

253, 255, 259, 263 Viewmount Ave & 12, 14, 16, 18 Romar Crescent

CLIENT:

Osmington Gerofsky Development Corp. (OGDC)

Toronto, Ontario

ARCHITECT:

WALLMAN ARCHITECTS

99 SPADINA AVENUE, SUITE 600, TORONTO, ONTARIO, M5V 3P8

ISSUED FOR OPA+ZBA APPLICATION
2025-08-14

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No	Issued For	Date
1	Issued for OPA+ZBA	2024-06-12
2	Issued for ZBA	2025-08-14

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DRAWING LIST	
Sheet Number	Sheet Name
A0. 00	COVER PAGE
A0. 01	BOUNDARY AND TOPOGRAPHIC SURVEY
A0. 02	STATS
A0. 03	TGS FORMS
A1. 03	SITE PLAN - ROOF PLAN
A1. 04	SITE PLAN - POTENTIAL NEIGHBOURING DEVELOPMENTS
A2. 01	PARKING LEVEL 3
A2. 02	PARKING LEVEL 2
A2. 03	PARKING LEVEL 1
A2. 04	LEVEL 1 FLOOR PLAN
A2. 05	LEVEL 2 FLOOR PLAN
A2. 06	LEVEL 3 TO 4 FLOOR PLAN
A2. 07	LEVEL 5 TO 7 FLOOR PLAN
A2. 08	LEVEL 8 FLOOR PLAN
A2. 09	TYPICAL TOWER FLOOR PLAN
A2. 10	MPH FLOOR PLAN
A2. 11	SITE PLAN - ROOF PLAN
A3. 01	NORTH ELEVATION
A3. 02	EAST ELEVATION
A3. 03	SOUTH ELEVATION
A3. 04	WEST ELEVATION
A4. 01	BUILDING SECTIONS
A4. 02	BUILDING SECTIONS
A4. 03	BUILDING SECTION
A4. 04	BUILDING SECTIONS

WALLMANARCHITECTS

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Project

253 - 263 Viewmount Ave &
12 -18 Romar Crescent

Client

Osmington Gerofsky
Development Corp.

Drawing Title

COVER PAGE

Scale

23-07Project No.

2025-08-14Date

Drawing No.

A0. 00

Plot Date: 9/22/2025 3:43:11 PM File Path: C:\Users\erleya\Documents\23-07_Mid_Smth_Phrasing_Op-02_RVT25_asteyr\62356.rvt



Statistics Template – Toronto Green Standard Version 4.0

Mid to High Rise Residential and all New Non-Residential Development

The Toronto Green Standard Version 4.0 Statistics Template is submitted with Site Plan Control Applications and stand-alone Zoning Bylaw Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application.

For Zoning Bylaw Amendment applications: complete General Project Description and Section 1.
For Site Plan Control applications: complete General Project Description, Section 1 and Section 2.
For further information, please visit www.toronto.ca/greendevlopment

General Project Description	Proposed
Total Gross Floor Area	58,313 sq m
Breakdown of project components (m²):	
Residential	58,117 sq m
Retail	196 sq m
Commercial	
Industrial	
Institutional/Other	
Total number of residential units	1,033

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Low Emissions Transportation	Required	Proposed	Proposed %
Number of Parking Spaces	12	226	
Number of EV Parking Spaces (Residential)	214	214	100
Number of EV Parking Spaces (non-residential)	3	3	100

Cycling Infrastructure	Required	Proposed	Proposed %
Number of long-term bicycle parking spaces (all-uses)	930	466	50% (P.I.L.)
Number of long-term bicycle parking located on:			
a) first storey of building		24	
b) second storey of building			
c) first level below-ground		296	
d) second level below-ground		146	
e) other levels below-ground			



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Statistics Template – Toronto Green Standard Version 4.0

Mid to High Rise Residential and all New Non-Residential Development

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces	207	114	50% (P.I.L.)
Number of shower and change facilities (non-residential)	N/A	N/A	

Tree Canopy	Required	Proposed	Proposed %
Total Soil Volume (40% of the site area + 66 m2 x 30 m³)	923.09	1000.46	108%
Soil volume provided within the site area (m³)		684.66	68%
Soil Volume provided within the public boulevard (m³)		315.80	32%

Section 2: For Site Plan Control Applications

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (all uses) at-grade or on first level below grade			
Number of publicly accessible bicycle parking spaces			
Number of energized outlets for electric bicycles			

Tree Canopy	Required	Proposed	Proposed %
Total site area (m²)			
Total Soil Volume (40% of the site area + 66 m² x 30 m³)			
Total number of trees planted			
Number of surface parking spaces (if applicable)			
Number of shade trees located in surface parking area			

Landscaping & Biodiversity	Required	Proposed	Proposed %
Total non-roof hardscape area (m²)			
Total non-roof hardscape area treated for Urban Heat Island (minimum residential 75% or non-residential 50%) (m²)			
Area of non-roof hardscape treated with: (indicate m²)			
a) high-albedo surface material			
b) open-grid pavement			
c) shade from tree canopy			

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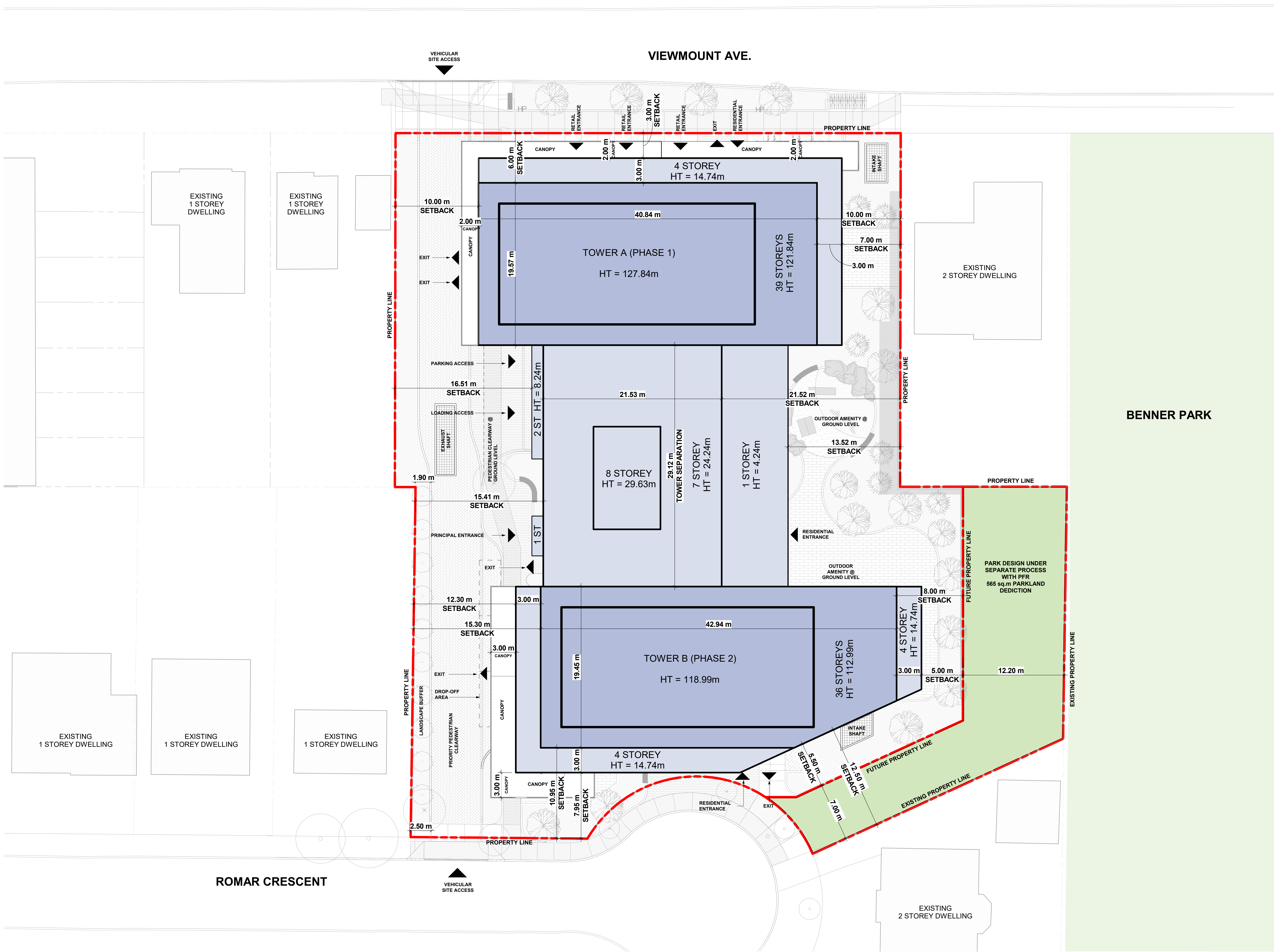
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TGS FORMS

