

ATTACHMENT 2: APPLICANT'S SUBMISSION PACKAGE

Folder Number	Date (yyyy-mm-dd)
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Project Information

Street Number 11	Street Name Bay Street	Lot Number	Plan Number M-Plan 640E
Describe the variance(s) being applied for: (1) Permit a third-party wall sign with electronic static copy; and (2) Permit a third-party sign to be erected approximately 110 metres from the F.G. Gardiner Expressway.			
If it is an application for a variance required for the modification or restoration of an existing sign, please provide the following:			
Existing Sign Dimensions		Location	
Please provide the reasons/justification for the request (Attach any supporting documentation or additional pages as required): Please refer to Cover Letter.			

Property Owner Information

First Name Graham		Last Name Leah	
Company Name (if applicable) City of Toronto, Corporate Real Estate Management			Telephone Number (416) 722-6007
Street Number 100	Street Name Queen Street West	Suite/Unit Number	Mobile Number
City/Town Toronto	Province ON	Postal Code M5H 2N2	Fax Number
Email graham.leah@toronto.ca			

Attachment Required

• Sign Variance Data Sheet • Copies of any supporting documents • All necessary plans and specifications required to verify the nature of the Sign By-law Variance(s) requested

Continue on next page

Applicant Information and Declaration

First Name I, Dave		Last Name Hannam	
Company Name Zelinka Priamo Ltd.			Telephone Number (416) 622-6064
Street Number of 20	Street Name Maud Street	Suite/Unit Number 305	Mobile Number
City/Town Toronto	Province ON	Postal Code M5V 2M5	Fax Number
Email dave.h@zpplan.com			
Do hereby declare the following: • That I am ☐ the Property Owner as stated above ☒ the owner's authorized agent. ☐ an officer/employee of _____, which is an authorized agent of the owner. ☐ an officer/employee of _____, which is the Property Owner's authorized agent. • That statements contained in this application are true and made with full knowledge of all relevant matters and of the circumstances connected with this application. • That the plans and specifications submitted are prepared for the sign variance(s) described and are submitted in compliance with copyright law • That the information included in this application and in the documents filed with this application is correct.			
 Signature		Dave Hannam Print Name (First, Last)	2024-11-14 Date (yyyy-mm-dd)

Continue on next page

Toronto Building collects personal information on this form under the legal authority of the City of Toronto Act, S.O. 2006, Chapter 11, Schedule A, 136(c) and the City of Toronto Municipal Code, Chapter 694, Signs, General and Chapter 771, Taxation, Third Party Sign Tax. The information will be used for processing applications and creating aggregate statistical reports, for enforcement of the City of Toronto Municipal Code Chapter 694, Signs, General, Chapter 771, Taxation, Third Party Sign Tax, and any other applicable sign by-law of the City of Toronto, and for contacting permit holder(s) or authorized agent(s). Questions about this collection can be directed to the Manager, Sign By-law Unit, Toronto Building, 100 Queen Street West, Ground Floor, East Tower, Toronto, Ontario, M5H 2N2 or by telephone at 416-392-4235.

Folder number	Request Date (yyyy-mm-dd)
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This data sheet forms part of an application for a Variance From Chapter 694 of the Toronto Municipal Code, Signs

Project Information

Street Number 11	Street Name Bay	Lot Number	Plan Number M-Plan 640E
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Site and Building Data

Lot Area 0.58 ha	Lot Frontage 63.17	Lot Depth 91.14
Number of Building(s) on the lot 1	Date of Construction of Building(s) if known (yyyy-mm-dd)	
Building Height(s)	Number of Storeys 3 storeys	Building(s) Gross Floor Area
Building Uses(s) Convention centre		

Site Context

Please describe the land uses, buildings and sign districts surrounding the proposal (use additional pages if necessary)
North Mixed Use (Residential, Commercial), surface parking
South Commercial (hotel)
East Mixed Use (Residential, Commercial)
West Mixed Use (Office, Commercial)

Proposal

Please describe in detail what is being proposed (use additional pages if necessary) The proposal is to remove and replace the existing illuminated first-party wall sign with a third-party electronic static copy sign in the same location on the northwest building façade. The replacement sign is proposed to match the dimensions of the existing sign and will provide for reduced illumination impacts to adjacent lands.

Continue on next page

Rationale

Decisions for all Sign Variance Applications are evaluated against criteria listed in Toronto Municipal Code Chapter 694-30 A. A Variance may be granted where it is demonstrated that the proposed sign(s):

- Belong to a sign class permitted in the sign district where the premises is located
- In the case of a third party sign, be of a sign type that is permitted in the sign district, where the premises is located
- Be compatible with the development of the premises and surrounding area
- Support the Official Plan objectives for the subject premises and surrounding area
- Not adversely affect adjacent premises
- Not adversely affect public safety, including traffic and pedestrian safety
- Not be a sign prohibited by Toronto Municipal Code Chapter 694-15B
- Not alter the character of the premises or surrounding area
- Not be, in the opinion of the decision maker, contrary to the public interest

Please describe in detail how the proposal satisfies each of the criteria listed above
(use additional pages if necessary)
Please refer to Cover Letter.

Sign Data Sheet

Date (yyyy-mm-dd)	Folder No.
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Sign Information

Sign No.*	Sign Type	Method of Copy Display	Sign Face Dimensions (maximum)			Sign Depth (metres)	Sign Height (metres)	Illumination (Yes/No)	Professional Design Required (Yes/No)
			Length (metres)	Width (metres)	Area (m²)				
1	Wall Sign	Electronic Static Copy	3.66	12.80	46.85	0.32	12.80	Yes	Yes

* Please ensure that the sign numbers listed in this sheet are indicated on all sign plans

Receipt No: 1781279

Receipt

NOTE: This is not a Permit. Do not construct until a permit is issued.

