

530-550 Yonge Street, 6-8 Breadalbane Street and 145 St. Luke Lane - Alterations, Demolition and New Construction of Buildings on a Designated Heritage Property under Section 42 of the Ontario Heritage Act and Authority to Enter into a Heritage Easement Agreement

Date: October 28, 2025

To: Toronto Preservation Board

Toronto and East York Community Council

From: Senior Manager, Heritage Planning, Urban Design, City Planning

Wards: Toronto-Centre - Ward 13

SUMMARY

This report recommends that City Council approve an application under Section 42 of the Ontario Heritage Act to alter a designated heritage property at 530-550 Yonge Street, 6-8 Breadalbane Street and 145 St. Luke Lane, in connection with a Zoning By-law amendment application on the subject property, and that Council grant authority to enter into a Heritage Easement Agreement.

The proposed development includes minor alterations of the principal east facade of 538 Yonge Street and in-situ retention of 544 Yonge Street and 546-550 Yonge Street, to be incorporated into the two-storey podium of a 67-storey mixed-use building. The south façade of the existing two-storey commercial building at 530-536 Yonge Street and 6-8 Breadalbane Street will be partially retained and incorporated into a new corner building with retail storefronts on the ground floor. The remainder of the existing building will be demolished. 145 St. Luke Lane is also proposed to be demolished as part of this proposal. A Privately-Owned Publicly Accessible Space (POPS) fronting on St. Luke Lane will replace the western portion of the existing building. A Heritage Impact Assessment prepared by ERA Architects Inc., dated January 2, 2025, was submitted to support the development application and revised July 17, 2025, and October 21, 2025.

Through revisions to the application, Heritage Planning staff are satisfied that the proposal conserves the designated heritage property and is consistent with the policy framework. The heritage impacts of the development proposal are appropriately mitigated through the overall conservation strategy of the retained buildings and design of the replacement buildings.

RECOMMENDATIONS

The Senior Manager, Heritage Planning, Urban Design, City Planning recommends that:

1. City Council approve:

a. the alterations to the designated heritage properties at 530-550 Yonge Street, 6-8 Breadalbane Street and 145 St. Luke Lane under Section 42 of the Ontario Heritage Act to allow for the construction of a 67-storey mixed-use building, with such alterations to the designated heritage properties being substantially in accordance with the plans and drawings prepared by Giannone Petricone Associated Inc. Architects, dated September 30, 2025 and the Heritage Impact Assessment prepared by ERA Architects Inc., dated January 2, 2025, and revised July 17, 2025 and October 21, 2025, on file with the Senior Manager, Heritage Planning, all subject to and in accordance with an approved Conservation Plan and drawings satisfactory to the Senior Manager, Heritage Planning and subject to conditions as set out below; and

b. the demolition of heritage attributes of the existing designated heritage property at 530-536 Yonge Street and 145 St. Luke Lane in accordance with Section 42 of the Ontario Heritage Act to allow for the construction of a 67-storey mixed-use building substantially in accordance with the plans and drawings prepared by Giannone Petricone Associated Inc. Architects, dated September 30, 2025 and the Heritage Impact Assessment prepared by ERA Architects Inc., dated January 2, 2025, and revised July 17, 2025 and October 21, 2025, on file with the Senior Manager, Heritage Planning, all subject to and in accordance with an approved Conservation Plan and drawings satisfactory to the Senior Manager, Heritage Planning and subject to conditions as set out below.

2. City Council direct that its consent to the application to alter the designated heritage property at 530-550 Yonge Street, 6-8 Breadalbane Street and 145 St. Luke Lane, in accordance with Section 42 of the Ontario Heritage Act, and its consent to the demolition of heritage attributes at 530-536 Yonge Street and 145 St. Luke Lane, under Section 42 of the Ontario Heritage Act are also subject to the following conditions:

a. the related Zoning By-law Amendment requiring the proposed alterations have been enacted by the City Council and have come into full force and effect;

b. prior to the introduction of the Zoning By-law Amendment bill to City Council, the owner shall:

1. provide a detailed Conservation Plan, prepared by a qualified heritage consultant that is consistent with the conservation strategy set out in the Heritage Impact Assessment for 530-550 Yonge Street, 6-8 Breadalbane Street and 145 St. Luke Lane, prepared by ERA Architects Inc., dated January 2, 2025, and revised July 17, 2025 and October 21, 2025, to the satisfaction of the Senior Manager, Heritage Planning;

2. enter into a Heritage Easement Agreement with the City for the property at 530-550 Yonge Street, 6-8 Breadalbane Street and 145 St. Luke Lane substantially in accordance with the plans and drawings prepared by Giannone Petricone Associated Inc. Architects, dated September 30, 2025, and on file with the Senior Manager, Heritage Planning, and the Heritage Impact Assessment prepared by ERA Architects Inc., dated January 2, 2025, and revised July 17, 2025 and October 21, 2025 subject to and in accordance with the Conservation Plan required in Recommendation 2.b.1 above, to the satisfaction of the Senior Manager, Heritage Planning, including execution of such agreement to the satisfaction of the City Solicitor; and

c. that prior to the issuance of any permit for all or any part of the property at 530-550 Yonge Street, 6-8 Breadalbane Street and 145 St. Luke Lane, including a heritage permit or a building permit, but excluding permits for repairs and maintenance and usual and minor works for the existing heritage buildings, as are acceptable to the Senior Manager, Heritage Planning, the owner shall:

1. have entered into a Heritage Easement Agreement with the City required in Condition 2.b.2 above for the property at 530-550 Yonge Street, 6-8 Breadalbane Street and 145 St. Luke Lane including registration on title of such agreement, to the satisfaction of the City Solicitor;

2. have obtained final approval for the necessary Zoning By-law Amendment, and such Amendment has come into full force and effect;

3. provide building permit drawings, including notes and specifications for the conservation and protective measures keyed to the approved Conservation Plan required in Recommendation 2.b.1 above including a description of materials and finishes, to be prepared by the project architect and a qualified heritage consultant to the satisfaction of the Senior Manager, Heritage Planning;

4. provide a Heritage Lighting Plan that describes how the exterior of the heritage property will be sensitively illuminated to enhance their heritage character to the satisfaction of the Senior Manager, Heritage Planning and

thereafter shall implement such Plan to the satisfaction of the Senior Manager, Heritage Planning;

5. provide an Interpretation Plan for the subject property, to the satisfaction of the Senior Manager, Heritage Planning and thereafter shall implement such Plan to the satisfaction of the Senior Manager, Heritage Planning;

6. submit a Signage Plan for the subject property, to the satisfaction of the Senior Manager, Heritage Planning;

7. provide a Letter of Credit, including provision for upwards indexing, in a form and amount and from a bank satisfactory to the Senior Manager, Heritage Planning to secure all work included in the approved Conservation Plan and Interpretation Plan; and

d. that prior to the release of the Letter of Credit required in Recommendation 2.c.7 above the owner shall:

1. provide a letter of substantial completion prepared and signed by a qualified heritage consultant confirming that the required conservation work and the required interpretive work has been completed in accordance with the Conservation Plan and Interpretation Plan and that an appropriate standard of conservation has been maintained, all to the satisfaction of the Senior Manager, Heritage Planning; and

2. provide replacement Heritage Easement Agreement photographs to the satisfaction of the Senior Manager, Heritage Planning.

3. City Council authorize the City Solicitor to introduce the necessary Bill in Council authorizing the entering into of a Heritage Easement Agreement for the heritage property at 530-550 Yonge Street, 6-8 Breadalbane Street and 145 St. Luke Lane.

4. City Council authorize the City Solicitor and City staff to take all necessary actions to implement City Council's decision.

FINANCIAL IMPACT

City Planning confirms there are no financial implications resulting from the recommendations included in this report in the current budget year or in future years.

The Chief Financial Officer and Treasurer has reviewed this report and agrees with the information as presented in the Financial Impact Section.

