

Dis-Friendly Design Statistics



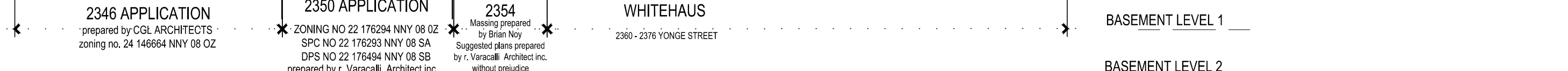
	Elevation First-Low Above Grade					Total (m ²)	Total (%)
	North	South	East	West			
Glazing Area (m ²)	120.00	128.86	129.77	14.26	393	100%	
Glazing Area (m ²) / Facing High-Rise Area							
Unobscured Area (m ²)	53.72	52.57	70.74	163.43	129.58		
Treated Area (m ²)	120.00	128.86	129.77	14.26	393		
Visual Markers (m ²)	48.00	41.54	51.91	13.72	153.28		
Non-reflective glass (m ²)							
Shaded (m ²)	72.00	65.32	77.86	20.57	235.80		

	Elevation First-High Above Roofing Vegetation*				Total (m ²)	Total (%)
	North (Floor #)	South (Floor #)	East (Floor #)	West (Floor #)		
Glazing Area (m ²)					0	
Unobscured Area (m ²)					0	
Treated Area (m ²)					0	
Non-reflective glass (m ²)					0	
Visual Markers (m ²)					0	
Shaded (m ²)					0	

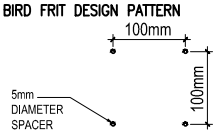
* Include this section only when applicable and provide relevant floor numbers for reference

