

Attachment 2 – Appeal Submission Package

Folder No.	Date (yyyy-mm-dd) 2024-02-28
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Decision Under Appeal

Variance Decision No. Unknown - see attached variance decision notice issued Feb 7, 2024 and received Feb 8, 2024			
Street No. 427	Street Name BLOOR STREET TORONTO, ON, M5S 1X7	Lot No.	Plan No.

Appellant Information

First Name Jordan		Last Name Clavette	
Company Name(if applicable) Jordan's Sign Permits		Telephone No. 226-387-2084	
Street No. 23	Street Name Joysey Street	Suite/Unit No. n/a	Mobile No. n/a
City/Town Brantford	Province ON	Postal Code N3R 2R7	Fax No. n/a
E-mail Address jordanssignpermits@gmail.com			

Describe the variance that was applied for:	APPENDIX A See attached sign variance application
	APPENDIX B see attached sign variance letter of rationale submitted Nov 1, 2023.
	APPENDIX C see attached community support supporting material
	APPENDIX D see attached variance refusal decision from City of Toronto
	APPENDIX E see attached reasons why variance was refused by City of Toronto

Please provide the reasons/justifications for the appeal (attach any supporting documentation or additional pages as required).
see attached Sign Variance Letter of Appeal - written by Just Cole of Steel Art Sign Corp. February 28 2024

Attachment Required

• A copy of the original decision on the variance application; and • Copies of any supporting documents

Continue on next page

Appellant Information and Declaration

First Name I, Jordan		Last Name Clavette	
Company Name(if applicable) Jordan's Sign Permits			Telephone No. 226-387-2084
Street No. of, 23	Street Name Joysey Street	Suite/Unit No. n/a	Mobile No. n/a
City/Town Brantford	Province ON	Postal Code N3R 2R7	Fax No. n/a
E-mail Address jordanssignpermits@gmail.com			
do hereby declare the following: - that the statements contained in this application are true and made with full knowledge of relevant matters and of the circumstances connected with this application; - that any supporting documents submitted are prepared for the sign variance(s) appeal described above and are submitted in compliance with copyright law, and, - that the information included in this application and in the documents filed with this application is correct.  Signature Jordan Clavette of Jordan's Sign Permits on behalf of Steel Art Sign Corp. and Trinity St. Pauls United Church Print Name Feb 28, 2024 Date (yyyy-mm-dd)			

The personal information on this form is collected under the City of Toronto Act, 2006, S. 136 (b) & (c) and Chapter 694, Signs, General, of the City of Toronto Municipal Code. The information collected will be used for processing applications and creating aggregate statistical reports, for enforcement of the City of Toronto Municipal Code Chapter 694 Signs, General, Chapter 771, Taxation, Third Party Sign Tax, and any other applicable sign by-law of the City of Toronto, and for contacting permit holder(s) or authorized agent(s). Questions about this collection may be referred to the manager, sign By-law Unit, Toronto Building, 100 Queen Street West, Ground Floor, East Tower, Toronto, M5H 2N2 416-392-4235.

Sign Variance Letter of Appeal

Further to the recommendations of the Sign Bylaw Unit, we write this letter with the intent to justify the proposal for the static graphics and text digital sign proposed for Trinity St. Pauls United Church on Bloor Street.

As stated in our letter of here is a brief:

A variance is being sought to allow a ground sign other than a sign providing direction, that contains static electronic copy and images. The unique attributes of this building which is a community hub, gathering place and multi-tenant establishment rendering offices to aprox 10 tenants, and supporting aprox 10 regular activities and over 40 community organizations within it walls. Welcoming between 8,000 and 10,000 people per month, utilizing the concert hall, facilities, programs and offices. Truly the TSP is a community hub in the heart of the Annex.

TSP is known for its diver activities and garnishes a diverse mix of community support, community integration and community spirit, it is a central vibrant and active hub that proudly stands as a pillar of strength in the Annex. Growth within the City and the Community continues to this day with its advocacy and support for social justice issues and maintaining its strong ties with the community.

The proposal presented lends itself to those goals, and activities by allowing Trinity St. Paul's to support its local community, its activities and its people and groups.

- A ground sign is permitted.
- A static alpha numeric electronic sign is permitted.
- Static graphic images are not.

The variance sought is to allow static images in addition to alpha numeric text so that Trinity St. Paul's can visually exemplify the local community tenants, regular activities and community organizations all of various backgrounds, languages and interests.

Never has the saying "A picture is worth a thousand words" been more accurate when addressing such a diverse community from such a dynamic community hub such as Trinity St. Paul's.

We ask that permission be granted to allow the addition of static images to the already permitted ground sign. The bylaw permits static alpha numeric copy to be on the sign. The proposal does not require any structural or technology changes as the variance proposed is for content and not structure.

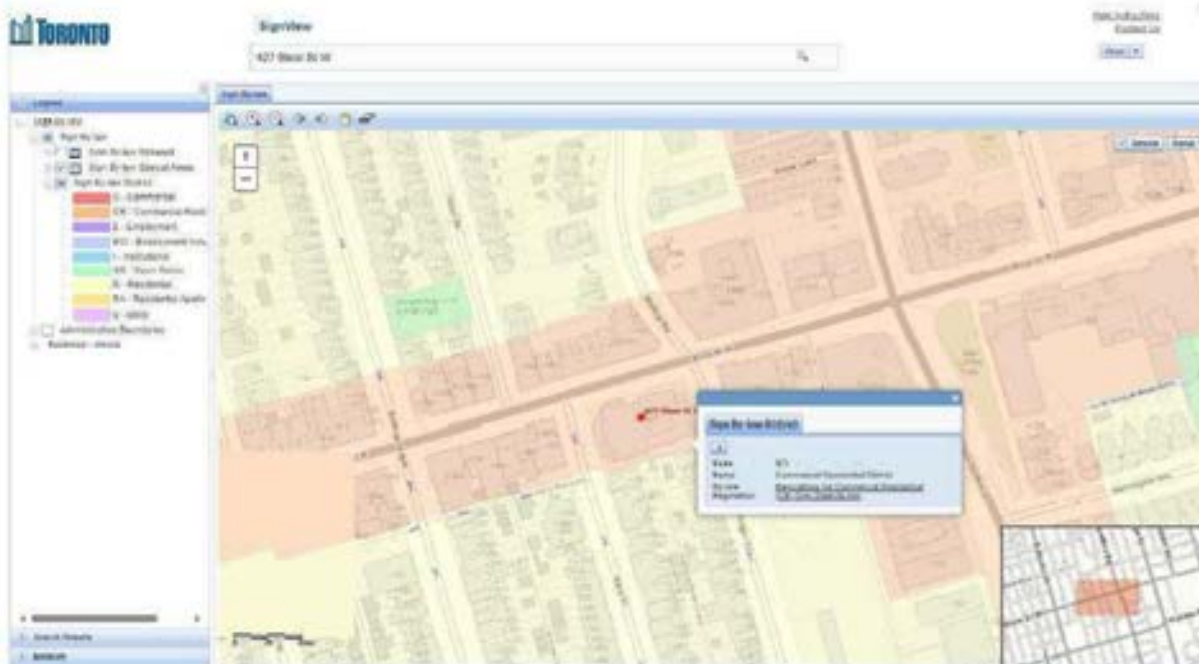
Sign Bylaw unit recommendation: Refusal "non-established criteria":

- 1. Be compatible with the development of the Premises and surrounding area. – HAS NOT BEEN MET.**

- This property is located within CR sign district which no type of electronic sign is permitted.
- Almost all buildings in the area are commercial residential.
- There are residentials immediately to the north of the property.
- There is no similar electronic sign at the area.

REPLY:

- A) the proposed ground sign is compatible with the premises and surrounding area because the premises and the properties in front and on either side are Commercial Residential districts, with mostly commercial business and office spaces, and as such, the proposed amendment to allow the inclusion of static graphic images will not adversely affect the community.
- B) Any residential use is located on the 2nd storey above, across from the City street (Bloor), with its 24hr traffic, street lights and first storey business lights.
- C) Understanding that the use of an electronic component within the sign is already permitted for alpha numeric text, the inclusion of static graphic images is not altering any already previously studied and confirmed conditions established by the City for CR Zones.
- D) There may not be any other similar electronic signs in the area and that is due to the location of the buildings along the street frontage. They are at the property line. Trinity St. Paul is located set back from the property line and contains a landscaped area in front. Similar to other churches in Toronto, located in CR zones which also have electronic signs. St. Michaels for example at Church and Sutter.
- E) We have (13) letters of support from local businesses, community groups, BIA, residents and the local Councillor with respect to this proposal. These letters demonstrate in part the importance of TSP and how the proposed sign will benefit both TSP and the community as a whole.



8. Not alter the character of the Premises or surrounding area. HAS NOT BEEN MET

- The character of the surrounding area is commercial + residential and that's why almost all signs at the area display static copy, not electronic copy.
- Electronic copy is a sign type could be found in Industrial- employment and Commercial sign districts, not in a neighbourhood containing residential.
- This sign will alter the character of the surrounding area because of displaying electronic copy and electronic moving copy

REPLY:

- A) The proposal is for a STATIC display. The sign will display alphanumeric text as well as static images. The application was not for any “moving” copy or graphics.
- B) The proposed sign will not alter the character of the premises or surrounding area as the sign is located within the limits of the property, is proportionate in scale to the building and the surrounding area.

The bylaw already permitted static electronic copy in CR zones. This has already been established. By nature CR zones are areas with integration of primary commercial uses with residential uses. Usually located on the 2nd floor.

The sign proposed is at grade and scaled such that it is not towering over the community.

The sign proposed is located on the TSP site where there are already taller stop lights, street lights and 24h traffic.

As demonstrated by the images contained herein below the location of the sign is not within proximity of residential density.

- C) The sign is permitted to have alpha numeric electronic copy, and the proposal is to allow the sign to have static graphic images in addition to alpha numeric electronic copy. Furthermore, the proposed ground sign has been designed to be integrated within the architectural features of the property and as such the sign, in our opinion, will help enhance the character of the building and fit in beautifully with the surrounding area.
- D) The sign will not be display electronic moving copy. It will be static copy and graphic images. The difference between normal signage and the proposed signage is that the display of such copy and images is done electronically.





9. Not be, in the opinion of the decision maker, contrary to the public interest. HAS NOT BEEN MET

- All above reasons in addition to the fact that the proposed sign will be the third or fourth sign at the same frontage, makes it contrary to the public interest.
- It is very close to a major intersection.
- And finally, electronic moving copy is not permitted even for third party signs in industrial, employment and commercial sign districts.

REPLY:

- A) In our opinion the proposed sign will not be contrary to the public interest as it is contained within the property. The proposed sign would be in the public's interest as it helps pedestrian and vehicle traffic to identify the building's tenants quickly, easily, and most importantly safely. There are indeed (3) other existing smaller ground signs on the site.
To the east on Bloor St is a sign that is used by the church with old style push in pin letters on a rubber backer that offers services and activities. This sign at the east of the site would be redundant after the new sign is installed.
Centrally along Bloor St is a sign for a tenant in the building for Tafelmusik identifying the various concerts planned for the season.
To the west on Bloor St is a that is in the garden on Major St that identifies the Annex Montessori on site.
We are prepared to discuss the existing signs along the 65.5m frontage along Bloor St. Each sign is separated by aprox 15m – 20m from each other.
The proposed sign would be the 4th sign along the frontage again 15m from the nearest sign.
We as stated are open to discuss this and offer solutions.
- B) The sign is intentionally close to an intersection and the proposal has already received Traffic approval. The placement is intentional as it is a means to better identify the activities on site without adding a plethora of wall mounted signs.
- C) The sign has already received historical approval. The criteria being that no sign is mounted to the wall of the church damaging the masonry work.

D) The variance sought it to permit the sign to display static electronic graphic images. Signage in the City of Toronto are permitted to have graphic images, permitted to have illumination, and permitted to have static alpha numeric electronic copy. The request to permit static graphic images is congruent to already permitted content established by the sign bylaw through its public process. For that reason, the variance sought in our opinion is not contrary to the intent of the sign bylaw, the public interest or the City.

The comments by staff that the sign will have electronic moving copy are falsely reported as the sign variance sought is for static graphics.

Summary

The proposed sign has been designed to ensure that it meets high urban design standards which contribute to achieving public area's which are attractive, inviting, comfortable and safe. We ask the City of Toronto to support Trinity St. Paul's in its efforts to continue to provide excellent services to the residents of the neighbourhood and the residents of the City of Toronto by permitting the proposed signage to contain static graphic images.

Unlike other variances where a sign use, sign location, sign size or even sign type is sought, our variance is to modify already permitted content type being static alpha numeric electronic copy to include static graphic images. The images will assist Trinity St. Paul's to fully integrate with the diverse community of the Annex, not only thru language but through imagery as well.

Thank you for considering our proposal. Please do not hesitate to contact us if you have any questions.

Best Regards:



JUST COLE

Sales and Project Management

T: 905-883-3275

M: 416-824-1678

TF: 800-771-8971

Email: jcole@steelart.com

130 Performance Drive

Richmond Hill, On

L4S 0H5

N.B. Je parle français.

S.V.P. n'hésiter pas de me répondre en français!

www.steelartsigns.com

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Receipt No: 1739529

Receipt

NOTE: This is not a Permit. Do not construct until a permit is issued.
You will be notified when your permit is ready.

Folder No:	23 134723 ZSV 00 ZR	Date & Time:	March 11, 2024 11:16 AM
Paid By:	14349865 CANADA INC OPERATING AS JORDANS SIGN PERMITS C/O JORDAN CLAVETTE 23 JOYSEY ST BRANTFORD ON N3R 2R7		
Project Location:	427 BLOOR ST W TORONTO ON M5S 1X7		
Project Description:	Zoning Review; Multiple-Use Building; Sign		
Fee Description(s):	Cost Centre Number:	Value:	
Master Card	110584 - PAYMENT	\$-712.78	
Sign Bylaw Appeal Fee	9010 - BL0014 - PAYMENT	\$712.78	
Total:		\$0.00	
Paid Amount		\$712.78	

☐ Cash ☐ Cheque	Ravikumaran, Rajevan per Treasurer, City of Toronto
☒ Master Card ☐ Debit Card	
☐ Money Order ☐ Certified Cheque	
☐ Journal Entry ☐ Fee Exempt	



Sign Variance

Folder Number	Date (yyyy-mm-dd)
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Project Information

Street Number 427	Street Name Bloor Street West	Lot Number 46 & 47	Plan Number d10
Describe the variance(s) being applied for: see attached variance rationale letter			
If it is an application for a variance required for the modification or restoration of an existing sign, please provide the following:			
Existing Sign Dimensions n/a		Location n/a	
Please provide the reasons/justification for the request (Attach any supporting documentation or additional pages as required): see attached variance rationale letter			

Property Owner Information

First Name Aarpm		Last Name Dawson	
Company Name (if applicable) Trinity St. Paul's United Church			Telephone Number (416) 922-8435
Street Number 427	Street Name Bloor Street West	Suite/Unit Number	Mobile Number
City/Town Toronto	Province Ontario	Postal Code M5S 1X7	Fax Number
Email tsp@trinitystpauls.ca			

Attachment Required

• Sign Variance Data Sheet • Copies of any supporting documents • All necessary plans and specifications required to verify the nature of the Sign By-law Variance(s) requested

Continue on next page

Applicant Information and Declaration

First Name I, Jordan		Last Name Clavette	
Company Name Jordan's Sign Permits on behalf of Steel Art Sign Corp.			Telephone Number (226) 387-2084
Street Number of 23	Street Name Joysey Street	Suite/Unit Number	Mobile Number
City/Town Brantford	Province Ontario	Postal Code N3R 2R7	Fax Number
Email jordanssignpermits@gmail.com			
Do hereby declare the following: - That I am ☐ the Property Owner as stated above ☒ the owner's authorized agent. ☐ an officer/employee of _____, which is an authorized agent of the owner. ☐ an officer/employee of _____, which is the Property Owner's authorized agent. - That statements contained in this application are true and made with full knowledge of all relevant matters and of the circumstances connected with this application. - That the plans and specifications submitted are prepared for the sign variance(s) described and are submitted in compliance with copyright law - That the information included in this application and in the documents filed with this application is correct.			
 Signature		JORDAN CLAVETTE Print Name (First, Last)	
		April 5, 2023 Date (yyyy-mm-dd)	

Continue on next page

Toronto Building collects personal information on this form under the legal authority of the City of Toronto Act, S.O. 2006, Chapter 11, Schedule A, 136(c) and the City of Toronto Municipal Code, Chapter 694, Signs, General and Chapter 771, Taxation, Third Party Sign Tax. The information will be used for processing applications and creating aggregate statistical reports, for enforcement of the City of Toronto Municipal Code Chapter 694, Signs, General, Chapter 771, Taxation, Third Party Sign Tax, and any other applicable sign by-law of the City of Toronto, and for contacting permit holder(s) or authorized agent(s). Questions about this collection can be directed to the Manager, Sign By-law Unit, Toronto Building, 100 Queen Street West, Ground Floor, East Tower, Toronto, Ontario, M5H 2N2 or by telephone at 416-392-4235.

APPENDIX A



Data Sheet Sign Variance

Folder number	Request Date (yyyy-mm-dd)
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This data sheet forms part of an application for a Variance From Chapter 694 of the Toronto Municipal Code, Signs

Project Information

Street Number	Street Name	Lot Number	Plan Number
427	Bloor Street West	46 & 47	D10

Site and Building Data

Lot Area	Lot Frontage	Lot Depth
1,936.51	65.640	29.502
Number of Building(s) on the lot	Date of Construction of Building(s) if known (yyyy-mm-dd)	
1	1989-01-01	
Building Height(s)	Number of Storeys	Building(s) Gross Floor Area
	2	
Building Uses(s)		
Institutional		

Site Context

Please describe the land uses, buildings and sign districts surrounding the proposal (use additional pages if necessary)
North Commercial Residential
South Residential
East Commercial Residential
West Commercial Residential

Proposal

Please describe in detail what is being proposed (use additional pages if necessary)
To erect and display (1) electronic ground sign displaying electronic moving copy. The sign contains (2) sign faces in a "V" shaped configuration, both facing Bloor Street.
Errantly Added at time of submission. All sign copy to be static.

