

PROPOSED 6-STOREY MIXED-USE DEVELOPMENT

202 SHEPPARD AVE W, TORONTO, ONTARIO, CANADA

CLIENT:
NIKALI HOLDINGS LTD.

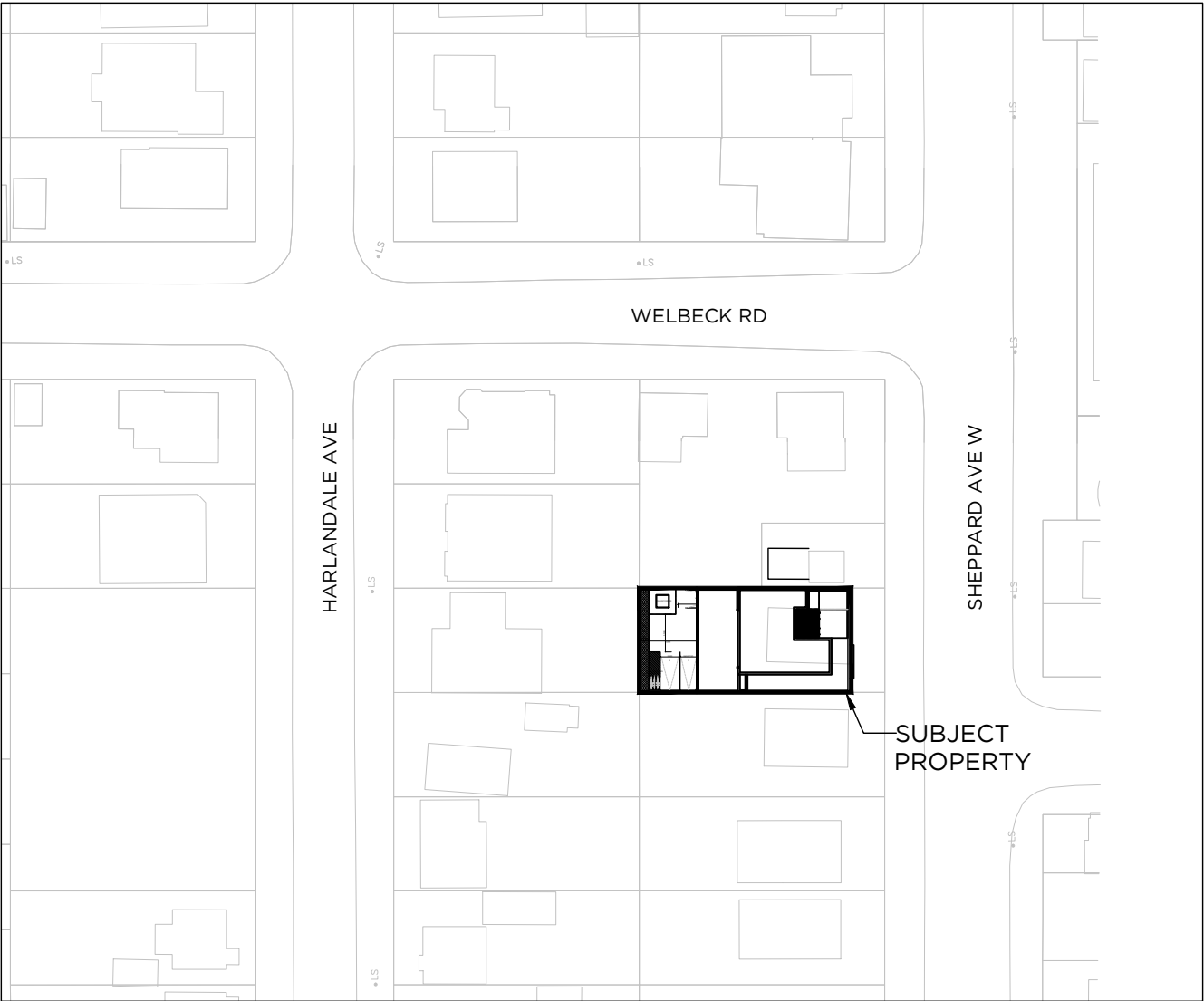
PROJECT: 20040
ISSUED FOR: CITY MEETING
(CONFIDENTIAL W/O PREJUDICE)
DATE : 2025-09-04

ARCHITECTURAL DRAWING LIST

- A000 COVER SHEET + CONTEXT PLAN
- A001 SITE STATS
- A100 SITE PLAN
- A101 BASEMENT PLAN
- A201 GROUND FLOOR PLAN
- A202 2ND - 5TH FLOOR PLAN
- A206 6TH FLOOR PLAN
- A207 MECH PENTHOUSE FLOOR PLAN
- A208 ROOF PLAN
- A401 SOUTH + NORTH ELEVATION
- A402 EAST ELEVATION
- A403 WEST ELEVATION
- A501 BUILDING SECTION N-S
- A502 BUILDING SECTION E-W

PROJECT CONSULTANTS

- ARCHITECT
RAW DESIGN INC.
22 GEARY AVE
TORONTO, ON
M6H 2B4
- PLANNING
DALES CONSULTING
147 LIBERTY STREET, SUITE 216
TORONTO, ON
M6K 3G3
- CIVIL ENGINEER
LITHOS GROUP INC.
150 BERMONDSEY ROAD, SUITE 200
NORTH YORK, ON
M4A 1Y1
- TRAFFIC
TRANS-PLAN TRANSPORTATION ENGINEERING
784 DUNDAS STREET WEST
TORONTO, ON
M6J 1V2
- LANDSCAPE ARCHITECT
ALEXANDER BUDREVICS & ASSOCIATES LTD.
895 DON MILLS ROAD, SECOND TOWER, SUITE 212
TORONTO, ON
M3C 1W3
- STRUCTURAL ENGINEER
BLACKWELL STRUCTURAL ENGINEERS
134 PETER STREET, SUITE 1301
TORONTO, ON
M5V 2H2
- MECHANICAL & ELECTRICAL ENGINEER
CSEI-INTRON ENGINEERING INC.
800 LANSDOWNE AVENUE, SUITE 6
TORONTO, ON
M6H 4K3



1 CONTEXT PLAN
SCALE 1:1000

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ISSUED RECORD

- 2021.02.03 - REISSUED FOR SPA
- 2022.02.24 - REISSUED FOR SPA
- 2022.10.03 - REISSUED FOR SPA
- 2023.06.12 - REISSUED FOR SPA

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COVER PAGE
+ CONTEXT PLAN

1:1000

A000

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202 Sheppard Avenue West
Toronto ON
20040

SITE STATISTICS

4 September 2025

Official Plan

Avenue Width

Character Area

Policy Area

Established District

Current Zoning

Mixed Use
30

SITE AREA

LANE/ROAD DEDICATION

NET AREA

AVG UNIT SIZE

472.0

sq.m.

5,081

sq.ft.

472.0

sq.m.

5,081

sq.ft.

65.34

sq.m. NET

703.377

sq.ft. NET

76.88

sq.m. GROSS

827.503

sq.ft. GROSS

AREA CALCULATIONS

UNITS

GCA

EXCLUSIONS (AS PER NORTH YORK BY-LAW 7625)

GFA (RES)

EXCLUSIONS (AS PER BY-LAW 569)

GFA (RES)

GFA (NON-RES)

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NIKALI HOLDINGS LTD.

SITE STATS

NTS

A001

SITE PLAN NOTES

NOTE:
FOR SITE SERVICING & GRADING REFER TO DRAWINGS
PREPARED
BY LITHOS GROUP INC.

FOR LANDSCAPE & EXTERIOR LIGHTING REFER TO
DRAWINGS PREPARED BY ALEXANDER BUDREVICS &
ASSOCIATES LTD.

REFER TO DRAWING A201 FOR ADDITIONAL SITE
NOTATIONS

SITE PLAN INFORMATION TAKEN FROM

1. PLAN OF SURVEY OF PART OF LOT 47,
REGISTERED PLAN M-389, CITY OF TORONTO,
PREPARED BY D. POPA SURVEYING. (JUNE 24,
2015, UPDATED DECEMBER 17 2015).