You will be notified when your permit is ready.

Folder No:	24 238798 ZSV 00 ZR	Date & Time:	November 19, 2024 05:35:10 PM
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Paid By:	ZELINKA PRIAMO LTD C/O DAVE HANNAM 20 MAUD ST SUITE 305 TORONTO ON M5V 2M5		
Project Location:	11 BAY ST TORONTO ON		
Project Description:	Zoning Review; Non-Residential Building; Sign		
Fee Description(s):	Cost Center Number:	Value:	
Sign Variance Fee	9010 - BL0014 - PAYMENT	\$1,885.58	
TB-Master Card - online	110583 - PAYMENT	-\$1,885.58	
Total:			\$0.00
Paid Amount			\$1,885.58
Paid by :TB-Master Card - online			

Payment of these fees accepted through the Toronto Building Payments web application.

Property Management Services
Corporate Real Estate Management Division

Metro Hall
55 John Street
2nd Floor
Toronto, Ontario M5V 3C6

Tel: 416-338-2361
Scott.Barrett@toronto.ca
www.toronto.ca

November 13, 2024

Sent by E-mail: dave.h@zpplan.com.

Zelinka Priamo Ltd.
20 Maude Street, Suite 305
Toronto, ON M5V 2M5

Attention: Dave Hannam

To whom it may concern:

This is to confirm that the City of Toronto (the "City"), as owner of the property at 11 Bay Street and legally described, M-Plan 640E, consent for Zelinka Priam Limited to submit a Sign Variance application, on the following conditions:

- (1) The City's consent is given solely in the City's capacity as owner of the Property. By providing this consent, the City shall not be deemed to endorse or support the application. Nothing in this consent derogates from or interferes with or fetters the exercise by the City of all of its rights as a municipality, or imposes any obligations on the City, in its role as a municipality, and the City shall not be prevented from or prejudiced in carrying out its statutory rights and responsibilities, including planning rights and responsibilities.
- (2) Nothing in this consent fetters City Council's, or any City official's, discretion to declare the Property surplus or approve the lease of the Property to the Applicant.
- (3) The Applicant shall assume all risk, cost and expense associated with the application.

Please direct any inquiries to Jack Harvey at jack.harvey@toronto.ca or by telephone at 647-297-0790.

Sincerely,



Nike Coker
Manager, Property Management Services
Corporate Real Estate Management Division
City of Toronto



Zelinka Priamo Ltd.

LAND USE PLANNERS

VIA EMAIL

November 14, 2024

City of Toronto - Sign By-law Unit
100 Queen Street West
Ground Floor, East Towner
Toronto, ON M5H 2N2

**Re: Sign Variance Application – Third-Party Electronic Wall Sign
Westin Harbour Castle
11 Bay Street
Toronto, Ontario**

On behalf of the Westin Harbour Castle, Zelinka Priamo Ltd. is pleased to submit a Sign Variance Application for the lands known as 11 Bay Street (the “subject lands”). The Westin Harbour Castle holds a sublease for the subject lands, which are owned by the City of Toronto.

The subject lands are approximately 0.58 hectares in size, and are developed with one (1) three-storey building occupied by the Weston Harbour Castle Convention Centre. The subject lands are bound by Harbour Street to the north; Bay Street to the west, Queens Quay W to the south; and the World Trade Centre Toronto mixed-use development to the east (Figure 1).

Figure 1: Aerial of the Subject Lands



The subject lands are designated “Regeneration Areas” by Map 18 of the City of Toronto Official Plan (“OP”) (Figure 2), and by Map E of the Central Waterfront Secondary Plan (OLT-22-002109 settlement order issued July 2022) (Figure 3). The lands are zoned CR (T6.7, C5.1, R1.7) by Former Zoning By-law 438-86, as amended.

Figure 2: OP Map 18 - Land Use Plan (excerpt)