Scale
23-07
2025-08-14
Project No.
Date
Drawing No.

A0. 03

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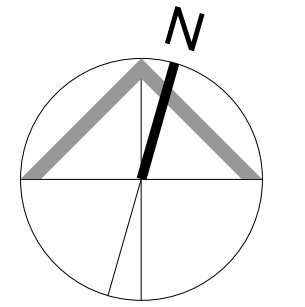
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Drawing Title
SITE PLAN - ROOF PLAN

Scale
1 : 200

Project No.
23-07

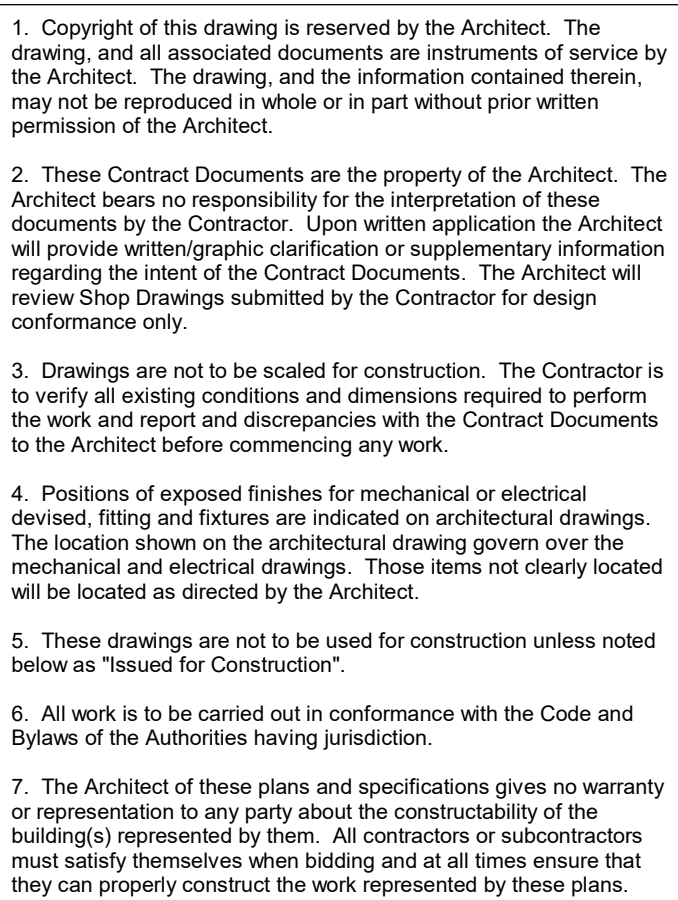
Date
2025-08-14

Drawing No.
A1. 03

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A1. 04

PARKING NOTES AND LEGEND																
<u>PARKING NOTES:</u> 1. PARKING STALL WIDTHS TO BE INCREASED BY 300mm FOR EACH SIDE OF THE STALL WHERE OBSTRUCTIONS OCCUR MORE THAN 1000mm FROM THE FRONT OR REAR OF THE SPACE. 2. VERTICAL CLEARANCE OVER DRIVE AISLES TO BE 2.1m AND VERTICAL CLEARANCE OVER PARKING SPACES TO BE AS PER DIAGRAMS ABOVE.																
<u>TYPICAL PARKING STALL</u> 2000mm MIN. VERTICAL CLEARANCE Diagram illustrating a typical parking stall with dimensions: 5600mm width, 6000mm TYP. AISLE, 2000mm height, and 1000mm obstruction zone. The diagram shows an unobstructed area and a zone of allowable obstructions.																
<u>ACCESSIBLE PARKING STALL</u> 2100mm MIN VERTICAL CLEARANCE Diagram illustrating an accessible parking stall with dimensions: 5600mm width, 6000mm TYP. AISLE, 2100mm height, and 1000mm obstruction zone. The diagram shows an unobstructed area and a zone of allowable obstructions.																
<u>SYMBOL LEGEND:</u> PARKING SPACE TAGS <table border="0"> <tr> <td>TYPE</td> <td>R</td> <td>Residential Space</td> </tr> <tr> <td></td> <td>V</td> <td>Visitor Space</td> </tr> <tr> <td></td> <td>CS</td> <td>Car Share Space</td> </tr> <tr> <td></td> <td>PUDO</td> <td>Pick-Up Drop-Off Space</td> </tr> <tr> <td></td> <td>OB</td> <td>denotes an Obstructed Parking Space</td> </tr> </table> Diagram illustrating a parking space equipped with an energized outlet for EV charging. Diagram illustrating a convex mirror, ceiling or wall hung at a high level, positioned to ensure motorists have clear views of oncoming traffic.		TYPE	R	Residential Space		V	Visitor Space		CS	Car Share Space		PUDO	Pick-Up Drop-Off Space		OB	denotes an Obstructed Parking Space
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BICYCLE PARKING SPACE TAG Diagram illustrating a bicycle parking space tag with dimensions: 1800mm width, 1800mm height, 460mm height, 100mm MIN. GAP AT WALL, and 2400mm height.																
B4 - HORIZONTAL STAGGERED SPACE - STACKED Diagram illustrating a horizontal staggered bicycle parking space with dimensions: 1800mm width, 1800mm height, 460mm height, 100mm MIN. GAP AT WALL, and 2400mm height.																
EACH SPACE IS 2 BICYCLE PARKING SPACES 2400mm MIN VERTICAL CLEARANCE																