Building Window / Wall Ratio	353 /	3690.58
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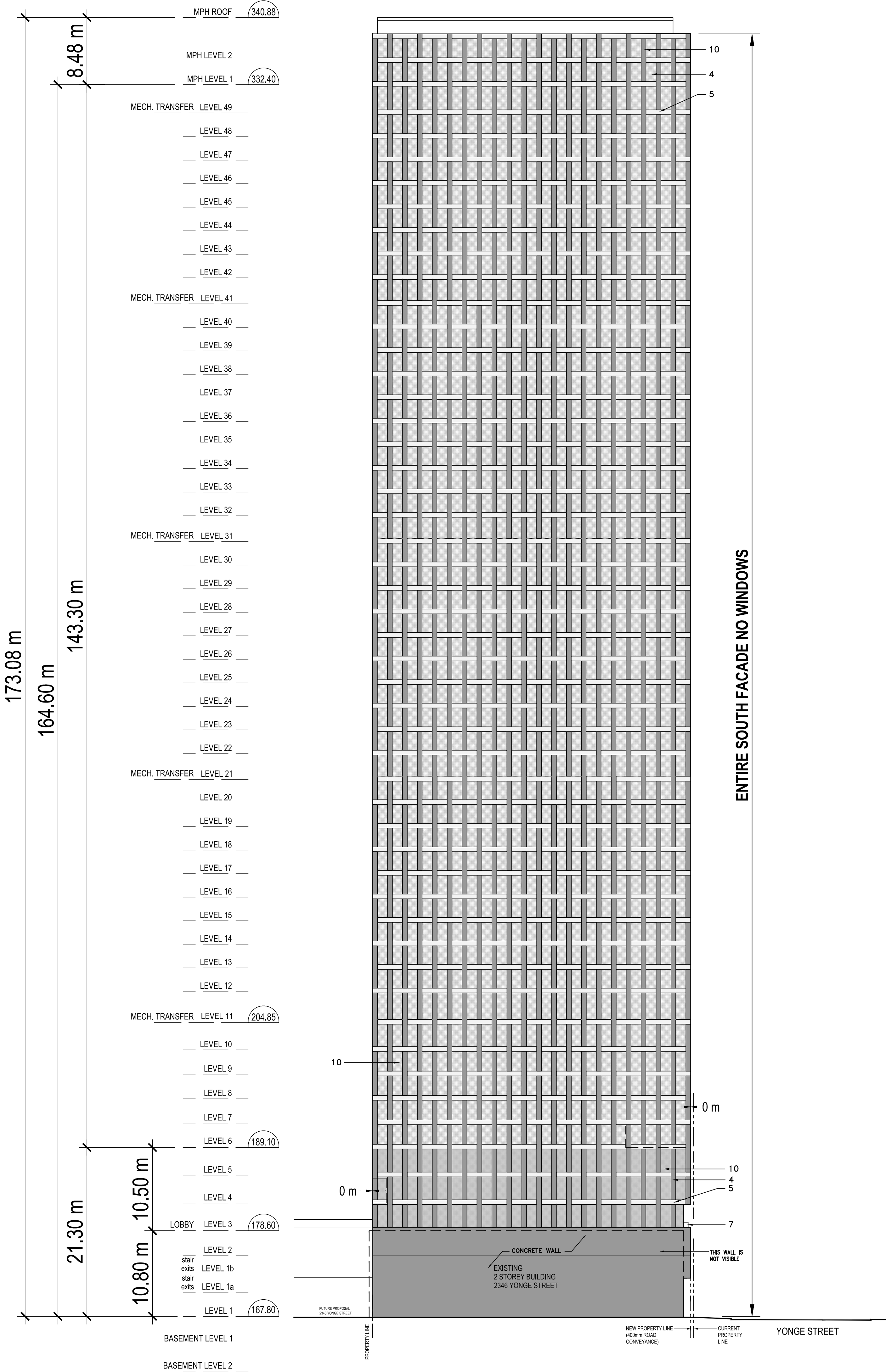
EXTERIOR BUILDING MATERIALS		
No.	MATERIAL	COLOUR
1	CURTAIN WALL GLAZING	CLEAR
2	WINDOW GLAZING	CLEAR
3	WINDOW MULLIONS	TO MATCH ADJACENT METAL PANEL
4	METAL PANEL COLOUR A	BLACK METAL PANEL
5	METAL PANEL COLOUR B	WHITE METAL PANEL
6	METAL PANEL COLOUR C	GREY MATTE SILVER METAL PANEL (SIMILAR TO 1 YORKVILLE)
7	RAILING GLASS (CLEAR)	CLEAR
8	METAL SCREEN/LOUVRES	SILVER TO MATCH No. 6
9	PRECAST PANEL	#####
10	SPANDREL GLAZING	NON VISION GLASS



BIRD FRIENDLY GLASS NOTES

1	CURTAIN WALL GLAZING - BIRD FRIT DESIGN PATTERN					
						
2	VISUAL MARKERS VISUAL MARKERS CONSIST OF OPAQUE CONTRASTING POINTS OR PATTERNS ETCHED INTO OR APPLIED ONTO THE EXTERIOR OR INTERIOR SURFACES OF GLASS.					
3	BIRD FRIENDLY FRIT PATTERN PROVIDED AT THE GROUND TO 3RD, AND PARTIAL 4TH FLOOR WINDOWS					
4	BIRD FRIENDLY FRIT PATTERN PROVIDED AT THE 3RD AND 4TH FLOOR BALCONY RAILINGS					
Bird-Friendly Design Statistics						
						
Elevation First 15m Above Grade						
	North	South	East	West	Total (m ²)	Total (%)
Glazing Area (m ²)	120.08	108.86	129.77	34.29	393	100%
Glazing Area (m ²) Facing High Hazard Area						
Untreated Area (m ²)	537.72	525.2	76.74	363.42	1297.58	
Treated Area (m ²)	120.08	108.86	129.77	34.29	393	
Visual Markers (m ²)	48.08	43.54	51.91	13.72	157.25	
Non-reflective glass (m ²)						
Shaded (m ²)	72.08	65.12	77.86	20.57	235.63	
Elevation First 4m Above Rooftop Vegetation*						
	North (Floor #)	South (Floor #)	East (Floor #)	West (Floor #)	Total (m ²)	Total (%)
Glazing Area (m ²)					0	
Untreated Area (m ²)					0	
Treated Area (m ²)					0	
Non-reflective glass (m ²)					0	
Visual Markers (m ²)					0	
Shaded (m ²)					0	
* include this section only where applicable and provide relevant floor numbers for reference						
Building Window : Wall Ratio		333	-	3690.58		

