

358-360 Dufferin Street - Notice of Intention to Designate a Property under Part IV, Section 29 of the Ontario Heritage Act

Date: November 15, 2024

To: Planning and Housing Committee

From: Interim Chief Planner and Executive Director, City Planning

Wards: Ward 4 - Parkdale-High Park

SUMMARY

This report recommends that City Council state its intention to designate the former Dominion Radiator Company factory complex properties at 358-360 Dufferin Street (including structure address at 350 Dufferin Street) under Part IV, Section 29 of the Ontario Heritage Act for their cultural heritage value according to the Statement of Significance and description of heritage attributes found in Attachment 1.

The subject properties are located south of Queen Street West on the west side of Dufferin Street between Milky Way Lane and Melbourne Avenue in South Parkdale. A location map and current photograph of the heritage property is found in Attachment 2.

The properties at 358-360 Dufferin Street comprise part of the Dominion Radiator Complex, a Late-Victorian era industrial compound defined by factory and office buildings grouped around an open, central courtyard. The prominent Toronto architect, E.J. Lennox, is attributed to the design and/or expansion of buildings on the site during Dominion Radiator's ownership (1889-1907). The Mixing & Core Oven Buildings, Foundry Building and red brick industrial chimneys, along with the central courtyard defined by the large footprint built components, constitute a cultural heritage landscape that facilitated heavy industrial manufacturing and contributed to the historic character of Parkdale following the easing of industrial zoning restrictions in the area in the late-19th century.

Staff have determined that the properties at 358-360 Dufferin Street have cultural heritage value and meet 5 of the Ontario Regulation 9/06 criteria prescribed for municipal designation under Part IV, Section 29 of the Ontario Heritage Act. A property may be designated under Part IV, Section 29 of the Ontario Heritage Act, if it meets two or more of the nine criteria.

As of July 1, 2021, Section 29(1.2) of the Ontario Heritage Act restricts City Council's ability to give notice of its intention to designate a property under the Act to within 90 days of a "Prescribed Event".

The properties at 358-360 Dufferin Street are subject to a Prescribed Event. On August 31, 2022, the City received Zoning By-law Amendment and Site Plan applications related to the proposed redevelopment of the subject property (22 198105 STE 04 OZ and 22 198104 STE 04 SA).

A Cultural Heritage Evaluation Report (CHER) and Heritage Impact Assessment (HIA) authored by ERA Architects and dated July 15 and 19, 2022 respectively were submitted in support of the application and conclude that the properties at 358-360 Dufferin Street have cultural heritage value and meet the criteria under Ontario Regulation 9/06 criteria prescribed for municipal designation under Part IV, Section 29 of the Ontario Heritage Act.

The City Clerk sent a Notice of Complete Application on October 13, 2022. The owner provided a waiver until January 31, 2025 to extend the time limit for Council to make a decision. In order to meet prescribed timelines under the Ontario Heritage Act, Council must make a decision at its December 17-19, 2024 meeting to provide sufficient time for the City Clerk to issue a notice of intention to designate before the waiver expires.

RECOMMENDATIONS

The Interim Chief Planner and Executive Director, City Planning recommends that:

1. City Council state its intention to designate the properties at 358-360 Dufferin Street (including structure address at 350 Dufferin Street) under Part IV, Section 29 of the Ontario Heritage Act in accordance with the Statement of Significance for 358-360 Dufferin Street (Reasons for Designation) attached as Attachment 1 to the report, November 15, 2024, from the Interim Chief Planner and Executive Director, City Planning.
2. If there are no objections to the designation, City Council authorize the City Solicitor to introduce the Bill in Council designating the property under Part IV, Section 29 of the Ontario Heritage Act.

FINANCIAL IMPACT

City Planning confirms there are no financial implications resulting from the recommendations included in this report in the current budget year or in future years.

The Chief Financial Officer and Treasurer has reviewed this report and agrees with the information as presented in the Financial Impact Section.

DECISION HISTORY

At its meeting of June 18, 2020, Toronto and East York Community Council adopted Item TE15.15 - 340-376R Dufferin Street and 2 Melbourne Avenue - Official Plan and Zoning Amendment Applications - Preliminary Report and directed City Staff to schedule a community consultation meeting together with the Ward Councillor and that notice for the community consultation meeting be given to landowners and residents within 120 metres of the application site, and to additional residents, institutions and owners to be determined in consultation with the Ward Councillor, with any additional mailing costs to be borne by the applicant.

<https://secure.toronto.ca/council/agenda-item.do?item=2020.TE15.15>

At its meeting of March 9, 2022, City Council adopted Item TE31.4 - 340-376R Dufferin Street and 2 Melbourne Avenue -Official Plan Amendment and Zoning By-law Amendment Application - Final Report, to amend the Official Plan and City of Toronto Zoning By-law 569-2013 for the lands at 340-376R Dufferin Street and 2 Melbourne Avenue. Toronto and East York consideration of this item took place at its February 16, 2022 meeting.

<https://secure.toronto.ca/council/agenda-item.do?item=2022.TE31.4>

POLICY AND REGULATION CONSIDERATIONS

Provincial Plans and Policies

The conservation of cultural heritage resources is an integral component of good planning, contributing to a sense of place, economic prosperity, and healthy and equitable communities. Heritage conservation in Ontario is identified as a provincial interest under the Planning Act. <https://www.ontario.ca/laws/statute/90p13>

Further, the policies and definitions of the Provincial Planning Statement (2024) identify the Ontario Heritage Act as the primary legislation through which heritage evaluation and heritage conservation will be implemented.

[Provincial Planning Statement, 2024 \(ontario.ca\)](#)

Ontario Regulation 9/06 sets out the criteria for evaluating properties to be designated under Part IV, Section 29 of the Ontario Heritage Act. The criteria are based on an evaluation of design/physical value, historical and associative value and contextual value. A property may be designated under Section 29 of the Act if it meets two or more of the provincial criteria for determining whether it is of cultural heritage value or interest.

<https://www.ontario.ca/laws/regulation/060009>

Official Plan

The City of Toronto's Official Plan implements the provincial policy regime and provides policies to guide decision making within the City. It contains a number of policies related to properties on the City's Heritage Register and properties adjacent to them, as well as

the protection of areas of archaeological potential. The Official Plan should be read as a whole to understand its comprehensive and integrative intent as a policy framework for priority setting and decision making. The Official Plan can be found here: <https://www.toronto.ca/city-government/planning-development/official-plan-guidelines/official-plan/>

COMMENTS

Evaluation Analysis

The following evaluation analysis is based on the comprehensive research conducted on the properties at 358-360 Dufferin Street (see Attachment 3) and provides the rationale for the recommendation(s) found in this report.

The properties at 358-360 Dufferin Street meet the following 5 out of 9 criteria under Ontario Regulation 9/06 - Criteria to Determine the Cultural Heritage Value or Interest:

The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method

As the heart of the former Dominion Radiator Complex, the built form and open space at 358-360 Dufferin Street comprises a cultural heritage landscape that represents a turn-of-the-century urban industrial site typical of large-scale enterprises at the time. A Late Victorian material palette of red brick with buff brick detailing unifies the original buildings and incremental additions showcasing a range of purpose-built features developed for heavy manufacturing. Arched and segmentally arched window openings, corbelling and rusticated stone further reinforce the Victorian architectural character of the industrial complex.

Defining features of the complex include the functional industrial design of the attached Foundry, Core Oven and Mixing buildings with their large footprints and tall, red brick chimneys typical of Victorian industrial buildings.

The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community

The complex has historical value for its association with the Dominion Radiator Company, a prominent manufacturer and exporter of radiators who purchased a portion of the current site from the Toronto Stove and Manufacturing Co in 1889. The company, comprising an amalgamation of Toronto's leading iron and brass founders, devised a unique method of casting radiators in a single piece that prevented leaks and noise. The company manufactured a wide range of standard and custom models tested nationwide, leading their 'Safford' patent models to become widely popular for both their design and performance. Their radiators were used in such notable buildings as the Ontario Legislative Assembly and those found as far away as New Zealand and China.

The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community

The complex is also valued for its association with the prominent Toronto architect, E.J. Lennox, who adapted and expanded the factory and office structures for Dominion Radiator between 1895-1903, before designing the company's subsequent, larger factory at Dufferin Street near Lappin Avenue (now demolished). Considered one of the city's pre-eminent Victorian-era architects, Lennox contributed over 70 known buildings to Toronto, many of which are significant landmarks such as Old City Hall (1899), the King Edward Hotel (1901-03) and Casa Loma (1911). Of the various styles and typologies in which Lennox deftly worked to become known as the "builder of Toronto", the subject properties comprising a portion of the Dominion Radiator Complex (1889-1907) are a rare surviving example of his Late-Victorian era industrial architecture.

The property has contextual value because it is important in defining, maintaining or supporting the character of an area

The Dominion Radiator complex contributes to the historic context of the late-19th century industrialization of the Parkdale area, when an 1883 council decision relaxed local industrial zoning regulations to permit large footprint industrial sites to infiltrate this otherwise fine grain, "floral suburb" of Toronto. Industrialization of the neighbourhood brought with it the need for workers' housing, including the heritage properties located at 1-7 Melbourne Place (1889-1891) and adjacent to the Dominion Radiator Complex.

The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings

The built and landscape components of the complex that were incrementally added between 1883 and 1907 are visually, functionally and historically linked to one another as parts of the Dominion Radiator factory complex. The buildings are largely contiguous and are grouped around an interior courtyard. The office and factory additions located at 360 Dufferin Street serve as the complex's principal elevation, while buildings that historically housed heavy industrial uses, such as the Mixing, Core Oven and Foundry buildings are set back from the main street and face onto the central courtyard. Beyond the context of the complex itself, the site is valued as one of the few surviving examples of industrial heritage south of the railway tracks on Dufferin Street, along with the adjacent CP Rail underpass to the north at Queen Street West and the A.B. Ormsby Factory to the south at 1195 King Street West.

Prescribed Event Status

As of July 1, 2021, Section 29(1.2) of the Ontario Heritage Act restricts City Council's ability to give notice of its intention to designate a property under the Act to within 90 days of a "Prescribed Event".

A Prescribed Event is a point of time when the application for an Official Plan Amendment, Zoning By-law Amendment and/or Draft Plan of Subdivision Application has been deemed complete and the City Clerk provides notice of that complete application to the public in accordance with the Planning Act. The Prescribed Event is

not the date a development application is deemed complete or when an application is made to the City. A Prescribed Event, including any prescribed exceptions, are defined under O. Reg 385/21. If a new or subsequent Official Plan Amendment, Zoning By-law Amendment and/or Draft Plan of Subdivision Application is submitted on the same property, the Prescribed Event date is reset to the new date the City Clerk issues notice to the public of the new or subsequent complete application.

As of January 1, 2023, should a property be subject to an Official Plan Amendment, Zoning By-law Amendment and/or Draft Plan of Subdivision Application that would trigger a Prescribed Event, the property must be listed in the heritage register prior to the Prescribed Event occurring to designate a property under Section 29(1.2)- of the Ontario Heritage Act. This requirement does not apply to a Prescribed Event that has occurred prior to January 1, 2023.