179.16 = ESTABLISHED GRADE

LEGEND

- | | |
|---|--|
| <div style="display: flex; align-items: center;"> <div style="text-align: right; margin-right: 10px;"> * 9114
 + 88.30 </div> <div> EXISTING ELEVATION </div> </div> | |
| <div style="display: flex; align-items: center;"> <div style="text-align: right; margin-right: 10px;"> + 88.30 </div> <div> PROPOSED ELEVATION </div> </div> | |
| <div style="display: flex; align-items: center;"> <div style="text-align: right; margin-right: 10px;"> + 88.30 </div> <div> TOS TOP OF SLAB </div> </div> | |
| <div style="display: flex; align-items: center;"> <div style="text-align: right; margin-right: 10px;"> + 88.30 </div> <div> TOW TOP OF WALL </div> </div> | |
| <div style="display: flex; align-items: center;"> <div style="text-align: right; margin-right: 10px;"> + 88.30 </div> <div> TOC TOP OF CURB </div> </div> | |
| <div style="display: flex; align-items: center;"> <div style="text-align: right; margin-right: 10px;"> + 88.30 </div> <div> TOR TOP OF ROOF </div> </div> | |
| | |
| <div style="display: flex; align-items: center;"> <div style="text-align: right; margin-right: 10px;"> </div> <div> VEHICULAR EXIT/ENTRANCE </div> </div> | |
| <div style="display: flex; align-items: center;"> <div style="text-align: right; margin-right: 10px;"> </div> <div> PEDESTRIAN EXIT/ENTRANCE </div> </div> | |
| <div style="display: flex; align-items: center;"> <div style="text-align: right; margin-right: 10px;"> </div> <div> PRINCIPAL RES ENTRANCE </div> </div> | |
| <div style="display: flex; align-items: center;"> <div style="text-align: right; margin-right: 10px;"> </div> <div> SIAMESE CONNECTION </div> </div> | |

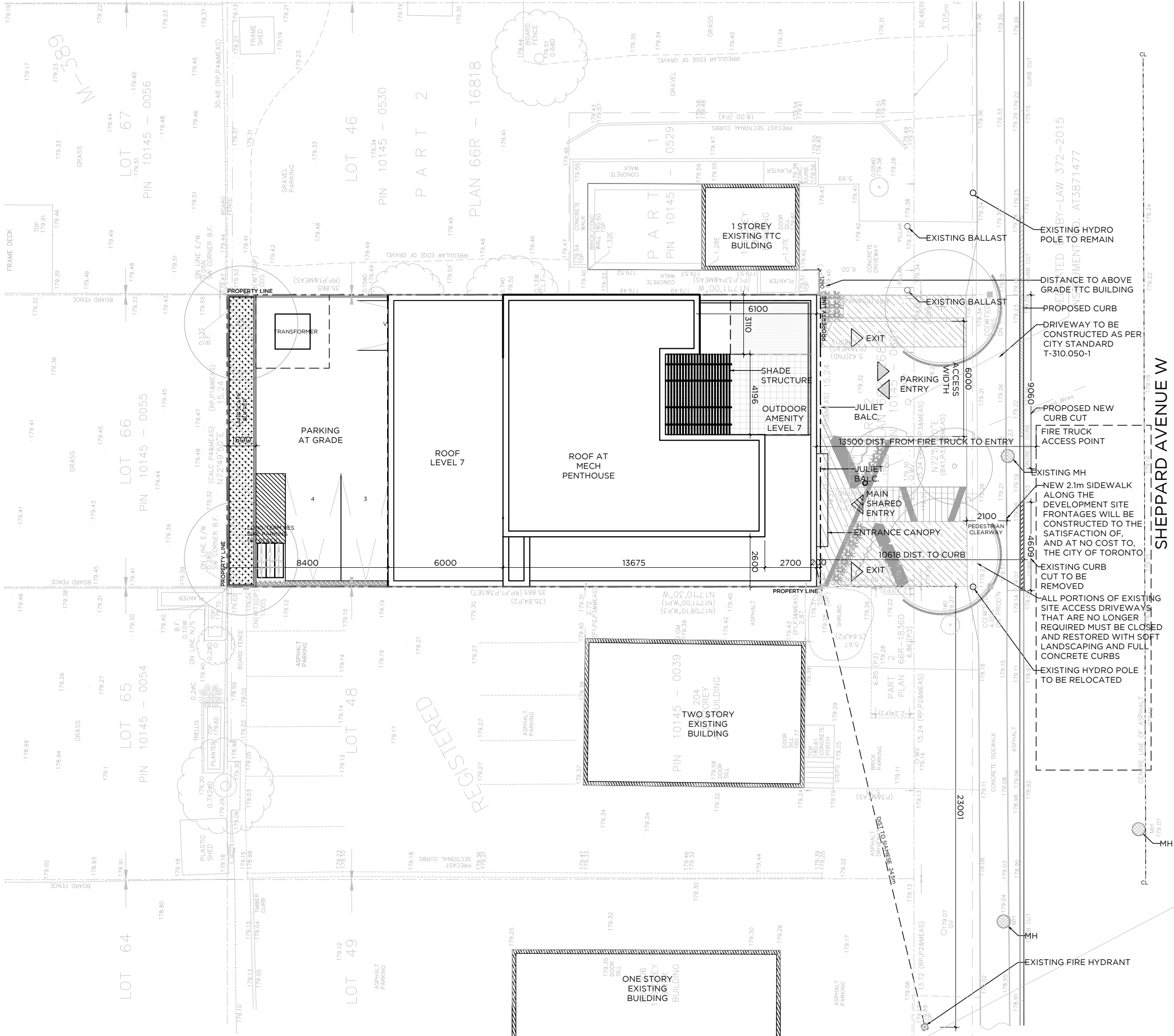
NOTES:

1. THE BUILDING IS TO BE SPRINKLERED. MAJOR OCCUPANCY GROUP C+ D, 3.2.2.43A + 3.2.2.50A (WITH ALTERNATIVE SOLUTION).
2. ALL WASTE GENERATED BY THE SITE TO BE STORED ON PRIVATE PROPERTY.
3. THE RESIDENTIAL SOLID WASTE ROOM IS MIN. 23.8m² OR MORE AND WILL ACCOMMODATE GARBAGE, RECYCLING AND ORGANICS FOR THE ENTIRE BUILDING.
4. A TRAINED ON-SITE STAFF MEMBER IS RESPONSIBLE FOR MOVING THE BINS TO THE CURB ON COLLECTION DAY AND FOR RETURNING THEM TO PRIVATE PROPERTY ONCE THEY ARE EMPTIED.
5. SIDEWALKS AND BOULEVARDS WITHIN THE RIGHT OF WAY TO HAVE A MINIMUM 2% AND MAXIMUM 4% SLOPE TOWARDS THE ROADWAY.
6. REFER TO SITE SERVICING PLAN, PREPARED BY LITHOS GROUP INC., FOR SEWER AND WATER SERVICE INFORMATION.
7. ALL EXISTING ACCESSES, CURB CUTS, TRAFFIC CONTROL SIGNS, ETC. ALONG THE DEVELOPMENT SITE FRONTAGES THAT ARE NO LONGER REQUIRED ARE TO BE REMOVED. THE BOULEVARD WITHIN THE PUBLIC RIGHT OF WAY, IN ACCORDANCE WITH CITY STANDARDS AND TO THE SATISFACTION OF THE EXECUTIVE DIRECTOR OF TECHNICAL SERVICES ARE TO BE REINSTATED.
8. TYPICAL PARKING SPACES ARE 2.6m X 5.6m. SPACES WITH ADJACENT OBSTRUCTIONS OF A DEPTH GREATER THAN 1m TO HAVE A TYPICAL ALLOWANCE OF 0.3m FROM PARKING SPACE.

10. ALL EXTERIOR LIGHTING SHALL BE TRUE
COLOUR RENDERING LIGHTING, TO BE
ADDRESSED AT FIXTURE SELECTION STAGE.

16AVE CLEAR AND STORAGE W/REGLASS WINDOW.

