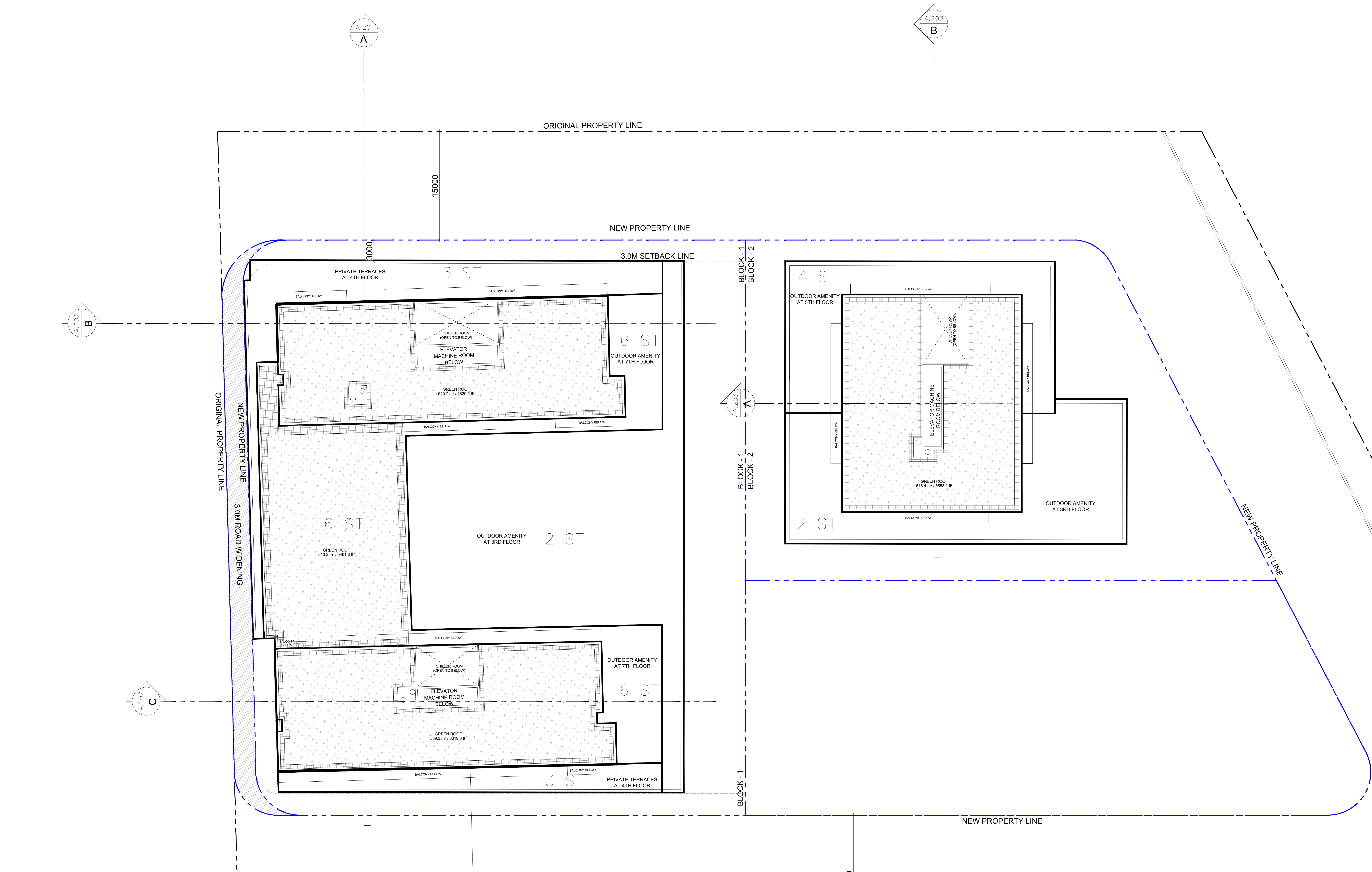




Green Roof Statistics BLOCK 1

	Proposed	
Gross Floor Area, as defined in Green Roof Bylaw (m ²)	54,860	
Total Roof Area (m ²)	4355.1	
Area of Residential Private Terraces (m ²)	556.2	
Rooftop Outdoor Amenity Space, if in a Residential Building (m ²)	1279	
Area of Renewable Energy Devices (m ²)	0	
Tower (s)Roof Area with floor plate less than 750 m ²	0	
Total Available Roof Space (m ²)	2520	
Green Roof Coverage	Required	Proposed
Coverage of Available Roof Space (m ²)	1,512	1,610
Coverage of Available Roof Space (%)	60%	64%

Green Roof Statistics BLOCK 2

	Proposed	
Gross Floor Area, as defined in Green Roof Bylaw (m ²)	30,240	
Total Roof Area (m ²)	1660.9	
Area of Residential Private Terraces (m ²)	0	
Rooftop Outdoor Amenity Space, if in a Residential Building (m ²)	801	
Area of Renewable Energy Devices (m ²)	0	
Tower (s)Roof Area with floor plate less than 750 m ²	0	
Total Available Roof Space (m ²)	859.9	
Green Roof Coverage	Required	Proposed
Coverage of Available Roof Space (m ²)	515.9	516.4
Coverage of Available Roof Space (%)	60%	60%

CLIENT

FIELD
GATE
URBAN

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KEY PLAN

ISSUES

No.	DESCRIPTION	DATE
01	REZONING 1 SUBMISSION	2019/12/04
02	REZONING 2 SUBMISSION	2021/10/20
03	SPA SUBMISSION BLOCK 1 AND 2	2021/12/24
04	REZONING 3 SUBMISSION	2022/10/26
05	REZONING 4 SUBMISSION	2024/02/06
06	SETTLEMENT SUBMISSION	2025/06/17

SEAL



PROJECT

670-690
PROGRESS AVE.