Continue on next page

Rationale
Decisions for all Sign Variance Applications are evaluated against criteria listed in Toronto Municipal Code Chapter 694-30 A. A Variance may be granted where it is demonstrated that the proposed sign(s): • Belong to a sign class permitted in the sign district where the premises is located • In the case of a third party sign, be of a sign type that is permitted in the sign district, where the premises is located • Be compatible with the development of the premises and surrounding area • Support the Official Plan objectives for the subject premises and surrounding area • Not adversely affect adjacent premises • Not adversely affect public safety, including traffic and pedestrian safety • Not be a sign prohibited by Toronto Municipal Code Chapter 694-15B • Not alter the character of the premises or surrounding area • Not be, in the opinion of the decision maker, contrary to the public interest
Please describe in detail how the proposal satisfies each of the criteria listed above (use additional pages if necessary) PLEASE SEE ATTACHED LETTER OF RATIONALE.

APPENDIX A

Client

Trinity St. Paul's Centre

Location

Trinity St. Paul's United Church
Toronto

ON Project Title

Sign Type(s)

V Shaped Pylon Sign

Scale Date
1/2" = 1' = 6" 02.01.2022

Drawn Approved
L.A. J

Drawing No. Revision
JC 21532-G-1 1

Revision/Notes

No. Description Date

1 - alter graphic layout 02.26.2022

Approve:

Approved By:

Date:

Copyright

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V SHAPED PYLON SIGN (EXTERIOR)

HEADER

- WHITE ALUMINUM SIGN BOX
- 3M VINYL GRAPHICS APPLIED TO FIRST SURFACE
- ALL VECTOR ARTWORK TO BE PROVIDED
- RETURNS AND BACK PAINTED WHITE
- DECORATIVE CURVED CAP PTD, BLACK AND SILVER

TWO (2) LED ELECTRONIC MESSAGE CENTERS

- 3 MODULES HIGH x 5 MODULES WIDE
- P6 FULL COLOUR RGB DISPLAY (6mm PIXEL PITCH)
- CABINET SIZE: 62.5" x 37.5" x 8" DEEP
- WI-FI CONNECTION
- ALUMINUM FLASHING AS REQUIRED PTD, BLACK

- ALUMINUM REVEALS PTD, SILVER

- SINGLE SQUARE POLE PAINTED BLACK
- ALUMINUM ANGLE SUPPORTS AS REQUIRED

***SITE CHECK REQUIRED



TOP VIEW
NTS



SIDE A and SIDE B
SCALE: 1/2" = 1'-0"

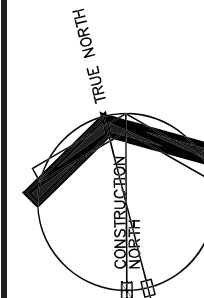
APPENDIX A



LOT 46 & 47 - PLAN D10
RP BA-1759(CT423387)
RP BA-2089(CT624309)
RP BA-1892(CT486844)
INSTRUMENT 11798WA

PROPOSED GROUND SIGN A

NORTH ARROW



This drawing, as an instrument of service, is provided by and to the property of **Steel Art Signs**. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify **Steel Art Signs** of any variations from the supplied information. This drawing is not to be scaled. **Steel Art Signs** is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

August 13	1	ISSUED FOR CONSTRUCTION	
DATE	REV.	DESCRIPTION	DATE

REVISION RECORD

427 Bloor St W
Toronto
M5S 1X7

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR SAME REPORTING ANY DISCREPANCIES BEFORE COMMENCING WORK.
LATEST APPROVED DRAWING ONLY TO BE USED FOR CONSTRUCTION PRINTS ARE NOT TO BE SCALED.

DRAWING TITLE
SITE PLAN

100

SCALE NTS

FILE NAME —

11

100

100

100

COPYRIGHT

All rights reserved.

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consent of

100

**steel art
signs**

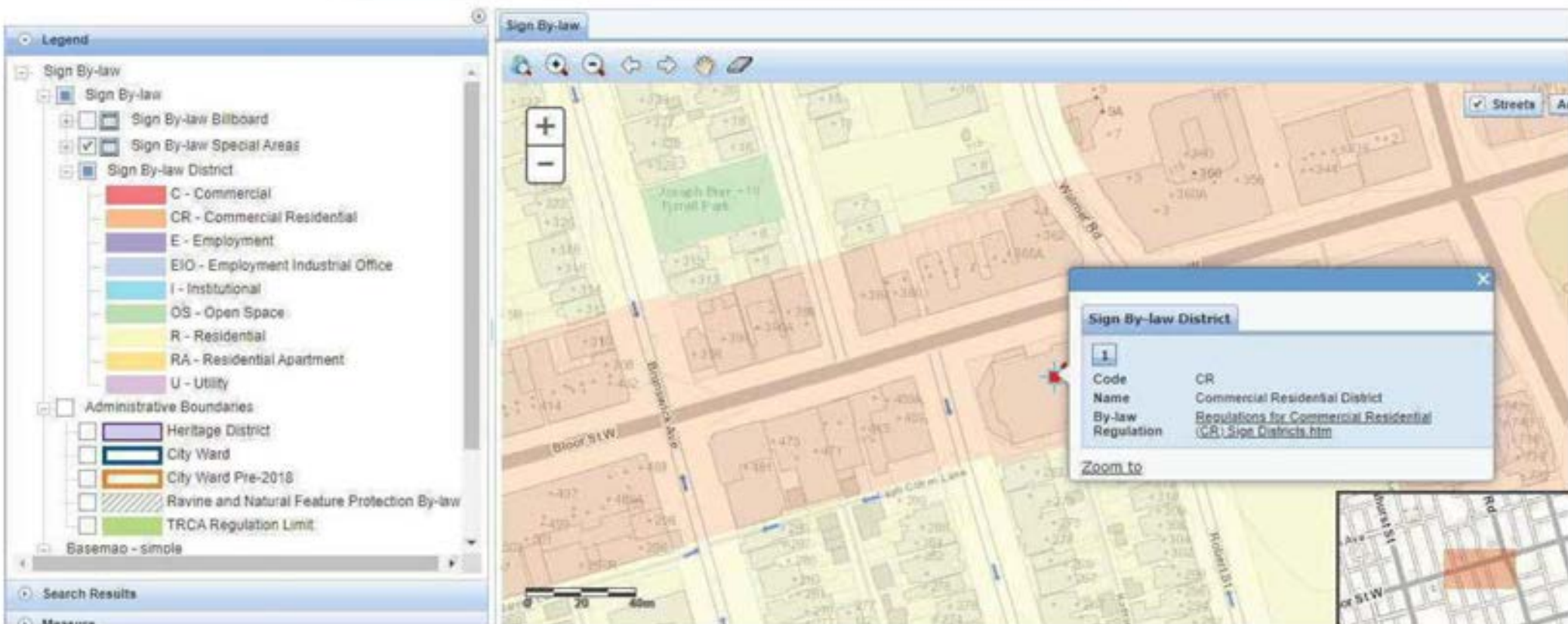
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consent of Steel Art Signs Corporation.

APPENDIX A



SignView

427 BLOOR STREET WEST, TORONTO





APPENDIX A

Three Existing Ground Signs on the Property - All Facing Bloor Street



APPENDIX A

COMMERCIAL-RESIDENTIAL PROPERTIES TO THE NORTH / NORTH-WEST



COMMERCIAL-RESIDENTIAL PROPERTY TO THE NORTH-EAST



COMMERCIAL-RESIDENTIAL PROPERTY TO THE EAST

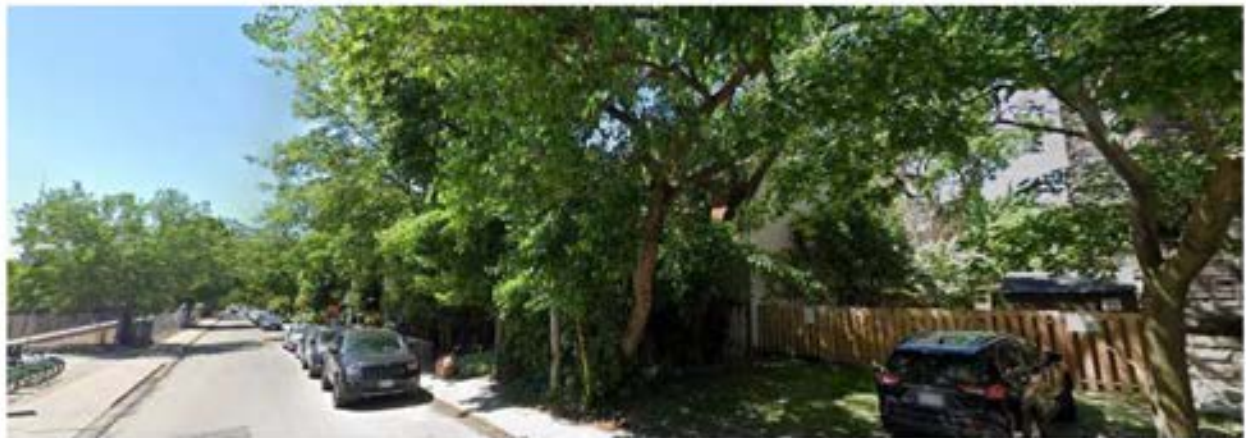


APPENDIX A

COMMERCIAL-RESIDENTIAL PROPERTY TO THE WEST



RESIDENTIAL PROPERTIES TO THE SOUTH THAT HAVE NO VISIBILITY OF THE PROPOSED SIGN





APPROXIMATE INSTALL POSITION

Client _____

Location _____

Trinity St. Paul's United Church
Toronto

ON _____ Project Title _____

Sign Type(s) _____

V- Shaped Pylon Sign

Scale _____ Date _____

File _____ 02/14/2022

Drawn _____ Approved _____

L.A. _____

Drawing No. _____ Revision _____

JC 21132-01 _____

Revision/Notes _____

No. _____ Description _____ Date _____

0 - 00.00.2022

Approve: _____

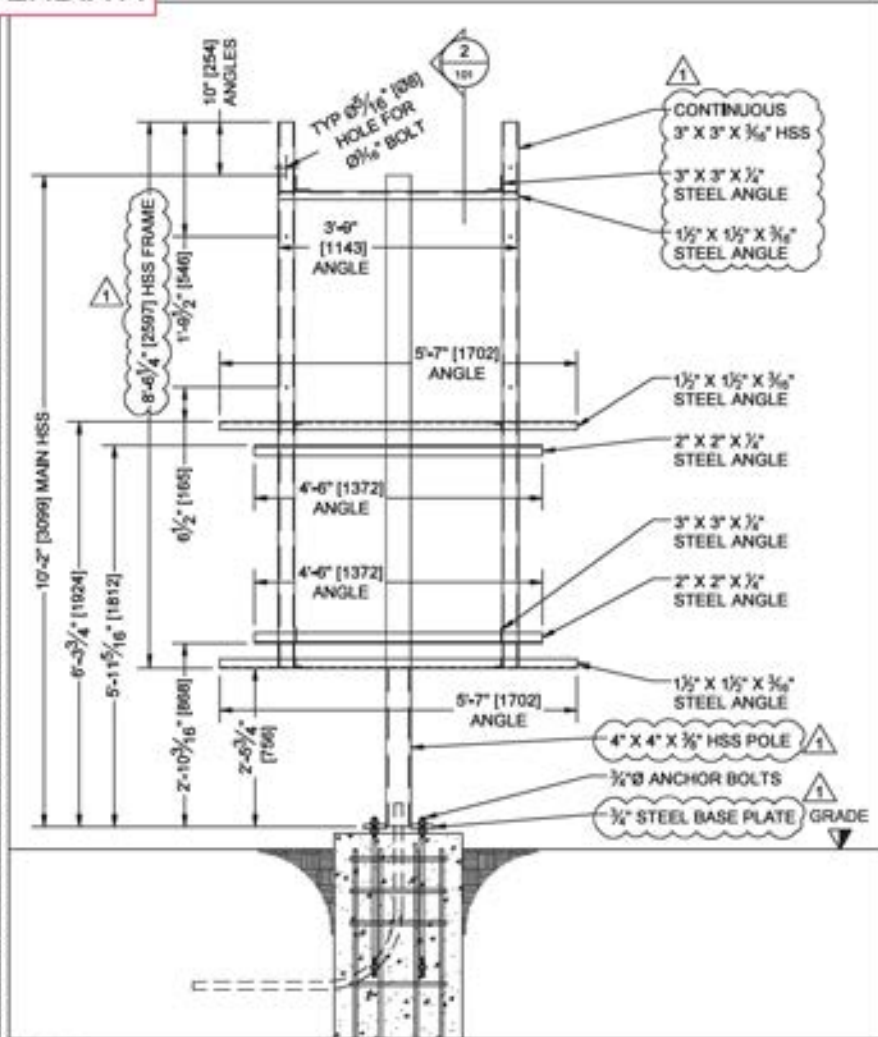
Approved By: _____

Date: _____

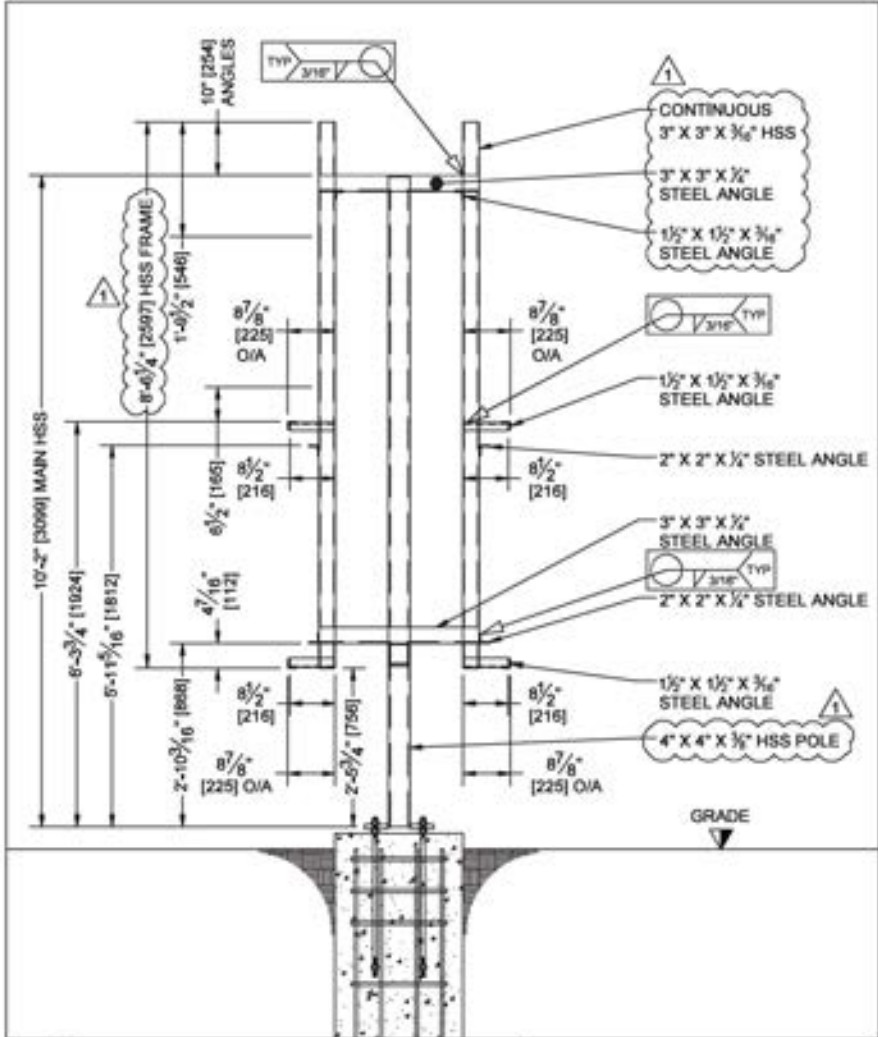
ALL HES TO CSA S427-1-30W
ALL ROLLED SHEETINGS AND PLATES
TO CSA S427-1-440
ALL WELDS AND WELDING TO CSA W47
AND WELDING CERTIFIED UNDER W47
CONCRETE TO BE MIN. 25 MPa
@ 28 DAYS
SOIL TO BE MOIST TO CURRY WITH A
BEARING CAPACITY OF 3000 PSF MIN.
(FOUR AGAINST UNFURNISHED SOIL)
REBAR TO CSA S30-GRACE 400

APPENDIX A

N:\DWG-ARCH-CUSTOMER\TRINITY ST. PAUL'S UNITED CHURCH\33808\LOT 2 - SUPPLY & INSTALL\PRE-PROD\33808-2.DWG



1 STRUCTURAL ELEVATIONS 1 & 2 (CLADDING & EMC REMOVED)
SCALE: 1/2" = 1'-0"



2 STRUCTURAL VERTICAL SECTION
SCALE: 1/2" = 1'-0"

FOR COLOURS, FINISHES AND TEXT
SEE ART DRAWING: JC-21133-G-1 & H-1

PROFESSIONAL ENGINEER SEAL

C.B. SHAPIRO
3007883
June 28, 2022
PROVINCE OF ONTARIO

DESIGN WIND PRESSURE
AS PER BUILDING CODE

TOTAL SIGN AREA:
57.8 FT² [5.36m²]

ESTIMATED SIGN WEIGHT:
1413.20 LBS [641.22kg]

REVISIONS:
1-BASE PLATE THICKNESS & MAIN
POLE THICKNESS INCREASED,
FRAME SIMPLIFIED & SOME
MATERIALS SUBSTITUTED

SE JOB # SA047

signature
ENGINEERING
signatureengineering.ca

ELECTRICAL REQUIREMENTS

LED MODULES
MODULES
POWER SUPPLIES

TOTAL LOAD: 2400 LBS @ 800V
BY 60 HZ AC TYPE

ANCHOR BOLTS TO BE 1/2" DIA. MIN. TENSILE
MIN. YIELD 40,000 LBS TENSILE

SIZE	QTY	UNIT	QTY
1/2"	4	ANCHOR BOLTS	4
1/2"	4	ANCHOR BOLTS	4
1/2"	4	ANCHOR BOLTS	4
1/2"	4	ANCHOR BOLTS	4
1/2"	4	ANCHOR BOLTS	4
1/2"	4	ANCHOR BOLTS	4
1/2"	4	ANCHOR BOLTS	4
1/2"	4	ANCHOR BOLTS	4
1/2"	4	ANCHOR BOLTS	4
1/2"	4	ANCHOR BOLTS	4