BE ADVISED THAT SHOULD ANY PARTY, INCLUDING THE APPLICANT OR ANY SUBSEQUENT OWNER, APPLY FOR MORE THAN ONE CONDOMINIUM CORPORATION ENCOMPASSING ANY OR ALL OF THIS DEVELOPMENT OR MAKE AN APPLICATION FOR THE RESULTS OF A LAND DIVISION, STAFF MAY REQUIRE LEGAL ASSURANCES, INCLUDING BUT NOT LIMITED TO EASEMENTS, WITH RESPECT TO THE APPROVED SERVICES. SUCH ASSURANCES WILL BE DETERMINED AT THE TIME OF APPLICATION FOR CONDOMINIUM APPROVAL.



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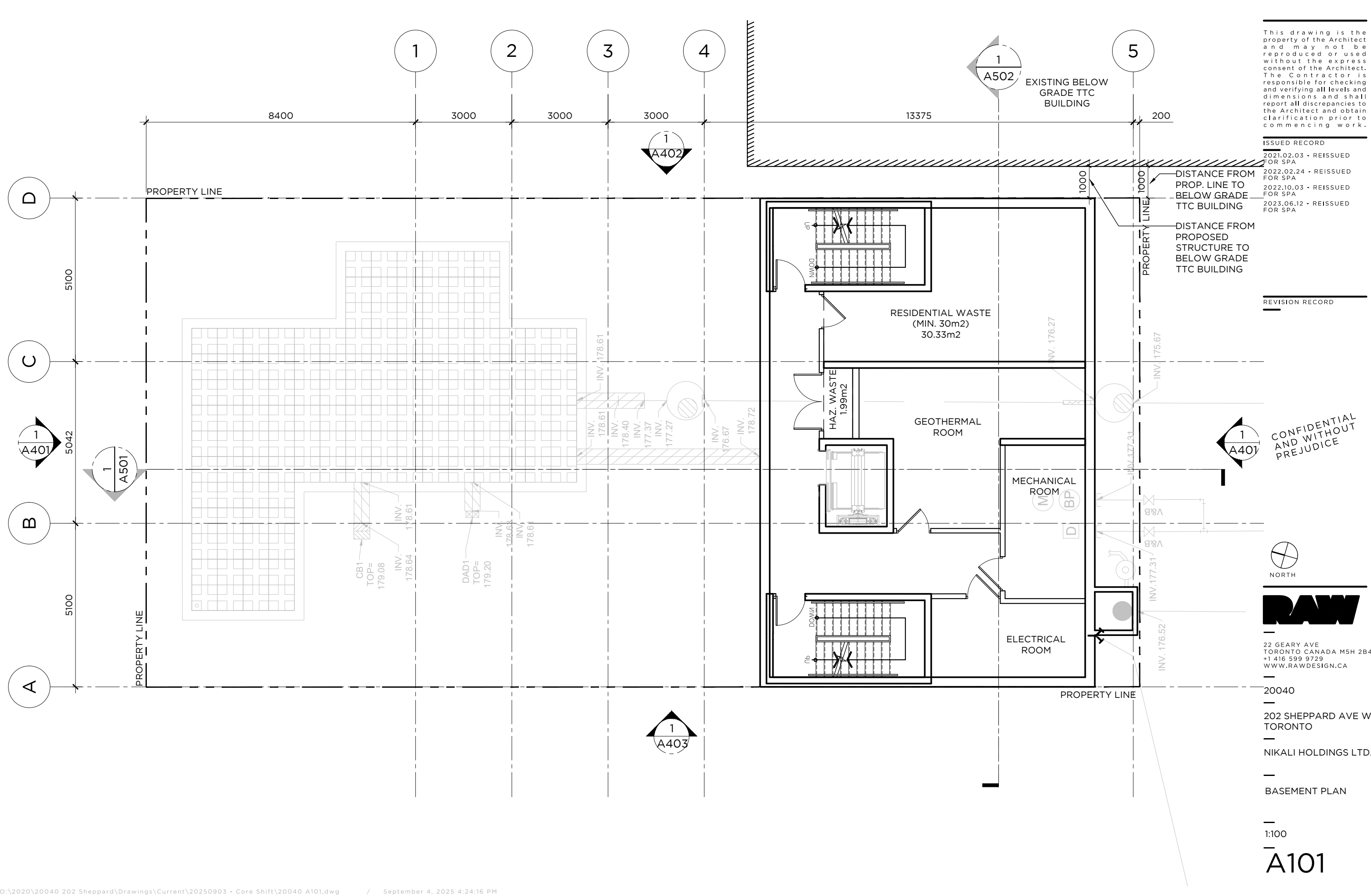
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SITE PLAN

1:200

A100



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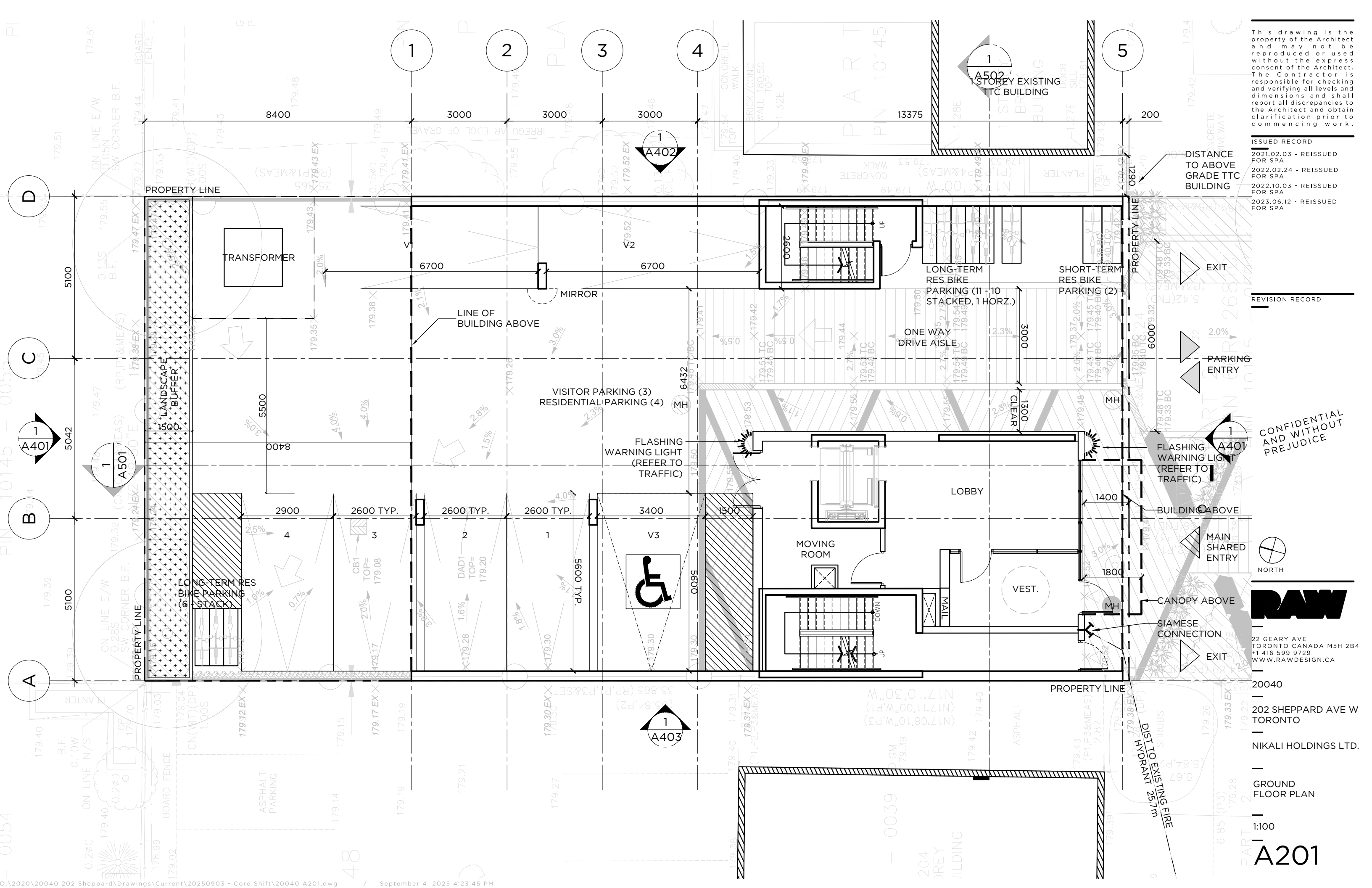
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BASEMENT PLAN

