CONFIDENTIAL APPENDIX "A" - made public on April 1, 2025

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March 12, 2025

Our File No.: 240185

Confidential and Without Prejudice

Planning & Administrative Tribunal Law City of Toronto Legal Services 55 John Street, 26th Floor, Metro Hall Toronto, ON M5V 3C6

Attention: Kasia Czajkowski and Adam Ward, City Legal

Re: 2636, 2640, 2642 and 2654 Eglinton Avenue West and 1856 and 1856A Keele Street,

City of Toronto

City of Toronto File No. 22 241754 WET 05 OZ

OLT Case No. OLT-24-000143

Confidential and Without Prejudice Offer to Settle

We are solicitors for Keeli Li GP Inc., the owner of the properties known municipally as 2636, 2640, 2642 and 2654 Eglinton Avenue West and 1856 and 1856A Keele Street in the City of Toronto (the "**Property**"). We are writing on behalf of our clients with a confidential and without prejudice settlement offer in respect of the above-noted matter.

As you know, our clients have participated in a multi-day without prejudice mediation with City staff and Metrolinx regarding the redevelopment proposal for the Property, that has resulted in the revised plans, prepared by gh3*, attached to this letter (the "Settlement Plans"). We are pleased to provide this settlement offer, which is the product of a comprehensive and collaborative discussions and supported by City staff and Metrolinx.

Background

The Property is located at the northwest corner of Eglinton Avenue West and Keele Street. Generally rectangular in shape, the Property has a site area of approximately 1,353.0 square metres based on frontage of approximately 42.2 metres along Eglinton Avenue West and 30.8 metres along Keele Street. The Property is currently occupied by a one-storey commercial building and a 2-storey mixed-use building. The Property is adjacent to the Keelesdale Light Rail Transit (LRT) station and within approximately 680 metres of the future Caledonia LRT/GO Station.

On January 5, 2023, after pre-consultation with City staff, our client filed a rezoning application (the "**Original Rezoning Application**") for the Property. The Rezoning Application was deemed complete on April 10, 2023 and a community consultation was held on September 18, 2023. On January 24, 2024, the Original Rezoning Application was appealed to the Ontario Land Tribunal (the "**OLT**" or "**Tribunal**"). In the appeal letter, identified its desire to participate in mediation with the City and any other parties who sought status at the OLT proceeding.

The Original Rezoning Application sought permission to redevelop the Property with a 33-storey mixed-use building, including approximately 370 new residential units, 324 square metres of non-residential space and an overall gross floor area of approximately 22,529 square metres. Since the Original Rezoning Application, our client filed revised plans that are currently the subject of the proceeding before the Tribunal (the "**Revised Rezoning Application**"). The Revised Rezoning Application seeks permission for a 42-storey building, including approximately 487 new residential units, 367 square metres of non-residential space and an overall gross floor area of approximately 27,857 square metres. Vehicular access is proposed from the east/west public laneway to the north of the Property providing access to internalized loading and servicing areas, with one level of underground parking.

The Settlement

Through the OLT led mediation with City staff and Metrolinx a number of revisions have been made to the Revised Rezoning Application, which have been incorporated into this without prejudice settlement offer, as shown in the Settlement Plans attached to this letter. In particular, we note the following fundamental components of the settlement:

Tower

- The height of the tower has been revised to 36 storeys, excluding mechanical.
- The massing of the tower has been revised and considered in the context of the block in consultation with Metrolinx, which owns the properties to the west and northwest of the Property. Of note, a Block Plan has been prepared through mediation with City staff and Metrolinx, which shows the setbacks of the proposal on the Property in relation to the existing tower at 1860 Keele Street to the north and a potential tower zone on the Metrolinx lands. As seen on the Block Plan, a location for a potential tower zone is shown on the Metrolinx lands and our client will enter into a Limiting Distance Agreement (LDA) with Metrolinx and the City to secure the separation distances shown in the Block Plan appended to this letter in relation to the Metrolinx lands.
- The tower floorplate on the Property is 750 square metres in size.

Residential Use

• A minimum of 15% of total units will be two-bedroom and a minimum of 10% of total units will be three-bedroom.

Amenity Space

• A minimum of indoor and outdoor amenity space of 4.0 square metres per unit will be provided.

Transportation:

- Loading spaces of one (1) Type "C" and one (1) Type "G" will be required, with no loading space being required for the retail use proposed at grade.
- Vehicular ingress and egress for the Property will be taken from Keele Street.

Bicycle Parking:

- Bicycle parking will be provided in accordance with Bicycle Zone 1 for dwelling units in a mixed-use building under City of Toronto Zoning By-law 569-2013.
- In accordance with AQ 2.6 of the Toronto Green Standard (TGS) Version 4.0, at least 10 additional publicly accessible, short-term bicycle parking spaces, at-grade on the site or within the public boulevard will be provided in addition to bicycle parking required under AQ 2.1.

Toronto Green Standards

• At a minimum, Tier 1 of Version 4.0 of the Toronto Green Standard will be applied to the project.

In addition, our client as part of this settlement offer has agreed to work with City staff to review opportunities to increase plantings / soil volumes on Eglinton Avenue West abutting the Property.

Conclusion

Our client is prepared to proceed to the Ontario Land Tribunal (the "OLT") on the basis of the without prejudice Settlement Plans attached to this letter to achieve a settlement with the City. In addition to the revisions which are shown in the Settlement Plans, and described above, our clients would agree to request that the OLT withhold its final Order for the Zoning By-law Amendment for the Property pending:

• The form and content of the Zoning By-law Amendment is satisfactory to the Executive Director, Development Review and the City Solicitor and Metrolinx;

- The owner has addressed all outstanding issues identified within the Engineering and Construction Services memorandum, dated February 12, 2024, to the satisfaction of the Chief Engineer and Executive Director, Engineering and Construction Services;
- The owner has submitted a revised Functional Servicing and Stormwater Management Report, Servicing Report Groundwater Summary, Foundation Drainage Summary Form, Foundation Drainage Technical Brief and Hydrological Review Summary to the satisfaction of the Chief Engineer and Executive Director, Engineering and Construction Services:
- The owner makes satisfactory arrangements with Engineering and Construction Services and enters into the appropriate agreement(s) with the City for the design and construction of any improvements to the municipal infrastructure, should it be determined that upgrades are required to the infrastructure to support this development, according to the Functional Servicing and Stormwater Management Report accepted by the Chief Engineer and Executive Director, Engineering and Construction Services;
- The owner has submitted an Environmental Noise and Vibration Assessment, such report to be peer reviewed by a third-party consultant on behalf of the City and at the owner's expense, to the satisfaction of the Executive Director, Development Services;
- The owner has provided a revised Pedestrian Level Wind Study including a revised Wind Tunnel test with the identification of any required mitigation measures to be secured in the Zoning By-law amendment and through the Site Plan Control process, to the satisfaction of the Executive Director, Development Review;
- The owner has addressed all outstanding issues raised by Metrolinx noted in correspondence, dated March 28, 2022, including the need for a technical review and makes required revisions, to the satisfaction of the Manager, Technical Review, Metrolinx;
- The owner has addressed and accommodated the required road widening, noted in correspondence, dated February 12, 2024, to the satisfaction of the General Manager, Transportation Services;
- The owner has submitted a revised Transportation Impact Study, including all requested revisions, to the satisfaction of the General Manager, Transportation Services;
- The owner has addressed all outstanding issues raised by Urban Forestry noted in correspondence, dated March 29, 2023, including the need for an updated Arborist Report, Landscape Plan, Planting Plan and Soil Volume Plan, to the satisfaction of the General Manager of Parks, Forestry and Recreation;

Landscape Plan, Planting Plan and Soil Volume Plan, to the satisfaction of the General Manager of Parks, Forestry and Recreation;

- The owner has made revisions to meet the Toronto Green Standard requirements to the satisfaction of the Executive Director, Development Review;
- The owner has provided an acceptable Tenant Relocation and Assistance Plan to address Official Plan Policies 3.2.1.12, to the satisfaction of the Executive Director, Development Review and City Solicitor; and
- The Owner has entered into a Limiting Distance Agreement with the City and Metrolinx, which would secure the tower setbacks and separation distances shown on the Block Plan attached to this letter to the satisfaction of Executive Director, Development Review, City Solicitor and Metrolinx.

Our client and its consultant team appreciate City staff's extensive efforts to work with our client, with such discussions resulting in this without prejudice settlement offer. We are hopeful that City Council will instruct the City solicitor to support approval of the settlement at the OLT.

The settlement offer remains open until the end of the City Council meeting scheduled to commence on March 26, 2025.

Yours truly,

Goodmans LLP

Joe Hoffman JBH/

1387-5405-8515

2634, 2636, 2640, 2642 & 2654 EGLINTON AVENUE WEST AND 1856 & 1856A KEELE STREET

1.0 PROJECT SUMMARY

SITE AREA: 1352.6 m² **TOTAL GFA**: 23,591 m² **FSI:** 17.4 NEW RESIDENTIAL UNITS: 432

2.0 BUILDING HEIGHTS **TOWER:** 115.1 m MECH. PENTHOUSE: 6 m

TOTAL: 121.1 m

10.5.40.40 Floor Area **Gross Floor Area Calculations for an Apartment** Building as per By-Law 569-2013 In the Residential Zone category, the gross floor area of an apartment building is reduced by the area in the building used for: (A) parking, loading and bicycle parking below (B) required loading spaces and required bicycle parking spaces at or above (C) storage rooms, washrooms, electrical, utility, mechanical and ventilation rooms in (D) shower and change facilities required by this By-law for required bicycle parking spaces; (E) indoor amenity space required by this By-

> elevator shafts; garbage shafts; mechanical penthouse; and exit stairwells in the building.