CONCLUSION

Staff have determined that the properties at 358-360 Dufferin Street meet 5 out of 9 criteria under Ontario Regulation 9/06, the criteria prescribed for municipal designation under Part IV, Section 29 of the Ontario Heritage Act. As such, the properties merit designation and staff recommend that Council support the designation of these properties to conserve their cultural heritage value.

The Statement of Significance (Reasons for Designation) for the properties at 358-360 Dufferin Street attached as Attachment 1 to this report comprises the Reasons for Designation, which is the Public Notice of Intention to Designate.

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SIGNATURE

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City Planning

ATTACHMENTS

Attachment 1 – Statement of Significance (Reasons for Designation)

Attachment 2 – Location Map and Current Photograph

Attachment 3 – Research, Evaluation & Visual Resources

358-360 DUFFERIN STREET
DOMINION RADIATOR COMPLEX
STATEMENT OF SIGNIFICANCE
(REASONS FOR DESIGNATION)

ATTACHMENT 1

The former Dominion Radiator factory complex properties at 358-360 Dufferin Street (including structure address at 350 Dufferin Street) are worthy of designation under Part IV, Section 29 of the Ontario Heritage Act for their cultural value and meet Regulation 9/06, the provincial criteria prescribed for municipal designation.

Description

The former Dominion Radiator factory complex is located along the west side of Dufferin Street just south of Queen Street West and extends westward from Dufferin Street between Milky Way Lane to the north and Melbourne Avenue to the south. The complex is directly adjacent to the Parkdale Main Street Heritage Conservation District (By-Law 1218-2022) to the north and to the listed residential terraces properties at 1-7 Melbourne Place to the south.

Initially owned by the Toronto Stove Manufacturing Co. from 1883-1889, the existing complex includes built form that served as the second location of the Dominion Radiator Company from 1889-1907, including buildings for heavy industrial manufacturing, offices and warehouse space, and large industrial chimneys, all grouped around a central courtyard. Together, these elements constitute a Late-Victorian industrial complex that facilitated the manufacture of the nationally popular Safford Radiator at this location for nearly 30 years.

The evolved complex has been significantly modified since the early 1900s. Additions and alterations, including adaptations following major fires in 1935 and 1953 and changes in tenancy, have eroded the integrity of some of the early buildings. The most significantly altered among these are the buildings at 366-370, 376R and 340 Dufferin Street. Mid-20th century infill buildings were added at 342 Dufferin Street (1955) and 2 Melbourne Avenue (1973-1978) whose function and design are not considered to enhance the cultural heritage value of the Dominion Radiator era of the complex.

The function of the factory complex has also evolved since Dominion Radiator's departure in 1907 from a heavy industrial site occupied by a single company to a commercial/office and studio hub for design-oriented companies and service industries supporting the local community.

Statement of Cultural Heritage Value

Design or Physical Value

As the heart of the former Dominion Radiator Complex, the built form and open space at 358-360 Dufferin Street comprises a cultural heritage landscape that represents a turn-of-the-century urban industrial site typical of large-scale enterprises at the time. A Late-

Victorian material palette of red brick with buff brick detailing unifies the original buildings and incremental additions showcasing a range of purpose-built features developed for heavy manufacturing. Arched and segmentally arched window openings, corbelling and rusticated stone further reinforce the Victorian architectural character of the industrial complex. Defining features of the complex include the functional industrial design of the attached Foundry, Core Oven and Mixing buildings with their large footprints and tall, red brick chimneys typical of Victorian industrial buildings.

Historical or Associative Value

The complex has historical value for its association with the Dominion Radiator Company, a prominent manufacturer and exporter of radiators who purchased a portion of the current site from the Toronto Stove and Manufacturing Co in 1889. The company, comprising an amalgamation of Toronto's leading iron and brass founders, devised a unique method of casting radiators in a single piece that prevented leaks and noise. The company manufactured a wide range of standard and custom models tested nationwide, leading their 'Safford' patent models to become widely popular for both their design and performance. Their radiators were used in such notable buildings as the Ontario Legislative Assembly and were found as far away as New Zealand and China.

The complex is also valued for its association with the prominent Toronto architect, E.J. Lennox who adapted and expanded the factory and office structures for Dominion Radiator between 1895-1903, before designing the company's subsequent, larger factory at Dufferin Street near Lappin Avenue (now demolished). Considered one of the city's pre-eminent Victorian-era architects, Lennox contributed over 70 known buildings to Toronto, many of which are significant landmarks such as Old City Hall (1899), the King Edward Hotel (1901-03) and Casa Loma (1911). Of the various styles and typologies in which Lennox deftly worked to become known as the "builder of Toronto", the subject properties comprising a portion of the Dominion Radiator Complex (1889-1907) are a rare surviving example of his Late-Victorian era industrial architecture.

Contextual Value

The built and landscape components of the complex that were incrementally added between 1883 and 1907 are visually, functionally and historically linked to one another as parts of the Dominion Radiator factory complex. The buildings are largely contiguous and are grouped around an interior courtyard. The office and factory additions located at 360 Dufferin Street serve as the complex's principal elevation, while buildings that historically housed heavy industrial uses, such as the Mixing, Core Oven and Foundry buildings are set back from the main street and face onto the central courtyard. Beyond the context of the complex itself, the site is valued as one of the few surviving examples of industrial heritage south of the railway tracks on Dufferin Street, along with the adjacent CP Rail underpass to the north at Queen Street West and the A.B. Ormsby Factory to the south at 1195 King Street West.

The Dominion Radiator complex contributes to the historic context of the late-19th century industrialization of the Parkdale area, when an 1883 council decision relaxed local industrial zoning regulations to permit large footprint industrial sites to infiltrate this otherwise fine grain, "floral suburb" of Toronto. Industrialization of the neighbourhood

brought with it the need for workers' housing, including the heritage properties located at 1-7 Melbourne Place (1889-1891) and adjacent to the Dominion Radiator Complex.

Heritage Attributes

The heritage attributes of the former Dominion Radiator factory complex properties located at 358-360 Dufferin Street (including structure address at 350 Dufferin Street) are as follows:

Dominion Radiator Complex (1889-1907)

- The scale, form and massing of complex with its 1-2 storey buildings
- The location and configuration of the low-scale complex on the west side of Dufferin Street, with the built components situated along the perimeter of the long, irregular lot between Milky Way Lane and Melbourne Avenue
- The placement and orientation of the large footprint buildings grouped around, and defining, a central courtyard
- The unifying exterior material palette of the Late-Victorian industrial complex, featuring red and buff brick, rough-cast and rusticated stone, metal and glass
- The relatively utilitarian design with modest ornamentation typical of a Late Victorian-era industrial complex
- The remnant red brick-clad industrial chimneys

Mixing & Core Oven Buildings (350 Dufferin Street)

Mixing Building

- The scale, form and massing of the 1-storey building on a rectangular plan with a flat roof and abutting the south elevation of the Core Oven building
- The red brick cladding with buff brick detailing
- The primary (east) elevation with its red brick cladding, segmental-arched openings with buff brick lintels

Core Oven Building

- The scale, form and massing of the 2-storey red-brick building on a rectangular plan with a gable roof, and set perpendicular to the abutting Mixing building
- The red brick cladding with buff brick detailing
- The primary (east) elevation with its red brick cladding, and arrangement of arched and segmental-arched window openings with buff brick lintels on the upper storey
- On the north and south elevations, the two remnant red brick chimneys (currently truncated and capped)
- On the west elevation, the arrangement of openings with their large timber lintels and cast stone sills

Foundry Building (358 Dufferin Street)

- The scale, form and massing of the double-height building on a rectangular plan
- The red brick cladding
- On the upper storey of the primary (east) elevation, the arrangement of the window openings containing industrial glazing with metal muntins

- On the west elevation, the regular placement of the large, flat-headed window openings
- At the north end of the primary (east) elevation, the remnant red brick chimney

Factory Offices (360 Dufferin Street)

- The scale, form and massing of the 2-storey building with a raised basement
- The long, rectangular plan and flat roof
- The rusticated stone foundation
- The red brick cladding with buff brick detailing
- On the east and west elevations, the regular rhythm of repetitive bays
- The placement of the east elevation along Dufferin Street where there is no setback from the property line
- On the east, south and west elevations, the arrangement of the segmental-arched window and door openings, including the main entrance near the north end of the west elevation
- The detailing including the brick corbelling, projecting brick pilasters, contrasting buff brick lintels and stone sills

