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March 12, 2025

Our File No.: 240185

**Confidential and Without Prejudice**

Planning & Administrative Tribunal Law  
City of Toronto Legal Services  
55 John Street, 26<sup>th</sup> Floor, Metro Hall  
Toronto, ON M5V 3C6

**Attention: Kasia Czajkowski and Adam Ward, City Legal**

**Re: 2636, 2640, 2642 and 2654 Eglinton Avenue West and 1856 and 1856A Keele Street,  
City of Toronto  
City of Toronto File No. 22 241754 WET 05 OZ  
OLT Case No. OLT-24-000143  
Confidential and Without Prejudice Offer to Settle**

We are solicitors for Keeli Li GP Inc., the owner of the properties known municipally as 2636, 2640, 2642 and 2654 Eglinton Avenue West and 1856 and 1856A Keele Street in the City of Toronto (the “**Property**”). We are writing on behalf of our clients with a confidential and without prejudice settlement offer in respect of the above-noted matter.

As you know, our clients have participated in a multi-day without prejudice mediation with City staff and Metrolinx regarding the redevelopment proposal for the Property, that has resulted in the revised plans, prepared by gh3\*, attached to this letter (the “**Settlement Plans**”). We are pleased to provide this settlement offer, which is the product of a comprehensive and collaborative discussions and supported by City staff and Metrolinx.

**Background**

The Property is located at the northwest corner of Eglinton Avenue West and Keele Street. Generally rectangular in shape, the Property has a site area of approximately 1,353.0 square metres based on frontage of approximately 42.2 metres along Eglinton Avenue West and 30.8 metres along Keele Street. The Property is currently occupied by a one-storey commercial building and a 2-storey mixed-use building. The Property is adjacent to the Keele Light Rail Transit (LRT) station and within approximately 680 metres of the future Caledonia LRT/GO Station.



On January 5, 2023, after pre-consultation with City staff, our client filed a rezoning application (the “**Original Rezoning Application**”) for the Property. The Rezoning Application was deemed complete on April 10, 2023 and a community consultation was held on September 18, 2023. On January 24, 2024, the Original Rezoning Application was appealed to the Ontario Land Tribunal (the “**OLT**” or “**Tribunal**”). In the appeal letter, identified its desire to participate in mediation with the City and any other parties who sought status at the OLT proceeding.

The Original Rezoning Application sought permission to redevelop the Property with a 33-storey mixed-use building, including approximately 370 new residential units, 324 square metres of non-residential space and an overall gross floor area of approximately 22,529 square metres. Since the Original Rezoning Application, our client filed revised plans that are currently the subject of the proceeding before the Tribunal (the “**Revised Rezoning Application**”). The Revised Rezoning Application seeks permission for a 42-storey building, including approximately 487 new residential units, 367 square metres of non-residential space and an overall gross floor area of approximately 27,857 square metres. Vehicular access is proposed from the east/west public laneway to the north of the Property providing access to internalized loading and servicing areas, with one level of underground parking.

### **The Settlement**

Through the OLT led mediation with City staff and Metrolinx a number of revisions have been made to the Revised Rezoning Application, which have been incorporated into this without prejudice settlement offer, as shown in the Settlement Plans attached to this letter. In particular, we note the following fundamental components of the settlement:

#### *Tower*

- The height of the tower has been revised to 36 storeys, excluding mechanical.
- The massing of the tower has been revised and considered in the context of the block in consultation with Metrolinx, which owns the properties to the west and northwest of the Property. Of note, a Block Plan has been prepared through mediation with City staff and Metrolinx, which shows the setbacks of the proposal on the Property in relation to the existing tower at 1860 Keele Street to the north and a potential tower zone on the Metrolinx lands. As seen on the Block Plan, a location for a potential tower zone is shown on the Metrolinx lands and our client will enter into a Limiting Distance Agreement (LDA) with Metrolinx and the City to secure the separation distances shown in the Block Plan appended to this letter in relation to the Metrolinx lands.
- The tower floorplate on the Property is 750 square metres in size.



### *Residential Use*

- A minimum of 15% of total units will be two-bedroom and a minimum of 10% of total units will be three-bedroom.

### *Amenity Space*

- A minimum of indoor and outdoor amenity space of 4.0 square metres per unit will be provided.

### *Transportation:*

- Loading spaces of one (1) Type “C” and one (1) Type “G” will be required, with no loading space being required for the retail use proposed at grade.
- Vehicular ingress and egress for the Property will be taken from Keele Street.

### *Bicycle Parking:*

- Bicycle parking will be provided in accordance with Bicycle Zone 1 for dwelling units in a mixed-use building under City of Toronto Zoning By-law 569-2013.
- In accordance with AQ 2.6 of the Toronto Green Standard (TGS) Version 4.0, at least 10 additional publicly accessible, short-term bicycle parking spaces, at-grade on the site or within the public boulevard will be provided in addition to bicycle parking required under AQ 2.1.

### *Toronto Green Standards*

- At a minimum, Tier 1 of Version 4.0 of the Toronto Green Standard will be applied to the project.

In addition, our client as part of this settlement offer has agreed to work with City staff to review opportunities to increase plantings / soil volumes on Eglinton Avenue West abutting the Property.

### **Conclusion**

Our client is prepared to proceed to the Ontario Land Tribunal (the “**OLT**”) on the basis of the without prejudice Settlement Plans attached to this letter to achieve a settlement with the City. In addition to the revisions which are shown in the Settlement Plans, and described above, our clients would agree to request that the OLT withhold its final Order for the Zoning By-law Amendment for the Property pending:

- The form and content of the Zoning By-law Amendment is satisfactory to the Executive Director, Development Review and the City Solicitor and Metrolinx;



- The owner has addressed all outstanding issues identified within the Engineering and Construction Services memorandum, dated February 12, 2024, to the satisfaction of the Chief Engineer and Executive Director, Engineering and Construction Services;
- The owner has submitted a revised Functional Servicing and Stormwater Management Report, Servicing Report Groundwater Summary, Foundation Drainage Summary Form, Foundation Drainage Technical Brief and Hydrological Review Summary to the satisfaction of the Chief Engineer and Executive Director, Engineering and Construction Services;
- The owner makes satisfactory arrangements with Engineering and Construction Services and enters into the appropriate agreement(s) with the City for the design and construction of any improvements to the municipal infrastructure, should it be determined that upgrades are required to the infrastructure to support this development, according to the Functional Servicing and Stormwater Management Report accepted by the Chief Engineer and Executive Director, Engineering and Construction Services;
- The owner has submitted an Environmental Noise and Vibration Assessment, such report to be peer reviewed by a third-party consultant on behalf of the City and at the owner's expense, to the satisfaction of the Executive Director, Development Services;
- The owner has provided a revised Pedestrian Level Wind Study including a revised Wind Tunnel test with the identification of any required mitigation measures to be secured in the Zoning By-law amendment and through the Site Plan Control process, to the satisfaction of the Executive Director, Development Review;
- The owner has addressed all outstanding issues raised by Metrolinx noted in correspondence, dated March 28, 2022, including the need for a technical review and makes required revisions, to the satisfaction of the Manager, Technical Review, Metrolinx;
- The owner has addressed and accommodated the required road widening, noted in correspondence, dated February 12, 2024, to the satisfaction of the General Manager, Transportation Services;
- The owner has submitted a revised Transportation Impact Study, including all requested revisions, to the satisfaction of the General Manager, Transportation Services;
- The owner has addressed all outstanding issues raised by Urban Forestry noted in correspondence, dated March 29, 2023, including the need for an updated Arborist Report, Landscape Plan, Planting Plan and Soil Volume Plan, to the satisfaction of the General Manager of Parks, Forestry and Recreation;



Landscape Plan, Planting Plan and Soil Volume Plan, to the satisfaction of the General Manager of Parks, Forestry and Recreation;

- The owner has made revisions to meet the Toronto Green Standard requirements to the satisfaction of the Executive Director, Development Review;
- The owner has provided an acceptable Tenant Relocation and Assistance Plan to address Official Plan Policies 3.2.1.12, to the satisfaction of the Executive Director, Development Review and City Solicitor; and
- The Owner has entered into a Limiting Distance Agreement with the City and Metrolinx, which would secure the tower setbacks and separation distances shown on the Block Plan attached to this letter to the satisfaction of Executive Director, Development Review, City Solicitor and Metrolinx.

Our client and its consultant team appreciate City staff's extensive efforts to work with our client, with such discussions resulting in this without prejudice settlement offer. We are hopeful that City Council will instruct the City solicitor to support approval of the settlement at the OLT.

The settlement offer remains open until the end of the City Council meeting scheduled to commence on March 26, 2025.

Yours truly,

**Goodmans LLP**

A handwritten signature in black ink, appearing to read "Joe Hoffman".

Joe Hoffman  
JBH/

1387-5405-8515



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GENERAL NOTES:

1. Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work.

2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manuals and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Consultant's documents with respect to the quantity, scope or scope of work, the greater shall apply.