EXTERIOR BUILDING MATERIALS		
No.	MATERIAL	COLOUR
1	CURTAIN WALL GLAZING	CLEAR
2	WINDOW GLAZING	CLEAR
3	WINDOW MULLIONS	TO MATCH ADJACENT METAL PANEL
4	METAL PANEL COLOUR A	BLACK METAL PANEL
5	METAL PANEL COLOUR B	WHITE METAL PANEL
6	METAL PANEL COLOUR C	GREY MATTE SILVER METAL PANEL (SIMILAR TO 1 YORKVILLE)
7	RAILING GLASS (CLEAR)	CLEAR
8	METAL SCREEN/LOUVRES	SILVER TO MATCH No. 6
9	PRECAST PANEL	#####
10	SPANDREL GLAZING	NON VISION GLASS



Proposed Mixed Use Development

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1 CURTAIN WALL GLAZING - BIRD-FIT DESIGN PATTERN

Diagram illustrating the Bird-Fit Design Pattern for curtain wall glazing. The diagram shows a cross-section of a window with a 100mm gap and a 100mm height. The gap is labeled "100mm" and the height is labeled "100mm". The diagram also shows a "SEAM" and "GLAZING SPACING".

2 VISUAL MARKERS

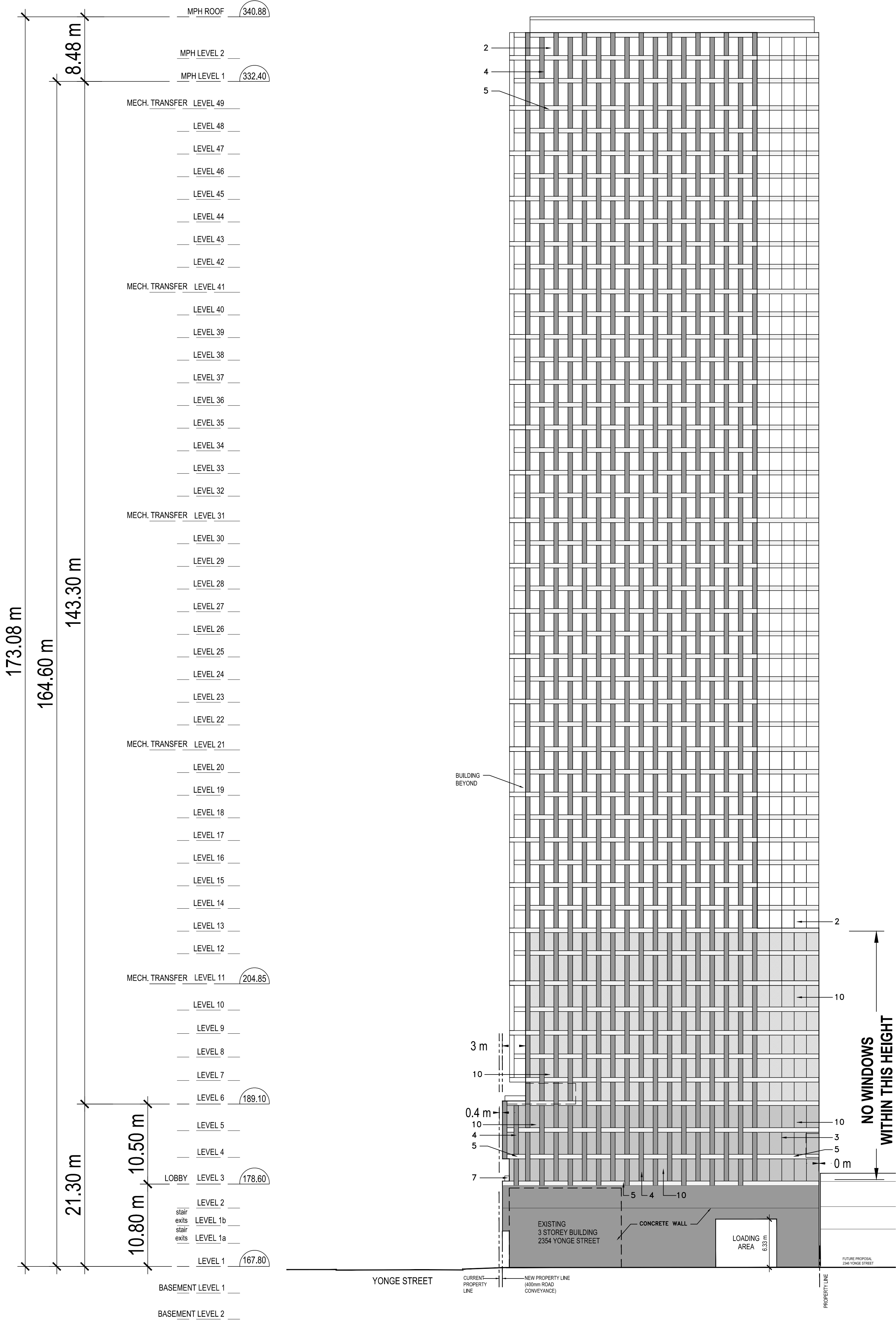
Visual markers consist of opaque contrasting points or patterns etched into or applied onto the interior or exterior surfaces of glass.