DECISION HISTORY

On March 16, 2016, City Council adopted By-law 235-2016 to designate the Historic Yonge Street Heritage Conservation District and adopt the Yonge Street Heritage Conservation District Plan. The Historic Yonge Street Heritage Conservation District was subsequently appealed and approved by the Ontario Land Tribunal (“OLT”) on July 3, 2024. The District Plan can be found here:

https://www.toronto.ca/ext/digital_comm/pdfs/city-planning/city-planning-historic-yonge-street-hcd-plan.pdf

BACKGROUND

Heritage Property

The development site, 530-550 Yonge Street, 6-8 Breadalbane Street and 145 St. Luke Lane, is located on the northwest corner of Yonge Street and Breadalbane Street. The property contains a two-storey commercial building, 530-536 Yonge Street, (constructed in 1948) including 6-8 Breadalbane Street, which has been home to hospitality and entertainment businesses including a hotel, private clubs, restaurants, bars, and nightclubs. The site also contains a row of four 2.5 storey buildings (538-544 Yonge Street constructed in 1873), which were constructed as Yonge Street was expanding further north and establishing itself as a commercial artery through the centre of Toronto.

A row of three 3-storey buildings (546-550 Yonge Street constructed in 1889) are also currently on the site, as well as a two-storey building at the rear of the site (145 St. Luke Lane constructed in 1915). 546-550 Yonge Street were constructed at the turn of the century and feature slightly larger buildings which housed furniture stores and trade shops.

The site is designated under Part V of the Ontario Heritage Act (OHA) as part of the Historic Yonge Street Heritage Conservation District, enacted July 3, 2024, following an Ontario Land Tribunal (OLT) appeal. All properties on the site are identified as contributing buildings in the Historic Yonge Street Heritage Conservation District Plan (HCD). See Attachments 6 and 7 for Statement of Significance for the HCD and Statements of Contribution for the Site.

Adjacent Heritage Properties

The development site is considered adjacent to four properties designated under Part V of the Ontario Heritage Act, and two properties also designated under Part IV of the Act, all are located in the Historic Yonge Street HCD.

1. 526-528 Yonge Street (Designated under Part IV by by-law 85-2022, contributing property): Located on the south side of Breadalbane across from the site, a Second Empire style 2.5 storey painted brick and stone building dating to 1881.
2. 7 Breadalbane Street (Designated under Part IV by by-law 85-2022), contributing property): Located on the south side of Breadalbane across from the site, it is the coach house on the rear lot of 526-428 Yonge Street.
3. 527 Yonge Street (contributing property): Located across the street from the site, a Second Empire style 2.5 storey building dating to 1876.
4. 535 Yonge Street (contributing property): Located across the street from the site, an Italianate-style, 3-storey, brick storefront dating to 1882-1883.
5. 543 Yonge Street (non-contributing property): Located across the street from the site, a four-storey commercial building constructed c. 1976.
6. 555 Yonge Street (non-contributing property): Located across the street from the site, a 10-storey converted commercial building (now residential, formerly office) with ground-floor retail.

Development Proposal

The Zoning By-law Amendment application, as shown in the drawings prepared by Giannone Petricone Associates Inc. Architects, proposes to sympathetically alter the storefront of 538 Yonge Street and retain the principal east facades of 544 Yonge Street and 546-550 Yonge Street in-situ, to be incorporated into the two-storey podium of a 67-storey residential tower. The south façade of the existing two-storey commercial building at 530-536 Yonge Street and 6-8 Breadalbane Street will be partially retained and incorporated into a new corner building. The east portion of the existing building at 530-536 Yonge Street is proposed to be demolished. 145 St. Luke Lane is also proposed to be demolished as part of the proposal. A POPS fronting St. Luke Lane will replace the western portion of the existing building.

Heritage Planning Policy Framework

The Planning Act

The Planning Act guides development in the Province of Ontario. It states that municipalities must have regard for matters of provincial interest. Section 2(d) specifically refers to “the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest” and 2(r) “to a built form that is well designed and provides for a sense of place.”

The Provincial Planning Statement 2024 (PPS)

issued under the authority of Section 3 of the Planning Act provides policy direction on matters of provincial interest related to land use planning and development. The PPS

sets the policy foundation for regulating the development and use of land. Key objectives include:

- building strong communities
- wise use and management of resources
- protecting public health and safety

Policy 4.6.1 of the PPS directs that "Protected heritage property, which may contain built heritage resources or cultural heritage landscapes, shall be conserved."

"Conserved" is defined in the PPS as "the identification, protection, use and/or management of built heritage resources in a manner that ensures their cultural heritage value or interest is retained under the Ontario Heritage Act."

All decisions of Council in respect of the exercise of any authority that affects a planning matter shall be consistent with the PPS and shall conform with Provincial Plans. All comments, submissions or advice affecting a planning matter that are provided by Council shall also be consistent with the PPS and conform with Provincial Plans.

Provincial Plans are intended to be read in their entirety, and relevant policies are to be applied to each situation.

Toronto Official Plan

This application has been reviewed against the policies of the City of Toronto Official Plan. The Plan provides the policy framework for heritage conservation in the City.

The following Official Plan policies apply to the proposed alterations:

3.1.6.4: "Properties on the Heritage Register will be conserved and maintained consistent with the Standards and Guidelines for the Conservation of Historic Places in Canada, as revised from time to time and adopted by Council."

3.1.6.5: "Proposed alterations, development, and/or public works on or adjacent to, a property on the Heritage Register will ensure that the integrity of the heritage property's cultural heritage value and attributes will be retained, prior to work commencing on the property and to the satisfaction of the City."

3.1.6.6: "The adaptive re-use of properties on the Heritage Register is encouraged for new uses permitted in the applicable Official Plan land use designation, consistent with the "Standards and Guidelines for the Conservation of Historic Places in Canada."

3.1.6.26: "New construction on, or adjacent to, a property on the Heritage Register will be designed to conserve the cultural heritage values, attributes and character of that property and to mitigate visual and physical impact on it."

3.1.6.27: "Where it is supported by the cultural heritage values and attributes of a property on the Heritage Register, the conservation of whole or substantial portions of

buildings, structures and landscapes on those properties is desirable and encouraged. The retention of façades alone is discouraged."

3.1.6.33: " Heritage Conservation Districts should be managed and conserved by approving only those alterations, additions, new development, demolitions, removals and public works in accordance with respective Heritage Conservation District plans." The City of Toronto Official Plan can be found here:

<https://www.toronto.ca/city-government/planning-development/official-planguidelines/official-plan/>

Historic Yonge Street Heritage Conservation District

The property at 530-550 Yonge Street, 6-8 Breadalbane Street and 145 St. Luke Lane is located within the boundaries of the Historic Yonge Street Heritage Conservation District Plan, which was adopted by City Council on March 16, 2016, per By-law 235-2016. The Historic Yonge Street HCD was subsequently appealed and approved by the Ontario Land Tribunal ("OLT") on July 3, 2024. The HCD Plan works to protect the character of the District, conserve existing heritage attributes and resources, and guide future development.

The subject property is identified as 'contributing', meaning that it supports the identified significant cultural heritage value, heritage attributes and integrity of the District.

The following policies have guided the review of the subject application.

5.1.1 Additions and alterations to a contributing property may be permitted only once the cultural heritage value and heritage attributes of the District, as expressed through the property, have been documented and described, and the impact of any proposed alterations and/or additions on those values and attributes have been determined and mitigated.

5.1.2. A Heritage Impact Assessment shall be submitted to the City and shall evaluate the impact of any proposed alteration or addition on the contributing property to the satisfaction of the Chief Planner and Executive Director of City Planning.

5.1.3 Additions and alterations to a contributing property shall be based on a firm understanding of how it contributes to the cultural heritage value and heritage attributes of the District.

5.3.1 Buildings or structures that are on contributing properties shall be conserved; however, applications for the demolition of buildings or structures may be considered when:

-The heritage integrity and the cultural heritage value of a contributing property to the District for which the demolition application has been submitted has been lost, as informed by a Heritage Impact Assessment

- the loss of heritage integrity and cultural heritage value of the contributing property is not the result of demolition by neglect, deferred maintenance or purposeful damage to the property

5.8.2 Vertical additions and alterations to buildings on contributing properties in the Historic Yonge Street character sub-area with roofs sloped towards Yonge Street shall conserve the legibility and prominence of the low-scale streetwall by stepping back from the elevation of a building that is fronting the street.

