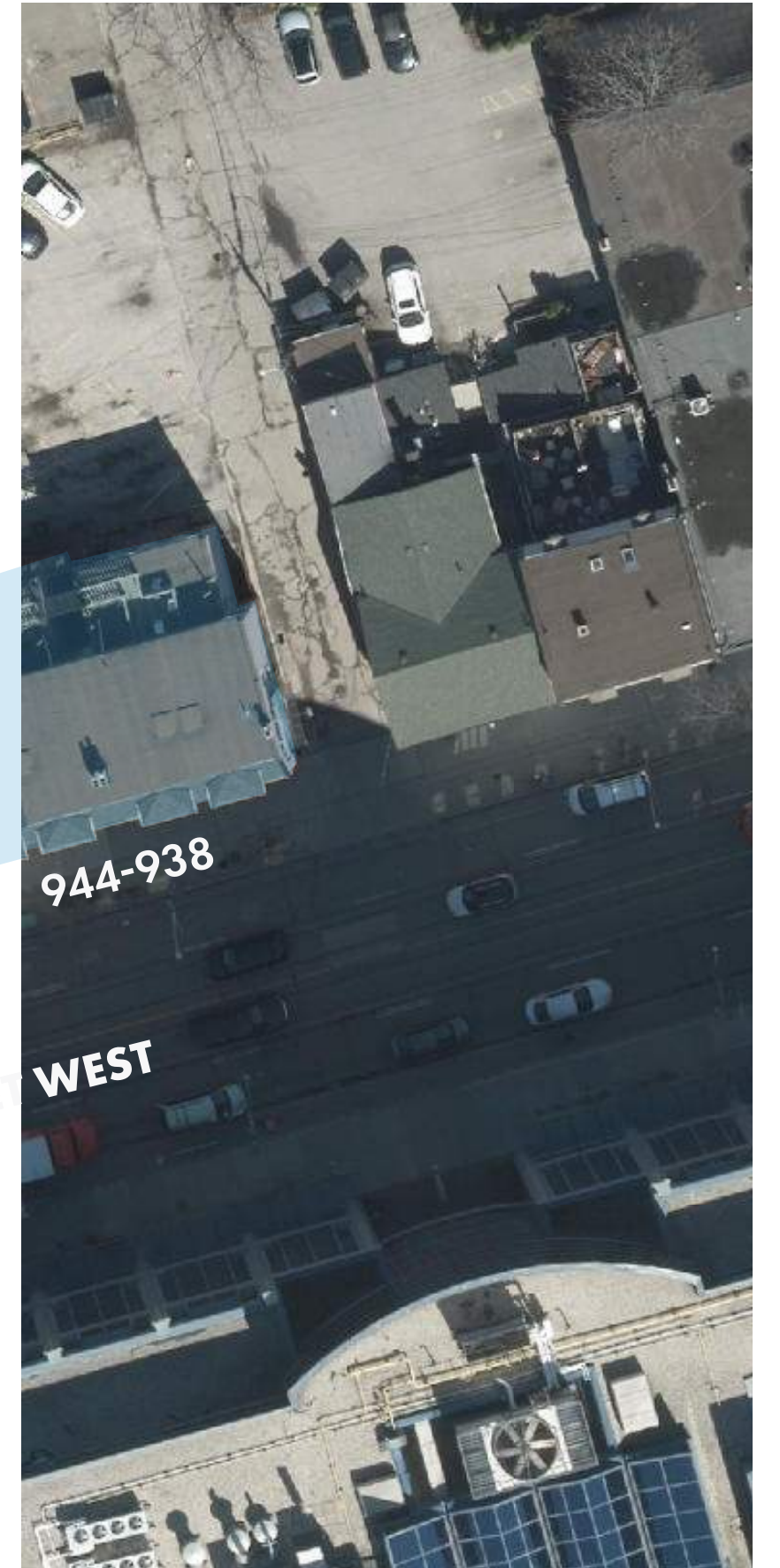
THE SITE



View looking towards the southwest corner of the building, Photographer: Dan Chan, 2022