3 BIRD-FRIENDLY FRET PATTERNS PROVIDED AT THE GROUND TO 3RD, AND PARTIAL 4TH FLOOR WINDOWS

4 BIRD-FRIENDLY FRET PATTERNS PROVIDED AT THE 3RD AND 4TH FLOOR BALCONY RAILINGS

Bird-Friendly Design Statistics						
Elevation First Line Above Grade						
	North	South	East	West	Total (m ²)	Total (%)
Glazing Area (m ²)	120.08	108.86	129.77	34.26	393	100%
Glazing Area (%) Facing High Nearest Area						
Unobstructed Area (m ²)	537.72	525.7	76.74	163.42	1297.58	
Treated Area (m ²)	120.08	108.86	129.77	34.26	393	
Visual Markers (m ²)	48.08	43.54	51.91	13.72	157.25	
Non-reflective glass (m ²)						
Shaded (m ²)	72.05	65.13	77.86	21.75	236.82	
Elevation First Two Above Roofscape Vegetation*						
	North (Floor #)	South (Floor #)	East (Floor #)	West (Floor #)	Total (m ²)	Total (%)
Glazing Area (m ²)	0	0	0	0	0	0
Unobstructed Area (m ²)	0	0	0	0	0	0
Treated Area (m ²)	0	0	0	0	0	0
Non-reflective glass (m ²)	0	0	0	0	0	0
Visual Markers (m ²)	0	0	0	0	0	0
Shaded (m ²)	0	0	0	0	0	0
* Includes this section only where applicable and provide relevant floor numbers for reference						
Building Window : Wall Ratio		333		3690.58		

EXTERIOR BUILDING MATERIALS		
No.	MATERIAL	COLOUR
1	CURTAIN WALL GLAZING	CLEAR
2	WINDOW GLAZING	CLEAR
3	WINDOW MULLIONS	TO MATCH ADJACENT METAL PANEL
4	METAL PANEL COLOUR A	BLACK METAL PANEL
5	METAL PANEL COLOUR B	WHITE METAL PANEL
6	METAL PANEL COLOUR C	GREY MATTE SILVER METAL PANEL (SIMILAR TO 1 YORKVILLE)
7	RAILING GLASS (CLEAR)	CLEAR
8	METAL SCREEN/LOUVRES	SILVER TO MATCH No. 6
9	PRECAST PANEL	#####
10	SPANDREL GLAZING	NON VISION GLASS