(a) For contributing properties with roofs sloped towards Yonge Street, vertical additions and alterations should step back generally 10m from the property line or generally 1m behind the roof ridge-line, whichever is greater, as informed by a Heritage Impact Assessment. Mansard roofs are not considered sloped roofs for the purposes of this policy.

5.9.1 Historic storefront components in the design of additions and alterations to contributing properties shall be conserved.

5.9.2 At-grade retail spaces should be conserved where they have historically existed in the design of additions and alterations to contributing properties.

5.10.1 The building features of contributing properties located on elevations facing a street shall be conserved. These features include, but are not limited to: pilasters, decorated panels, columns, entablatures, corbelling, and decorative brickwork.

5.11.2 Alterations to contributing properties shall conserve historic windows and window openings.

5.11.4 As the opportunity arises, historic window openings of contributing properties should be restored where they have been lost. Restoration should be based on historic research and documentation.

5.11.5 When the replacement of historic windows on a contributing property is necessary, replacements shall be in-kind, maintaining the form, appearance, materials, functionality, glazing patterns, and details of the original windows.

5.11.6 When the replacement of non-historic windows on a contributing property is necessary, replacements shall be designed to be physically and visually compatible with the contributing property and the District's heritage attributes.

5.13.1 The profile and design of historic roofs shall be conserved when designing additions and alterations to contributing properties.

Standards and Guidelines for Conservation of Historic Places in Canada

The Standards and Guidelines for the Conservation of Historic Places in Canada (the "Standards and Guidelines") is the official document guiding planning, stewardship and conservation approach for all listed and designated heritage resources within the City of

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Toronto. The General Standards (1-9) the Standards for Rehabilitation (10-12), and the Standards for Restoration (13-14) apply to this project.

The Standards and Guidelines can be accessed here:

<http://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>

COMMENTS

The proposed 67-storey mixed-use building will be located 10 metres from the heritage facades along Yonge Street, and 12.5 metres at the corner. At level five and above, the stepback along Yonge Street will be 8.4 metres. The tower setback from Breadalbane Street is proposed to be 2.7 metres from the south property line at levels three and four.

The ground floor includes a residential lobby accessible from Breadalbane Street and will maintain retail spaces on Yonge Street with rehabilitated storefronts. The new portion of the corner building will add three storefronts on Yonge Street.

The POPS will anchor the corner of Breadalbane Street and St. Luke Lane and will provide covered seating with an arched overhang from the second floor and art wall.

Alterations would be undertaken to the retained facades at 538-550 Yonge Street as part of the proposed development.

- Replacement of the existing windows and doors with sympathetic windows and doors, which reference the original style and profile
- Rehabilitation and alterations to the original storefront elements at 538 Yonge Street
- Alteration of non-original storefronts to allow for new sympathetic storefronts
- Salvage and reinstatement of the mansard roof structures
- Masonry repair and replacement where necessary

Conservation Strategy

An HIA has been prepared by ERA Architects Inc., dated January 2, 2025, and revised July 17, 2025, and October 21, 2025, that outlines a conservation strategy that proposes the rehabilitation of the east facades of the properties at 538-550 Yonge Street and retention of a portion of the south facade at 530 Yonge Street.

The Conservation Strategy proposes the retention of the east facades of 538-544 Yonge Street and 546-550 Yonge Street in situ, the rehabilitation and alteration of the original storefront elements at 538 Yonge Street, the alteration of non-original storefronts to more sympathetic design, replacement of windows and doors with period appropriate replacements, matching the original style, profile and materials, salvage and reinstatement of the mansard roof profile, masonry restoration and repair on the east facades of all retained buildings. The in-situ retention of a portion of the south elevation of the building at 530-536 Yonge Street and incorporation into the base of the new development will include removal of the later stucco cladding treatment. The proposed

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replacement building commemorates the existing corner building with its height, flat roof, and historic side entrances and Parkside signage, an homage to one of its significant tenants. As the property is located within a continuous row, no side elevations are visible, except at the south corner where a portion of the original will be retained.

The site's heritage buildings will continue to contribute to the continuous street wall and rhythm of the historic main street character in this area of Yonge Street. The setback, placement, and low-scale architecture will be maintained and incorporated into the podium of the new development. The conservation strategy proposes the retention and rehabilitation of existing buildings and the commemoration of the site's former uses, functions and significance.

Details of the restoration/rehabilitation will be set out in a Conservation Plan to be completed to the satisfaction of the Senior Manager, Heritage Planning.

Entuitive Corporation prepared a memorandum as part of the engineering considerations, dated September 8, 2025, which assessed the proposed development scheme's structural aspects as they pertain to the heritage facade, including proposed temporary support requirements.

Demolition of Heritage Attributes

To accommodate the new construction, the proposed development anticipates the demolition of two contributing buildings on the Site, 145 St. Luke Lane and a large portion of 530-536 Yonge Street. Attachment 5 shows the areas proposed for removal. District Plan Policy 5.3.1 allows the consideration of demolition of contributing buildings or structures that are on contributing properties when:

-The heritage integrity and the cultural heritage value of a contributing property to the District for which the demolition application has been submitted has been lost, as informed by a Heritage Impact Assessment

- the loss of heritage integrity and cultural heritage value of the contributing property is not the result of demolition by neglect, deferred maintenance or purposeful damage to the property

In the HIA submitted by ERA Architects, Inc., dated January 2, 2025, and revised July 17, 2025 and October 21, 2025, it was concluded that the heritage integrity of both buildings proposed for demolition and partial demolition have diminished heritage integrity due to unsympathetic alterations over time.

- 145 St. Luke Lane would be removed to accommodate a publicly accessible open space, and to accommodate loading access and vehicular access to the pick-up and drop-off parking spaces in the new development.
- 530-536 Yonge Street and 6-8 Breadalbane Street contributes contextually to the Historic Yonge Street HCD. The exterior of the building has been heavily

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modified and over-clad. While it has maintained some of its original form, most of its original features have been lost. The south façade of 530 Yonge Street will be partially retained in-situ and will retain visual distinction from the new construction proposed. The window openings of the south façade remaining in situ will be retained and will remain, and this retained portion will be visually distinct from the proposed new construction, reflecting its period of significance.

Mitigation measures for the removal of these buildings and attributes include the POPS, and the integration of an Interpretation Plan that commemorates the LGBTQ2S+ history of the site and surrounding area, including signage on the retained south façade referencing the Parkside Tavern, a significant establishment within the community. The proposed two-storey infill responds to the scale and rhythm of the Site and reinforces the pedestrian scale along this portion of Yonge Street, as described in Section 4.4.1. of the Historic Yonge Street HCD Plan.

Conservation Plan

Should Council approve the proposed conservation strategy, the owner should be required to submit a Conservation Plan for the work described in the Heritage Impact Assessment prepared by a qualified heritage professional to the satisfaction of the Senior Manager, Heritage Planning. The Conservation Plan would detail all the recommended interventions and conservation work including any recommended restoration work, a detailed plan describing how the heritage buildings will be protected during construction, a schedule of short and long-term maintenance requirements and estimated costs for all conservation work.

Interpretation Plan

Should Council approve the proposed conservation strategy, prior to final Site Plan approval, the applicant shall be required to submit an Interpretation Plan to the satisfaction of the Senior Manager, Heritage Planning. The interpretation plan should serve to communicate the cultural heritage values of the Site to users and visitors of the property.

Heritage Lighting Plan

Should Council approve the proposed conservation strategy, prior to the issuance of site plan approval for the proposed development, the applicant should be required to submit a heritage lighting plan to the satisfaction of the Senior Manager, Heritage Planning. This lighting plan should include details of how the buildings at 530-550 Yonge Street will be lit to highlight their unique heritage character.

