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***Professional Corporation**

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December 1, 2025

Via Email (kasia.czajkowski@toronto.ca)

Without Prejudice

Kasia Czajkowski, Solicitor
Legal Services, Planning & Administrative
Tribunal Law Section
City of Toronto, Metro Hall
55 John Street, 26th Floor
Toronto, ON M5V 3C6

To Ms. Czajkowski:

**Re: Settlement Offer – 3019 Dufferin Street
Ontario Land Tribunal Case No. OLT-25-000072
City of Toronto Planning Application Nos. 16 268010 NNY 15 OZ**

We represent Pauline Centre Corporation (the “**Owner**”), the owner of the lands municipally known as 3019 Dufferin St. (the “**Subject Property**”) in the City of Toronto (the “**City**”). The Owner submitted an application to amend the City of Toronto Zoning By-law No. 569-2013 (City Application No. 16 268010 NNY 15 OZ – the “**Application**”) as it relates to the Subject Property. The Subject Property previously received tentative site specific zoning approvals from the Ontario Land Tribunal (the “**Tribunal**”) on October 24, 2019, to permit an 8-storey mixed use building with 105 residential units. The approval conditions were never fulfilled, and a revised application was brought before the Tribunal for consideration bearing Tribunal Case No. OLT-25-000072 (the “**Appeal**”). In its order dated July 25, 2025, the Tribunal set a ten-day hearing for the Appeal scheduled to commence on March 16, 2026 to consider the revised application.

Further to our productive and fruitful mediated settlement discussions with City staff, we write to make a without prejudice offer to settle the Appeal with the City in its entirety (the “**Settlement Offer**”).

The Settlement Offer terms are as follows:

1. Settlement Plans

The zoning by-law amendment will permit the proposed mixed-use development subject to the matters expressly set out herein (the “**Development**”), substantially in accordance

with the set of plans and drawings and site statistics which is attached hereto as Schedule "A" (the "**Settlement Plans**"), which include the following:

- (a) one mixed-use building (a 33-storey tower and 105 meters) comprised of approximately:
 - (i) a maximum of 26,039 square metres of residential gross floor area; and
 - (ii) a maximum of 353 square metres of non-residential gross floor area;
- (b) for the podium and tower portions of the Development, height, massing, and setbacks substantially as depicted in the Settlement Plans including no projecting balconies on the south façade of the tower and limited to 1 meter width on the west façade of the tower. Balconies on the north façade of the tower are permitted above the 14th storey; only Juliette balconies are permitted below the 15th storey. There shall be no balcony restrictions on the east façade of the tower;
- (c) a maximum 8-storey podium on the Dufferin frontage and a 5-storey podium on the Claver frontage;
- (d) a minimum 12-metre high cantilever of the podium on the Dufferin Street frontage;
- (e) no required minimum for residential parking but 2 visitor parking spaces with an additional 0.05 visitor parking spaces per unit, and an additional 0.025 accessible parking spaces per unit.
- (f) the provision of amenity space of 3.79 square metres per unit combined indoor and outdoor;
- (g) the Owner agrees to work with City staff to refine bicycle parking as well as the extent and shape of the turning circle and pick-up drop-off location (PUDO), with details to be secured through the site plan approval process;
- (h) a unit mix that meets or exceeds the City's Growing Up Guidelines including a minimum of 15% of units comprising 2 bedrooms and a minimum of 10% of units comprising of 3 bedrooms; and,

The Settlement Plans included alongside this Settlement Offer, if accepted by City Council, are intended to amend the plans previously submitted to the Tribunal for the Appeal.

2. Conditions Prior to the Issuance of a Final Order

The Owner agrees that the following matters will be addressed to the satisfaction of the City prior to the issuance of a final order by the Tribunal allowing the Appeals on the terms set out herein:

- (a) the final form and content of the Zoning By-law Amendment is satisfactory to the Executive Director, Development Review Division, the Chief Planner and Executive Director, City Planning Division, and the City Solicitor;
- (b) the Owner has submitted a revised Functional Servicing Report, Stormwater Management Report, and Hydrogeological Review, including sanitary and service connection locations and the Foundation Drainage Report or addendums ("Engineering Reports"), to the satisfaction of the Chief Engineer and Executive Director, Engineering and Construction Services, in consultation with the General Manager, Toronto Water;
- (c) the Owner has submitted a Sanitary or Combined Sewer Tributary Catchment Area Plan, including population values and trade flow values utilized in the model, to the satisfaction of the Chief Engineer and Executive Director, Engineering and Construction Services, in consultation with the General Manager, Toronto Water;
- (d) the Owner has secured the design and provision of financial securities for any upgrades or required improvements to the existing municipal infrastructure identified in the accepted Engineering Reports, to support the development, all to the satisfaction of the Chief Engineer and Executive Director, Engineering and Construction Services and the General Manager, Toronto Water, should it be determined that improvements or upgrades are required to support the development, according to the accepted Engineering Reports, accepted by the Chief Engineer and Executive Director, Engineering and Construction Services and the General Manager, Toronto Water;
- (e) the Owner has submitted an updated Pedestrian Level Wind Tunnel Study, to the satisfaction of the Chief Planner and Executive Director, City Planning;
- (f) the Owner has submitted an updated complete Toronto Green Standards Checklist and Statistics Template, to the satisfaction of the Chief Planner and Executive Director, City Planning;
- (g) the Owner has addressed all outstanding issues raised by Urban Forestry, Tree Protection & Plan Review and a soil volume plan and tree planting plan has been accepted by the Supervisor, Urban Forestry, Tree Protection & Plan Review; and
- (h) the Owner has submitted a revised Transportation Impact Study, including Vehicle Maneuvering Diagrams and a functional road plan, to the satisfaction of the General Manager, Transportation Services and the Chief Engineer and Executive Director, Engineering and Construction Services.

If in finalizing the form of zoning by-law the parties disagree as to whether a holding provision is appropriate, the Tribunal may be spoken to regarding the appropriateness of such request.

3. Settlement Offer Conditions

This Settlement Offer is conditional on:

- (a) City Council accepting this Settlement Offer by the end of its meeting scheduled to commence on December 16, 2025; and,
- (b) the City consenting to the Owner requesting a settlement hearing for the Appeal, to be held during or before the hearing scheduled for the Appeal, for the issuance of an interim order by the Tribunal approving the Development and the Settlement Plans in principle (however, should the conditions outlined in Section 3 herein be cleared prior to the settlement hearing, the City will consent to the Owner requesting the issuance of a final order by the Tribunal approving the Development at the settlement hearing).

This Settlement Offer is made without prejudice. Should the Settlement Offer be accepted by City Council, it may be released publicly.

Should you require further information please do not hesitate to contact our office.

Sincerely,

McCarthy Tétrault LLP



Michael Foderick*
Partner | Associé

MF/JC/DA
Attachment

SCHEDULE "A"

Settlement Plans, prepared by Architecture Unfolded, dated November 20, 2025

3019 DUFFERIN STREET

TORONTO, ONTARIO



DRAWING LIST:

ARCHITECTURAL	
A101	SITE PLAN, CONTEXT PLAN & STATISTICS
A102	SITE PLAN
A201	P2 - PLAN
A202	P1 - PLAN
A203	WASTE MANAGEMENT PLAN
A301	GROUND FLOOR PLAN
A302	2ND FLOOR PLAN
A303	3RD- 4TH FLOOR PLAN
A304	5TH-6TH FLOOR PLAN
A305	7TH FLOOR PLAN
A306	8TH - 12TH FLOOR PLAN
A307	13TH - 29TH FLOOR PLAN
A308	MHP FLOOR PLAN
A401	WEST ELEVATION
A402	SOUTH ELEVATION
A403	NORTH ELEVATION
A404	EAST ELEVATION
A405	SOUTH DETAIL ELEVATION 1:50
A420	RENDER
A501	SECTION
A502	SECTION
A601	SHADOW STUDY - MARCH
A602	SHADOW STUDY - JUNE
A603	SHADOW STUDY - SEPTEMBER
A604	SHADOW STUDY - DECEMBER

CLIENT:

PAULINE CENTRE CORP

ARCHITECT:

ARCHITECTURE UNFOLDED

368 DUFFERIN STREET
TORONTO, ONTARIO
M6K 1Z8
TEL: 416-601-5416

PLANNER:

SAJECKI PLANNING

227 Pape Avenue
Toronto, ON, Canada
M4M 2W3
TEL: 647-497-8000

STRUCTURAL ENGINEER:

MECHANICAL ENGINEER:

ELECTRICAL ENGINEER:

SITE SERVICES:

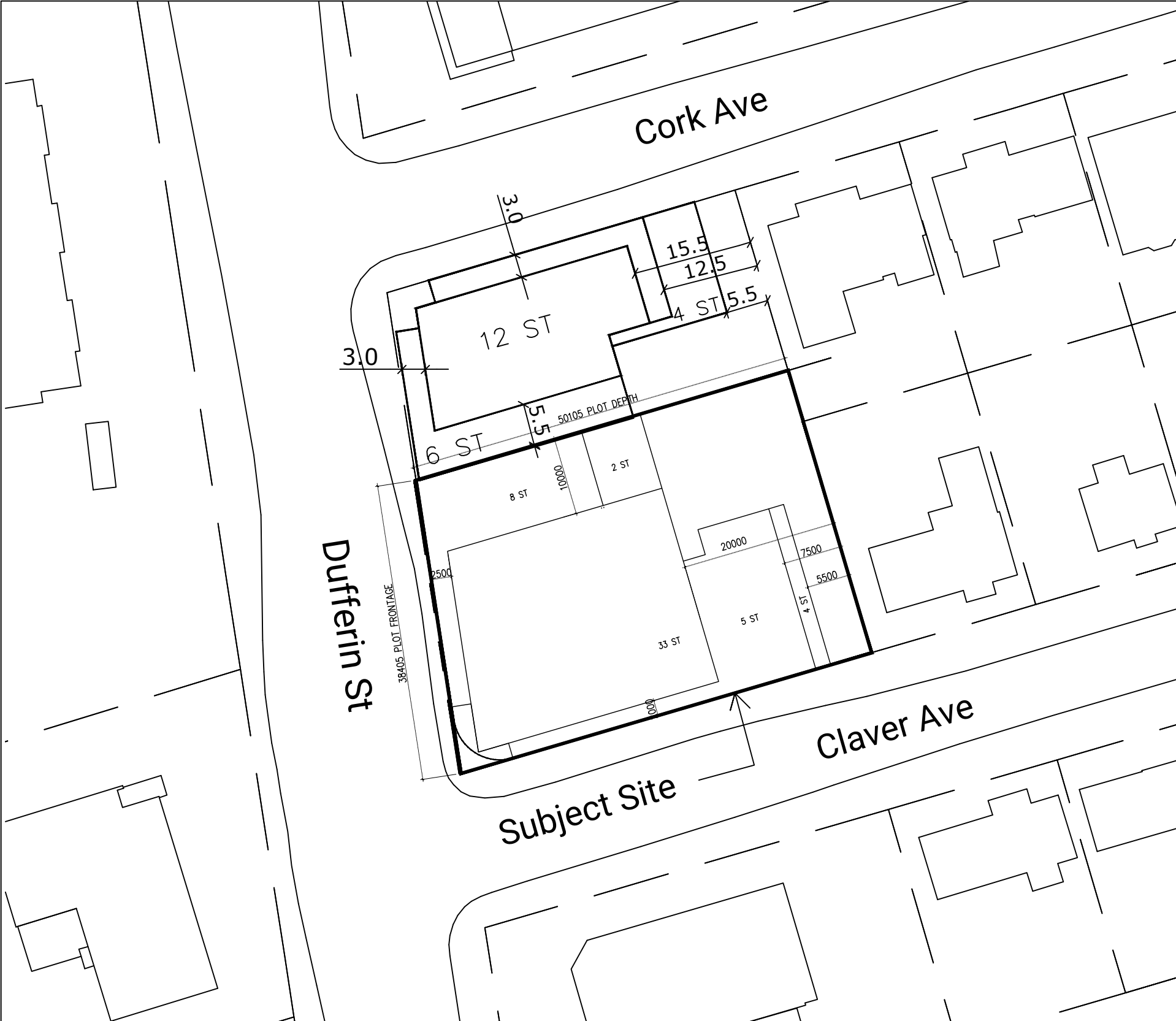
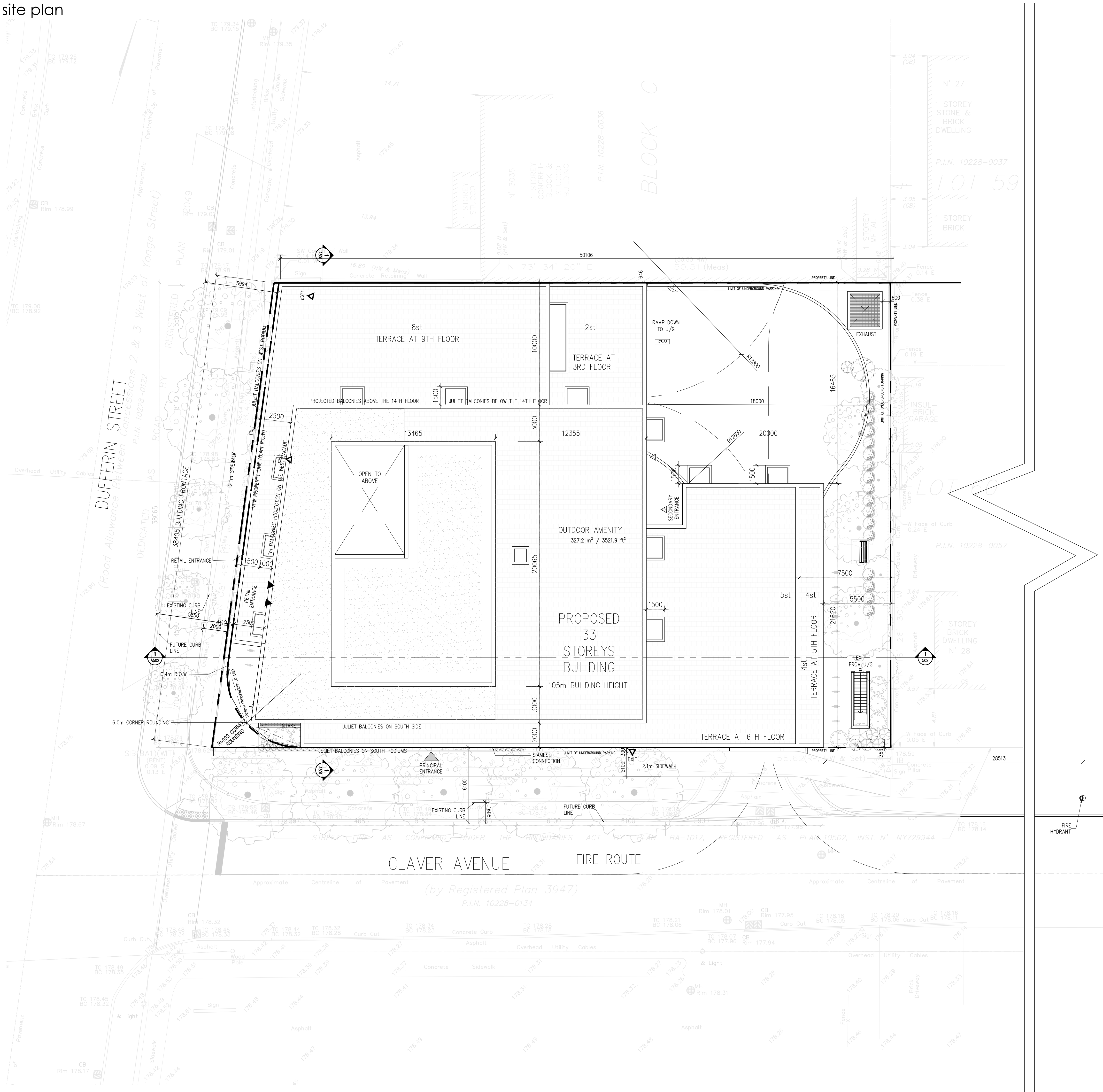
CROZIER CONSULTING ENGINEERS

211 YONGE ST, SUITE 601
TORONTO, ON
M4B 1M4
TEL: 416-477-3392

LANDSCAPE ARCHITECT:

CROZIER

70 Huron Street, Suite 100
Collingwood, ON
L9Y 4L4
TEL: 705-446-3510



notes:
Without Prejudice

architectunfolds		3019 Dufferin St., Toronto, ON, M6H 1S8, Tel: (416) 601 5416		December 1, 2025					
STATISTICS: 2019 Dufferin St.		BYLAW 569 2013 POLICY AREA 4							
SITE INFO		grossing	m2	ft2	area				
GROSS SITE AREA			2,020.4	21,747	0.50				
ROAD WIDENING & CORNER ROUNDING			26.8	278	0.01				
NET SITE AREA			1,994.6	21,469	0.49				
SITE FRONTAGE			38.46m						
					13.21				
TIFA		FLOORS	m2	ft2					
P2			1,918	20,645					
P3			1,918	20,645					
GND RETAIL			353	3,799					
GND RES.			682	7,346					
2ND			1,319	14,196					
3RD-4TH			1,347	14,504					
5TH			1,395	14,918					
6TH-8TH			1,078	11,604					
9TH-RES			48	517					
9TH AMENITY			752	8,040					
10TH-3RD			800	8,520					
MECH PH			270	2,906					
GRAND TOTAL		incl. parking levels	33,621	361,893					
GRAND TOTAL		excl. parking levels	25,785	276,842					
GFA		FLOORS	m2	ft2					
GND RETAIL			353	3,799					
GND			105	1,130					
2ND			1,319	14,196					
3RD-4TH			1,347	14,504					
5TH			1,395	14,918					
6TH-8TH			1,079	11,606					
9TH RES			0	0					
9TH AMENITY			0	0					
10TH-3RD			0	0					
MECH PH			0	0					
TOTAL RETAIL			353	3,799					
TOTAL RESIDENTIAL			21,589	232,743					
GRAND TOTAL			26,342	283,542					
LOT COVERAGE			3,516 m2		76.6%				
UNITS			B	1B	1B-D	2B	3B	3B-D	TOTAL
2nd		* 1	1	2	3	3	3	0	12
3RD-4TH		* 2	4	8	10	6	6	0	34
5TH		* 1	2	4	6	4	1	0	17
6TH-8TH		* 3	3	12	6	18	3	0	42
9TH		* 1	0	0	0	0	0	0	0
10TH-3RD		* 24	0	48	72	96	24	0	240
TOTAL			30	74	97	127	37	0	345
PERCENTAGE			2.9%	21.4%	28.1%	36.8%	10.7%	0.0%	100%
ACCESSIBLE UNITS		15% OF ALL TYPE	2	26	20	6	54		
AMENITY		REQUIRED	m2	ft2					
		INDOOR	2.0m2/unit	600	7427				
		OUTDOOR	2.0m2/unit	600	7427				
		TOTAL		1,380.0	14854				
		PROPOSED	m2	ft2					
		INDOOR	0.0	0					
		GND	0.0	0					
		2ND FLOOR	752.0	8,040		2.18 ratio			
		TOTAL							
		OUTDOOR	0.0	0					
		GND	0.0	0					
		8TH FLOOR	228.8	2,463					
		TOTAL	228.8	2,463		1.43 ratio			
		GRAND TOTAL	1,308.8	14,079		3.79 ratio			
HEIGHT		PERMITTED	m	x	x STOREYS				
		PROPOSED	105m		33 STOREYS				
PARKING		REQUIRED	VISITOR 0.60/unit+2		19				
		RES 0.40/4		10					
		RES 0.40/8 & 18-0		98					
		RES 0.40/8		114					
		RES 1.0/8		41					
		Retail 4/100m2		4					
		Total		286					
		PROPOSED	P2		45				
		P1-RES		22					
		P1-RETAIL		1					
		P1-VISITOR		19					
		GRAND TOTAL		87					
EV PARKING		PROPOSED	100% OF PROVIDED RES. (incl.)		67				
		25% OF VISITOR (incl.)		6					
ACCESS PARKING		REQUIRED	0.05/unit		9				
		P2-		10					
		P1-		11					
		Total (incl.)		21					
BICYCLE PKG.		REQUIRED	1-TERM RES - 0.20/unit		311				
		1-TERM RES - 0.20/unit		1					
		1-TERM RES - 0.20/unit		69					
		1-TERM RES - 0.20/unit		4					
		1-TERM RES - additional 30 for TSS		10					
		Total 1-term		911					
		GRAND TOTAL		394					
		OVERSIZED BICYCLE PARKING (incl.)		16					
		15% 1-TERM BICYCLE PARKING EV (incl.)		47					
		PROPOSED	P2-1-TERM		64				
		P1-1-TERM - OVERSIZED BICYCLE PARKING		16					
		2ND-1-TERM		170					
		2ND-1-TERM		72					
		Total 1-term		322		0.93 ratio			
		P1-RETAIL 1-TERM		36					
		GND-RETAIL 1-TERM		4					
		GND-OUTDOOR 1-TERM		44					
		TOTAL 1-TERM		84		0.24 ratio			
		GRAND TOTAL		406					