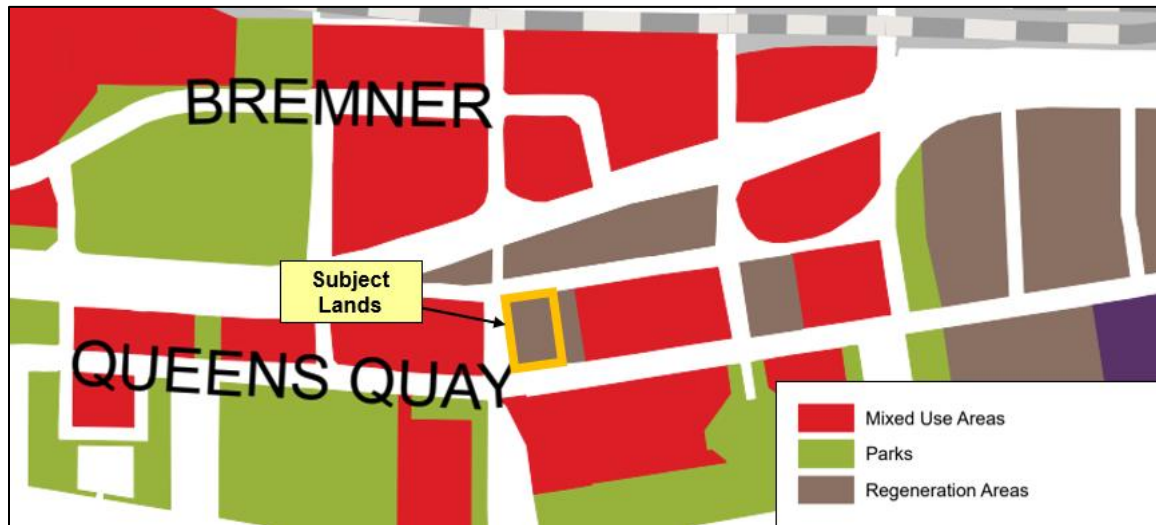
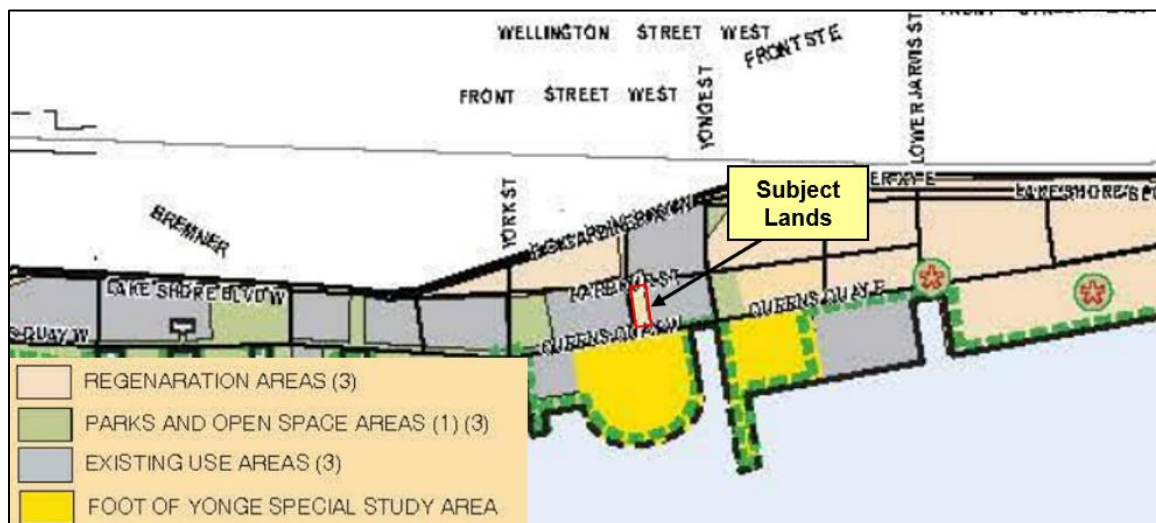
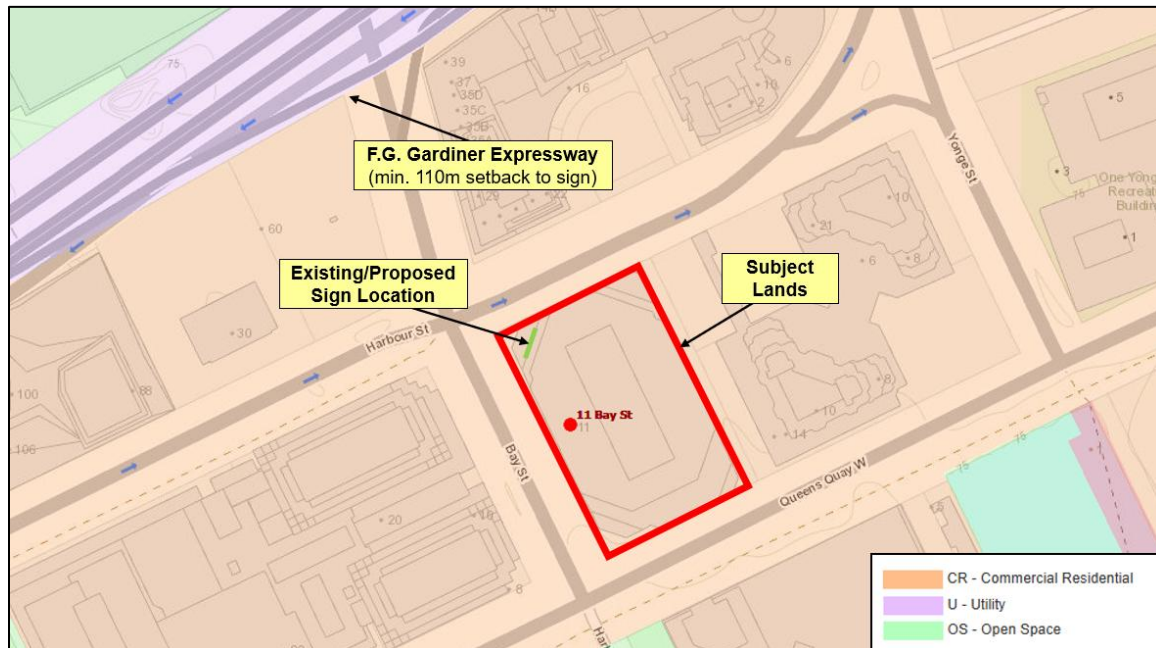


Figure 3: Central Waterfront Secondary Area Plan Map E - Land Use Plan (excerpt)



As seen in Figure 4, the subject lands are identified within the Commercial Residential ("CR") Sign District, and faces the Utility ("U") Sign District to the north, applicable to the Gardiner Expressway corridor.