PROJECT NO: 121606

DRAWN BY: DATE: 17 JUNE, 2025
SCALE: 1:200 APPROVED BY:

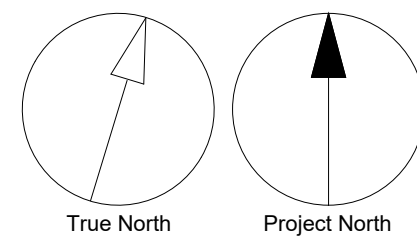


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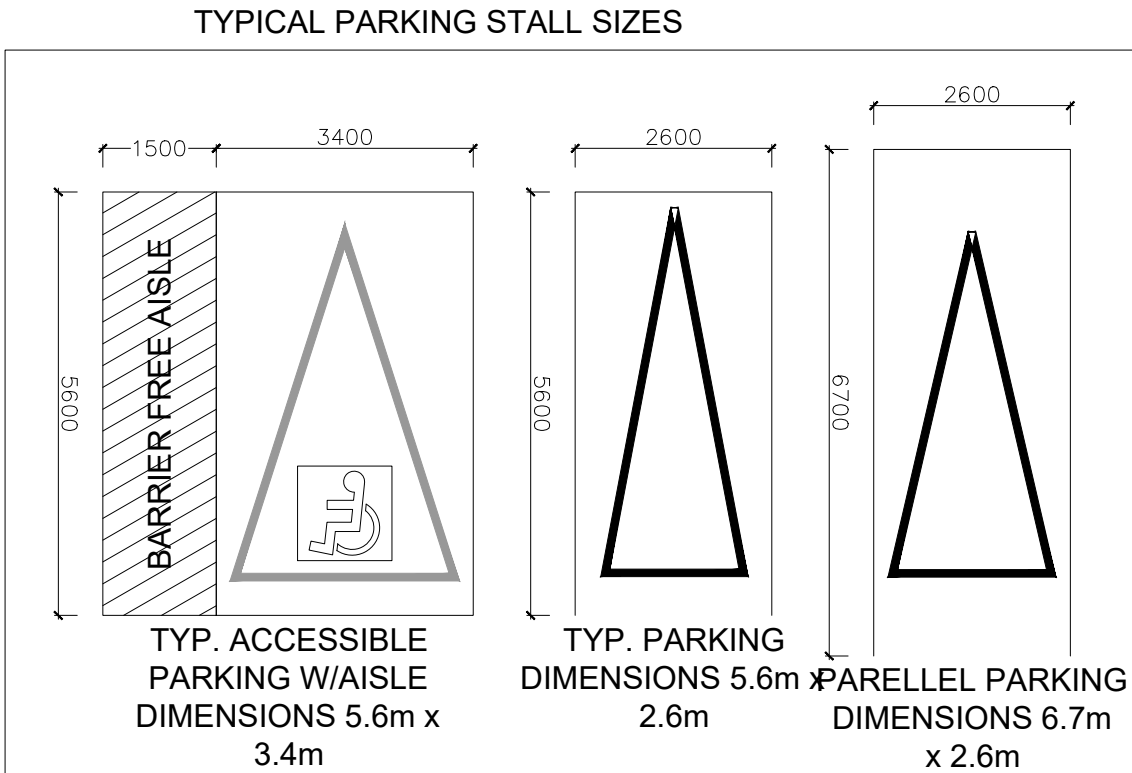
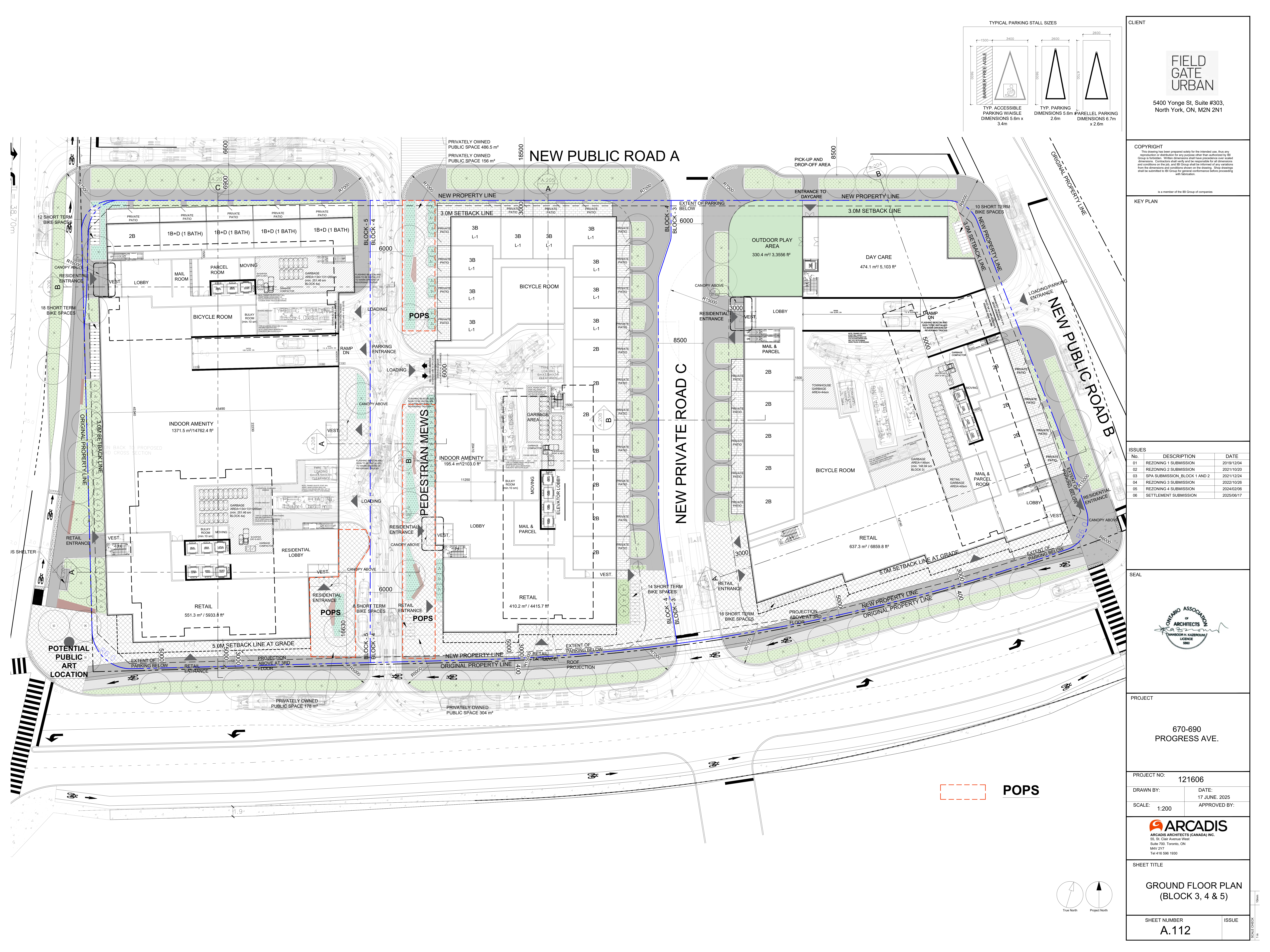
ROOF PLAN
(BLOCK 1 & 2)

SHEET NUMBER
A.111

ISSUE



SCALE CHECK
1 m
10mm



CLIENT

FIELD GATE URBAN

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KEY PLAN

ISSUES

No.	DESCRIPTION	DATE
01	REZONING 1 SUBMISSION	2019/12/04
02	REZONING 2 SUBMISSION	2021/11/20
03	SPA SUBMISSION, BLOCK 1 AND 2	2021/12/24
04	REZONING 3 SUBMISSION	2022/10/26
05	REZONING 4 SUBMISSION	2024/02/08
06	SETTLEMENT SUBMISSION	2025/06/17

SEAL

ONTARIO ASSOCIATION OF ARCHITECTS
MANSON H. KAZEROONI
LICENCE 5960

PROJECT

670-690
PROGRESS AVE.