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1 issued 14-02-24

revisions: dd-mm-yy

architectural team :

mark zwicker
rushad dastoor

interior design:

planning:

Subject Planning Inc.

structural:

electrical:

mechanical:

landscape:

Creder & Associates Inc.

fire services:

Creder & Associates Inc.

owner:

Pauline Centre Corp.

project:

3019 Dufferin St.

Toronto, Ontario

site plan, context
plan & statistics

december 01, 2025

scale:

1:100

project:

13-12

drawn by:

rd

date:

13-12

project:

13-12

drawn by:

rd

date:

13-12

project:

13-12

drawn by:

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drawn by:

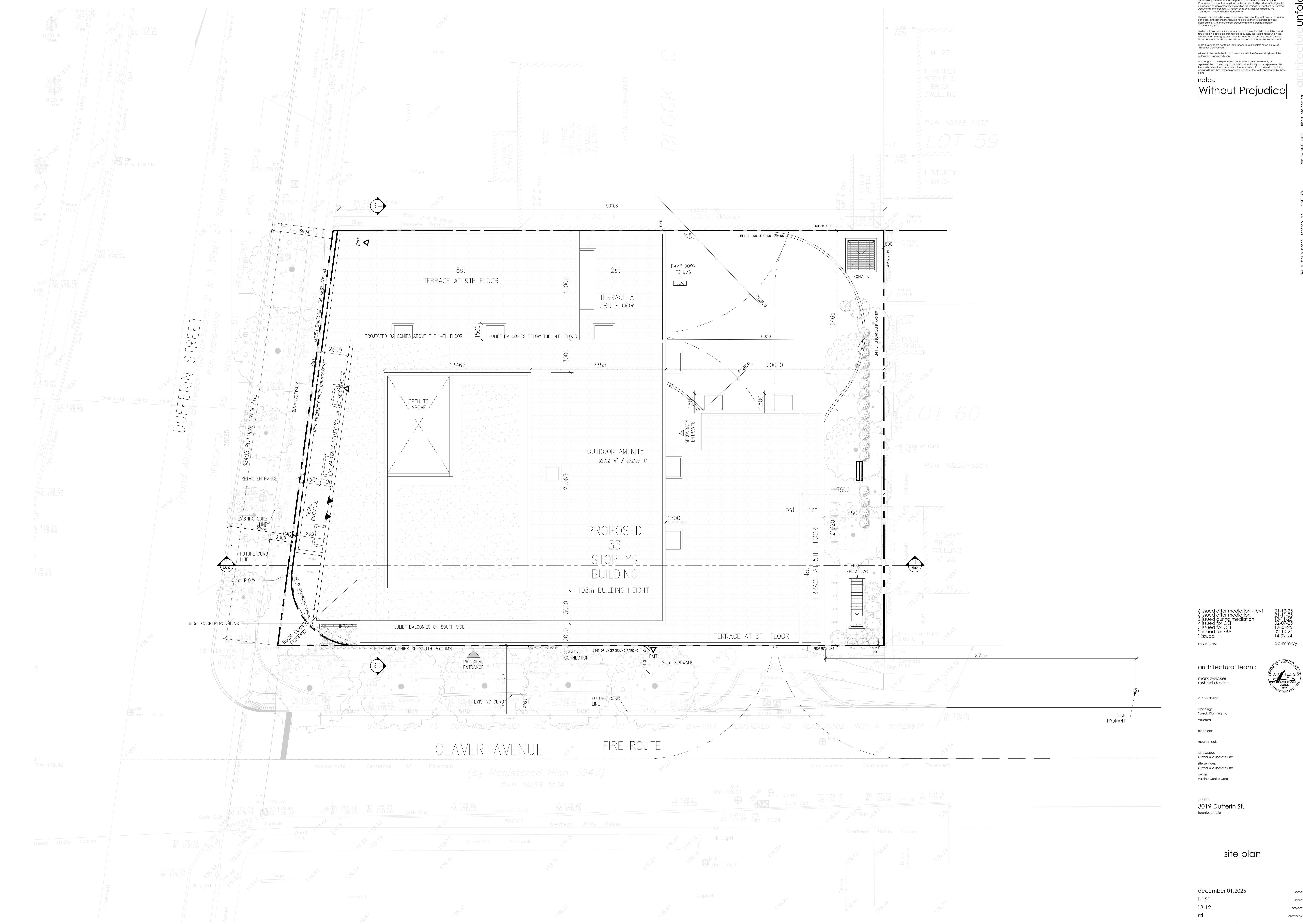
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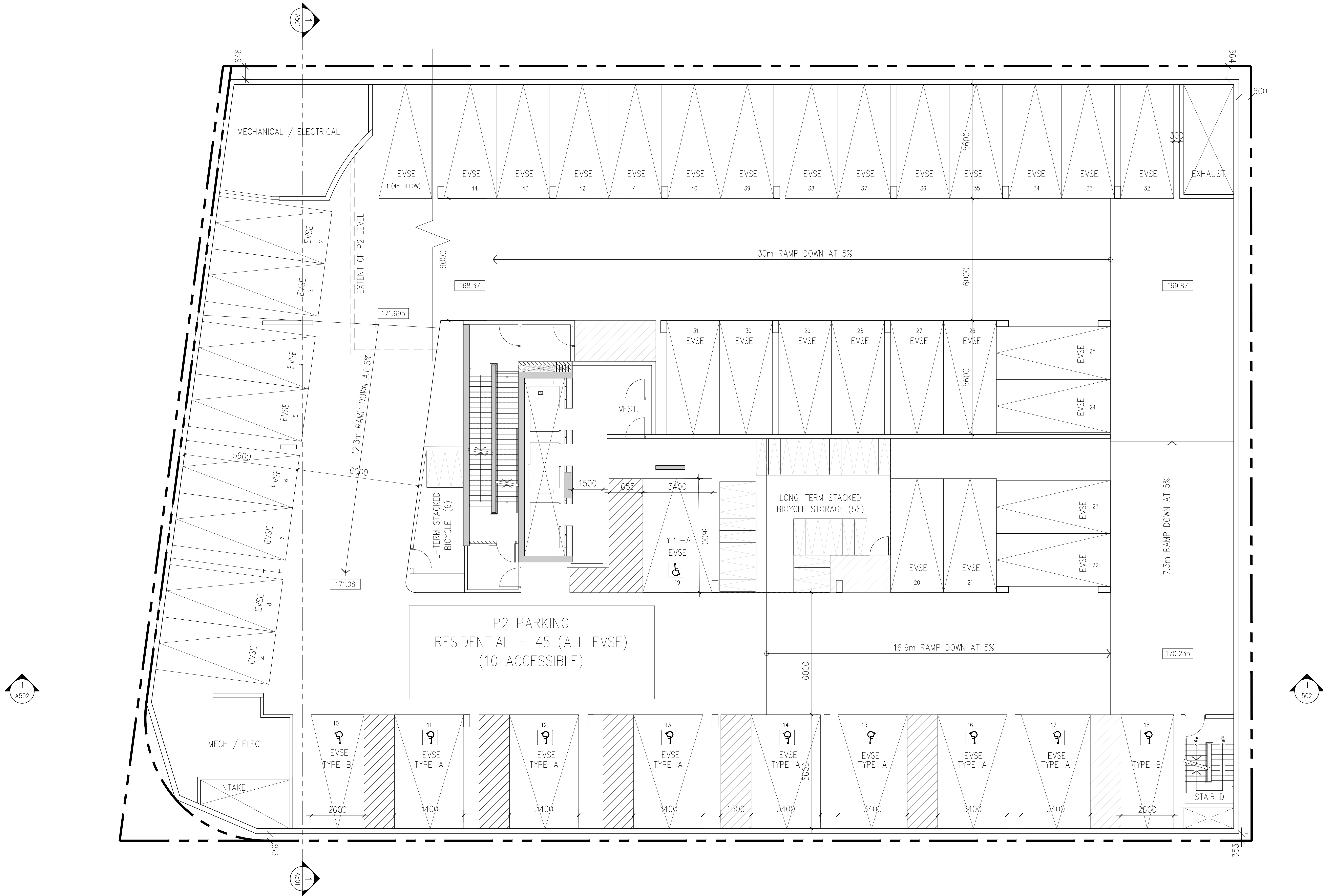
date:

13-12

project:

13-12





The drawings are the property of Architect and are not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the Architect.

These Contract Documents are the property of the Architect. The Architect does not accept responsibility for the interpretation of these documents for the Contractor. Upon written notification, the Architect will provide engineering, architectural, or supplementary information regarding the intent of the Contract Documents. The Architect will not be responsible for the Contractor's interpretation of these documents.

Drawings are not to be scaled for construction. Contractors to verify all existing conditions and dimensions before beginning the work and report any discrepancies with the Contract Documents to the Architect before commencing work.

Patterns of exposed or finished mechanical or electrical devices, fittings, and materials are indicated on these drawings. The Contractor shall be responsible for the selection of materials and finishes. The Contractor shall be responsible for the selection of materials and finishes. The Contractor shall be responsible for the selection of materials and finishes.