1:100

A101



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NORTH



RAW

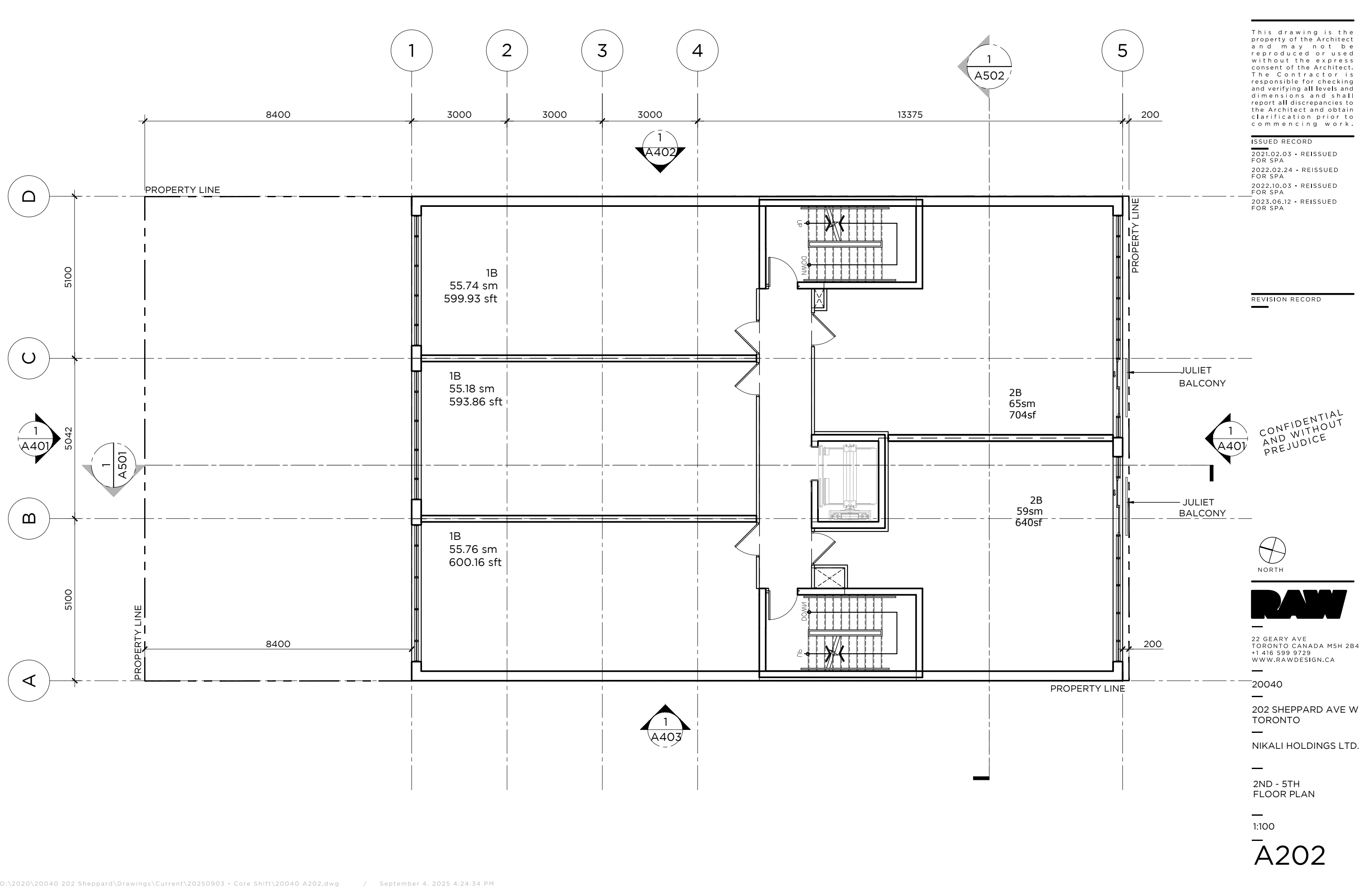
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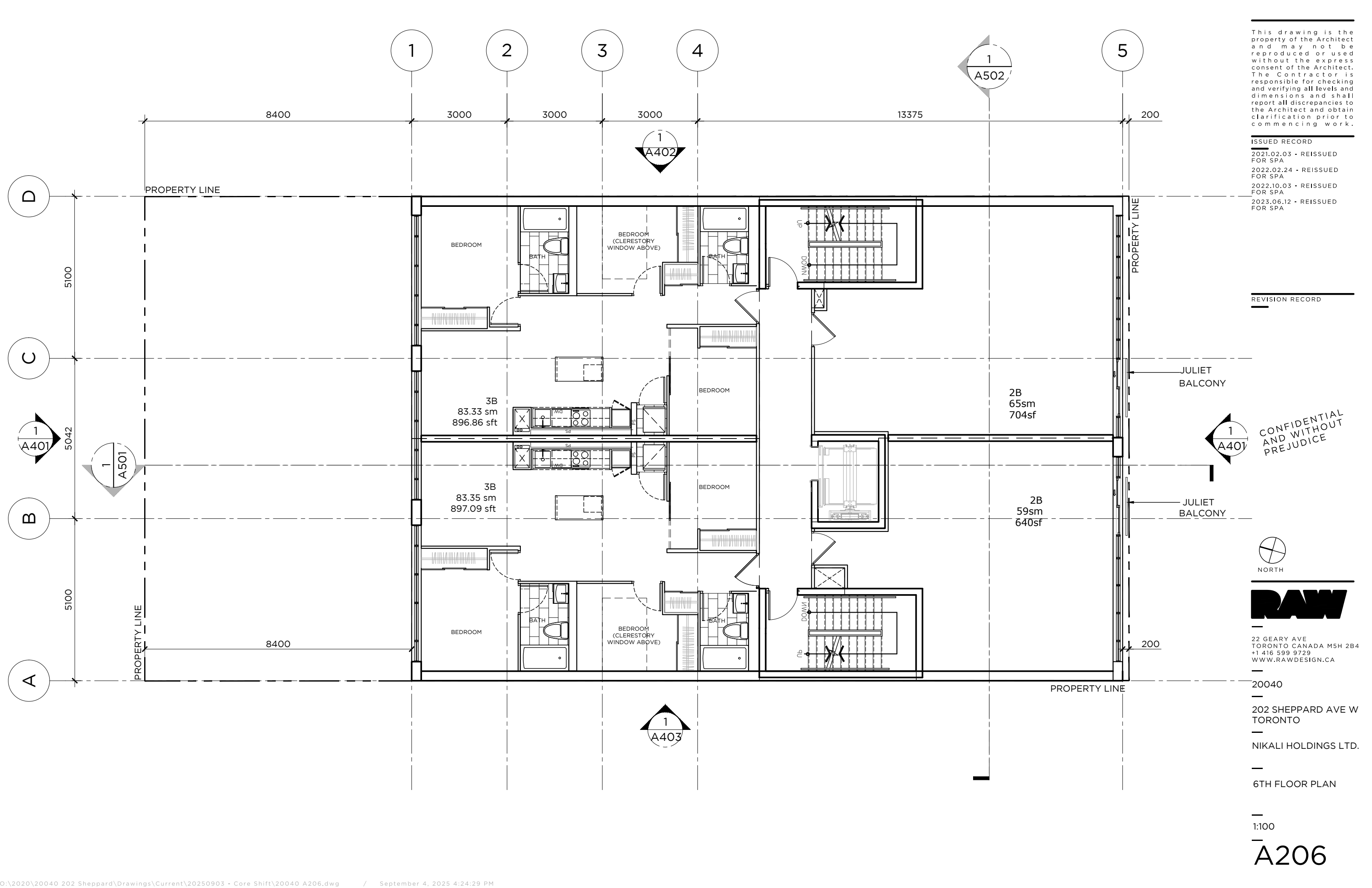
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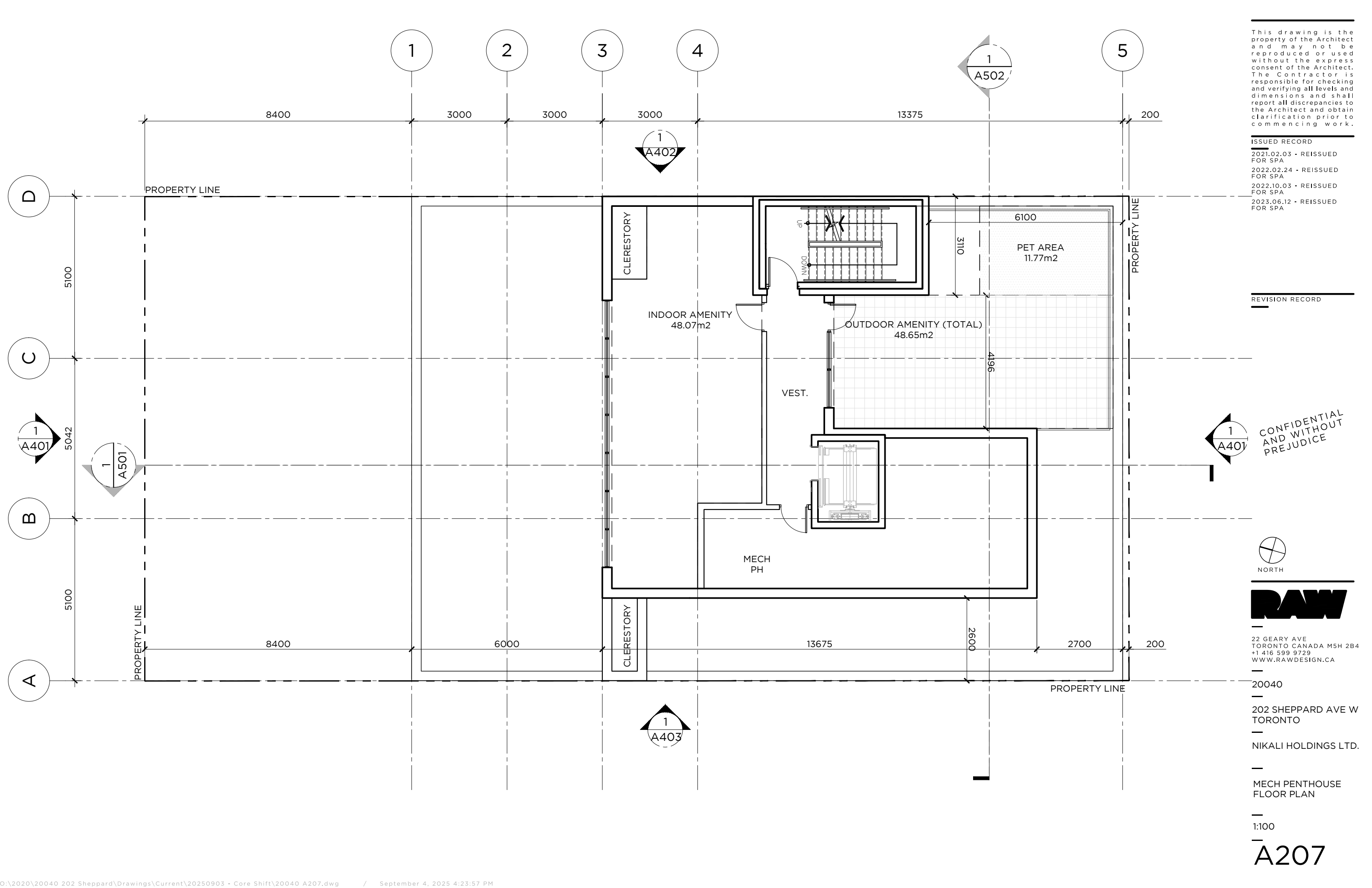
GROUND
FLOOR PLAN