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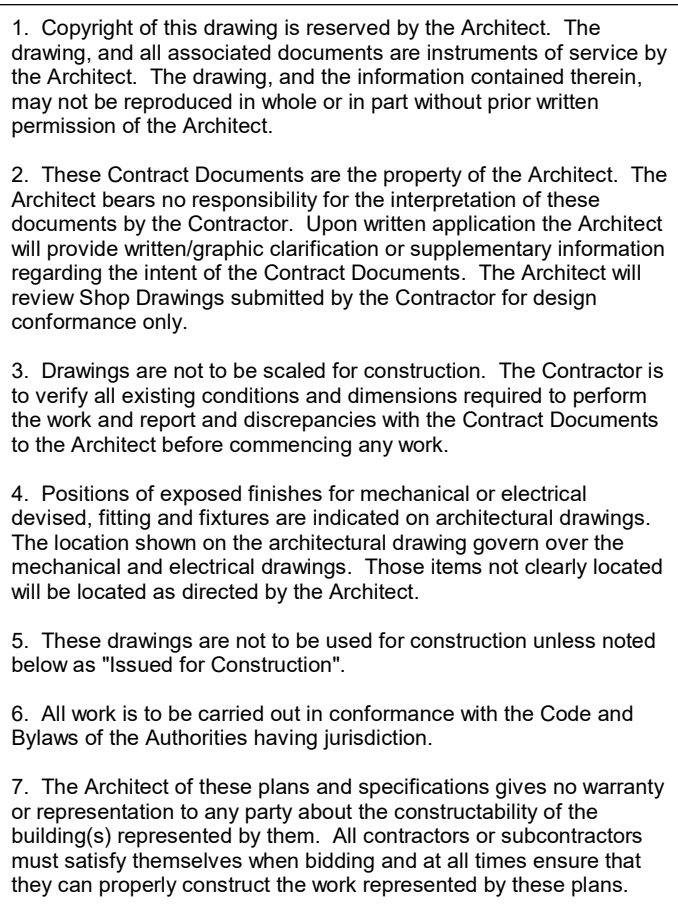
PARKING LEVEL 3

PARKING LEVEL 3

Drawing No.

A2. 01

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BICYCLE PARKING SPACE TAG TYPE COUNT									
B4 - HORIZONTAL STAGGERED SPACE - STACKED EACH SPACE IS 2 BICYCLE PARKING SPACES 2400mm MIN VERTICAL CLEARANCE									



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PARKING LEVEL 2

PARKING LEVEL 2

Drawing No.

A2. 02

PARKING NOTES AND LEGEND

PARKING NOTES:

1. PARKING STALL WIDTHS TO BE INCREASED BY 300mm FOR EACH SIDE OF THE STALL WHERE OBSTRUCTIONS OCCUR MORE THAN 1000mm FROM THE FRONT OR REAR OF THE SPACE.
2. VERTICAL CLEARANCE OVER DRIVE AISLES TO BE 2.1m AND VERTICAL CLEARANCE OVER PARKING SPACES TO BE AS PER DIAGRAMS ABOVE.

TYPICAL PARKING STALL

2000mm MIN. VERTICAL CLEARANCE

ACCESSIBLE PARKING STALL

2100mm MIN VERTICAL CLEARANCE

SYMBOL LEGEND:

PARKING SPACE TAGS

TYPE	R	Residential Space
NUMBER	V	Visitor Space
	CS	Car Share Space
	PUDO	Pick-Up Drop-Off Space
	OB	denotes an Obstructed Parking Space

DENOTES PARKING SPACES EQUIPPED WITH AN ENERGIZED OUTLET FOR EV CHARGING

CM DENOTES CONVEX MIRROR, CEILING OR WALL HUNG AT A HIGH LEVEL, POSITIONED TO ENSURE MOTORISTS HAVE CLEAR VIEWS OF ONCOMING TRAFFIC

BICYCLE PARKING NOTES AND LEGEND

BICYCLE PARKING NOTES:

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3. SPACES SHOWN ABOVE ARE BASED ON THE BY-LAW BY CITY OF TORONTO.

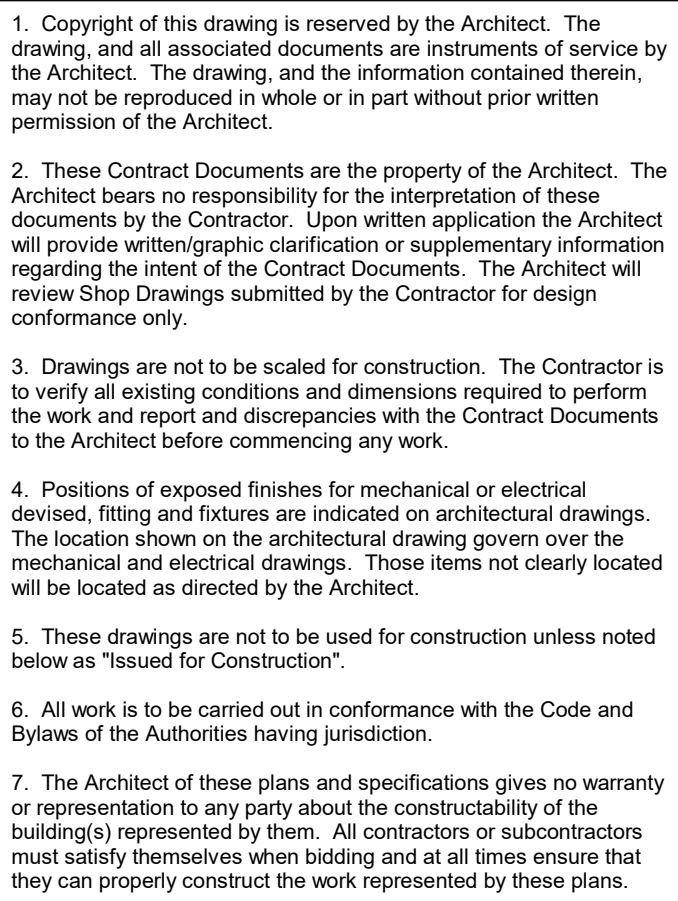
BICYCLE PARKING SPACE TAG

TYPE
COUNT

B4 - HORIZONTAL STAGGERED SPACE - STACKED

EACH SPACE IS 2 BICYCLE PARKING SPACES

2400mm MIN VERTICAL CLEARANCE



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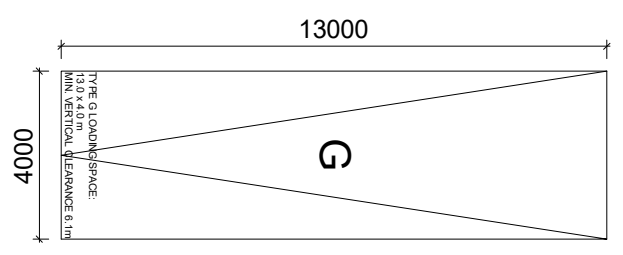
PARKING LEVEL 1

Drawing No.