PROJECT NO: 121606

DRAWN BY: DATE: 17 JUNE, 2025

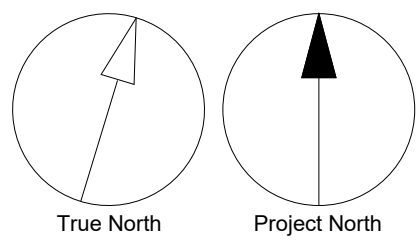
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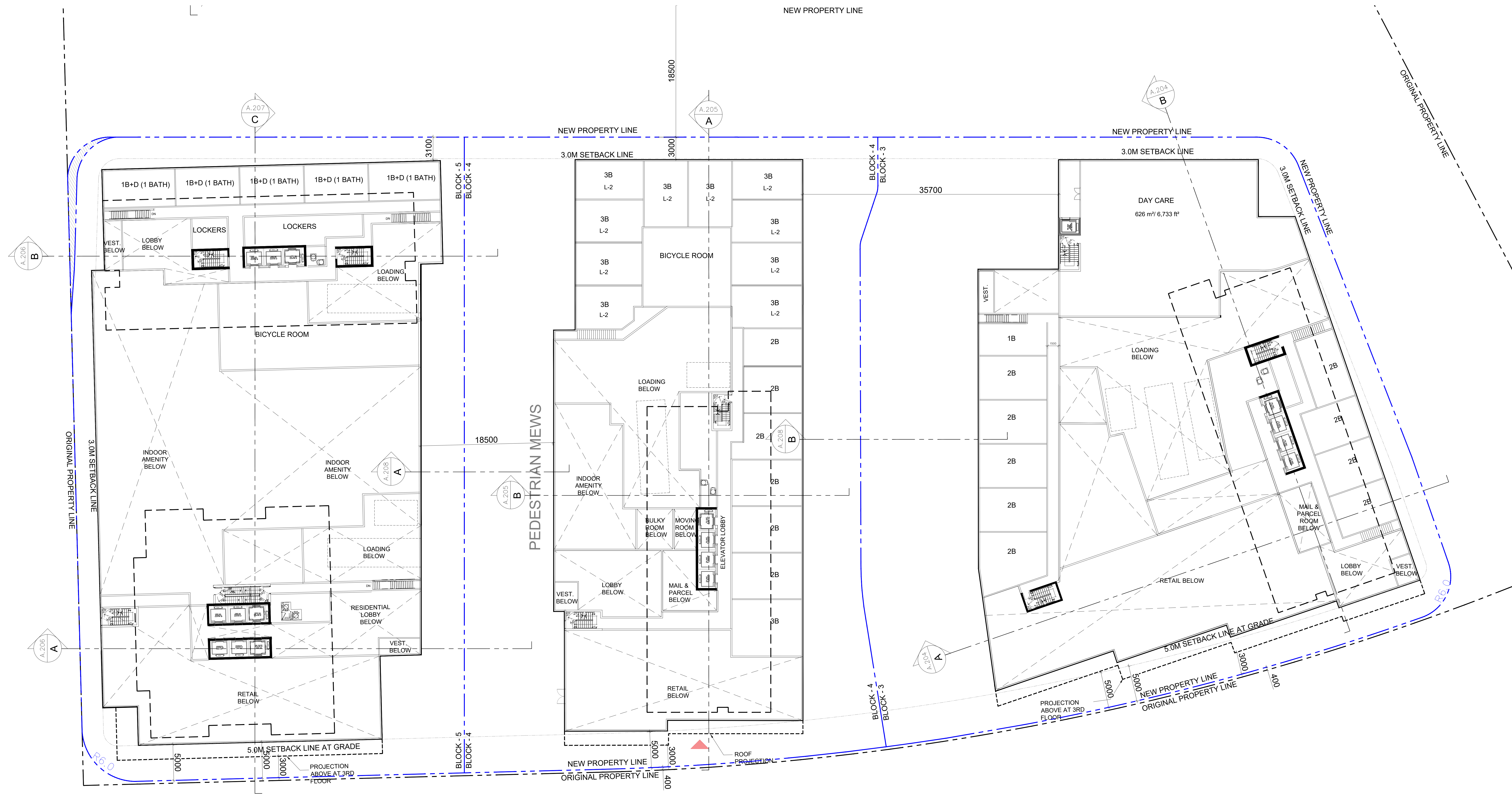
SHEET TITLE

**GROUND FLOOR PLAN
(BLOCK 3, 4 & 5)**

SHEET NUMBER A.112

ISSUE





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KEY PLAN

ISSUES

No.	DESCRIPTION	DATE
01	REZONING 1 SUBMISSION	2019/12/04
02	REZONING 2 SUBMISSION	2021/10/20
03	SPA SUBMISSION BLOCK 1 AND 2	2021/12/24
04	REZONING 3 SUBMISSION	2022/10/26
05	REZONING 4 SUBMISSION	2024/02/06
06	SETTLEMENT SUBMISSION	2025/06/17

SEAL

ONTARIO ASSOCIATION
OF
ARCHITECTS

PROJECT

670-690
PROGRESS AVE.