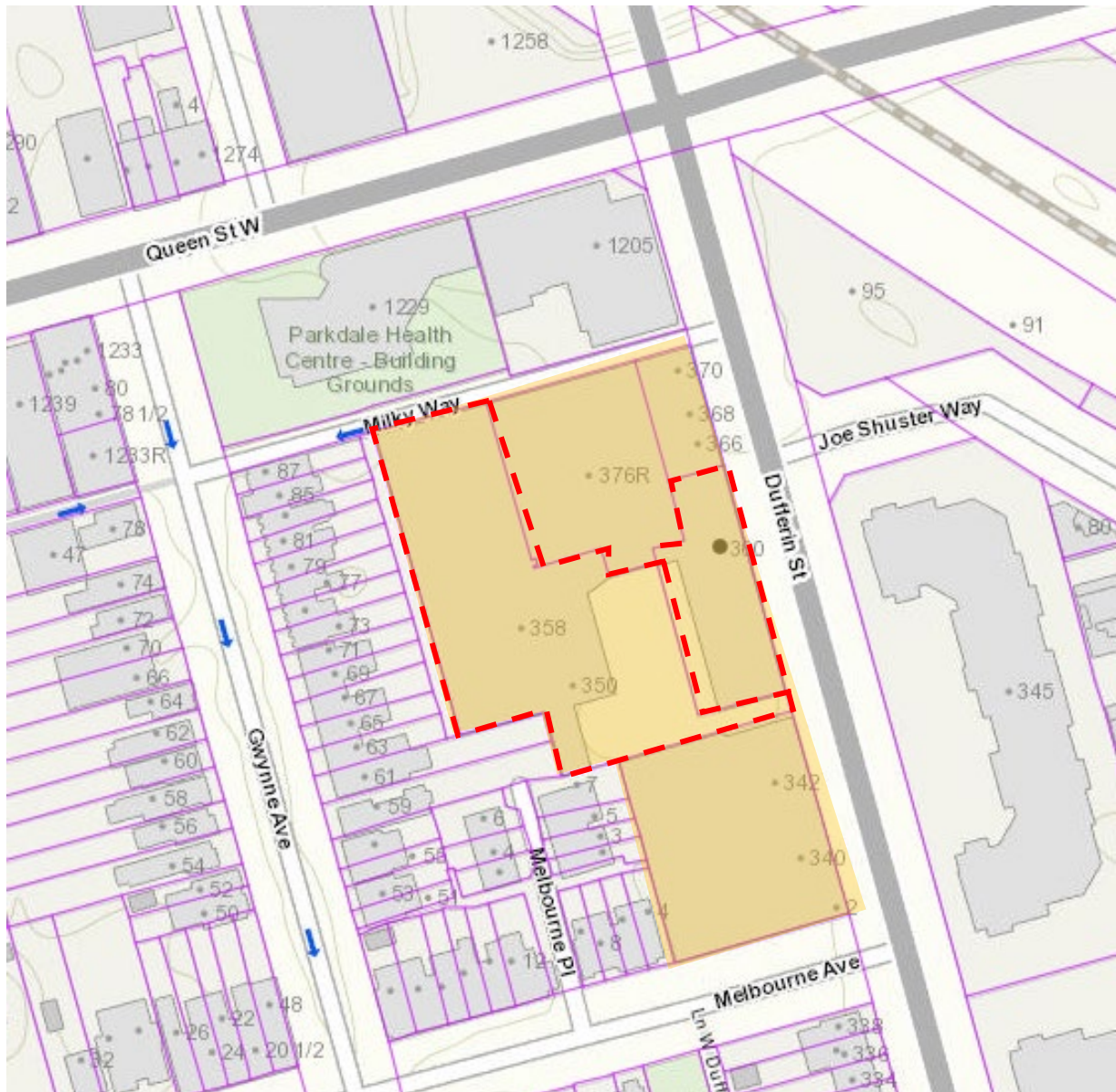
Landscape and Circulation Features

- The central courtyard around which the factory buildings are placed and oriented, and which serviced the industrial functions of the complex
- The exterior service area of the complex comprised of the east-west driveway from Dufferin Street providing access to the factory buildings through the central courtyard

DOMINION RADIATOR COMPLEX

358-360 DUFFERIN STREET

(INCLUDING STRUCTURE ADDRESS AT 350 DUFFERIN STREET)



This location map is for information purposes only; the exact boundaries of the properties are not shown. The Dominion Radiator Complex site is shaded in gold. The properties at 358-360 Dufferin Street (including structure address at 350 Dufferin) are indicated by the red dashed lines. All maps are oriented with north at the top, unless otherwise indicated. (City of Toronto iView mapping)



358 Dufferin Street, incl. structure address at 350 Dufferin and part of the central courtyard (Heritage Planning, 2024)



360 Dufferin Street, east elevation, showing the driveway providing access to the central courtyard, at left (Heritage Planning, 2024)

RESEARCH, EVALUATION & VISUAL RESOURCES

ATTACHMENT 3

358-360 DUFFERIN STREET

In undertaking this research and evaluation, we recognize that the area now known as the City of Toronto is the traditional territory of many nations including the Mississaugas of the Credit, the Anishnabeg, the Chippewa, the Haudenosaunee and the Wendat peoples, and is now home to many diverse First Nations, Inuit and Métis peoples. Toronto is covered by Treaty 13 signed with the Mississaugas of the Credit (1805), and the Williams Treaties (1923) signed with multiple Mississaugas and Chippewa bands.



Aerial View of the Dominion Radiator Complex (Google Maps, annotated by ERA)

1. DESCRIPTION

358-360 Dufferin Street - Dominion Radiator Complex	
ADDRESS	358 and 360 Dufferin Street (including structure address at 350 Dufferin Street)
WARD	4 - Parkdale High Park
NEIGHBOURHOOD/COMMUNITY	South Parkdale
CONSTRUCTION DATE	358 (including 350) Dufferin St: c.1896; 1900 360 Dufferin St: 1894 (4 bay addition to 366-370 Dufferin); 1896 (8-bay extension)
ORIGINAL USE	Industrial
CURRENT USE* (*This does not refer to permitted use(s) as defined by the Zoning By-law	Commercial: Office *This does not refer to permitted use(s) as defined by the Zoning By-law
ARCHITECT/BUILDER/DESIGNER	E.J. Lennox (Architect)
ADDITIONS/ALTERATIONS	See Section 3

2. ONTARIO REGULATION 9/06 CHECKLIST:

CRITERIA FOR DETERMINING CULTURAL HERITAGE VALUE OR INTEREST

The following checklist identifies the 5 prescribed criteria met by the subject properties at 358-360 Dufferin Street, comprising part of the former Dominion Radiator Complex for municipal designation under Part IV, Section 29 of the Ontario Heritage Act. There are a total of nine criteria under O. Reg 9/06. A property may be designated under Section 29 of the Ontario Heritage Act if the property meets two or more of the provincial criteria for determining whether it is of cultural heritage value or interest.

The evaluation table is marked "N/A" if the criterion is "not applicable" to the property or "✓" if it is applicable to the property.

358-360 Dufferin Street (including structure address at 350 Dufferin Street)

1.	The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓
2.	The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	N/A
3.	The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.	N/A
4.	The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.	✓
5.	The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.	N/A
6.	The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	✓
7.	The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	✓
8.	The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.	✓
9.	The property has contextual value because it is a landmark.	N/A

3. RESEARCH

This section of the report describes the history, architecture and context of the property. Visual resources related to the research are located in Section 4. Archival and contemporary sources for the research are found in Section 5 (List of Sources).

i. HISTORICAL INFORMATION

The following section outlines the history and facts related to the property which are the basis for determining historical or associative value of Criteria 4, 5 or 6 according to O. Reg. 9/06 Criteria.

Parkdale Neighbourhood

The Village of Parkdale is closely tied to the expansion of the railway, developing in the 1870s as several land holders in the area registered major plans of subdivision and established the district's current street layout, with Queen Street as its commercial spine and civic centre at Cowan Avenue, located a short distance to the west of the new railway station at Queen Street West and Dufferin Street. Rear laneways servicing many of the commercial main street properties were also established during this initial period of development, including the one running between Cowan Avenue and Dufferin Street that is now called Milky Way. Parkdale was first incorporated as a village in 1879 and then as the Town of Parkdale in 1885 and was developed to the west of the city limits and the military reserve lands, referred to as the Garrison Commons. Queen Street, formerly called Lot Street, was a concession road that divided land grants to the north and south of the street. The area's street layout is a result of uncoordinated, ad hoc subdivision of the park and farm lots in the area, as various land holders parcelled and sold off portions of their properties.

The name for the area, "Parkdale", is attributed to the Toronto House Building Association, which began purchasing land in the area in 1875 in anticipation of the railway station being constructed. The Toronto House Building Association promoted the area as a picturesque village with access to Lake Ontario and clean water, in comparison to the increasingly polluted and congested downtown Toronto. The first residents of the Village of Parkdale were a mix of merchants and professionals migrating from surrounding rural areas, company owners or managers from Toronto, and a large proportion of railway and factory workers taking advantage of affordable housing that was within walking distance to their places of work. Workers' housing was generally closer in proximity to Queen Street West and the railway tracks, with middle and upper-middle class housing being constructed to the south and in proximity to Lake Ontario. When Parkdale was annexed by the City of Toronto in 1889, subsequent access to City services sparked a sharp increase in the development of commercial buildings along Queen Street West. The construction of the Queen Street Subway (the underpass at Dufferin Street) and extension of streetcar service into Parkdale in 1887 improved the area's connection to the rest of the city. Parkdale's ten years as an independent corporation created a distinctly village-like character distinct from the commercial/industrial development east of the historic city limits at Dufferin Street.¹

Site History

The site now known as the Dominion Radiator Complex was occupied by two successive manufacturers beginning in 1884: the Toronto Stove Manufacturing Company (1884-1889) and the Toronto Radiator Manufacturing Company, known as Dominion Radiator by 1898 (1889-1907). The buildings on the site were added and altered incrementally over time to suit the manufacturing and administrative needs of its

¹ These two paragraphs were gleaned from the Parkdale Main St HCD Plan, 19-20.

industrial occupants, resulting in a built form perimeter of buildings whose configuration defines a shared, open air courtyard space at the centre of the site. (Image 1)

Toronto Stove Manufacturing Company

Between 1884 and 1888, the Toronto Stove Manufacturing Company built a 3-storey brick factory at 366-370 Dufferin Street with a 66ft by 142ft rear foundry wing (now municipally known as 376R Dufferin Street). For a short time, the company shipped their products, including its Diamond "A" Range of stoves, across Canada and the United States. In 1889, the Toronto Radiator Manufacturing Company purchased the factory site from Toronto Stove following the latter company's liquidation.² (Image 2)

Toronto Radiator Manufacturing Company / Dominion Radiator Company

The Toronto Radiator Manufacturing Company was comprised of an amalgamation of several leading iron and brass founders, with its initial location established on Niagara Street. However, less than a year later the company outgrew its Niagara site and relocated to the subject location at Queen and Dufferin streets in early 1889. At that time, only the buildings known municipally today as 366-370 & 376R Dufferin Street existed. The company was best known for the Safford patent hot water radiator which were already "tested from one end of the Dominion to the other" by 1891, when the company employed nearly 100 workers in its manufacture.³

In 1895, a 2-storey, 8-bay addition to 366-370 Dufferin comprising the subject property at 360 Dufferin was permitted. The design of the new office and warehouse space is attributed to E.J. Lennox. Coming in at a total cost of \$5000, the carpentry for the addition was contracted out to Moir and McCaul while brickwork was contracted to Harrison & Lewis.⁴ The following year, a building permit receipt indicates that Lennox also completed a 1-storey brick addition estimated at \$4000 that likely pertains to the Foundry, Core Oven and Mixing buildings at 358 Dufferin Street.⁵ By 1897, Lennox prepared plans for alterations to the building at 366-370 Dufferin Street in response to the City's road re-grading project to separate railway and vehicular/pedestrian traffic. The alterations entailed underpinning and exposure of the basement level, whereby the 3-storey building effectively gained an additional storey by digging down.⁶ (Images 4-8)

In 1898, the Toronto Radiator Manufacturing Company became the Dominion Radiator Company. That same year, a reporter from The Globe visited the foundry, which was then a large complex formed around a central courtyard: "With buildings and yards occupying a square some 400x500ft, from one to four storeys in height, with new and

² Toronto World (May 10, 1889), 1.

³ The Globe (Jan 10, 1891), 18.

⁴ Building Permit #1899 (May 13, 1895); Canadian Contract Record (May 16, 1895), 3.

⁵ Building Permit #3110 (June 15, 1896); It is not clear from the available historical record if Lennox built the initial Foundry at 358 Dufferin Street but original architectural drawings indicate that he is responsible for its subsequent alterations, including the design of the adjoining Core Oven and Mixing buildings during Dominion Radiator's tenure at its Queen and Dufferin location.