A2. 03

TYPE G LOADING SPACE

VERTICAL CLEARANCE OF 6.1m ALONG ENTIRE LENGTH
MIN. 200mm REINFORCED CONCRETE ALONG ENTIRE LENGTH WITH A MAX SLOPE OF 2%

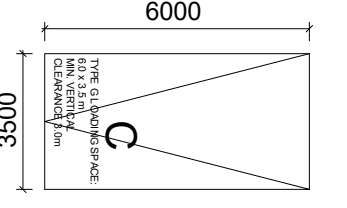


1. LOADING SPACE TO COMPLY WITH THE MINIMUM DIMENSIONAL REQUIREMENTS OF CITY OF TORONTO ZONING BY-LAW (569-2013)

2. STAGING AREA TO BE CONSTRUCTED OF MIN. 200mm REINFORCED CONCRETE WITH A MAX. SLOPE OF 2%

TYPE C LOADING SPACE

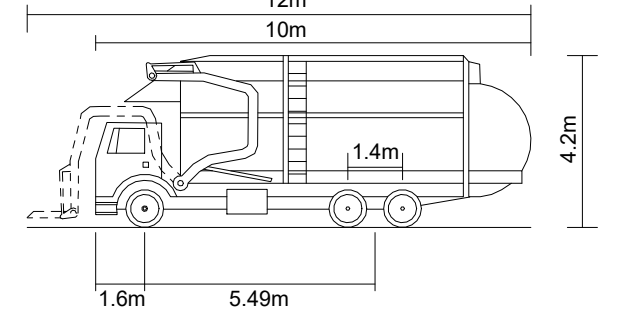
VERTICAL CLEARANCE OF 3.0m ALONG ENTIRE LENGTH



1. LOADING SPACE TO COMPLY WITH THE MINIMUM DIMENSIONAL REQUIREMENTS OF CITY OF TORONTO ZONING BY-LAW (569-2013)

DESIGN VEHICLE - CITY OF TORONTO

(Front Loading Refuse Collection Vehicle)



Overall Length (Forks Down)12.00m

Overall Length (Forks Up)10.00m

Overall Width2.40m

Overall Body Height4.20m

Outside Turning Radius14.00m

Inside Turning Radius9.50m

LOADING AREA - GENERAL NOTES

1. INSTALL AND MAINTAIN A FLASHING WARNING LIGHT SYSTEM WITH APPROPRIATE SIGNAGE AT THE TOP OF THE ACCESS RAMP LEADING TO THE UNDERGROUND GARAGE THAT WARNS MOTORISTS EXITING THE PARKING GARAGE TO WATCH FOR LARGE TRUCKS AND PEDESTRIANS MANOEUVERING BEYOND THE TOP OF THE ACCESS RAMP.

2. "NO PARKING" SIGNAGE TO BE INSTALLED ADJACENT TO TYPE G LOADING SPACE.



Rb - 51
(300 x 300)mm

SOLID WASTE NOTES

1. ALL DRIVEWAYS AND PASSAGEWAYS PROVIDING ACCESS TO THE TYPE G LOADING SPACE TO BE CONSTRUCTED TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, INCLUDING ALLOWANCE FOR THE CITY OF TORONTO BULK LIFT AND REAR BIN VEHICLE LOADING WITH IMPACT FACTORS WHERE THEY ARE TO BE BUILT AS SUPPORTED STRUCTURES.

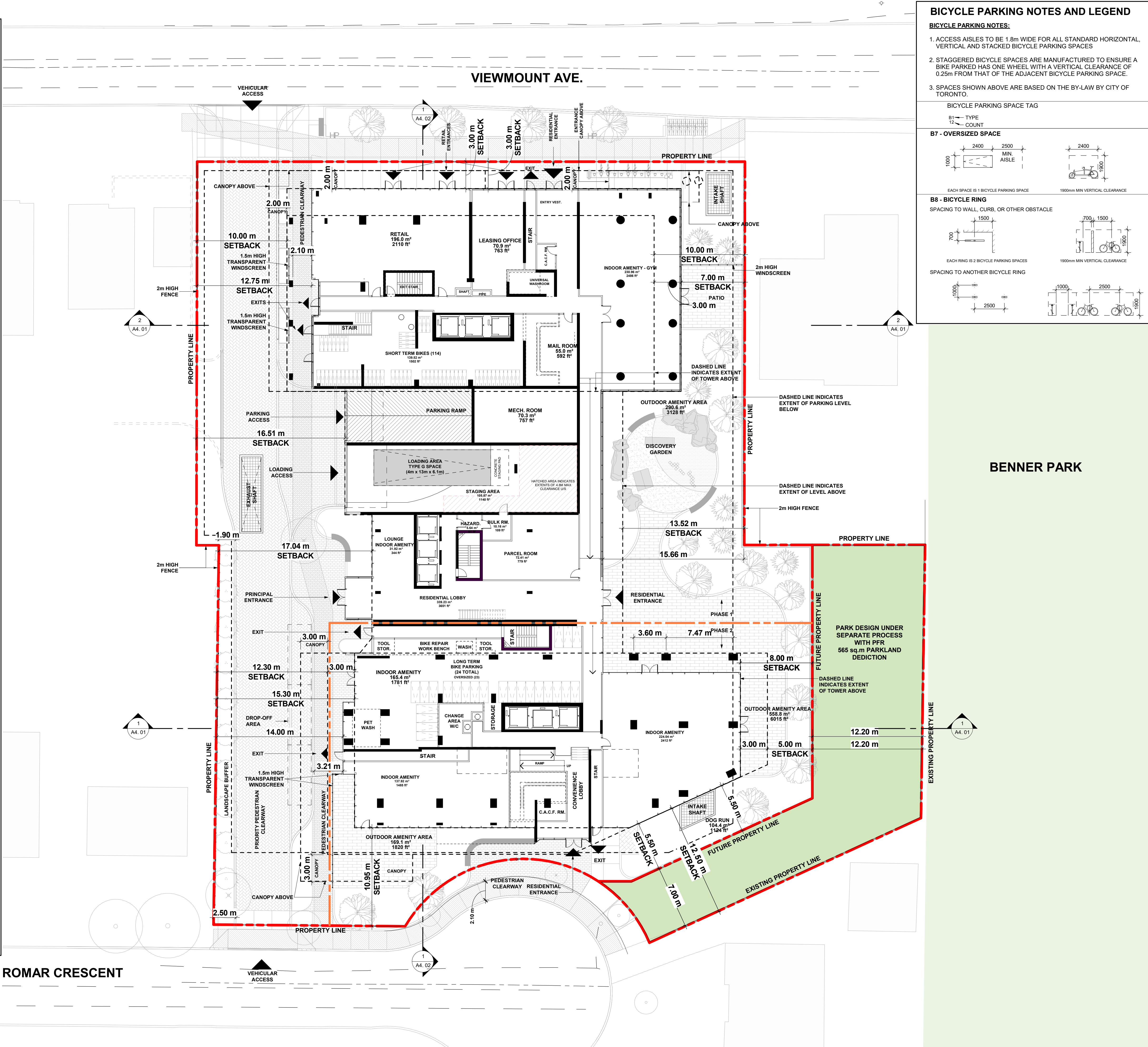
2. TYPE G LOADING SPACE, STAGING AREA AND GARBAGE STORAGE ROOMS TO COMPLY WITH THE "CITY OF TORONTO REQUIREMENTS FOR GARBAGE, RECYCLING AND ORGANICS COLLECTION SERVICES FOR NEW DEVELOPMENTS AND REDEVELOPMENTS - LAST REVISED: APRIL 2024"

3. CLEARANCE - ALL DRIVEWAYS AND PASSAGEWAYS PROVIDING ACCESS TO THE TYPE G LOADING SPACE TO HAVE MINIMUM VERTICAL CLEARANCE OF 4.4m THROUGHOUT, A MINIMUM WIDTH OF 4.5m THROUGHOUT AND BE 6m WIDE AT POINT OF INGRESS AND EGRESS.