Figure 4: City of Toronto SignView mapping (excerpt)



EXISTING SIGNAGE

An internally-illuminated first-party wall sign with static copy is currently installed on the northwest building façade of the Westin Harbour Castle Convention Centre, which faces the intersection of Bay Street and Harbour Street at a 45-degree angle (Figure 5, Figure 6). The sign is located on the second storey above the main entrance, which is stepped back from the first storey facing the intersection by approximately 5.5 metres.

The sign is comprised of three (3) separate sign faces, which together provide an aggregate display area of approximately 46.85 square metres (12.80m x 3.66m). The existing sign has been installed for over 20 years, and it is our understanding that there are no significant impacts known to adjacent land uses.

Figure 5: View of existing sign on northwest building façade, facing southeast

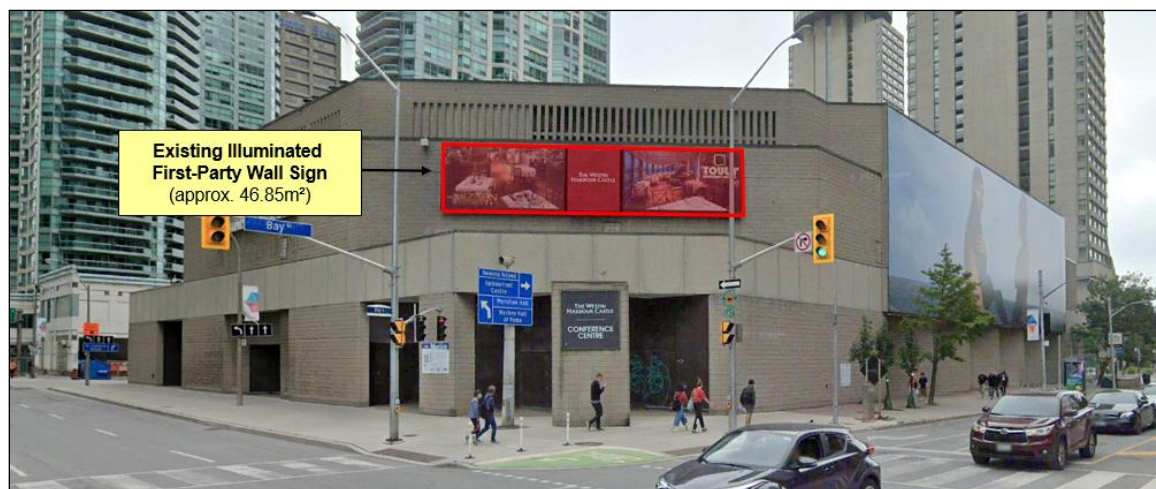
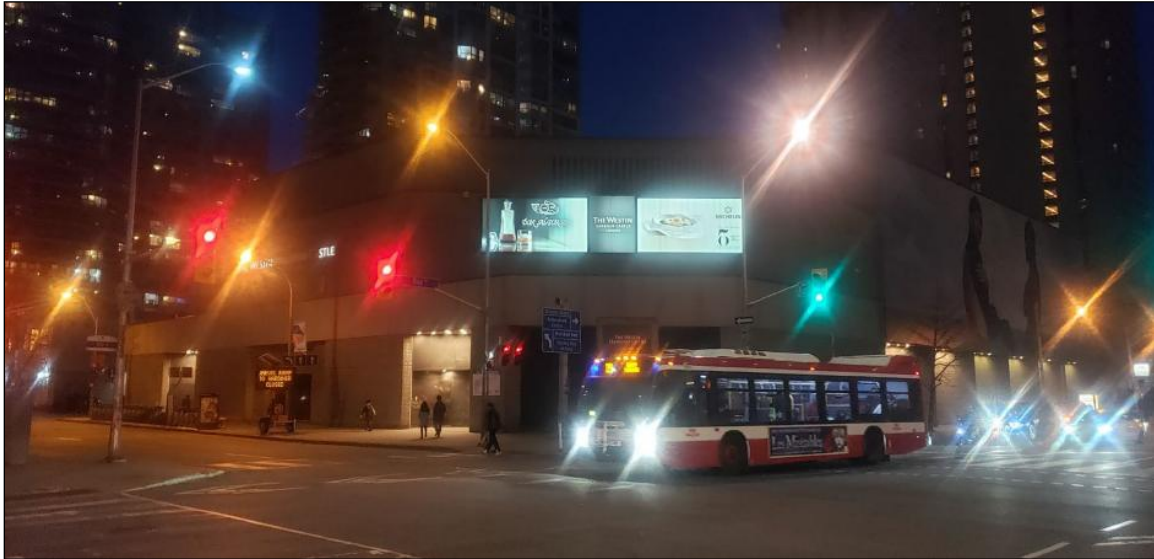


Figure 6: Existing signage illumination, facing southeast (from Media Resources International)



The existing sign is located approximately 110 metres from the closest segment of the F.G. Gardiner Expressway north of the subject lands (Figure 7).

Figure 7: View from the F.G. Gardiner Expressway, facing southeast



There are also several first-party signs with internal illumination that are immediately adjacent to the travelled portions of the Expressway (Figure 8).