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F . 905 323 0438

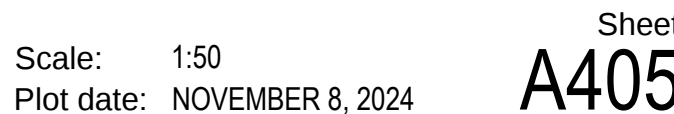
Signature

Project Manager
J. Seto

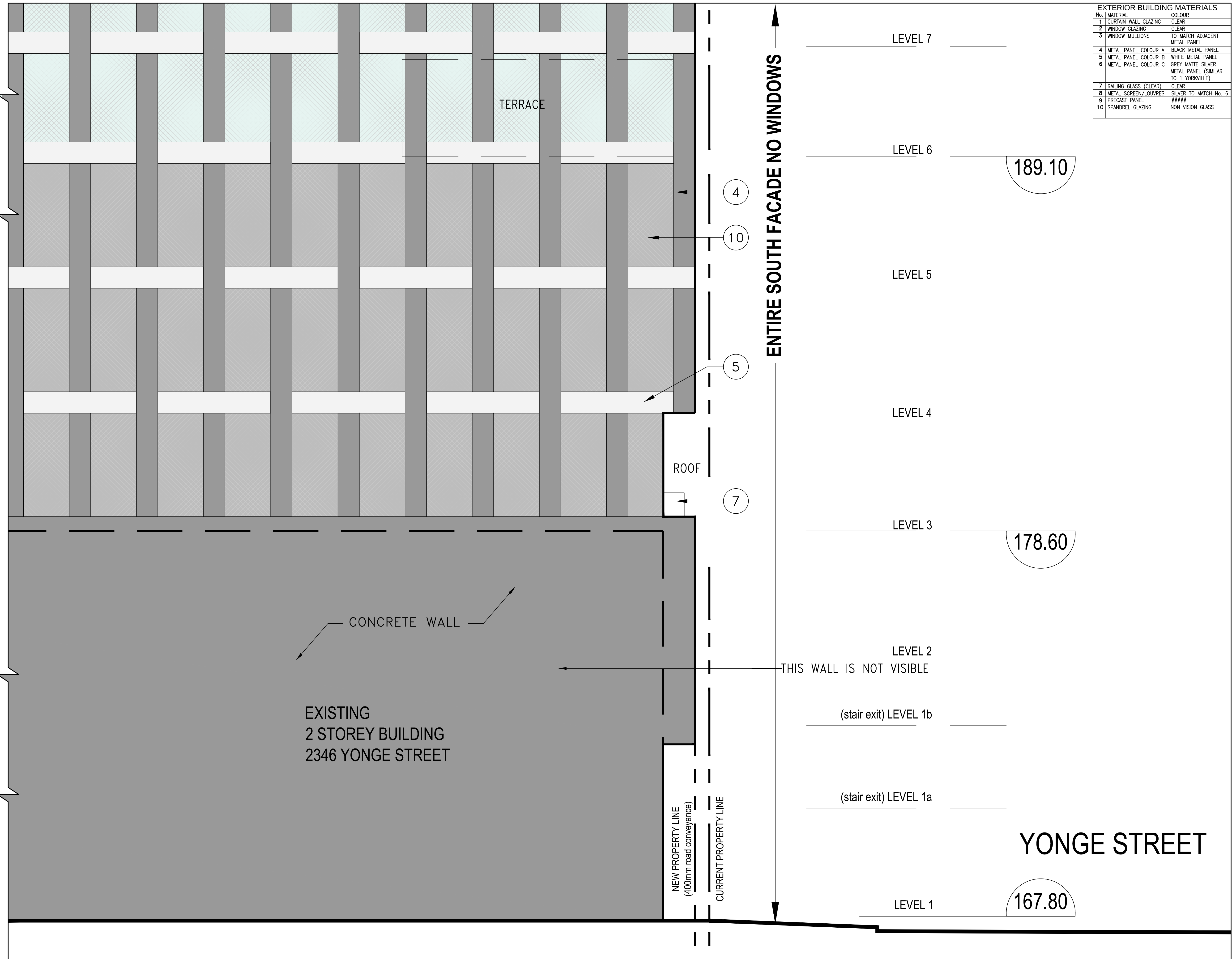
[illegible]