4. GRADING - TYPE G LOADING SPACE AND STAGING AREA TO BE CONSTRUCTED OF MINIMUM 200MM OF REINFORCED CONCRETE WITH A MAXIMUM GRADE OF 2% SLOPES OF ALL TRUCK ACCESS ROUTES SHALL NOT EXCEED 8%

5. OPERATION - A TRAINED ON-SITE STAFF MEMBER MUST BE PRESENT TO MANEUVER BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.

6. USE - NON-RESIDENTIAL GARBAGE PICK-UP WILL BE SCHEDULED ON DIFFERENT DAYS FROM THE COLLECTION DAYS OF THE RESIDENTIAL COMPONENT TO ENSURE THAT THE TYPE G LOADING SPACE WILL BE VACANT FOR CITY WASTE COLLECTION.



BICYCLE PARKING NOTES AND LEGEND

BICYCLE PARKING NOTES:

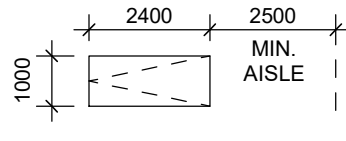
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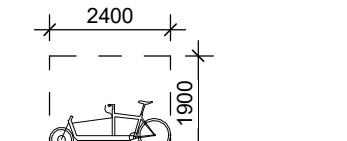
BICYCLE PARKING SPACE TAG

B1 TYPE
12 COUNT



EACH SPACE IS 1 BICYCLE PARKING SPACE

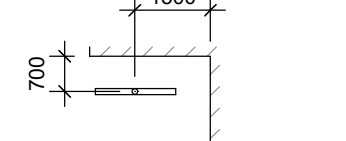
B7 - OVERSIZED SPACE



1500mm MIN VERTICAL CLEARANCE

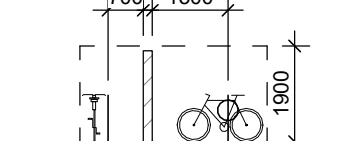
B8 - BICYCLE RING

SPACING TO WALL, CURB, OR OTHER OBSTACLE



EACH RING IS 2 BICYCLE PARKING SPACES

SPACING TO ANOTHER BICYCLE RING



1500mm MIN VERTICAL CLEARANCE

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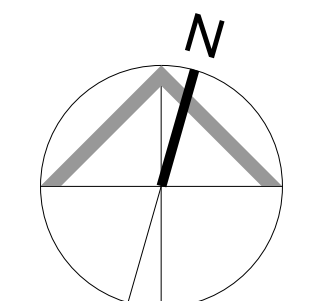
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Project

253 - 263 Viewmount Ave &
12 -18 Romar Crescent

Client

Osmington Gerofsky
Development Corp.

Drawing Title

LEVEL 1 FLOOR PLAN

1: 200	Scale
23-07	Project No.
2025-08-14	Date
	Drawing No.

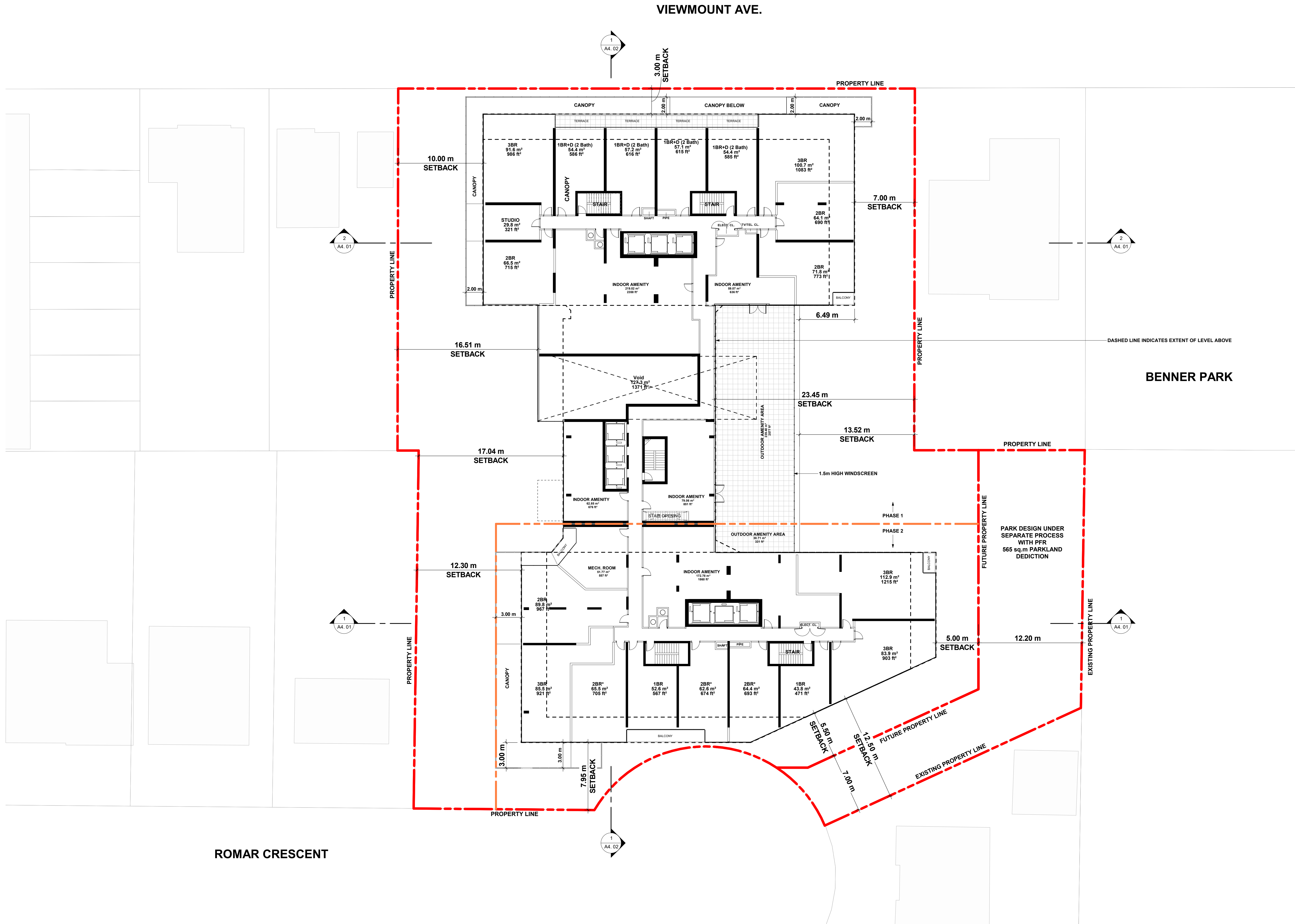
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Project