3. Positions of proposed fire-rated Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.

4. Dimensions indicated are taken between the faces of finished surfaces unless otherwise noted.

5. The architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.

6. These documents are not to be used for construction unless specifically noted for each purpose.

## SITE PLAN LEGEND

- +XXX.XX PROPOSED ELEVATION  
XXX.XX EX EXISTING ELEVATION  
XXX.XX AD AREA DRAINAGE  
XXX.XX SW STORM WATER  
XXX.XX CB CATCH BASIN
- PROPERTY LINE  
PROPERTY LINE EASEMENT  
FIRE TRUCK ROUTE  
PARKING STRUCTURE BELOW
- LOBBY  
INDOOR AMENITY  
RESIDENTIAL WASTE  
RETAIL  
RETAIL WASTE  
ELECTRICAL SUBSTATION ROOM  
LOADING / MOVING / RAMP
- MAIN RES ENTRANCE  
RES ENTRANCE  
NON-RES ENTRANCE  
EXIT  
VEHICULAR ENTRANCE/EXIT  
FIRE HYDRANT  
SIAMENSE CONNECTION  
STREET LIGHT  
PEDESTRIAN LIGHT  
BOLLARD LIGHT  
BOLLARDS  
BICYCLE SHARING STATION  
BIKE RING
- PROPOSED CANOPY TREE  
EXISTING TREE  
EXISTING TREE TO BE PROTECTED  
PROPOSED UNDERSTORY TREE  
GRASSES AND SHRUBS  
HIGH-ALBEDO PAVERS  
CONCRETE PAVING  
CONCRETE PAVING
- REFER TO LANDSCAPE PLAN FOR HARDSCAPE AND PLANTING DETAILS

## NOTES

- A TRAINED ON-SITE STAFF MEMBER MUST BE AVAILABLE TO MANAGE/USE BINS FOR THE COLLECTION VEHICLE AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF MEMBER IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.
- TYPE G LOADING: 5.1m MINIMUM VERTICAL CLEARANCE, MINIMUM 200mm THICK REINFORCED CONCRETE SLAB IN LOADING SPACE AND STAGING AREA. FLOOR GRADE NOT TO EXCEED +1.25.
- THE OVERHEAD DOOR ADJACENT TO THE TYPE G LOADING AREA WILL BE OPEN UPON THE ARRIVAL OF THE TRUCK TO ALLOW IT TO REVERSE FORM THE TYPE G LOADING AREA ENVELOPING IT TO EXIT THE SITE IN A FORWARD MOTION.
- A WARNING SYSTEM IS TO BE PROVIDED TO CAUTION MOTORISTS LEAVING THE PARKING GARAGE OF HEAVY VEHICLES UNDER LOADING. SYSTEM TO INCLUDE LIGHTS & NO SIGNS.
- ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE TO HAVE A MAXIMUM GRADIENT OF 8% HAVE A MINIMUM VERTICAL CLEARANCE OF 4.4 METERS - HORIZONTAL - A MINIMUM WIDTH OF 4.5 METERS THROUGHOUT AND BE 6 METERS WIDE AT POINT OF INGRESS AND EGRESS.
- PROPOSED ACCESS ROUTE FOR WASTE COLLECTION VEHICLE TO HAVE MINIMUM 4.4m VERTICAL CLEARANCE THROUGHOUT AND DESIGNED TO SAFELY SUPPORT 6,500 KG.
- STRUCTURAL ENGINEER TO DESIGN AREA TO CONFORM AS FOLLOWS:  
(A) DESIGN CODE - ONTARIO BUILDING CODE  
(B) DESIGN LOAD - CITY BULK LIFT VEHICLE IN ADDITION TO BUILDING CODE REQUIREMENTS  
(C) IMPACT FACTOR - 5% FOR MAX. VEHICULAR SPEEDS TO 15KM/H AND 30% FOR HEAVY SPEEDS
- NON-RESIDENTIAL COMPONENT WILL ONLY SCHEDULE USE OF THE TYPE G LOADING SPACE ON DIFFERENT DAYS FROM THE COLLECTION DAYS OF THE RESIDENTIAL COMPONENT TO ENSURE THAT THE TYPE G LOADING SPACE WILL BE USABLE FOR CITY WASTE COLLECTION.
- A FIRE ACCESS ROUTE MIN. 6m WIDE WITH 5m HEIGHT CLEARANCE, CHANGE IN GRADIENT NOT MORE THAN 8% IN 15m. LOAD SUPPORT SUFFICIENT FOR EQUIPMENT. SURFACE TO BE ACCESSIBLE IN ALL CLIMATIC CONDITION FOR ALL TRUCK DIAGRAM MOVEMENT REFER TO TRAFFIC CONSULTANT REPORT - PATH SHOWN FOR CONTEXT.
- FIRE ACCESS ROUTE MIN. 6m WIDE WITH 5m HEIGHT CLEARANCE, CHANGE IN GRADIENT NOT MORE THAN 8% IN 15m. LOAD SUPPORT SUFFICIENT FOR EQUIPMENT. SURFACE TO BE ACCESSIBLE IN ALL CLIMATIC CONDITION FOR ALL TRUCK DIAGRAM MOVEMENT REFER TO TRAFFIC CONSULTANT REPORT - PATH SHOWN FOR CONTEXT.
- BE ADVISED THAT SHOULD ANY PARTY INCLUDING THE OWNER OR ANY SUBSEQUENT OWNER, APPLY FOR MORE THAN ONE CONDOMINIUM CORPORATION TO DISMISSE ANY OR ALL OF THIS DEVELOPMENT OR MAKE AN APPLICATION THAT RESULTS IN A LAND DIVISION, STAFF MAY SECURE LEGAL ASSURANCES, INCLUDING BUT NOT LIMITED TO EASEMENTS WITH RESPECT TO THE APPROVED SERVICES. SUCH ASSURANCES WILL BE DETERMINED AT THE TIME OF APPLICATION FOR CONDOMINIUM APPROVAL.
- VENTILATION GRATING TO HAVE A POROSITY OF LESS THAN 20mm X 20mm OR 40mm X 10mm

## gh3\*

65 OSGIBRATION AVE., SUITE 100  
TORONTO, ON, CANADA M2Y 2Y9  
416 915 1791

FORA

FORA  
2634, 2636, 2640, 2642 &  
2654 EGLINTON AVENUE  
WEST AND 1856 & 1856A  
KEELE STREET

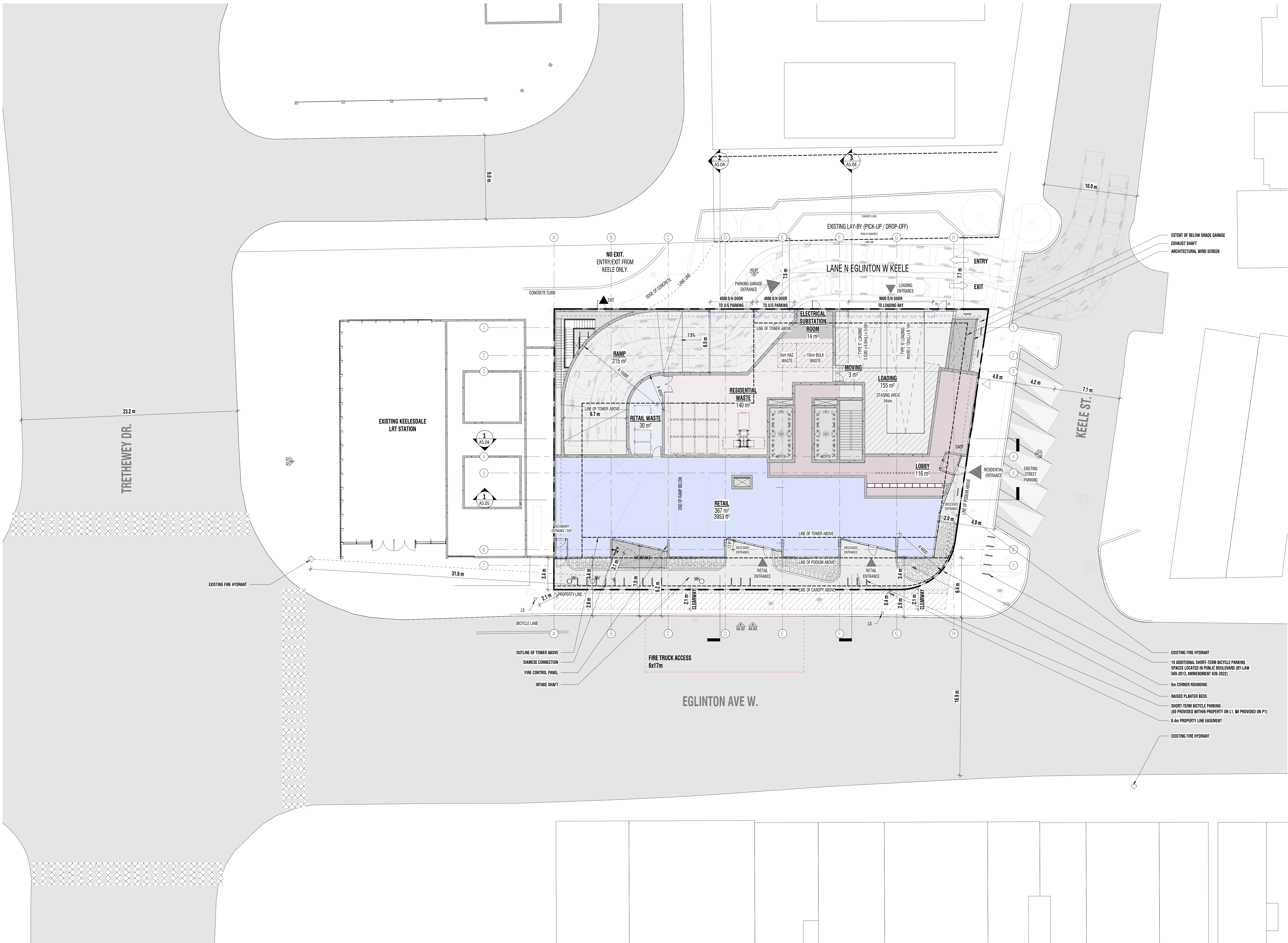
TORONTO, ONTARIO

Project North  
True North

SCALE: As Indicated  
PROJECT NO.: 202202  
ISSUE DATE: OCT. 29, 2024

## GROUND FLOOR SITE PLAN

A1.00



## 1 Ground Floor Site Plan ZBA

A1.00 1:150

7:1 LOADING		
Level	Count	Type
LEVEL 1	1	TYPE G LOADING
LEVEL 1	1	TYPE C LOADING

8:1 WASTE STORAGE AREA		
Level	Area Type	Area
LEVEL 1	RESIDENTIAL WASTE	140 m²
LEVEL 1	RETAIL WASTE	30 m²
		170 m²