City of Toronto - Toronto Maps v2 Aerial 2020, annotated by Giaimo



TIMELINE

**Heritage Impact Assessment
for Redevelopment Proposal
(ERA)**

Issued March 26, 2018
Revised December 17, 2020

Conservation Plan

Issued May 7, 2021
Revised May 26, 2022

**Condition Assessment and
Conservation Strategy
Report**

Issued March 15, 2023
Revised June 2, 2023

**Designated Under Part IV of
Ontario Heritage Act**

May 6, 2021

**Exterior Masonry Openings
Report of Findings (Facet
Group Inc.)**

Issued May 29, 2023

Exterior Paint Removal

February, 2023

Reconstruction Plan

Issued December 8, 2023

ORIGINAL APPROACH

- The proposed conservation approach for the building was rehabilitation
- In-situ retention of the heritage facades along King Street West and Strachan Avenue
- Removal of the remainder of the building from a point 4.5 m from the property line to accommodate construction of a new mixed-use development
- Reconstruct 4.5m of the return (east and north) facades using salvaged material
- Reconstruct masonry chimneys, roof structure, and slate roof
- Lowerground floor openings to provide for universal accessibility



South Elevation, Conservation Plan, 2022



West Elevation, Conservation Plan, 2022

MASONRY CONDITION



Contrast between former fine mortar joints (right) and saw-cut joints



Visible gouging on stone due to power washing



Stone delamination due to weathering

MASONRY CONDITION



Field-view showing overcut joints, repointing with concrete, loss of stone and brick faces.



Poorly cut out brick joints, and loss of brick faces



Poorly cut out brick joints, and loss of brick faces

REVISED APPROACH

The updated proposed approach for the project is rehabilitation, involving:

- Documentation of the building
- Dismantling and rebuilding of the prominent heritage facades along King Street West and Strachan Avenue, and 4.5m of return walls (east and north)
- Using new materials that will visually match existing to accommodate construction of the new fourteen-storey mixed-use development
- Intact character defining stone masonry and metal elements – identified in the Reconstruction Plan – will be salvaged, repaired, and reused within their original composition on the facades



South Elevation Lighting Plan, Reconstruction Plan, 2023



West Elevation Lighting Plan, Reconstruction Plan, 2023

DOCUMENTATION



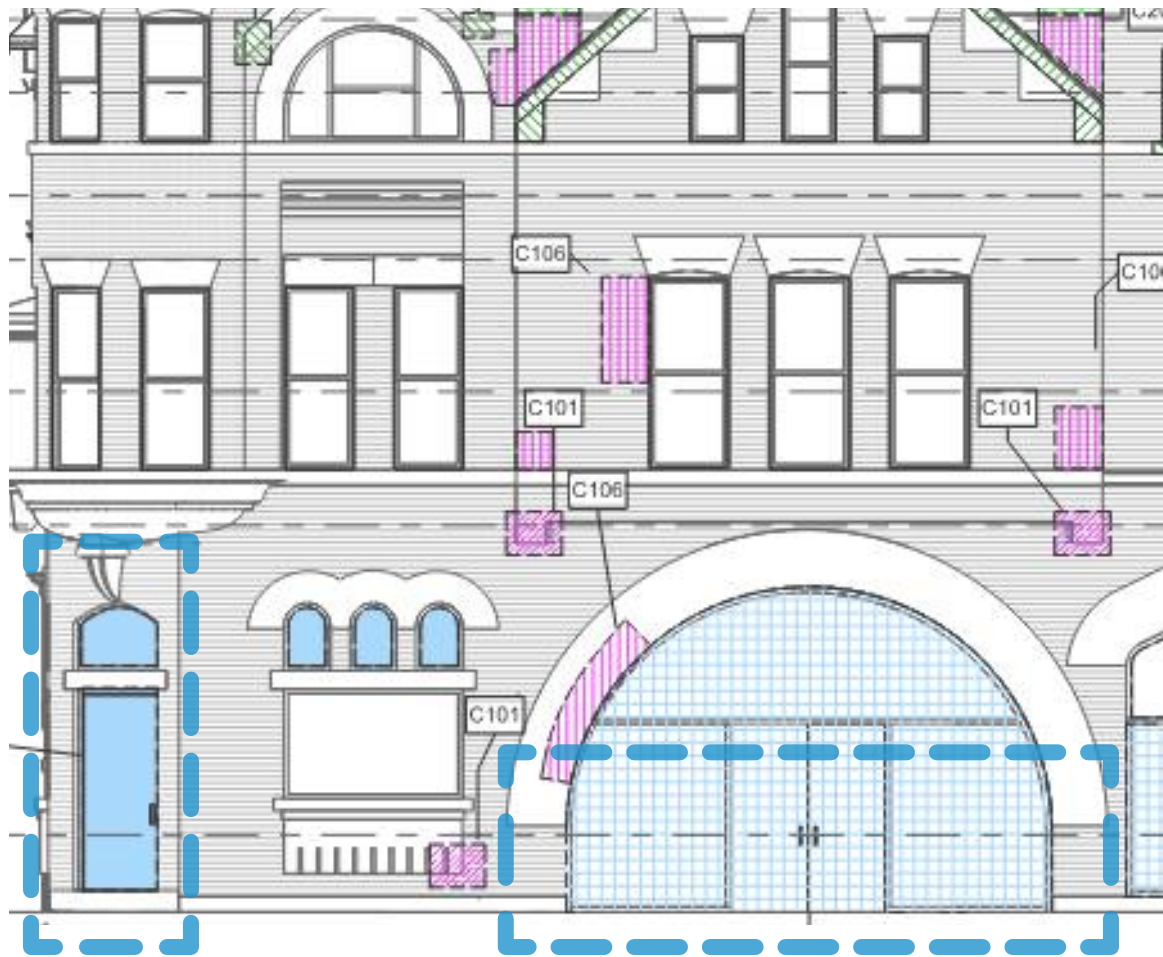
3D LiDAR scan of existing building, South Facade, captured 2023