A2. 05



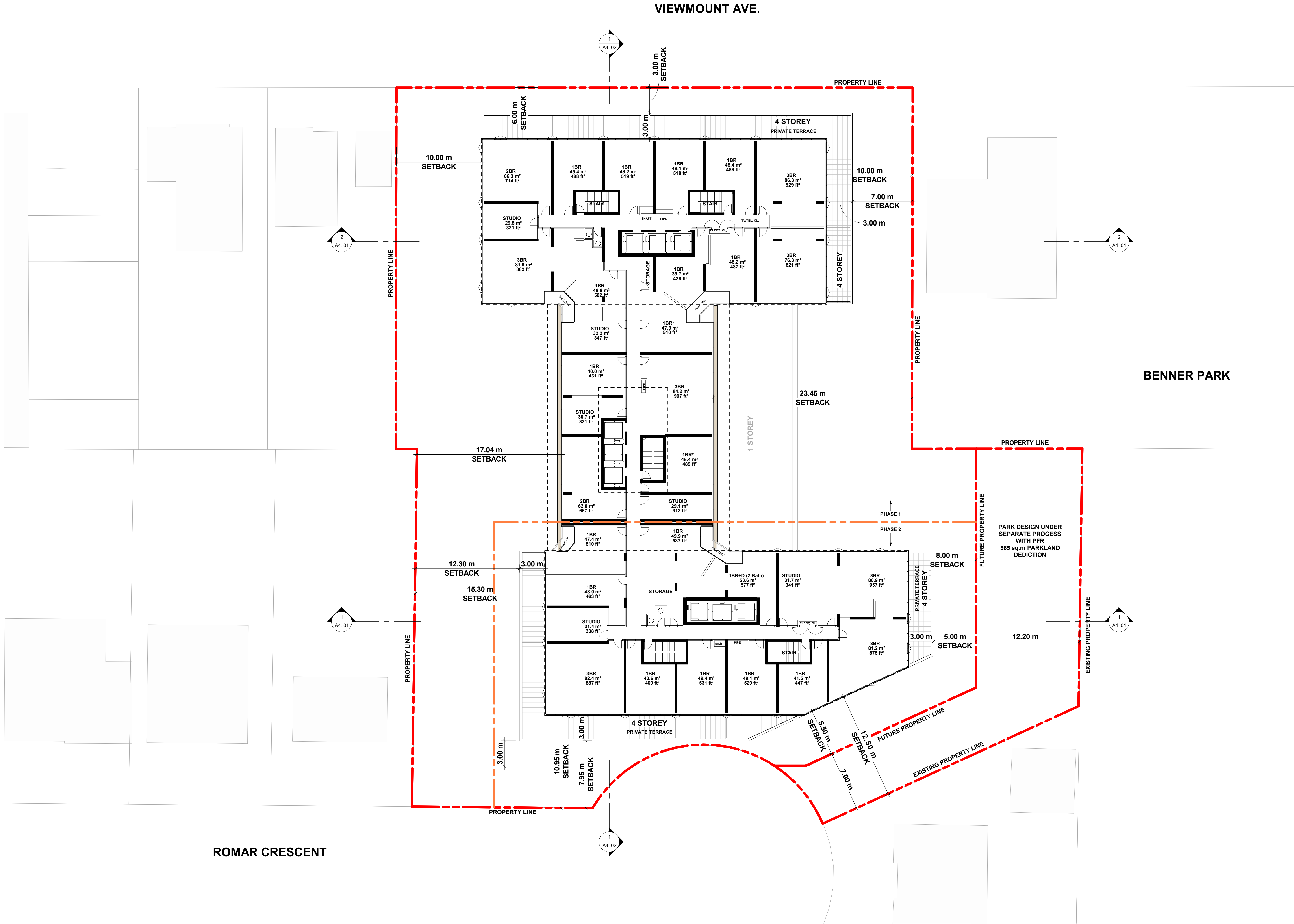
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Project

A2. 06



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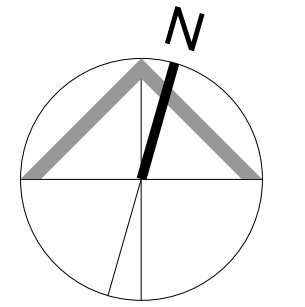
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Project
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12 -18 Romar Crescent**

Client
**Osmington Gerofsky
Development Corp.**

Drawing Title

**LEVEL 5 TO 7 FLOOR
PLAN**

1 : 200	Scale
23-07	Project No.
2025-08-14	Date
	Drawing No.

A2. 07

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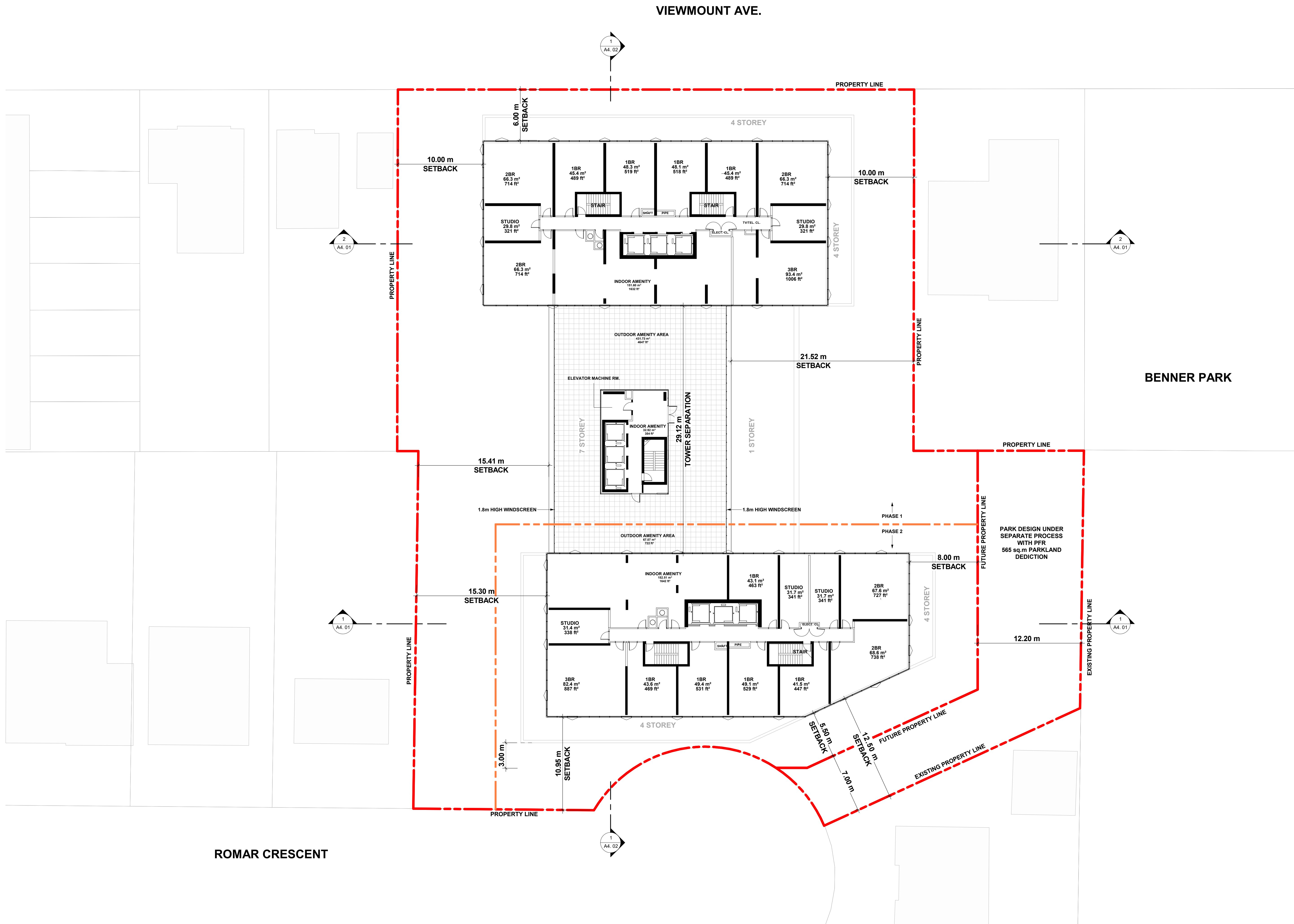
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12 -18 Romar Crescent