1:100

A201







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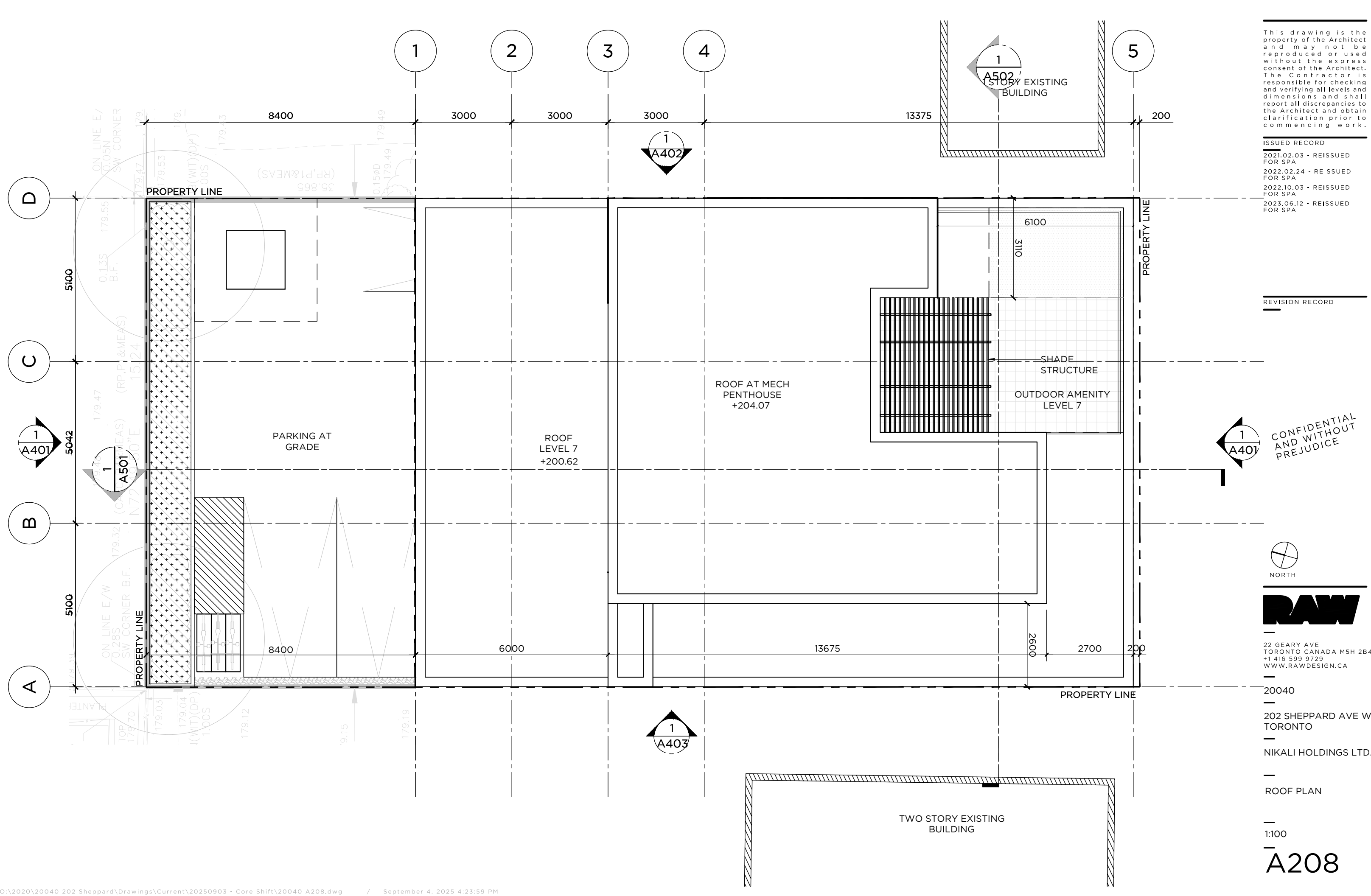
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MECH PENTHOUSE
FLOOR PLAN