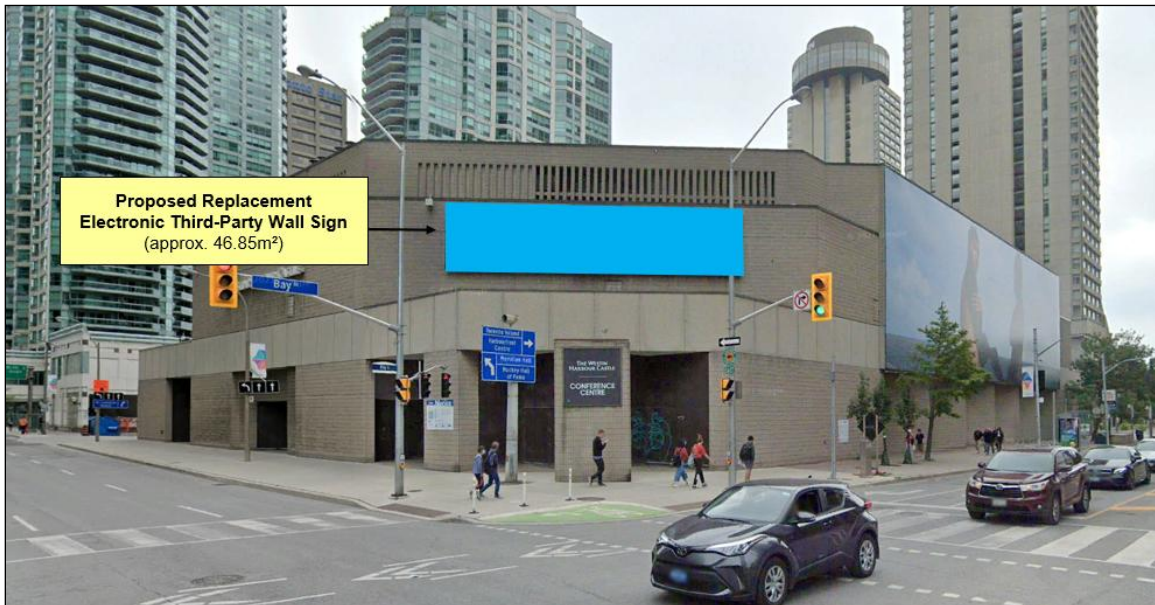
Figure 8: Example of first-party illuminated signage immediately adjacent to the Expressway corridor



PROPOSAL

The proposal is to remove and replace the existing illuminated wall sign with a third-party electronic static copy sign in the same location on the northwest building façade. The replacement sign is proposed to match the dimensions of the existing sign (Figure 9). For details, please refer to the enclosed Structural drawings.

Figure 9: Proposed replacement sign on northwest building façade, facing southeast



REQUESTED VARIANCES

As identified by the PPR Examiner's Notice dated July 17, 2024 (24 147172 ZPR 00 ZR), the following relief from the City's Sign By-law is required to facilitate the proposal:

1. **§694-15A:** Permit a third-party wall sign with electronic static copy, whereas the CR Sign District otherwise does not expressly permit third-party wall signs to be erected with electronic static copy; and
2. **§694-24A(3):** Permit a third-party sign to be erected approximately 110 metres from the F.G. Gardiner Expressway, whereas a distance of 400 metres is otherwise required.

ANALYSIS

In accordance with §694-30A of the City of Toronto Sign By-law, the following provides information to establish that the proposed sign meets all the specific criteria for evaluating third-party sign variance applications:

694-30A(1) Belong to a sign class permitted in the sign district where the premises is located	Third-party wall signs are permitted within the CR Sign District, as per §694-25B.
694-30A(2) In case of a third party sign(s), be of a sign type that is permitted in the Sign district where the premises is located	The Sign By-law was recently amended by Council on April 17, 2024 (Item 2024.PH11.6). Criterion 2 is no longer applicable, and the subsequent criterion are to be renumbered through a future housekeeping amendment to the Sign By-law.
694-30A(3) Be compatible with the development of the Premises and surrounding area	The subject lands are located within the Commercial Residential Sign District, where third-party wall signs are permitted. The proposed sign is generally a like-for-like replacement to the existing wall sign on the northwest façade in terms of size, location, and illumination, which has been installed for over 20 years with no known compatibility concerns or impacts to adjacent lands. The adjacent intersection of Bay and Harbour Streets is a major intersection within the downtown core and is therefore proposed in an appropriate location to consider third-party advertising for its visibility. Electronic copy is proposed to provide for a more modern method of copy change, and is not anticipated to result in undue impacts to nearby private or public lands including the Gardiner Expressway in part due to the proposed technology as outlined in the Lighting Analysis enclosed with this submission.
694-30A(4) Support the Official Plan objectives for the Premises and surrounding area	The subject lands are designated Mixed Use Areas by the OP and the Central Waterfront Secondary Plan ("SP"). The policies for Regeneration Areas provides general guidance for future mixed-use redevelopment (OP s. 4.7). The proposed replacement sign on the existing building therefore does not impede the goals and objectives of the OP or SP, which are to be implemented through future redevelopment.