Level	STUDIO	1B	1B+D	2B	2B+D	3B	Tota Unit
RESIDENTIAL		450-550 sq.ft	550-650 sq.ft	650-750 sq.ft		750+ sq.ft	
LEVEL 2 (AMENITY)	0	4	6	0	0	2	12
LEVEL 3 (AMENITY)	0	3	5	0	0	2	10
LEVEL 4 (AMENITY)	0	0	0	0	0	0	0
LEVEL 5-7	0	9	6	6	0	12	33
LEVEL 8-36	58	116	58	116	0	29	377
	58	132	75	122	0	45	432

3.2 RESIDENTIAL UNITS

Unit Type	STUDIO	1B	1B+D	2B	2B+D	3B	TOTA
No. Units	58	132	75	122	0	45	432
Unit Mix	13.4%	30.6%	17.4%	28.2%	0%	10.4%	100%

3.0 FLOOR AREA

					3.1	FLOOR AREA - AI	BOVE GRADE					
Laval	# of	G	ica		GFA					Amenity		
Level	Levels	GCA/Level (m²)	Total GCA (m²)	GFA Deductions (m2)	Total GFA (SF)	Total GFA (m2)	Residential GFA (m2)	Non-Resi / Retail GFA (m2)	Leasable (m2)	Indoor Amenity (m2)	Outdoor Amenity (m	
		* EXCL. BALCONIES	* EXCL. BALCONIES	* AS PER BY-LAW 569-2013								
RETAIL												
LEVEL 1	1	367	367 m ²	0 m ²	3953 SF	367 m ²	0 m ²	367 m ²	367 m ²	0 m ²	0 m ²	
	1	367	367 m²	0 m ²	3953 SF	367 m ²	0 m ²	367 m²	367 m ²	0 m ²	0 m ²	
RESIDENTIAL												
LEVEL 1	1	787	787 m ²	661 m ²	1359 SF	126 m ²	126 m ²	0 m ²	0 m ²	0 m ²	0 m ²	
L1 MEZZ.	1	463	463 m ²	415 m ²	523 SF	49 m ²	49 m ²	0 m ²	0 m ²	0 m ²	0 m ²	
LEVEL 2 (AMENITY)	1	1,005	1,005 m ²	347 m ²	7082 SF	658 m ²	658 m ²	0 m ²	592 m ²	2802 m ²	85 m ²	
LEVEL 3 (AMENITY)	1	830	830 m ²	218 m ²	6583 SF	612 m ²	612 m ²	0 m ²	512 m ²	152 m ²	281 m ²	
LEVEL 4 (AMENITY)	1	542	542 m ²	499 m²	462 SF	43 m ²	43 m ²	0 m ²	0 m ²	432 m ²	476 m ²	
LEVEL 5-7	3	753	2,,2601 m ² 2	240 m ²	21750 SF	2,021 m ²	2,021 m ²	0 m ²	1,854 m ²	0 m ²	0 m ²	
LEVEL 8-36	29	753	21,848 m ²	2,138 m ²	212157 SF	19,710 m ²	19,710 m ²	0 m ²	17,920 m ²	0 m ²	0 m ²	
PH	1	464	464 m²	458 m ²	66 SF	6 m ²	6 m ²	0 m ²	0 m ²	0 m ²	0 m ²	
		5,598	28,200 m ²	4,976 m ²	249982 SF	23,224 m ²	23,224 m ²	0 m ²	20,878 m ²	86 6 m²	842 m ²	
ABOVE GRADE TOTAL		5,965	28,567 m ²	4,976 m ²	253935 SF	23,591 m ²	23,224 m ²	367 m ²	21,246 m ²	866 m²	842 m ²	
36 STOREYS					GRAND TOTAL	GFA 23 501 m ²	RESIDENTIAL GFA	NON-RES. GFA	LEASABLE			

33 STOREYS (PREVIOUS PROPOSAL)

RESIDENTIAL GFA NON-RES. GFA 22,529 m² 22,205 m² 324 m²

		4.1 AM	ENITY			
Total Units	Lovel		An	nenity		
Total Utilis	Level	Outdoor	Outdoor / Unit	Indoor	Indoor / Unit	2sm / UNIT REQUIRED, 4sm /UNIT COMBINED REQUIREMENT
432	Levedyrazi, ies & 4	842 m ²	2.9 m ²	8 66 m ²	2. 0 m ²	4.0 m ² /unit combined amenity total provided

						5.1 CAR PARK	KING						
	Residential Car Parking				Visitor Car Parking			Retail Car Parking				Total Car	
4 6 661	Regular	Barrier-Free	Fotal (₽\/ 1499%%)	Regular	Barrier-Free	Fotal	EW (25%)	Regular	Barrier-Free	Fotali	EW (25%)	Total Car Parking
PH	3	67	98	98	33	3	6g	2	ф	Ъ	-	h	154
TOTAL	3	67	98	9	33	33	₽ B	2	h	<u>՝</u> Գ	h		154

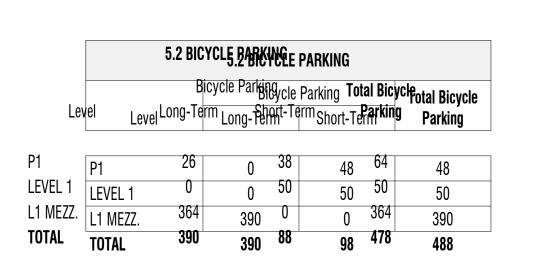
Vehicle Parking Notes All parking spaces marked with 'EV' supplied with an energized outlet capable of providing Level 3 charging or higher

|--|

7.0 OTOTI/IGE			
	6.1 LOCKERS		
a		29	

7.0 LOADING

7.1 LOADING					
Level	Count	Туре			
LEVEL 1	1	TYPE G LOADING			
LEVEL 1	1	TYPE C LOADING			



* **15% OF LONG-TERM** 389 87+10 476+10 * 15% OF LONG-STEROLES C/W ELEGGRIC REQUIRED 10 REQUIRED 10 REQUIRED SPACES C/W ELECTRIGING PORTEQUIRED REQUIRED REQUIRED CHARGING PORT Bicycle Parking Rates
Bicycle Parking Rates
Bicycle Parking Rates

Bicycle Parking Rates

Bicycle Parking Rates

Form Parking Spaces per Unit

0.9 Long-Term Parking Spaces Refig Spaces per Unit

0.2 Short-Term Backing Spaces Parking Proximity Spaces (REFER TO SITE PLAN FOR LOCATION)

+10 Short-Term Transit Proximity Spaces (REFER TO SITE PLAN FOR LOCATION)

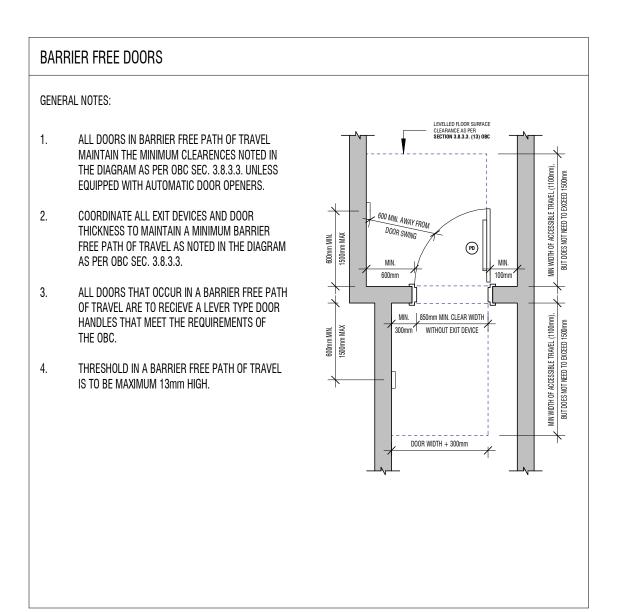
8.0 WASTE

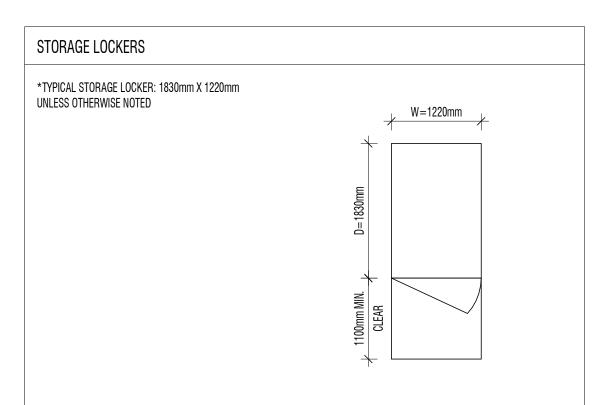
8.1 WASTE STORAGE AREA					
Level	Area Type	Area			
LEVEL 1	RESIDENTIAL WASTE	140 m ²			
LEVEL 1	RETAIL WASTE	30 m ²			
		170 m ²			