Proposed Mixed Use Development

2350-2352 YONGE STREET
Toronto, Ontario
Drawing
NORTH ELEVATION



FOR PODIUM CONTINUATION REFER TO DRAWING A406A



EXTERIOR BUILDING MATERIALS		
No.	MATERIAL	COLOUR
1	CURTAIN WALL GLAZING	CLEAR
2	WINDOW GLAZING	CLEAR
3	WINDOW MULLIONS	TO MATCH ADJACENT METAL PANEL
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9	PRECAST PANEL	####
10	SPANDREL GLAZING	NON VISION GLASS

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r. Varacalli Architect inc.

1700 Langstaff Road, Unit No.1003, Concord, Ontario, Canada, L4K 3S3
T. 905 761 9544 . 905 532 0438

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Architect
R. Varacalli
OAA, RAIC

Signature

Project Manager
J. Seto

[illegible]

03	Nov. 8, 2024	Settlement
02	Jan. 22, 2024	OLT Mediation
01	May 25, 2022	Issued for Zoning & SPA
No	Date	Issued for

Building Permit #	
Drain Permit #	
Foundation Permit #	
Shoring & Excavation #	
Hoarding Permit #	
Demolition Permit #	
S.P.A. Application #	22 176293 NNY 08 SA
Zoning Application #	22 176294 NNY 08 OZ
Draft Plan of Subdivision Application #	22 176494 NNY 08 SB