Signage Plan

Should Council approve the proposed conservation strategy, prior to the issuance of Site Plan approval for the proposed development, the applicant should be required to submit a Signage Plan to the satisfaction of the Senior Manager, Heritage Planning.

The recommended Signage Plan should provide details of the signage strategy for the heritage properties, including the appropriate type, scale, location, and number of signs.

Heritage Easement Agreement

Staff is recommending that the owner enter into a Heritage Easement Agreement to secure the long-term protection of 530-550 Yonge Street.

CONCLUSION

Heritage Planning staff are supportive of the demolitions and alterations proposed for the designated heritage property at 530-550 Yonge Street, 6-8 Breadalbane Street and 145 St. Luke Lane in connection with the development application for 67-storey mixed-use building in the context of the conservation and mitigation strategies proposed for the site. Heritage Planning staff support the retention strategy and are of the opinion that the proposal has been designed to conserve the cultural heritage values, attributes, and character of the heritage property. The details of the restorations and rehabilitations will be set out in a Conservation Plan to be completed to the satisfaction of the Senior Manager, Heritage Planning.

Heritage Planning staff are satisfied the proposal meets the intent of the Historic Yonge Street HCD Policies, Planning Act, the Provincial Planning Statement, and the City of Toronto's Official Plan heritage policies in conjunction with the Standards and Guidelines for the Conservation of Historic Places in Canada. Staff recommend that Council approve the proposed alterations and demolitions, and grant authority to enter into a Heritage Easement Agreement.

CONTACT

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SIGNATURE

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Urban Design, City Planning

ATTACHMENTS

- Attachment 1 - Location Map
- Attachment 2 - Photographs
- Attachment 3 - Plans and Drawings
- Attachment 4 – Renderings
- Attachment 5 – Proposed Conservation Strategy
- Attachment 6 - Statement of Significance
- Attachment 7 - Statements of Contribution

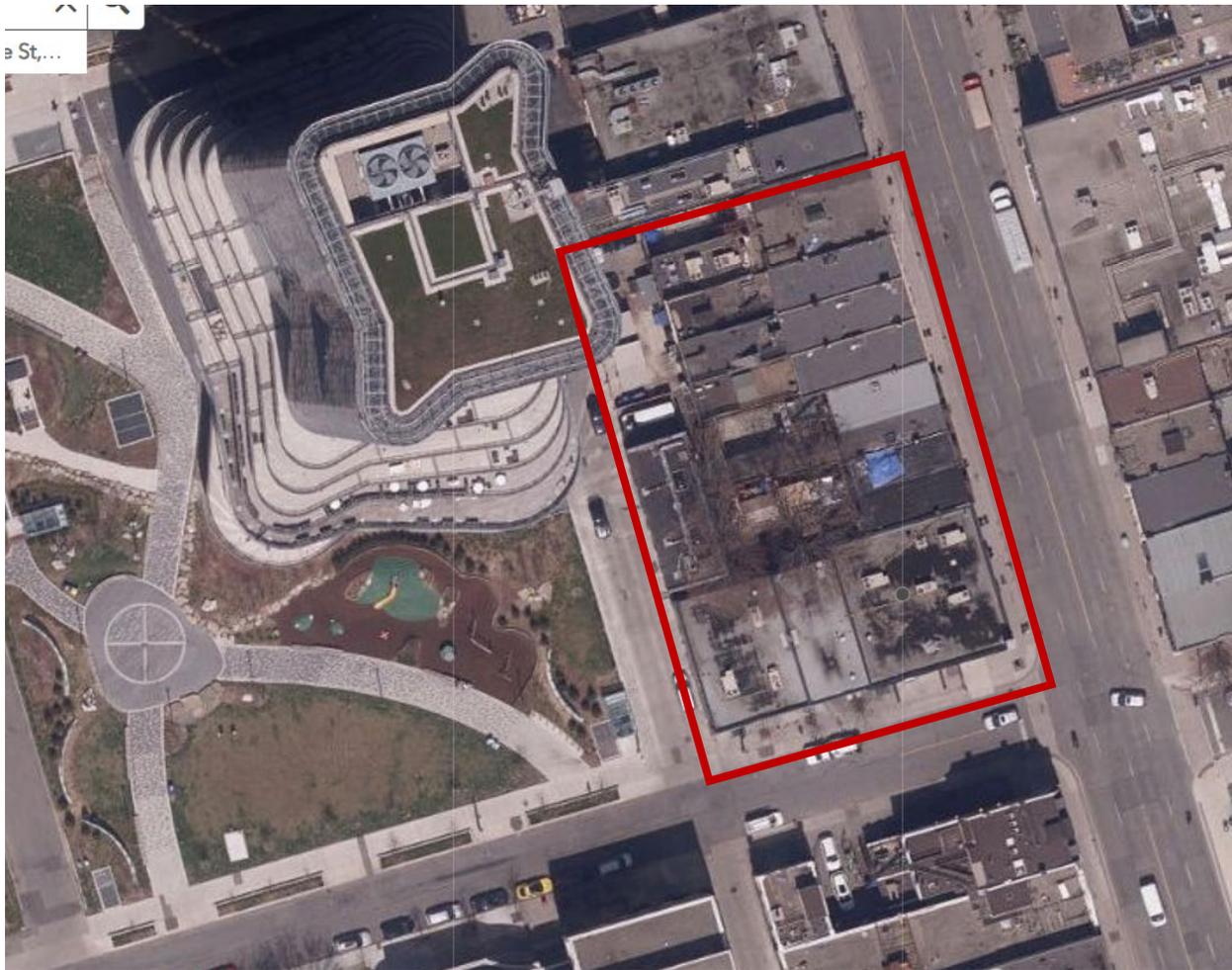


Figure 2. Aerial View (base image 2024) showing the location of the subject property outlined in red at 530-550 Yonge Street, 6-8 Breadalbane Street and 145 St. Luke Lane. The approximate boundary of the subject property is outlined in red (City of Toronto Mapping).

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Figure 3. Principal (east) elevation of 530-550 Yonge Street (ERA Architects Inc., 2024).



Figure 4. West elevation of 145 St. Luke Lane (ERA Architects Inc., 2024).



Figure 5. East elevation of 530-536 Yonge Street (ERA Architects Inc., 2024).



Figure 6. South and east elevations of 530-536 Yonge Street, 6-8 Breadalbane Street (ERA Architects Inc., 2024).

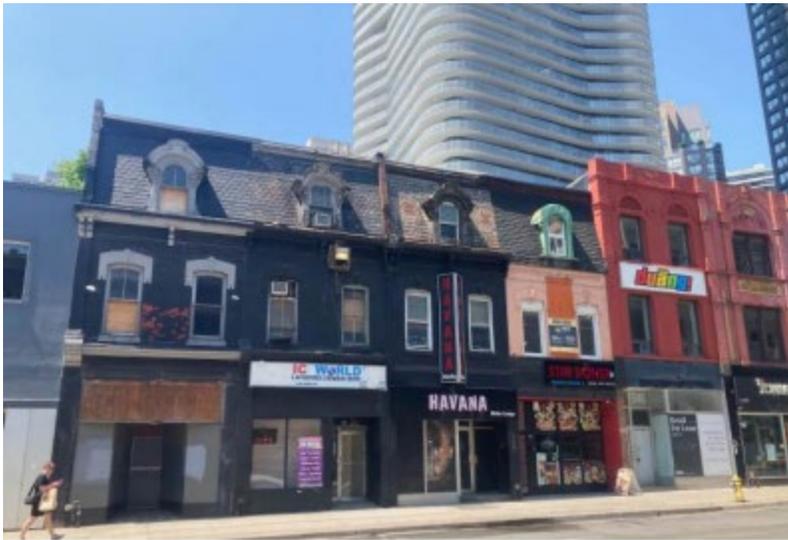


Figure 7. East elevation of 538-544 Yonge Street (ERA Architects Inc., 2024).