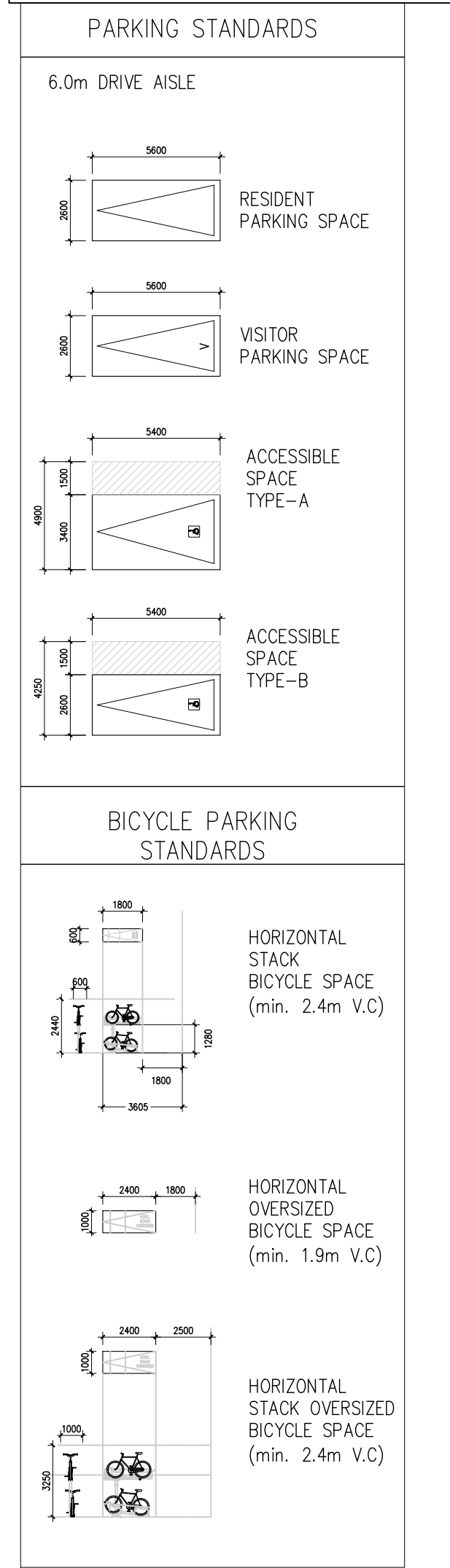
These drawings are not to be used for construction unless noted below as "Issued for Construction".

All work to be carried out in accordance with the Code and below of the authority having jurisdiction.

The Designer of these plans and specifications gives no warranty or representation in any part of the responsibility of the Contractor to the Contractor. The Contractor shall be responsible for the selection of materials and finishes. The Contractor shall be responsible for the selection of materials and finishes. The Contractor shall be responsible for the selection of materials and finishes.

Notes:

Without Prejudice



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architectural team :

mark zwicker
rushad dasfor

interior design:

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mechanical:

landscape:

site services:

owner:

Pauline Centre Corp

project:

3019 Dufferin St.

Toronto, Ontario

P2 parking plan

december 01, 2025

scale:

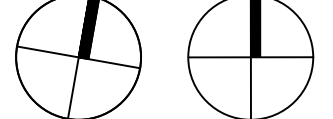
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project:

13-12

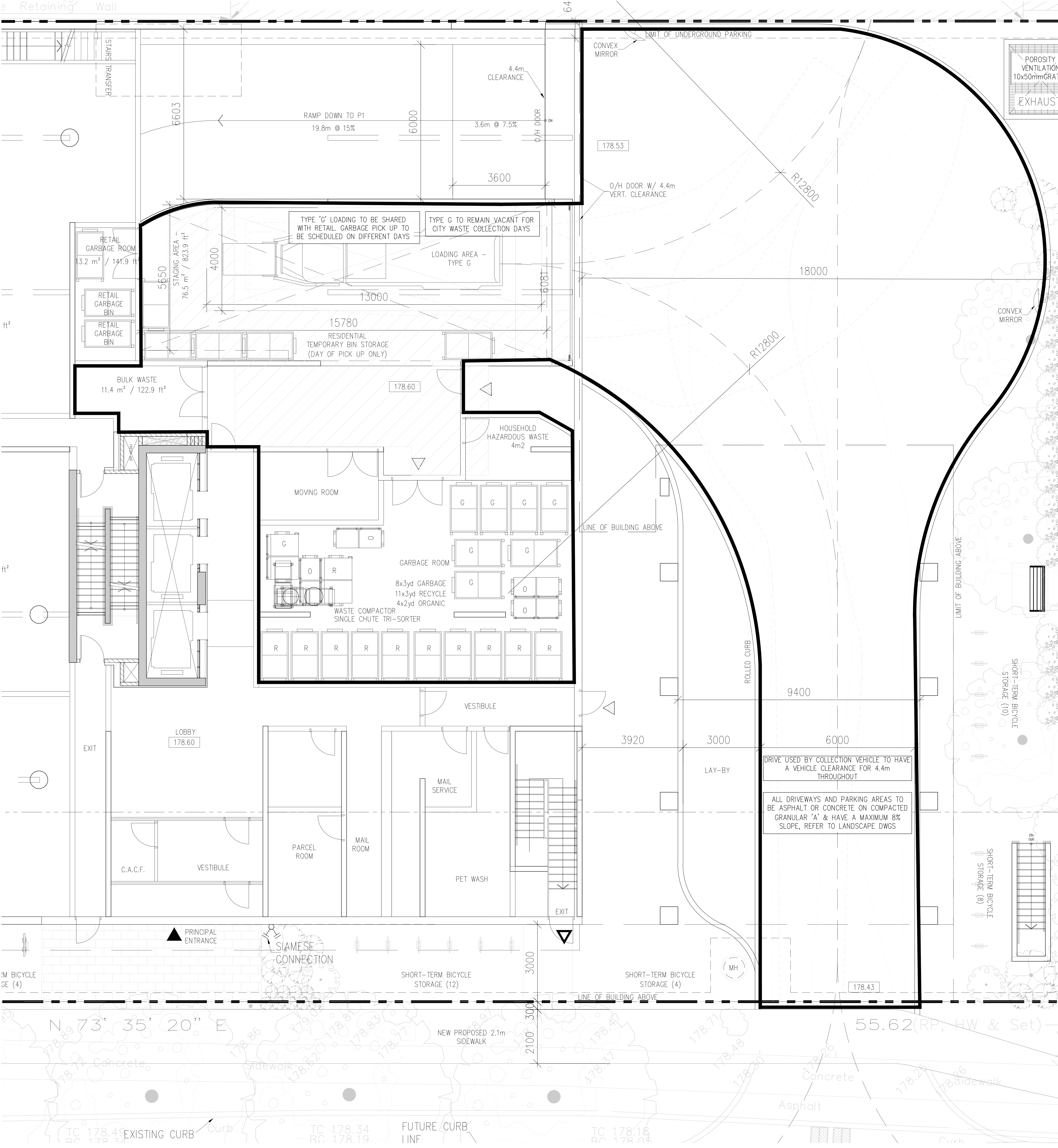
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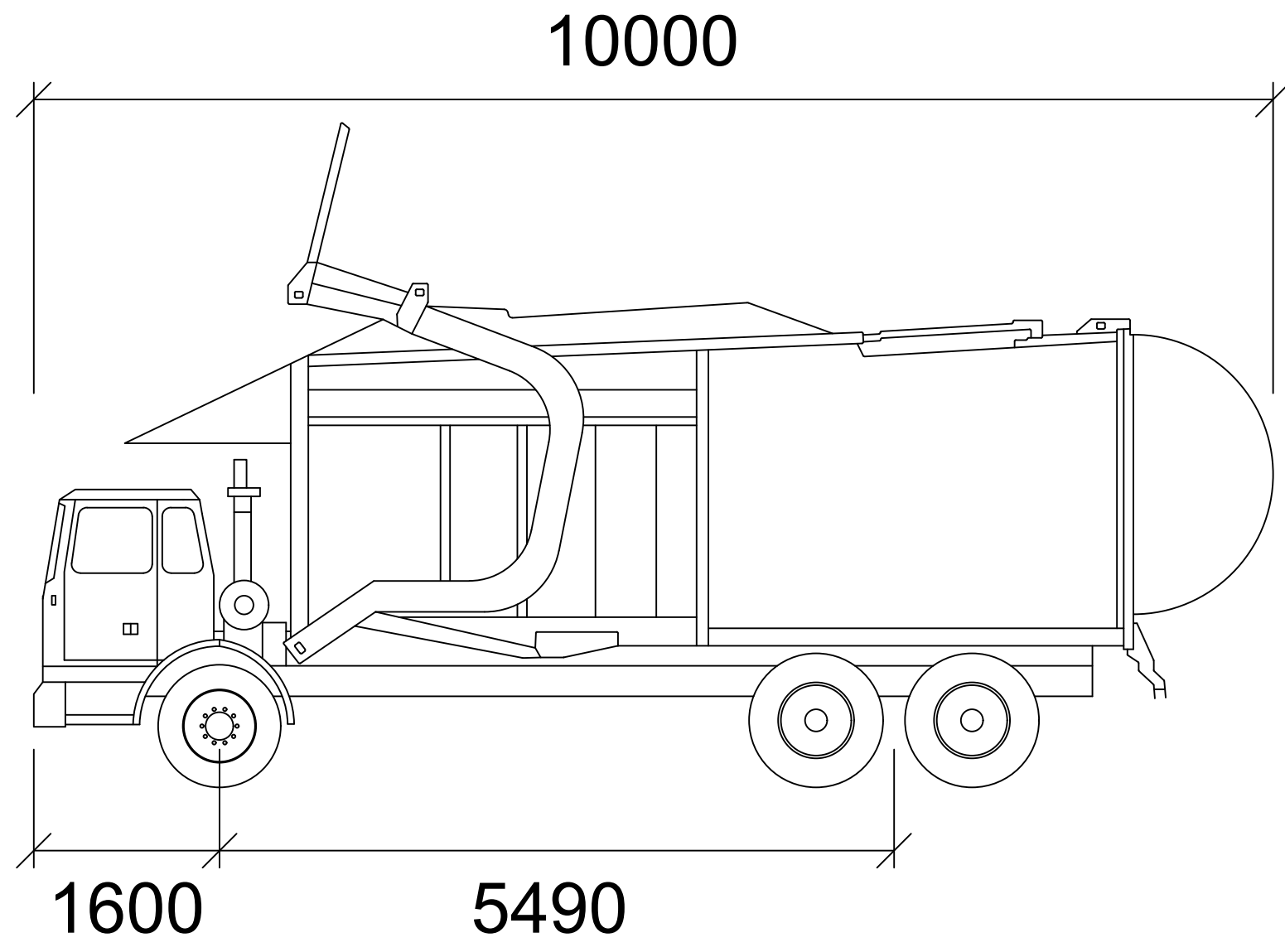
drawing number:

A201



Garbage Management Plan

- The waste collection area is located at the North West side of the courtyard next to the entrance to the garage. A garbage truck will enter the site from the south entrance at Clover Rd. and drive straight north and turn west in the courtyard towards collection area.
- Refuse bins are to be moved to garbage staging area on pick-up days only. They are transferred to & from refuse room by trained staff/flag person. Property management staff will be responsible for jockeying bins.
- A garbage chute room is provided on each residential floor in each building. The chute ends at a tri-sorter; each resident will be required to select the ultimate destination of the waste at each chute door.
- Garbage/recycling is collected in garbage rooms. Refuse bins are to be moved to garbage staging area on pick-up days only, & transferred to & from refuse room by trained staff/flag person (see A301, A301a. for the garbage staging area).
- LOADING SPACE WILL BE SHARED WITH RETAIL GARBAGE COLLECTION
- COMMERCIAL CARTS WILL BE LABELED "RETAIL WASTE ONLY"
- The garbage bins shown 8-3yard bin
- The recycling bins shown 11-3yard bin
- The organic bins shown 4-2yard bin
- Internal roadways must be constructed of a hard surface material, such as asphalt, concrete or lockstone, and designed to support a minimum of 35 tonnes, the weight of a fully loaded waste collection vehicle.
- ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE WILL HAVE MAXIMUM GRADIENT OF 8%, HAVE A MINIMUM VERTICAL CLEARANCE OF 4.4 METRES THROUGHOUT
- TYPE "G" LOADING SPACE (13m x 4m- 6.1m CLEARANCE) WILL ONLY BE SCHEDULED FOR DAYS WHERE CITY WASTE COLLECTION DOES NOT TAKE PLACE
- TYPE G & STANDING PAD CONSTRUCTED OF 200mm REINFORCED CONCRETE, SLOPING TO A MAX OF 2% & min. 6.1m CLEAR HEIGHT
- A WARNING SYSTEM TO BE PROVIDED TO CAUTION MOTORISTS LEAVING THE PARKING GARAGE OF HEAVY VEHICLES WHEN LOADING OPERATIONS ARE OCCURRING. THIS WARNING SYSTEM SHOULD INCLUDE BOTH LIGHTS AND SIGNS TO BE
- A COLLECTION VEHICLE MOVEMENT DIAGRAM THAT HAS A LENGTH OF 12 METRES AND A WIDTH OF 2.4 METRES WITH A MINIMUM INSIDE/OUTSIDE TURNING RADII OF 9.5 METRES AND 14 METRES RESPECTIVELY, WHEN ENTERING, EXITING, TRAVELING THROUGHOUT THE SITE AND ENTERING/EXITING THE TYPE G LOADING SPACE.
- BULKY WASTE STORAGE ROOM (MIN.10m2) & HAZARDOUS AND SPECIAL PRODUCT HSP/HHW STORAGE (MIN. 4m2) BOTH ON LOCATED ON GROUND LEVEL.
- ENTRANCE OF THE LOADING AREA SHOULD HAVE FLASHING FLIGHTS AND SIGN THAT READS "WATCH FOR TRUCKS IN LOADING AREA WHEN FLASHING". LIGHTS TO BE TRIGGERED BY SENSOR.
- RESIDENTIAL AND NON-RESIDENTIAL MUNICIPAL WASTE COLLECTION WILL BE SCHEDULED WILL BE COORDINATED TO AVOID ANY CONFLICT. FINAL TIMING WILL BE DETERMINED BY BUILDING MANAGEMENT UPON CONFIRMATION OF THE MUNICIPAL WASTE COLLECTION SCHEDULE



Garbage TO2 R

	mm
Width	: 2400
Track	: 2400
Lock to Lock Time	: 6.0
Steering Angle	: 27.2

The drawings on this property of Architect are intended to be used for the purpose of providing information only and are not intended to be used for any other purpose. The drawings are not to be used for any other purpose without the prior written permission of the Architect.

These drawings are not to be used for construction. Contractors to verify all existing conditions and dimensions required to permit the work and report any discrepancies with the Contract Documents to the Architect before commencing work.

Nothing is shown or indicated on these drawings that is not shown on the architectural drawings given over the mechanical and electrical drawings. These drawings are not to be used for construction unless noted below as "As Shown on Contract Documents".

At work to be carried out in accordance with the Code and beyond of the architect's responsibility.

The Designer of these plans and specifications gives no warranty or representation to any party about the correctness of the information or the construction or subcontractors must take full responsibility when bidding and all lines that they can properly control the work represented by these plans.

notes:
Without Prejudice

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revisions: dd-mm-yy

architectural team :
mark zwicker
rushed dastoor

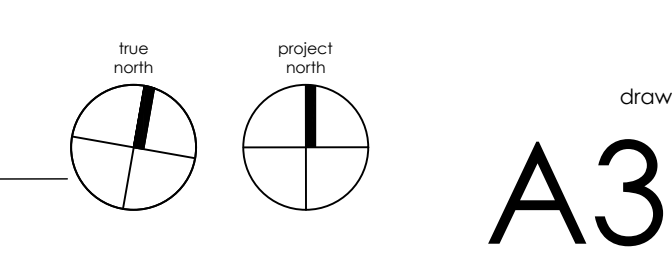
interior design:
planning:
Subject Planning Inc.
structural:
electrical:
mechanical:
landscape:
Cresler & Associates Inc.
site services:
Cresler & Associates Inc.
owner:
Pauline Centre Corp

project:
3019 Dufferin St.
toronto, ontario

waste management

december 01, 2025
1:50
13-12
rd

date:
scale:
project:
drawn by:



DE

folded

un

arc



mark zwicker
rushad dastoor

planning:
Sajecki Planning Inc.
structural:

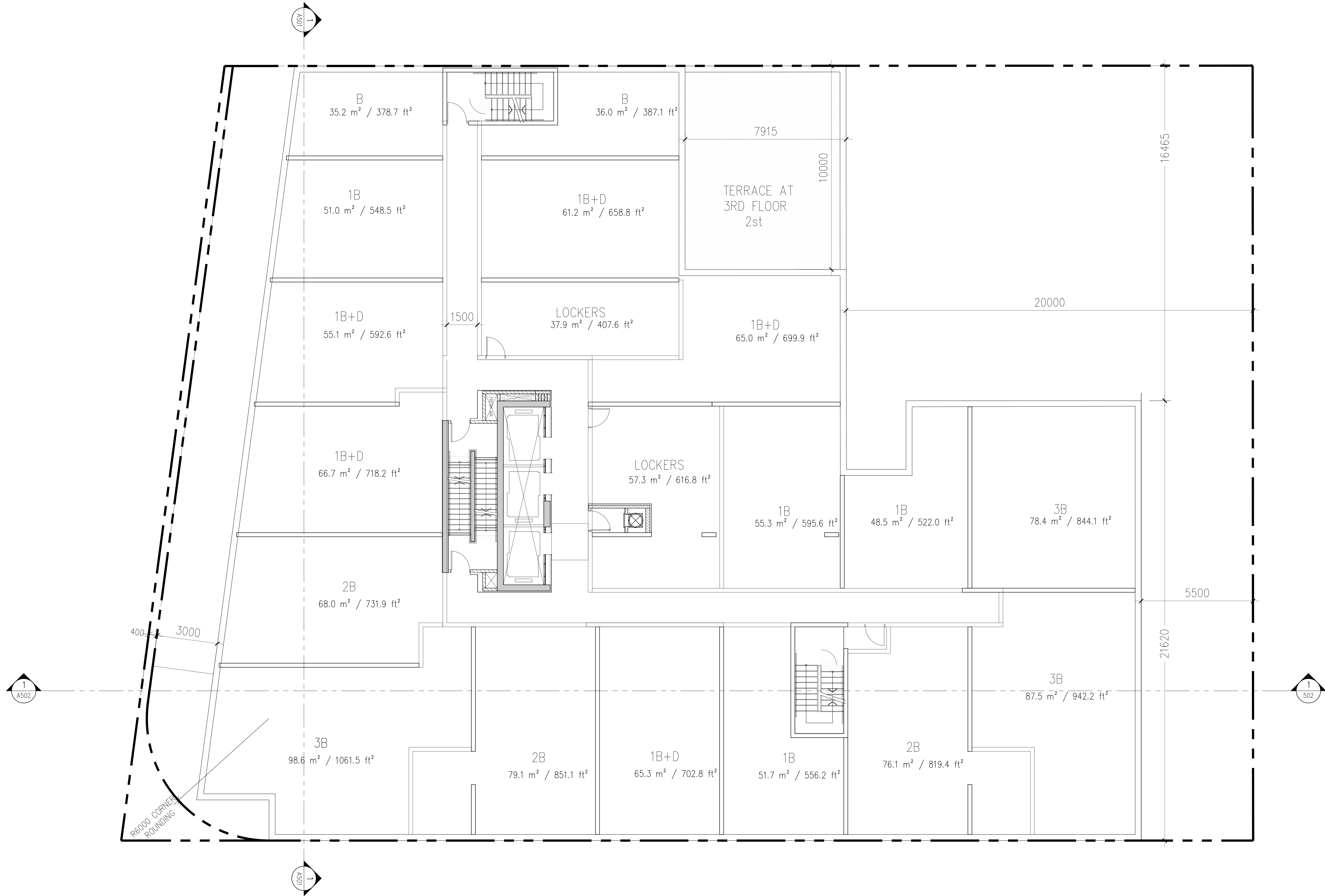
medicinal

site services:

project:

13-12
rd

drawing number:
A302



The drawings are the property of Architect and are intended for use by the Architect only. The drawings are not to be used for any other purpose without the written permission of the Architect.

These drawings are the property of the Architect. The Architect does not accept any responsibility for the use of these drawings for any purpose other than that for which they were prepared. The Architect does not accept any responsibility for the use of these drawings for any purpose other than that for which they were prepared.

Drawings are not to be scaled for construction. Contractors to verify all existing conditions and dimensions required to prepare the work and report any discrepancies with the Contract Documents to the Architect before commencing work.

Portions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on these drawings. The location shown on the architectural drawings governs over the mechanical and electrical drawings. These items not shown located will be located as directed by the architect.

These drawings are not to be used for construction unless noted below as "Issued for Construction".

All work to be carried out in accordance with the Code and below of the applicable building jurisdiction.