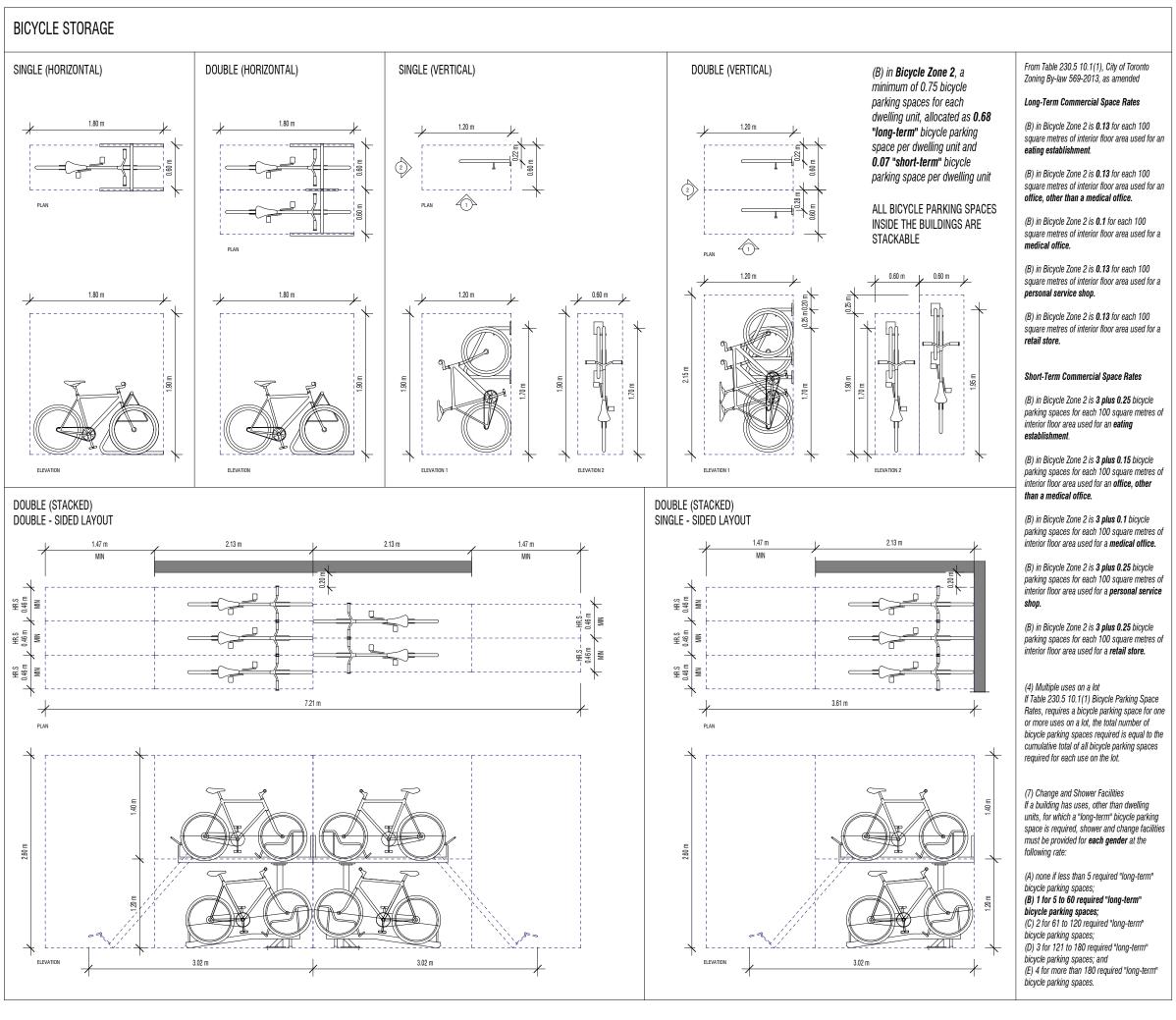
Waste Storage Requirements

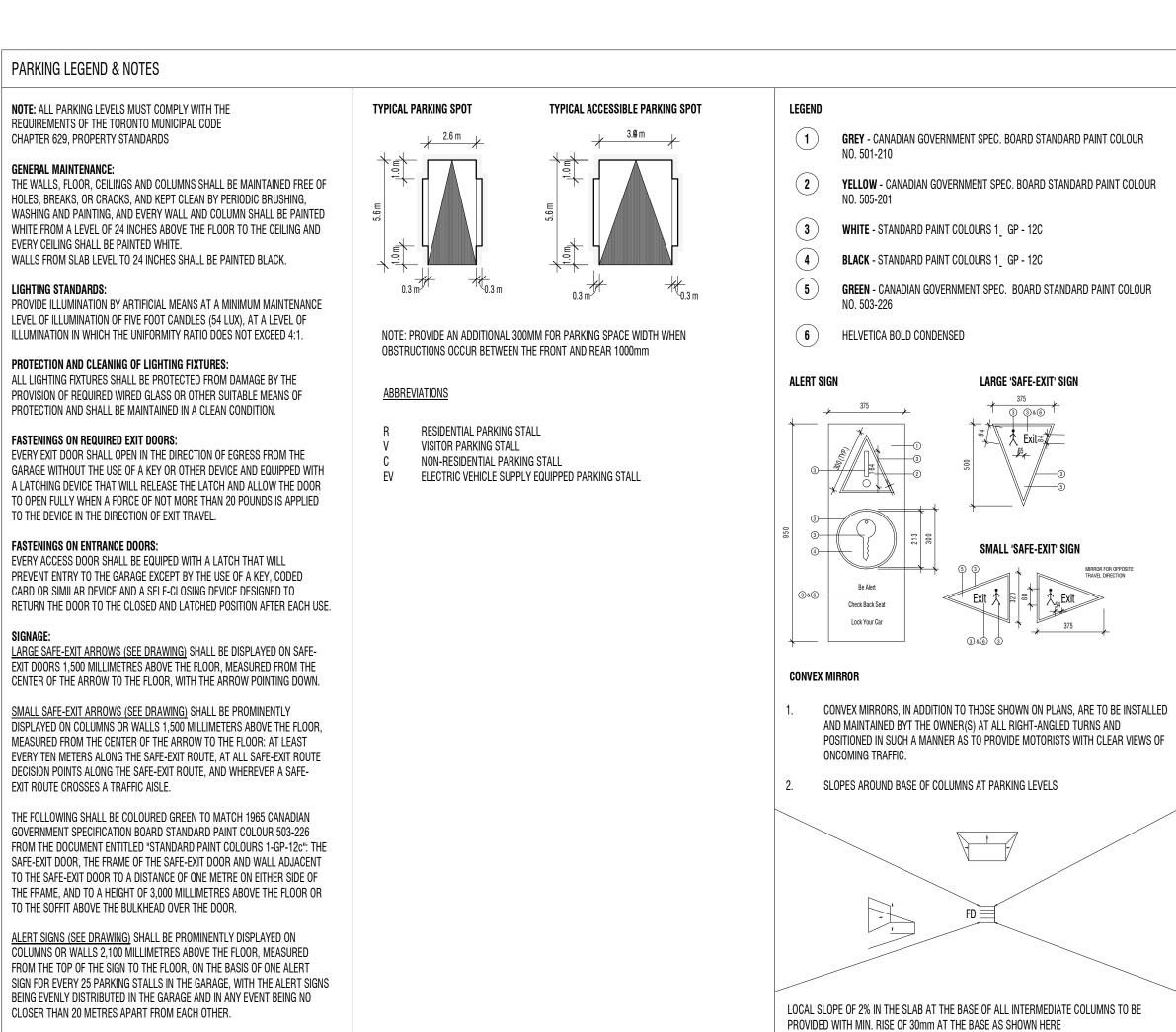
Methods of Waste Separation are as follows:

 Single chute equipped with a tri-sorter servicing Level 1 - Mech PH • Req'd Storage Area = $(Unit Count-50)x0.26)+25 = 124 m^2$ • 10 m² for bulk items, • min. 1 m² area, per 100 units, for household hazardous waste storage (5.1 m²)











Green Roof Statistics

The Green Roof Statistics Template is required to be submitted for Site Plan Control Applications where a green roof is required under the Toronto Municipal Code Chapter 492, Green Roofs. Complete the table below and copy it directly onto the Roof Plan submitted as part of any Site Plan Control Application requiring a green roof in accordance with the Bylaw. Refer to Section § 492-1 of the Municipal Code for a complete list of defined terms, and greater clarity and certainty regarding the intent and application of the terms included in the template. The Toronto Municipal Code Chapter 492, Green Roofs can be found online at: http://www.toronto.ca/legdocs/municode/1184_492.pdf

Green Roof Statistics

General Project Description

		Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m ²)		>20,000 m ²
Total Roof Area (m²)		962 m ²
Area of Residential Private Terraces (m ²)	EXCLUDED	110 m²
Rooftop Outdoor Amenity Space, if in a Residential Building (m	²) EXCLUDED	184 m²
Area of Renewable Energy Devices (m ²)	EXCLUDED	-
Tower (s)Roof Area with floor plate less than 750 m ²		697 m ²
Total Available Roof Space (m²)		697 m²
Green Roof Coverage	Required	Proposed
Coverage of Available Roof Space (m ²)	418.2 m ²	521 m ²
Coverage of Available Roof Space (%)	60%	75%

Toronto Green Standard Version Aghoise Residential and all New Non-Residential Development

Proposed

TOTAL GROSS FLOOR AREA		22,529 m ²	
BREAKDOWN OF PROJECT COMPONENTS (m²)			
RESIDENTIAL		22,205 m ²	
RETAIL		324 m ²	
COMMERCIAL		N/A	
INDUSTRIAL		N/A	
INSTITUTIONAL / OTHER		N/A	
TOTAL NUMBER OF RESIDENTIAL UNITS		370 /	/
Section 1: For Stand Alone Zoning Bylaw Amendment Applications and S	ite Plan Control		
Applications Low Emissions Transportation	Required	Proposed	Proposed %
NUMBER OF PARKING SPACES	-	63	-
NUMBER OF PARKING SPACES WITH EVSE (RESIDENTIAL)	53+3 Visitor	53+3 Visitor	100%
NUMBER OF PARKING SPACES WITH EVSE (NON-RESIDENTIAL)	1	/ 1	100%
Cycle Infrastructure	Required	Proposed	Proposed %
<u> </u>		'1	

Low Emissions Transportation	Required	Propøsed	Proposed %
NUMBER OF PARKING SPACES	-	63	-
NUMBER OF PARKING SPACES WITH EVSE (RESIDENTIAL)	53+3 Visitor	53+3 Visitor	100%
NUMBER OF PARKING SPACES WITH EVSE (NON-RESIDENTIAL)	1	/ 1	100%
Cycle Infrastructure	Required	Proposed	Proposed %
NUMBER OF LONG-TERM BICYCLE PARKING SPACES (ALL-USES)	333	348	>100%
NUMBER OF LONG-TERM BICYCLE PARKING (RESIDENTIAL AND ALL OTHER			
USES HASASEBREY OF BUILDING		0	0%
B) SECOND STOREY OF BUILDING		94	27%
C) FIRST LEVEL BELOW-GROUND		184	53%
D) SECOND LEVEL BELOW-GROUND		70	20%
E) OTHER LEVELS BELOW-GROUND \		0	0%
NUMBER OF SHORT-TERM BICYCLE PARKING SPACES	85	86	>100%
NUMBER OF SHOWER AND CHANGE FACILITIES	N/A	N/A	N/A
Tree Canopy	Required	Proposed	Proposed %
TOTAL SOIL VOLUME (40% OF THE SITE AREA ÷ 66m² X 30m³)	246 m³	144 m³	58%
SOIL VOLUME PROVIDED WITHIN THE SITE AREA (m³)		84 m³	
SOIL VOLUME PROVIDED WITHIN THE PUBLIC BOULEVARD (m³)		60 m ³	
	. , , , , , ,		. , , , , , , , , , , , , , , , , , , ,

Section 2: For Site Plan Control Applications Cyclo Infractructuro

Cycle Infrastructure	Required	Proposed	Proposed %
NUMBER OF SHORT-TERM BICYCLE PARKING SPACES (ALL USES) AT-GRADE OR ON FIRST LEVEL BELOW GRADE	85	86	>100%
NUMBER OF PUBLICLY ACCESSIBLE BICYCLE PARKING SPACES	10	36	>100%
NUMBER OF ENERGIZED OUTLETS FOR ELECTRIC BICYCLES	50	52	>100%
Tree Canopy	Required	Proposed	Proposed %
TOTAL SITE AREA (M2)		1352.6 m ²	
TOTAL SOIL VOLUME (40% OF THE SITE AREA ÷ 66 m ² X 30 m ³)	246 m ³	144 m³	58%
TOTAL NUMBER OF TREES PLANTED		N/A	
NUMBER OF SURFACE PARKING SPACES (IF APPLICABLE)		N/A	
NUMBER OF SHADE TREES LOCATED IN SURFACE PARKING AREA		N/A	
Landscaping & Biodiversity	Required	Proposed	Proposed %
TOTAL NON-ROOF HARDSCAPE AREA (m²)		290 m ²	
TOTAL NON-ROOF HARDSCAPE AREA TREATED FOR URBAN HEAT ISLAND (MINIMUM RESIDENTIAL 75% OR NON-RESIDENTIAL 50%) (M²)	145 m²	254 m²	>100%
AREA OF NON-ROOF HARDSCAPE TREATED WITH: (INDICATE M²)			
A) HIGH-ALBEDO SURFACE MATERIAL		254 m ²	100%
B) OPEN-GRID PAVEMENT		0 m ²	0%
C) SHADE FROM TREE CANOPY		0 m ²	0%
D) SHADE FROM HIGH-ALBEDO STRUCTURES		0 m ²	0%
E) SHADE FROM ENERGY GENERATION STRUCTURES		\ 0 m²	0%
PERCENTAGE OF LOT AREA AS SOFT LANDSCAPING (NON-RESIDENTIAL ONLY)		37 m ²	2.7%
TOTAL NUMBER OF PLANTS		234	
TOTAL NUMBER OF NATIVE PLANTS AND % OF TOTAL PLANTS	50%	117 m²	50%
AVAILABLE ROOF SPACE (M²)		668 m²	
AVAILABLE ROOF SPACE PROVIDED AS GREEN ROOF (M²)	401 m ²	492 m ² \	74%
AVAILABLE ROOF SPACE PROVIDED AS COOL ROOF (M²)		N/A	
AVAILABLE ROOF SPACE PROVIDED AS SOLAR PANELS (M²)		N/A	
Bird Collision Deterrence	Required	Proposed	Proposed %
TOTAL AREA OF GLAZING OF ALL ELEVATIONS WITHIN 16M ABOVE GRADE		917 m ²	
TOTAL AREA OF TREATED GLAZING (MINIMUM 85% OF TOTAL AREA OF GLAZING WITHIN 16M ABOVE GRADE) (M²)	779 m²	917 m²	1,00%
PERCENTAGE OF GLAZING WITHIN 16M ABOVE GRADE TREATED WITH:			
A) VISUAL MARKERS		733 m ²	80%
B) NON-REFLECTIVE GLASS		184 m ²	20%
C) BUILDING INTEGRATED STRUCTURES		0 m ²	0%

3 Oct.26.22 Coordintation 2 Oct.6.22 Coordination

1 Sep.29.22 Coordination

Rev. Date Issued

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GENERAL NOTES:

1. Drawings are not to be scaled. Contractor

will verify all existing conditions and dimensions required to perform the Work

in conjunction with all other Contract

and will report any discrepancies with the

Documents including the Project Manuals and the Structural, Mechanical and

Electrical Drawings. In cases of difference

between the Consultants' documents with

respect to the quantity, sizes or scope of

Mechanical or Electrical devices, fittings

Architectural Drawings. Locations shown

over Mechanical and Electrical Drawings.

located will be located as directed by the

4. Dimensions indicated are taken between

the faces of finished surfaces unless

5. The architect has not been retained for

techniques of construction.

supervision of construction and assumes

6. These documents are not to be used for construction unless specifically noted for

no responsibility for means, methods and

otherwise noted.

such purpose.