### Waste Storage Requirements

Methods of Waste Separation are as follows:

- Single chute equipped with a bi-order servicing Level 1 - Mech PH
- Residential Storage Area = (Unit Count-50)x(0.29)+25 = **124 m²**
- 10 m² for bulk items,
- min. 1 m² area, per 100 units, for household hazardous waste storage (0.1 m²)

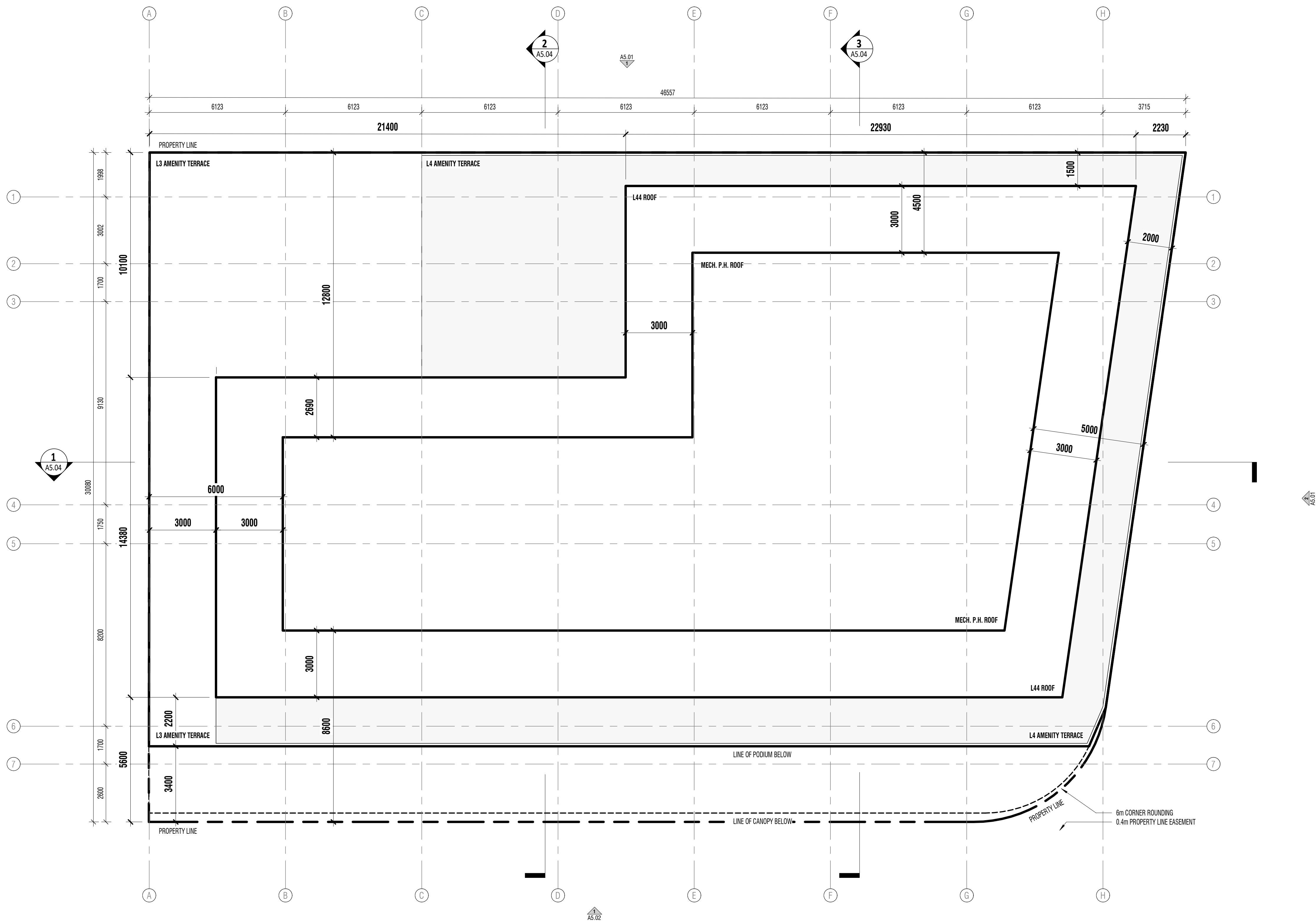
5:2 BICYCLE PARKING		
Bicycle Parking		Total Bicycle Parking
Level	Level	Long-Term-TermShort-Term-TermParkingParking
P1	P1	26 0 38 48 64 48
LEVEL 1	LEVEL 1	0 0 50 50 50 50
L1 MEZZ	L1 MEZZ	364 390 0 0 364 390
TOTAL TOTAL		390 390 88 98 478 488

\* 15% OF CYCLES RAMPING TERM 389 389 87+10 87+10 478+10 478+10  
SPACES CURRENT ONE ELECTRIC (REQUIRED) REQUIRED REQUIRED REQUIRED REQUIRED  
CHARGING PORTS

Bicycle Parking Rates  
0.9 Long-Term-Term Parking Spaces per Unit  
0.2 Short-Term-Term Parking Spaces per Unit  
+10 Short-Term-Term Parking Spaces per Unit (SEE PRELIMINARY REPORT)

FLOOR PLATE AREA & FSI PER FLOOR			
Level	# of Levels	FLOOR PLATE AREA GCA (Level m²)	FSI (Site Area: 1352.6m²)
LEVEL 1	1	1,155 m²	0.85
L1 MEZZ.	1	161 m²	0.12
LEVEL 2 (AMENITY)	1	1,100 m²	0.81
LEVEL 3 (AMENITY)	1	909 m²	0.67
LEVEL 4 (AMENITY)	1	542 m²	0.40
LEVEL 5-7	3	753 m²	0.56
LEVEL 8-36	29	753 m²	0.56
PH	1	464 m²	0.34

- GENERAL NOTES:
1. Drawings are not to be scaled. Contractor will verify all existing conditions and dimensions required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work.
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  3. Positions of proposed finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
  4. Dimensions indicated are taken between the faces of finished surfaces unless otherwise noted.
  5. The architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction.
  6. These documents are not to be used for construction unless specifically noted for each purpose.



1 PH (NEW)  
A2.00B 1:100

FLOOR PLATE AREA & FSI PER FLOOR				
Level	# of Levels	FLOOR PLATE AREA		FSI (Site Area: 1382.6m²)
		GCA/Level (m²)		
LEVEL 1	1	1,155 m²		0.85
L1 MEZZ.	1	161 m²		0.12
LEVEL 2 (AMENITY)	1	1,100 m²		0.81
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LEVEL 5-7	3	753 m²		0.56
LEVEL 8-36	29	753 m²		0.56
PH	1	464 m²		0.34

Rev. Date Issued

gh3\*  
2654 EGLINTON AVENUE, SUITE 100  
TORONTO, ON, CANADA M6J 2Y9  
416 915 1791

FORA  
2634, 2636, 2640, 2642 &  
2654 EGLINTON AVENUE  
WEST AND 1856 & 1856A  
KEELE STREET

TORONTO, ONTARIO  
Project North True North

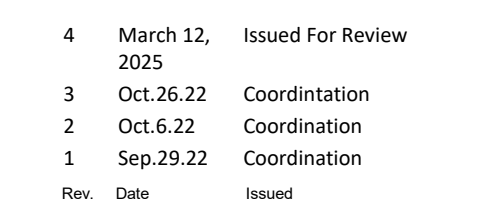
SCALE 1:100  
PROJECT NO. 202202  
ISSUE DATE OCT. 29, 2024

ROOF PLAN (NEW)

A2.00B

**GENERAL NOTES:**

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2. The Architectural Drawings are to be read in conjunction with the following documents: Documents including the Project Manuals and the Structural, Mechanical and Electrical Drawings. In the event of a reference between the Consultant's documents with different quantities, dimensions or scope of work, the greater shall apply.
3. Positions of exposed or finished surfaces of Electrical and Mechanical fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Structural Drawings are for support over Mechanical and Electrical Drawings. Mechanical and Electrical Items not clearly shown are located in the ceiling or floor of the building.
4. Architect.
5. Dimensions indicated are taken between the faces of finished surfaces unless otherwise noted.
6. The Contractor has not been retained for supervision of construction and assumes no responsibility for means, methods and safety of construction.
7. These documents are not to be used for construction unless specifically noted for use.



FORA

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FORA  
2634, 2636, 2640, 2642 &  
2654 EGLINTON AVENUE  
WEST AND 1856 & 1856A  
KEELE STREET