⁶ A similar grade change situation and architectural response can be seen at the heritage property at 1196-1202 Yonge Street.

wonderful machinery that are marvels of power and ingenuity, and with a pay roll of 179 expert workmen, the Dominion Radiator Co. (Limited) is well equipped for its large trade, which they claim covers 75 percent of all the heating apparatus sold in Canada since the Safford was put on the market in 1887. The company's radiators were found in places from "far-away Norway and Sweden" to "many Government buildings in Auckland, N.Z." and "the Bank of Hong Kong and Shanghai, at Tientsin, China".⁷

According to tax assessment rolls, the Dominion Radiator Company had acquired the entire Dufferin Street frontage between Melbourne Avenue and Milky Way Lane by 1900. In the same year, E.J. Lennox completed alterations and additions on the subject property at 358 Dufferin Street containing the Mixing Building, Core Oven Building and Foundry.⁸ (Images 9 and 10) By 1903, a north-south laneway west of 358 Dufferin appears on the fire insurance plan and a new storehouse known municipally today as 340 Dufferin Street was built at the corner of Dufferin Street and Melbourne Avenue. (Images 3 and 11) In 1907, Dominion vacated the site in favour of a new, larger complex designed by E.J. Lennox further up Dufferin Street near Lappin Avenue.⁹

The Dominion Radiator complex remained empty for approximately 2-3 years following the company's departure northward along Dufferin Street. From 1910-11 onwards, the complex housed a variety of manufacturing businesses, which operated out of different buildings on the site. The site was no longer a unified industrial complex serving a single firm. According to city directories and fire insurance plans, a diverse range of firms occupied the site, including Maples syrup, Toronto Dye Works and Toronto Toy Ltd. In the late 1940s, Toronto Dye Works added an extension to the south elevation of the property at 376R Dufferin Street. (Image 12)

Two fires in 1935 and 1953 compromised the integrity of several sections of the former Dominion Radiator complex, mainly 358, 366-370 and 376R Dufferin Street. Much of this area was rebuilt, however the prominent 3-storey (plus exposed basement level) factory building at 366-370 Dufferin Street has remained a remnant structure since its partial demolition. What remains today are the first floor and exposed basement level. The vaulted foundry building roof with clerestory windows of the Foundry at 358 Dufferin Street, known to us from historic photographs and drawings, appears to have also been irreparably damaged in 1953 and replaced with a flat roof.¹⁰ (Images 13-15)

In 1955, Design Craft Limited commissioned an office and shop building by Bregman & Hamman architects at 342 Dufferin Street. Between 1973 and 1978, a concrete block office and storage building was added at 2 Melbourne Street for Seco Tool Co.¹¹ In the early 2000s, various property management groups leased the former Dominion Radiator site to retailers and as office space. In 2018-2019, several repairs and aesthetic

7 The Globe (Sept 10, 1898), 22.

8 E.J. Lennox Fonds, Archives of Ontario. It is not clear based on available archival drawings if 358 Dufferin Street was originally designed by Lennox, though available building permit receipts (June 5, 1896, Permit # 3110) note that in 1896, E.J. Lennox completed a one-storey addition to the complex, most likely this building.

9 The Globe (Jan 28, 1909), 1.

10 City of Toronto, Aerial Photographs (1953; 1956).

11 City of Toronto, Building Records (342 Dufferin St; 2 Melbourne Avenue)

upgrades were made to the site. The complex continues to be leased as office space to the present day.¹² (Images 16 and 17)

E.J. Lennox, Architect

Edward James Lennox (1854-1933) was born in Toronto and trained at the Mechanics' Institute, graduating at the top of his class. Following his studies, Lennox worked in the office of William Irving for five years. While training under Irving, Lennox met William Frederick McCaw (1850-1923) and in 1876 the pair left to establish their own practice (McCaw & Lennox). They were immediately successful, receiving commissions for large churches, schools, commercial buildings, and residential houses in Toronto and throughout Southern Ontario. After the partnership was dissolved in 1881, McCaw moved to Portland, Oregon, and Lennox established his own practice, quickly becoming one of the largest practices in Canada at the time.

As his career evolved, Lennox skillfully employed a variety of styles including Neo-Classical, Gothic Revival, and Beaux-Arts, while undertaking commissions for Toronto's wealthy and industrial class, including a close relationship with the Massey manufacturing family, for whom Lennox designed residential properties and the Massey-Harris Office Building at 915 King Street West - a surviving portion of the broader Massey Manufacturing industrial complex that once straddled both sides of King Street West near Strachan Avenue. The Dominion Radiator property at Queen and Dufferin streets represents the most intact industrial complex surviving in Toronto that is attributed to Lennox.

Lennox is best known for designing grand buildings in the Richardsonian Romanesque style including structures such as the Toronto Athletic Club (c.1892), Old City Hall (1899), and the West Wing of the Ontario Legislative Building (1909). Considered one of the city's pre-eminent Victorian-era architects, Lennox contributed over 70 buildings to Toronto, many of which are significant landmarks such as the King Edward Hotel (1901-03), Casa Loma (1911) and St. Paul's Anglican Church (1913). An article published at the time of his death in 1933 stated that "he is said to have done more than any other individual in the building up of Toronto".¹³ His legacy is recognized by the Ontario Association of Architects by being listed on their Honour Roll, which is only bestowed upon those who have made a significant contribution to the province's architectural heritage, either through their body of work or their influence in the wider community of design, education, and/or publication.

ii. ARCHITECTURAL DESCRIPTION

The following section provides an architectural description and analysis related to the property which will establish the basis for determining design or physical value of Criteria 1, 2 or 3 according to O. Reg. 9/06 Criteria.

¹² Some information in this section has been fact-checked and paraphrased from ERA's HIA and CHER for the subject site (July 2022).

¹³ "'Builder of Toronto' E. J. Lennox Passes", Toronto Daily Star, April 17, 1933, p2.

The former industrial site bound by Milky Way Lane, Dufferin Street and Melbourne Avenue comprises the former Dominion Radiator Company factory complex as well as a number of later buildings. The buildings on the site currently range from one to two storeys and were incrementally built between 1883 and the 1970s. (Images 1, 18 and 19)

The properties that are the subject of this report, and the landscape elements that unite them, comprise part of the Dominion Radiator Complex era of the site and together constitute a cultural heritage landscape that represents a shift in local land-use zoning in the "floral suburb" of late-19th century Parkdale to permit heavy industry and that facilitated the manufacture of the widely popular Safford radiator. As a turn-of-the-century factory complex with Late Victorian architectural influences, the subject properties are united beyond their historic use and configuration around a central courtyard by their materiality and detailing with their red and buff brick elevations on rusticated stone bases, brick stone and wood detailing and tall red brick industrial chimneys towering above the site. The chimneys are currently truncated and capped; however, an original drawing by Lennox for the flanking chimneys of the Core Oven Building provide indication of their original height and direction for their desired restoration.

358 Dufferin Street

The property at 358 Dufferin Street (including entrance address at 350 Dufferin Street) is a 1-2-storey red-and-buff brick industrial factory complex building built between 1896-1900 with three distinct, but contiguous volumes: the Mixing Building, Core Oven Building and Foundry. (Images 20 and 21)

Mixing Building

A 1-storey "mixing" building constructed of red brick and featuring a flat roof. The building features Victorian architectural influences in its contrasting brickwork. Five segmentally arched openings (3 windows, 2 doors) span the east (principal) elevation, along with three smaller segmentally arched openings that have been bricked in. Buff brick lintels are located over each opening. (Image 22)

Core Oven Building

A 2-storey red brick "core oven" building with front (east)-facing gable form and rear flat roof. The building features Victorian architectural influences in its contrasting brickwork. The principal (east) elevation features symmetrically arranged openings, including, on the second floor, three segmentally arched windows flanked by two arched windows, each with a buff brick lintel. The size of openings on the first floor east elevation have been altered, including the original large tracked door, which has been partially blocked in and replaced with a conventional steel door. Two remnant chimneys are located on the north and south elevations of this portion of the building (currently truncated and capped). The west elevation of the building backs onto a north-south laneway, and includes five window openings and one door opening, each with a large timber lintel and cast stone sill. (Images 20 and 21) The original west elevation as drawn by Lennox shows the arrangement of these openings intact aside from the one window being enlarged to accommodate a secondary entrance. (Images 23 and 24)

Foundry

A double height “foundry” building with flat roof (the historic gabled roof with clerestory windows has been removed), exterior remnant chimney (currently truncated and capped), large industrial windows along the west and east elevations with large timber lintels and cast stone sills. The building is constructed of red brick. Today, the majority of the brick north elevation fronting onto Milky Way Lane has been replaced with concrete block. (Images 25 and 26)

360 Dufferin Street

The property at 360 Dufferin Street is a two-storey, 12-bay red brick office and manufacturing building, built in two phases from 1893-1896, as an addition to the original main building at 366-370 Dufferin Street. These additions feature a raised basement made of rusticated stone. The building forms the largest contiguous portion of street wall on the site. The four northernmost bays were constructed 1893-1894, and the eight southernmost bays were constructed in 1896. The Victorian building features include corbelling along the first floor and cornice line, contrasting buff brick lintels and a rusticated stone base. The majority of windows follow a 6-over-6 pattern (original and replacement windows) with some contemporary casement windows. The most noticeable elevation of the Dominion Radiator Complex is the east elevation of 360 Dufferin Street with its regular rhythm of bays and openings creating a long, uninterrupted street wall. On the west (principal) elevation, the regular rhythm of bays and openings is continued with the original main entrance opening onto the central courtyard (currently surmounted by a contemporary canopy. (Images 27-32)

With respect to the other properties on the site, the buildings at 340, 366-370 and 376R Dufferin Street unfortunately lack integrity, as they've lost their ability to retain their cultural heritage value due to significant alterations. The single-storey structure at 340 Dufferin Street was built by 1903 as a storehouse for Dominion Radiator but has subsequently experienced alterations to all of its openings, including a new entrance added on Dufferin, and its original brick east and south elevations heavily over-clad with parging. (Images 33 and 34)

The properties at 366-370 and 376R Dufferin Street, comprising the earliest buildings on the site (1883-4) and inherited by Dominion Radiator from Toronto Stove Manufacturing Co, have unfortunately suffered significant alteration due to fire damage. The corner property at 366-370 Dufferin, once a 3-storey building plus an exposed basement level, suffered fire damage in both 1935 and 1953, resulting in complete loss of the two uppermost storeys of the original building. The remnant structure standing at the corner of Dufferin and Milky Way Lane today is comprised of a single storey in red brick (currently heavily over-clad with parging) on an exposed foundation/basement of rusticated stone (currently painted). (Image 35)

The abutting 1-storey property at 376R Dufferin Street succumbed to the same fires in the first half of the 20th century. As a result, the entire north elevation (originally red brick) has been rebuilt in concrete block. Successive additions to the south elevation of this building over time have resulted in the loss of the Dominion Radiator era south elevation and increasingly encroached on the central courtyard open space. (Images 36 and 37)

The properties at 342 Dufferin Street (1955) and 2 Melbourne Avenue (1970s) are more recent buildings unrelated to the Dominion Radiator era of the site. The property at 342 Dufferin Street is a flat-roofed, modern building designed by Bregman & Hamann for Design Craft Ltd. The former office and factory building fronts onto Dufferin Street and its north elevation flanks the east-west laneway access to the site's central courtyard. The principal (east) elevation of the building is constructed of brick and the north elevation of concrete block, both currently painted. The principal (east) elevation features a glazed, double-height atrium space containing a staircase on the interior. The rest of the elevation is arranged at the first and second floors into two horizontal bands of window openings containing replacement windows. (Image 38)

The property at 2 Melbourne Avenue, abutting the property at 340 Dufferin Street, comprises a 1-storey storage building constructed of concrete block in phases between 1973 and 1978. The only opening on the principal (south) elevation of this utilitarian structure is the entrance door. (Image 39)

iii. CONTEXT

The following section provides contextual information and analysis related to the property which is the basis for determining contextual value of Criteria 7, 8 or 9 according to O. Reg. 9/06 Criteria.