	It is further noted that replacing the existing illuminated sign with a third-party electronic sign does not impede the achievement of the City's stated goals and policies as it relates to creating a comfortable, vibrant, and safe public realm. As detailed in the enclosed Lighting Analysis, the proposed sign would operate with a reduce illumination value than that of the existing sign, thereby contributing to a reduction of overall artificial ambient light within the immediate area. The message display length is proposed in accordance with the requirements of §694-14I(1), thereby limiting potential distraction impacts. Lands within the immediate area of the proposed replacement sign are currently within view of the existing internally-illuminated signage on the subject lands, which has not impeded the area's function as a mixed-use district, being developed with commercial, residential, and office uses in stand-alone and mixed-use forms. As described, the proposed sign is generally a like-for-like replacement for the existing signage on the subject lands (in terms of size, illumination, and location). Therefore, the proposal to replace the copy type and method would have a negligible effect on the overall function of the area and would not interfere with the overall goals and objectives of the OP. Prior to comprehensive redevelopment of the subject lands, as envisioned by OP and SP policies, it is appropriate to consider interim third-party signage on the existing building that would be subject to the City's Third-Party Sign Tax.
694-30A(5) Not adversely affect adjacent premises	The enclosed Lighting Analysis assessed the existing and proposed sign illumination, and its impacts upon nearby land uses. The existing sign illumination operates at 200 nits during the nighttime hours, and has been installed for over 20 years. The proposed electronic sign is to be installed in the same location and orientation as the existing sign, which does not directly face any existing buildings or structures, and is proposed to operate with a maximum value of 150 nits during the nighttime hours, further limiting light trespass nearby properties. It is also relevant to note that the ambient light conditions during nighttime hours is high in the immediate area of this intersection. With respect to the residential mixed-use development at the northeast intersection of Bay and Harbour Streets, the Lighting Analysis concludes that the proposed copy technology will result in, <i>"no light impact ... meaning any residential zones in those areas will not be of concern."</i> The proposed digital display is therefore anticipated to improve upon the existing condition as it relates to illumination impacts to the residential units at the northeast corner of Bay and Harbour Streets. The proposed sign is to be equipped with SITELINE technology, as described by the enclosed Lighting Analysis. The proposed copy type allows for the sign's display to be adjusted and provide for a "blackened" viewing affect to specified areas. In this instance, the proposed sign is to be designed and operated to

	provide for a blackened affect to the residential lands to the northeast (blackening at -35° viewing angle), and the Gardiner Expressway, for which the majority travelled portion of the highway is setback approximately 150 metres. Site-specific area restriction §694-24A(3) prohibits third-party signs to be installed within 400 metres of the Gardiner Expressway between Strachan and Booth Avenues. The proposed sign is located approximately 130 metres to the nearest limit of the Gardiner Expressway to the north. It is noted that there are multiple buildings along Harbour Street (between York and Bay Streets) that block drivers' view of the proposed sign from the Expressway for drivers travelling westbound. It is acknowledged that the proposed sign may be visible to traffic travelling eastbound on the Expressway, consistent with the existing illuminated sign; however, the visibility is limited due to the existing/proposed size and distance to the Expressway (Figure 7), in addition to the proposed SITELINE technology. Further, the decreased illumination levels of the replacement sign would decrease the overall amount ambient light in the area visible from the Expressway. The Lighting Analysis states, <i>"the parameters of a VQE 16.67mm Siteline Display running at 100 NITS would have a approximate impact of 0.097 Lux, compared to the 0.27 Lux of the existing display, this would be a decrease of 36%."</i> The proposal would therefore have a negligible impact to vehicular traffic on the Expressway from an illumination perspective as it proposes to decrease the overall ambient light from the Bay and Harbour intersection. With respect to potential distraction, the sign is also proposed to be installed with an ambient light monitor to automatically adjust the sign's brightness as outdoor conditions change throughout operating hours to prevent excess illumination. Messages will be displayed for no less than 10 seconds, in accordance with the requirements of §694-14I(1). It is noted that an application for site plan approval for the lands currently used as a parking lot at the northwest corner of Bay and Harbour Streets was deemed complete by Staff in 2019, and resubmission materials were provided in 2020. The application proposed a high-rise mixed-use residential development. At the time of this submission, no further updates to the application are known and notice of approval has not been issued. Notwithstanding, when comparing the existing sign illumination with the proposed, there is no substantial difference anticipated in the impact to the lands. As the sign is proposed to generally be a like-for-like replacement of the existing internally-illuminated sign, there are no undue impacts anticipated to public or private lands within the vicinity. The proposed sign does not face parks or open space lands.
694-30A(6) Not adversely affect public	The proposed sign will be designed and installed by a professional sign company in accordance with the Ontario Building Code, and as such, no undue issues related to public

safety, including traffic and pedestrian safety.	safety are anticipated. Further, the existing/proposed sign location has limited visibility to pedestrians utilising the sidewalks immediately adjacent to the building due to its placement on the second storey, which is set back from the ground floor building line. The proposed sign is to contain electronic static copy oriented to be visible to road users travelling south and east on Bay Street and Harbour Street respectively. The sign will operate in accordance with the applicable provisions of the Sign By-law, including message display length [§694-14I(1)], and will not operate between the hours of 11:00pm and 7:00am [§694-18C(4)]. Further, the sign is proposed to operate at a maximum of 150 nits while in operation during nighttime hours, which is 50% of the maximum luminescence permitted by §694-18E(5). As per the enclosed Lighting Analysis, the existing internally-illuminated sign luminescence was measured at a greater value (200 nits) during nighttime hours.
694-30A(7) Not be a sign prohibited by section 694-15B.	The proposed sign type is not a type prohibited by §694-15B.
694-30A(8) Not alter the character of the Premises or surrounding area.	It is our opinion that the proposed sign would not alter the character of the premises or surrounding area. The replacement sign is proposed to be located in the same location as the existing internally-illuminated sign, and is proposed to match the existing dimensions. The proposal to replace the copy type and display method of the existing sign would therefore be negligible to the overall character of the area.
694-30A(9) Not be, in the opinion of the decision maker, contrary to the public interest.	The purpose of the Sign By-law is to minimize visual clutter and ensure advertising does not interfere with public safety. It is our opinion that the proposed sign will not be a unique precedent in this area and will not negatively impact the character of the area or result in unreasonable signage clutter in the area. This is due in part to the proposed sign generally being a like-for-like replacement of the existing sign in terms of location, size, and nighttime illumination. The proposed copy type and technology will allow for greater control over illumination levels and provide blackened viewing areas to limit impacts and distraction to nearby public and private lands. Further, should the proposed sign be approved, the sign will generate additional revenue for the City through the annual Third-Party Sign Tax.