ALL HSS TO CSA G40.21-150W
ALL ROLLED SECTIONS AND PLATES
TO CSA G40.21-150W
ALL WELDS AND WELDING TO CSA W59
AND MILLING CERTIFIED UNDER PART 1
CONCRETE TO BE MIN. 25 MPa
@ 28 DAYS
SOIL TO BE MOIST TO CRACK WITH A
BEARING CAPACITY OF 3000 PSF MIN.
(FOUR ROADWAY UNDERPASSES SOIL
RESIST TO CSA-600-GRACE 400

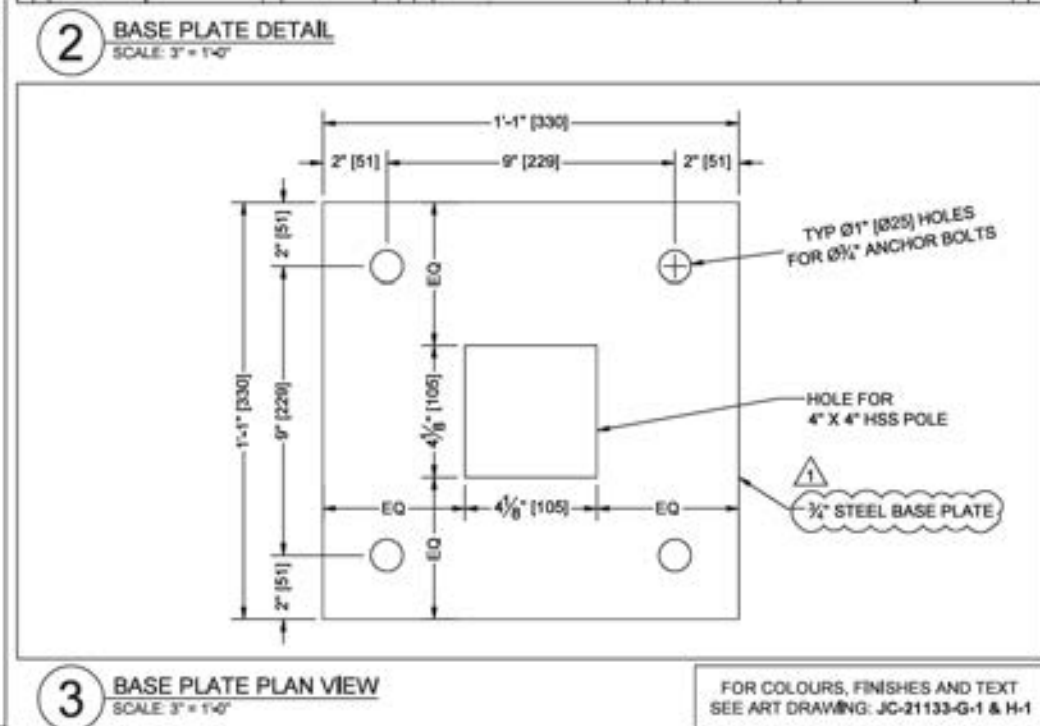
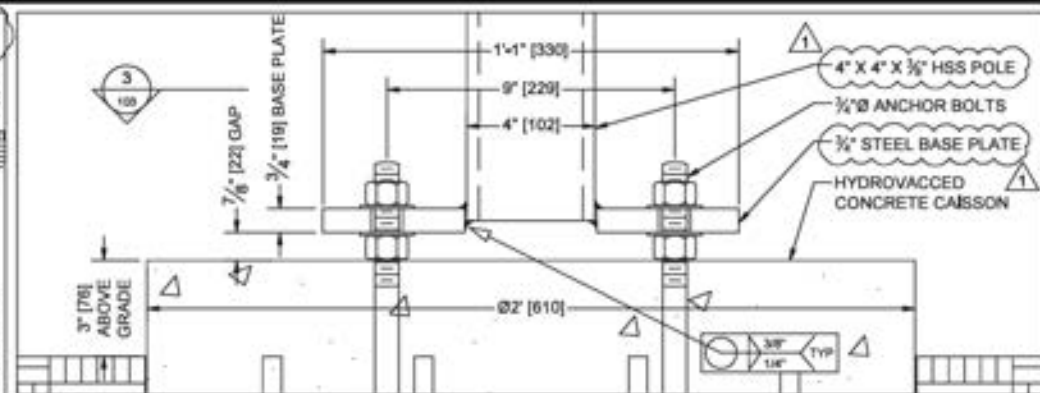
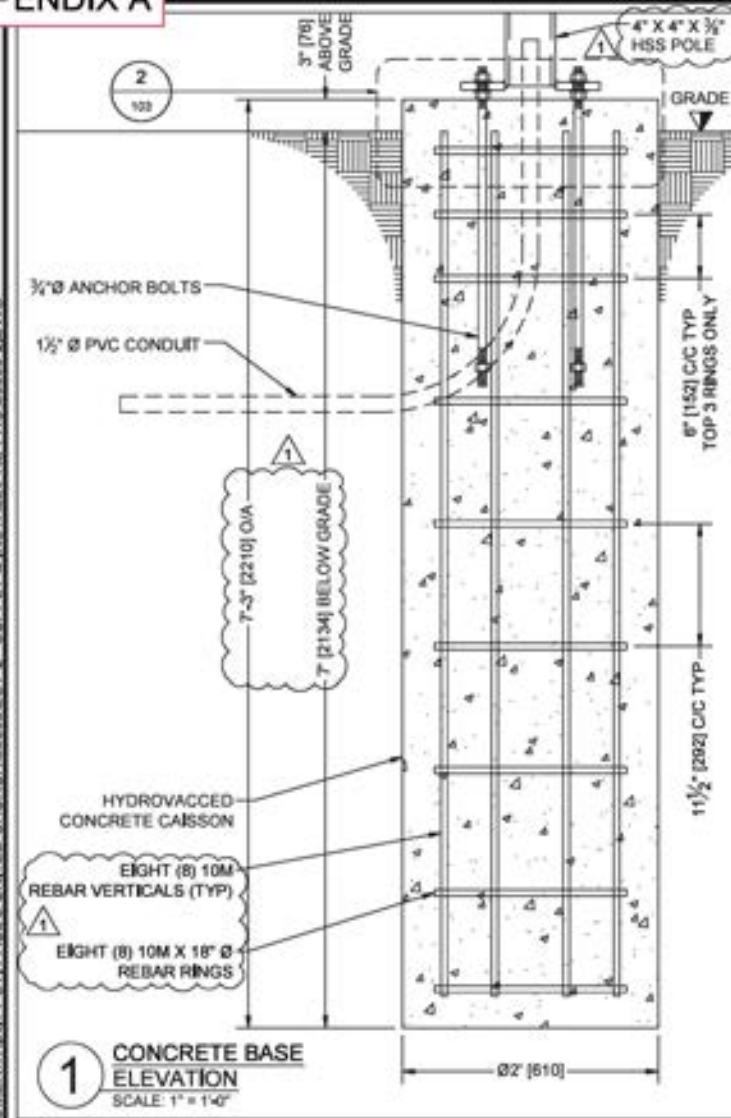


130 Performance Drive, Richmond Hill, Ontario, L4S 0H5 (905) 474-1678				Fax (905) 474-0976	
customer:	TRINITY ST. PAUL'S UNITED CHURCH	date:	MARCH 2022	sales:	J. COLE
site address:	427 BLOOR STREET W. TORONTO, ON, M5S 1X7 store #:			design:	I. AUSTIN
job description:	EXTERNAL NON-ILLUMINATED "V" SHAPED PYLON SIGN WITH EMC'S			eng:	M. ROBB
customer approval:		date:			
				wfo no:	33808-2
				art dwg no:	JC-21133-G-1 & H-1
				CAD dwg no:	102.1
				sheet	2 of 11

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APPENDIX A

N:\DWG-ARCH-CLIENTS\TRINITY ST. PAUL'S UNITED CHURCH\33808\LOT 2 - SUPPLY & INSTALL\PRE-PROD\33808-2.DWG



FOR COLOURS, FINISHES AND TEXT
SEE ART DRAWING: JC-21133-G-1 & H-1



DESIGN WIND PRESSURE
AS PER BUILDING CODE

TOTAL SIGN AREA:
57.8 FT² [5.36m²]

ESTIMATED SIGN WEIGHT:
1413.20 LBS [641.20kg]

REVISIONS:

1-BASE PLATE THICKNESS, MAIN
POLE THICKNESS AND CAISSON
DEPTH INCREASED, REBAR SHOWN

SE JOB # SA047

signature
ENGINEERING
signatureengineering.ca

ELECTRICAL REQUIREMENTS

LED MODULES
MODULES
POWER SUPPLY

TOTAL LOAD: 2400 N/MS @ 800V
N/A 15A CTS/NEEDS

ANCHOR BOLTS TO BE 3/8" DIA STEEL
MIN YIELD 40,000 LBS TENSILE

CSA	A	B	C	D
10"	8"	4"	1"	
12"	10"	5"	1 1/2"	
14"	12"	6"	2 1/2"	
16"	14"	8"	3 1/2"	
18"	16"	10"	4 1/2"	
20"	18"	12"	5 1/2"	

ALL WELDS TO CSA G40.21 + 30W
ALL ROLLED SECTIONS AND PLATES
TO CSA G40.21 + 44W
ALL WELDS AND BOLTS TO CSA W48
AND BOLTS CERTIFIED UNDER PART 1
CONCRETE TO BE MIN 25 MPa
Ø 16 DRY
USE TO BE WOOD TO ONLY WITH A
BEARING CAPACITY OF 3000 PSF WEL
FOUR ROADS UNDER TURNED SOIL
REBAR TO CSA-600 GRADE 400

steel art
signs

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130 Performance Drive, Richmond Hill, Ontario, L4S 0H5 (905) 474-1678

Fax (905) 474-0976

customer: TRINITY ST. PAUL'S UNITED CHURCH

date: MARCH 2022

sales: J. COLE

w/o no: 33808-2

site address: 427 BLOOR STREET W. TORONTO, ON, M5S 1X7 store #:

design: I. AUSTIN

art dwg no: JC-21133-G-1 & H-1

job description: EXTERNAL NON-ILLUMINATED "V" SHAPED PYLON SIGN WITH EMC'S

eng: M. ROBB

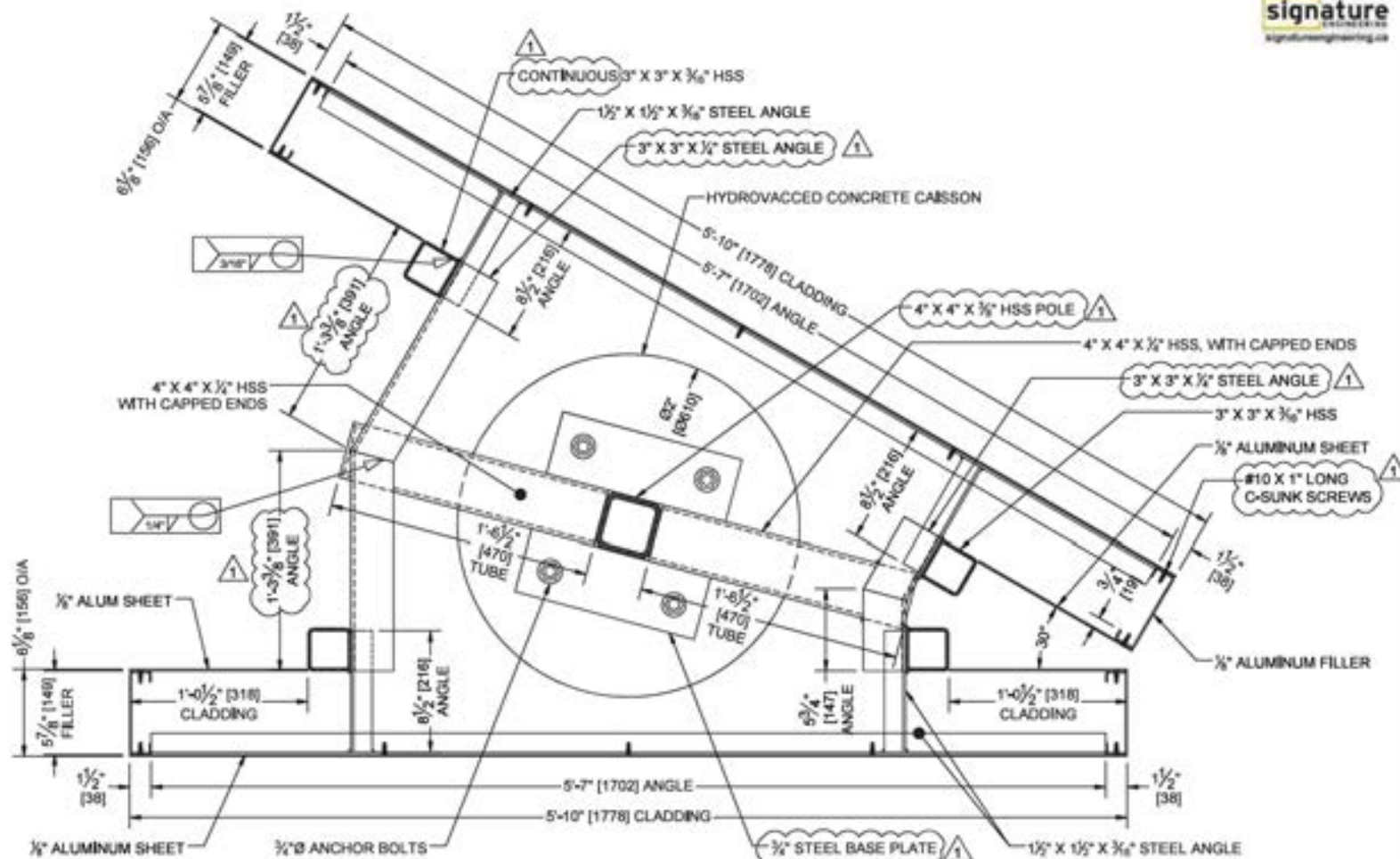
CAD dwg no: 103.1

customer approval:

date:

sheet 3 of 11

WINN-DIXIE ARCH-CUSTOMER TRINITY ST. PAUL'S UNITED CHURCH 43388 LOT 2 - SUPPLY & INSTALL PRE-PROCESSED DWG



1 HORIZONTAL SECTION THROUGH LOW LEVEL CLADDING
SCALE: 1 1/2" = 1'-0"

FOR COLOURS, FINISHES AND TEXT
SEE ART DRAWING: JC-21133-G-1 & H-1

SE JOB # S4047

signature
ENGINEERING
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DESIGN WIND PRESSURE
AS PER BUILDING CODE

TOTAL GROW AREA:

52-8 (F) 15,300-20

ESTIMATED FROM 1990

1-800-201-1944

REFERENCES

1-FACE SCREW QUANTITY & SPEC.
BASE PLATE THICKNESS & MAIN
POLE THICKNESS INCREASED,
FRAME SIMPLIFIED & SOME
MATERIALS SUBSTITUTED

© 2000 Blackwell Science Ltd *Journal of Internal Medicine* 247: 105–112

Unit Modules

RECEIVED
JANUARY 10, 1990

1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 26

TOTAL LOAD: 5400 WATTS @ 100V
 54.00-10A OCTO WIRE

*ADDITIONAL TICKETS TO BE PURCHASED SEPARATELY
 WITH \$10.00 PER PERSON PER DAY

CDA		a	b	c
10"	10"	4"	4"	1
20"	20"	4"	4"	1
3"	30"	3"	3"	1
1 1/8"	40"	3"	3"	2
1 1/2"	50"	4 1/2"	4 1/2"	2
1 3/4"	60"	5"	5"	2
2"	70"	5"	5"	2

ALL HSS TO CSA G40.21 + 30W
ALL ROLLED SECTIONS AND PLATES
TO CSA G40.21 + 40W
ALL WELDS AND WELDING TO CSA W
AND WELDING CERTIFIED UNDER W
CONCRETE TO BE MIN. 25 MPa.
@ 28 DAYS.
SOIL TO BE MOIST TO RY WITH A
BEARING CAPACITY OF 3000 PSF MIN.
(FOUR ROADTESTS UNDER FLURRED SOIL)
REFER TO CSA S30-GRACE 400

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130 Performance Drive, Richmond Hill, Ontario, L4S 0H5 (905) 474-1678