SCALE 1 : 100  
PROJECT NO. 202202  
ISSUE DATE March 12, 2025

## A2.03

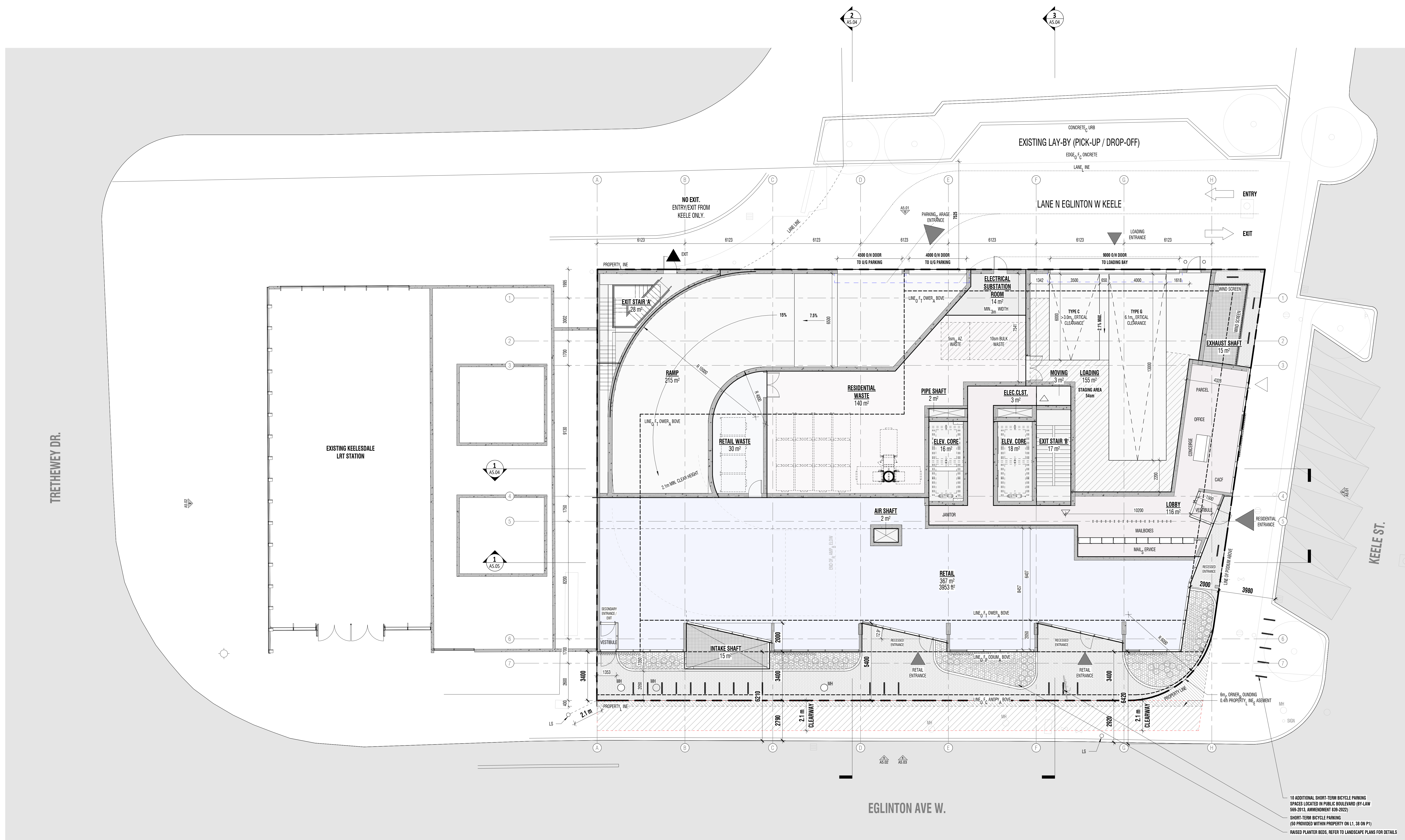
* 15% OF LONG-TERM SPACES CW ELECTRIC CHARGING PORT	389 REQUIRED	67 + 10 REQUIRED	476 + 10 REQUIRED
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**Bicycle Parking Rates**

0.9 Long-Term Parking Spaces per Unit

0.2 Short-Term Parking Spaces per Unit

+ 10 Short-Term Transit Proximity Spaces (REFER TO SITE PLAN FOR LOCATION)



1 Level 1 ZBA  
A2.04 1:100

7.1 LOADING		
Level	Count	Type
LEVEL 1	1	TYPE G LOADING
LEVEL 1	1	TYPE C LOADING

8.1 WASTE STORAGE AREA		
Level	Area Type	Area
LEVEL 1	RESIDENTIAL WASTE	140 m²
LEVEL 1	RETAIL WASTE	30 m²
		170 m²

## Waste Storage Requirements

Methods of Waste Separation are as follows:

- Single chute equipped with a tri-sorter servicing Level 1 - Mech
- Req'd Storage Area = (Unit Count-50)x(0.26) + 25 = **124 m<sup>2</sup>**
- 10 m<sup>2</sup> for bulk items.
- min. 1 m<sup>2</sup> area, per 100 units, for household hazardous waste storage (5.1 m<sup>2</sup>)

5.2 BICYCLE PARKING			
Level	Bicycle Parking		Total Bicycle Parking
	Long-Term	Short-Term	
P1	20	36	66
LEVEL 11	0	50	50
LEVEL 111	360	0	360
<b>TOTAL</b>	<b>380</b>	<b>86</b>	<b>466</b>

*1/150/0 LONG-TERM SPACES ONLY ELECTRIC CHARGING PORT	386 (REQUIRED)	87+10 (REQUIRED)	476+10 (REQUIRED)
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**Bicycle Parking Rates**

0/3/1 Long-Term Parking Spaces per Unit

0/2/3 Short-Term Parking Spaces per Unit

+10/10 Short-Term Transit/Proximity Spaces (REFER TO SITE PLAN FOR LOCATION)

FLOOR PLATE AREA & FSI PER FLOOR			
Level	# of Levels	FLOOR PLATE AREA GCA/Level (m <sup>2</sup> )	FSI (Site Area: 1352.6m <sup>2</sup> )
LEVEL 1	1	1,155 m <sup>2</sup>	0.85
L1 MEZZ.	1	161 m <sup>2</sup>	0.12
LEVEL 2 (AMENITY)	1	1,100 m <sup>2</sup>	0.81
LEVEL 3 (AMENITY)	1	908 m <sup>2</sup>	0.67
LEVEL 4 (AMENITY)	1	542 m <sup>2</sup>	0.40
LEVEL 5-7	3	753 m <sup>2</sup>	0.56
LEVEL 8-36	29	753 m <sup>2</sup>	0.56
PH	1	464 m <sup>2</sup>	0.34

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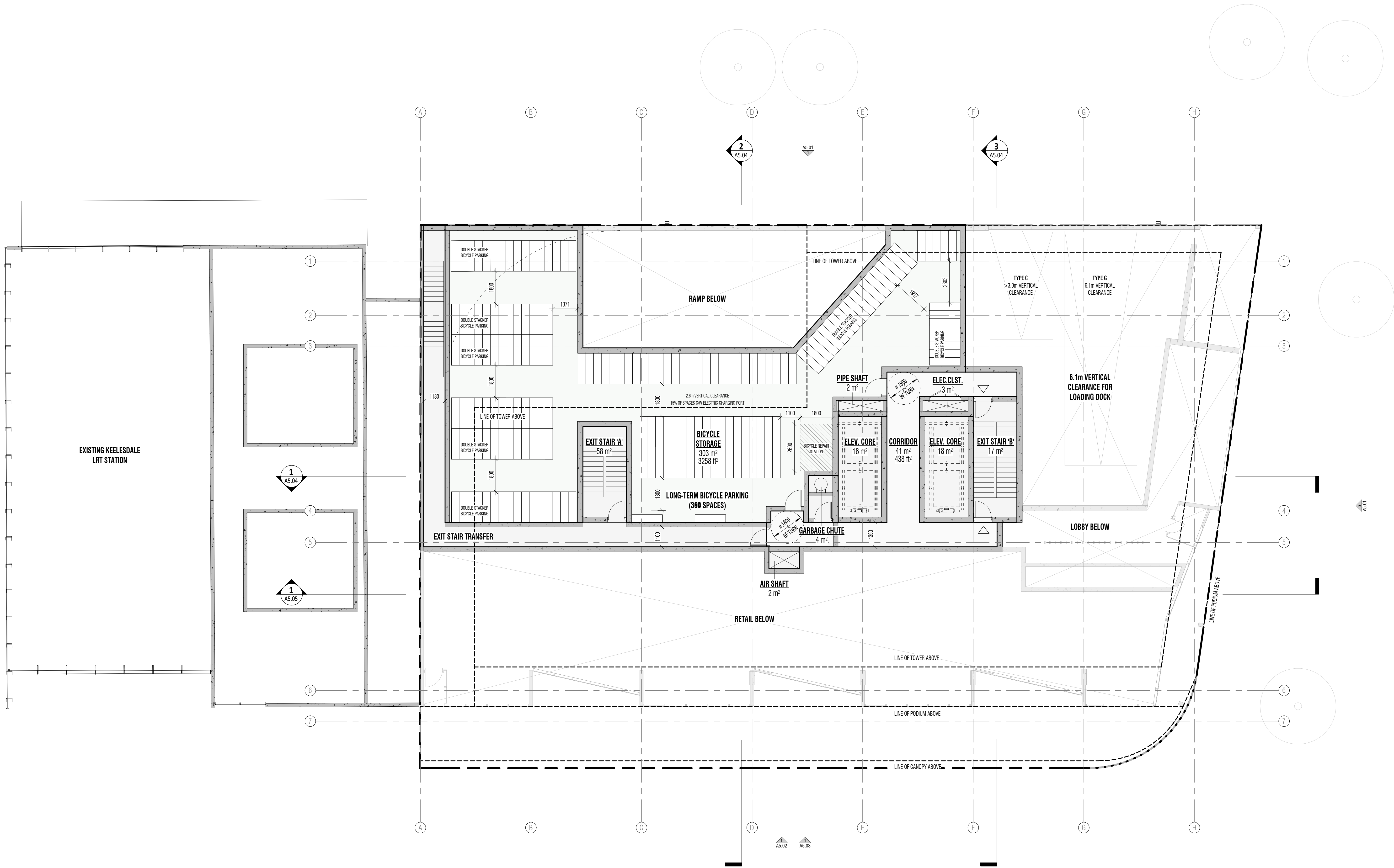
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1 Level 1 MEZZ.  
A2.04B 1:100

BICYCLE PARKING			
Level	Bicycle Parking Loose Form	Storage Form	Total Parking
PP1	280	388	648
LEVEL 1	0.0	580	580
L1 MEZZ	3880	0.0	3880
TOTAL	3880	888	4768
* 10% MINIMUM SPACE REQUIREMENT FOR BICYCLE REPAIR (10 m²) AND GARBAGE CHUTE (4 m²) ARE INCLUDED IN THE TOTAL BICYCLE PARKING SPACE.			
Bicycle Parking Spaces: 4768 0.88 Long-Term Parking Spaces per Unit 0.22 Short-Term Parking Spaces per Unit +10 Short-Term Parking Spaces for Bicycles for a Total of 4778			