PROJECT NO:

121606

DRAWN BY:

DATE:

SCALE:

1:200

APPROVED BY:

ARCADIS ARCHITECTS (CANADA) INC.
65 St. Clair Avenue West
Suite 700, Toronto, ON
M4V 2T7
Tel: 416-596-1930

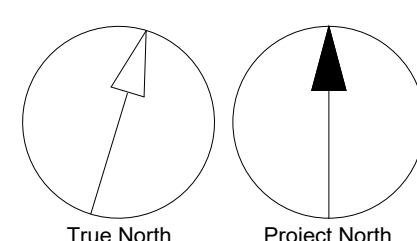
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2ND FLOOR PLAN
(BLOCK 3, 4 & 5)

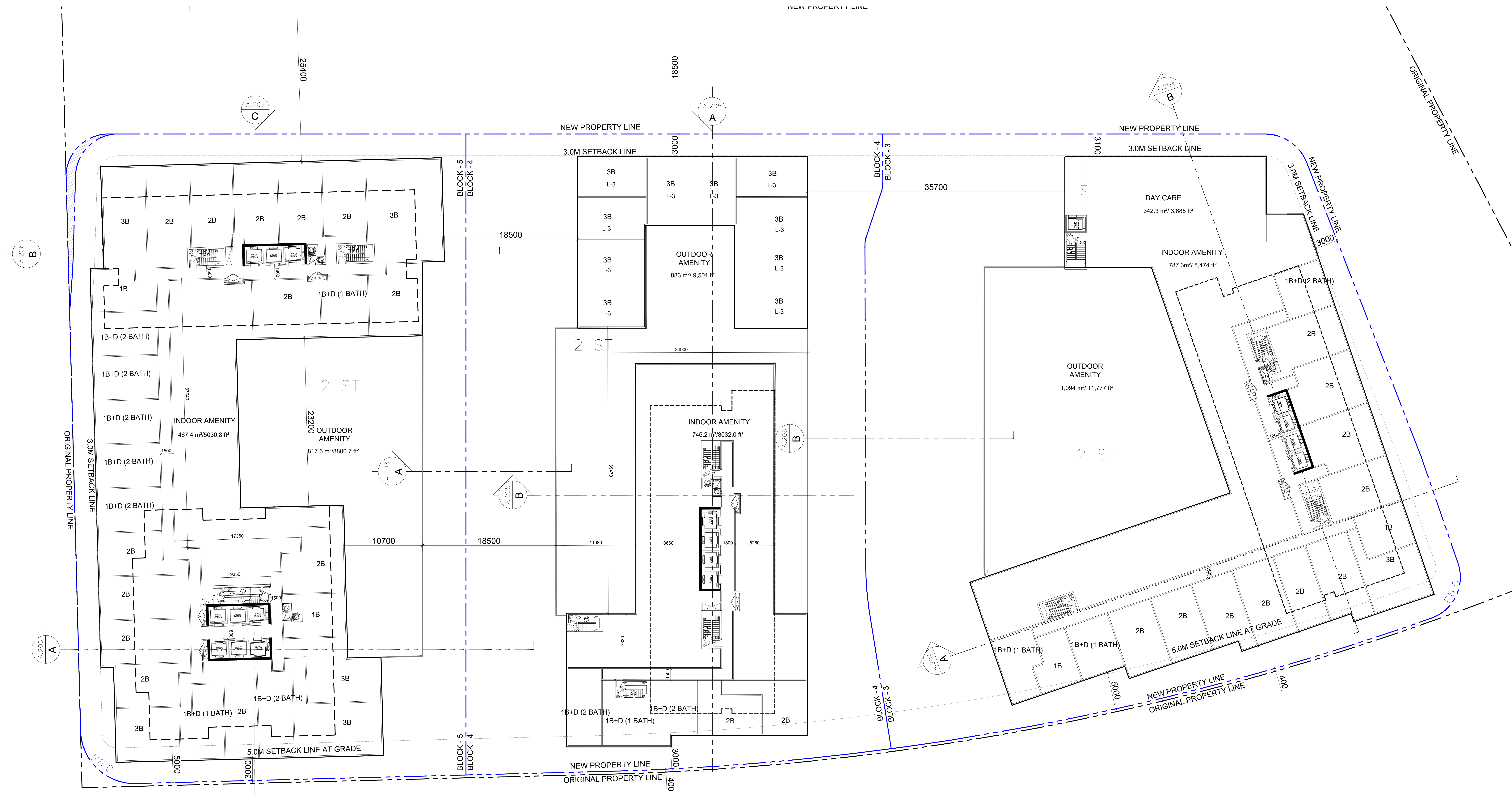
SHEET NUMBER

ISSUE

A.113



SCALE CHECK
1 m
10mm



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KEY PLAN

ISSUES

No.	DESCRIPTION	DATE
01	REZONING 1 SUBMISSION	2019/12/04
02	REZONING 2 SUBMISSION	2021/10/20
03	SPA SUBMISSION BLOCK 1 AND 2	2021/12/24
04	REZONING 3 SUBMISSION	2022/10/26
05	REZONING 4 SUBMISSION	2024/02/06
06	SETTLEMENT SUBMISSION	2025/06/17

SEAL

PROJECT

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PROGRESS AVE.

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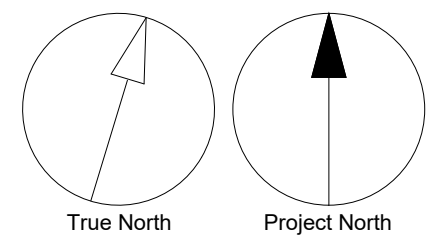
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65 St. Clair Avenue West
Suite 700, Toronto, ON
M4V 2T7
Tel: 416 596 1930