Fax (905) 474-0976

customer: TRINITY ST. PAUL'S UNITED CHURCH

date: MARCH 2022

sales: J. COLE

wfo no: 33808-2

site address: 427 BLOOR STREET W. TORONTO, ON, M5S 1X7 store #

design: I. AUSTIN

art dwg no: JC-21133-Q-1 & H-1

job description:	EXTERNAL NON-ILLUMINATED "V" SHAPED PYLON SIGN WITH EMC'S	eng	M. ROBB
------------------	---	-----	---------

eng: M. ROBB

CAD dwg no: 104.1

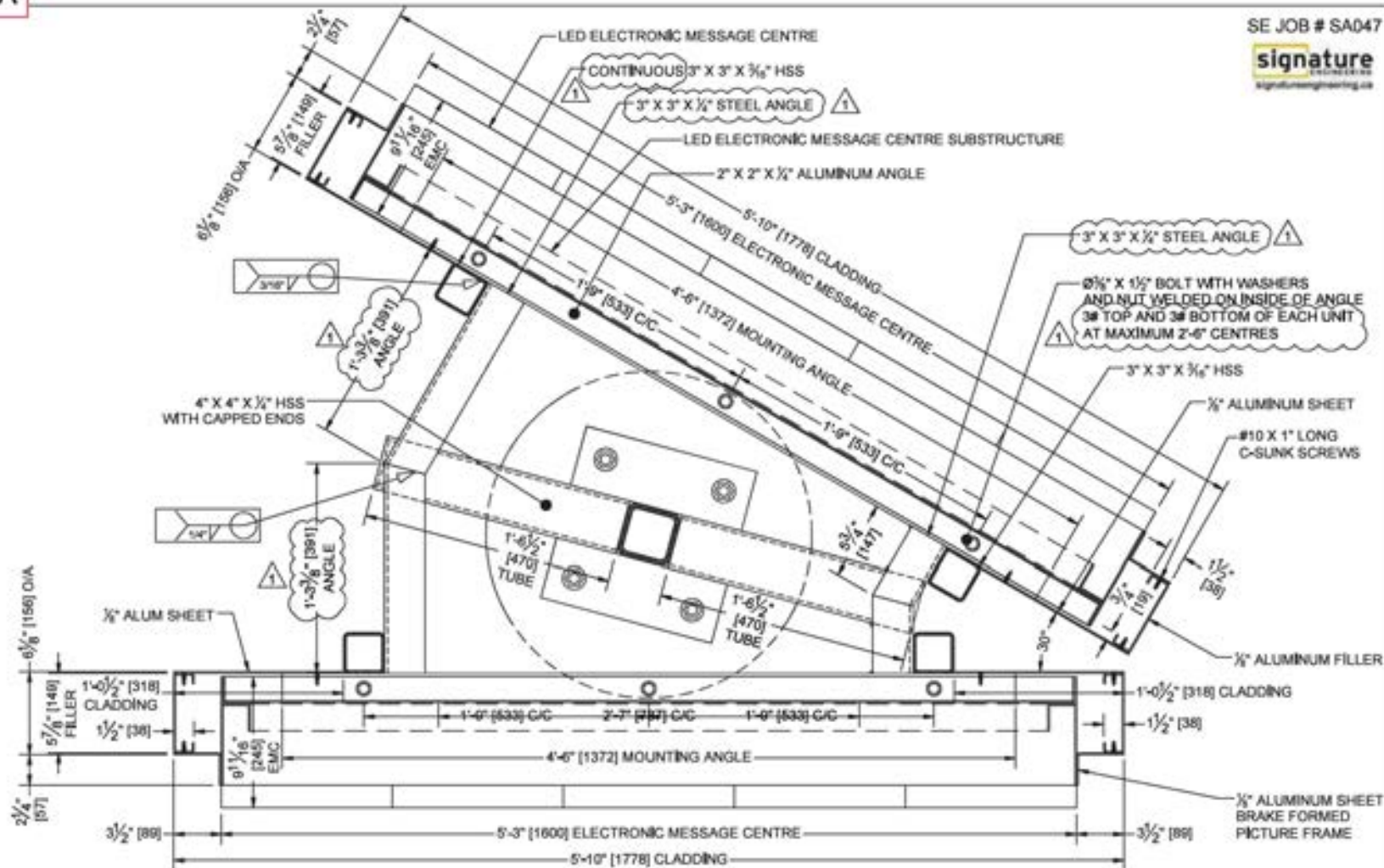
customer approval

436

sheet 4 of 11

sheet 4 of 11

N:\DWG\ARCH+C\CUSTOMER\TRINITY ST. PALM IS. UNITED CHURCH\N33006\02 OF 2 - SUPPLY & INSTALL\PRE-PROJ\33006-2.DWG



1 HORIZONTAL SECTION THROUGH ELECTRONIC MESSAGE CENTRE
SCALE: 1 1/2" = 1'-0"

FOR COLOURS, FINISHES AND TEXT
SEE ART DRAWING: JC-21133-G-1 & H-1

SE JOB # SAD47

signature
ENGINEERING
signatureengineering.ca

DESIGN WIND PRESSURE
AS PER BUILDING CODE

TOTAL SON AREA:

12.6 FT² (1.16m²)

ESTIMATED SIGN WEIGHT:

8473-20 LINE 1641.COM

REVISIONS:

4-FRAME SIMPLIFIED & SOME MATERIALS SUBSTITUTED

doi:10.1017/S0022292412001619

LETTER MODEL 1.11

[illegible]

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TOTAL LOAN: \$400,000

0000-0000-0000-0000

ANCHOR BOLTS TO BE WELDED AND STRENGTHENED.

CGA	a	b
1/2"	30"	4"
3/4"	30"	4"
1"	30"	5"
1 1/8"	40"	5"
1 1/2"	50"	6 1/2"
1 3/4"	60"	8"
2"	60"	8"

ALL HSB TO CSA 51021 +30W
ALL ROLLED REINFORCING AND PLATES
TO CSA 51021 +40W
ALL WELDS AND WELDING TO CSA W
AND WELDING CERTIFIED UNDER W
CONCRETE TO BE MIN. 25 MPa
@ 28 DAYS
SOIL TO BE MOIST TO CRACK WITH A
STRAINING CAPACITY OF 3000 PSI W
FOUR AGAINST UNDERFURLED SOIL
REBAR TO CSA 530-GRADE 400

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Fax (905) 474-0976

customer: TRINITY ST. PAUL'S UNITED CHURCH

date: MARCH 2022

sales: J. COLE

wfo no: 33808-2

site address: 427 BLOOR STREET W. TORONTO, ON, M5S 1X7 store #:

design: I. AUSTIN

art dwg no: JC-21133-G-1 & H-1

job description: EXTERNAL NON-ILL

eng: M. ROBB

CAD dwg no: 105.1

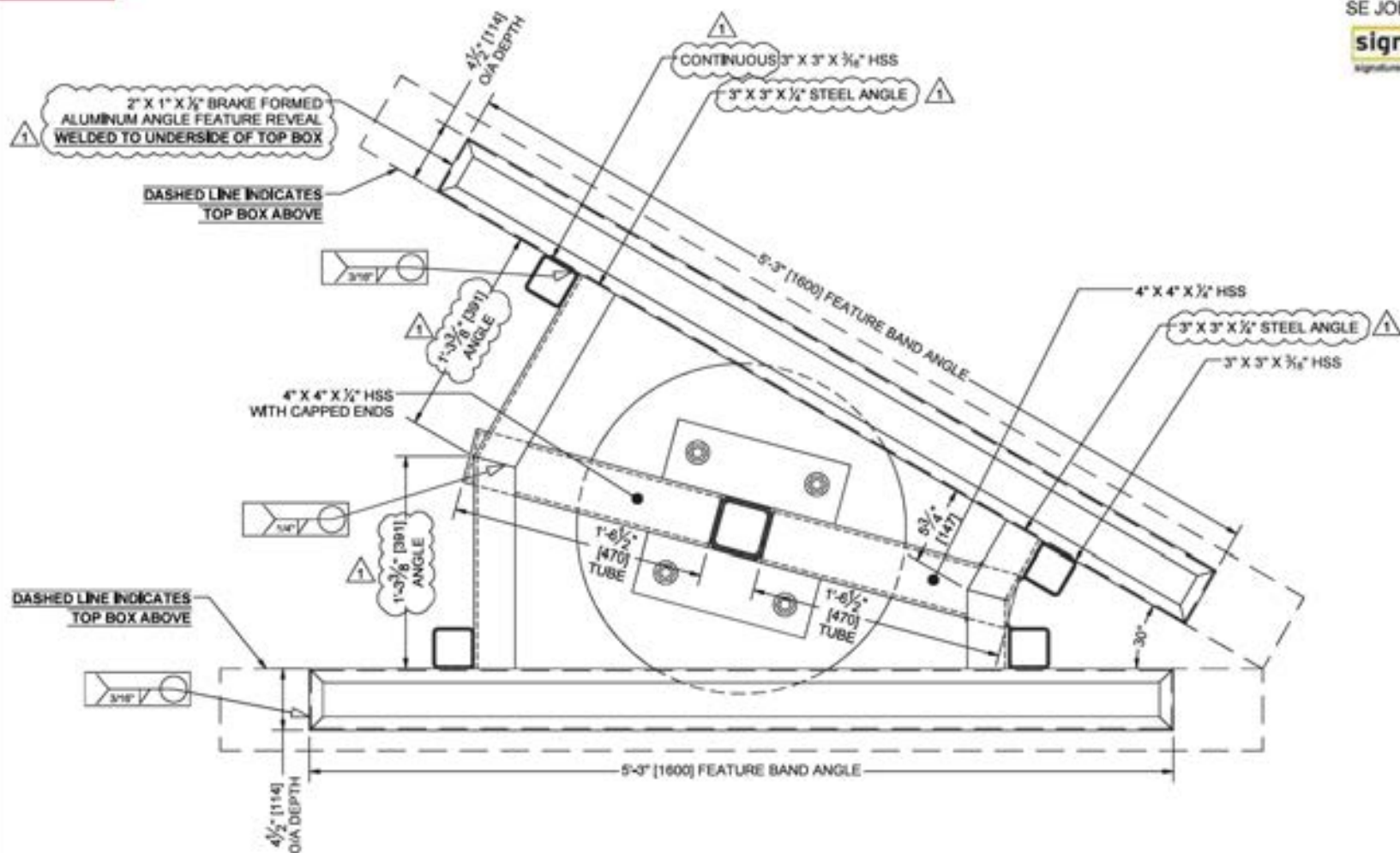
customer approval

Chaplin

sheet 5 of 11

APPENDIX A

N:\DWG-ARCH\CUSTOMER\TRINITY ST. PAUL'S UNITED CHURCH\33808\LOT 2 - SUPPLY & INSTALL\PRE-PROD\33808-2.DWG



1 HORIZONTAL SECTION THROUGH MID LEVEL FEATURE BAND
SCALE: 1 1/2" = 1'-0"

FOR COLOURS, FINISHES AND TEXT
SEE ART DRAWING: JC-21133-G-1 & H-1

SE JOB # SA047

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ENGINEERING
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PROFESSIONAL ENGINEER SEAL



DESIGN WIND PRESSURE
AS PER BUILDING CODE

TOTAL SIGN AREA:

57.8 FT² (5.36m²)

ESTIMATED SIGN WEIGHT:

1413.20 LBS (641.22kg)

REVISIONS:

1-FRAME SIMPLIFIED & SOME
MATERIALS SUBSTITUTED

ELECTRICAL REQUIREMENTS

LED MODULES

MODULES

POWER SUPPLIES

TOTAL LOAD: 2400 N/MS @ 800V
N/A (1A) COTS NEEDS

ANCHOR BOLTS TO BE 3/8" DIA STEEL
MIN YIELD 40,000 LBS TENSILE

CSA	A	B	C
10"	30"	4"	1"
30"	50"	4"	1"
1"	30"	0"	1 1/2"
1 1/2"	40"	0"	2 1/2"
1 1/2"	40"	4 1/2"	2 1/2"
1 3/4"	50"	0"	2 1/2"
2"	60"	0"	2 1/2"

ALL HSS TO CSA G40.21-150W
ALL ROLLED SECTIONS AND PLATES
TO CSA G40.21-44W
ALL WELDS AND WELDING TO CSA W58
AND MILLERS CERTIFIED UNDER WALT.1
CONCRETE TO BE MIN 25 MPa
@ 28 DAYS
SOIL TO BE MOIST TO DRY WITH A
BEARING CAPACITY OF 3000 PSF MIN
(FOUR ROADS) UNDER FURRED SOIL
RESIST TO CSA-530-GRACE 400

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signs

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130 Performance Drive, Richmond Hill, Ontario, L4S 0H5 (905) 474-1678

Fax (905) 474-0976

customer: TRINITY ST. PAUL'S UNITED CHURCH

date: MARCH 2022

sales: J. COLE

wfo no: 33808-2

site address: 427 BLOOR STREET W. TORONTO, ON, M5S 1X7 store #:

design: I. AUSTIN

art dwg no: JC-21133-G-1 & H-1

job description: EXTERNAL NON-ILLUMINATED "V" SHAPED PYLON SIGN WITH EMC'S

eng: M. ROBB

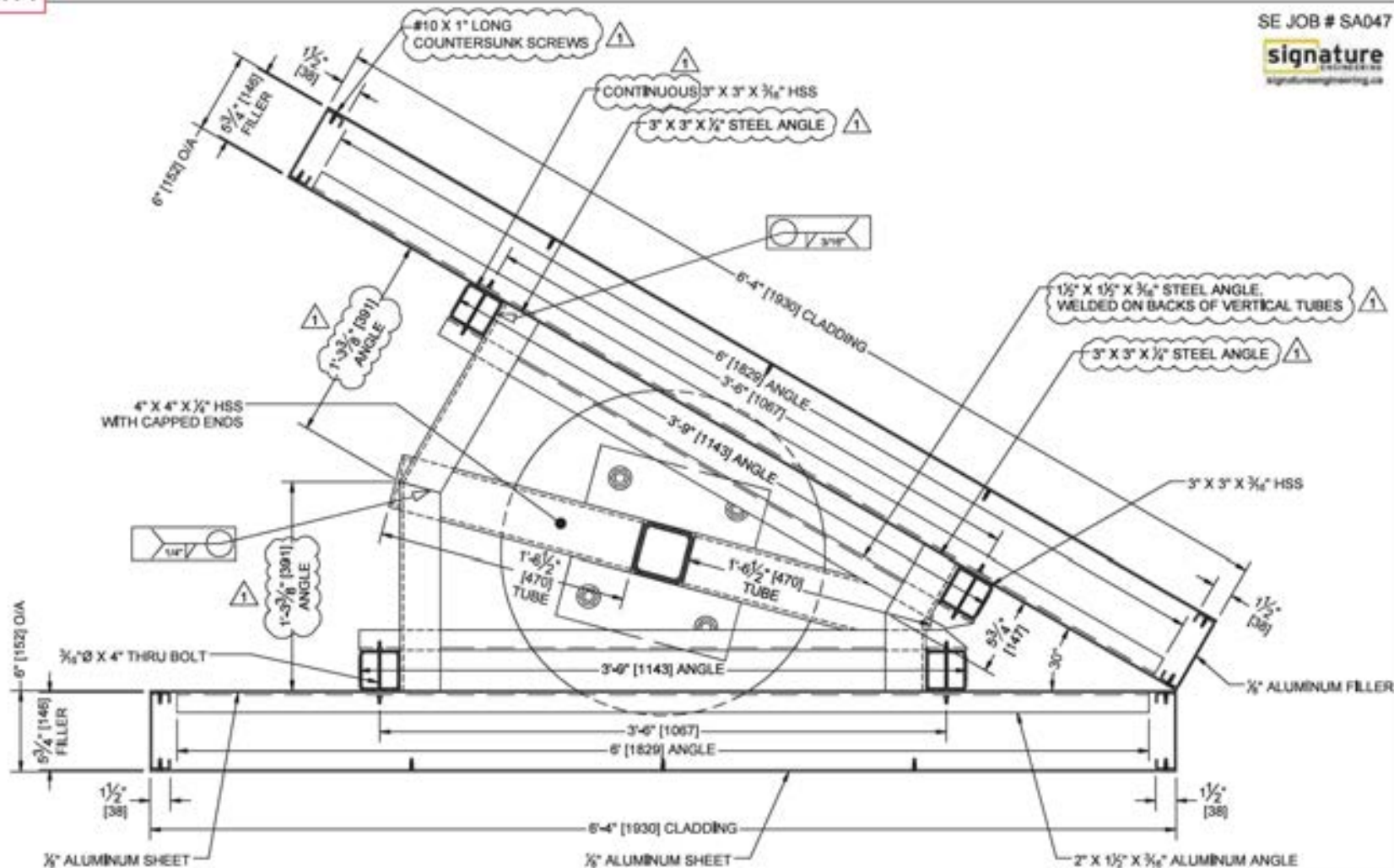
CAD dwg no: 106.1

customer approval:

date:

sheet 6 of 11

WINN-DIXIE ARCH-CUSTOMER TRINITY ST. PAUL'S UNITED CHURCH 33608 LOT 2 - SUPPLY & INSTALL PRE-PROD 33608-2.DWG



1 HORIZONTAL SECTION THROUGH HEADER
SCALE: 1 1/2" = 1'-0"

FOR COLOURS, FINISHES AND TEXT
SEE ART DRAWING: JC-21133-G-1 & H-1

SE JOB # SAD47

signature
ENGINEERING
signatureengineering.ca

DESIGN WIND PRESSURE
AS PER BUILDING CODE

TOTAL GROW AREA:

87.8 FT² (8.06m²)

ESTIMATED SIGN WEIGHTS

mailto:info@lms.com

REVISIONS

1-4 FACE SCREW QUANTITY & SPEC
INCREASED, FRAME SIMPLIFIED &
SOME MATERIALS SUBSTITUTED.
ANGLE ADDED

doi:10.1017/S0022292412001616

LETTER MATCHES 1.11

WORLDWIDE

TOTAL LOAD: 5400 WATTS @ 100V
IN 20-15A OCTET RECEPT

ANCHOR BOLTS TO BE WELDED AND STRENGTH

MIN 18.2-44,000 LBS TENSILE			
	USA	a	b
10"	30"	4"	1
30"	30"	4"	1
17"	40"	3"	1
1-10"	40"	3"	2
1-12"	50"	4-12"	2
1-30"	50"	3"	2
31"	60"	3"	2

ALL HBS TO CSA 540.21 +30W
ALL ROLLED SECTIONS AND PLATES
TO CSA 540.21 +44W
ALL WELDS AND WELDING TO CSA W
AND WELDING CENTER UNDER W

CONCRETE TO BE MIN. 25 MPa
@ 28 DAYS.
SOIL TO BE MOIST TO ONLY WITH A
BEARING CAPACITY OF 300 TSP/IN.
FROM AGGREGATE UNDER PULSED SOIL
REPAIR TO CSA-330-GRACE 400