Mechanical and Electrical items not clearly

on the Architectural Drawings shall govern

work, the greater shall apply.

3. Positions of exposed or finished

and fixtures are indicated on the

Contract Documents to the Architect before commencing work.
2. The Architectural Drawings are to be read

gh3* 55 OSSINGTON AVE, SUITE 100 Toronto, ON, Canada M6J 2Y9 416 915 1791

FORA

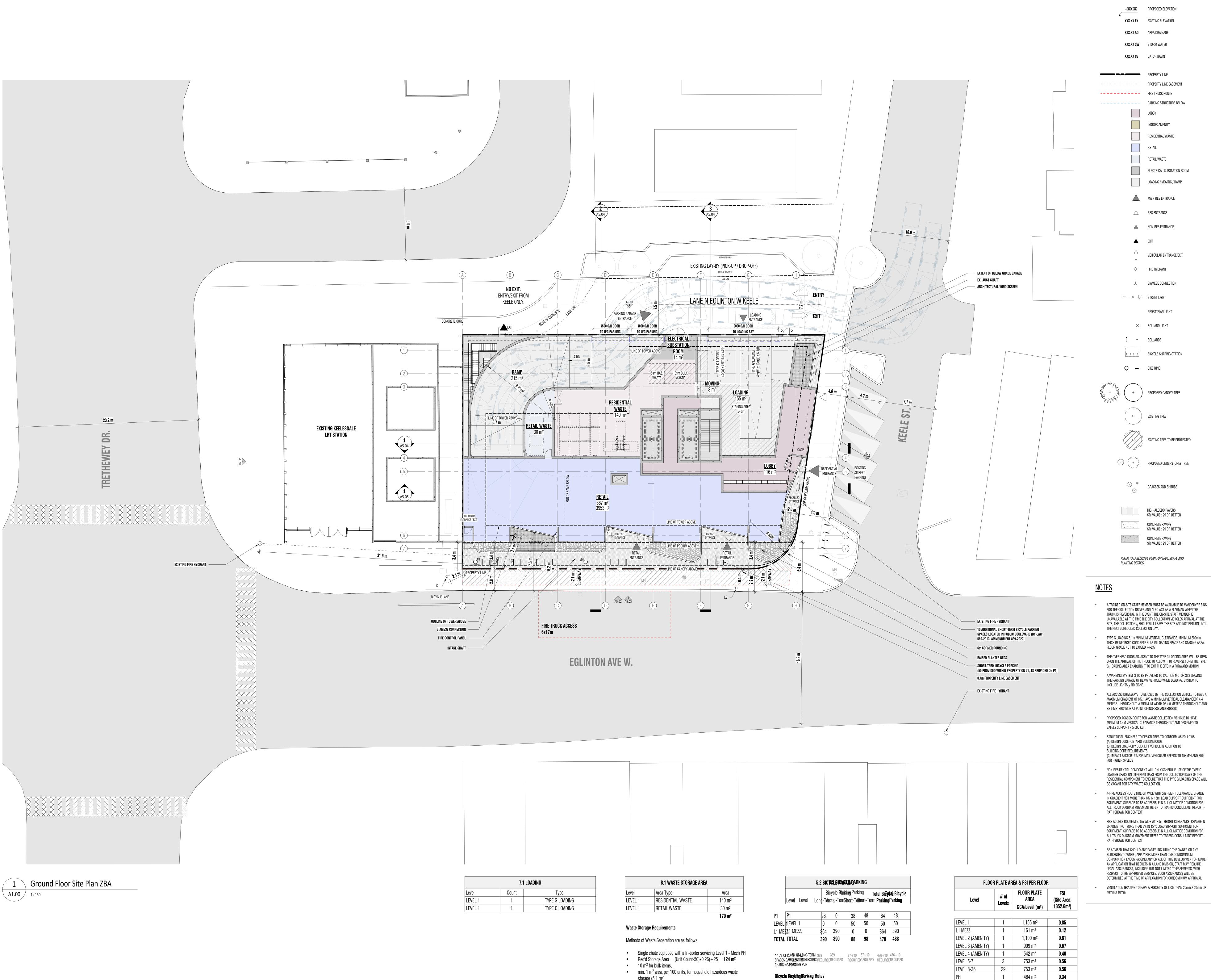
2634, 2636, 2640, 2642 & 2654 EGLINTON AVENUE **WEST AND 1856 & 1856A KEELE STREET**

TORONTO, ONTARIO

Project North True North

SCALE As indicated PROJECT NO. 202202 ISSUE DATE NOV. 14, 2024

A0.01



storage (5.1 m²)

0.9 Long Peron Patking Backing Spacestper Unit 0.2 Shoft-2 & hofter king Backing Spacestper Unit

+10 Short-Organoit-Transin Firoxigity Provincity Spreech (Restretolantegrandgarion)

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SITE PLAN LEGEND

+XXX.XX PROPOSED ELEVATION

XXX.XX EX EXISTING ELEVATION

XXX.XX AD AREA DRAINAGE

XXX.XX SW STORM WATER

XXX.XX CB CATCH BASIN

PARKING STRUCTURE BELOW

INDOOR AMENITY

RETAIL

RETAIL WASTE

MAIN RES ENTRANCE

RES ENTRANCE

NON-RES ENTRANCE

FIRE HYDRANT

STREET LIGHT

⊗ BOLLARD LIGHT

BICYCLE SHARING STATION

PROPOSED UNDERSTOREY TREE

GRASSES AND SHRUBS

SRI VALUE: 29 OR BETTER

CONCRETE PAVING SRI VALUE : 29 OR BETTER

CONCRETE PAVING SRI VALUE: 29 OR BETTER

REFER TO LANDSCAPE PLAN FOR HARDSCAPE AND

FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF MEMBER IS

TYPE G LOADING 6.1m MINIMUM VERTICAL CLEARANCE. MINIMUM 200mm

THICK REINFORCED CONCRETE SLAB IN LOADING SPACE AND STAGING AREA.

THE OVERHEAD DOOR ADJACENT TO THE TYPE G LOADING AREA WILL BE OPEN

UPON THE ARRIVAL OF THE TRUCK TO ALLOW IT TO REVERSE FORM THE TYPE

 G_T oading area enabling it to exit the site in a forward motion.

A WARNING SYSTEM IS TO BE PROVIDED TO CAUTION MOTORISTS LEAVING

THE PARKING GARAGE OF HEAVY VEHICLES WHEN LOADING. SYSTEM TO

MAXIMUM GRADIENT OF 8%, HAVE A MINIMUM VERTICAL CLEARANCEOF 4.4

PROPOSED ACCESS ROUTE FOR WASTE COLLECTION VEHICLE TO HAVE MINIMUM 4.4M VERTICAL CLEARANCE THROUGHOUT AND DESIGNED TO

STRUCTURAL ENGINEER TO DESIGN AREA TO CONFORM AS FOLLOWS:

(C) IMPACT FACTOR -5% FOR MAX. VEHICULAR SPEEDS TO 15KM/H AND 30%

NON-RESIDENTIAL COMPONENT WILL ONLY SCHEDULE USE OF THE TYPE G LOADING SPACE ON DIFFERENT DAYS FROM THE COLLECTION DAYS OF THE

RESIDENTIAL COMPONENT TO ENSURE THAT THE TYPE G LOADING SPACE WILL

(B) DESIGN LOAD -CITY BULK LIFT VEHICLE IN ADDITION TO

BE 6 METERS WIDE AT POINT OF INGRESS AND EGRESS.

METERS $_{\mathsf{T}}$ HROUGHOUT, A MINIMUM WIDTH OF 4.5 METERS THROUGHOUT AND

UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVAL AT THE

PLANTING DETAILS

FLOOR GRADE NOT TO EXCEED +/-2%

INCLUDE LIGHTS $_{\mathsf{A}}$ ND SIGNS.

SAFELY SUPPORT ₃ 5,000 KG.

BUILDING CODE REQUIREMENTS

FOR HIGHER SPEEDS

(A) DESIGN CODE -ONTARIO BUILDING CODE

BE VACANT FOR CITY WASTE COLLECTION.