1:100

A207



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NORTH



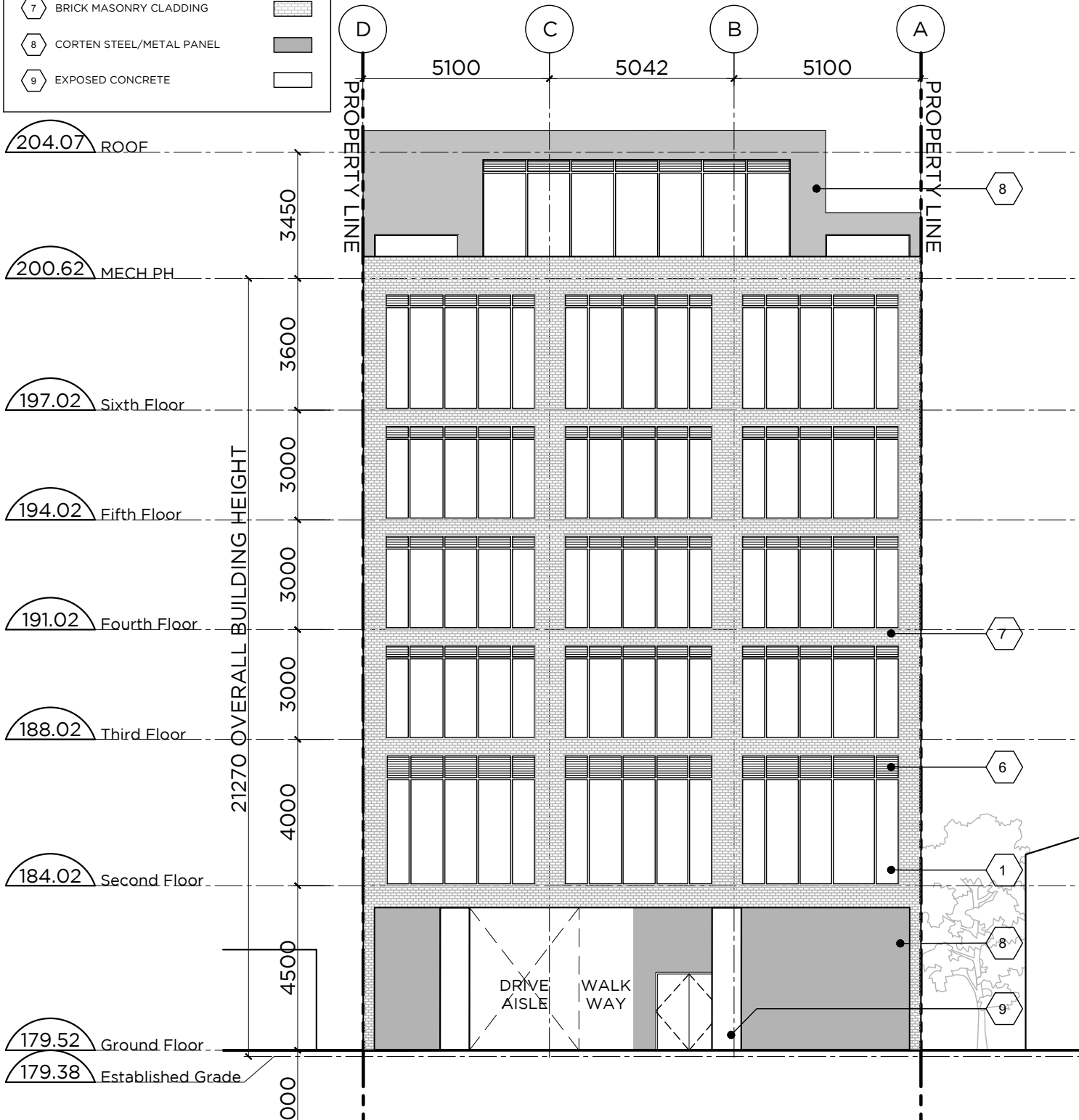
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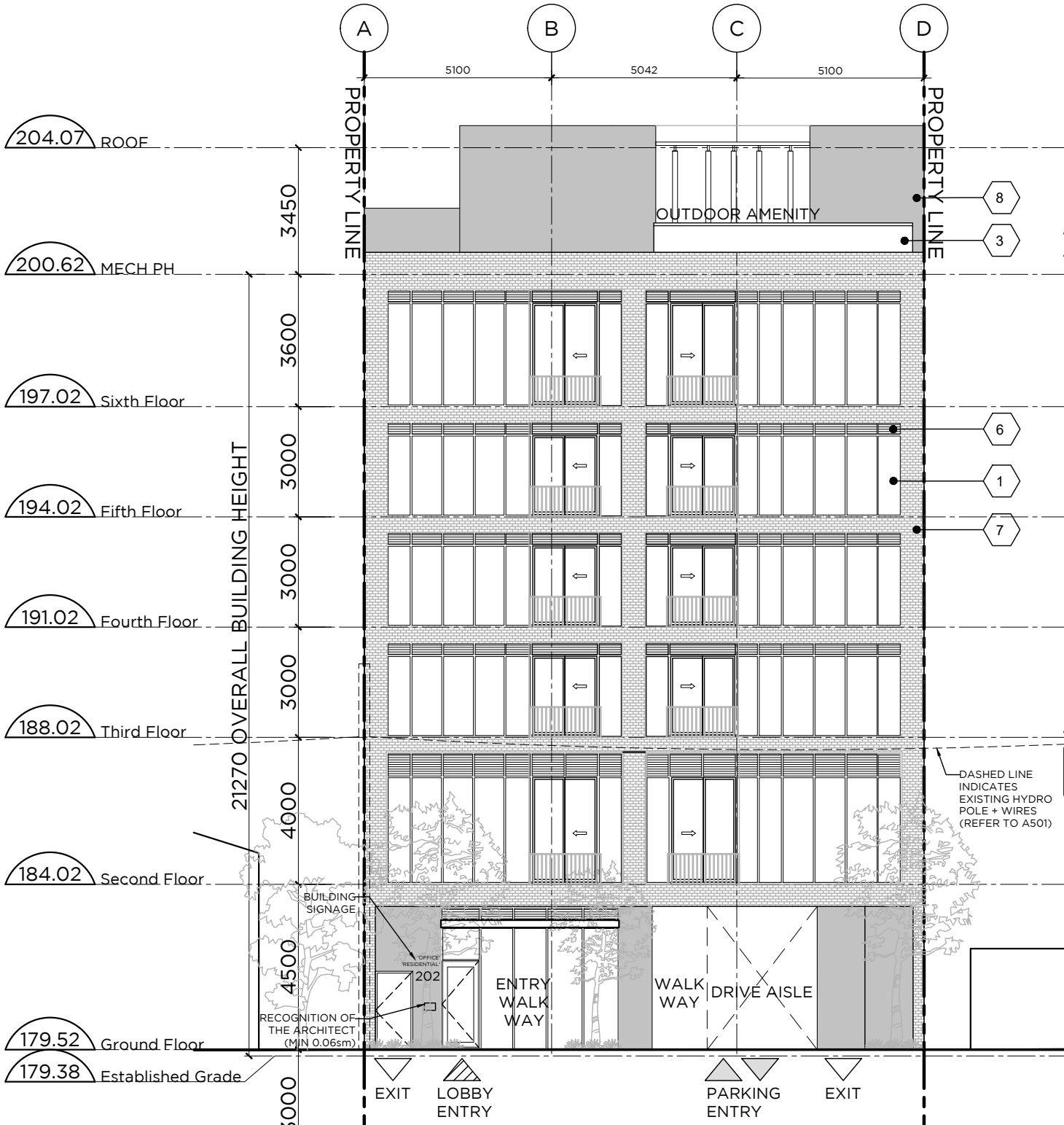
ROOF PLAN

1:100
A208

MATERIAL LEGEND		
1	VISION GLASS WINDOW WALL	
2	BIRD FRIENDLY GLASS WINDOW WALL	
3	ALUMINIUM + GLASS RAILING	
4	BIRD FRIENDLY ALUMINIUM + GLASS RAILING	
5	SPANDREL GLASS	
6	METAL LOUVRE	
7	BRICK MASONRY CLADDING	
8	CORTEN STEEL/METAL PANEL	
9	EXPOSED CONCRETE	