The Location Map (Attachment 2) shows the site of the former Dominion Radiator Complex, including the subject properties at 358-360 Dufferin Street (with structure address at 350 Dufferin Street). The former complex is bounded by Dufferin Street on the east, Milky Way Lane on the north and Melbourne Avenue to the south. The properties at 358 and 360 Dufferin Street define the west and east flanks of the former industrial complex, respectively.

Beyond the boundaries of the site, the Parkdale Main Street Heritage Conservation District is adjacent to the north as is the rail overpass at Queen and Dufferin. Immediately to the west and south are low-rise, residential areas including the adjacent heritage properties at 1-7 Melbourne Place. To the east, multi-unit residential buildings define the east side of Dufferin Street with the rail corridor and former industrial sites now contained within Liberty Village just beyond. (Images 40-45)

4. VISUAL RESOURCES

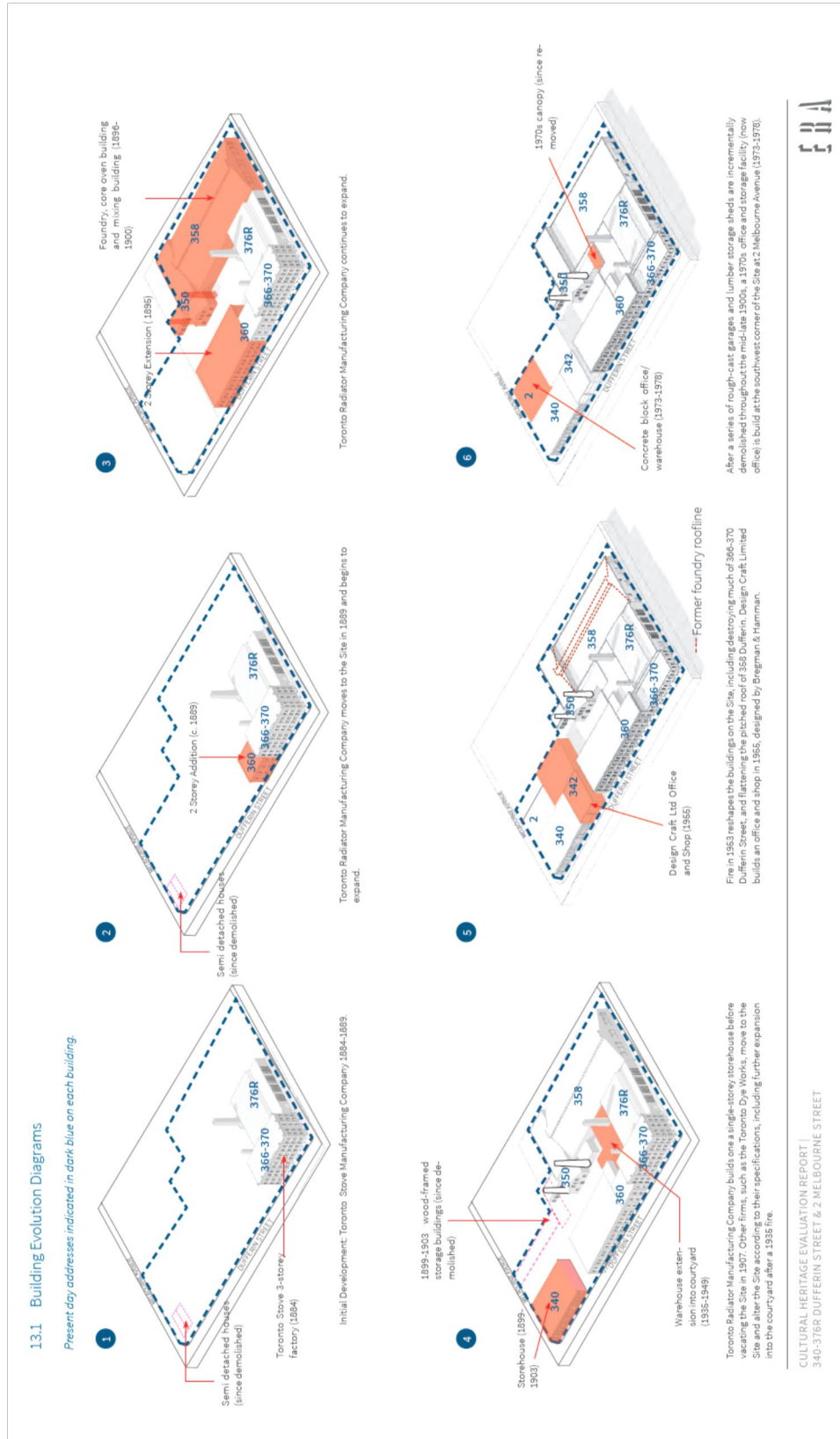
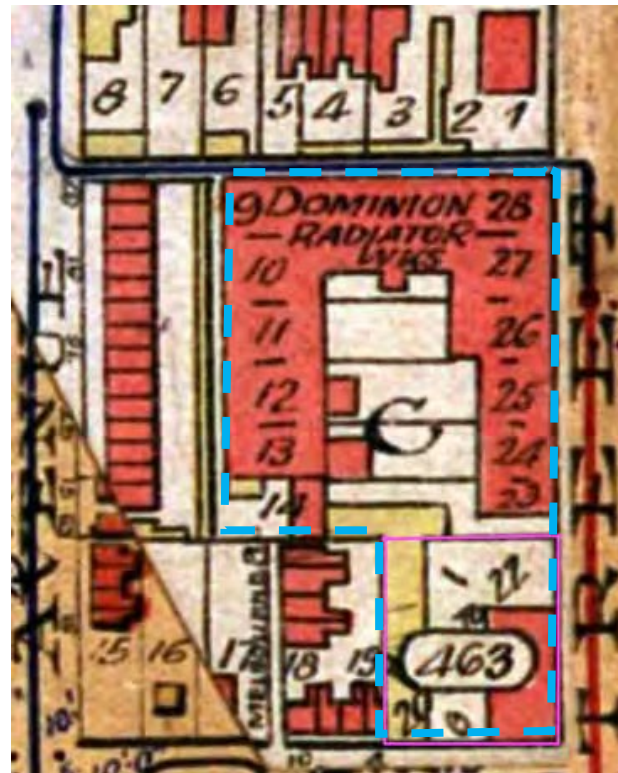
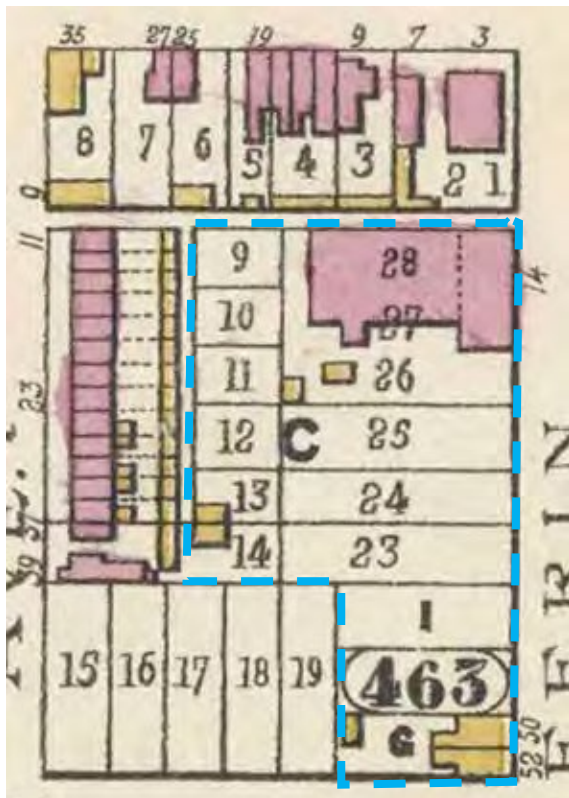


Image 1. Built form timeline for the Dominion Radiator Complex (ERA, 2022)



Images 2 (left): 1884 Goad's Historical Atlas map showing the Toronto Stove Manufacturing Co building at 366-370 Dufferin Street (Ng)

Image 3 (right): 1903 Goad's map showing the full extent of the site during Dominion Radiator's tenure and as expanded by EJ Lennox. (Ng)

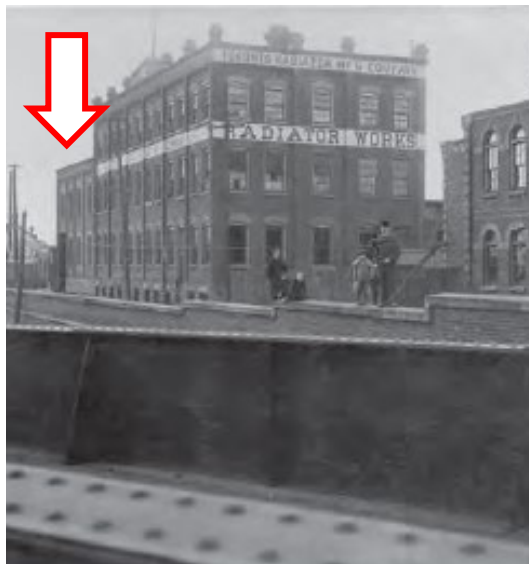


Image 4 (left): 1894 archival photograph looking south from the Queen Street East rail overpass and showing the 1883-1884 factory building at 366-370 Dufferin Street. Note the 4-bay addition at the south end of the building known today as 360 Dufferin Street. (City of Toronto Archives)

Image 5 (right): 1896 archival photograph looking south from Queen and Dufferin to the Dominion Radiator Complex. Note the 8-bay extension to 360 Dufferin Street, resulting on the 12-bay building that exists today. (City of Toronto Archives)



Image 6: c.1898 archival photograph looking west along Queen Street to Dufferin Street and the new rail overpass. The Dominion Radiator complex is indicated by the arrow. Note the full three storey plus exposed basement height of the building at 366-370 Dufferin Street and the gable roof with clerestory windows on the Foundry.