HIGH-ALBEDO PAVERS

BOLLARDS

— BIKE RING

 \neg

SIAMESE CONNECTION

PEDESTRIAN LIGHT

ELECTRICAL SUBSTATION ROOM

LOADING / MOVING / RAMP

VEHICULAR ENTRANCE/EXIT

RESIDENTIAL WASTE

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• 4-FIRE ACCESS ROUTE MIN. 6m WIDE WITH 5m HEIGHT CLEARANCE, CHANGE IN GRADIENT NOT MORE THAN 8% IN 15m; LOAD SUPPORT SUFFICIENT FOR EQUIPMENT; SURFACE TO BE ACCESSIBLE IN ALL CLIMATICE CONDITION FOR ALL TRUCK DIAGRAM MOVEMENT REFER TO TRAFFIC CONSULTANT REPORT -PATH SHOWN FOR CONTEXT

FIRE ACCESS ROUTE MIN. 6m WIDE WITH 5m HEIGHT CLEARANCE, CHANGE IN GRADIENT NOT MORE THAN 8% IN 15m; LOAD SUPPORT SUFFICIENT FOR EQUIPMENT; SURFACE TO BE ACCESSIBLE IN ALL CLIMATICE CONDITION FOR ALL TRUCK DIAGRAM MOVEMENT REFER TO TRAFFIC CONSULTANT REPORT -PATH SHOWN FOR CONTEXT

 BE ADVISED THAT SHOULD ANY PARTY INCLUDING THE OWNER OR ANY SUBSEQUENT OWNER , APPLY FOR MORE THAN ONE CONDOMINIUM CORPORATION ENCOMPASSING ANY OR ALL OF THIS DEVELOPMENT OR MAKE AN APPLICATION THAT RESULTS IN A LAND DIVISION, STAFF MAY REQUIRE LEGAL ASSURANCES, INCLUDING BUT NOT LIMITED TO EASEMENTS, WITH RESPECT TO THE APPROVED SERVICES. SUCH ASSURANCES WILL BE

DETERMINED AT THE TIME OF APPLICATION FOR CONDOMINIUM APPROVAL VENTILATION GRATING TO HAVE A POROSITY OF LESS THAN 20mm X 20mm OR 40mm X 10mm

 \triangle Project North True North SCALE As indicated PROJECT NO. 202202

2634, 2636, 2640, 2642 &

2654 EGLINTON AVENUE **WEST AND 1856 & 1856A**

KEELE STREET

TORONTO, ONTARIO

ISSUE DATE 0CT. 29, 2024 **GROUND FLOOR SITE PLAN**

A1.00

6123

6123

A5.02

1 PH (NEW)
A2.00B 1:100

FL00	R PLATE AR	REA & FSI PER FLOOF	R
Level	# of Levels	FLOOR PLATE Area	FSI (Site Area:
	revei2	GCA/Level (m²)	1352.6m ²)
LEVEL 1	1	1,155 m²	0.85
L1 MEZZ.	1	161 m ²	0.12
LEVEL 2 (AMENITY)	1	1,100 m ²	0.81
LEVEL 3 (AMENITY)	1	909 m²	0.67
LEVEL 4 (AMENITY)	1	542 m ²	0.40
LEVEL 5-7	3	753 m ²	0.56
LEVEL 8-36	29	753 m²	0.56
PH	1	464 m²	0.34

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Mechanical or Electrical devices, fittings
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PORA 2634, 2636, 2640, 2642 & 2654 EGLINTON AVENUE WEST AND 1856 & 1856A

TORONTO, ONTARIO

Project North

True North

SCALE 1:100
PROJECT NO. 202202
ISSUE DATE 0CT. 29, 2024

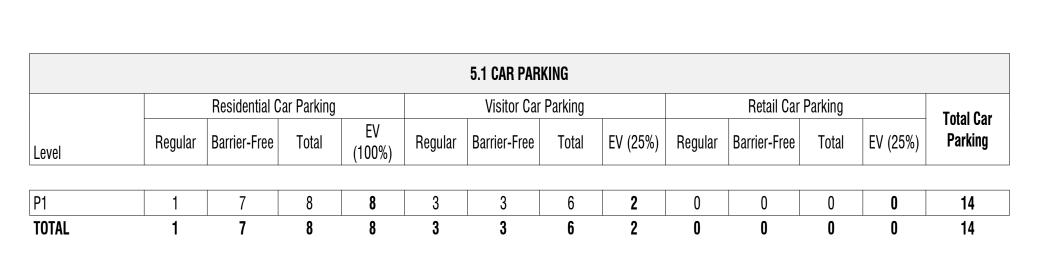
ROOF PLAN (NEW)

A2.00B

500x800mm Stair Pressurization Shaft LINE OF TOWER ABOVE * 60sqm REQUIRED 500x800mm STAIR PRESSURIZATION SHAFT **GEOTHERMAL** SUPPLIED WITH AN ENERGIZED OUTLET CAPABLE OF PROVIDING * 80sqm REQUIRED LEVEL 2 CHARGING OR HIGHER. * 2.8m VERTICAL CLEARANCE RESIDENT PARKING LINE OF RAMP ABOVE O/H DOOR TO RES. PARKING EXIT STAIR TO GROUND FLOOR LOBBY DRIVE AISLE ELEVATOR CORE ABOVE — TURN-AROUND — 1525mm PIT DEPTH + SPACE 300mm PIT BOTTOM. LOWERED CEILING HEIGHT IN HATCHED AREA. ——— BICYCLE PARKING 25% OF VISITOR PARKING SPACES SUPPLIED WITH AN ENERGIZED SLAB OVERHEAD (VISITOR) 12 SPACES OUTLET CAPABLE OF PROVIDING LEVEL 2 CHARGING OR HIGHER. 37.53 m 41.56 m 31 sec LINE OF TOWER ABOVE LINE OF TOWER ABOVE LINE OF L1 ABOVE <u>┡</u>┽╾╾╱╤╾┆┰╾╾┛ INCOMING DOMESTIC
AND FIRE SERVICE INCOMING DOMESTIC & FIRE SERVICE (3m FRONTAGE ON KEELE REQ'D) 6m CORNER ROUNDING 0.4m PROPERTY LINE EASEMENT PROPERTY LINE SHORT-TERM STORM CONTROL MANHOLE (1.2x1.2m)
STORM WATER TANK ACCESS - SANITARY CONTROL MANHOLE (1.2x1.2m) **BICYCLE PARKING** SECONDARY FIRE SERVICE OF 600mm 1.5m FRONTAGE EMERGENCY OVERFLOW (VISITOR) 38 SPACES LINE OF INTAKE SHAFT AT LEVEL 1 A5.02 A5.03

A5.02

1 P1 ZBA (Flat)
A2.03 1:100



Vehicle Parking Notes
All parking spaces marked with 'EV' supplied with an energized outlet capable of providing Level 2 charging or higher

LLVLL I	U	JU	30
L1 MEZZ.	390	0	390
TOTAL	390	98	488
* 15% OF LONG-TERM SPACES C/W ELECTRIC CHARGING PORT	389 REQUIRED	87+10 REQUIRED	476+10 REQUIRED
Bicycle Parking Rate 0.9 Long-Term Parkin 0.2 Short-Term Parkin	g Spaces per Unit ng Spaces per Unit		E PLAN FOR LOCATION

5.2 BICYCLE PARKING

Bicycle Parking

Long-Term Short-Term Parking

48 48

Total Bicycle

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4 March 12, Issued For Review 2025
3 Oct.26.22 Coordination
2 Oct.6.22 Coordination
1 Sep.29.22 Coordination
Rev. Date Issued

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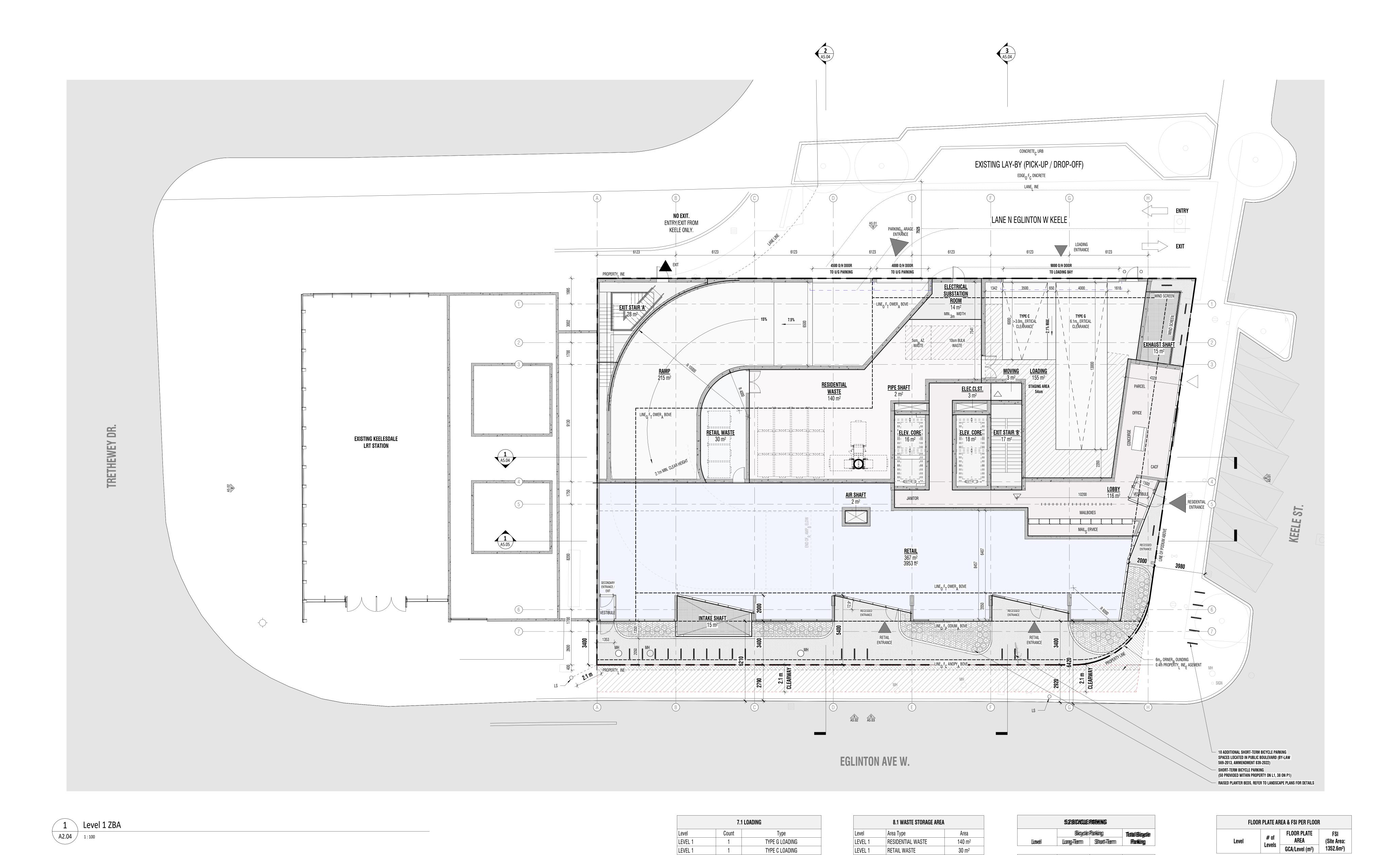
TORONTO, ONTARIO

Project North

True North

SCALE 1:100
PROJECT NO. 202202
ISSUE DATE March 12, 2025

P1 FLOOR PLAN



170 m²

333940

3339 Presquareed

Bioyote Parking Plates

09Long-TermParking Spaces per Unit

02Short-TermParking Spaces per Unit

++10Short-TermTransitProximity Spaces (PEFER TO SITE PLANFOR LOCATION)

** 59% OPF LONGSTEERM SPACESS TOWN ELECTROC COHARGING POPT 333940

887-HT DO 44736-HT DO PRECOURRED PRECOURRED

Waste Storage Requirements

• 10 m² for bulk items,

Methods of Waste Separation are as follows:

Single chute equipped with a tri-sorter servicing Level 1 - Mech PH

• Req'd Storage Area = (Unit Count-50)x0.26) $+25 = 124 \text{ m}^2$

• min. 1 m² area, per 100 units, for household hazardous waste storage (5.1 m²)

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GROUND FLOOR
PLAN

2 Oct.6.22 Coordination
1 Sep.29.22 Coordination
Rev. Date Issued

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FORA

KEELE STREET

TORONTO, ONTARIO

1,155 m²

161 m²

1,100 m²

909 m² 542 m²

753 m²

29 753 m²

1 464 m²

L1 MEZZ.