2 NORTH ELEVATION
SCALE 1:150



1 SOUTH ELEVATION
SCALE 1:150

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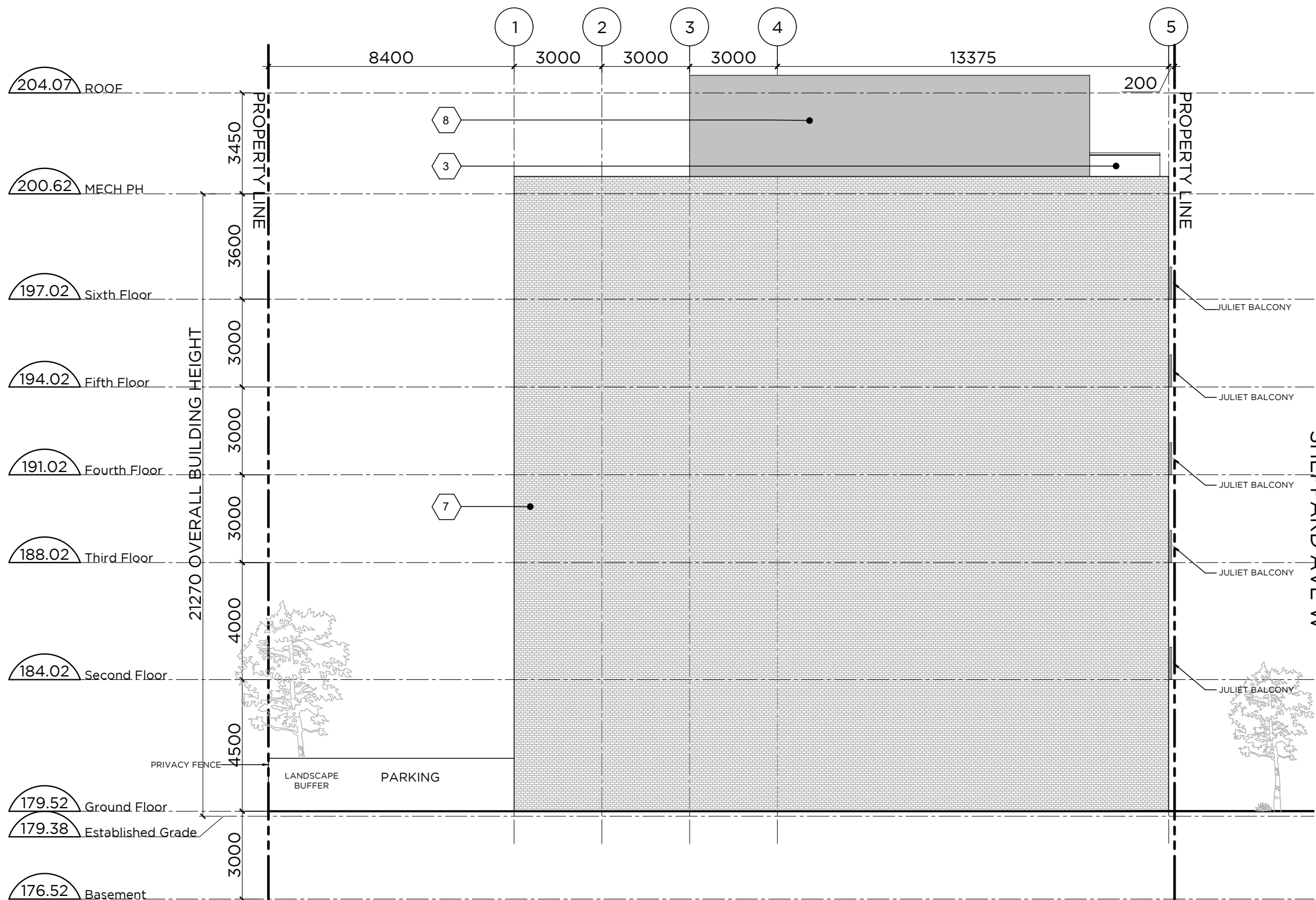
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SOUTH + NORTH
ELEVATIONS

1:150
A401



MATERIAL LEGEND		
1	VISION GLASS WINDOW WALL	
2	BIRD FRIENDLY GLASS WINDOW WALL	
3	ALUMINIUM + GLASS RAILING	
4	BIRD FRIENDLY ALUMINIUM + GLASS RAILING	
5	SPANDREL GLASS	
6	METAL LOUVRE	
7	BRICK MASONRY CLADDING	
8	CORTEN STEEL/METAL PANEL	
9	EXPOSED CONCRETE	

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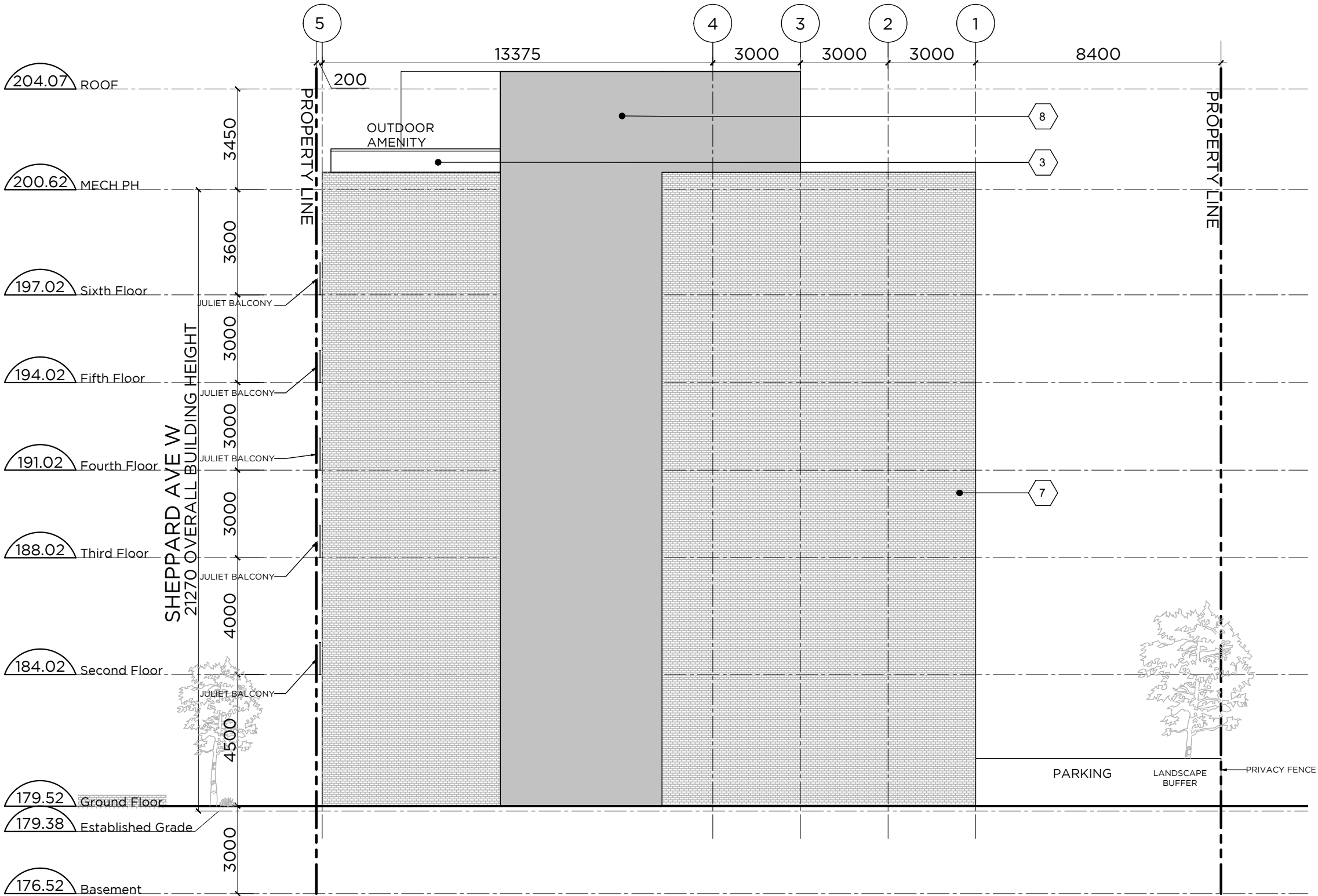
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EAST ELEVATION