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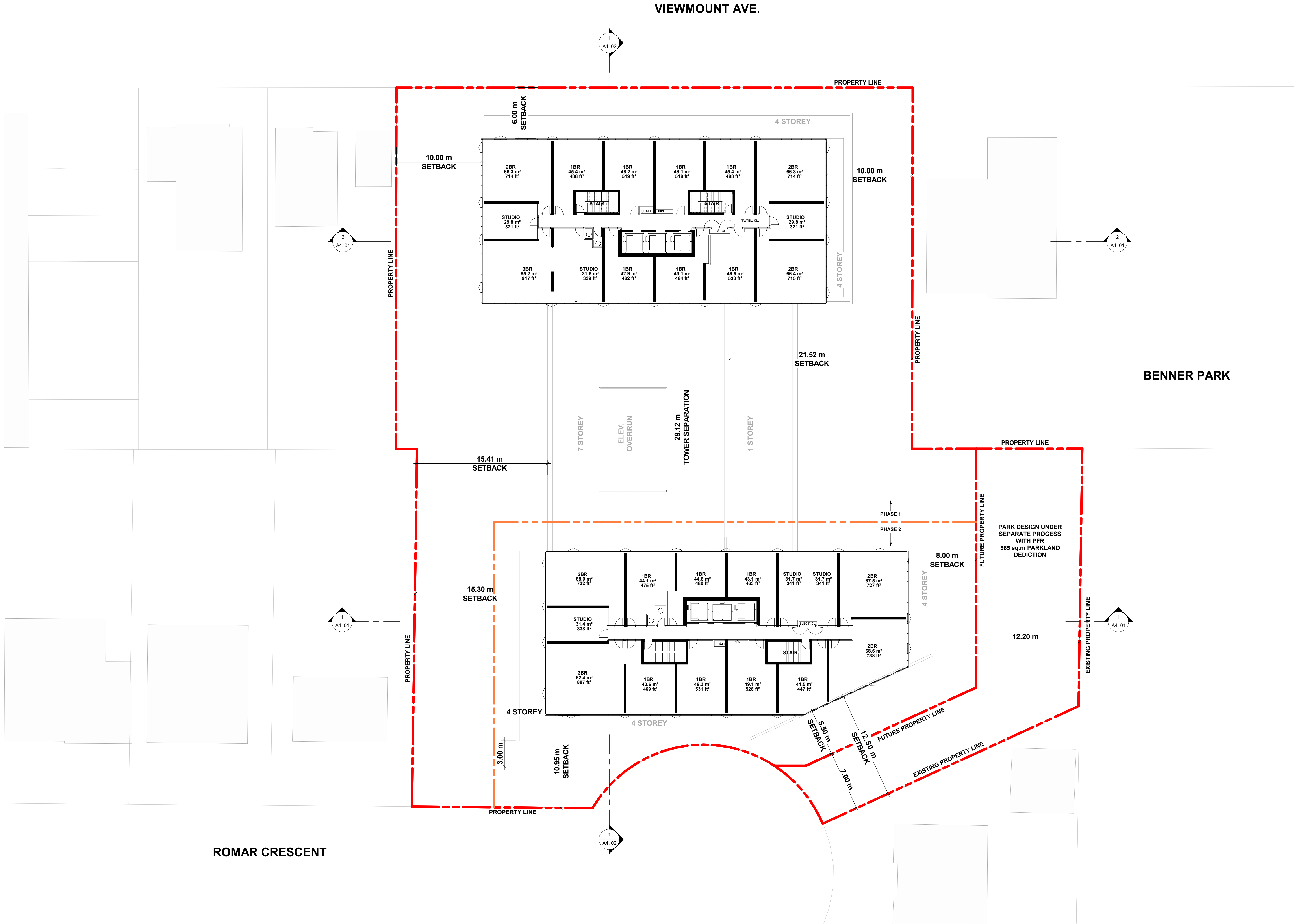
LEVEL 8 FLOOR PLAN

Drawing No.

A2. 08



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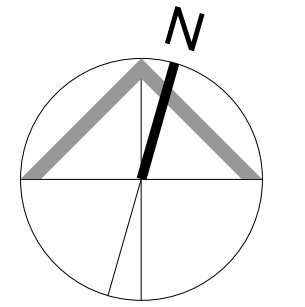
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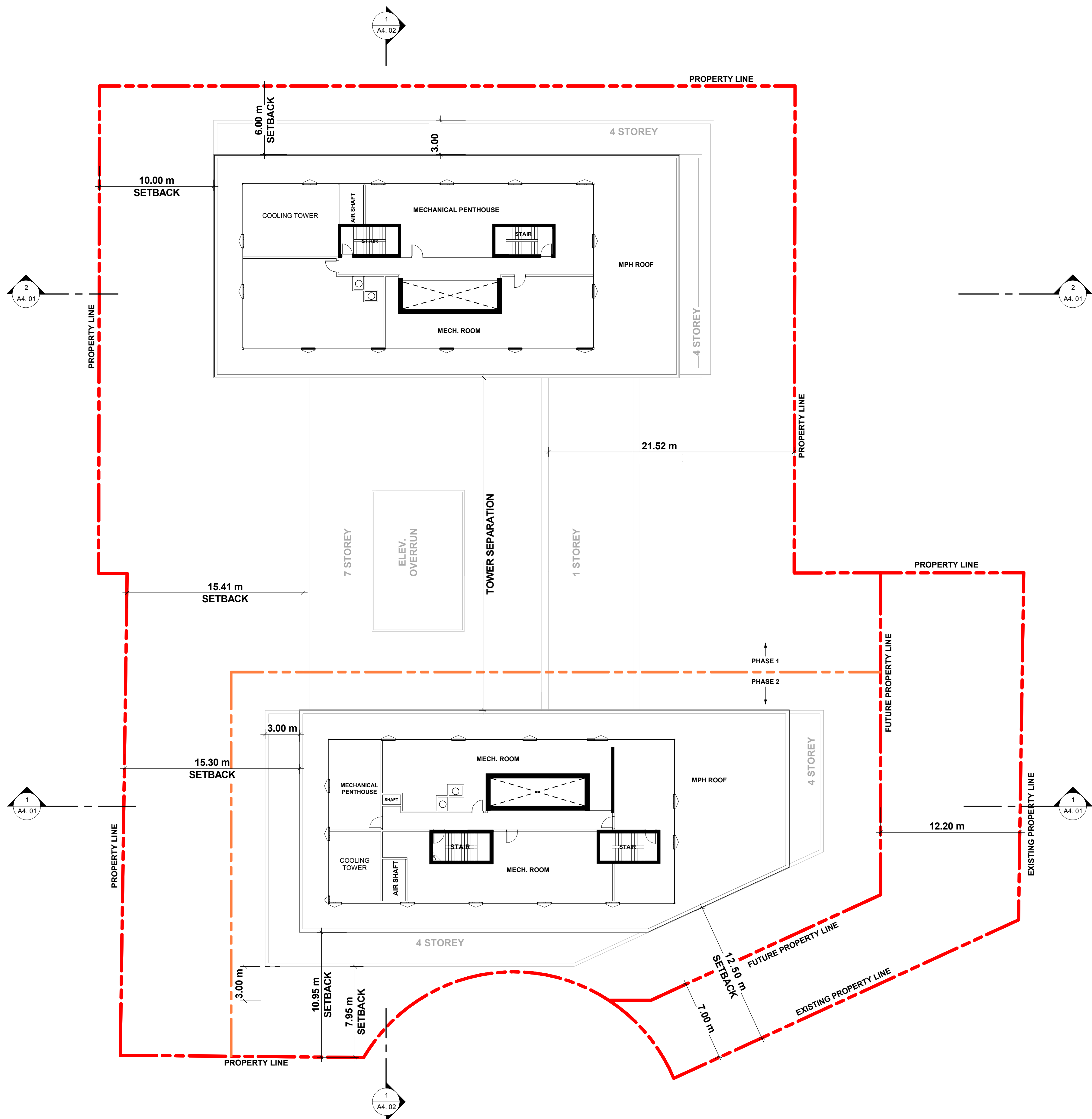
Client
**Osmington Gerofsky
Development Corp.**