FLOOR PLATE AREA & FSI PER FLOOR			
Level	# of Levels	FLOOR PLATE AREA GCA/Level (m²)	FSI (Site Area: 1382.6m²)
LEVEL 1	1	1,155 m²	0.85
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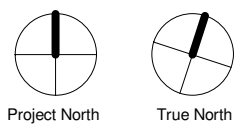
Rev. Date Issued

gh3\*  
55 CRESSINGTON AVE., SUITE 100  
TORONTO, ON, CANADA M5T 2Y9  
416 915 1791

FORA

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WEST AND 1856 & 1856A  
KEELE STREET

TORONTO, ONTARIO

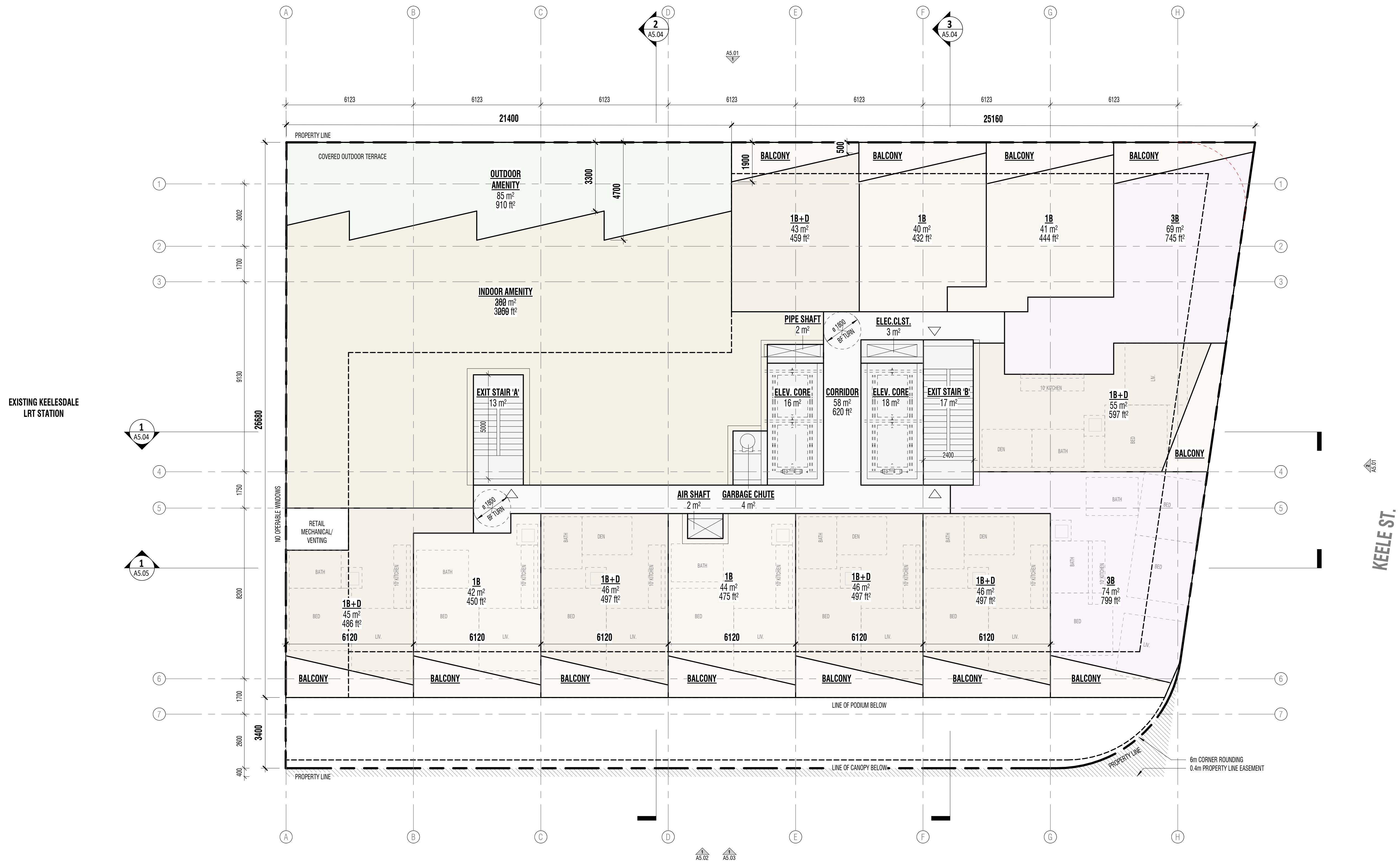


SCALE 1:100  
PROJECT NO. 202022  
ISSUE DATE OCT. 29, 2024

MEZZANINE PLAN

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EGLINTON AVE W.

1 LEVEL 2 ZBA  
A2.05 1:100

FLOOR PLATE AREA & FSI PER FLOOR				
Level	# of Levels	FLOOR PLATE AREA GCA/Level (m²)	FSI (Site Area: 1382.6m²)	
LEVEL 1	1	1,155 m²	0.85	
L1 MEZZ.	1	161 m²	0.12	
LEVEL 2 (AMENITY)	1	1,100 m²	0.81	
LEVEL 3 (AMENITY)	1	909 m²	0.67	
LEVEL 4 (AMENITY)	1	542 m²	0.40	
LEVEL 5-7	3	753 m²	0.56	
LEVEL 8-36	29	753 m²	0.56	
PH	1	464 m²	0.34	

1 Sep 29 22 Coordination  
Rev. Date Issued

gh3\*  
2634 EGLINTON AVENUE, SUITE 100  
TORONTO, ON, CANADA M2Y 2Y9  
416 915 1791

FORA

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2634, 2636, 2640, 2642 &  
2654 EGLINTON AVENUE,  
WEST AND 1856 & 1856A  
KEELE STREET

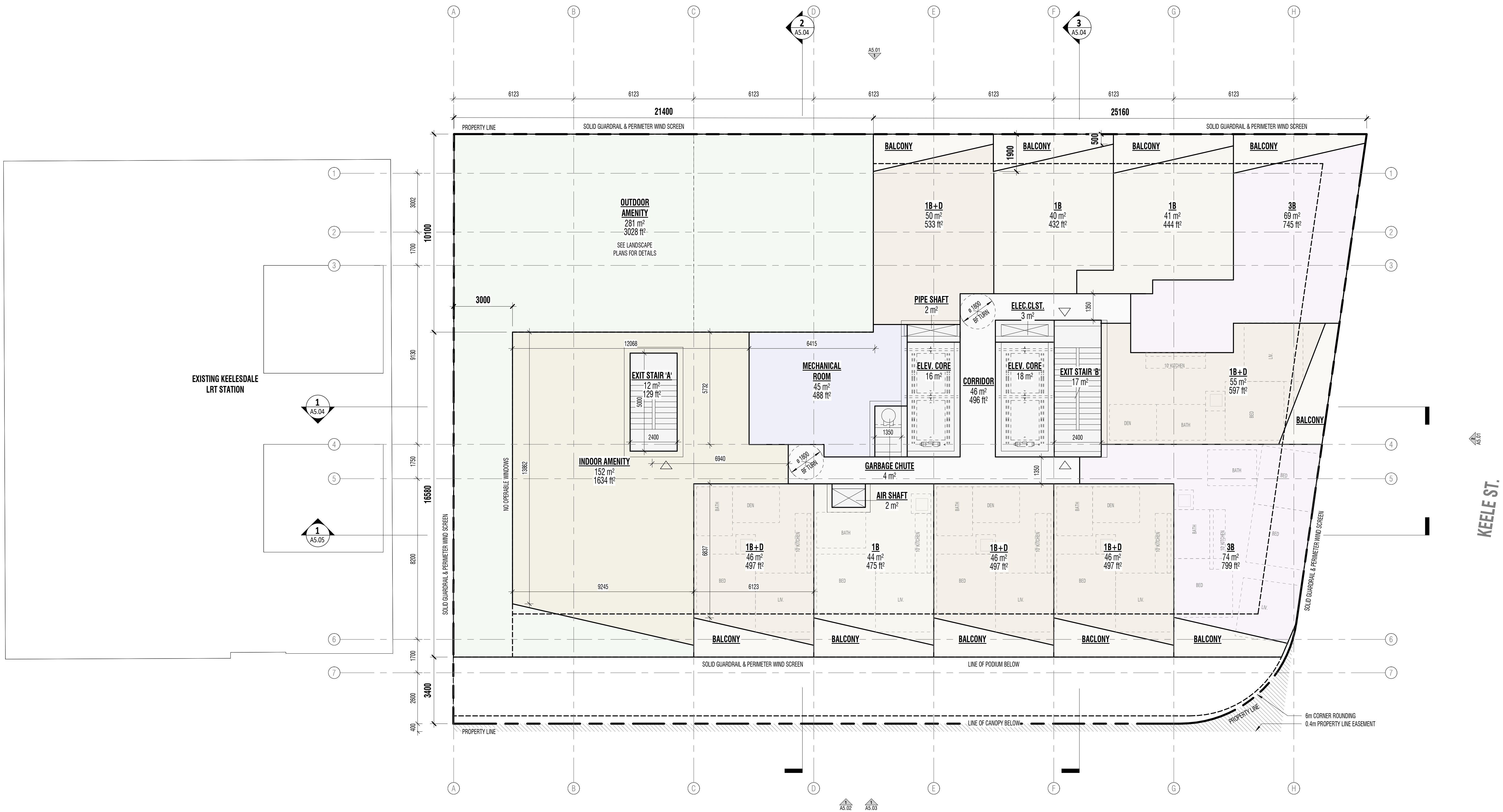
TORONTO, ONTARIO  
Project North True North

SCALE 1:100  
PROJECT NO. 202202  
ISSUE DATE OCT. 29, 2024

L2 FLOOR PLAN

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EGLINTON AVE W.