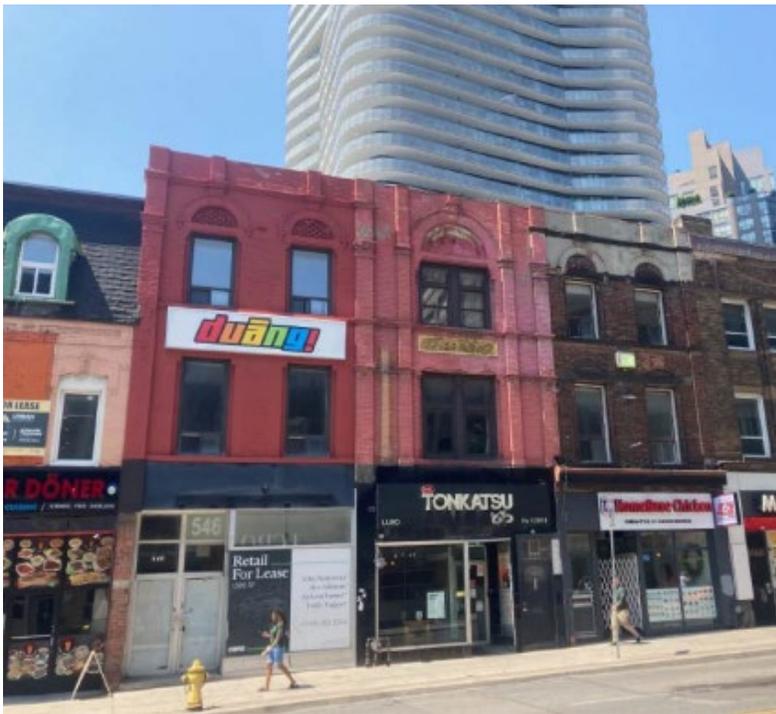
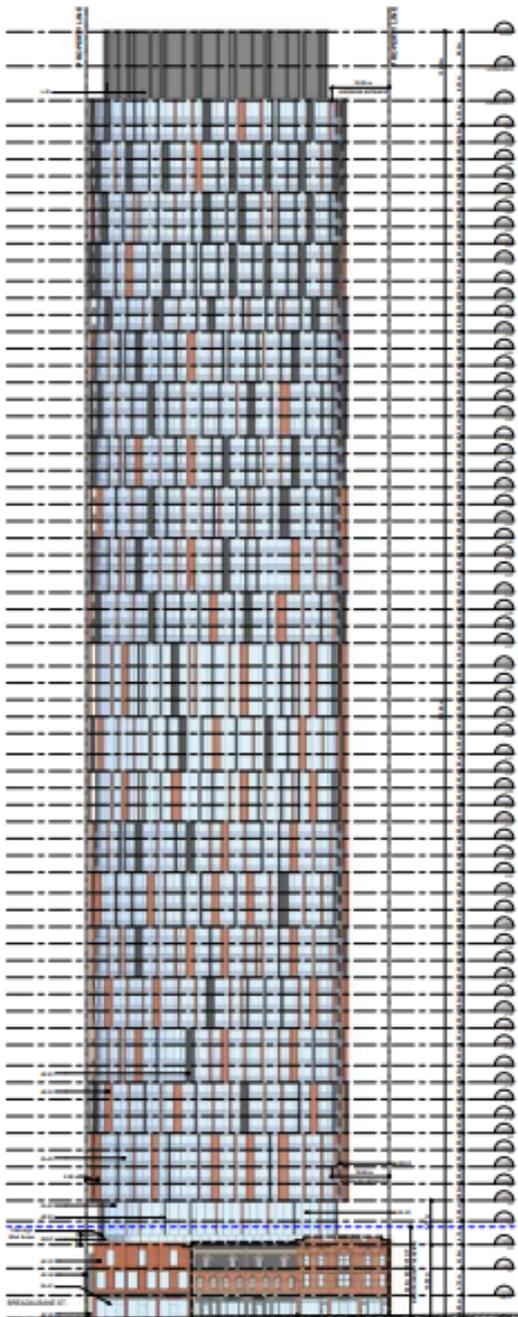
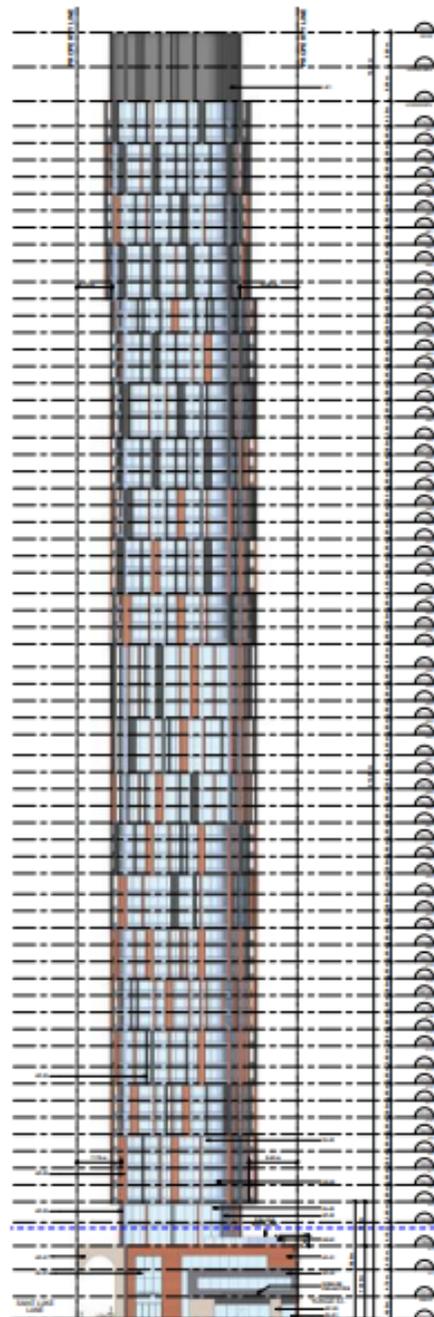


Figure 8. East facade of 530-536 Yonge Street (ERA Architects Inc., 2024).



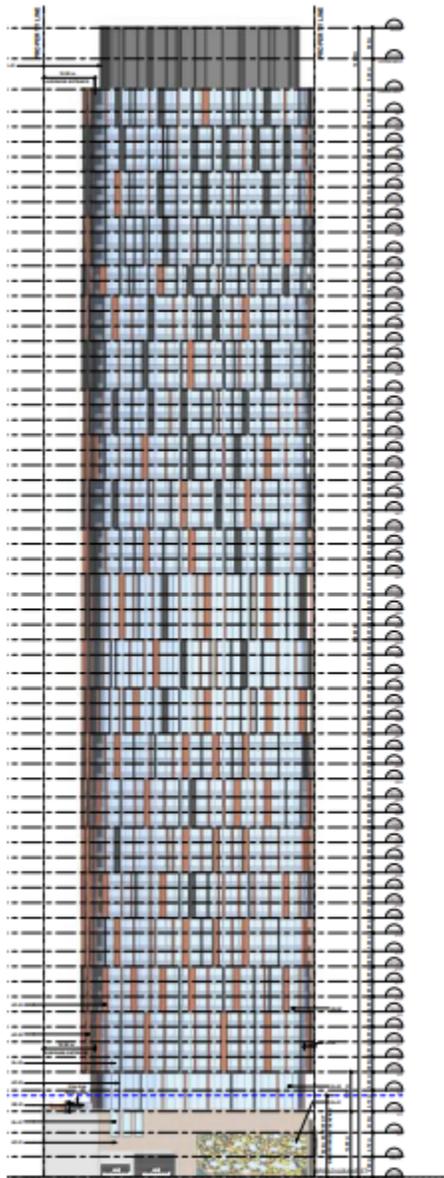
Proposed east elevation (GPA, September 2025).



Proposed south elevation (GPA, September 2025).