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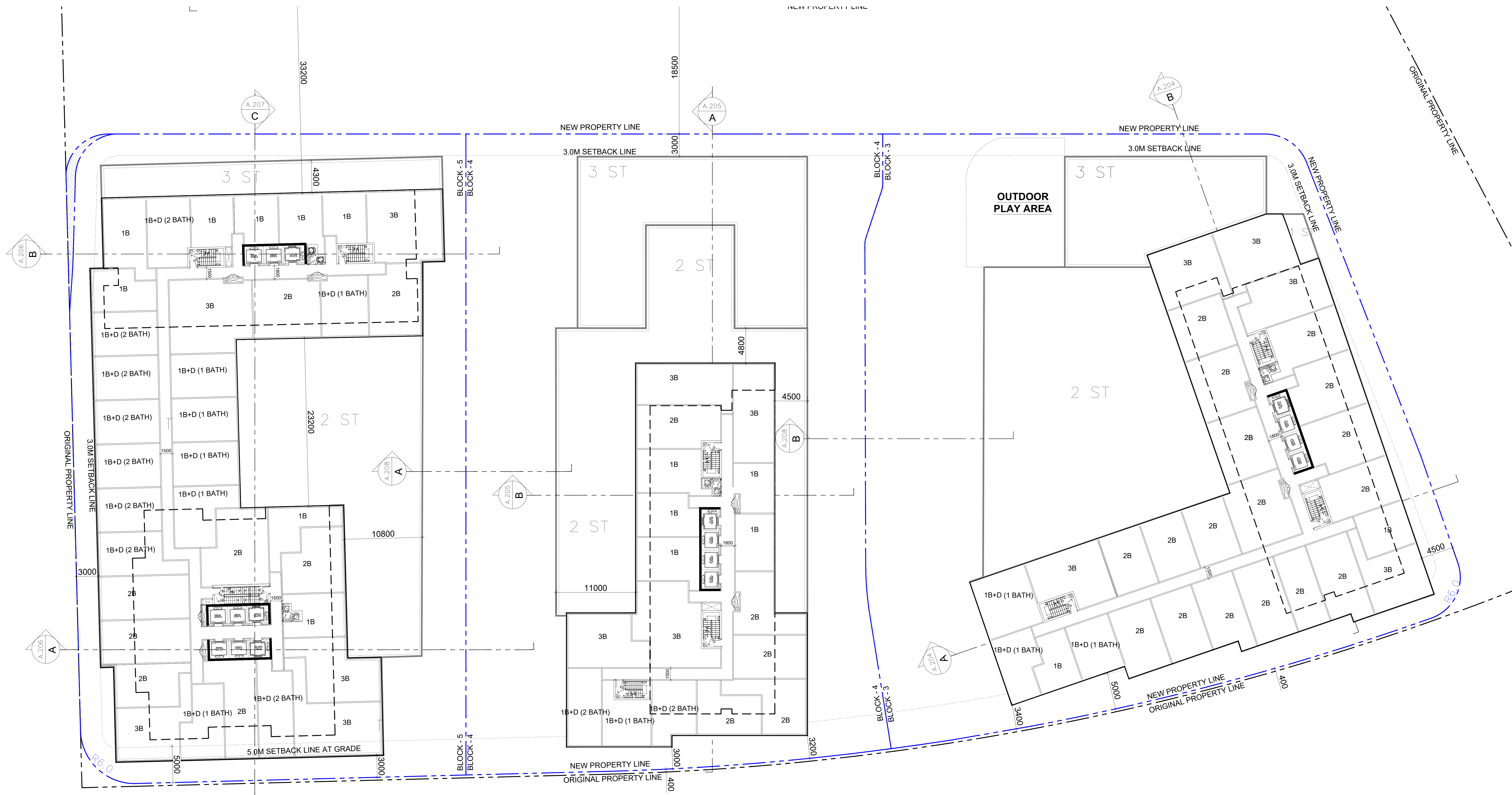
3RD FLOOR PLAN
(BLOCK 3, 4 & 5)

SHEET NUMBER
A.114

ISSUE



SCALE CHECK
1 m
70mm



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KEY PLAN

ISSUES

No.	DESCRIPTION	DATE
01	REZONING 1 SUBMISSION	2019/12/04
02	REZONING 2 SUBMISSION	2021/10/20
03	SPA SUBMISSION BLOCK 1 AND 2	2021/12/24
04	REZONING 3 SUBMISSION	2022/10/26
05	REZONING 4 SUBMISSION	2024/02/06
06	SETTLEMENT SUBMISSION	2025/06/17

SEAL

ONTARIO ASSOCIATION
OF
ARCHITECTS
TRANSFORMING VISIONS
LICENCE
5860

PROJECT

670-690
PROGRESS AVE.

PROJECT NO:

121606

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DATE:

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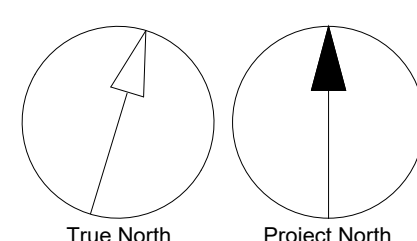
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4TH FLOOR PLAN
(BLOCK 3, 4 & 5)

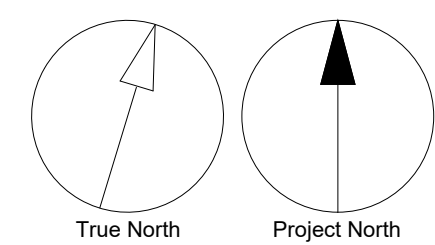
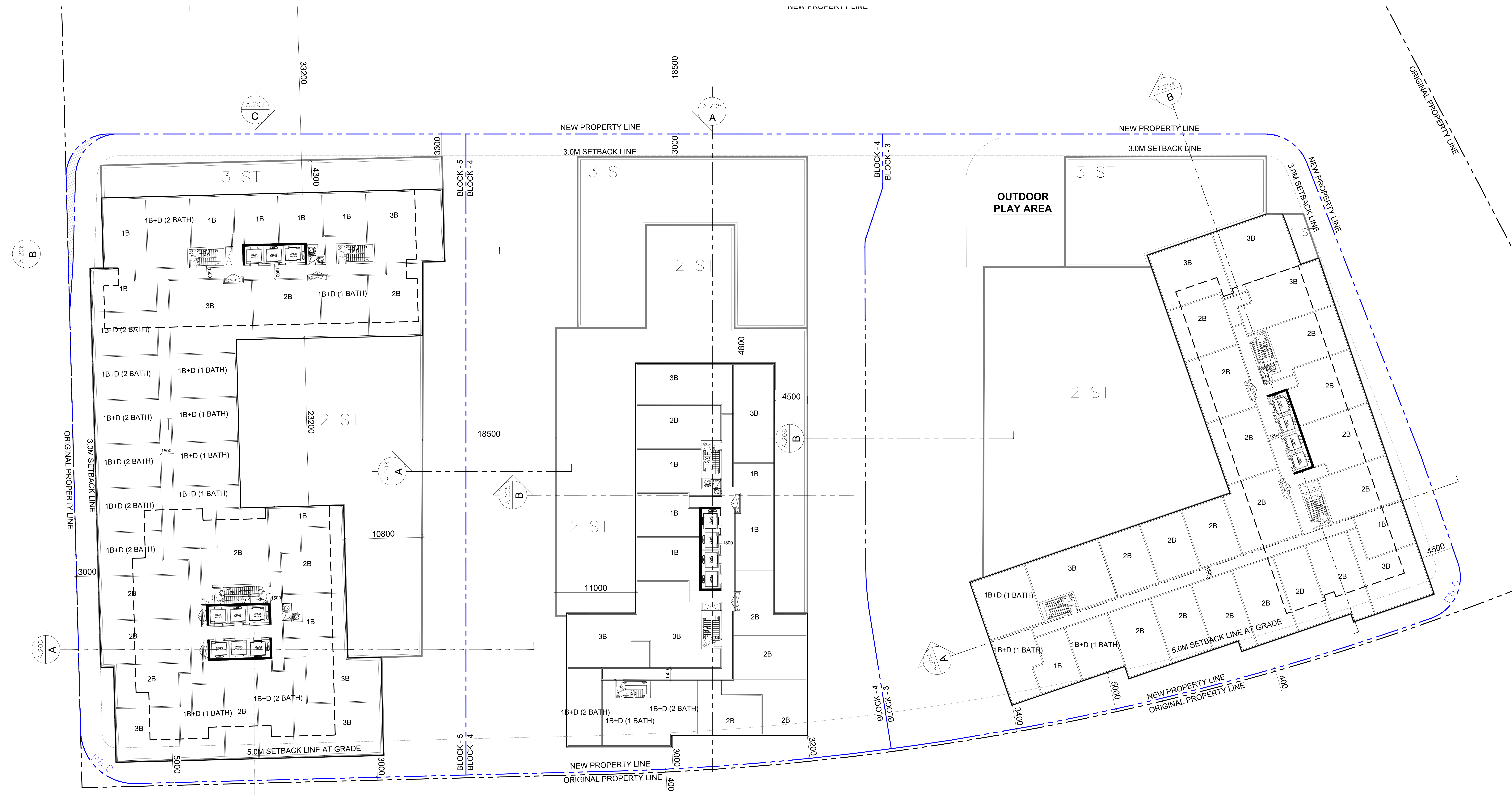
SHEET NUMBER