SUBMISSION PACKAGE

The following materials are enclosed by digital submission:

- Completed Sign Variance application form;
- Owners consent letter;
- PPR Notice;

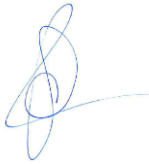
- Sign Survey Sketch;
- Structural Detail;
- Sign Data Sheet;
- Lighting Analysis; and
- Topographic Survey.

Note that the City's Third-Party Sign Variance fee of \$1,781.98 will be paid by credit card over the phone upon confirmation of receipt of this email submission.

We trust that the enclosed information is complete and satisfactory. Should you have any questions, or require further information, please do not hesitate to call.

Yours very truly,

ZELINKA PRIAMO LTD.

A handwritten signature in blue ink, consisting of a stylized 'D' followed by a horizontal line.

Dave Hannam, MCIP, RPP
Partner

cc: The Client (via email)

September 4, 2024

Re: Use of SITELINE digital display at 11 Bay Street, Toronto, ON

To whom it may concern,

Media Resources Inc. has been engaged by Target Outdoor to review and assess the lighting impact of the proposed digital billboard installation at 11 Bay Street. This document will describe the lighting impacts of our VISIONiQ SITELINE digital billboard, and our VISIONiQ Standard digital billboard in this specific application, and further commit a maximum luminance value of the display as observed from the nearby light-sensitive areas.

Background on Media Resources Digital Display Ambient-Aware Brightness Controls

During dusk, dawn, or cloudy days, the operation of the digital display according to ambient light readings is the ideal way to maintain a glare-free, light-trespass free image. Media Resources digital billboards are all equipped with factory-mounted dual photocell sensors that are redundant and capable of reading ambient brightness even if one unit suffers a hardware failure. The ambient brightness to output brightness response curves have been carefully developed into a standard to provide good readability on the display while keeping in line with the brightness of the overall visual context.

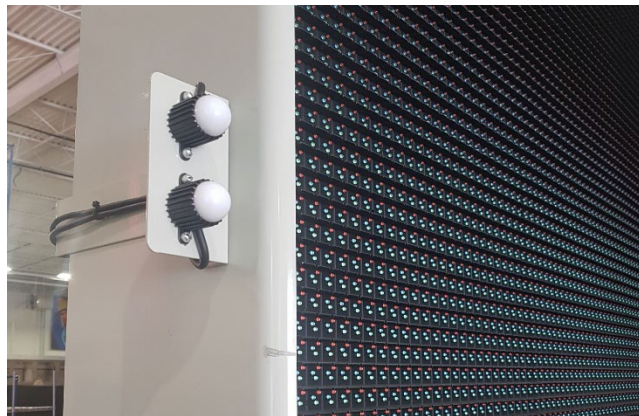


Figure 1. Media Resources standard - dual ambient brightness measuring photocells for hardware redundancy

During night-time, brightness control becomes critical as the digital billboards must be operated at a small percentage of its maximum brightness in order to avoid glare or light trespass. Media Resources endeavors to have the most comprehensive system of safeties and traceability for night-time brightness management. The proposed digital billboards are well equipped with modern brightness controls. Besides the redundant photocells above, a number of secondary fail-safes are also implemented including a communications watchdog (automatic reduction to night-time brightness in the event of a communication loss), and fallback to a location/season aware time-based schedule in the event of catastrophic photocell system failure. With these safety features in place, it becomes extremely unlikely for the digital billboard to operate at high brightness levels at night.

Additionally, the Media Resources Network Operations Centre can monitor brightness and recall brightness history for traceability. See Figure 2 and Figure 3 below on our internal control system for configuring brightness and recalling brightness history.