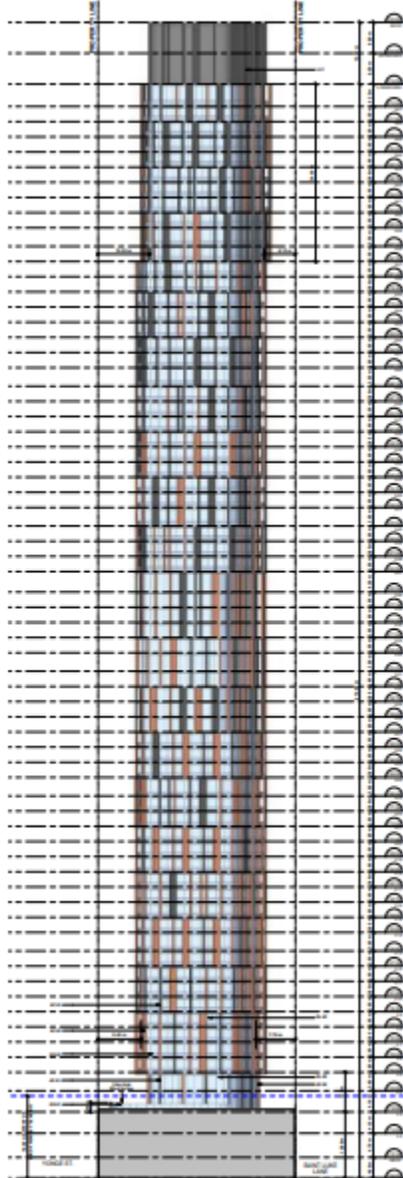
Figure 9. Proposed east elevation

Figure 10. Proposed south elevation



Proposed west elevation (GPA, September 2025).

Figure 11. Proposed west elevation



Proposed north elevation (GPA, September 2025).

Figure 12. Proposed north elevation

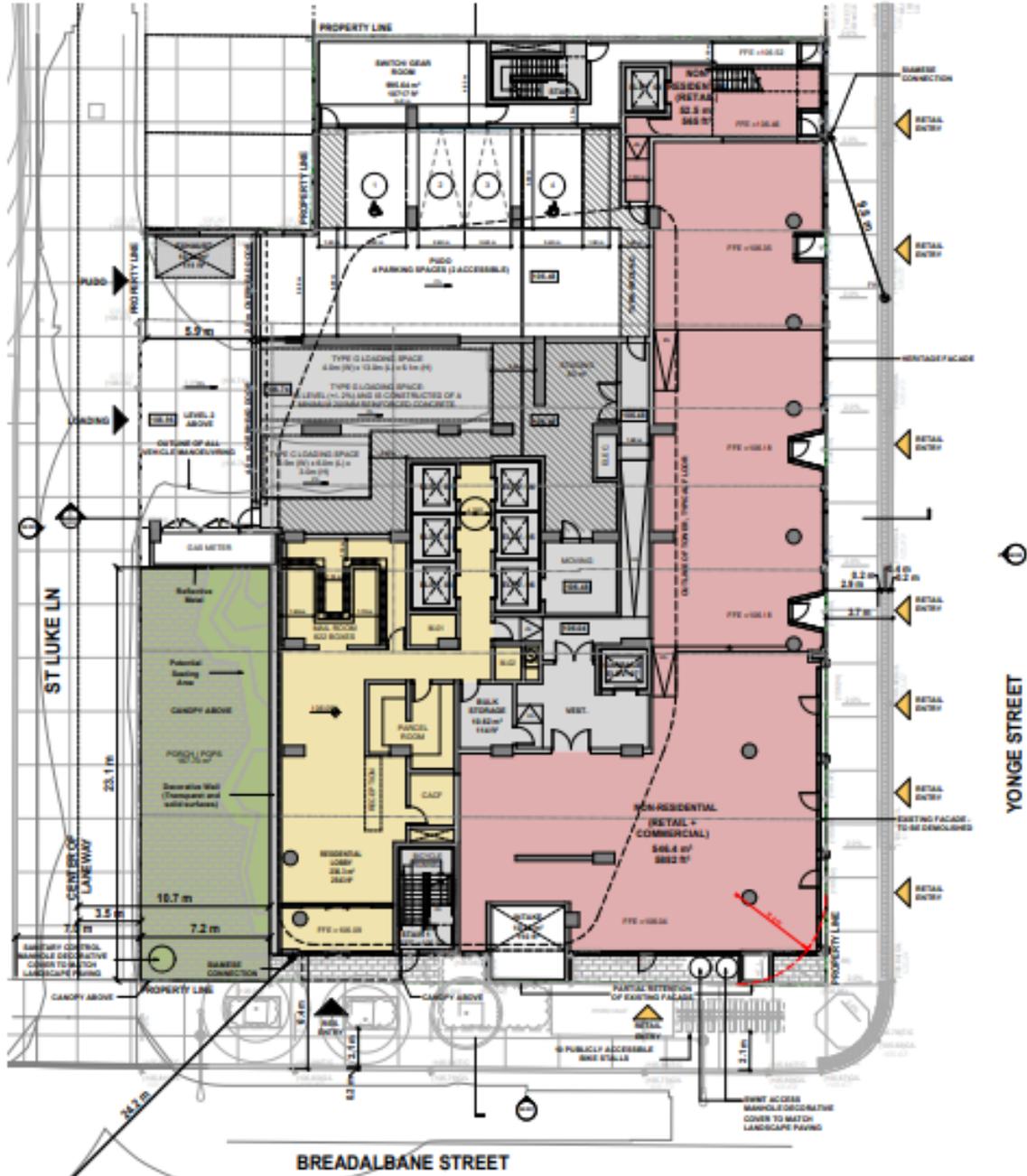


Figure 13. Proposed ground floor showing retail/commercial space, residential lobby off Breadalbane and publicly accessible open space at the southwest corner of the Site. (GPA, 2025)

RENDERINGS

ATTACHMENT 4

530-550 Yonge Street, 6-8 Breadalbane Street and 145 St. Luke Lane



Figure 14. Proposed primary (east) elevation of 530-550 Yonge Street, (GPA, September 2025).



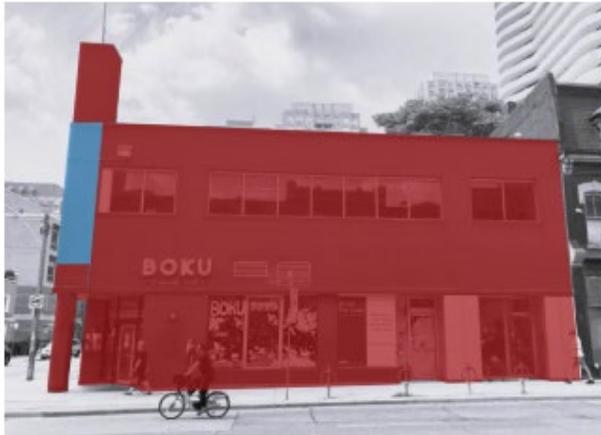
Figure 15. Proposed south elevation of 530 Yonge Street at Breadalbane Street, rendering looking northwest (GPA, September 2025).



Figure 16. Proposed publicly accessible open space abutting St. Luke Lane (GPA, September 2025).
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East Elevation: 530-536 Yonge Street



530-536 Yonge Street (ERA, 2024).

East Elevations: 538-550 Yonge Street



538-544 Yonge Street (ERA, 2024).



546-550 Yonge Street (ERA, 2024).

South Elevations



6-8 Breadalbane Street (ERA, 2024).



530 Yonge Street (ERA, 2024).

Figure 17. Proposed areas for demolition are shown in red. Retention in situ and rehabilitation are shown in blue, restoration and repair are not highlighted.

Historic Yonge Street Heritage Conservation District

DISTRICT SIGNIFICANCE | HISTORIC YONGE STREET HCD PLAN



3.1 Statement of Cultural Heritage Value

Description of Historic Place

Historic Yonge Street Heritage Conservation District is a distinct mixed-use neighbourhood located in downtown Toronto. It runs north-south for approximately seven city blocks around a portion of Yonge Street and serves important civic and commercial functions in the city. It includes St. Nicholas Village, a historic residential area associated with Yonge Street, and portions of a historic network of service laneways. The District contains a cohesive grouping of built *heritage resources* that provide a distinct sense of place and represent Toronto’s early and mid-century architectural vernacular.