1 LEVEL 3 ZBA  
A2.06 1:100

FLOOR PLATE AREA & FSI PER FLOOR				
Level	# of Levels	FLOOR PLATE AREA GCA/Level (m²)	FSI (Site Area: 1382.6m²)	
LEVEL 1	1	1,155 m²	0.85	
L1 MEZZ.	1	161 m²	0.12	
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LEVEL 5-7	3	753 m²	0.56	
LEVEL 8-36	29	753 m²	0.56	
PH	1	464 m²	0.34	

2 Oct 6, 22 Coordination  
Rev. Date Issued

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TORONTO, ON, CANADA M5T 2Y9  
416 915 1791

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WEST AND 1856 & 1856A  
KEELE STREET

TORONTO, ONTARIO  
Project North True North

SCALE 1:100  
PROJECT NO. 202202  
ISSUE DATE OCT. 29, 2024

L3 FLOOR PLAN

A2.06



**GENERAL NOTES:**

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2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manuals and Specifications, Mechanical Drawings, Electrical Drawings, in cases of difference between the Consultants' documents with the same priority, and the scope of work, the greater shall apply.
3. Positions of exposed or finished mechanical and electrical fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Mechanical and Electrical drawings for Mechanical and Electrical equipment, Mechanical and Electrical piping, and the location will be located as directed by the Architect.
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FLOOR PLATE AREA & FSI PER FLOOR			
Level	# of Levels	FLOOR PLATE AREA	FSI (Site Area: 1352.6m²)
		GCA/Level (m²)	
LEVEL 1	1	1,155 m²	0.85
L1 MEZZ.	1	161 m²	0.12
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PH	1	464 m²	0.34

**GENERAL NOTES:**

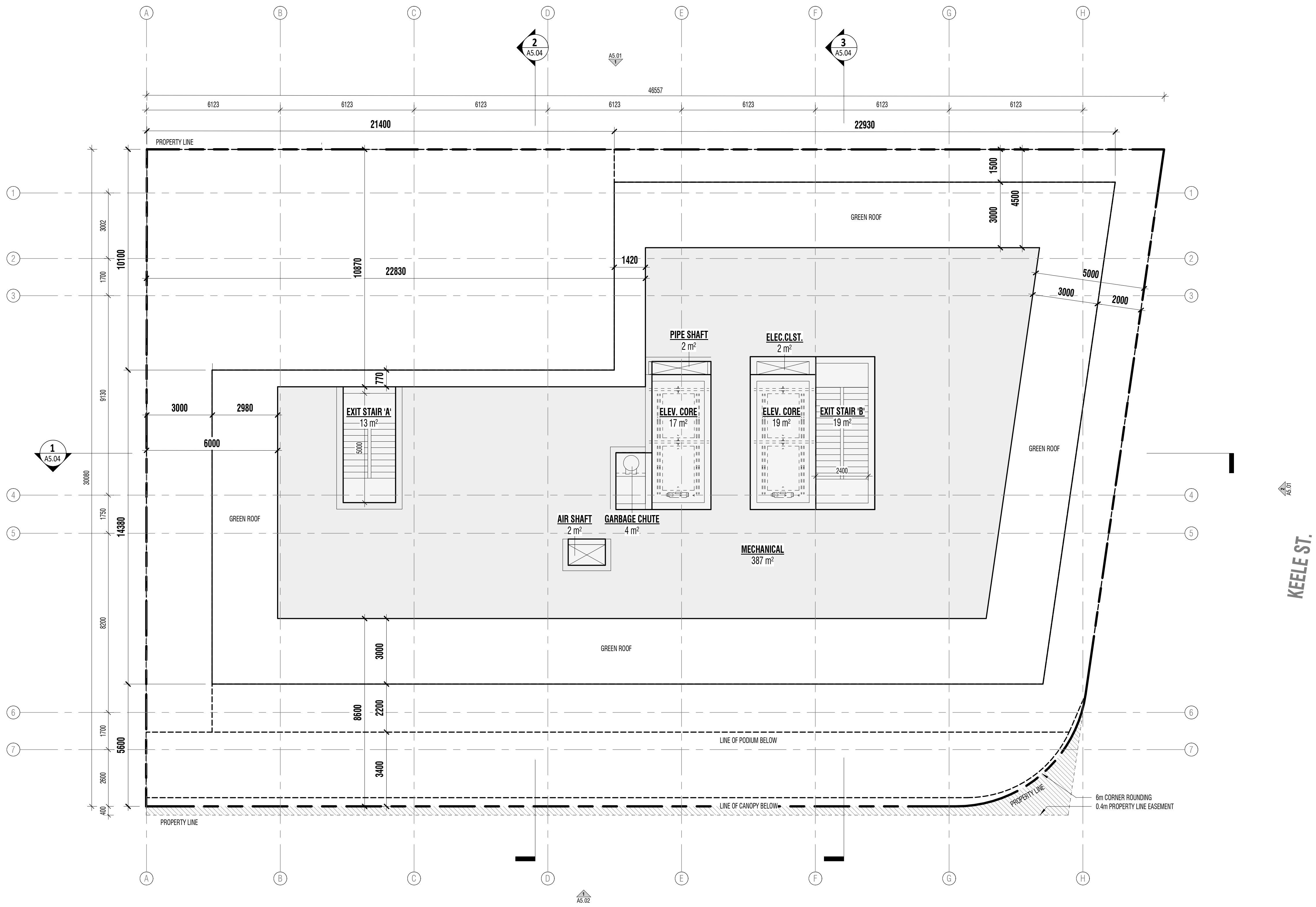
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FLOOR PLATE AREA & FSI PER FLOOR			
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EGLINTON AVE W.

KEELE ST.

1 Mech. PH ZBA  
A2.10 1:100

FLOOR PLATE AREA & FSI PER FLOOR				
Level	# of Levels	FLOOR PLATE AREA GCA/Level (m²)	FSI (Site Area: 1382.6m²)	
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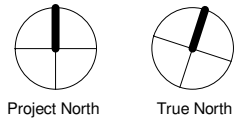
Rev. Date Issued

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2654 EGLINTON AVENUE  
WEST AND 1856 & 1856A  
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2654 EGLINTON AVENUE  
WEST AND 1856 & 1856A  
KEELE STREET

TORONTO, ONTARIO



SCALE 1:100  
PROJECT NO. 202202  
ISSUE DATE OCT. 29, 2024

MECH. P.H.  
FLOOR PLAN

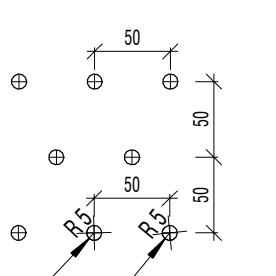
A2.10

MATERIALS LEGEND	
C1	CONCRETE
SP1	BRICK TEXTURED SOLID PANEL
GL1	GLASS PANEL - NO FRIT
GL2	GLASS PANEL - FRIT
ML1	ALUMINUM, SOFT WHITE TONE
ML2	ALUMINUM, LIGHT BRONZE TINT

Bird-Friendly Design Statistics

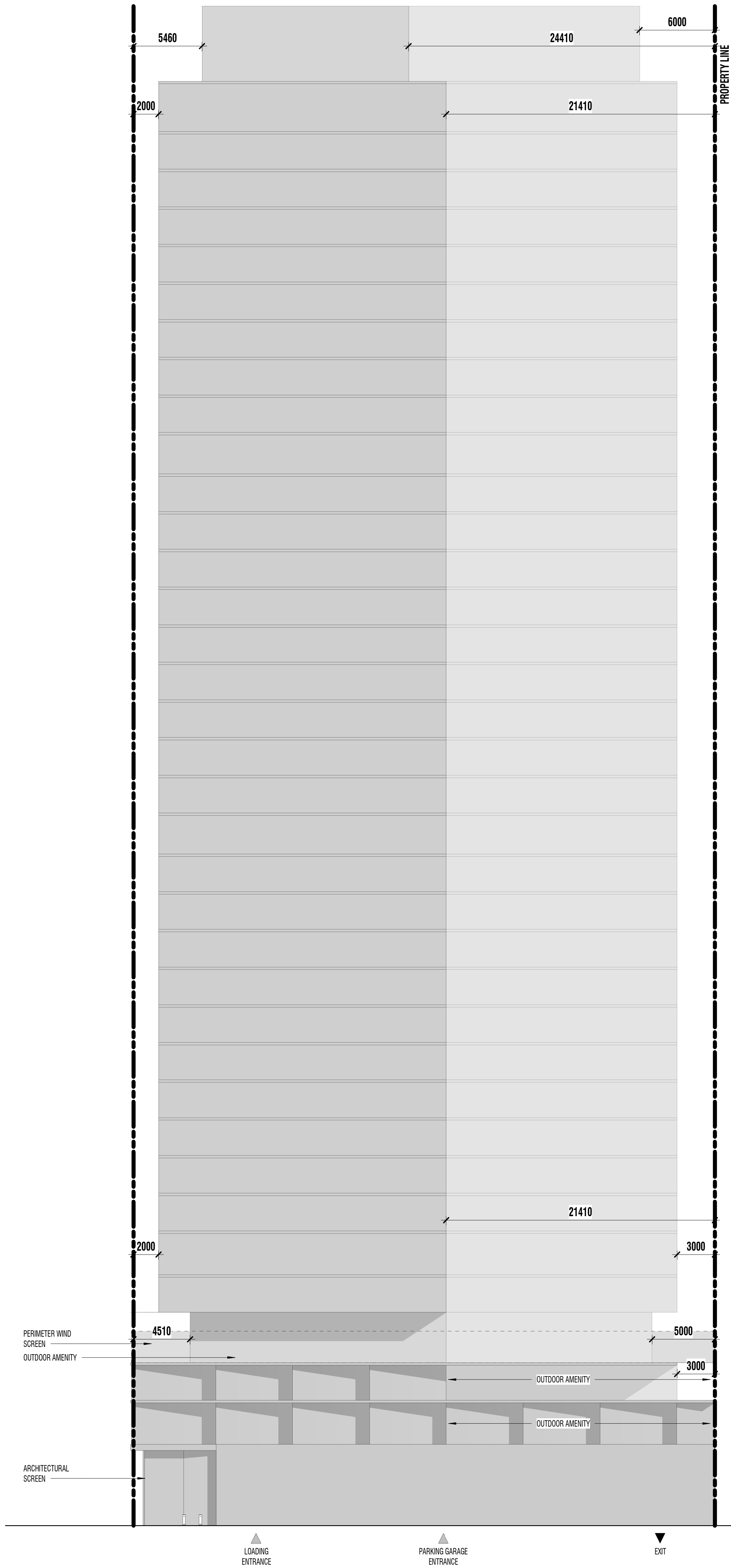
	Elevation First 16m Above Grade					
	North	South	East	West	Total (m2)	Total (%)
Glazing Area (m2)	321	329	219	48	917	100%
Untreated Area (m2)	0	0	0	0	0	0%
Treated Area (m2)	321	329	219	48	917	0%
Visual Markers (m2)	251	260	183	39	733	80%
Non-reflective glass (m2)	70	69	36	9	184	20%
Shaded (m2)	0	0	0	0	0	0%

Refer to the Toronto Green Standard Version 4 Ecology section for details on bird collision deterrence treatment options.