LEVEL 8-36

LEVEL 2 (AMENITY)

LEVEL 4 (AMENITY)

LEVEL 3 (AMENITY) 1

0.85

0.12

0.56

0.34

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2634, 2636, 2640, 2642 &

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A2.04

(3) 2.6m VERTICAL CLEARANCE 15% OF SPACES C/W ELECTRIC CHARGING PORT 4 LINE OF TOWER ABOVE A5.02 A5.03

1 Level 1 MEZZ.
A2.04B 1:100

	BiBloslei	Parkingng	T otalaBisycyle le
L e vellel	Longratenm	SISMONT-FIRM	P akikin g
P P 1	260	3848	648
EVENEÚ 1	0.0	5 % 0	5 § 0
.1.1MP/2 <u>27.</u> 7.	36490	00	36490
POTAL	3990	888	47/88
* 15% QFOLFQLYONGEREAM SP\$POLES VV WLECTERIA CHARGINIS OPORT	38 9 89 R EREGIO FRED	878/71/010 REPLEMENTED	47\$761010 REREUBERED

FLOOR PLATE AREA & FSI PER FLOOR				
Level	# of	FLOOR PLATE Area	FSI (Site Area:	
	Levels	GCA/Level (m²)	1352.6m²)	
LEVEL 1	1	1,155 m²	0.85	
L1 MEZZ.	1	161 m ²	0.12	
LEVEL 2 (AMENITY)	1	1,100 m ²	0.81	
LEVEL 3 (AMENITY)	1	909 m ²	0.67	
LEVEL 4 (AMENITY)	1	542 m ²	0.40	
LEVEL 5-7	3	753 m ²	0.56	
LEVEL 8-36	29	753 m ²	0.56	
PH	1	464 m ²	0.34	

SCALE 1:100 PROJECT NO. 202202 ISSUE DATE 0CT. 29, 2024 **MEZZANINE PLAN**

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and fixtures are indicated on the

subsequent reproduction of the original drawing.

A2.04B

DOWNSTAND

STORESTAND

STOREST

EGLINTON AVE W.

1 LEVEL 2 ZBA
A2.05 1:100

 Level
 # of Levels
 FLOOR PLATE AREA
 FSI (Site Area: 1352.6m²)

 LEVEL 1
 1
 1,155 m²
 0.85

 L1 MEZZ.
 1
 161 m²
 0.12

 LEVEL 2 (AMENITY)
 1
 1,100 m²
 0.81

 LEVEL 3 (AMENITY)
 1
 909 m²
 0.67

 LEVEL 4 (AMENITY)
 1
 542 m²
 0.40

 LEVEL 5-7
 3
 753 m²
 0.56

 LEVEL 8-36
 29
 753 m²
 0.56

1 464 m²

0.34

FLOOR PLATE AREA & FSI PER FLOOR

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TORONTO, ONTARIO

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PROJECT NO. 202202
ISSUE DATE 0CT. 29, 2024

L2 FLOOR PLAN

6123 SOLID GUARDRAIL & PERIMETER WIND SCREEN SOLID GUARDRAIL & PERIMETER WIND SCREEN PROPERTY LINE SEE LANDSCAPE PLANS FOR DETAILS 1B+D 55 m²---597 ft² EXISTING KEELESDALE LRT STATION ┝**╶╶╶**────────── LINE OF PODIUM BELOW A5.02 A5.03

EGLINTON AVE W.

1 LEVEL 3 ZBA
A2.06 1:100

Level	# of	FLOOR PLATE Area	FSI (Site Area
20101	Levels	GCA/Level (m²)	1352.6m ²)
VEL 1	1	1,155 m ²	0.85
MEZZ.	1	161 m ²	0.12
VEL 2 (AMENITY)	1	1,100 m ²	0.81
VEL 3 (AMENITY)	1	909 m²	0.67
VEL 4 (AMENITY)	1	542 m ²	0.40
VEL 5-7	3	753 m ²	0.56
VEL 8-36	29	753 m ²	0.56
	1	464 m²	0.34

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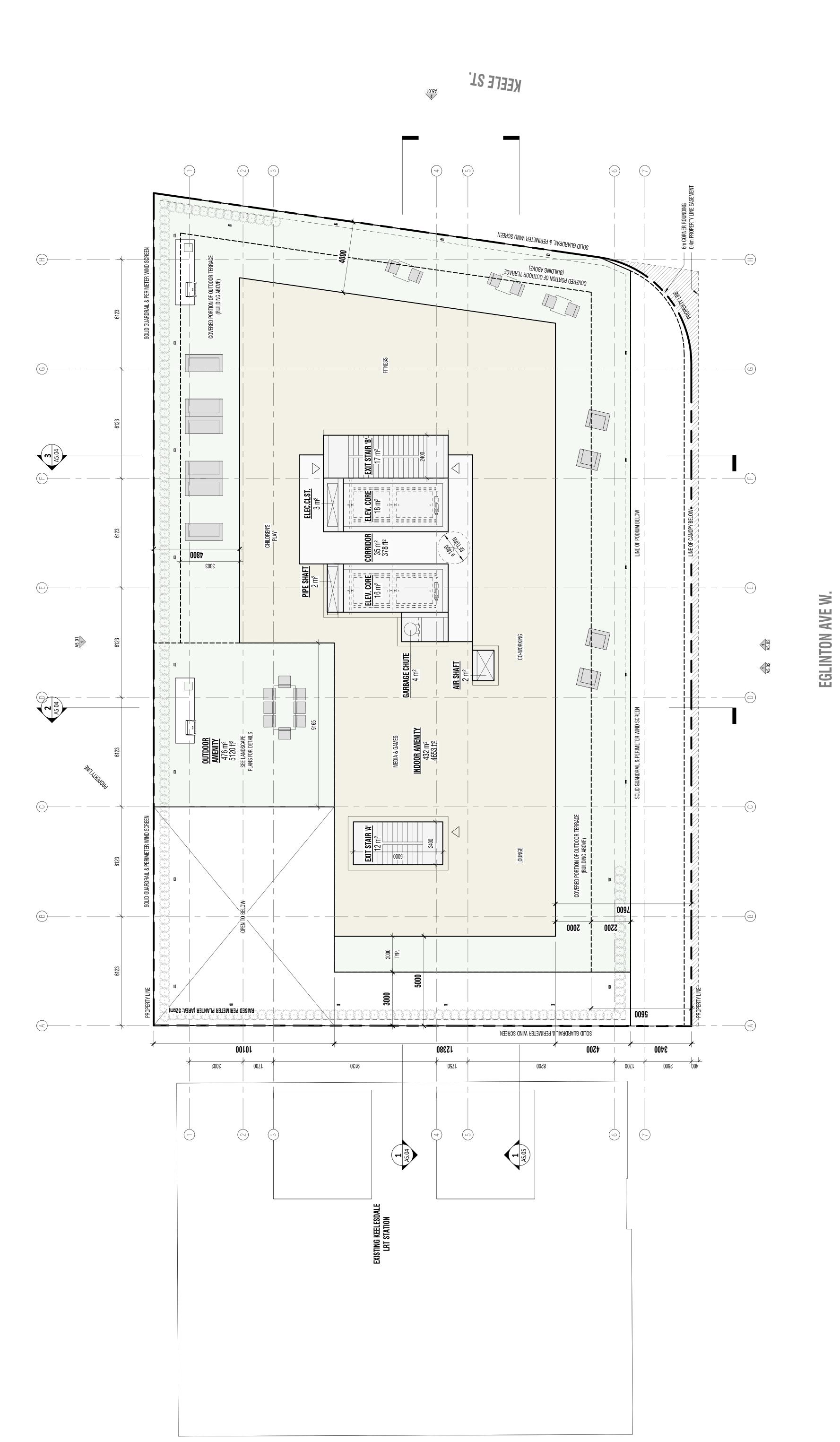
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TORONTO, ONTARIO Project North True North

SCALE 1:100 PROJECT NO. 202202 ISSUE DATE 0CT. 29, 2024 **L3 FLOOR PLAN**

SCALE 1:100
PROJECT NO. 202202
ISSUE DATE 0CT. 29, 2024

L4 FLOOR PLAN



S0.8A

FL001	R PLATE AR	FLOOR PLATE AREA & FSI PER FLOOR	
Level	# of	FLOOR PLATE AREA	FSI (Site Area:
	reveis	GCA/Level (m²)	1352.6m ²)
		•	
LEVEL 1	-	$1,155 {\rm m}^2$	98'0
L1 MEZZ.	-	161 m ²	0.12
LEVEL 2 (AMENITY)	-	1,100 m ²	0.81
LEVEL 3 (AMENITY)	-	909 m ²	0.67
LEVEL 4 (AMENITY)	-	542 m ²	0.40
LEVEL 5-7	က	753 m ²	0.56
LEVEL 8-36	29	753 m ²	0.56
忎	-	464 m ²	0.34

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2 Oct.6.22 Coordination
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FORA

1 LEVEL 4 (AMENITY) ZBA
A2.07 1:100

THE REST THINGS AT THE PARTY OF THE PARTY OF

EGLINTON AVE W.

A5.02

1 LEVEL 5-7 ZBA
A2.08 1:100

Level	# of	FLOOR PLATE Area	FSI (Site Area
	Levels	GCA/Level (m²)	1352.6m ²
LEVEL 1	1	1,155 m²	0.85
L1 MEZZ.	1	161 m ²	0.12
LEVEL 2 (AMENITY)	1	1,100 m ²	0.81
LEVEL 3 (AMENITY)	1	909 m ²	0.67
LEVEL 4 (AMENITY)	1	542 m ²	0.40
LEVEL 5-7	3	753 m ²	0.56
LEVEL 8-36	29	753 m²	0.56
PH	1	464 m ²	0.34

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TORONTO, ONTARIO

SCALE 1:100
PROJECT NO. 202202
ISSUE DATE 0CT. 29, 2024

L5-L7 FLOOR
PLAN

PROPERTY LINE TOTAL FLOOR PLATE AREA: **753sm**TOTAL SALEABLE AREA: **623sm** FLOOR PLATE EFFICIENCY: 83% AIR SHAFT GARBAGE CHUTE

_2 m² ____4 m². LINE OF CANOPY BELOW 6m CORNER ROUNDING
0.4m PROPERTY LINE EASEMENT A5.02 A5.03

EGLINTON AVE W.

1 LEVEL 8-36 ZBA A2.09 1:100

FLOOR PLATE AREA & FSI PER FLOOR					
Level	# of	FLOOR PLATE Area	FSI (Site Area:		
	Levels	GCA/Level (m²)	1352.6m ²)		
		4.455			
VEL 1	1	1,155 m ²	0.85		
MEZZ.	1	161 m ²	0.12		
VEL 2 (AMENITY)	1	1,100 m ²	0.81		
VEL 3 (AMENITY)	1	909 m ²	0.67		
VEL 4 (AMENITY)	1	542 m ²	0.40		
VEL 5-7	3	753 m²	0.56		
VEL 8-36	29	753 m²	0.56		
1	1	464 m²	0.34		

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2 Oct.6.22 Coordination

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FORA

2634, 2636, 2640, 2642 & 2654 EGLINTON AVENUE WEST AND 1856 & 1856A

TORONTO, ONTARIO Project North True North

SCALE 1 : 100 PROJECT NO. 202202 ISSUE DATE 0CT. 29, 2024 L8-36 FLOOR **PLAN**

6123 6123 GREEN ROOF GREEN ROOF

EGLINTON AVE W.