ISSUE

A.115



SCALE CHECK
1 m
70mm



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FIELD
GATE
URBAN

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KEY PLAN

ISSUES

No.	DESCRIPTION	DATE
01	REZONING 1 SUBMISSION	2019/12/04
02	REZONING 2 SUBMISSION	2021/10/20
03	SPA SUBMISSION BLOCK 1 AND 2	2021/12/24
04	REZONING 3 SUBMISSION	2022/10/26
05	REZONING 4 SUBMISSION	2024/02/06
06	SETTLEMENT SUBMISSION	2025/06/17

SEAL

PROJECT

670-690
PROGRESS AVE.

PROJECT NO:

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Tel: 416 596 1930

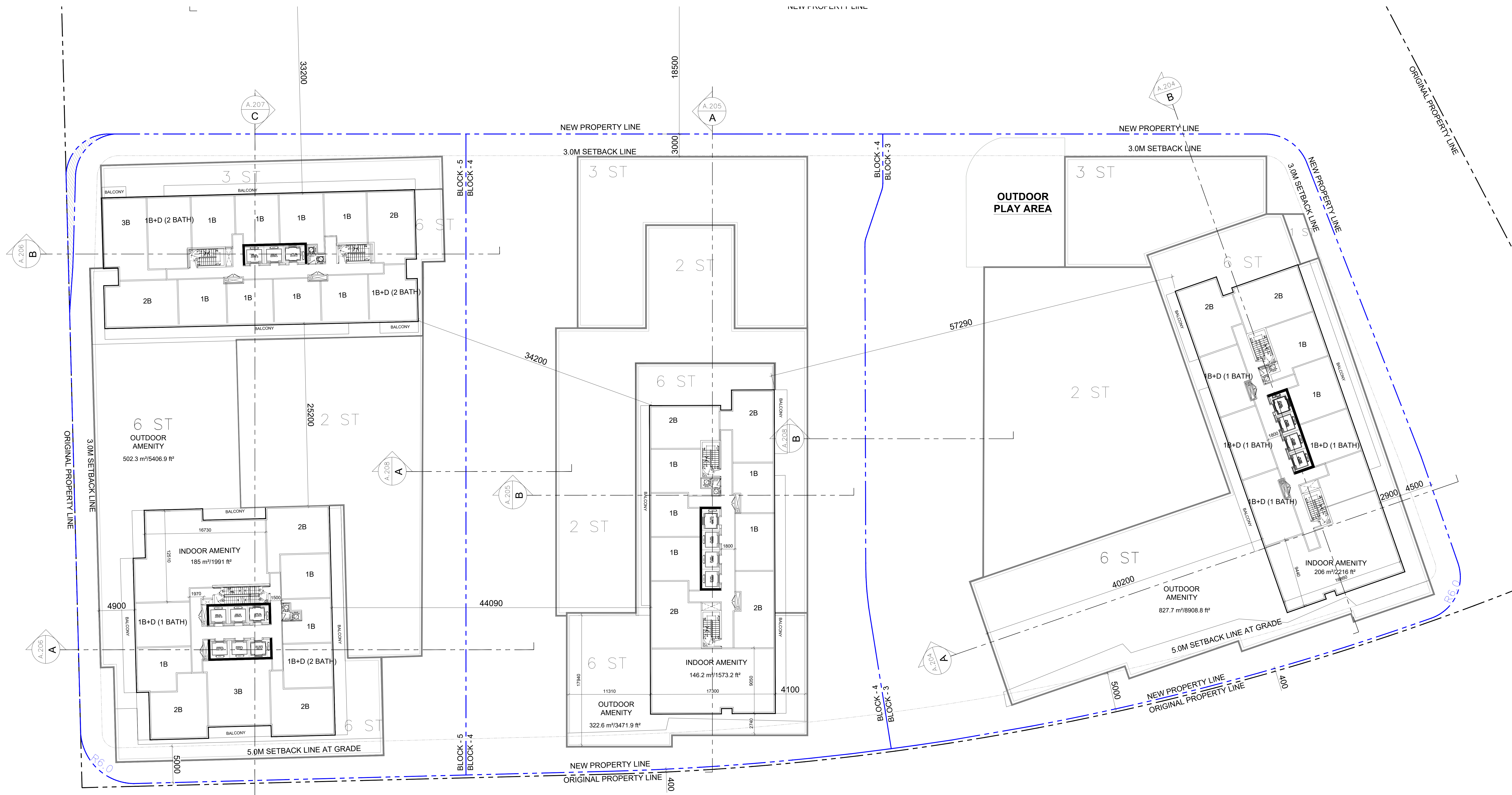
SHEET TITLE

5TH - 6TH FLOOR PLAN
(BLOCK 3, 4 & 5)

SHEET NUMBER

ISSUE

A.116



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**FIELD
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KEY PLAN

ISSUES		
No.	DESCRIPTION	DATE
01	REZONING 1 SUBMISSION	2019/12/04
02	REZONING 2 SUBMISSION	2021/10/20
03	SPA SUBMISSION BLOCK 1 AND 2	2021/12/24
04	REZONING 3 SUBMISSION	2022/10/26
05	REZONING 4 SUBMISSION	2024/02/06
06	SETTLEMENT SUBMISSION	2025/06/17

SEAL

ONTARIO ASSOCIATION
OF
ARCHITECTS
Signature
TRANSDORF H. KAZEROONI
LICENCE 5860

PROJECT

670-690
PROGRESS AVE.