The boundary limits run along property lines and include the full right-of-way of Yonge Street in front of any property within the boundary. The District’s northern boundary is the full right-of-way of Charles Street West on the west side of Yonge Street and the north lot line of the former Postal

Station F at Charles Street East on the east side of Yonge Street. The centre line of Grosvenor Street on the west side of Yonge Street and Maitland Street on the east side of Yonge Street mark the southern boundary. Its western and eastern boundaries generally run parallel to Yonge Street along a historic network of service laneways, except along its western edge where it includes St. Nicholas Street and parts of St. Joseph Street and Irwin Avenue – an area referred to as St. Nicholas Village. The full right-of-way of public laneways have been included within the boundary, as has the full right-of-way of St. Nicholas Street. The District has recently seen growth through the addition of mixed-use developments, including tall buildings. It is expected that HYHCD will continue to evolve and grow, while *conserving* the *cultural heritage value* of the District, including the historic *streetwall* along Yonge Street.

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Figure 12: Previous page: Excerpt from Plate 26 from the 1884 edition of the Atlas of the City of Toronto and Suburbs, published by Charles E. Goad. The approximate boundary of the Historic Yonge HCD has been shaded in purple.

Figure 13: Plan of the City and Liberties of Toronto, surveyed and drawn in 1842 by James Carle. The map shows some early subdivision of Park Lots and the sparse development in the Study Area (City of Toronto Archives). Annotation indicates the approximate location of the Historic Yonge Street HCD.

Statement of Cultural Heritage Value

The District started to develop in 1860 as a pastoral landscape of large private estates that were gradually subdivided and sold-off, laying the foundation for a densely developed urban neighbourhood. Development in the area was encouraged by Yonge Street itself, which was planned as a key transportation route by Lt. Governor John Graves Simcoe.

Yonge Street's importance as a transportation route was reinforced by successive waves of transportation investment that culminated in the construction of Canada's first subway line, which opened in 1954 and runs beneath the District. Public investment in transportation helped to ensure a constant flow of people through the neighbourhood, and the District evolved as a commercial main street that served neighbouring residential areas and commuters who passed through it.

The District is valued for its commercial main street character which is expressed, in part, by mixed-use and commercial buildings that housed the services, amenities, and employment opportunities to support daily life in neighbouring residential areas. St. Nicholas Village, and the residential buildings within

it, reflects this historic relationship and reinforces the District's sense of place.

Historical development of Yonge Street in the early 20th century added entertainment venues to its role as a commercial destination. The former His Majesty's Theatre at 780 Yonge Street, for instance, later became a dance studio and drama school for the emerging Canadian ballet and theatre scene, from the post-war period until the 1960s.

Once the subway opened in 1954, building technology and development patterns changed. This change is reflected in the scale of many modern buildings surrounding the District. Buildings that contribute to the District's *cultural heritage value* share certain characteristics in terms of their scale, height, orientation, and frontage width. They display a range of architectural styles that are appropriate to the time they were built. The historic network of laneways also contribute to the *cultural heritage value* of the District and are a valued element of its landscape. Together, these buildings, and the



Figure 14: East side of Yonge Street at Wellesley Street looking northeast, 1948 (City of Toronto Archives, Fonds 1303, Series 978, File 1, Item 21).

laneways that connect them, give the District the feeling of being an enclave within Toronto's downtown. Approximately 90% of its buildings were built between 1860 and 1954, a period of significance when the District's commercial main street character was established and flourished.

During this period Yonge Street also developed an important civic purpose within Toronto, coming to serve as its Main Street, a role which is evidenced by the numerous parades, demonstrations, and spontaneous celebrations and gatherings that have taken place along the strip. These events, many of which are annual and ongoing, are associated with the District for having passed through it. The civic importance of Yonge Street is recognized as an important component of the District's *cultural heritage value* but one that is primarily associative, and not material, in nature.

As the District and the area around it developed, it attracted a number of important fraternal and professional organizations, including: the Masons (601-613 Yonge Street); the Oddfellows' fraternal organization (450 Yonge Street); and, the Canadian Order of Foresters (22 College Street). A number of buildings in the District are also associated with important architects, including: Samuel G. Curry, Richard Ough, Mathers & Haldenby, Wickson & Gregg, George Gouinlock, Dick & Wickson, J. Gibbs Morton, and E.J. Lennox.



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Figure 15: 1952 photograph showing the construction of Canada's first subway line. This photo was taken east of Yonge Street, between Dundonald and Gloucester streets, looking north (City of Toronto Archives, Fonds 1128, Series 381, File 76).

3.2 District Heritage Attributes

The *cultural heritage value* of the District is expressed by the following *heritage attributes* that collectively derive from *contributing properties* within the District:

- The scale of the *streetwall* of *contributing properties* in the District, which typically range between 2-4 storeys
- The three-dimensional character of *contributing properties*, as articulated by their height, massing, and frontage width
- Small *setbacks*, from the front lot line, of buildings within St. Nicholas Village *character sub-area* which create small front yards that contribute to a more open residential character
- Consistent *streetwall* resulting from buildings fronting onto Yonge Street typically built to the lot line, without *setbacks*
- The fine grain of narrow property frontages, generally between 3-7 metres, at regular intervals along Yonge Street, and along some side streets intersecting with Yonge Street
- The fine-grained vertical rhythm of narrow storefronts along the consistent streetscape; frontages of larger historic buildings are divided into bays, *maintaining* the predominant rhythm of narrow storefronts
- Recessed entrance doorways, which in some cases include flanking showcase windows
- Building façades that are generally constructed with brick, stone, and wood detailing
- The façades of *contributing properties* that display a variety of *building features* including, but not limited to cornices, entablatures, pilasters, soffits, punched windows, and their surrounds
- High-quality design and craftsmanship exhibited in *contributing properties*
- The higher percentage of glazing on ground floor façades along Yonge Street, relative to upper floors, that demarcates a retail use at-grade and residential and/or commercial uses in upper floors
- The consistent percentage of glazing between ground and upper floors on the primary elevation of residential *contributing properties*, showing a consistent use and function between ground and upper floors
- Mixed-use and commercial buildings that typically have flat roofs, or roofs sloped towards the street that the building fronts onto
- House-form buildings typically have sloped roofs, which includes a combination of roofs sloped towards the street, and roofs sloped parallel to the street in the case of a dormer or central gable
- House-form buildings that display a range of architectural styles most commonly: Gothic Revival, Second Empire, and Queen Anne
- Apartment buildings within St. Nicholas Village *character sub-area* that display Art Deco and Edwardian architectural styles
- Mixed-use and commercial buildings that display a range of architectural styles, most commonly: Georgian, Italianate, Romanesque, and Second Empire
- Warehouses and commercial buildings fronting onto service laneways and side streets, such as those along St. Nicholas Street and Gloucester Lane
- Views toward prominent buildings within the District as identified in this Plan
- Narrow public laneways that support commercial operations along Yonge Street, and are used by pedestrians as a circulation network
- The *archaeological resources* in the District as identified in this Plan
- Use, function and enjoyment of Yonge Street for the purpose of parades, demonstrations, celebrations and social gatherings

3.3 Statement of Objectives

The overall objective of the Historic Yonge Street HCD Plan is the protection, *conservation* and management of its *heritage attributes* and *contributing properties* so that the District's *cultural heritage value* is protected in the long-term. The *cultural heritage value* of the District consists of its historic, associative, contextual, design/physical, social and community values. The *heritage attributes* of the District include its built

form, *streetscape*, function, *public realm*, and *archaeological resources*.

Specific objectives of this Plan are set out below. Although the following objectives are numbered, the numeric sequence does not establish a priority among the objectives.