1 Mech. PH ZBA
A2.10 1:100

FLOOR PLATE AREA & FSI PER FLOOR						
Level	# of	FLOOR PLATE Area	FSI (Site Area:			
LOVOI	Levels	GCA/Level (m²)	1352.6m²)			
200		4.455 0	0.05			
VEL 1	1	1,155 m ²	0.85			
MEZZ.	1	161 m ²	0.12			
EVEL 2 (AMENITY)	1	1,100 m ²	0.81			
EVEL 3 (AMENITY)	1	909 m²	0.67			
EVEL 4 (AMENITY)	1	542 m ²	0.40			
VEL 5-7	3	753 m ²	0.56			
VEL 8-36	29	753 m²	0.56			
1	1	464 m²	0.34			

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KEELE STREET TORONTO, ONTARIO Project North True North

SCALE 1:100 PROJECT NO. 202202 ISSUE DATE 0CT. 29, 2024 MECH. P.H. **FLOOR PLAN**

A2.10

MATERIALS LEGEND

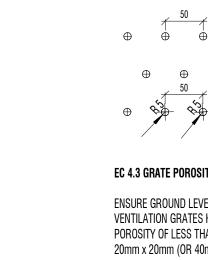
C1 CONCRETE

SP1 BRICK TEXTURED SOLID PANEL GL1 GLASS PANEL - NO FRIT GL2 GLASS PANEL - FRIT

[ML2] ALUMINUM, LIGHT BRONZE

Glazing Area (m2) Untreated Area (m2) Treated Area (m2) Visual Markers (m2) Non-reflective glass (m2) Shaded (m2) ML1 ALUMINUM, SOFT WHITE TONE

Bird-Friendly Design Statistics



Refer to the Toronto Green Standard Version 4 Ecology section for details on bird collision deterrence treatment options.

Elevation First 16m Above Grade

⊕ ⊕ ⊕ ↑ ⊕ ⊕ − EC 4.3 GRATE POROSITY ENSURE GROUND LEVEL VENTILATION GRATES HAVE POROSITY OF LESS THAN 20mm x 20mm (OR 40mm x 10mm)

PH Roof

Level 36

Level 23

Level 12

Level 11

Level 10

LEVEL 8-36

LEVEL 7

Level 6

LEVEL 4 (AMENITY)

LEVEL 3 (AMENITY)

LEVEL 2 (AMENITY)

L1 MEZZ.

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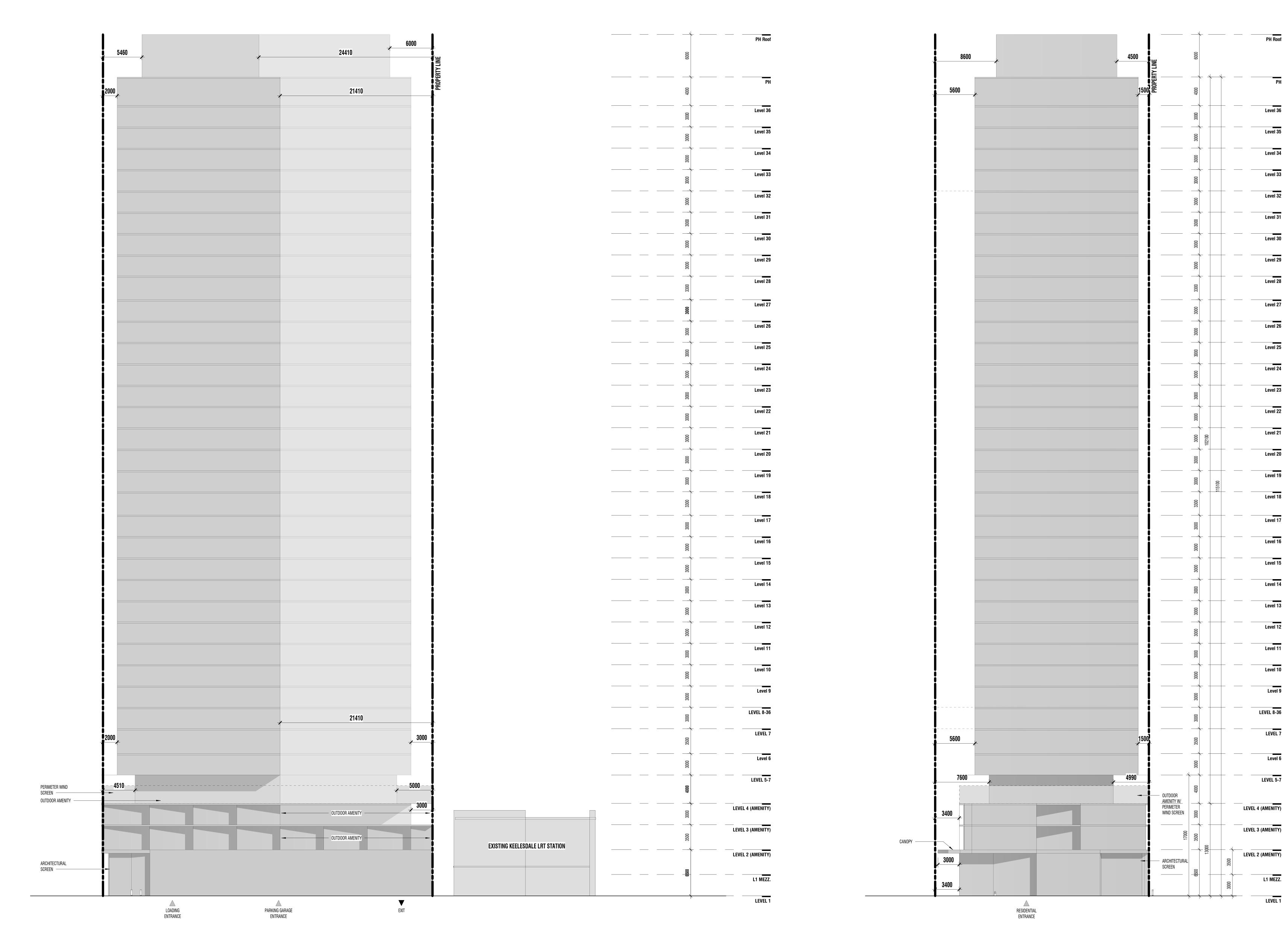
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such purpose.

and the Structural, Mechanical and Electrical Drawings. In cases of difference

Contract Documents to the Architect before



1 North
A5.01 1:200

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FORA 2634, 2636, 2640, 2642 & 2654 EGLINTON AVENUE **WEST AND 1856 & 1856A**

TORONTO, ONTARIO Project North True North

KEELE STREET

SCALE As indicated PROJECT NO. 202202 ISSUE DATE 0CT. 29, 2024

BUILDING ELEVATIONS

PH Roof _____ Level 13 Level 9 LEVEL 8-36 Level 6 PERIMETER WIND SCREEN -OUTDOOR AMENITY — OUTDOOR AMENITY LEVEL 4 (AMENITY) LEVEL 3 (AMENITY) LEVEL 2 (AMENITY) EXISTING KEELESDALE LRT STATION

RETAIL Entrance

1 South
A5.02 1:200

RETAIL ENTRANCE

MATERIALS LEGEND

C1 CONCRETE SP1 BRICK TEXTURED SOLID PANEL GL1 GLASS PANEL - NO FRIT

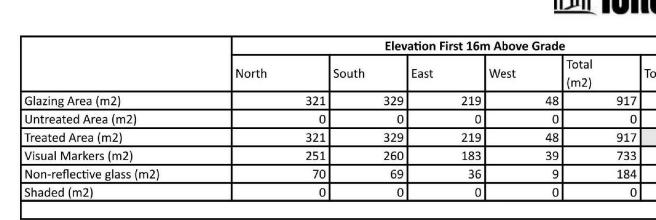
GL2 GLASS PANEL - FRIT

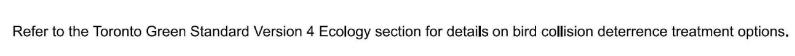
ML1 ALUMINUM, SOFT WHITE TONE

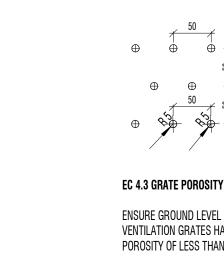
[ML2] ALUMINUM, LIGHT BRONZE

Glazing Area (m2) Untreated Area (m2) Treated Area (m2) Visual Markers (m2) Non-reflective glass (m2) Shaded (m2)

Bird-Friendly Design Statistics







⊕ ⊕ ⊕ ↑ ⊕ ⊕ -EC 4.3 GRATE POROSITY ENSURE GROUND LEVEL VENTILATION GRATES HAVE POROSITY OF LESS THAN 20mm x 20mm (OR 40mm x 10mm)