PROJECT NO: 121606

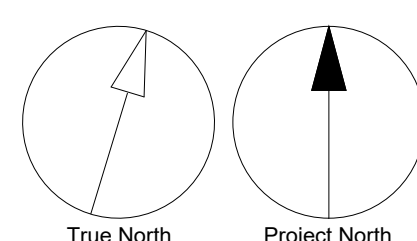
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SCALE: 1:200	APPROVED BY:

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Suite 700, Toronto, ON
M4V 2T7
Tel: 416 596 1930

SHEET TITLE

7TH FLOOR PLAN
(BLOCK 3, 4 & 5)

SHEET NUMBER A.117	ISSUE
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1 m
10mm

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KEY PLAN

ISSUES

No.	DESCRIPTION	DATE
01	REZONING 1 SUBMISSION	2019/12/04
02	REZONING 2 SUBMISSION	2021/10/20
03	SPA SUBMISSION_BLOCK 1 AND 2	2021/12/24
04	REZONING 3 SUBMISSION	2022/10/26
05	REZONING 4 SUBMISSION	2024/02/06
06	SETTLEMENT SUBMISSION	2025/06/17

SEAL



PROJECT

670-690
PROGRESS AVE.

PROJECT NO:

121606

DRAWN BY:

DATE:

17 JUNE, 2025

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Tel 416 596 1930

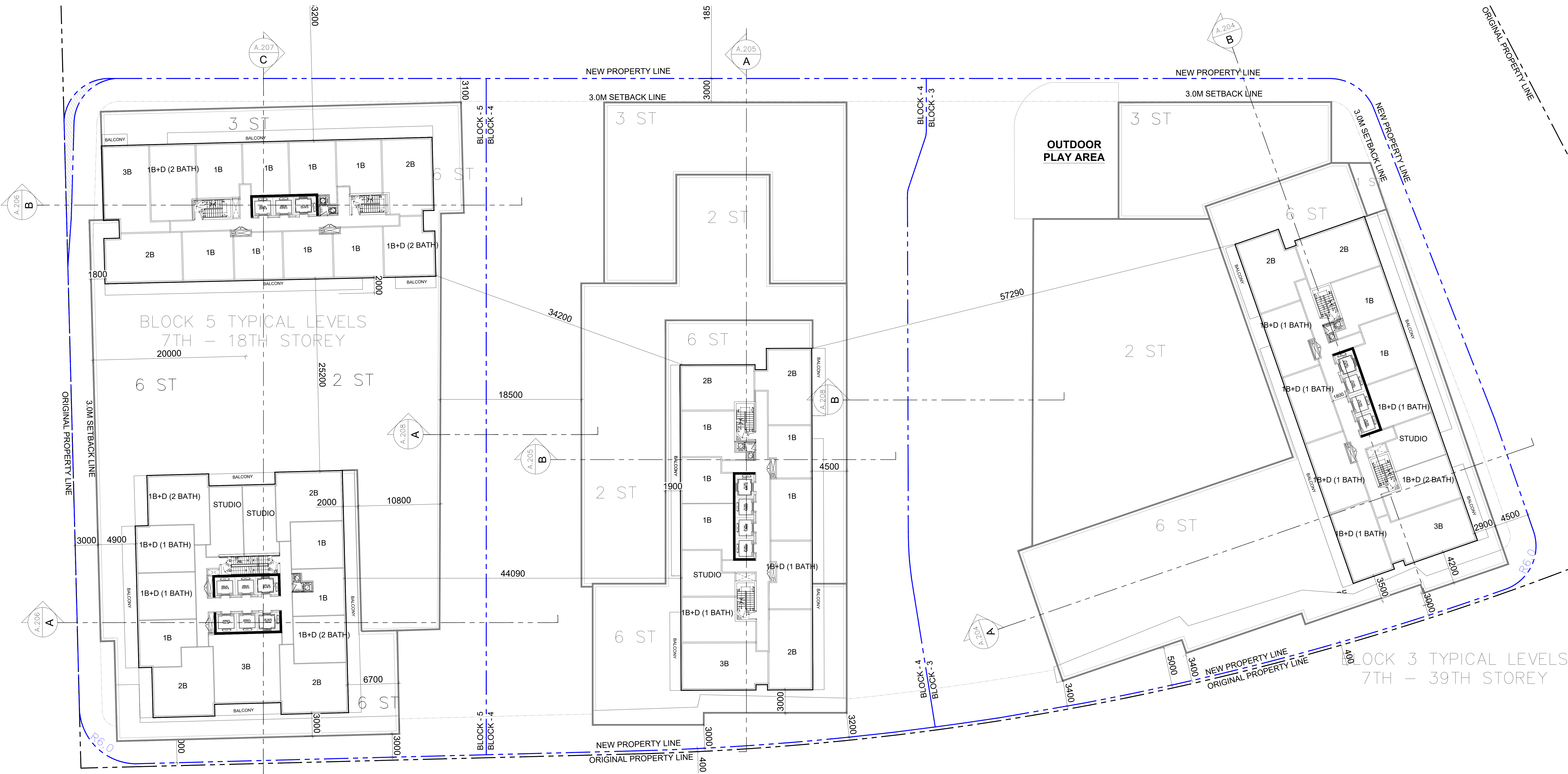
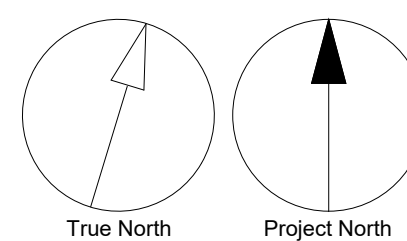
SHEET TITLE

TOWER TYPICAL
(BLOCK 3, 4 & 5)