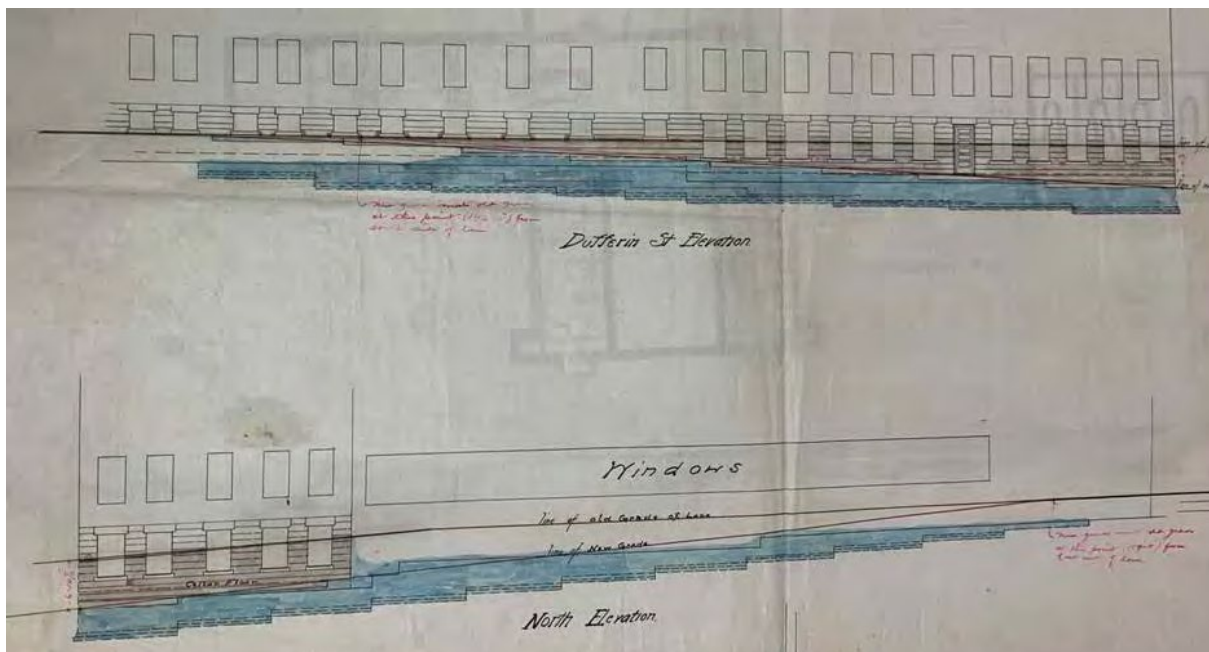


Image 7: 1897 original drawing by EJ Lennox showing the underpinning necessary to accommodate the grade change for the Queen Street underpass. This grade change would result in the building at 366-370 Dufferin Street effectively gaining an additional storey by digging down to expose the basement level. (EJ Lennox Fonds, Archives of Ontario)

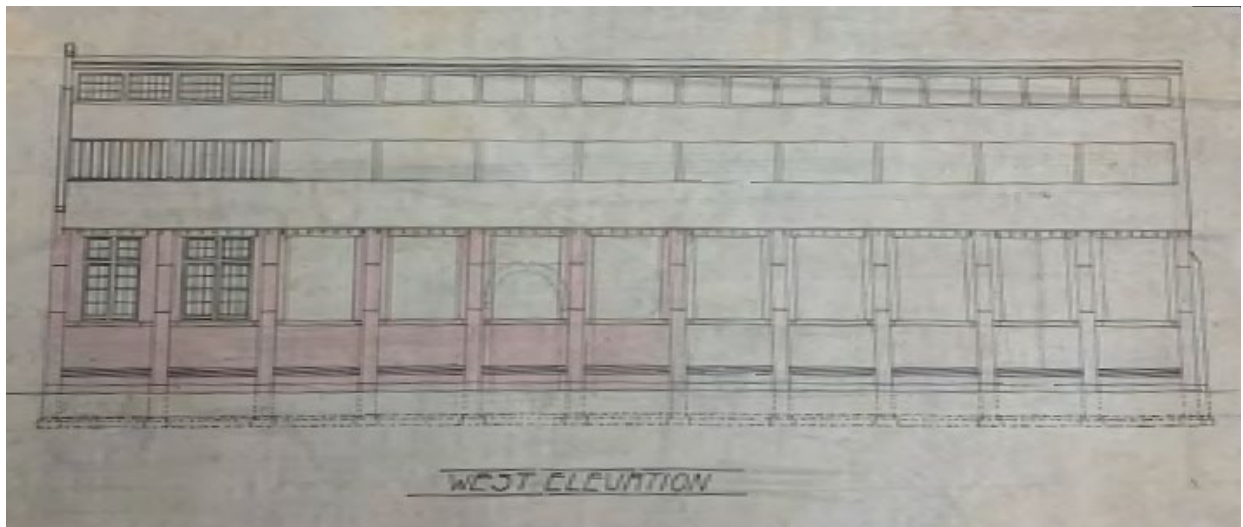


Image 8: 1896 original drawing by EJ Lennox of the Foundry, west elevation (EJ Lennox Fonds, Archives of Ontario)

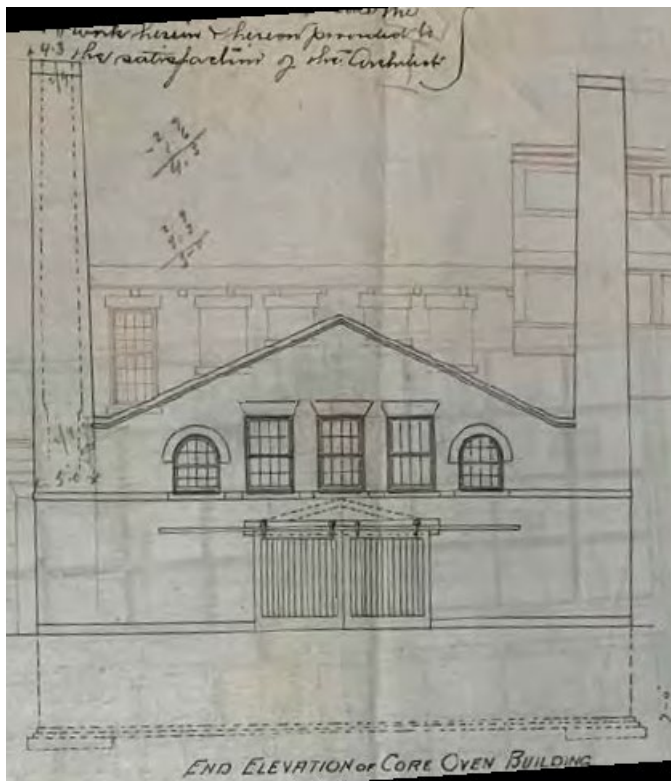


Image 9: 1900 original drawing by EJ Lennox for the Core Oven Building, east elevation (EJ Lennox Fonds, Archives of Ontario)



Image 10: 1900 original drawing by EJ Lennox showing a ground floor plan of the Mixing Building, Core Oven Building and south end of the Foundry (right); at top left is the west elevation of the Core Oven Building abutting the south end of the Foundry with its original clerestory and gable roof (EJ Lennox Fonds, Archives of Ontario)

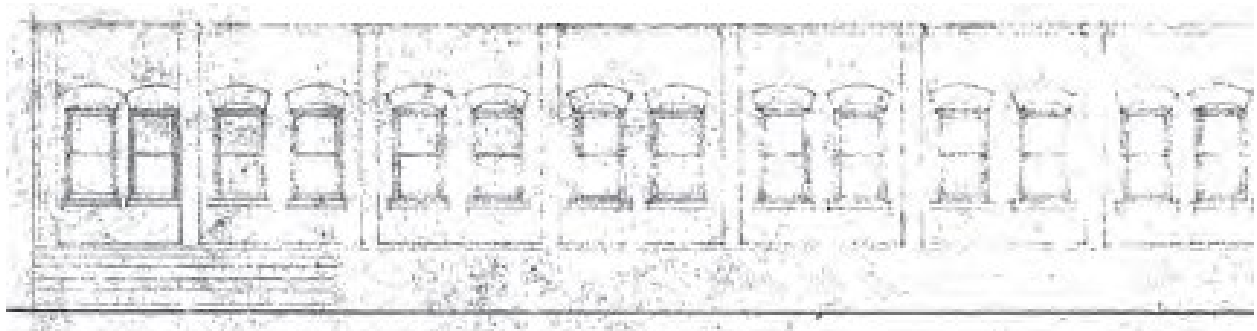


Image 11: 1955 drawing showing the original openings on the 7-bay, east elevation at 340 Dufferin Street. The window openings have since been enlarged and the sixth bay altered to accommodate an entrance from Dufferin Street (City of Toronto Building Records)

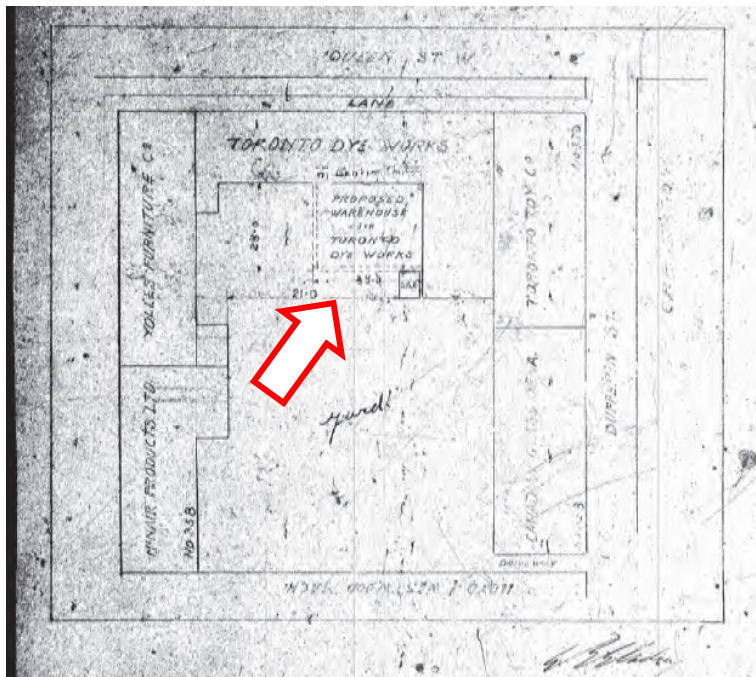


Image 12: 1948-1949 site plan drawing showing proposed Toronto Dye Works addition on the south side of the property at 376R Dufferin Street (City of Toronto Archives)