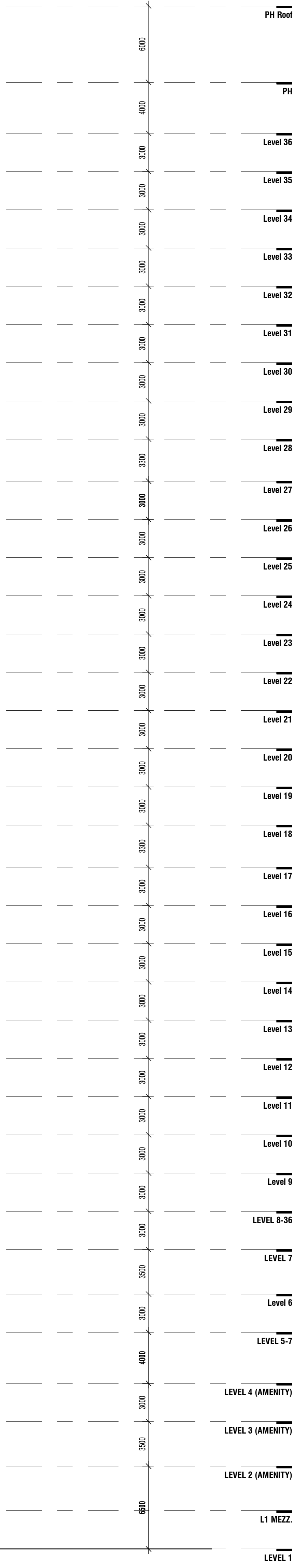


ES 4.3 GRATE POROSITY  
SCREENS SHOULD HAVE  
VENTILATION GRATES HAVE  
POROSITY OF LESS THAN  
20mm x 20mm (OR 4mm x 10mm)

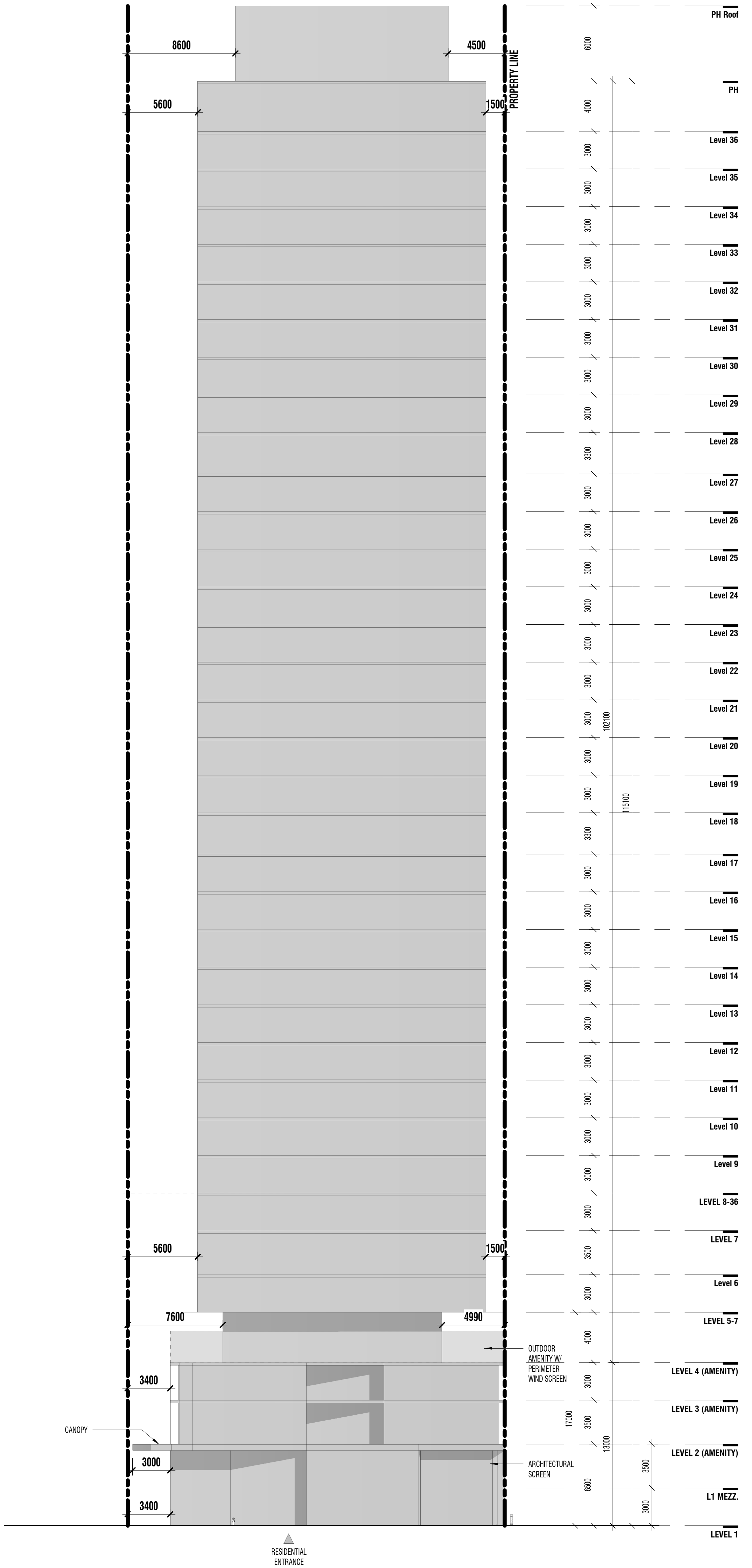
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1 North  
A5.01 1:200



2 East  
A5.01 1:200



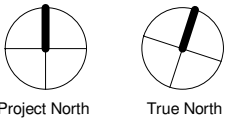
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TORONTO, ONTARIO



SCALE: As Indicated  
PROJECT NO: 202202  
ISSUE DATE: OCT. 29, 2024

BUILDING  
ELEVATIONS

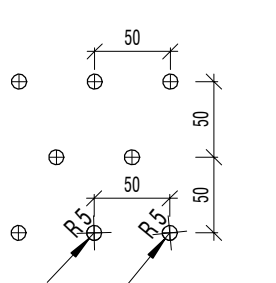
A5.01

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Untreated Area (m2)	0	0	0	0	0	0%
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Visual Markers (m2)	251	260	183	39	733	80%
Non-reflective glass (m2)	70	69	36	9	184	20%
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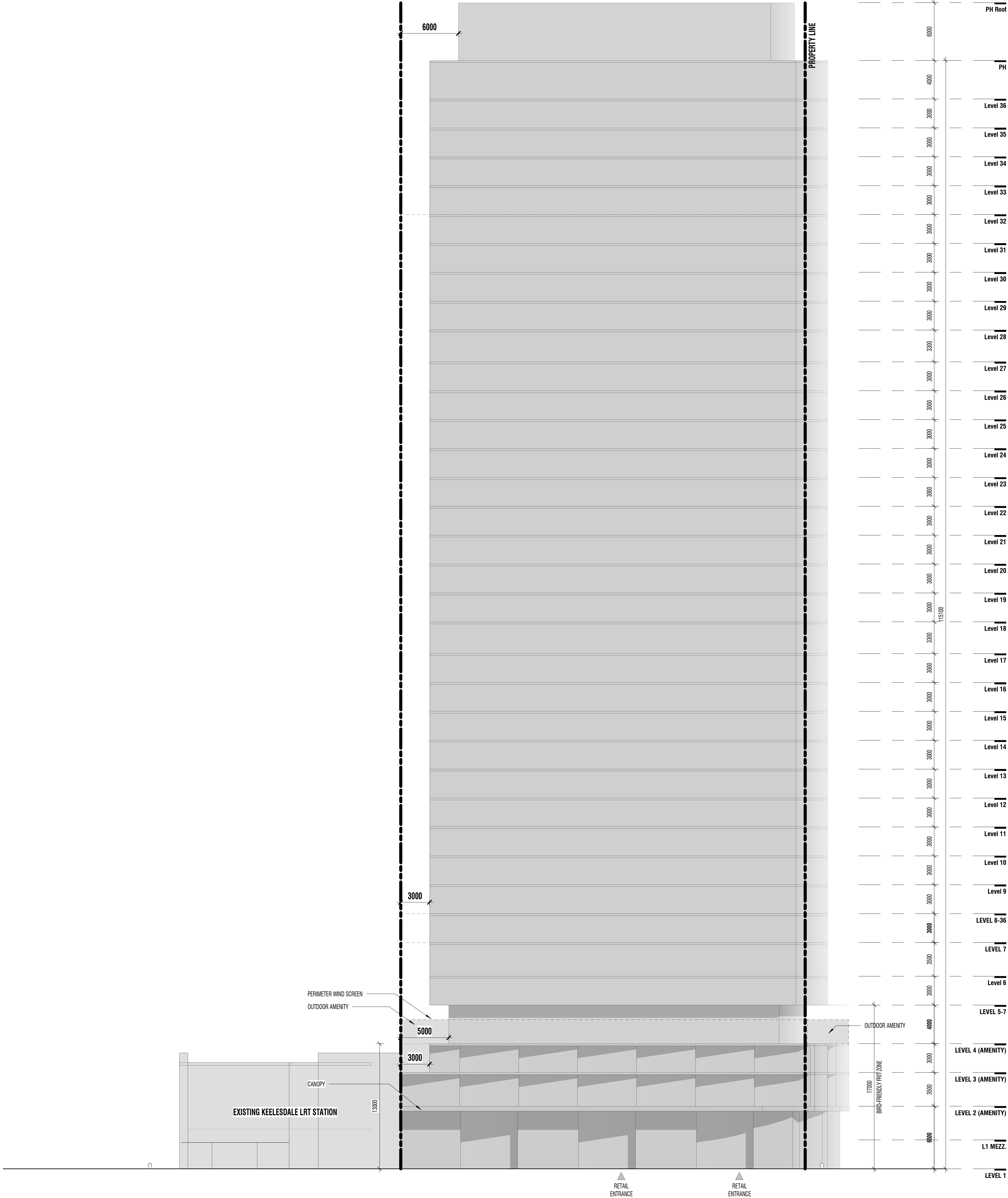
Refer to the Toronto Green Standard Version 4 Ecology section for details on bird collision deterrence treatment options.