The Designer of these plans and specifications gives no warranty or representation to any party about the completeness of the representation of them all construction or subcontractors must verify dimensions when bidding and all lines that they can properly construct the work represented by these plans.

notes:
Without Prejudice

6 issued after mediation - rev1 01-12-25
6 issued after mediation 21-11-25
5 issued during mediation 13-11-25
4 issued for OLT 02-07-25
3 issued for OLT 12-03-25
2 issued for ZBA 02-10-24
1 issued 14-02-24

revisions: dd-mm-yy

architectural team :
mark zwicker
rushad dasroo

interior design:
planning:
Sajee Planning Inc.
structural:
electrical:
mechanical:
landscape:
Cresler & Associates Inc.
site services:
Cresler & Associates Inc.
owner:
Pauline Centre Corp

project:
3019 Dufferin St.
toronto, ontario

3rd to 4th floor plan

december 01, 2025
1:75
13-12
rd

date:
scale:
project:
drawn by:

drawing number:
A303



The drawings are the property of Architect's Inc. The drawings and all associated documents are the property of Architect's Inc. The drawings are not to be used for any other purpose without the written permission of Architect's Inc. The drawings are not to be used for any other purpose without the written permission of Architect's Inc.

These Contract Documents are the property of the architect. The architect does not accept responsibility for the interpretation of these documents for the contractor. Upon written notification, the architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The architect's responsibility is to provide the contractor with the information necessary to complete the project in accordance with the Contract Documents.

Drawings are not to be scaled for construction. Contractors to verify all existing conditions and dimensions required to prepare the work and report any discrepancies with the Contract Documents to the architect before commencing work.

Portions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on these drawings. The location shown on the architectural drawings governs over the mechanical and electrical drawings. These items are to be located as directed by the architect.

These drawings are not to be used for construction unless noted below as "Issued for Construction".

All work to be carried out in accordance with the Code and below of the authority having jurisdiction.

The Designer of these plans and specifications gives no warranty or representation to any party about the completeness of the information from all construction or subcontractors must verify dimensions when bidding and all lines that they can properly construct the work represented by these plans.

notes:
Without Prejudice

6 issued after mediation - rev1 01-12-25
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5 issued during mediation 13-11-25
4 issued for OLT 02-07-25
3 issued for OLT 12-03-25
2 issued for ZBA 02-10-24
1 issued 14-02-24

revisions: dd-mm-yy

architectural team :
mark zwicker
rushad dastoor

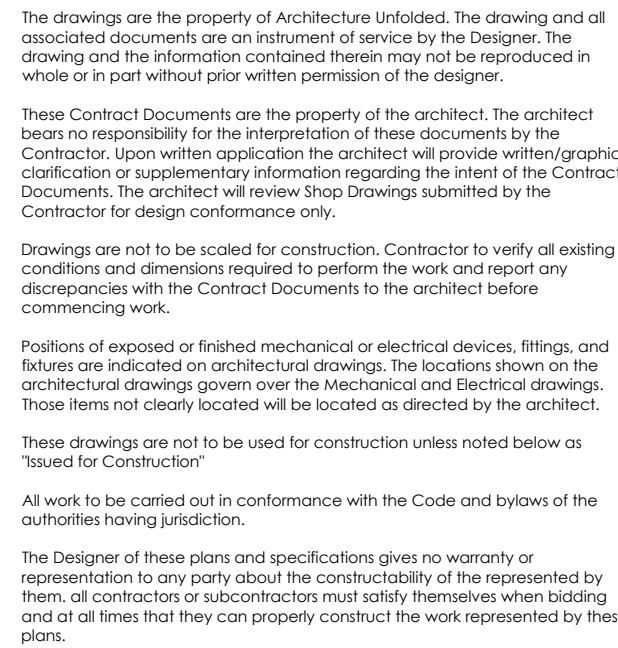
interior design:
planning:
Sajacki Planning Inc.
structural:
electrical:
mechanical:
landscape:
Cresler & Associates Inc.
site services:
Cresler & Associates Inc.
owner:
Pauline Centre Corp

project:
3019 Dufferin St.
toronto, ontario

5th floor plan

date:
1:50
13-12
project:
drawn by:

drawing number:
A304



architectureunfolded
info@unfolded.ca

368 dufferin street, toronto, on, M6K 1Z8

architectural team :
mark zwicker
rushad dastoor



interior design

Sajecki Planning Inc.
structural

electricol:

mechanical

landscape:
Crider & Associates Inc.

Crozier & Associates Inc.

owner:
Pauline Centre Corp

project:
3019 Dufferin St.
toronto, ontario

december 01,2025
1:50
13-12
rd

drawing number:

A305



The drawings are the property of Architect and are intended for the use of the client. The drawings are not to be used for any other purpose without the written permission of the Architect.

These drawings are the property of the Architect. The Architect does not accept any responsibility for the use of these drawings for any purpose other than that for which they were prepared. The Architect does not accept any responsibility for the use of these drawings for any purpose other than that for which they were prepared.

Drawings are not to be used for construction. Contractors to verify all existing conditions and dimensions before commencing work. The Architect does not accept any responsibility for the use of these drawings for any purpose other than that for which they were prepared.

Pattern of exposed or finished mechanical or electrical devices, fittings, and fixtures is indicated on the drawings. The location shown on the architectural drawings governs over the mechanical and electrical drawings. These items are not to be used for construction unless noted below as "subject to construction".

These drawings are not to be used for construction unless noted below as "subject to construction".

At work to be carried out in accordance with the Code and below of the architect's responsibility.

The Designer of these plans and specifications does not warrant or represent to any party about the correctness of the information or data contained in these plans and specifications. The Designer does not warrant or represent to any party about the correctness of the information or data contained in these plans and specifications.

notes:
Without Prejudice

6 issued after mediation - rev1	01-12-25
5 issued after mediation	21-11-25
4 issued during mediation	13-11-25
4 issued for OLT	02-07-25
3 issued for OLT	12-03-25
2 issued for ZBA	02-10-24
1 issued	14-02-24
revisions:	dd-mm-yy

architectural team :
mark zwicker
rushad dasfoor



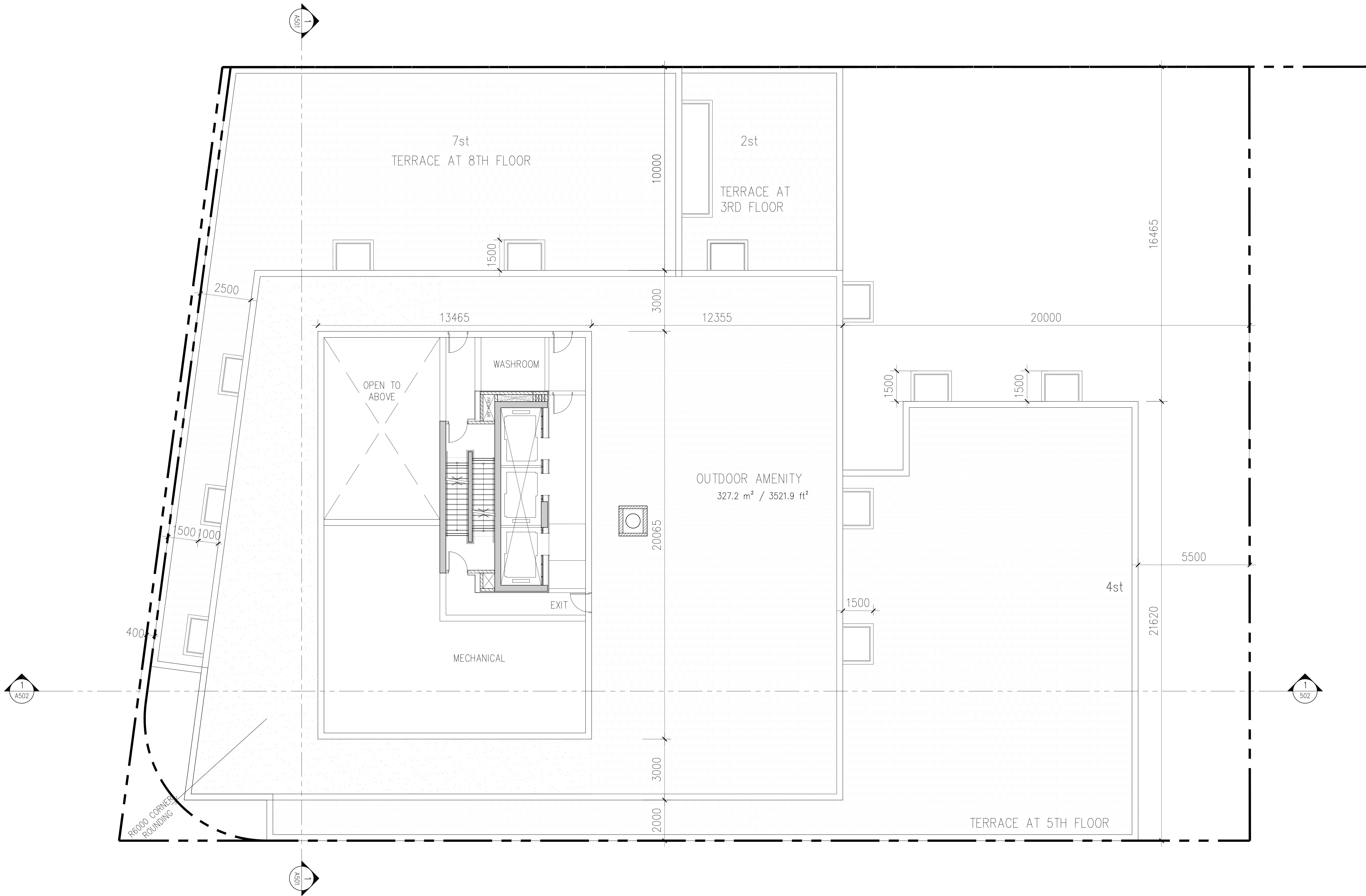
interior design:
planning:
Sajedi Planning Inc.
structural:
electrical:
mechanical:
landscape:
Cresler & Associates Inc.
site services:
Cresler & Associates Inc.
owner:
Pauline Centre Corp

project:
3019 Dufferin St.
toronto, ontario

10th-33rd floor plan

date:
1:50
13-12
project:
drawn by:

drawing number:
A307



The drawings are the property of Architect's Office. The drawings and all associated documents are the property of Architect's Office. The drawings are not to be used for any other purpose without the written permission of Architect's Office. The drawings are not to be used for any other purpose without the written permission of Architect's Office.