1:150

A402



MATERIAL LEGEND		
1	VISION GLASS WINDOW WALL	
2	BIRD FRIENDLY GLASS WINDOW WALL	
3	ALUMINIUM + GLASS RAILING	
4	BIRD FRIENDLY ALUMINUM + GLASS RAILING	
5	SPANDREL GLASS	
6	METAL LOUVRE	
7	BRICK MASONRY CLADDING	
8	CORTEN STEEL/METAL PANEL	
9	EXPOSED CONCRETE	

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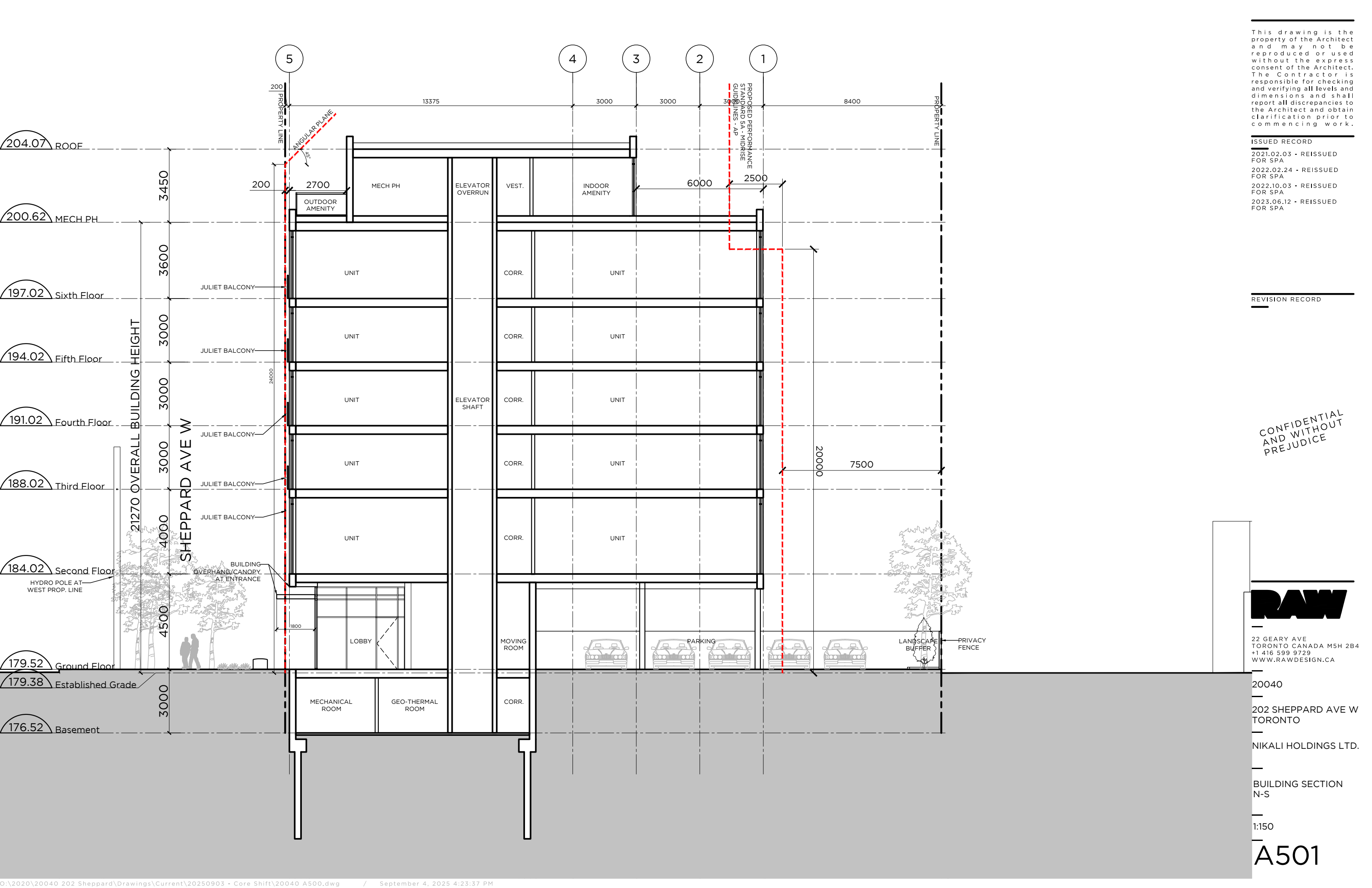
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WEST ELEVATION

1:150

A403



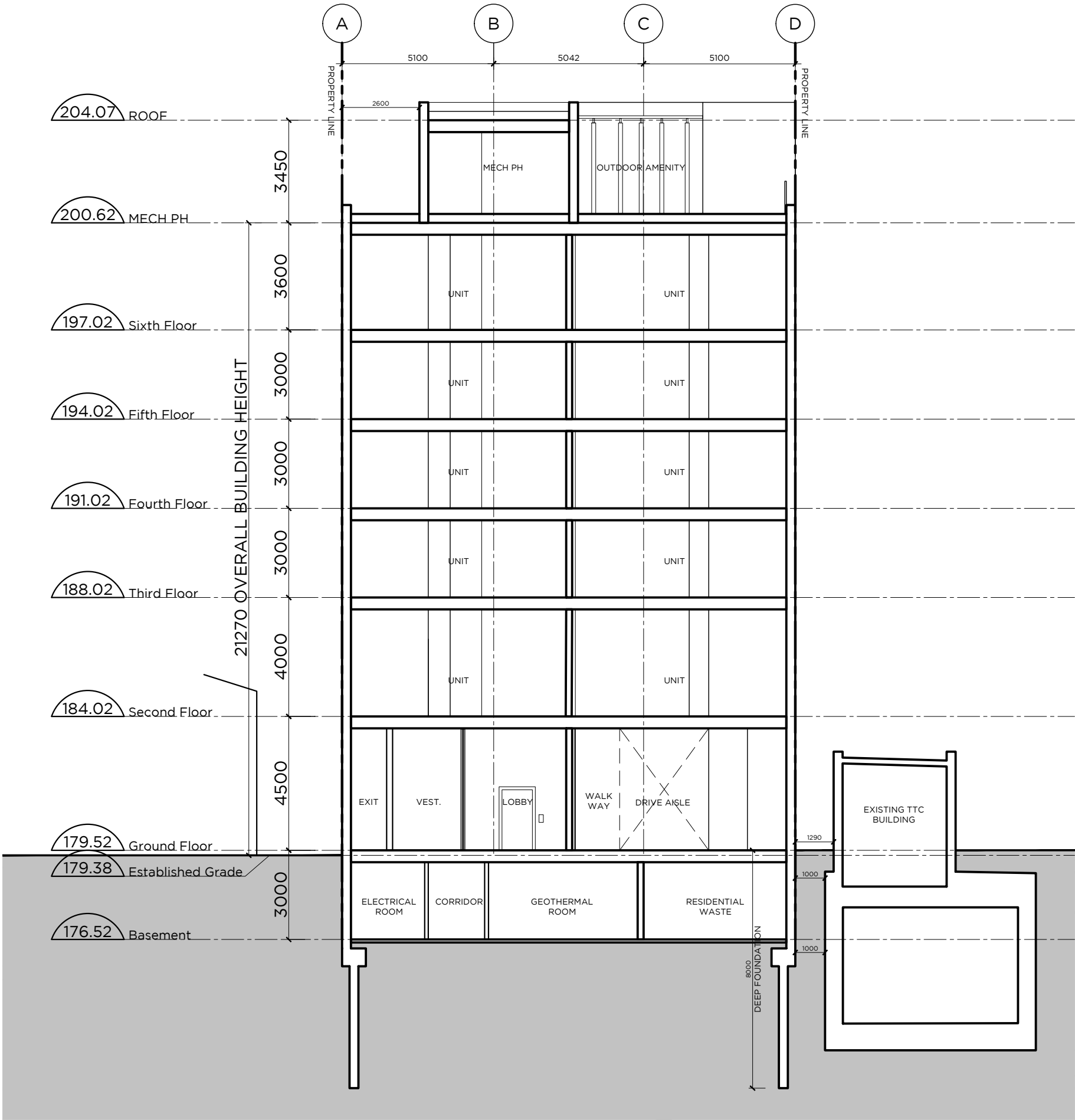
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BUILDING SECTION
E-W

1:150

A502