Proposed Mixed Use Development

2350-2352 YONGE STREET
Toronto, Ontario

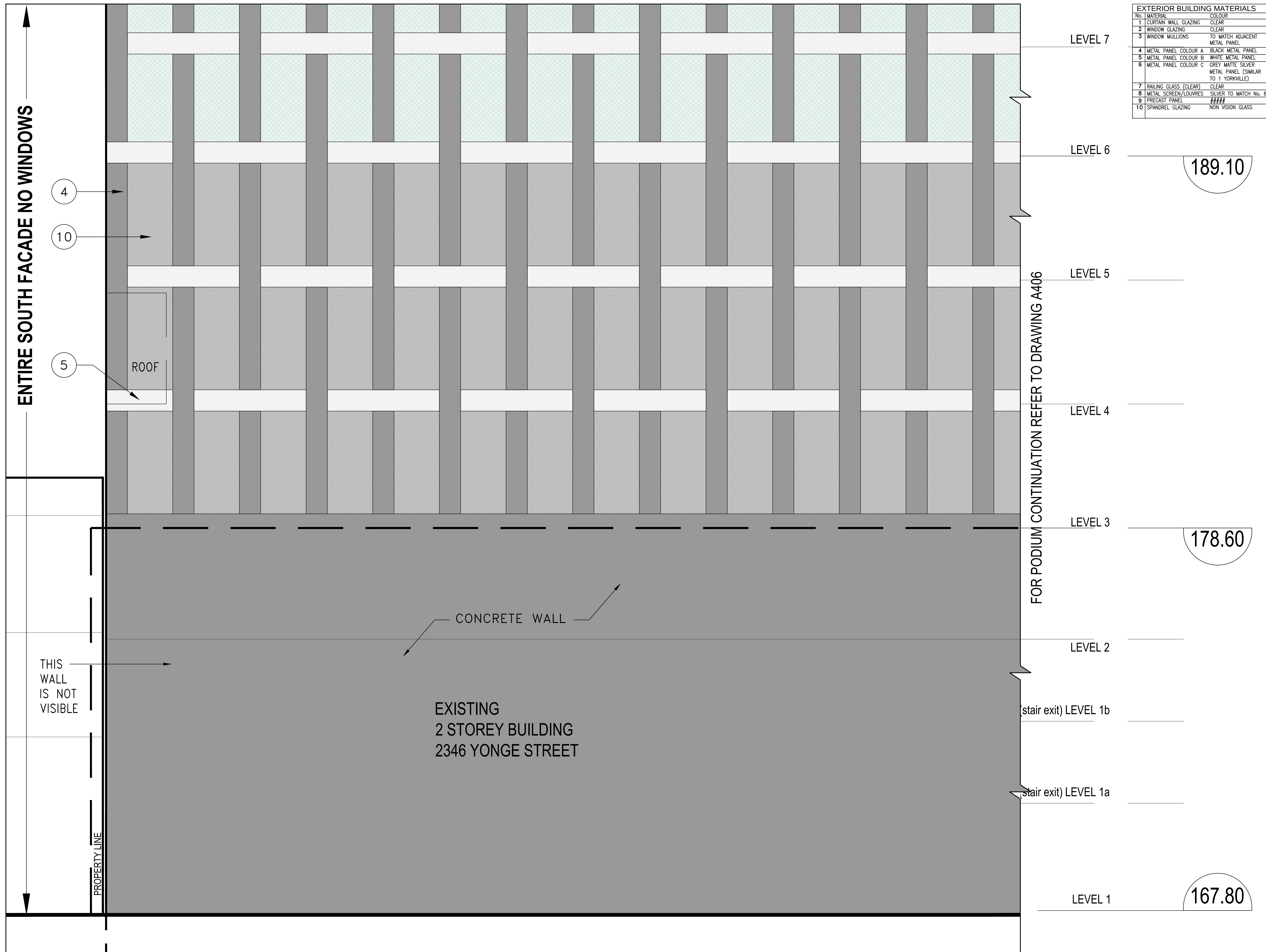
Drawing

PARTIAL SOUTH PODIUM ELEVATION

Scale: 1:50
Plot date: NOVEMBER 8, 2024

Sheet

A406



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r. Varacalli Architect inc.

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Architect
R. Varacalli
OAA, RAIC

Signature

Proposed Mixed Use Development

2350-2352 YONGE STREET
Toronto, Ontario

Drawing

PARTIAL SOUTH
PODIUM ELEVATION

This architectural floor plan illustrates a loading area and an adjacent roof structure. The loading area is a white rectangular space measuring 6.33 m, located at the bottom right. To its left is a grey area labeled "CONCRETE WALL". The roof structure is shown above the loading area, featuring a grid of vertical and horizontal lines. The roof is divided into sections with different hatching patterns: a light green cross-hatch pattern for the uppermost section, a grey cross-hatch pattern for the middle section, and a white cross-hatch pattern for the lowermost section. A "ROOF" label is positioned near the top right. Several circular callouts with numbers (3, 4, 5, 10) are placed throughout the plan, likely indicating specific structural details or materials. The overall layout is enclosed within a thick black border.

PROPERTY LINE

EXTERIOR BUILDING MATERIALS	
No.	MATERIAL COLOUR
1	CURTAIN WALL GLAZING CLEAR
2	WINDOW GLAZING CLEAR
3	WINDOW MULLIONS TO MATCH ADJACENT METAL PANEL
4	METAL PANEL COLOUR A BLACK METAL PANEL
5	METAL PANEL COLOUR B WHITE METAL PANEL
6	METAL PANEL COLOUR C GREY MATTE SILVER METAL PANEL (SIMILAR TO 1 YORKVILLE)
7	RAILING GLASS (CLEAR) CLEAR
8	METAL SCREEN/LOUVRES SILVER TO MATCH No. 6
9	PRECAST PANEL #####
10	SPANDREL GLAZING NON VISION GLASS

LEVEL 7

189.10

LEVEL 5

LEVEL 4

LEVEL 3

178.60

LEVEL 2

(stair exit) LEVEL 1b

(stair exit) LEVEL 1a

LEVEL 1

167.80

Proposed Mixed Use Development

Drawing

PARTIAL NORTH
PODIUM ELEVATION