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Fax (905) 474-0976

customer: TRINITY ST. PAUL'S UNITED CHURCH

date: MARCH 2022

sales: J. COLE

wfo no: 33808-2

site address: 427 BLOOR STREET W. TORONTO, ON, M5S 1X7 store #

design: I. AUSTIN

art dwg no: JC-21133-G-1 & H-1

job description:	EXTERNAL NON-ILLUMINATED "V" SHAPED PYLON SIGN WITH EMC'S	eng	M. ROBB
------------------	---	-----	---------

eng M. ROBB

CAD dwg no: 107.1

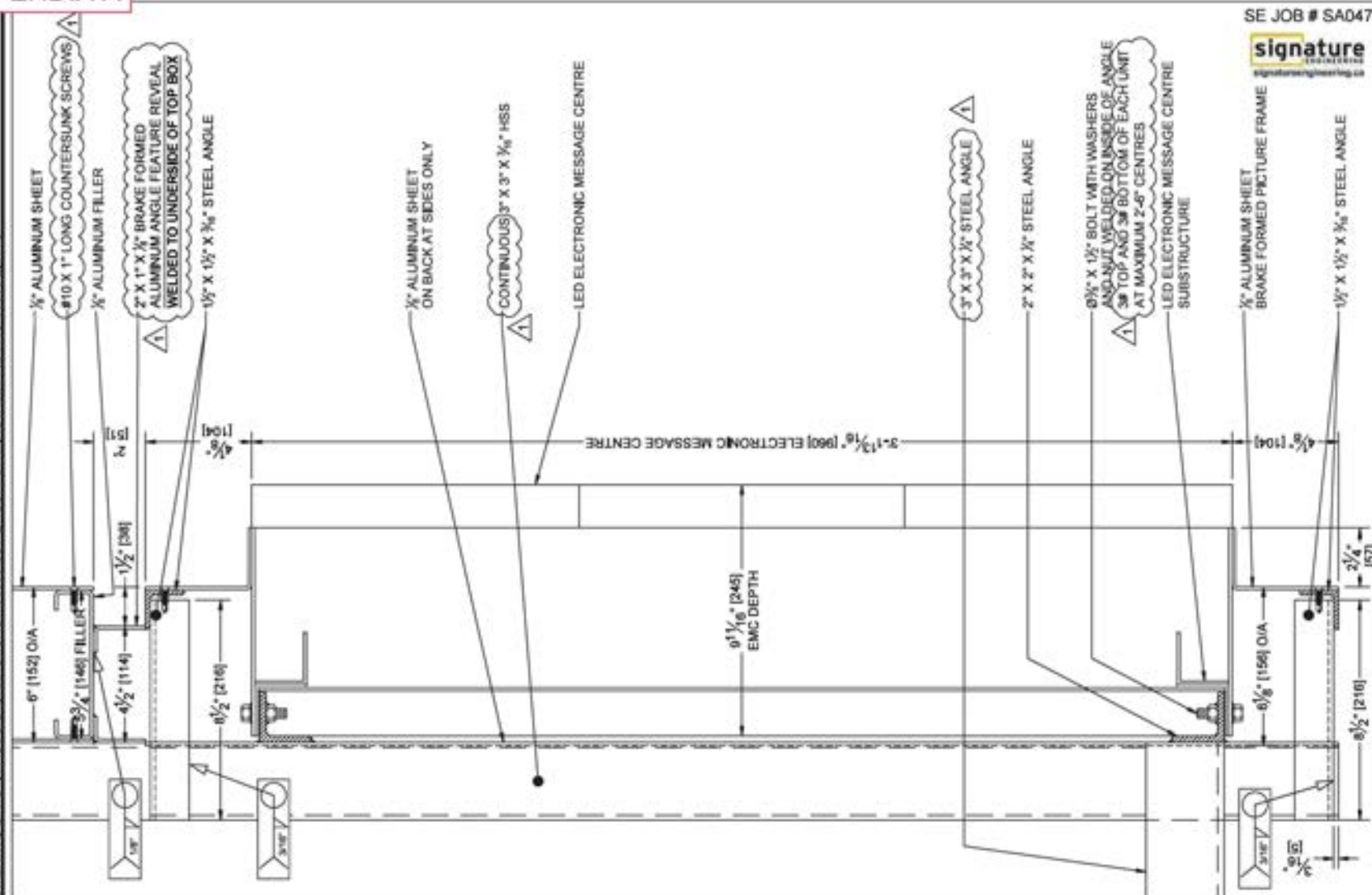
customer approval

430

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sheet 7 of 11

APPENDIX A



SE JOB # SA047

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Engineering
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FOR COLOURS, FINISHES AND TEXT
SEE ART DRAWING: JC-21131-G-1 & H-1

DESIGN WIND PRESSURE
AS PER BUILDING CODE

TOTAL SNOW AREA:

87.8 FT³ (2.5 Mw)

ESTIMATED SIGN WEIGHTAGE

14000 LBS (6350 KG)

957

1-FACE SCREW QUANTITY & SPEC INCREASED, & SOME MATERIALS SUBSTITUTED

© 2000 Blackwell Science Ltd, *Journal of Internal Medicine* 247: 101–108

LETT. MODULARE
MODULARE
POMER. SUPPL. 201

TOTAL LOAD (540) WAPS @ 100V
@ 10-15A COTS REQD.

*ADDITION BOOKS TO BE BOUND WITH THESE
WITH PRICES AS SHOWN ON THE COVER

		304		a	b
	1/2"	3/8"	3/8"	1"	1"
	3/4"	3/8"	3/8"	1"	1"
	1"	3/8"	3/8"	1 1/2"	1 1/2"
	1 1/4"	3/8"	3/8"	2"	2"
	1 1/2"	3/8"	3/8"	2 1/2"	2 1/2"
	1 3/4"	3/8"	3/8"	3"	3"
	2"	3/8"	3/8"	3"	3"

ALL HSS TO CSA D4621 + 30W
ALL BOLTED JOINTS AND PLATES
TO CSA D4621 + 44W
ALL WELDS AND WELDING TO CSA W8
AND MILLERS CERTIFIED UNDER W8
CONCRETE TO BE MIN 25 MPa
@ 28 DAYS
SCM TO BE WOT TO GRV WITH A
BEARING CAPACITY OF 3000 PSF MIN
FOUR AGAINST UNDERPINNED SOIL
REFER TO CSA 336 CHART 400

1 VERTICAL SECTION THROUGH EMC
SCALE: 3" = 1'-0"

(1)

**steel art
signs**

130 Performance Drive, Richmond Hill, Ontario, L4S 0H5 (905) 474-1678

Fax (905) 474-0976

customer: TRINITY ST. PAUL'S UNITED CHURCH

date: MARCH 2022

sales: J. COLE

wfo no: 33808-2

site address: 427 BLOOR STREET W. TORONTO, ON, M5S 1X7 store #

design: I. AUSTIN

art dwg no: JC-21133-G-1 & H-1

job description:	EXTERNAL NON-ILLUMINATED "V" SHAPED PYLON SIGN WITH EMC'S	eng.	M. ROBB
------------------	---	------	---------

eng: M. ROBB

CAD dwg no: 108.f

customer approval

carboxyl

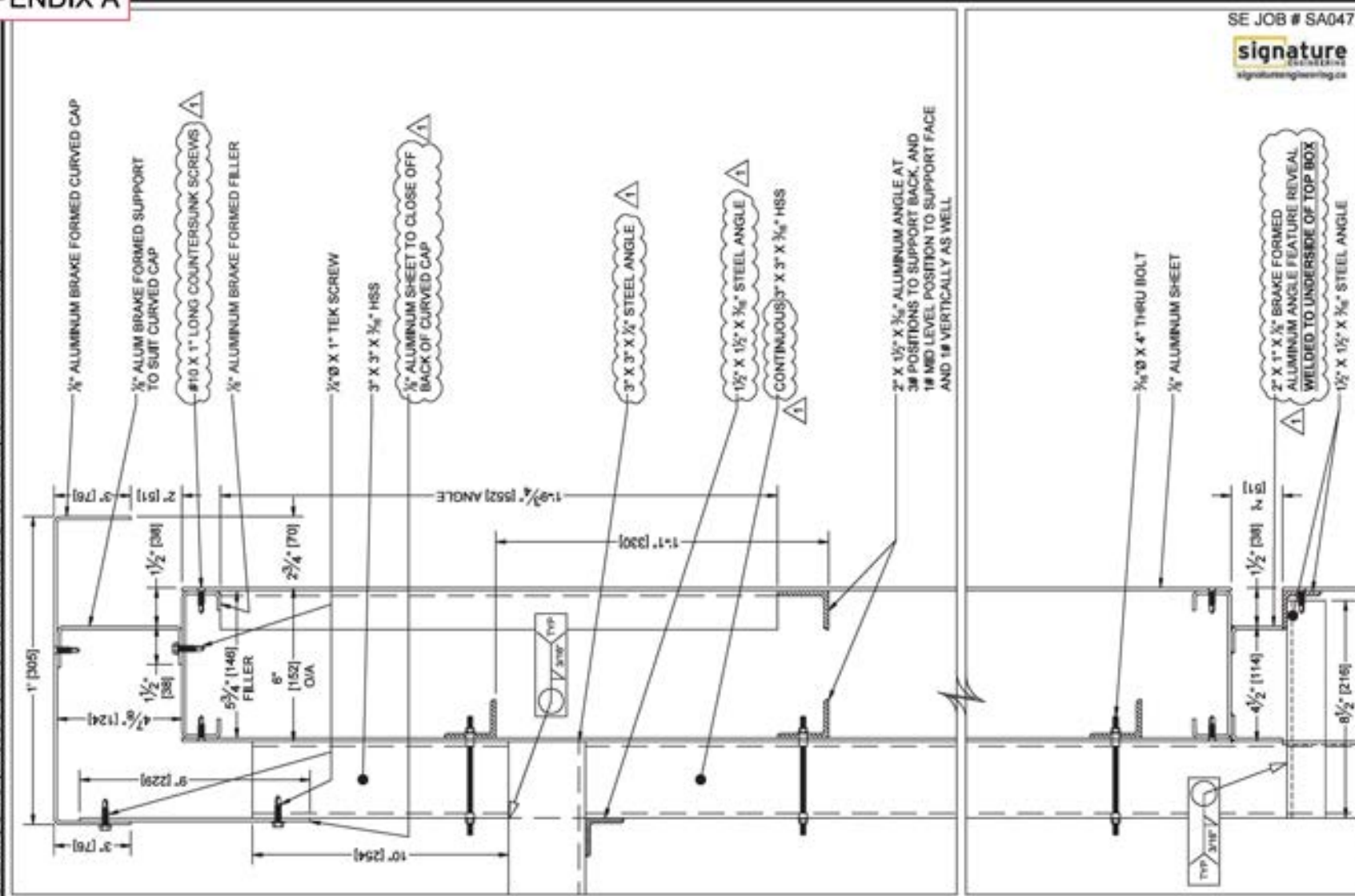
sheet 8 of 11

N:\DWG-ARCH\CUSTOMER\TRINITY ST. PAUL'S UNITED CHURCH\33808\LOT 2 - SUPPLY & INSTALL\PRE-PROJ\33808-2.DWG

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any information storage and retrieval system.

APPENDIX A

N:\DWG-ARCH-CUSTOMER\TRINITY ST. PAUL'S UNITED CHURCH\33808\LOT 2 - SUPPLY & INSTALL\PRE-PROD\33808-2.DWG



SE JOB # SA047

signature
ENGINEERING
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FOR COLOURS, FINISHES AND TEXT
SEE ART DRAWING JC-21133-G-1 & H-1



DESIGN WIND PRESSURE
AS PER BUILDING CODE

TOTAL SIGN AREA:
57.8 FT² (5.36m²)

ESTIMATED SIGN WEIGHT:
1413.20 LBS (641.02kg)

REVISION:
1

ELECTRICAL REQUIREMENTS

LED MODULES
MODULES
POWER SUPPLIES

TOTAL LOAD (SIGN) MAPS @ 800V
N/A (SEE NOTES)

ANCHOR BOLTS TO BE MIN. 4000 LBS TENSILE

USA	mm	in	ft
3/4"	19	3/4"	0.75
1"	25	1"	1.00
1 1/2"	38	1 1/2"	1.50
2"	51	2"	2.00
2 1/2"	64	2 1/2"	2.50
3"	76	3"	3.00

ALL WELD TO CSA DWG 21-100
ALL ROLLED-STEEL AND PLATES
TO CSA DWG 21-100
ALL WELDING TO CSA W88
AND MILLERS CERTIFIED UNDER W88.1
CONCRETE TO BE MIN. 25 MPa
@ 28 DAYS
CONCRETE TO BE WET TO DRY WITH A
BEARING CAPACITY OF 3000 PSF MIN.
(FOUR AGAINST UNDERLINED SOIL)
REMARK TO CSA-500 GRADE 400

1 VERTICAL SECTION THROUGH HEADER
SCALE: 3" = 1'-0"

steel art
signs

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130 Performance Drive, Richmond Hill, Ontario, L4S 0H5 (905) 474-1678

Fax (905) 474-0976

customer: TRINITY ST. PAUL'S UNITED CHURCH

date: MARCH 2022

sales: J. COLE

w/o no: 33808-2

site address: 427 BLOOR STREET W. TORONTO, ON, M5S 1X7 store #:

design: I. AUSTIN

art dwg no: JC-21133-G-1 & H-1

job description: EXTERNAL NON-ILLUMINATED "V" SHAPED PYLON SIGN WITH EMC'S

eng: M. ROBB

CAD dwg no: 109.1

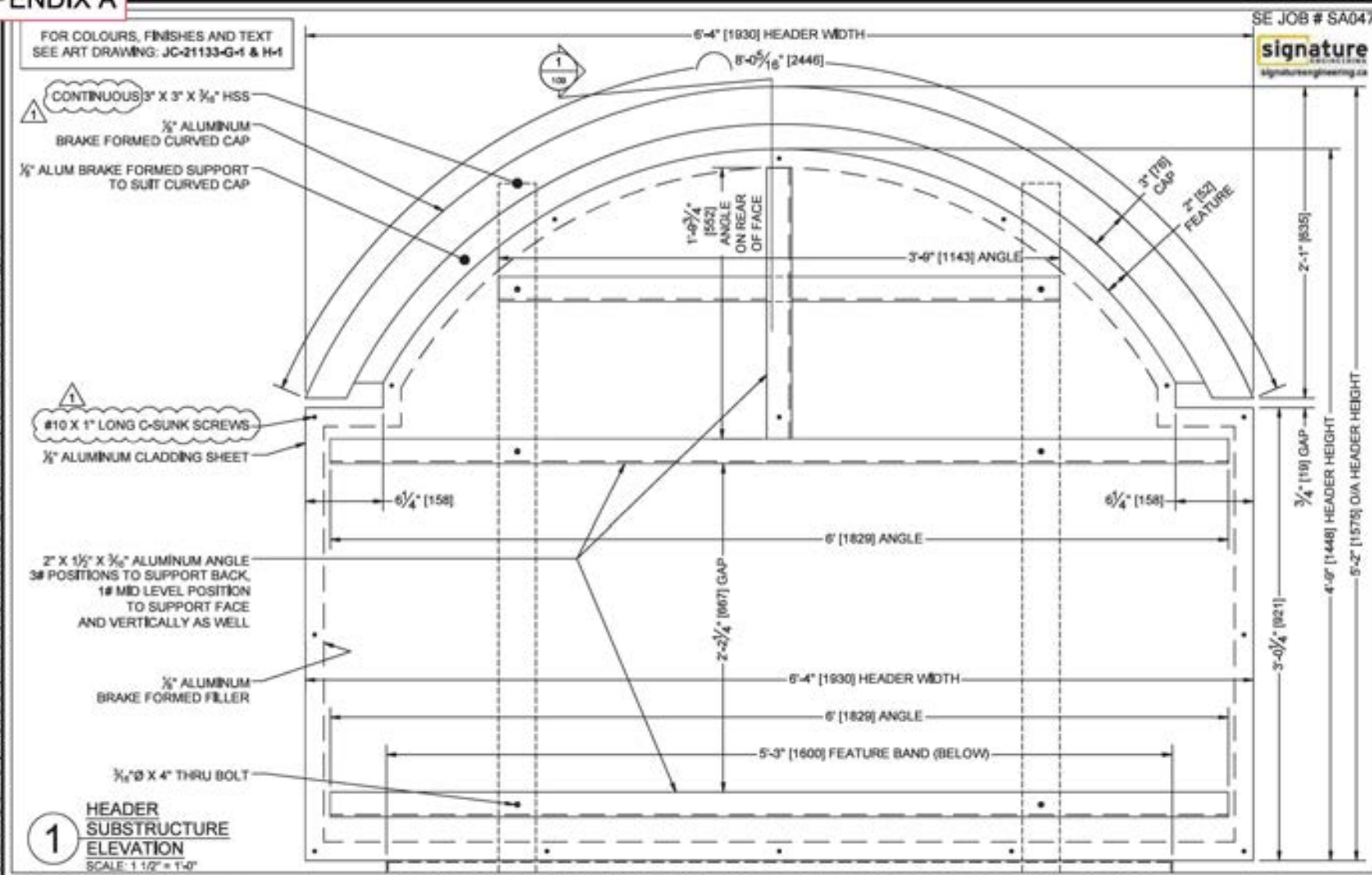
customer approval:

date:

sheet 9 of 11

APPENDIX A

N:\DWG-ARCH-CLUSTER\TRINITY ST. PAUL'S UNITED CHURCH\33808\LOT 2 - SUPPLY & INSTALL\PRE-PROD\33808-2.DWG



SE JOB # SA047
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DESIGN WIND PRESSURE
AS PER BUILDING CODE

TOTAL SIGN AREA:
57.8 FT² [5.36m²]

ESTIMATED SIGN WEIGHT:
1413.20 LBS [641.00kg]

REVISIONS:
1- FACE SCREEN QUANTITY AND
SPECIFICATION INCREASED

ELECTRICAL REQUIREMENTS

LED MODULES
MODULES
POWER SUPPLIES

TOTAL LOAD: (240) WATTS @ 120V
@ (2) 15A CIRCUIT BREAKERS

ANCHOR BOLTS TO BE MIN. 4000 LBS TENSILE

CSA	A	B	C
10"	8"	4"	1"
8"	6"	4"	1 1/2"
6"	4"	4"	2 1/2"
4"	4"	4"	2 1/2"
3"	4"	4"	2 1/2"

ALL WELDS TO CSA G40.21 + 30W
ALL ROLLED SECTIONS AND PLATES
TO CSA G40.21 + 44W
ALL WELDS AND WELDING TO CSA W59
AND MILLING CERTIFIED UNDER PART 1
CONCRETE TO BE MIN. 25 MPa
@ 28 DAYS
CSA TO BE WELDED TO CONCRETE WITH A
MINIMUM CAPACITY OF 3000 PSF WEL
FOUR ROADSIDE UNDERPILLED SHALL
REMAIN TO CSA-530-GRACE 400