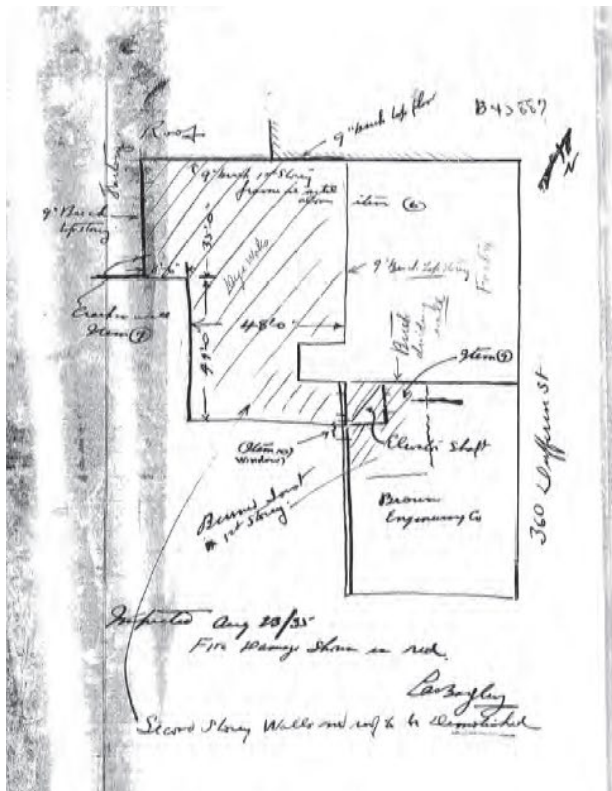


Image 13: August 1935 sketch showing fire damage caused to the earliest, northwest quadrant buildings on the Dominion Radiator site, particularly the property at 376R Dufferin Street and the northwest corner of 360 Dufferin Street. (City of Toronto Archives)



Image 14: 1949 archival photograph of the original 1883-1884 building at 366-370 Dufferin Street, just four years before the upper two storeys would be destroyed and demolished due to fire in 1953. (City of Toronto Archives)



Image 15: 1953 archival photograph showing firefighters battling the second fire in less than twenty years to ravage the property at 366-370 Dufferin Street. The 1953 fire resulted in the loss of the building's two upper storeys, leaving only the first storey and exposed basement level. The remnant structure remains today. (City of Toronto Archives)

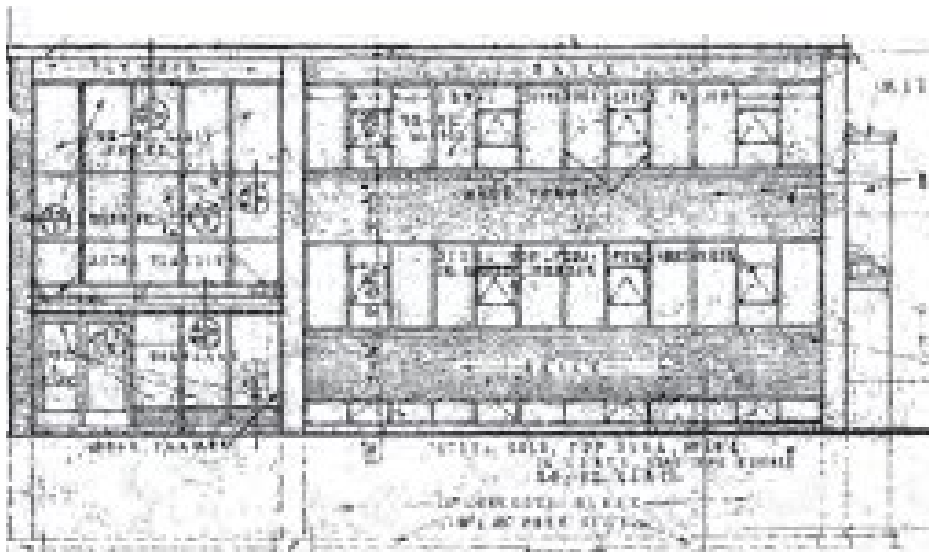


Image 16: 1955 drawing by Bregman & Hamman of the Design Craft Ltd building at 342 Dufferin Street, east elevation (City of Toronto Building Records)

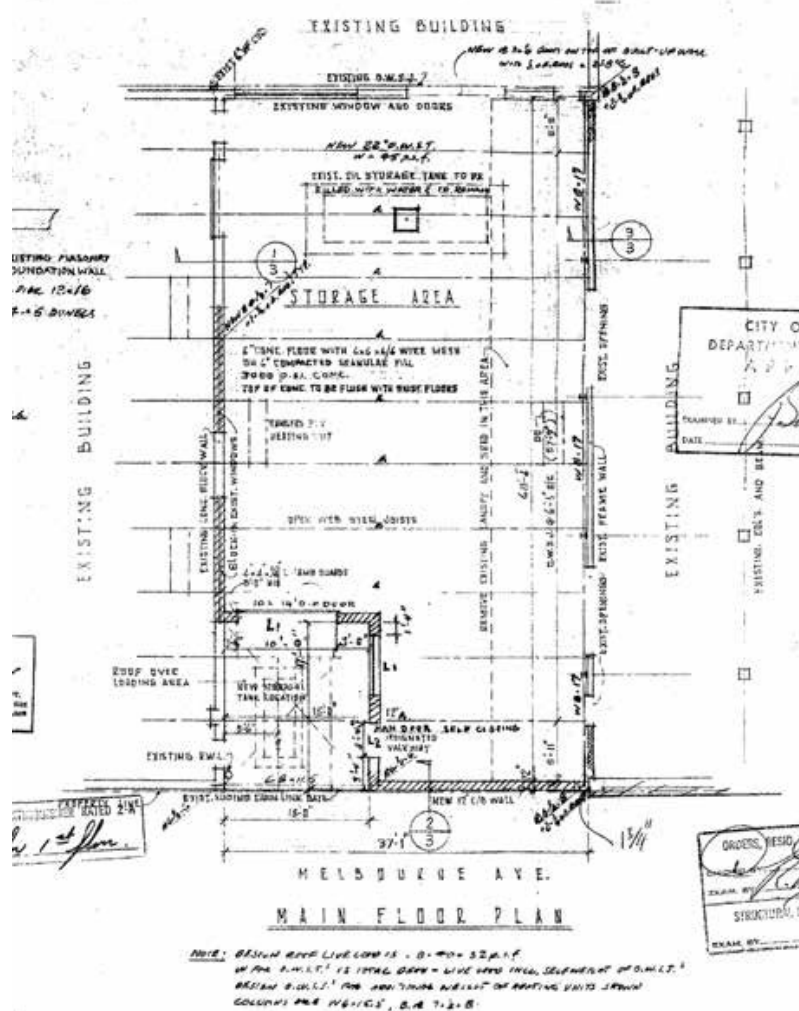


Image 17: 1977 main floor plan drawing by Astral Building Co for the Seco Tool Company property at 2 Melbourne Avenue (City of Toronto Building Records)



Image 18: Current photograph of the complex looking south from the central courtyard.
(Heritage Planning, 2024)



Image 19: Current photograph of the complex looking north from the central courtyard.
(Heritage Planning, 2024)



Image 20: Current photograph looking west at the Mixing building (350 Dufferin) and Core Oven building (358 Dufferin) from the central courtyard (Heritage Planning, 2024)



Image 21: Current Photograph looking southwest from the roof of 376R Dufferin at the Foundry (right) with its later 1-storey addition (centre) and the Core Oven building (back left). (ERA, 2022)



Image 22: Current photograph of the Mixing building, east elevation from the central courtyard. (Heritage Planning, 2024)



Image 23: Current photograph of the Core Oven Building, east elevation from the central courtyard (Heritage Planning, 2024)



Image 24: Current photograph of the Core oven building, west elevation, with the south end of the Foundry at left. See Image 10 for an original drawing of this elevation. (Heritage Planning, 2024)



Image 25: Current photograph of the Foundry, east elevation (Heritage Planning, 2024)



Image 26: Current photograph of the Foundry, west elevation looking south (Heritage Planning, 2024)



Image 27: Current photograph of 360 Dufferin Street, east and south elevations. Built in two phases, each of the 4 bays at right contain a single window at each storey while the later 8 bays contain pairs. (Heritage planning, 2024)



Image 28: Current photograph of 360 Dufferin Street, east elevation looking south with the remnant structure of 366-370 Dufferin Street adjoining at right. (Heritage Planning, 2024)



Images 29 and 30: Current photographs of the south elevation of 360 Dufferin Street looking west (left) and east (right). (Heritage Planning, 2024)



Image 31: Current photograph of 360 Dufferin Street, west elevation from the central courtyard. (Heritage Planning, 2024)



Image 32: 360 Dufferin Street, west elevation showing the main entrance onto the central courtyard. (Heritage Planning, 2024)

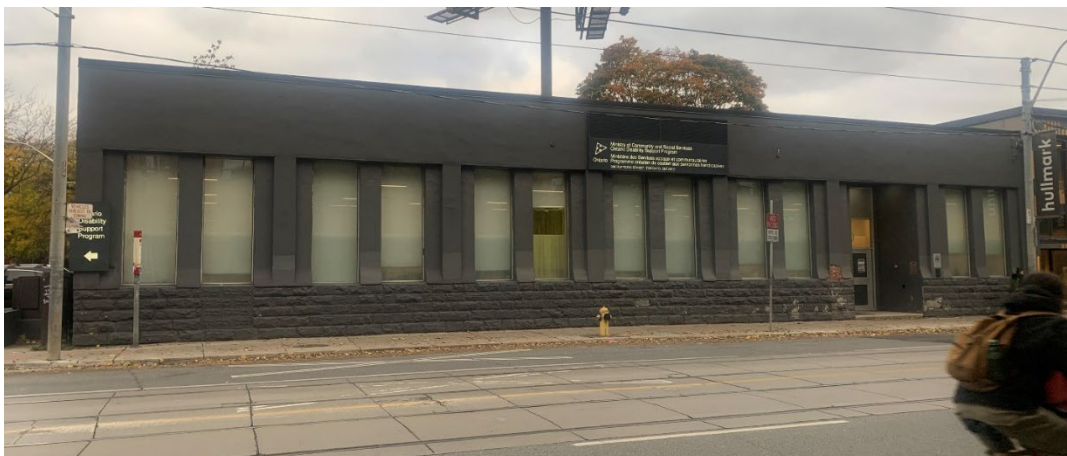


Image 33: 340 Dufferin Street, east elevation. See Image 11 for a comparison of the original openings. (Heritage Planning, 2024)



Image 34: 340 Dufferin Street, south elevation from Melbourne Avenue with the adjoining property at 2 Melbourne Avenue at left. (Heritage Planning, 2024)



Image 35: 366-370 Dufferin Street, east and north elevations, looking southwest with the adjoining property at 376R Dufferin and Milky Way Lane at right. (Heritage Planning, 2024)



Image 36: 376R Dufferin Street, north elevation from Milky Way Lane. (Heritage Planning, 2024)



Image 37: 376R Dufferin Street, south elevation from the central courtyard. (Heritage Planning, 2024)



Image 38: 342 Dufferin Street, east elevation with the south elevation of 360 Dufferin and the courtyard driveway at right. (Heritage Planning, 2024)



Image 39: 2 Melbourne Avenue, south elevation with 340 Dufferin adjoining at right. (Heritage Planning, 2024)