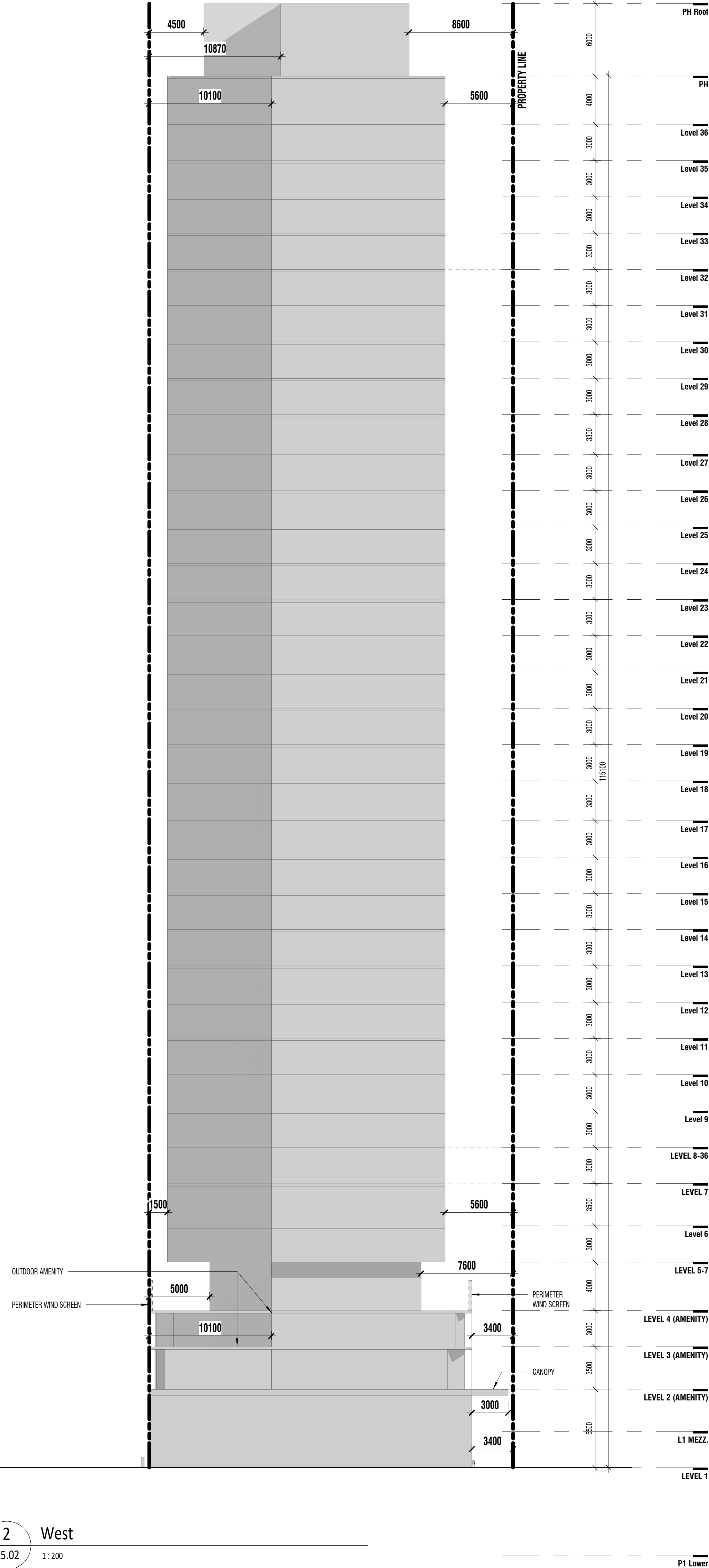
EG 4.3 BRICK POROSITY  
BRICKS: 50mm LEVEL  
VENTILATION GRATES HAVE  
POROSITY OF LESS THAN  
20mm x 20mm (OR EQUIV x 10mm)

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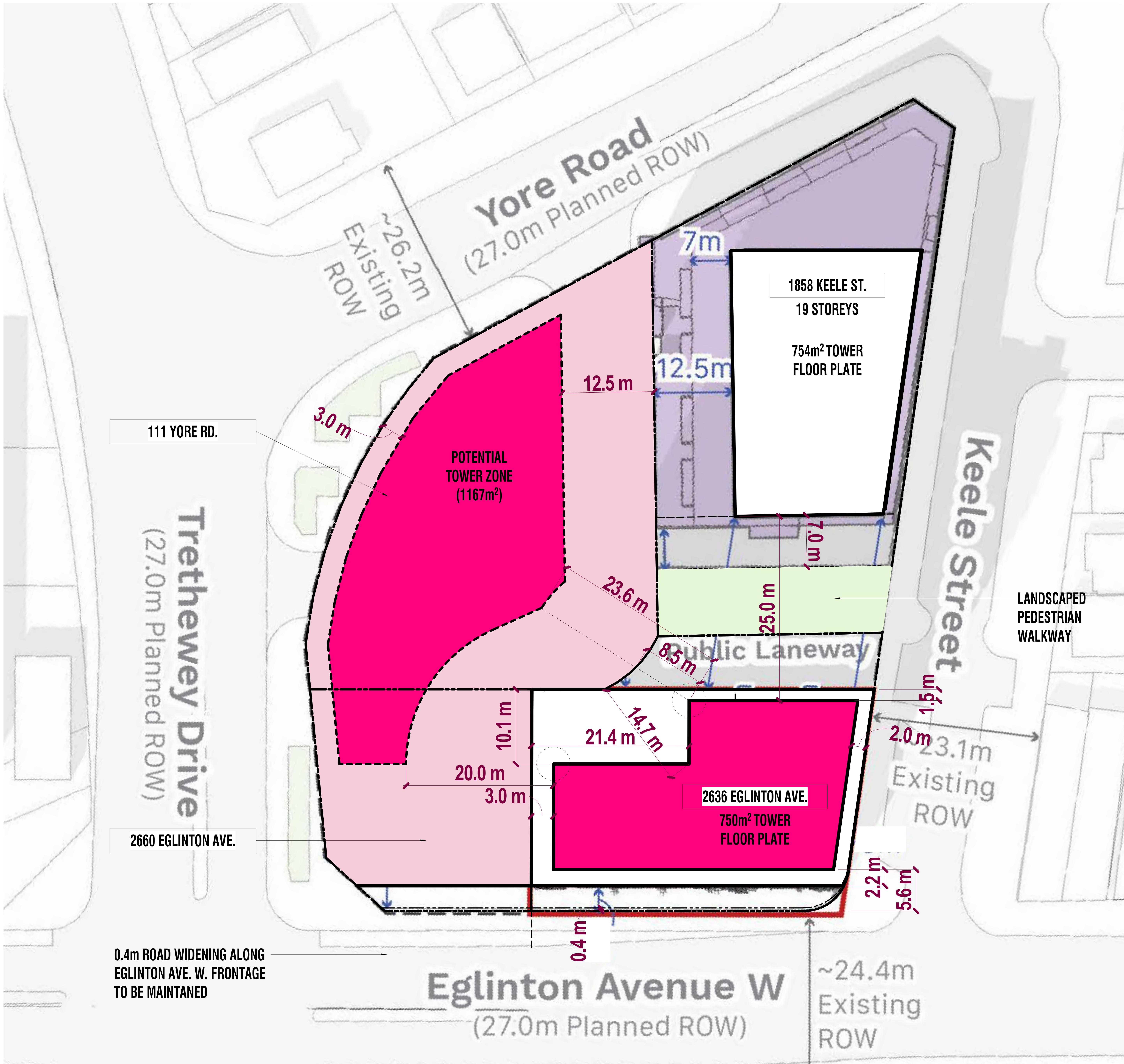


1 South  
A5.02 1:200



2 West  
A5.02 1:200





1 BLOCK PLAN  
A1.00A 1:200

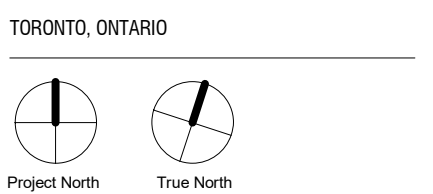
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4	March 11, 2025	Issued For Review
Rev.	Date	Issued

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SCALE 1:200  
PROJECT NO. 202202  
ISSUE DATE March 11, 2025

BLOCK PLAN