130 Performance Drive, Richmond Hill, Ontario, L4S 0H5 (905) 474-1678				Fax (905) 474-0976	
customer:	TRINITY ST. PAUL'S UNITED CHURCH	date:	MARCH 2022	sales:	J. COLE
site address:	427 BLOOR STREET W. TORONTO, ON, M5S 1X7	store #:		design:	I. AUSTIN
job description:	EXTERNAL NON-ILLUMINATED "V" SHAPED PYLON SIGN WITH EMC'S			eng:	M. ROBB
customer approval:		date:			
w/o no:	33808-2				
art dwg no:	JC-21133-G-1 & H-1				
CAD dwg no:	110.1				
sheet	10	of	11		

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APPENDIX A

GENERAL NOTES:

- THIS SET OF DRAWINGS DO NOT INCLUDE COMPONENTS THAT MAY BE NECESSARY FOR THE CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY IN AND ABOUT THE JOB SITE DURING CONSTRUCTION AND THE DESIGN AND ERECTION OF ALL TEMPORARY STRUCTURES, FORM WORK, FALSE WORK, SHORING, ETC... REQUIRED TO COMPLETE THE WORK
- DESIGN LOADS AS PER 2012 OBC FOR TORONTO AREA
WIND $q(1/50)=0.44$ kPa
SNOW DESIGN LOADS: $S_s = 1.1$ kPa, $S_r = 0.4$ kPa

GEOTECHNICAL NOTES:

- SOIL PROPERTIES ASSUMED TO BE MIN 2000 PSF BEARING CAPACITY, WITH A K_p OF 3.0 AND K_A OF .33
- DRAIN OR PUMP ALL WATER FROM HOLE PRIOR TO CONCRETE PLACEMENT

CONCRETE NOTES:

- CONCRETE SHALL BE F-2 CONCRETE WITH FOLLOWING MIN PROPERTIES:
 $f'_c=25$ MPa AT 28 DAYS, SLUMP 4" TO 5"
w/c RATIO=0.55, AIR=4% TO 7%
MAXIMUM AGGREGATE SIZE: 20mm
- USE VIBRATION TO PLACE ALL CONCRETE
- CONCRETE COVER=3" (75mm) ALL AROUND PILE
- REVIEW THE GEOTECHNICAL REPORT BEFORE PLACING CONCRETE AND FOLLOW THE REPORT FOR SLUMP AND OTHER INSTRUCTIONS
- COMPLETE ALL WORK IN ACCORDANCE WITH A23.1.2
- REBAR SHALL BE GRADE 400 DEFORMED REBAR AND IS NOT TO BE WELDED UNLESS WELDABLE REBAR IS USED
- ALL REBAR SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH RSIO STANDARD OF PRACTICE, 4TH EDITION
- VERTICAL REBAR TO BE 10M SPACED EVENLY, STIRRUPS TO BE 10M WITH MINIMUM 12" OVERLAP.
- CONCRETE TO BE POURED AGAINST UNDISTURBED SOIL. IF BACKFILL IS REQUIRED, IT IS TO BE PLACED IN COMPACTED LAYER TO 95% MODIFIED PROCTOR DENSITY

STEEL & ALUMINUM NOTES:

- STRUCTURAL STEEL HAS BEEN DESIGNED IN ACCORDANCE WITH CSA STANDARD S16-14 "DESIGN OF STEEL STRUCTURES."
- STEEL GRADE:
HSS=ASTM A500 GRADE C, $F_y=350W$
CHANNELS AND ANGLES=40.21 GRADE 300W
PLATE=GRADE A36, WITH A YIELD OF 36ksi (248 MPa)
- ALL BOLTS ARE GRADE A325
- ANCHOR BOLTS/RODS ARE GRADE ASTM F1554 GR.36 MINIMUM OR 44W
- ALL STEEL SHALL BE NEW MATERIAL
- ALL STEEL SHALL RECEIVE A MINIMUM OF ONE COAT OF PRIMER & TOUCHED UP AS REQUIRED ON SITE
- ALUMINUM REVIEWED IN ACCORDANCE WITH CSA CAN3-S157-05 "STRENGTH DESIGN IN ALUMINUM"
- ALL ALUMINUM TO BE GRADE 6061-T6 IF WELDED. MIN WELD 1/8" FILLET UNLESS OTHERWISE STATED
- DIELECTRIC SEPARATION BETWEEN ALUMINUM AND STEEL COMPONENTS SHALL BE PROVIDED

1 DESIGN NOTES

SE JOB # SA047

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DESIGN WIND PRESSURE
AS PER BUILDING CODE

TOTAL SIGN AREA:

57.8 FT² (5.36m²)

ESTIMATED SIGN WEIGHT:

1415.20 LBS (641.62kg)

REVISIONS:

64

ELECTRICAL REQUIREMENTS

LED MODULES
MODULES
POWER SUPPLIES

TOTAL LOAD: 2400 LBS @ 800V
BY 60-15A OUTLETS

ANCHOR BOLTS TO BE MIN. 44W STEEL
MIN YIELD 44,000 LBS TENSILE

CSA	A	B	C
10"	8"	4"	1"
30"	20"	4"	1"
1"	10"	4"	1 1/2"
1 1/2"	10"	4 1/2"	2 1/2"
1 3/4"	10"	4"	2 1/2"
2"	10"	4"	2 1/2"

ALL WELD TO CSA DWG21-100V
ALL ROLLED SECTIONS AND PLATES
TO CSA DWG21-100V
ALL WELDS AND WELDING TO CSA W88
AND WELDING CERTIFIED UNDER W88.1
CONCRETE TO BE MIN. 25 MPa
@ 28 DAYS
SOIL TO BE MOIST TO ORY WITH A
BEARING CAPACITY OF 3000 PSF MIN.
(POUR AGAINST UNDISTURBED SOIL
REBAR TO CSA-S16-14 GRACE 400

steel art
signs

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130 Performance Drive, Richmond Hill, Ontario, L4S 0H5 (905) 474-1678

Fax (905) 474-0976

customer: TRINITY ST. PAUL'S UNITED CHURCH

date: MARCH 2022

sales: J. COLE

wfo no: 33808-2

site address: 427 BLOOR STREET W. TORONTO, ON, M5S 1X7 store #:

design: I. AUSTIN

art dwg no: JC-21133-Q-1 & H-1

job description: EXTERNAL NON-ILLUMINATED "V" SHAPED PYLON SIGN WITH EMC'S

eng: M. ROBB

CAD dwg no: 111

customer approval:

date:

sheet 11 of 11

APPENDIX A

Data Sheet First Party Sign Permit

Sign Information

Sign No.	Sign Type	Method of Copy Display	Sign Face Dimensions			Sign Depth (Metres)	Sign Height (From Grade in Metres)	Sign Weight (Kg)	Illumination (Yes/No)	Professional Design Required (Yes/No)
			Length (Vertical in Metres)	Width (Horizontal in Metres)	Area (m ²)					
A	Ground Sign	Electronic Static Copy	3.66	1.93	7.06	1.40	3.66	641.02	Yes	Yes
					0.00					
					0.00					
					0.00					
					0.00					
					0.00					
					0.00					
					0.00					
					0.00					
					0.00					

The personal information on this form is collected under the City of Toronto Act, S.O. 2006, Chapter 11, Schedule A, s. 136(c) and Toronto Municipal Code, Chapter 694, Signs, General. The information collected will be used for processing applications and creating aggregate statistical reports, for enforcement of the City of Toronto Municipal Code, Chapter 694, Signs, General and Chapter 771, Taxation, Third Party Sign Tax and for contacting permit holder(s) or authorized agent(s). Questions about this collection may be referred to the Manager, Sign By-law Unit, Toronto Building, 100 Queen Street West, Ground Floor, East Tower, Toronto, M5H 2N2 416-392-4235.



Commitment to General Reviews

Folder No.

District Offices

☐ Toronto and East York☐ North York☐ Scarborough☐ Etobicoke York

PART A – To be Completed by Owner

Project Description

12' x 6'-4" x 6'-4" V shaped sign and concrete base

Project Address (Street Number, Street Name, Suite/Unit Number, City/Town, Postal Code)

427 Bloor St. W, Toronto

WHEREAS the Ontario Building Code requires that the project described above be designed and reviewed during construction or demolition by an architect, professional engineer or both that are licensed to practice in Ontario;

WHEREAS Ontario Law prohibits the construction or demolition of a building if a permit has not been issued to authorize it, and

WHEREAS Architects and engineers are prohibited by law from undertaking reviews if a permit has not been issued,

NOW THEREFORE the Owner, who intends to construct or demolish or have the building constructed or demolished hereby confirms that:

1. The undersigned architect and/or professional engineers have been retained to provide general reviews of the construction or demolition of the building to determine whether the work is in general conformity with the plans and other documents that form the basis for the issuance of a permit, in accordance with the performance standards of the Ontario Association of Architects (OAA) and/or Professional Engineers of Ontario (PEO);
2. All general review reports by the architect and/or professional engineers will be forwarded promptly to the Chief Building Official;
3. Should any retained architect or professional engineer cease to provide general reviews for any reason during construction or demolition, the Chief Building Official will be notified in writing immediately, and another architect or engineer will be appointed so that general review continues without interruption; and
4. Construction or demolition will only be undertaken if an architect and/or professional engineers are retained to undertake general review, and a permit authorizing the proposed construction or demolition has been issued.

The undersigned hereby certifies that he/she has read and agrees to the above.

Owner's First Name

Lorna

Last Name

Niebergall

Street Number

427

Street Name

Bloor Street West

Postal Code

M5S 1X7

Telephone Number

416-922-8435

Mobile Number

Fax Number

TARAN KAUR - STEEL ART

2022-07-28

Signature

Print Name

Date (yyyy-mm-dd)

Co-ordinator of the work of all consultants

Steel Art Signs Corp.

Street Number

130

Street Name

Performance Drive

Postal Code

L4S 0H5

Telephone Number

905-883-3297

Mobile Number

Fax Number

Continue on next page

The personal information on this form is collected under the City of Toronto Act, S.O. 2006, Chapter 11, Schedule A, s. 136 (c) and the Building Code Act, S.O. 1992, Chapter 23, s. 8(1) and (2). The information collected will be used for processing applications and creating aggregate statistical reports. Questions about this collection may be referred to the Customer Service Manager in the appropriate district, Toronto East York District, 100 Queen Street West, Ground Floor, West Tower, Toronto M5H 2N2; North York District, 5100 Yonge Street, 1st Floor, Toronto M2N 5W4; Etobicoke York District, 2 Civic Centre Court, 1st Floor, Toronto M9C 2Y2; Scarborough District, 150 Borough Drive, 3rd Floor, Toronto M1P 4N7 or by telephone at (416) 397-5330.

Commitment to General Reviews

PART B – To be completed by Consultants

The undersigned architect and/or professional engineer(s) hereby certify that they are qualified in and have been retained to provide general reviews of the parts of construction or demolition of the building indicated, to determine whether the work is in general conformity with the plans and other documents that form the basis for the issuance of a permit, in accordance with the performance standards of the Ontario Association of Architects (OAA) or Professional Engineers Ontario (PEO).

First Consultant Information and Declaration

☐ Architectural ☒ Structural ☐ Mechanical ☐ Electrical ☐ Site Services			
☐ Other:			
First Name Chris		Last Name Sharpe	
Firm Signature Engineering Inc			
Street Number 511	Street Name Westheights Dr, Kitchener		Postal Code N2N1M6
Telephone Number 519-572-2409		Mobile Number 519-572-2409	Fax Number NONE
Chris Sharpe			
Signature		Print Name	Date (yyyy-mm-dd)

Second Consultant Information and Declaration (if applicable)

☐ Architectural ☐ Structural ☐ Mechanical ☐ Electrical ☐ Site Services			
☐ Other:			
First Name		Last Name	
Firm			
Street Number	Street Name		Postal Code
Telephone Number		Mobile Number	Fax Number
Signature		Print Name	Date (yyyy-mm-dd)

Third Consultant Information and Declaration (if applicable)

☐ Architectural ☐ Structural ☐ Mechanical ☐ Electrical ☐ Site Services			
☐ Other:			
First Name		Last Name	
Firm			
Street Number	Street Name		Postal Code
Telephone Number		Mobile Number	Fax Number
Signature		Print Name	Date (yyyy-mm-dd)

MAR 31 2022

130 Performance Dr,
Richmon Hill, Ontario
L4S 0H5

Fax # (905) 474-0515
Phone # (905) 474-1678

Date: March 22, 2022

AUTHORIZATION FORM

This document shall serve to notify the City / Town of Toronto that
I / we, BOARD of TRUSTEES of TRINITY-ST. PAUL'S UNITED CHURCH am / are the
Print name of individual (owner or representative)

- ☒ Legal owner(s) of the property
☐ Owner's authorized representative

for Trinity-St Paul's United Church, for the property
Name of company

located at 427 Bloor Street West, Toronto, M5S 1X7
Site Address

have reviewed and approve the sign proposal contained with this Sign Permit Application, for the above referenced property.

I / we do authorize Steel Art Signs Corp to act on my / our behalf on all matters pertaining to the Building Permit / Sign Permit Application, and to obtain site plans and / or elevation drawings from the City Archives, if required for the permit application(s), for the above referenced property.

Steel Art Signs is also authorized to erect sign(s) at the aforementioned location and may, at their option, elect to sub-contract a local company, licensed to perform work at the aforementioned location, to apply for the permits and to perform the installation.

Owner's TEL # (416) 922-8435
Owner's Email: top@trinitystpauls.ca
Street address: 427 Bloor St. W.
City: Toronto, Ont.
Postal code: M5S 1X7

Attn: Aaron Dawson, GENERAL MANAGER.
Printed Name: LORNA NIEBERGALL, TREAS., BO of TRUSTEES
Lorna Niebergall
Signature

BOB FUGERE, TRUSTEE
Robert Fugere

**APPENDIX A**

Jordan Clavette <jordanssignpermits@gmail.com>

RE: Re: Heritage Application -Trinity St. Paul's United Church 427 BLOOR STREET W, TORONTO, ON, M5S 1X7.

1 message

Heritage Planning <heritageplanning@toronto.ca>
To: Jordan Clavette <jordanssignpermits@gmail.com>

Thu, Apr 6, 2023 at 10:12 AM

Hi Jordan,

There was not a separate heritage permit that was issued. Usual process is when you apply for a sign permit and the property has a heritage status, the application gets circulated to us for review and approval. The heritage planner approved that application thru the system but didn't require a separate heritage permit for it. Therefore, signs unit should have issued the sign permit to you at that time. System shows at this time, that the status of that application is pending as you were issued a Refusal Notice. I believe the refusal notice was triggered because our heritage planner has not approved yet at that time. But system shows HP has approved it a few weeks after the refusal notice was sent.

Please check with Signs Unit regarding the actual status of this application:

22 183802 SGN 00 SP

Thank you.

Sheilah

From: Jordan Clavette [mailto:jordanssignpermits@gmail.com]

Sent: April 5, 2023 10:01 PM

To: Heritage Planning <heritageplanning@toronto.ca>

Subject: [External Sender] Re: Heritage Application -Trinity St. Paul's United Church 427 BLOOR STREET W, TORONTO, ON, M5S 1X7.

Hi Sheilah,

Steel Art may have already applied for this Heritage approval, but they have asked me to finalize the sign permits and sign variance application for this project with the Toronto sign bylaw unit.

APPENDIX B SIGN VARIANCE RATIONALE LETTER

Sign Variance Rationale - REVISED

Across Canada, municipalities work to balance bylaw regulations with the dynamics of living and working in big cities. In some instances, this balance between restrictions and flexibility can present examiners with challenges that require the approval of exemptions. We hope that with our letter, you see fit to vary the regulations for Trinity St. Paul's United Church.

A variance is being sought to allow a ground sign other than a sign providing direction, that contains static electronic copy and images. The unique attributes of this building which is a community hub, gathering place and multi-tenant establishment rendering offices to aprox 10 tenants, and supporting aprox 10 regular activities and over 40 community organizations within it walls. Welcoming between 8,000 and 10,000 people per month, utilizing the concert hall, facilities, programs and offices. Truly the TSP is a community hub in the heart of the Annex.

Originally founded in 1889 at the Trinity Methodist Church and much as the community is a blend, it has become a union since 1925 of 3 congregations blending St. Paul's Avenue Rd, St. Paul's Methodist and Avenue Rd Presbyterian into St. Paul's United. In 1985, Bathurst Street United relocated as well to Trinity St. Paul's and remains as a separate congregation within the same building.

With such a diverse mix of community support, community integration and community spirit, it is a central vibrant and active hub that proudly stands as a pillar of strength in the Annex. Growth within the City and the Community continues to this day with its advocacy and support for social justice issues and maintaining its strong ties with the community.

The proposal presented lends itself to those goals, and activities by allowing Trinity St. Paul's to support its local community, its activities and its people and groups.

- A ground sign is permitted.
- A static alpha numeric electronic sign is permitted.

The variance sought is to allow static images in addition to alpha numeric text so that Trinity St. Paul's can visually exemplify the local community tenants, regular activities and community organizations all of various backgrounds, languages and interests.

Never has the saying "A picture is worth a thousand words" been more accurate when addressing such a diverse community from such a dynamic community hub such as Trinity St. Paul's.

We ask that permission be granted to allow the addition of static images to the already permitted ground sign. The bylaw permits static alpha numeric copy to be on the sign. The proposal does not require any structural or technology changes as the variance proposed is for content and not structure.