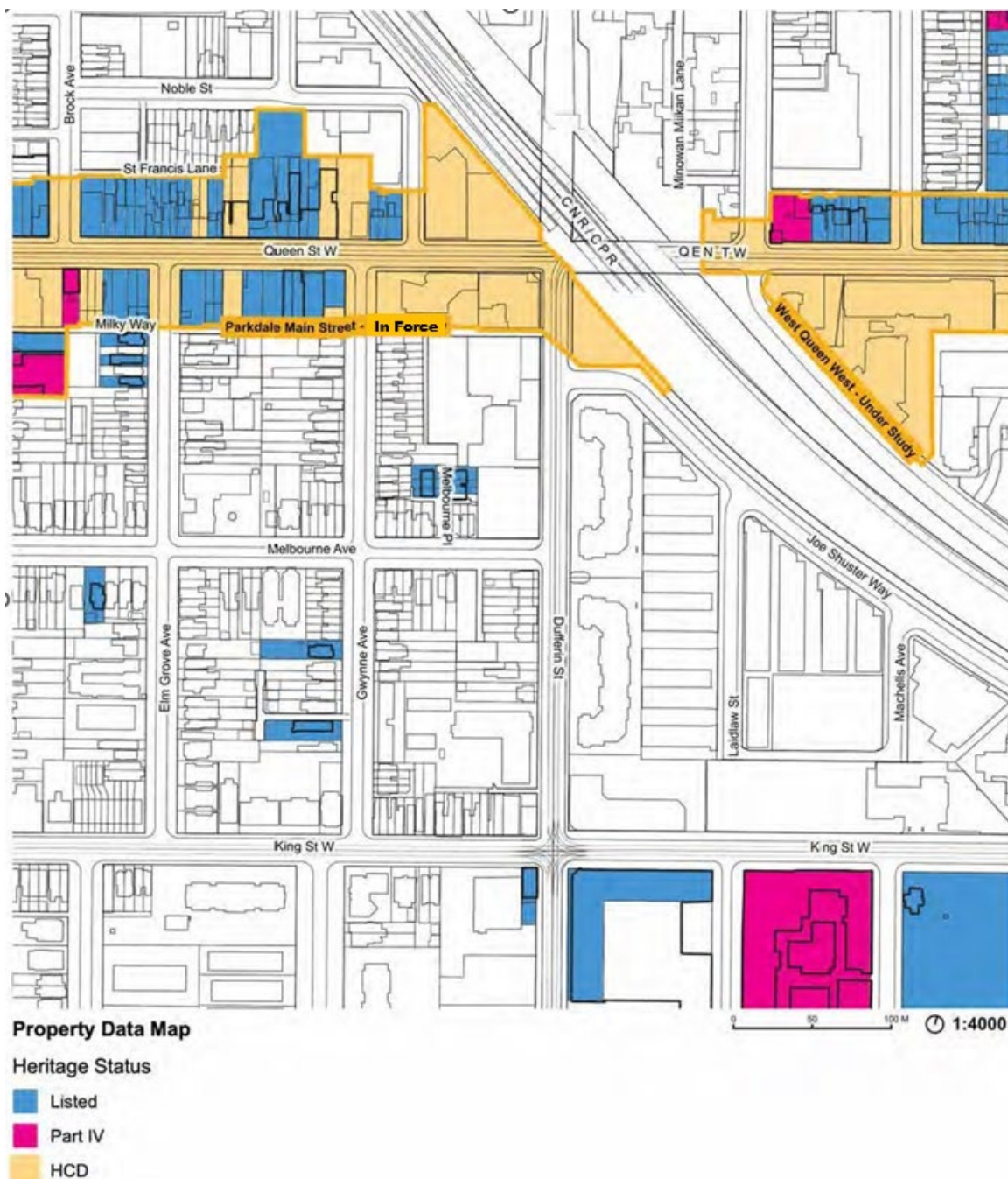


Image 40: Contextual map showing the Dominion Radiator Complex site and subject properties, as well as the surrounding heritage context including the Parkdale Main Street HCD adjacent at the north of the site and the listed properties at 1-7 Melbourne Place adjacent at the south. (iView Mapping annotated by ERA, 2022, and updated by Heritage Planning, 2024)

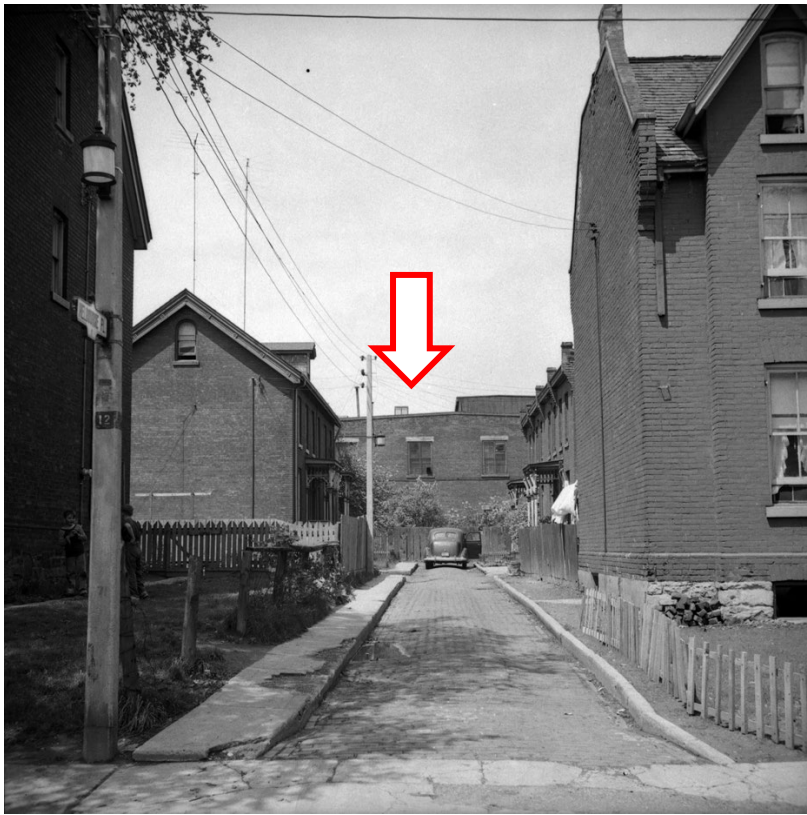


Image 41: 1956 archival photograph looking north on Melbourne Place at the heritage properties at 1-7 Melbourne Place (listed in 1981) and the south elevation of the Core Oven Building at 358 Dufferin Street just beyond. (City of Toronto Archives)



Image 42: Current photograph looking north on Melbourne Place from Melbourne Avenue. (Heritage Planning, 2024)



Image 43 (left): 6 Melbourne Place with part of the south elevation of the adjacent Core Oven Building at 358 Dufferin Street beyond the fence.

Image 44 (right): 1, 3 and 5 Melbourne Place. (Heritage Planning, 2024)

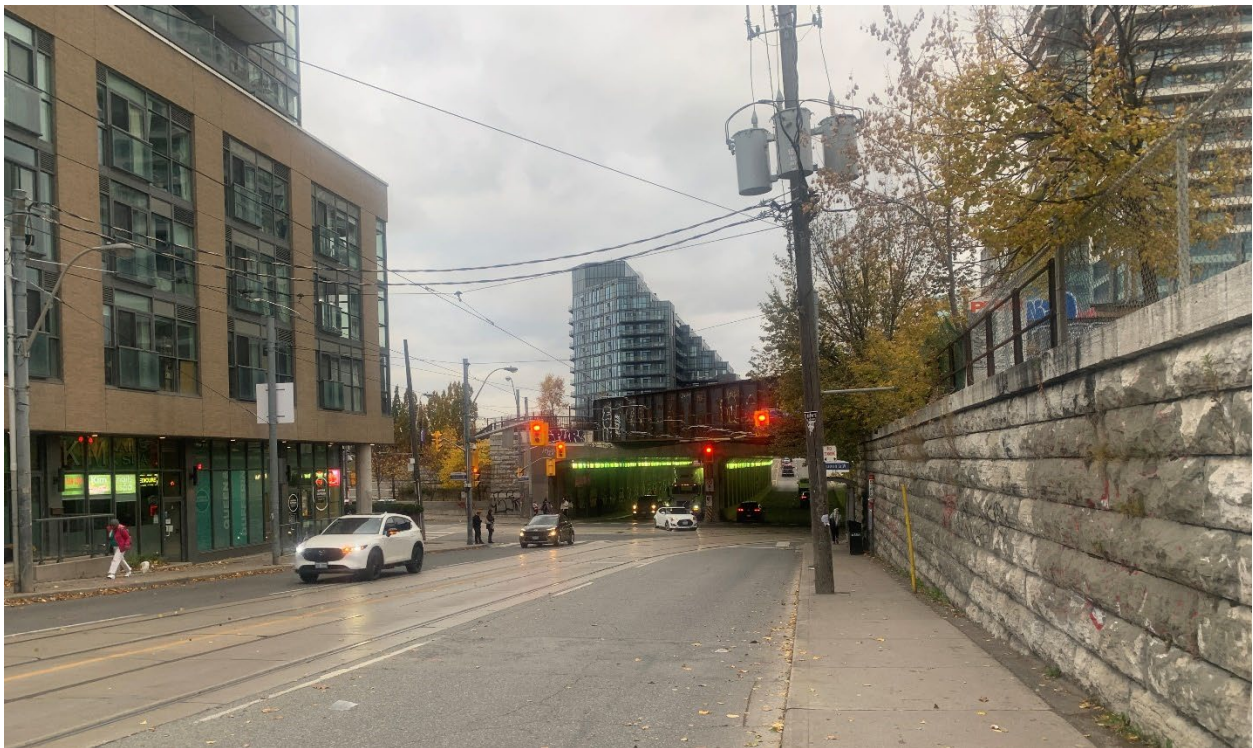


Image 45: contextual photograph looking north on Dufferin to the rail overpass with Queen Street East directly below. (Heritage Planning, 2024)

5. LIST OF SOURCES

ARCHIVAL SOURCES

- City of Toronto Archives Building Permits
- City of Toronto Archives Photographic Collection
- City of Toronto Building Records
- Land Registry Office Records <https://www.onland.ca/ui/>
- Toronto Public Library. City Directories <https://www.torontopubliclibrary.ca/history-genealogy/lh-digital-city-directories.jsp>
- Toronto Public Library. Globe and Mail Historical Newspaper Archive <https://www.torontopubliclibrary.ca/detail.jsp?R=EDB0057>
- Toronto Public Library. Toronto Star Historical Newspaper Archive <https://www.torontopubliclibrary.ca/detail?R=EDB0111>

SECONDARY SOURCES

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- City of Toronto, Aerial Photographs <https://www.toronto.ca/city-government/accountability-operations-customer-service/access-city-information-or-records/city-of-toronto-archives/whats-online/maps/aerial-photographs/>
- City of Toronto Staff Report, Designation of the Parkdale Main Street Heritage Conservation District Plan under Part V of the Ontario Heritage Act. May 24, 2022 <https://www.toronto.ca/legdocs/mmis/2022/pb/bgrd/backgroundfile-226626.pdf>
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