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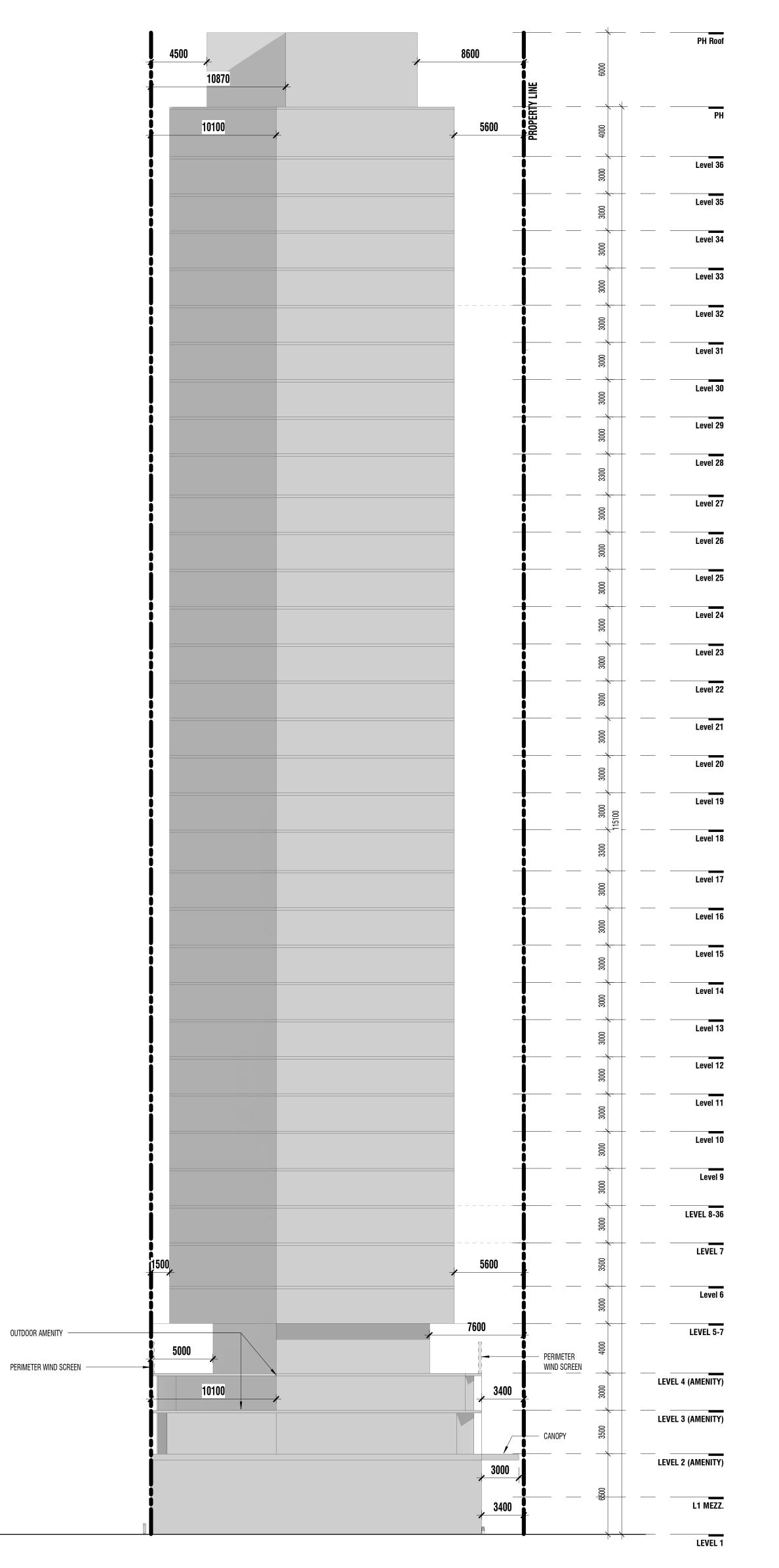
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2 West A5.02 1:200

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TORONTO, ONTARIO Project North True North

SCALE As indicated PROJECT NO. 202202 ISSUE DATE 0CT. 29, 2024 **BUILDING ELEVATIONS**

A5.02

BUILDING SECTIONS

FORA 2634, 2636, 2640, 2642 & 2654 EGLINTON AVENUE WEST AND 1856 & 1856A KEELE STREET

(AMENITY)
3000
3500
3500

FORA

TORONTO, ONTARIO

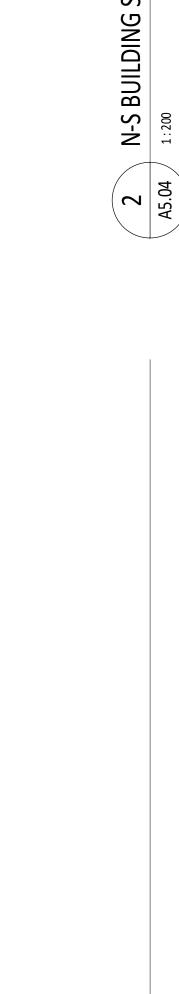
Project North True North

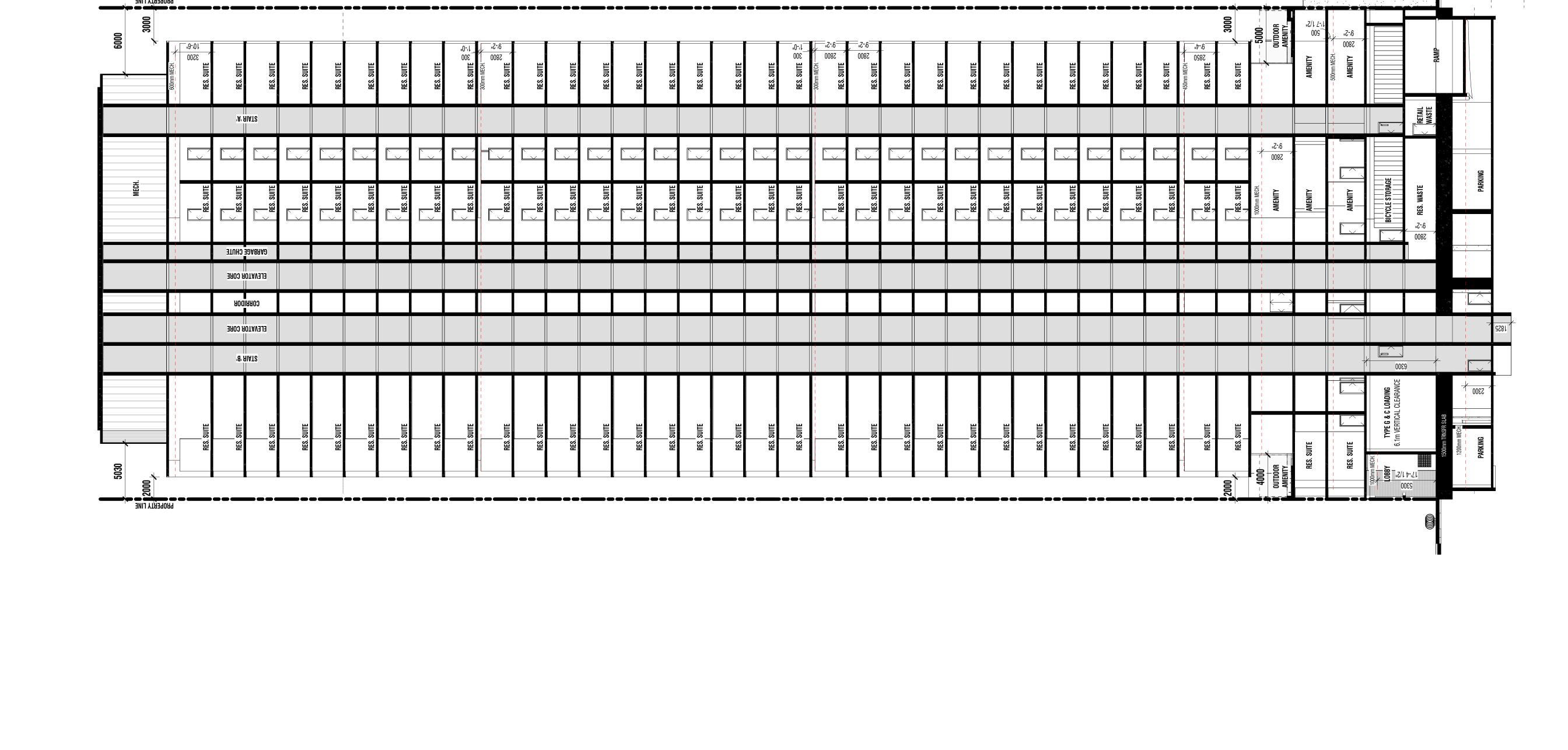
gh3* gh3* 55 OSSINGTON AVE, SUITE 100 Toronto, ON, Canada M6J 2Y9 416 915 1791

3000

3200

3000





112100 3000

3000

Level 22

3000

3000

3000

3300

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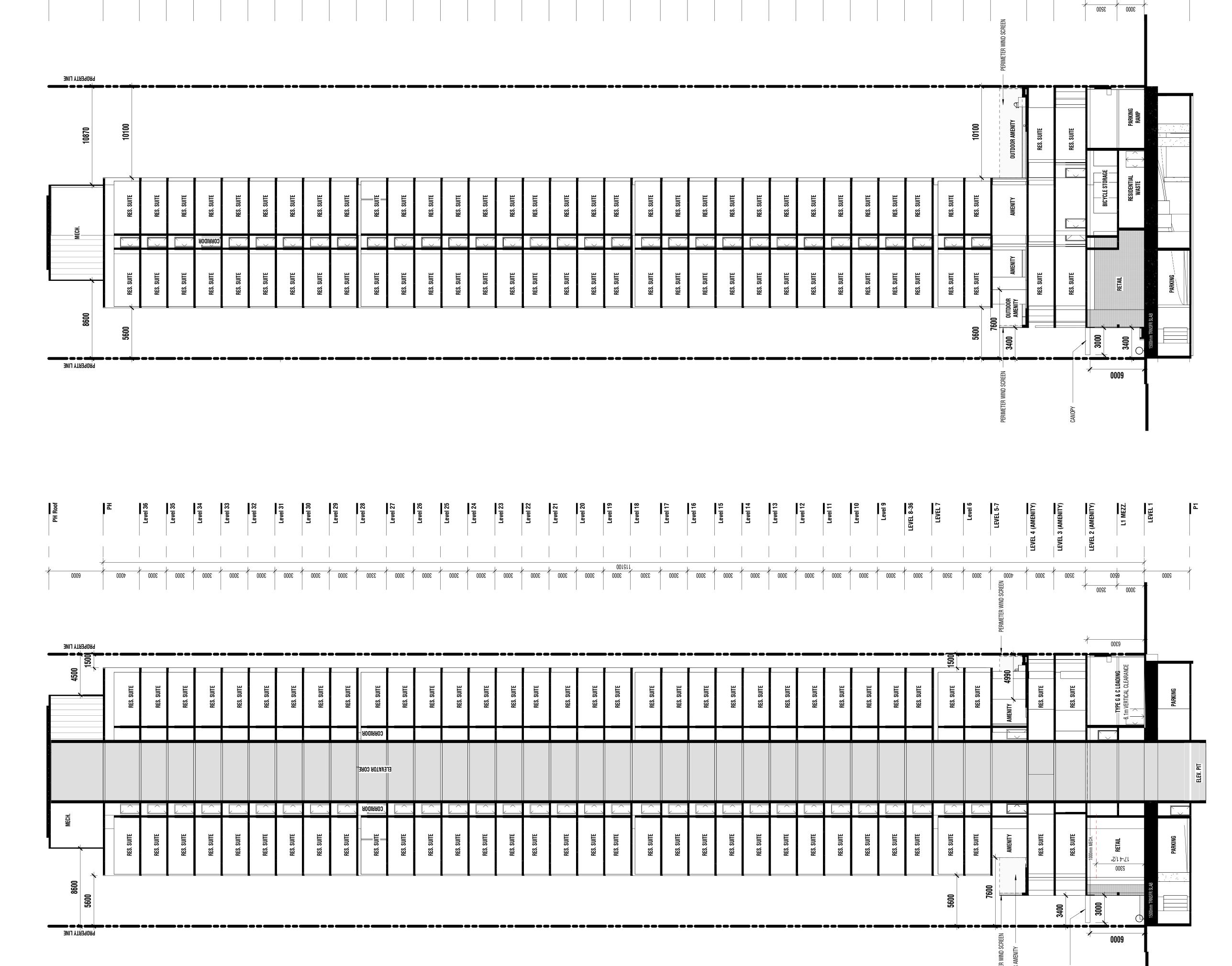
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A1.00A 1:200

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4 March 11, Issued For Review 2025

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TORONTO, ONTARIO

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SCALE 1:200
PROJECT NO. 202202
ISSUE DATE March 11, 2025

BLOCK PLAN

A1.00A