APPENDIX B

CRITERIA REVIEW:

1. Belong to a sign class permitted in the Sign District where the Premises is located.

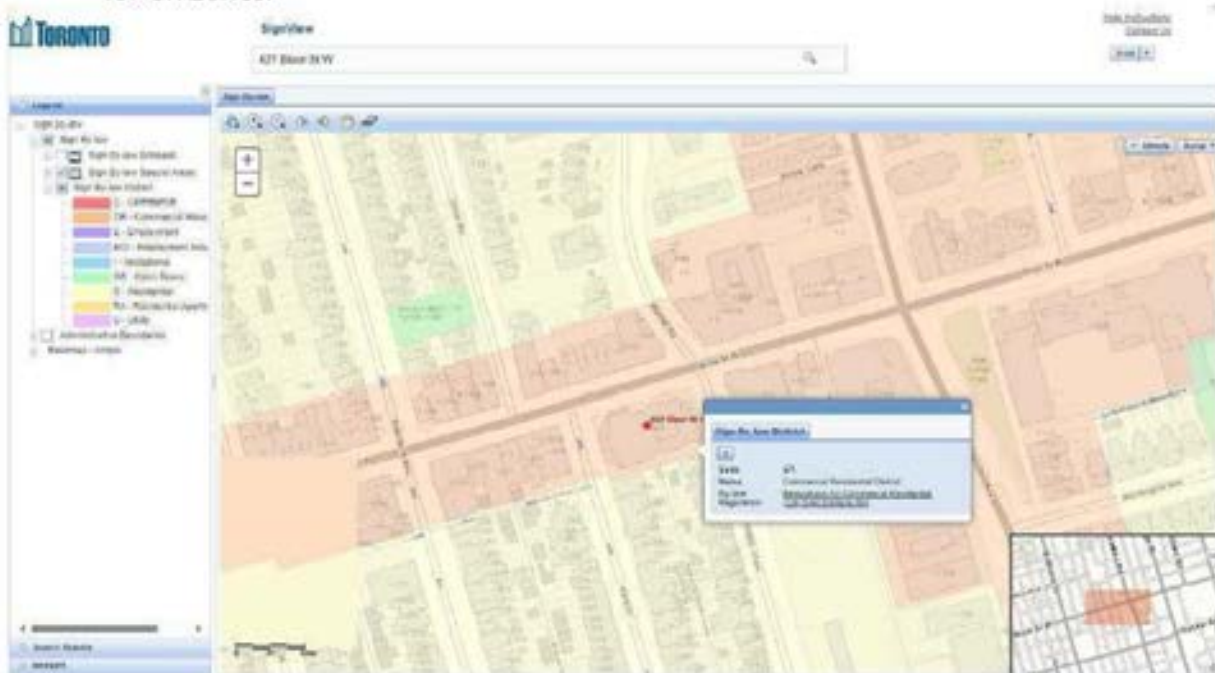
- The proposed ground sign belongs to the first party sign class. First party ground signs are permitted in a Commercial Residential sign district.
- First party ground signs are permitted alpha numeric static electronic copy.

2. In the case of a third-party sign, be of a sign type that is permitted in the Sign District where the Premises is located.

- As the Proposed Sign is a first party sign (intended to identify the business or service being conducted on the Premises), this criterion does not apply.

3. Be compatible with the development of the Premises and surrounding area.

- the proposed ground sign is compatible with the premises and surrounding area because the premises and the properties in front and on either side are Commercial Residential districts, with mostly commercial business and office spaces, and as such, the proposed amendment to allow the inclusion of static graphic images will not adversely affect the community. Understanding that the use of an electronic component within the sign is already permitted for alpha numeric text, the inclusion of static graphic images is not altering any already previously studied and confirmed conditions established by the City for CR Zones.



APPENDIX B

4. Support the Official Plan objectives for the Premises and surrounding area.

- The proposed ground sign is in keeping with the official plan objectives for these premises and surrounding area. The premises are in a Mixed-Use Area. The development criteria for this designation emphasizes combining a broad array of residential uses, offices, retail and services, institutions, entertainment, recreation and cultural activities, and parks and open spaces. The goal is for people to be able to live, work and shop in the same area or even the same building. The proposal to add static graphic content to the permitted use, will exemplify these goals due to the diverse nature of the Annex community and its activities. Allowing for those with language difficulties to visually attune to the uses on the culturally important site. Furthermore, the proposed ground sign blends into the landscaped area while still being distinct in design and as such the proposed sign is in keeping with the development criteria.
- Secondary Plans like Heritage designations and Heritage Conservation have already been in contact with and are in support of the proposal.

5. Not adversely affect adjacent premises.

- The proposed ground sign is surrounded by Commercial Residential districts on three sides and Residential district on the rear, as seen on the Signview screen shot above. The proposed first-party ground sign will not adversely affect the adjacent premises as the proposed sign is located on the street frontage that is already very dynamic and active 24 hrs a day. Also, the proposed first-party ground sign is not located near a major highway and as such it will not impact any major throughway. The existence of various other signs, comparable to the proposed sign, in the area, without any issues show that the proposed sign would not adversely affect the adjacent properties. The proposed sign is lower, smaller and less imposing than the bylaw maximums to ensure that it is scaled to the sizes and uses of the surrounding community. Incorporating the sign into the frontage and carefully locating it to the East side of the property ensures that it will primarily focus on "at grade" pedestrian and vehicular traffic.



APPENDIX B



6. Not adversely affect public safety, including traffic and pedestrian safety.

- The proposed first-party ground sign does not adversely affect public safety including but not limited to traffic and pedestrian safety. The proposed first-party ground sign is located on the main frontage of the building outside the daylight triangle and on private property, and as such will not interfere with vehicular or pedestrian traffic. The proposed sign helps reinforce the location of the various tenants on the property in an extremely busy environment which helps enhance public safety.
- Nestled by the building the sign is incorporated into the existing landscape and building features and thus will not adversely affect traffic or public safety.

APPENDIX B

7. Not be a sign prohibited by section 694-15B.

- Section 694-15B of the Sign By-law does not prohibit the proposed first-party ground sign including static alpha numeric electronic copy.

8. Not alter the character of the Premises or surrounding area.

- The proposed sign will not alter the character of the premises or surrounding area as the sign is located within the limits of the property, is proportionate in scale to the building and the surrounding area. The sign is permitted to have alpha numeric electronic copy, and the proposal is to allow the sign to have static graphic images in addition to alpha numeric electronic copy. Furthermore, the proposed ground sign has been designed to be integrated within the architectural features of the property and as such the sign, in our opinion, will help enhance the character of the building and fit in beautifully with the surrounding area.

9. Not be, in the opinion of the decision maker, contrary to the public interest.

- In our opinion the proposed sign will not be contrary to the public interest as it is contained within the property. The proposed sign would be in the public's interest as it helps pedestrian and vehicle traffic to identify the building's tenants quickly, easily, and most importantly safely.
- The variance sought it to permit the sign to display static electronic graphic images. Signage in the City of Toronto are permitted to have graphic images, permitted to have illumination, permitted to have static alpha numeric electronic copy. The request to permit static graphic images is congruent to already permitted content established by the sign bylaw through its public process. For that reason, the variance sought in our opinion is not contrary to the intent of the sign bylaw, the public interest or the City.

The proposed sign has been designed to ensure that it meets high urban design standards which contribute to achieving public area's which are attractive, inviting, comfortable and safe. We ask the City of Toronto to support Trinity St. Paul's in its efforts to continue to provide excellent services to the residents of the neighbourhood and the residents of the City of Toronto by permitting the proposed signage to contain static graphic images.

Unlike other variances where a sign use, sign location, sign size or even sign type is sought, our variance is to modify already permitted content type being static alpha numeric electronic copy to include static graphic images. The images will assist Trinity St. Paul's to fully integrate with the diverse community of the Annex, not only thru language but through imagery as well.

Thank you for considering our proposal. Please do not hesitate to contact us if you have any questions.

APPENDIX B

Best Regards:



JUST COLE

Sales and Project Management

T: 905-883-3275

M: 416-824-1678

TF: 800-771-8971

Email: jcole@steelart.com

130 Performance Drive
Richmond Hill, On
L4S 0H5

N.B. Je parle français.
S.V.P. n'hésiter pas de me répondre
en français!

www.steelartsigns.com

Nationally Operated for over 70 years!



Trinity-St. Paul's Centre for Faith, Justice and the Arts

427 Bloor Street West | Toronto ON M5S 1X7 | (416) 922-8435 | <http://trinitystpauls.ca>

To Whom It May Concern,

Please find below a list of tenants and activities that have their home at Trinity-St. Paul's United Church and Centre for Faith, Justice and the Arts (TSP). TSP is a community hub located in the heart of the Annex neighborhood in Toronto. We serve the neighborhood and larger community with affordable rental spaces and facilities that prioritize cultural and social service organizations. Our building welcomes between 8000-10,000 people per month who utilize the concert hall, facilities, programs and offices.

Tenants with office space at TSP:

Tafelmusik Baroque Orchestra: a world-renowned period orchestra and choir
 The Toronto Consort: internationally recognized medieval, renaissance and baroque ensemble.
 Viva Singers Toronto: not-for-profit family of inclusive choirs
 Annex Montessori: community-based school
 Newcomer Kitchen: non-profit providing newcomers and refugees with training and employment
 Culture Days Festival: Canada-wide network to facilitate free public annual events
 GeneratorTO: a mentoring, teaching, and innovation incubator for artists and cultural leaders
 International Socialists: social justice organization
 Bathurst Street United Church

Activities at TSP:

Dance classes and socials (ballet, swing, line, Morris, tango, salsa dancing)
 Martial arts (karate, capoeira, kendo, judo)
 Yoga, meditation
 Dancing With Parkinson's
 12-Step programs (Alcoholics Anonymous, Cocaine Anonymous, etc)
 Theatre Classes (ACTE, Animacy Collective, Children's Arts Theatre, Against the Grain)
 Festivals (Fringe, Ashenaz Festival, Kiwanis Music Festival)
 Music classes and lessons

Some of the organizations that utilize TSP:

Stratford Festival
 Miles Nadal Jewish Community Centre
 University of Toronto School of Music, Historical Department
 Choirs (Amadeus Choir, Toronto Chamber Choir, Toronto Mendelssohn Choir, etc)
 Canadian Chinese Society for the Arts
 Canadian Peace Alliance

APPENDIX C

Central Toronto Spirit of Math
Concerts in Care
Dance Makers
Dancing With Carolyn
Do Re Me! Children's Choir
East York Piano
East 15 Acting School
Elections Ontario
Fall for Dance North
Forte Gay Men's Chorus
Gallery Players of Niagara
Guelph Dance
Houselink & Mainstay Housing
Howlett Academy
Imagination Beats Cancer
Japanese Moms and Tots
York Pioneer and Historical Society
Lighthouse Outreach
Mabin School
Nightswimming Theatre
Not Far From the Tree
Off-Centre Music Salon
Amici Ensemble
Opera Atelier
Queer Songbook Orchestra
Scouts Canada & Sparks/Girl Guides
SEIU Local 2
Seniors Tai Chi, Seniors Yoga
Congregation Shir Libeynu
Sunshine Centre for Seniors
Talk is Free Theatre
Toronto Guild of Spinners and Weavers
Trio Arkel
Young Voices Toronto

Sincerely,



Aaron Dawson

General Manager, Trinity-St.Paul's United Church
adawson@trinitystpauls.ca
(416) 922-8435 ext 25

ANNEX PHOTO

CONCEPT BY

FUJIFILM

362 Bloor Street West • Toronto, Canada • 416 922 0920

www.annexphoto.ca

City of Toronto Sign Variance Committee (by email to: jcole@steelart.com)

Attn: Nikoo Shabestari, Sign Bylaw Unit and SBVC

Re: Support for Trinity St. Paul's United Church's installation of a new ID ground sign with a Digital Graphic electronic digital element near its northeast corner

29 January 2024

To whom it may concern,

My name is Renata Hamilton and I am the Manager of Annex Photo located at 362 Bloor Street West in Toronto. I am writing you in support of Trinity St. Paul's ("TSP") application to erect a new digital graphic sign outside of their premises.

As a business who which has been in this location directly across the street from TSP for over 25 years, we are happy to lend our support to this project which would better convey the variety of music, social services and training they provide for our neighbourhood.

It is understandable that many street passerby's may not fully appreciate the wide variety of activities TSP supports within its walls. It has been noted that TSP is the home of 60+ cultural, educational, religious, recreational, community and social service groups. As a teen I remember attending Tafelmusik at TSP for the first time. Myself and my staff have also participated in various classes and events which take place inside the walls of TSP. In addition, many of our customers come to visit us before or after attending events at TSP. The proposed digital sign would certainly enhance the profile of TSP and all of the wonderful programs and events that take place there for the community to enjoy.

We have been told that the TSP Centre monthly brings in some 8,000 visitors every month for various music groups (Tafelmusik, the Toronto Consort), Saturday night dances, 2SLGBTQ+ groups, child care, 12-step programs, etc). TSP is a very busy and vital social centre for our community. The proposed digital sign will enhance the profile of TSP events by inviting more people from all over Toronto to visit the Annex, participate in our community events, dine in our restaurants and shop at our businesses. A vibrant and active TSP also ensures that TSP can continue to host classes, events, services and programs so vital to our community. A vibrant TSP is benefit to all.

The proposed digital sign would have a profoundly positive impact on the Annex community. Annex Photo is happy to support TSP's application for a digital graphic sign. If you would like to contact me please feel free to email me at photos@annexphoto.ca or call at 416 922 0920.

Regards,



Renata Hamilton
Manager – Annex Photo

APPENDIX C



Bathurst United Church
427 Bloor St West
Toronto, Ontario, M5S 1X7
Email: admin@bathurstunited.ca
Phone: +1 (647) 947 1095
Web: www.bathurstunited.ca

Wednesday, January 24, 2024

To Whom It May Concern,

Bathurst Street United Church rents office and worship space from the TSP Centre. We support the installation of an outdoor digital sign in the garden section at 427 Bloor Street West.

This outdoor digital sign will allow passersby to actually see which organisations are utilizing the facility which is definitely not a detraction but an opportunity for the local community to explore the different opportunities for personal social engagement.

Our church community has been a resident of the Centre for close to forty years with the hope to continue into the future.

A handwritten signature in black ink, appearing to read 'Sandy Miller'.

Sandy Miller, Co-Chair
Bathurst Street United

APPENDIX C

Just Cole

Subject: FW: [External] TSP's application for a sign with images

From: Brian Burchell <bloorannexbiagm@gmail.com>
Sent: Tuesday, January 30, 2024 5:35 PM
To: Just Cole <JCole@steelart.com>
Cc: Aaron Dawson <adawson@trinitystpauls.ca>
Subject: [External] TSP's application for a sign with images

WARNING: This email originated from an external source and is potentially fraudulent. Do not click on links or attachments unless you are familiar with the sender.

To Whom it May Concern

We understand that Trinity St Paul's (TSP) wishes to install a digital sign with static graphics along its Bloor St W frontage. The BIA supports this application and does not feel it will disturb or distract the streetscape or neighbourhood.

There is so much happening with the walls of TSP that passersby need to know what's inside for them, and the sign will help achieve this goal.

Thank you.

--
Brian Burchell
General Manager
Bloor Annex BIA
P.O. Box 414, Station P
Toronto, ON M5S 2S9
(647) 777-1162
www.bloorannex.ca



APPENDIX C

City of Toronto Sign Variance Committee (by email to: jcole@steelart.com)

Attn: Nikoo Shabestari, Sign Bylaw Unit and SBVC

Re: Support for Trinity St. Paul's United Church's installation of a new ID ground sign with a Digital Graphic electronic digital element near its northeast corner (see attached)

As the Manager of the Cobs Bread business right across from TSP, I have been asked by TSP for our support for their application for a new Digital Graphic Sign, which would better convey the variety of music, social services and training they provide for our neighbourhood.

Very few street passerbys appreciate the wide variety of activities TSP supports within its walls. This drives foot traffic, especially on Sundays,

I will cite a paragraph from the HALO Report (2017) compiled that has opened my eyes.
"It is clear that Trinity-St. Pauls Church plays a key economic role in the community in which it is located. Our study suggests that TSP has an annual economic benefit (or HALO Effect) of \$3,164,096 on its surrounding neighbourhood...The congregation is home to 60+ cultural, educational, religious, recreational, community and social service groups facilitating the delivery of 10,456 volunteer hours towards the community. Notably, a significant aspect of the congregation's community's involvement is its engagement with the arts."

We have been told that the TSP Centre monthly brings in some 8,000 visitors every month for various music groups (Tafelmusik, the Toronto Consort), Saturday night dances, 2SLGBTQ+ groups, child care, 12-step programs, etc). TSP is a very busy and vital social centre for midtown Toronto.

I cannot see how the proposed sign would have any negative impact on our local community. Quite the opposite. We support this new ID ground sign with its static digital display.



Nathan Zou, 370 Bloor St. W

APPENDIX C

January 29, 2024

To Whom It May Concern,

My name is Carolyn and I run a business, Dancing With Carolyn, out of Trinity St Paul's Centre. I have been running my dance school at this location for a little over fifteen years. Aaron, the manager of the centre shared with me that the sign they are hoping to acquire may not get approved. I am writing because I believe this sign would be a great addition to our community.

I believe one of the reasons the sign may not get approved is because it might not reflect the character of the Annex. I have lived and/or worked in the Annex for the last 20 years and there certainly have been many changes to the neighbourhood in that time. Many stores and restaurants have closed, many have opened, a bicycle lane has been added, there have been upgrades in the subway stations, playgrounds have been renovated and added, murals have been painted, gardens have been planted, and Honest Ed's, which was certainly very flashy, has been turned into condominiums. My point is that over time, neighbourhoods change and that there should be room for growth. The sign that is currently located outside of Trinity St Paul's is dated, it is not particularly nice, and it easily goes unnoticed. I would love to see this old sign be replaced with a new one that is more eye pleasing, informative, and modern.

There are countless organizations like mine that run out of TSP. Unless we get sandwich board signs for our individual businesses, people walking by the building have no idea that our businesses exist and that our classes/services are offered in the building. Once people enter the building they can see that there are children's dance classes, adult dance classes, fitness classes, acting classes, a children's choir, a Montessori school, and so many other wonderful programs being offered for people of all ages. I believe having a new sign such as the one that has been proposed would help enhance and help TSP and many organizations that run in the building.

A sign with images would be more inclusive and engaging. English is not everyone's first language and images can help improve comprehension. Images are often more engaging, memorable, and aesthetically pleasing than text and they can help convey information. Because the sign would be in the garden area, it would not be distracting. There are always many people on foot in the Annex and I know this sign would be well received by the community.

Finally, I believe this proposed sign would be a great addition to TSP and that it would help create a strong sense of community in the neighbourhood. It would enhance and help TSP and all the other organizations that run in the building.