SHEET NUMBER

A.118

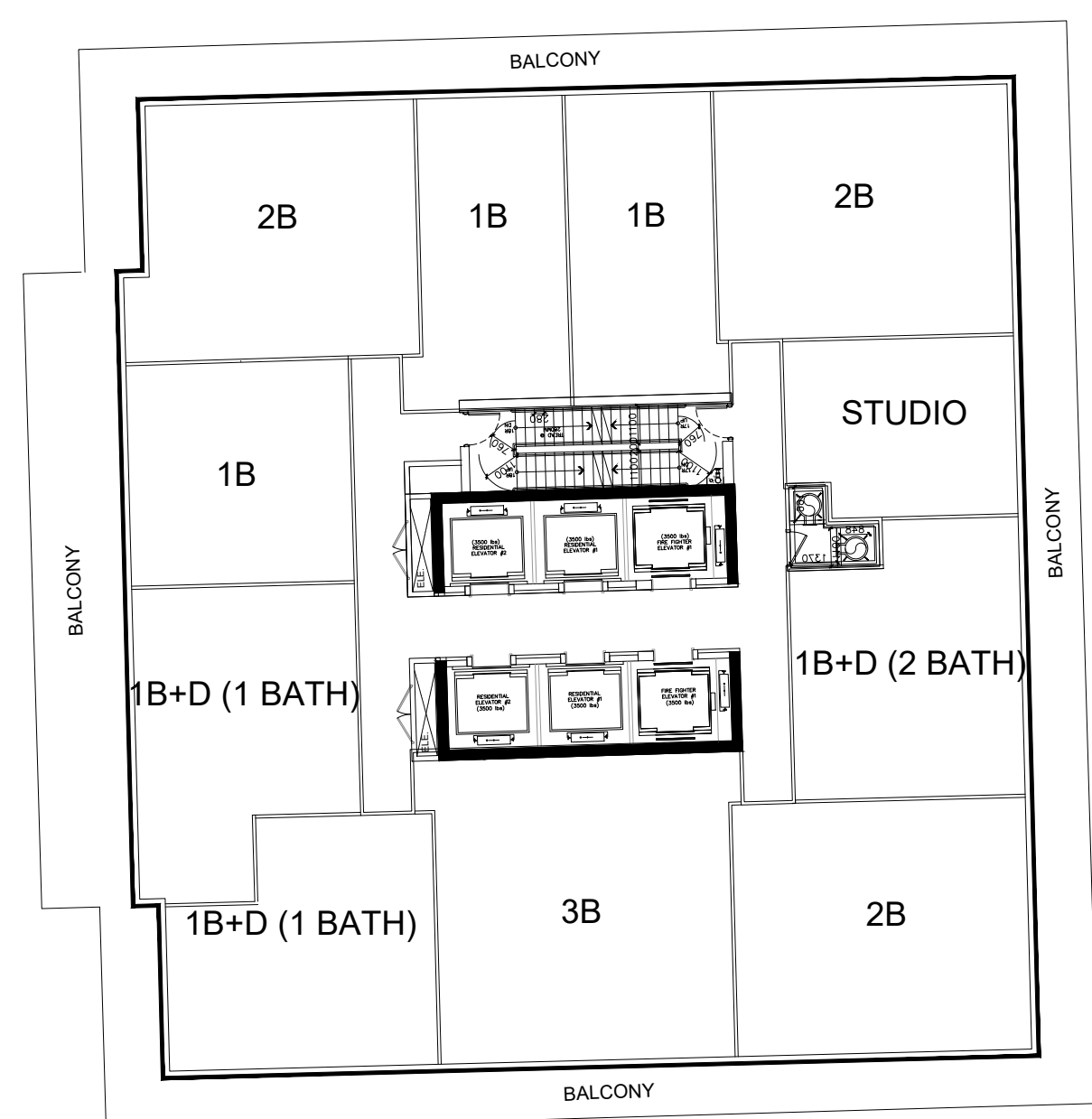
ISSUE



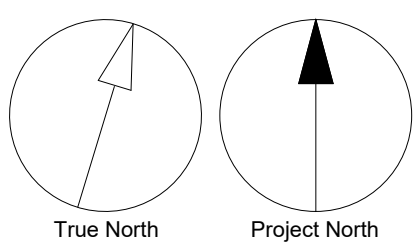
BLOCK 5 TYPICAL LEVELS
7TH - 39TH STOREY (820
SQ.M)

BLOCK 4 TYPICAL LEVELS
7TH - 43TH STOREY

BLOCK 3 TYPICAL LEVELS
7TH - 39TH STOREY



BLOCK 5 TYPICAL LEVELS
40TH - 54TH STOREY (750
SQ.M)



FIELD GATE URBAN

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KEY PLAN

ISSUES

No.	DESCRIPTION	DATE
01	REZONING 1 SUBMISSION	2019/12/04
02	REZONING 2 SUBMISSION	2021/10/20
03	SPA SUBMISSION, BLOCK 1 AND 2	2021/12/24
04	REZONING 3 SUBMISSION	2022/10/26
05	REZONING 4 SUBMISSION	2024/02/06
06	SETTLEMENT SUBMISSION	2025/06/17

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PROJECT

670-690
PROGRESS AVE.

PROJECT NO: 121606

DRAWN BY: DATE: 17 JUNE, 2025
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SHEET TITLE

ROOF PLAN
(BLOCK 3, 4 & 5)

SHEET NUMBER
A.119

ISSUE

Green Roof Statistics BLOCK 3

	Proposed	
Gross Floor Area, as defined in Green Roof Bylaw (m ²)	39,858	
Total Roof Area (m ²)	3441.6	
Area of Residential Private Terraces (m ²)	258.6	
Rooftop Outdoor Amenity Space, if in a Residential Building (m ²)	1921.8	
Area of Renewable Energy Devices (m ²)	0	
Tower (s)Roof Area with floor plate less than 750 m ²	0	
Total Available Roof Space (m ²)	1261.2	
Green Roof Coverage	Required	Proposed
Coverage of Available Roof Space (m ²)	756.72	796.8
Coverage of Available Roof Space (%)	60%	63%

Green Roof Statistics BLOCK 4

	Proposed	
Gross Floor Area, as defined in Green Roof Bylaw (m ²)	38,101	
Total Roof Area (m ²)	2720.7	
Area of Residential Private Terraces (m ²)	91.8	
Rooftop Outdoor Amenity Space, if in a Residential Building (m ²)	1205.6	
Area of Renewable Energy Devices (m ²)	0	
Tower (s)Roof Area with floor plate less than 750 m ²	0	
Total Available Roof Space (m ²)	1423.3	
Green Roof Coverage	Required	Proposed
Coverage of Available Roof Space (m ²)	853.98	924.9
Coverage of Available Roof Space (%)	60%	65%

Green Roof Statistics BLOCK 5

	Proposed	
Gross Floor Area, as defined in Green Roof Bylaw (m ²)	64,211	
Total Roof Area (m ²)	3669.9	
Area of Residential Private Terraces (m ²)	699.9	
Rooftop Outdoor Amenity Space, if in a Residential Building (m ²)	1320	
Area of Renewable Energy Devices (m ²)	0	
Tower (s)Roof Area with floor plate less than 750 m ²	0	
Total Available Roof Space (m ²)	1660	
Green Roof Coverage	Required	Proposed
Coverage of Available Roof Space (m ²)	990	990
Coverage of Available Roof Space (%)	60%	60%