Drawing Title
**TYPICAL TOWER FLOOR
PLAN**

1 : 200	Scale
23-07	Project No.
2025-08-14	Date
	Drawing No.

A2. 09

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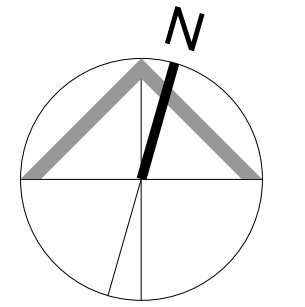
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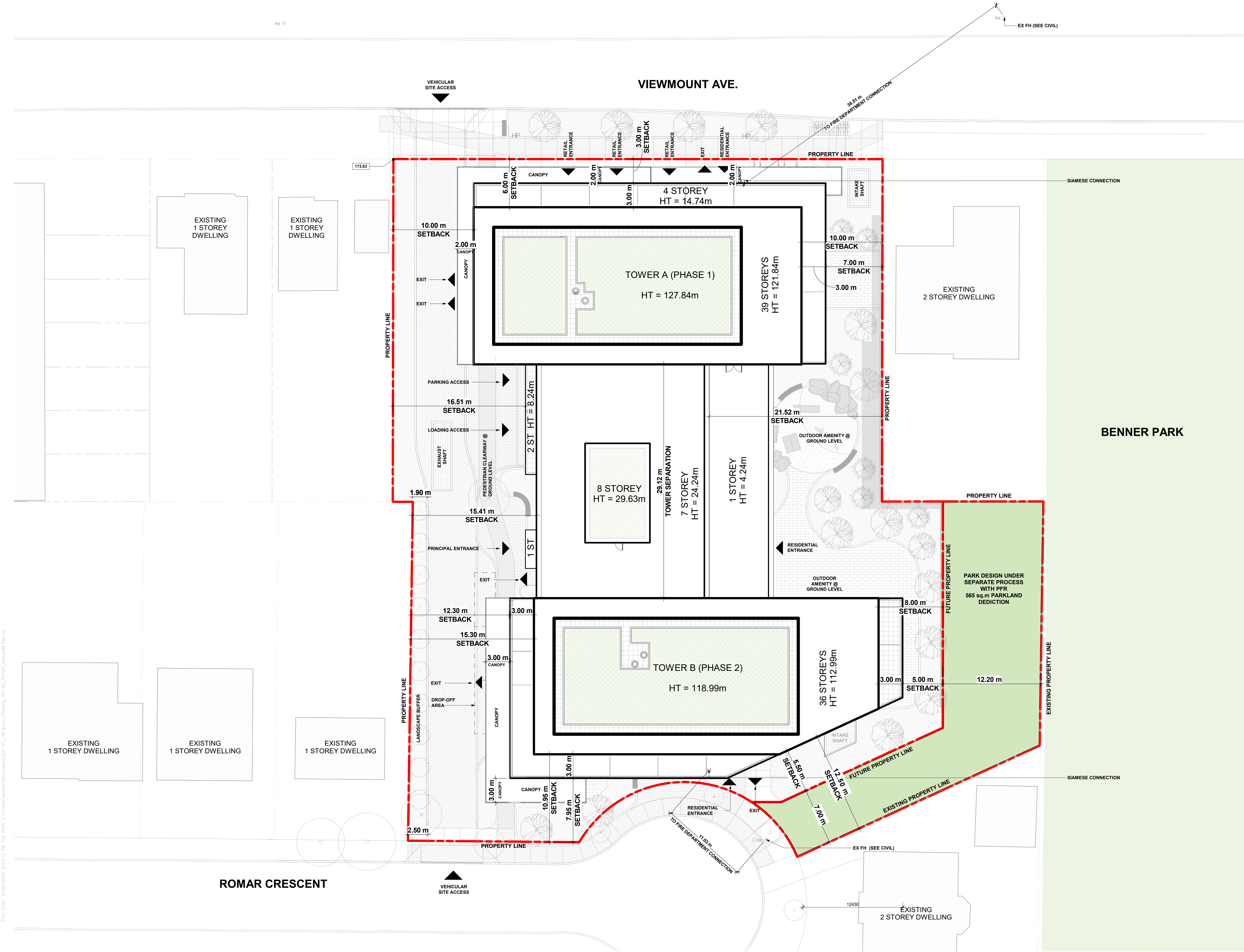
Client
**Osmington Gerofsky
Development Corp.**

Drawing Title
MPH FLOOR PLAN

1 : 200	Scale
23-07	Project No.
2025-08-14	Date
	Drawing No.

A2. 10

Plot Date: 9/22/2025 3:57:12 PM File Path: C:\Users\jvelaz\OneDrive\Documents\23-07_M_Smith_Phrasing_OP-02_RVT25_aster\A2.11.rvt



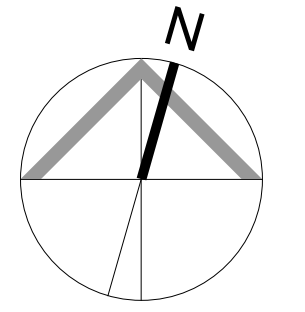
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Drawing Title

SITE PLAN - ROOF PLAN

1 : 200	Scale
23-07	Project No.
2025-08-14	Date
	Drawing No.

A2. 11