Warm regards,
Carolyn LeBlanc
Dancing With Carolyn
Dancingwithcarolyn@gmail.com

APPENDIX C

Just Cole

Subject: FW: [External] Proposed sign at Trinity St. Paul's

From: John McGrath <john@mcgrathgrp.com>
Sent: Friday, January 26, 2024 11:26 AM
To: Just Cole <JCole@steelart.com>
Cc: Aaron Dawson <adawson@trinitystpauls.ca>
Subject: Proposed sign at Trinity St. Paul's

I am writing to support the application by Trinity-St. Paul's for a sign on Bloor Street in front of the church.

I am a long-time resident of the Annex, and regard Trinity-St. Paul's as a vital community resource. The sign would be an important addition to the church and allow more residents of the Annex and Harbord Village to keep up-to-date with what is going on there.

In fact, I think it something that could prove critical to Trinity-St. Paul's continued existence as a valued community centre for faith, justice, and the arts.

I disagree with the finding of the Variance office that the sign "does not reflect" the nature of the neighbourhood.

The sign is not being inserted into the middle of a residential street, such as Robert and Major Streets or Brunswick Avenue.

The neighbourhood it is on is Bloor Street, a thriving commercial district with all the signage that comes with it.

To suggest the Trinity-St. Paul's sign is "out of character" with the rest of the street or "does not reflect" the nature of Bloor Street is clearly wrong, and I would request the application be approved.

John McGrath

John McGrath
john@mcgrathgrp.com
416-998-6570

APPENDIX C

Just Cole

From: MARGARET MITCHELL <priscillamae@rogers.com>
Sent:
To: Just Cole
Subject: [External] Trinity St Paul Sign

WARNING: This email originated from an external source and is potentially fraudulent. Do not click on links or attachments unless you are familiar with the sender.

To Whom It May Concern:

I support the Church in its use of a digital sign to highlight all the wonderful community and musical events they offer. This Church is the community hub of our area as well as an attraction to others outside the Annex area. It brings business to our local merchants.

There are so many worthwhile events that we just aren't aware of and the sign will be an excellent way to inform the community of upcoming attractions. It will be discreetly positioned.

Thank you,
Margaret Mitchell
285 Major Street
Toronto

APPENDIX C



Newcomer Kitchen
1033 College Street
M6H 1A8
(416) 464-1864
info@newcomerkitchen.ca

Friday, January 26, 2024

To Whom It May Concern,

Newcomer Kitchen, a non-profit organization helping refugees and newcomers with training and employment, rents kitchen space weekly at Trinity-St.Paul's United Church. We fully endorse the installation of an outdoor digital sign in the Bloor Street north facing side of the building at 427 Bloor Street West.

This sign showing images of all of the activities that take place inside Trinity-St.Paul's will go a long way to helping the community groups using the building communicate the wide variety of cultural and social projects to the wider area. We think that this will be a benefit to the local community and help Trinity-St.Paul's to increase its role as a hub in the Annex.

Sincerely,

A handwritten signature in black ink that reads "T. Chaikin". The signature is written in a cursive, flowing style.

Tamara Chaikin,
Newcomer Kitchen

City of Toronto Sign Variance Committee (by email to: jcole@steelart.com)

Attn: Nikoo Shabestari, Sign Bylaw Unit and SBVC

January 26, 2024

Re: Support for Trinity St. Paul's United Church's installation of a new ID ground sign with a Digital Graphic electronic digital element near its northeast corner (see attached)

As the Manager of The Runners Shop right across from TSP, I have been asked by TSP for our support for their application for a new Digital Graphic which would better convey the variety of music, social services and training they provide for our neighbourhood.

Very few street passerby's appreciate the wide variety of activities TSP supports within its walls. My wife has been a part of a community choir there which was a very welcoming group

"TSP is very much a cornerstone in this part of the Annex, drawing in people who are not familiar with this part of the city. We regularly have customers tell us they saw our store for the first time while arriving/leaving an event at TSP. It's been quite a benefit. In addition, one of our staff members works with a choir based out of TSP and he regularly has parents tell him how much they enjoy being able to bring their kids to such a beautiful spot in a vibrant neighbourhood. Making more people who pass by aware of the wide variety of things available at TSP would only be a benefit to us and the surrounding community."

I will cite a paragraph from the HALO Report (2017) compiled that has opened my eyes.

"It is clear that Trinity-St. Paul's Church plays a key economic role in the community in which it is located. Our study suggests that TSP has an annual economic benefit (or HALO Effect) of \$3,164,096 on its surrounding neighbourhood...The congregation is home to 60+ cultural, educational, religious, recreational, community and social service groups facilitating the delivery of 10,456 volunteer hours towards the community. Notably, a significant aspect of the congregation's community's involvement is its engagement with the arts."

We have been told that the TSP Centre monthly brings in some 8,000 visitors every month for various music groups (Tafelmusik, the Toronto Consort), Saturday night dances, 2SLGBTQ+ groups, childcare, 12-step programs, etc). TSP is a very busy and vital social centre for midtown Toronto.

I cannot see how the proposed sign would have any negative impact on our local community. Quite the opposite. We support this new ID ground sign with its static digital display.

Greg Lindsay, Manager

374 Bloor St. West

APPENDIX C

**The RUNNERS
SHOP**
Est 1975

374 Bloor St West Toronto
LET'S RUN TOGETHER



Proposed sign

APPENDIX C

To Whom It May Concern:

My name is James Flagal, and I am writing you in support of Trinity St. Paul's ("TSP") application to the City of Toronto for the installation of an outdoor digital sign in the garden area next to the northeast steps of the building. The proposed digital sign will replace the current plastic lettering sign at that location.

Let me give you some background about myself and my association with Trinity St. Paul. I am a long-time member of Congregation Shir Libeynu. The Congregation has over 250 members and has been serving the downtown Jewish Community for over 25 years. Our Congregation has prided itself on providing an inclusive Jewish space for LGBTQ+ families and interfaith families. I have served on its board for many years (2011-2017, 2020-2023) and I have also served as President of the Congregation (2014-2017). I am still very involved with my Congregation and currently hold the position of High Holiday Coordinator.

Our Congregation began holding its High Holiday services at Trinity St. Paul in the Fall of 2022. We also hold other programs at TSP including our recent Hanukkah program we held in December. We have a very close and mutually beneficial relationship with TSP – the ethos of our two congregations is very much in sync and we very much appreciate how welcoming TSP has been to our community.

Since our Congregation plans to continue to hold events, services, and programs at Trinity St. Paul, we think the proposed digital sign will be of enormous benefit for ourselves and for TSP's other community partners. It will allow us to promote these events, services, and programs to the downtown Jewish community, which we aim to serve, in a far more effective manner.

As an example, the opportunity to promote the Hanukkah program we held at TSP in December to those passing by TSP would have been an enormous benefit to increase attendance. Given the location of the sign, we don't believe it will detract from the neighbourhood but will rather enhance the promotion of the various community programs that are frequently held at TSP.

I would be happy to discuss the matter further if that would be of benefit to you and your committee members. My phone number is 416-534-6398 or I can be reached at jflagal@rogers.com. Thank you for giving me the opportunity to make this submission to the committee.

Yours sincerely,

James Flagal
351 St. Clarens Avenue
Toronto Ontario
M6H 3W2

SleepCountry

City of Toronto Sign Variance Committee (by email to: jcole@steelart.com)

Attn: Nikoo Shabestari, Sign Bylaw Unit and SBVC

Re: Support for Trinity St. Paul's United Church's installation of a new ID ground sign with a Digital Graphic electronic digital element near its northeast corner (see attached)

As I manage the Sleep Country business right across from TSP, I have been asked by TSP for our support for their application for a new Digital Graphic Sign, which would better convey the variety of music, social services and training they provide for our neighbourhood.

Very few street passersby appreciate the wide variety of activities TSP supports within its walls.

Since the time I have been here, I have noticed people coming to the church have come into Sleep country on their way and that has helped our business grow.

We expect a lot more people in the area due to high rise buildings coming up. This sign will help them to know the wide variety of activities going on in the TSP.

I will cite a paragraph from the HALO Report (2017) compiled that has opened my eyes. "It is clear that Trinity-St. Paul's Church plays a key economic role in the community in which it is located. Our study suggests that TSP has an annual economic benefit (or HALO Effect) of \$3,164,096 on its surrounding neighbourhood...The congregation is home to 60+ cultural, educational, religious, recreational, community and social service groups facilitating the delivery of 10,456 volunteer hours towards the community. Notably, a significant aspect of the congregation's community's involvement is its engagement with the arts."

We have been told that the TSP Centre monthly brings in some 8,000 visitors every month for various music groups (Tafelmusik, the Toronto Consort), Saturday night dances, 2SLGBTQ+ groups, childcare, 12-step programs, etc). TSP is a very busy and vital social centre for midtown Toronto.

I cannot see how the proposed sign would have any negative impact on our local community. Quite the opposite. We support this new ID ground sign with its static digital display.



N. Havewalla
Sleep Country,
459 Bloor St. W

January 30, 2024

To Whom It May Concern:

I am writing today to offer Tafelmusik's support for the addition of a digital sign at the south/east corner of Trinity-St. Paul's Centre. We believe this sign will both add to the neighbourhood and contribute to the excellent work and dynamic artistic presentations hosted by Trinity-St. Paul's, including Tafelmusik's mainstage season.

The Annex neighbourhood and the Bloor Street Culture Corridor is home to numerous cultural institutions and a dynamic array of arts events. However, many of these organizations and events are lost under the tide of signage supporting condo developments and fast-food restaurants. We feel a digital sign at TSP, which uses both images and text, will not only add an aesthetically pleasing sign to the neighbourhood streetscape but contribute to the much-needed sharing of arts and culture information with the neighbourhood.

Thank you for considering the signage application put forth by Trinity-St.Paul's Centre.

Sincerely,

A handwritten signature in black ink, appearing to read 'Glenn Hodgins', with a stylized, flowing script.

Glenn Hodgins
Executive Director
Tafelmusik

APPENDIX C



January 26, 2024

Just Cole, Steel Art

To Whom it may Concern:

I am writing on behalf of VIVA Singers Toronto as a tenant of Trinity-St. Paul's Centre - based there for the last twenty-four years.

VIVA Singers Toronto runs all seven of our choirs, including rehearsals, performances, board meetings, and choir office from TSP Centre. We are fully dependent on its long-term viability.

As an arts organization, we enjoy excellent performance facilities, a superb location, and an accessible building to welcome disabled people - a central component of our choir's mandate.

We at VIVA Singers Toronto would be grateful for the presence of this new sign which would much more effectively communicate all that is housed in this downtown facility. The diverse activities which are supported and housed in TSP Centre enrich the Annex community and are not currently communicated with existing signage. VIVA Singers Toronto would greatly benefit from this enhancement which will further engage area residents and help to promote our charitable organization as we recover from the pandemic.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "Carol Ratzlaff", written over a large, light green wavy scribble.

Carol Ratzlaff

Founding Artistic Director,

VIVA Singers Toronto

VIVA Singers Toronto

Office 203, Trinity-St. Paul's Centre
427 Bloor St. W, P.O. Box 5, Toronto, ON M5S 1X7

☎ 416.788.8482

✉ admin@vivayouthsingers.com

🌐 vivasingerstoronto.com

📄 Charitable Registration #: 87887 0518 RR001

DECISION NOTICE FIRST PARTY SIGN VARIANCE

Location: 427 Bloor Street West (23-134723)

Any person who receives notice of the Chief Building Official's decision may appeal the decision to the Sign Variance committee, by filing the notice of appeal and paying the non-refundable fee (\$712.78) within 20 days of service of the notice of decision. Please contact the Sign By-Law Unit for more information.

For more
information:



Phone:
416-392-8000



Website:
www.toronto.ca/signs



Email:
signbylawunit@toronto.ca

Please reference the address and file number, so we can better assist you.

WHAT IT'S ABOUT – THE PROPOSAL:



A proposal to erect and display one first party illuminated electronic ground sign, displaying both electronic moving and static copy. The proposed sign contains two sign faces in a V shaped configuration and both facing Bloor Street. The sign face area of each face measures 2.53m vertically by 1.93m horizontally. Total height of the sign is 3.66m from the grade.

*****TRINITY - ST PAUL'S CENTRE*****

DECISION: **REFUSED**

It is the Chief Building Official's decision to refuse the proposal for the following reasons (three criteria in bold):

- ✓ Belongs to a sign class permitted in the sign district where the premises is located;
- ✓ Is not a third party sign;
- X Is not compatible with the development of the premises and surrounding area;**
- ✓ Supports the Official Plan objectives for the subject premises and surrounding area;
- ✓ Will not adversely affect public safety, including traffic and pedestrian safety;
- ✓ Is not a sign expressly prohibited by §694-15B of chapter 694;
- X Does alter the character of the premises or surrounding area; and**
- X Is, in the opinion of the Chief Building Official, contrary to the public interest.**



Decision date: February 7, 2024

Last day to appeal: March 4, 2024

PLEASE TURN THE PAGE FOR IMPORTANT INFORMATION



Mailed on: February 7, 2024

PLEASE SEE BELOW FOR MORE INFORMATION

THE CHIEF BUILDING OFFICIAL AND SIGN VARIANCE APPLICATIONS:

The role of the Chief Building Official is to make a fair and impartial decision regarding Sign Variance Applications for proposals which deviate from the prescribed regulations of the Sign By-law (Chapter 694, Signs, General), of the City of Toronto Municipal Code. The Chief Building Official considers the submission material provided by the applicant and interested parties, in favour or against the proposal. The Chief Building Official then makes a decision on the application, weighing the submissions filed with respect to the application. The Chief Building Official may grant a variance where it has been established that the proposed sign:

- Belongs to a sign class permitted in the sign district where the premises is located;
- Is not a third party sign;
- Is compatible with the development of the premises and surrounding area;
- Supports the Official Plan objectives for the subject premises and surrounding area;
- Will not adversely affect adjacent premises;
- Will not adversely affect public safety, including traffic and pedestrian safety;
- Is not a sign expressly prohibited by §694-15B of Chapter 694;
- Does not alter the character of the premises or surrounding area; and
- Is, in the opinion of the Chief Building Official, not contrary to the public interest.

DATE DECISION MAILED ON: February 7, 2024

LAST DAY TO APPEAL THE DECISION OF THE CHIEF BUILDING OFFICIAL TO THE SIGN VARIANCE COMMITTEE: March 4, 2024

APPEALING THE CHIEF BUILDING OFFICIAL'S DECISION:

Any person who receives notice of the Chief Building Official's decision may appeal the decision of the Chief Building Official to the Sign Variance Committee, by filing the notice of appeal in the form and manner approved by the Chief Building Official and paying the non-refundable fee prescribed in Chapter 441, Fees and Charges, within 20 days of service of the notice of decision.

Please note that a decision of the Sign Variance Committee, in the case of a decision to refuse to grant a variance, is final and binding on the date the decision was issued; and in the case of a decision to grant a variance or to grant a variance with conditions, the decision is final and binding 21 days after the date the decision was issued unless an application to consider is filed by the ward councillor in accordance with Subsection 694-30S of the City of Toronto Municipal Code.

Appeal forms and other information are available at the address described below.

**Sign By-Law Unit: Toronto City Hall, Ground Floor, East Tower
100 Queen Street West, Toronto, ON, M5H 2N2**

Toronto Building
William M. Johnston, P. Eng., Chief Building Official
and Executive DirectorSign Bylaw Unit
City Hall, Ground Floor East
100 Queen St West
Toronto, ON M5H 2N2Phone: (416) 392-8000
Fax:
Email: Nikoo.Shabestari@toronto.ca

Folder Name: 427 BLOOR ST W

Application Number: 22 183802 SGN 00 SP

City's Sign/Zoning bylaw Notice

ITEM DESCRIPTION

Sign Bylaw

For information purpose only:

This property is located in the CR - Commercial Residential sign district and is subject to the City of Toronto Municipal Code Chapter 694, Signs, General.

Summary of the proposal:

To erect and display one electronic ground sign displaying electronic moving copy. The sign contains two sign faces in a V shaped configuration, both facing Bloor Street.

Trinity - St. Paul's Centre

5. An electronic ground sign is not permitted in a CR-Commercial Residential sign district.(694-21D)
6. First party signs are not permitted to display Electronic moving copy.(694-20I)
7. There are other existing ground signs displaying static copy at the same frontage (Bloor St) which are going to be removed. Please be advised in a CR - Commercial Residential sign district, only one ground sign is permitted per frontage.[694-21D(3)]

This proposal needs variance. If you prefer to proceed with this proposal, please submit a Preliminary Project Review (PPR) application. May you need any assistance with applying for a PPR/ variance/ Signage Master Plan, contact Sign By-law Unit's main line at 416-392-8000 or via email at signbylawunit@toronto.ca

**RE: Re: [External] RE: Sign Review Team Meeting Feedback on Trinity St. Paul's United Church 427 BLOOR STREET W 22- 202457**

1 message

Nikoo Shabestari <Nikoo.Shabestari@toronto.ca>

Mon, Feb 12, 2024 at 1:39 PM

To: Jordan Clavette <jordanssignpermits@gmail.com>

Cc: Just Cole <jcole@steelart.com>, Greg Crompton <Greg.Crompton@toronto.ca>, signbylawunit <signbylawunit@toronto.ca>

Hi Jordan,

Please find the below details in terms of each of non- established criteria:

- **Be compatible with the development of the premises and surrounding area; has NOT been met.**

This property is located within CR sign district which no type of electronic sign is permitted.

Almost all buildings in the area are commercial residential.

There are residentials immediately to the north of the property.

There is no similar electronic sign at the area.

- **Not alter the character of the premises or surrounding area; has NOT been met.**

The character of the surrounding area is commercial + residential and that's why almost all signs at the area display static copy, not electronic copy.

Electronic copy is a sign type could be found in Industrial- employment and Commercial sign districts, not in a neighbourhood containing residential.

This sign will alter the character of the surrounding area because of displaying electronic copy and electronic moving copy.

- **Not be, in the opinion of the decision maker, contrary to the public interest. Has NOT been met.**

All above reasons in addition to the fact that the proposes sign will be the third or fourth sign at the same frontage, makes it contrary to the public interest.

It is very close to a major intersection.

And finally, electronic moving copy is not permitted even for third party signs in industrial, employment and commercial sign districts.

I hope it helps.

Regards,

Nikoo Shabestari (she/her)