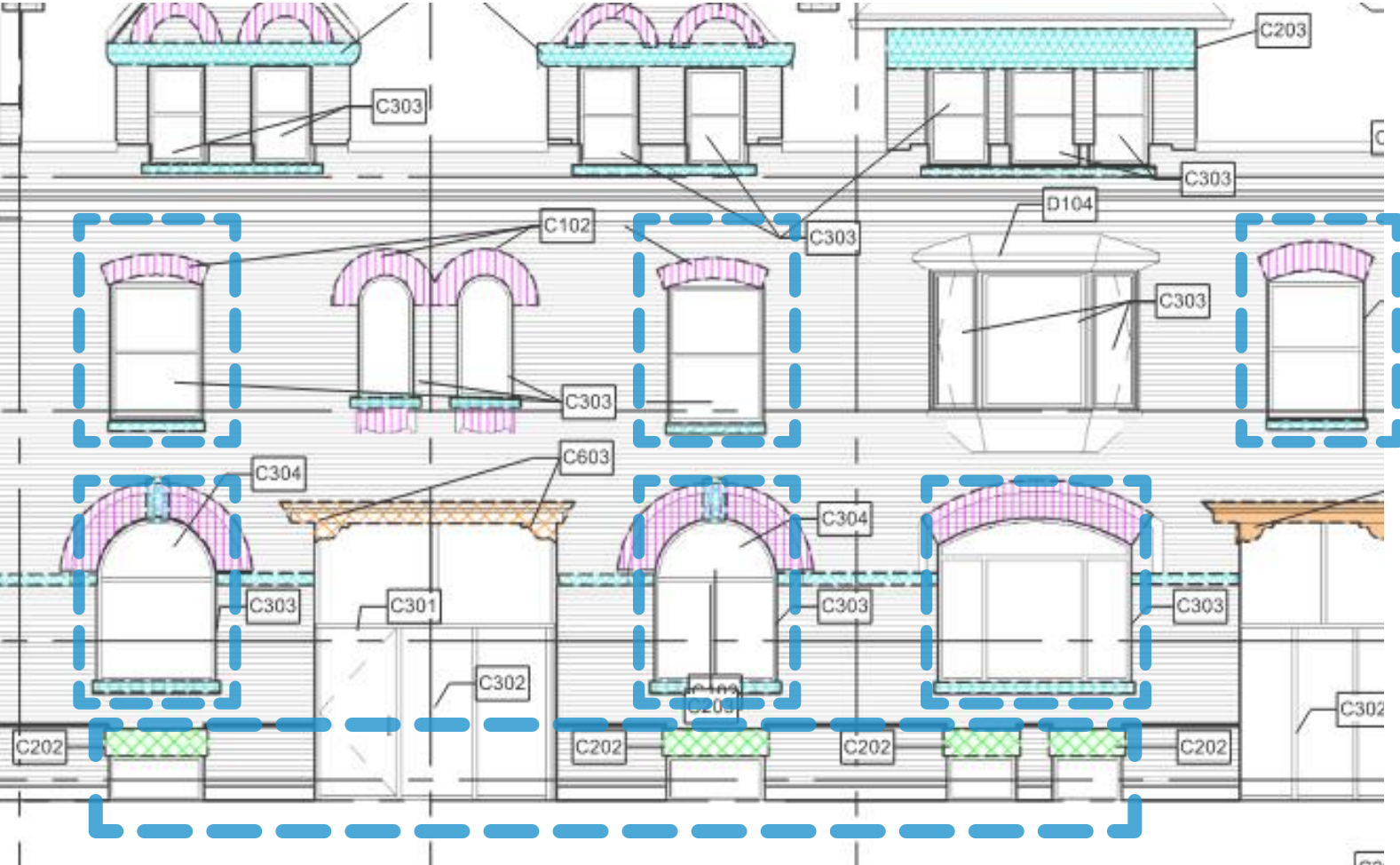
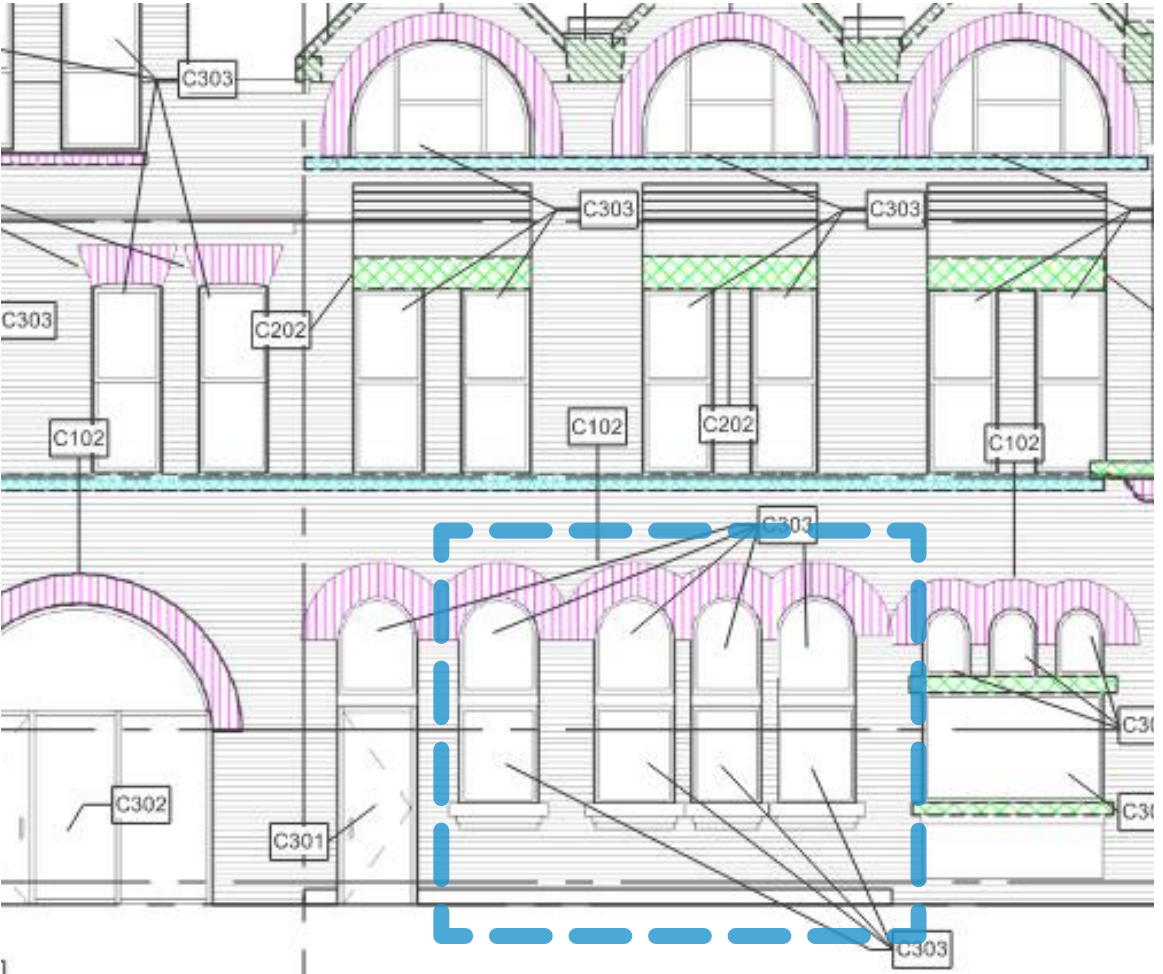
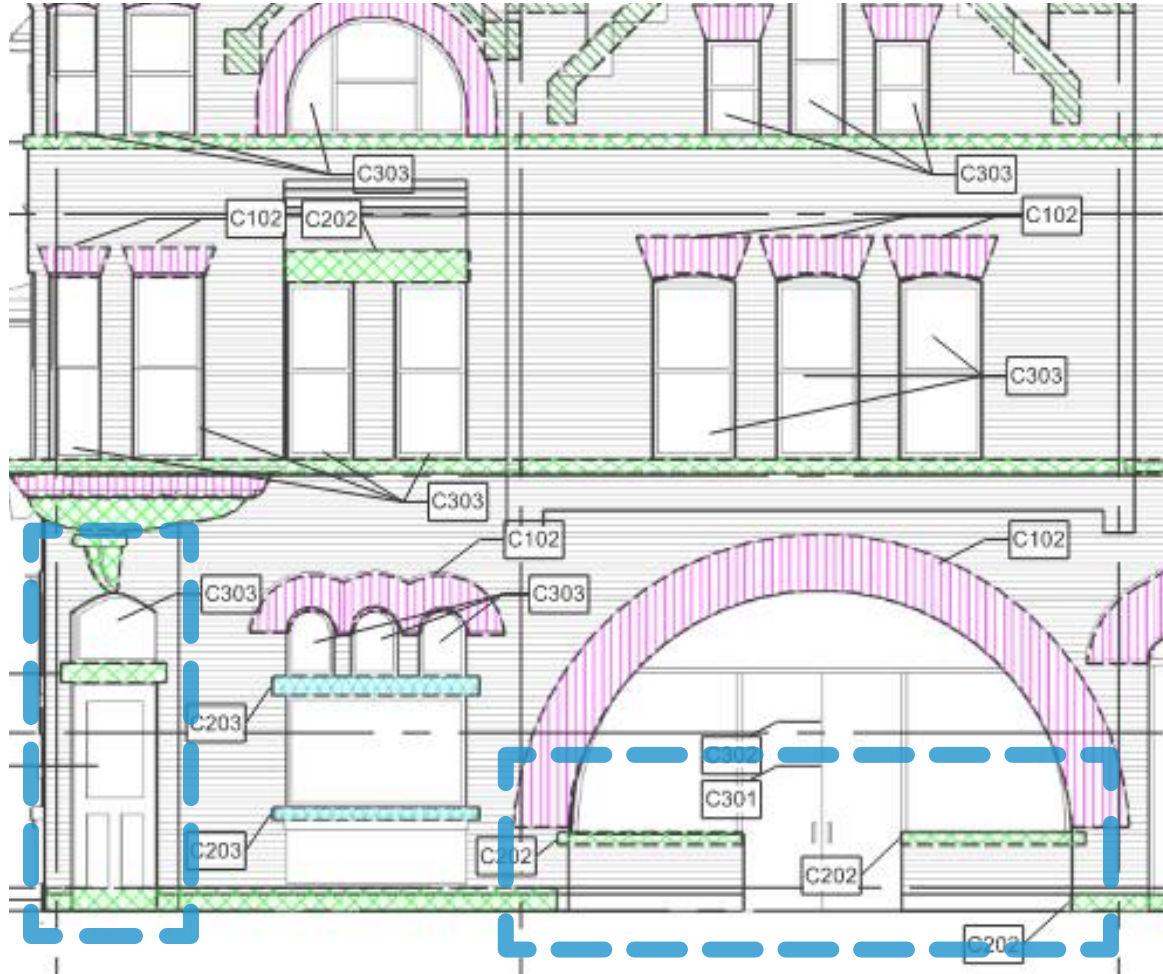
3D LiDAR scan of existing building, West Facade, captured 2023

PROPOSAL ENHANCEMENTS

ORIGINAL PROPOSAL



REVISED PROPOSAL



PROPOSED DEVELOPMENT



Reconstructed heritage facade with proposed development behind. Note: rendering does not reflect proposed enhancements.