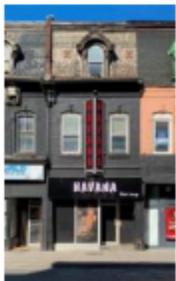
OBJECTIVES

1. *Conserve, maintain, and enhance the cultural heritage value* of the District as expressed through its *heritage attributes, contributing properties, character sub-areas, public realm, and archaeological resources*.
2. Ensure that *new development* and *additions* *conserve, maintain and enhance the cultural heritage value* of the District and do not detract from it.
3. *Conserve, maintain and enhance the heritage attributes* of those resources that contribute to the *cultural heritage value* of the District.
4. Prevent the *removal and demolition* of the District's *heritage attributes and contributing properties*.
5. Ensure that any *alterations*, including *adaptive reuse*, are *compatible with the District's cultural heritage value*.
6. Encourage improvements to the *public realm* that support the District's ongoing use by pedestrians as a transportation corridor so that its historic role as a commercial main street and place of congregation is reinforced.
7. *Conserve* the network of public laneways in the District.
8. *Conserve* the historic main street character of the District, including its consistent *streetwall* and scale of *contributing properties*, and support the mixed commercial, retail, or residential uses that main street character implies.
9. *Conserve the three-dimensional integrity* and form of the District's built *heritage resources*.
10. *Maintain* the distinctive relationship between the residential character of St. Nicholas Village *character sub-area* and the commercial main street character of Historic Yonge Street *character sub-area* and *conserve* their unique and distinct characters.
11. *Conserve, maintain and enhance the values* of the District in its role as a destination for civic assembly and use, such as for parades, demonstrations, and celebrations.
12. *Conserve contributing properties*, and Part IV designated properties.
13. *Conserve and protect the archaeological resources* within the District.
14. *Conserve views from the public realm* identified in this Plan.

STATEMENTS OF CONTRIBUTION

ATTACHMENT 7

No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
32.		26 St Joseph Street (31 Irwin Ave)	Art Deco	1940	Design/Physical Contextual	This is a 6-storey building designed in an Art Deco style with buff brick. Its main entrance is framed by sidelights and flat headed windows on concrete sills. The ground storey is separated from the upper storeys by a continuous concrete stringcourse. The upper storeys are highlighted by a continuous concrete vertical frontispiece which rises to the sixth storey. It is detailed with glass block decorative brick bands and a concrete cornice, reflective of the Art Deco style.	6	St. Nicholas Village
33.		145 St Luke Lane	Edwardian	c.1915	Design/Physical Contextual	This is a 2-storey building designed in a simple Edwardian style. It has a sloping roof with projecting firewall parapets at each end. At the second storey there are five window openings with shallow arched heads and brick voussairs. There are four window openings on the north facade. The ground level has been altered.	2	Historic Yonge Street
No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
57.		530 Yonge Street (6, 8 Breadalbane St; 534, 536 Yonge St)	Modern	1948	Contextual	This is a 2-storey commercial building designed in a Modern style. Its windows are grouped in an A-B-A pattern with a large central ribbon. It has a main recessed corner entrance.	2	Historic Yonge Street

No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
60.		538 Yonge Street	Second Empire	1873	Design/Physical Contextual	This is a 2.5-storey brick building in a Second Empire style. It is part of a row divided into pairs of units by projecting fire walls. The slate-tiled mansard roof is capped by a substantial moulded cornice and ends at a projecting cornice/gutter. There is one central dormer in each unit with 1/2 round projecting roof supported on brackets and trim that frame the 1/2 round window opening. The cornice is supported on 3 brackets joined by a banding course.	2.5	Historic Yonge Street
61.		540 Yonge Street	Second Empire	1873	Design/Physical Contextual	This is a 2.5-storey brick building in a Second Empire style. It is part of a row divided into pairs of units by projecting fire walls. The slate-tiled mansard roof is capped by a substantial moulded cornice and ends at a projecting cornice/gutter. There is one central dormer in each unit with 1/2 round projecting roof supported on brackets and trim that frame the 1/2 round window opening. The cornice is supported on 3 brackets joined by a banding course.	2.5	Historic Yonge Street
62.		542 Yonge Street (542A Yonge St)	Second Empire	1873	Design/Physical Contextual	This is a 2.5-storey brick building in a Second Empire style. It is part of a row divided into pairs of units by projecting fire walls. The slate-tiled mansard roof is capped by a substantial moulded cornice and ends at a projecting cornice/gutter. There is one central dormer in each unit with 1/2 round projecting roof supported on brackets and trim that frame the 1/2 round window opening. The cornice is supported on 3 brackets joined by a banding course.	2.5	Historic Yonge Street

No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
63.		544 Yonge Street (544A Yonge St)	Second Empire	1873	Design/Physical Contextual	This is a 2.5-storey brick building in a Second Empire style. It is part of a row divided into pairs of units by projecting fire walls. The mansard roof is capped by a substantial moulded cornice and ends at a projecting cornice/gutter. There is one central dormer in each unit with 1/2 round projecting roof supported on brackets and trim that frame the 1/2 round window opening.	2.5	Historic Yonge Street
64.		546 Yonge Street	Romanesque	1889	Design/Physical Contextual	This is a 3-storey building, part of a block of 3 units designed in a Romanesque style. Units are framed by projecting pilasters at the party walls with corbelled brick capitals at the 3rd floor window line. At the roof it is likely there was a projecting cornice, now missing. Below the parapet is a projecting cornice carried on bracketed keystones of the two 3rd-floor windows. Third floor windows have semi-circular arched heads springing from stone flat lintels. The panel above is a basket weave brick and below the lintel a large rectangular window opening. At the second floor there are two matching windows but with segmented arched heads and plain panels. The window sills are continuous, forming a band course.	3	Historic Yonge Street
65.		548 Yonge Street (548A Yonge St)	Romanesque	1889	Design/Physical Contextual	This is a 3-storey building, part of a block of 3 units designed in a Romanesque style. Units are framed by projecting pilasters at the party walls with corbelled brick capitals at the 3rd floor window line. At the roof it is likely there was a projecting cornice, now missing. Below the parapet is a projecting cornice carried on bracketed keystones of the two 3rd-floor windows. Third floor windows have a semi-circular arched head, with a decorative terracotta panel below the sill. The panel above is a basket weave brick and below the lintel a large rectangular window opening. At the second floor there are two matching windows but with segmented arched heads and plain panels. The window sills are continuous, forming a band course.	3	Historic Yonge Street

No.	Photo	Primary Address/ Street Name (Structure / Entrance Address(es))	Architectural Style	Year Built	Statement of Contribution	Built Form	Storeys	Character Sub- Area
66.		550 Yonge Street	Romanesque	1889	Design/Physical Contextual	This is a 3-storey building, part of a block of 3 units designed in a Romanesque style. Units are framed by projecting pilasters at the party walls with corbelled brick capitals at the 3rd floor window line. At the top of it is likely there was a projecting cornice, now missing. Below the parapet is a projecting cornice carried on bracketed keystones of the two 3rd-floor windows. Third floor windows have semi-circular arched heads springing from stone flat lintels. The panel above is a basket weave brick and below the lintel a large rectangular window opening. At the second floor there are two matching windows but with segmented arched heads and plain panels. The window sills are continuous, forming a band course.	3	Historic Yonge Street
67.		552 Yonge Street	Edwardian	1912	Design/Physical Contextual	This is a 3-storey orange-brown mottled brick building in a simple, commercial Edwardian style. A roof cornice at the top of the wall is missing and covered by metal siding. The façade is divided into two bays by a brick frame around a group of 4 recessed windows at second and third floors. The frame is gridded at the top of the wall by lines extending vertically and horizontally above the third-floor windows. Each group of 4 window openings is divided vertically into two vertical groups of 2 with stepped brick on each side creating a brick pilaster between. Window openings have plain stone lintels and sills.	3	Historic Yonge Street
68.		564 Yonge Street	Georgian	1874	Design/Physical Contextual	This is a 2.5-storey building built in a Georgian style. It has a sloping roof with domers. A projecting roof eave sits on a 3-course corbelled brick fascia. At each end of the group of 3 units there is a projecting parapet firewall. Each unit is separated by chimney masses at the ridge and is separated by wall brick quoining. Second floor windows have brick drip hood mouldings with a linking horizontal band course at the drip and plain lug sills.	2.5	Historic Yonge Street