These Contract Documents are the property of the architect. The architect does not accept responsibility for the interpretation of these documents for the construction of any building. The architect does not accept responsibility for the construction of any building. The architect does not accept responsibility for the construction of any building.

Drawings are not to be used for construction. Contractors to verify all existing conditions and dimensions required to prepare the work and report any discrepancies with the Contract Documents to the architect before commencing work.

Portions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on these drawings. The location shown on the architectural drawings governs over the mechanical and electrical drawings. These items are not to be used for construction unless noted below as "as shown on construction".

These drawings are not to be used for construction unless noted below as "as shown on construction".

At work to be carried out in accordance with the Code and below of the architect's responsibility.

The Designer of these plans and specifications does not warrant or represent to any party about the construction of the project. The Designer of these plans and specifications does not warrant or represent to any party about the construction of the project. The Designer of these plans and specifications does not warrant or represent to any party about the construction of the project.

notes:
Without Prejudice

6 issued after mediation - rev1 01-12-25
6 issued after mediation 21-11-25
5 issued during mediation 13-11-25
4 issued for OLT 02-07-25
3 issued for OLT 12-03-25
2 issued for ZBA 02-10-24
1 issued 14-02-24

revisions: dd-mm-yy

architectural team :
mark zwicker
rushad dasfior

planning:
Sajedi Planning Inc.

structural:
Sajedi Planning Inc.

electrical:
Sajedi Planning Inc.

mechanical:
Sajedi Planning Inc.

landscape:
Cresler & Associates Inc.

site services:
Cresler & Associates Inc.

owner:
Pauline Centre Corp

project:
3019 Dufferin St.
toronto, ontario

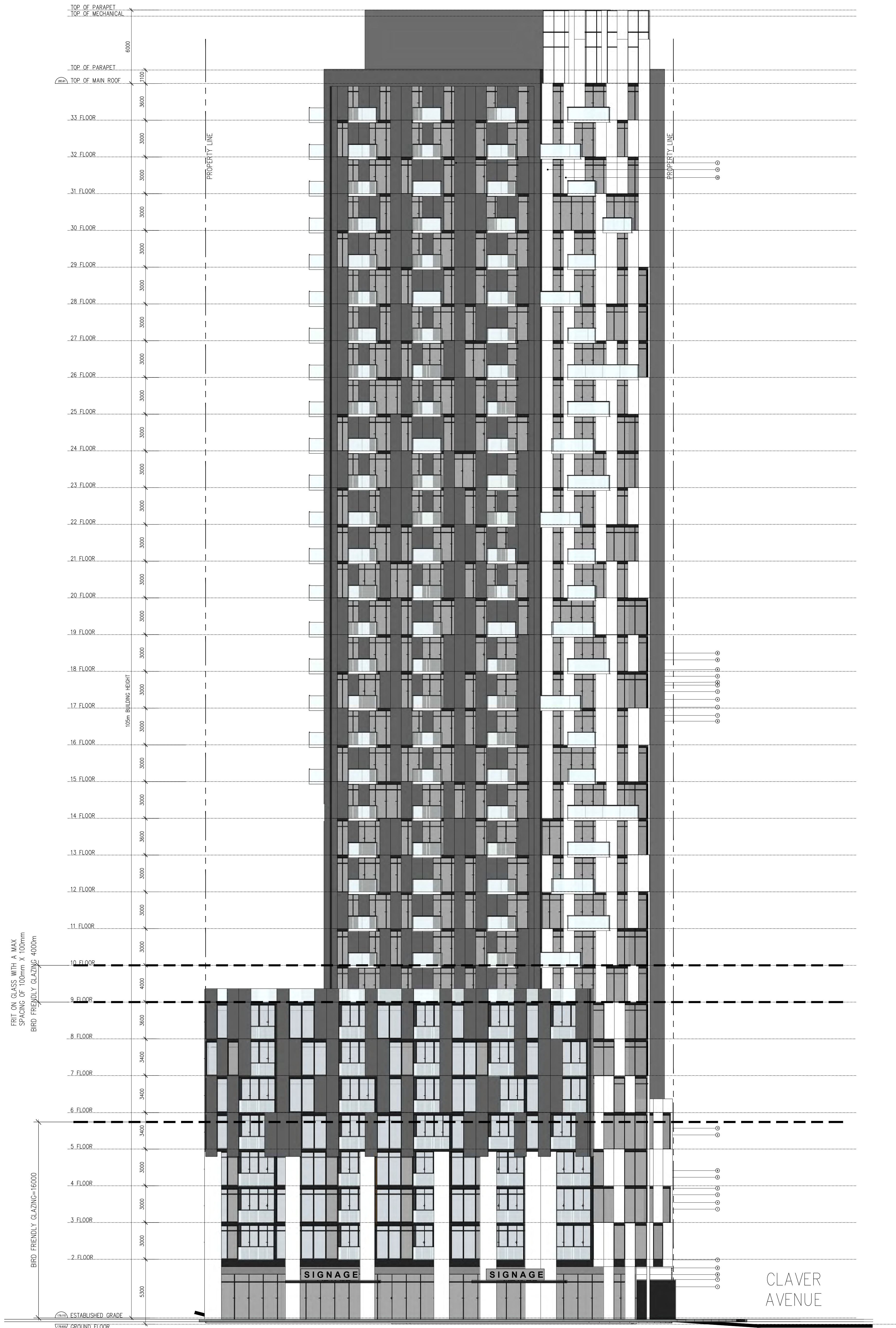
mech. floor plan

december 01, 2025
1:50
13-12
rd

date:
scale:
project:
drawn by:

drawing number:
A308

WEST ELEVATION - EXTERIOR GLAZED AREA (EGA) BREAKDOWN (refer to drawing A400s)			
16m ABOVE GRADE EGA	=	315.6 m2	
4m ABOVE TERRACES EGA	=	54.8 m2	
TOTAL EXTERIOR GLAZED AREA (EGA)	=	370.4 m2	
STRATEGIES	AREA(m2)	%	APPLICATION
LOW REFLECTANCE	0.0	0.0%	LOW REFLECTANCE (<15%) SPANDREL GLASS
OPAQUE MATERIALS			VENT. GRATES < 2cm x 2cm
VISUAL MARKERS WITH A MAX SPACING OF 100mm X 100mm	370.4	100.0%	FRIT ON GLASS WITH A MAX SPACING OF 50mm X 50mm
BUILDING INTEGRATED STRUCTURES TO MUTE REFLECTIONS ON GLASS	0.0	0.0%	BALCONY OVERHANGS (ASSUMING 1:1 RATIO OF TREATMENT BELOW A
TOTAL TREATED AREA	370.4	100.0%	COMBINED STRATEGIES
VISION GLAZING	0.0	0.0%	



WEST ELEVATION

The drawings are the property of Architect and are to be used for the purpose of the design only. The drawings are not to be used for construction without the written permission of the Architect.

These Contract Documents are the property of the Architect. The Architect does not accept responsibility for the interpretation of these documents for the Contractor. Upon written notification the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents. The Architect will not be responsible for the Contractor's interpretation of these documents.

Drawings are not to be scaled for construction. Contractors to verify all existing conditions and elements required to prepare the work and report any discrepancies with the Contract Documents to the Architect before commencing work.

Portions of exposed or finished mechanical or electrical devices, fittings, and piping are indicated on this drawing. The location shown on the architectural drawings governs over the mechanical and electrical drawings. These items are to be located as directed by the Architect.

These drawings are not to be used for construction unless noted below as "Issued for Construction".

All work to be carried out in accordance with the Code and below of the authority having jurisdiction.

The Designer of these plans and specifications gives no warranty or representation to any party about the completeness of the representation by them of construction or subcontractors must satisfy themselves when bidding and prior to their final that they can properly construct the work represented by these plans.

notes:
Without Prejudice

MATERIALS LEGEND

- 1 PRECAST PANEL - WHITE COLOR
- 2 PRECAST PANEL - CHARCOAL COLOR
- 3 MULLION - CHARCOAL GRAY
- 4 CLEAR VISION GLASS
- 5 BALCONY GLASS
- 6 ALUMINUM RAILING
- 7 PRECAST PANEL - DARK GREY COLOR
- 8 PRECAST PANEL - MEDIUM GREY COLOR
- 9 PRECAST PANEL - LIGHT GREY COLOR
- 10 PRECAST PANEL - WHITE COLOR
- 11 SPANDREL PANEL
- 12 METAL PANEL - DARK GREY

6 issued after mediation - rev1 01-12-25
6 issued after mediation 21-11-25
5 issued during mediation 13-11-25
4 issued for OLT 02-07-25
3 issued for OLT 12-03-25
2 issued for ZBA 02-10-24
1 issued 14-02-24

revisions: dd-mm-yy

architectural team :
mark zwicker
rushad dasfoor

interior design:

planning:
Sajacki Planning Inc.
structural:

electrical:

mechanical:

landscape:

Craster & Associates Inc.

site services:

Craster & Associates Inc.

owner:

Pauline Centre Corp

project:

3019 Dufferin St.

Toronto, Ontario

west elevation

december 01, 2025

1:100

13-12

rd

drawing number:

A401

scale:

project:

drawn by:

date:

scale:

project:

drawn by:

date:

scale:

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SOUTH ELEVATION

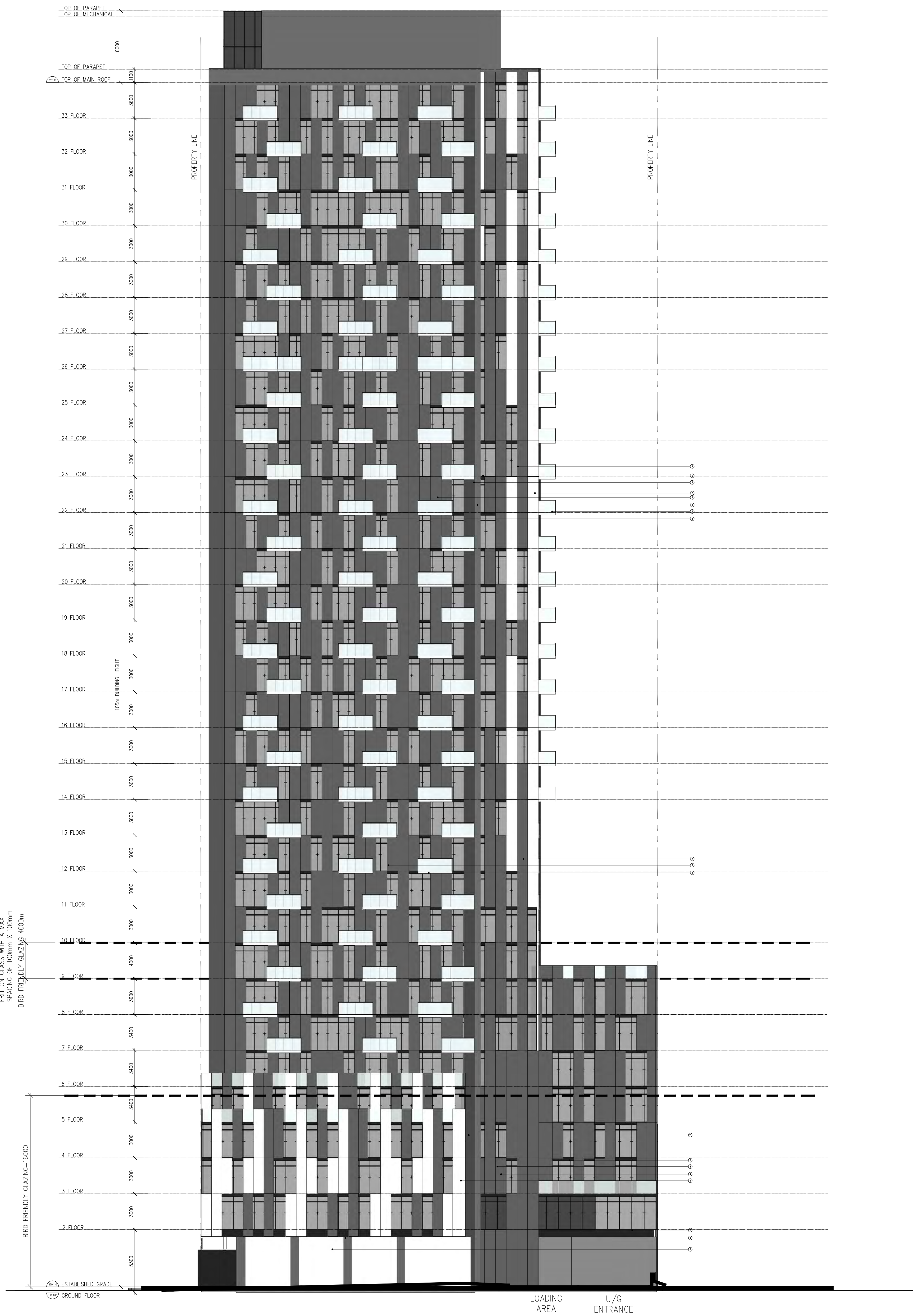
SOUTH ELEVATION

348 dufferin street, toronto, on. M6K 1Z8
tel: (416) 601-5416

NORTH ELEVATION

true north project north

 drawing number
A403

EAST ELEVATION - EXTERIOR GLAZED AREA (EGA) BREAKDOWN (refer to drawing A400s)			
16m ABOVE GRADE EGA	=	162.8 m2	
4m ABOVE TERRACES EGA	=	29.0 m2	
TOTAL EXTERIOR GLAZED AREA (EGA)	=	191.8 m2	
STRATEGIES	AREA(m2)	%	APPLICATION
LOW REFLECTANCE	0.0	0.0%	LOW REFLECTANCE (<15%) SPANDREL GLASS
OPAQUE MATERIALS			VENT. GRATES <20m x 2cm
VISUAL MARKERS WITH A MAX SPACING OF 100mm X 100mm	191.8	100.0%	FRIT ON GLASS WITH A MAX SPACING OF 50mm X 50mm
BUILDING INTEGRATED STRUCTURES TO MUTE REFLECTIONS ON GLASS	0.0	0.0%	BALCONY OVERHANGS (ASSUMING 1:1 RATIO OF TREATMENT BELOW A
TOTAL TREATED AREA	191.8	100.0%	COMBINED STRATEGIES
VISION GLAZING	0.0	0.0%	



EAST ELEVATION

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notes:
Without Prejudice

MATERIALS LEGEND

- 1 PRECAST PANEL - WHITE COLOR
- 2 PRECAST PANEL - CHARCOAL COLOR
- 3 MULLION - CHARCOAL GRAY
- 4 CLEAR VISION GLASS
- 5 BALCONY GLASS
- 6 ALUMINUM RAILING
- 7 PRECAST PANEL - DARK GREY COLOR
- 8 PRECAST PANEL - MEDIUM GREY COLOR
- 9 PRECAST PANEL - LIGHT GREY COLOR
- 10 PRECAST PANEL - WHITE COLOR
- 11 SPANDREL PANEL
- 12 METAL PANEL - DARK GREY

6 issued after mediation - rev1 01-12-25
6 issued after mediation 21-11-25
5 issued during mediation 13-11-25
4 issued for OLT 02-07-25
3 issued for OLT 12-03-25
2 issued for ZBA 02-10-24
1 issued 14-02-24

revisions: dd-mm-yy

architectural team :
mark zwicker
rushad dasoof

interior design:
planning:
Sajacki Planning Inc.
structural:
electrical:
mechanical:
landscape:
Cresler & Associates Inc.
site services:
Cresler & Associates Inc.
owner:
Pauline Centre Corp

project:
3019 Dufferin St.
toronto, ontario

east elevation

december 01, 2025
1:100
13-12
rd

date:
scale:
project:
drawn by:
drawing number:
A404

FRIT ON GLASS WITH A MAX
SPACING OF 100mm X 100mm
BIRD FRIENDLY GLAZING 4000m

BIRD FRIENDLY GLAZING=16000

14 FLOOR

3600

13 FLOOR

3000

12 FLOOR

3000

11 FLOOR

3000

10 FLOOR

4000

9 FLOOR

3600

8 FLOOR

3400

7 FLOOR

3400

6 FLOOR

3400

5 FLOOR

3000

4 FLOOR

3000

3 FLOOR

3000

2 FLOOR

5300

SIGNAGE

SIGNAGE

The drawings are the property of Architect and are intended for the use of the Architect only. The drawings are not to be used for any other purpose without the written permission of the Architect.

These drawings are the property of the Architect. The Architect does not accept responsibility for the design of these drawings for the construction of the building. The Architect is not responsible for the design of the building. The Architect is not responsible for the design of the building. The Architect is not responsible for the design of the building.

Drawings are not to be scaled for construction. Contractors to verify all existing conditions and dimensions before construction. The Architect is not responsible for the design of the building. The Architect is not responsible for the design of the building. The Architect is not responsible for the design of the building.

Pattern of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on these drawings. The location shown on the architectural drawings govern over the mechanical and electrical drawings. These items and details located on the drawings as directed by the architect.

These drawings are not to be used for construction unless noted below as "Issued for Construction".

All work to be carried out in accordance with the Code and beyond of the architect's responsibility.

The Designer of these plans and specifications does not warrant or represent that in any part of the construction of the building that the construction or subcontractors must follow the drawings when building and all items that they can properly construct the work represented by these plans.

notes:
Without Prejudice

MATERIALS LEGEND

- 1 PRECAST PANEL - WHITE COLOR
- 2 PRECAST PANEL - CHARCOAL COLOR
- 3 MULLION - CHARCOAL GRAY
- 4 CLEAR VISION GLASS
- 5 BALCONY GLASS
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4 issued for OLT 02-07-25
3 issued for OLT 12-03-25
2 issued for ZBA 02-10-24
1 issued 14-02-24

revisions: dd-mm-yy

architectural team :
mark zwicker
rushad dastoor

interior design:

planning:
Sajad Planning Inc.

structural:

electrical:

mechanical:

landscape:
Cresler & Associates Inc.

the architect:
Cresler & Associates Inc.

owner:
Pauline Centre Corp

project:
3019 Dufferin St.
toronto, ontario

west detail

south elevation

date: december 01, 2025

scale: 1: 50

project: 13-12

drawn by: rd

drawing number: A405

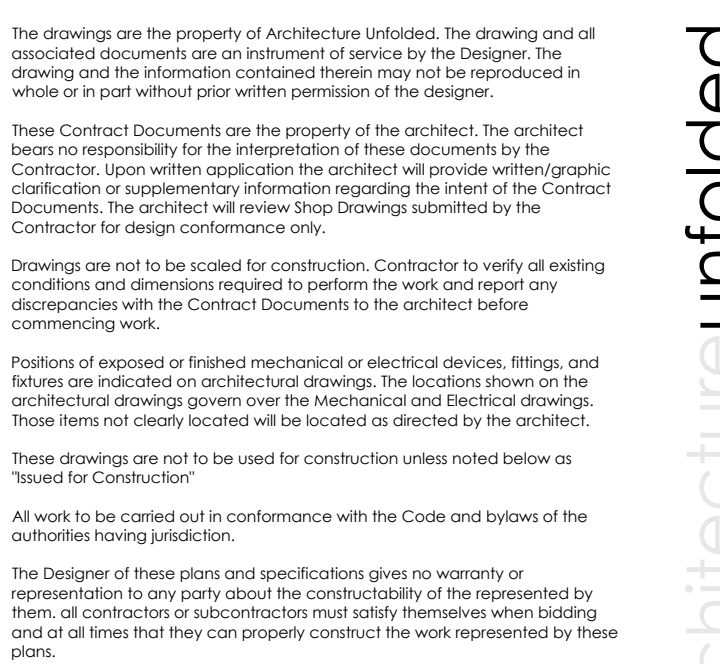
179,110

ESTABLISHED GRADE

179,110

179,110

179,110



6 issued after mediation - revl	01-12-25
6 issued after mediation	21-11-25
5 issued during mediation	13-11-25
4 issued for OLT	02-07-25
3 issued for OLT	12-03-25
2 issued for ZBA	02-10-24
1 issued	14-02-24
revisions:	dd-mm-yy

interior design:

planning:
Sajecki Planning Inc.,


structural:

electrical:

mechanical:

landscape:
Crozier & Associates Inc
site services:
Crozier & Associates Inc
owner:
Pauline Centre Corp

section


 drawing number
A502