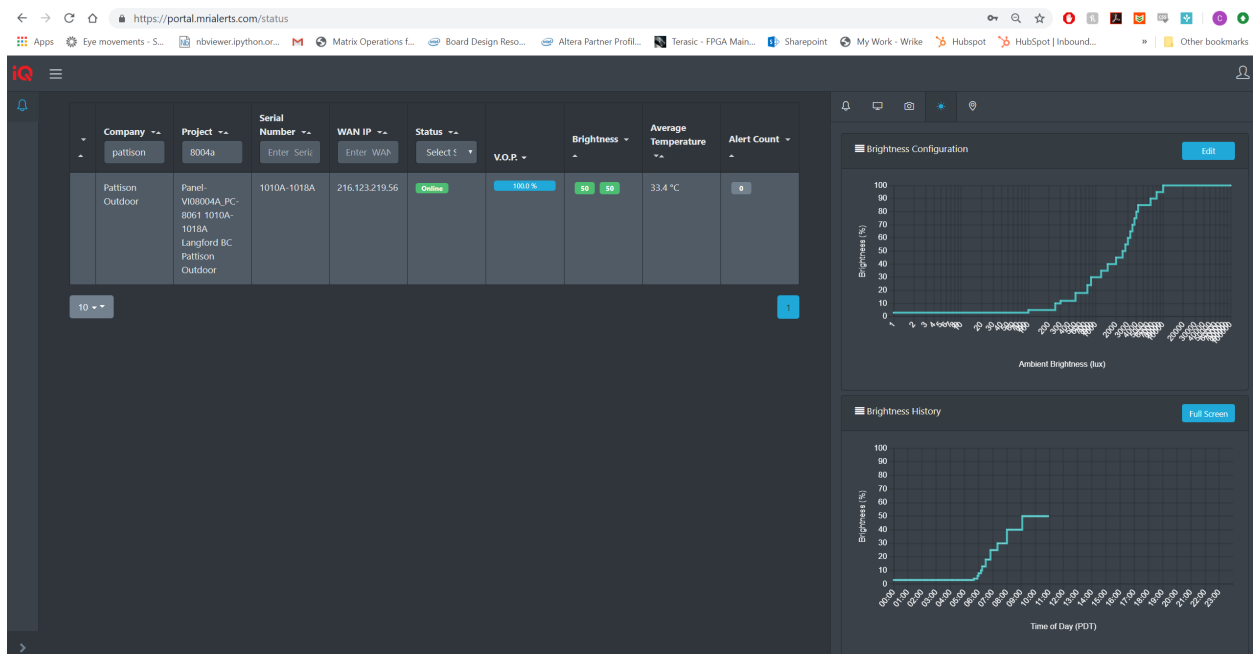


Figure 2. Media Resources web portal showing brightness configuration and history of the current day

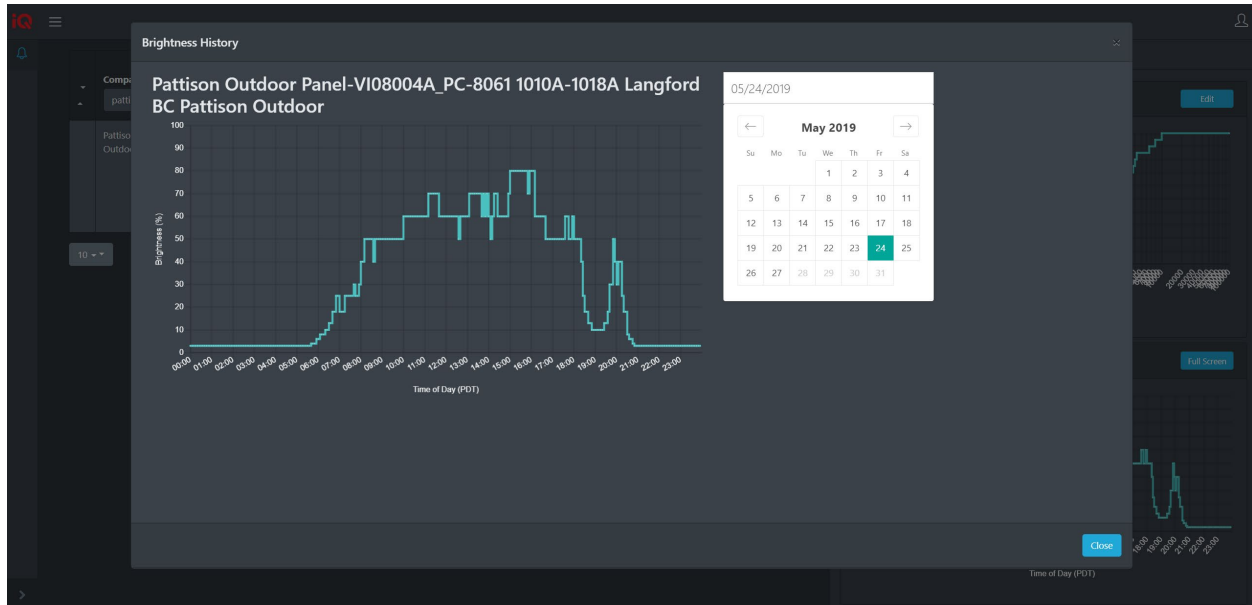


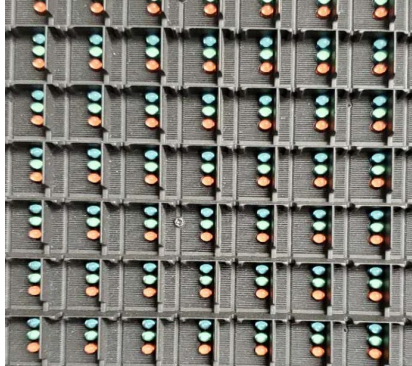
Figure 3. Media Resources web portal showing brightness history of any selected previous date. Brightness history data is logged indefinitely on Media Resources servers.

SITELINE and Site Specific Considerations

Media Resources Inc. invented the SITELINE product specifically to address the issues surrounding individual areas where light emission into nearby areas is undesirable.

The SITELINE system employs a patent-pending mechanical baffle system similar to luminaire baffles to eliminate all projection of light from the Light Emitting Diodes (LEDs) into a “protected region”. As a result, the protection is physical (See Figure 4 and 5) – reliable, permanent, and not the outcome of any programming or settings.

For a video reference of the effectiveness of the Media Resources SITELINE product, please see <https://vimeo.com/365082755>. In the many applications of SITELINE deployed across North America, I can affirm that we have never received a single brightness complaint after installation.



Figures 4 and 5. Close up photographs of SITELINE module face viewed from front (left) and from side (right). Note the red, green and blue diode lenses are directly visible from front direction but are obscured behind baffles viewed from the side.

Media Resources commits to the effectiveness of this light restriction technology when deployed at 11 Bay Street.

We have calculated the expected illuminance impact to surrounding areas of concern, shown in Figure 6, along with a table showing lux values at various distances and angles from the face of the display. Media Resources guarantees that the display will operate within 20% of illuminance impact calculated below. If approved and constructed, we can provide on-site lighting measurements to confirm correct installation and light restriction performance.

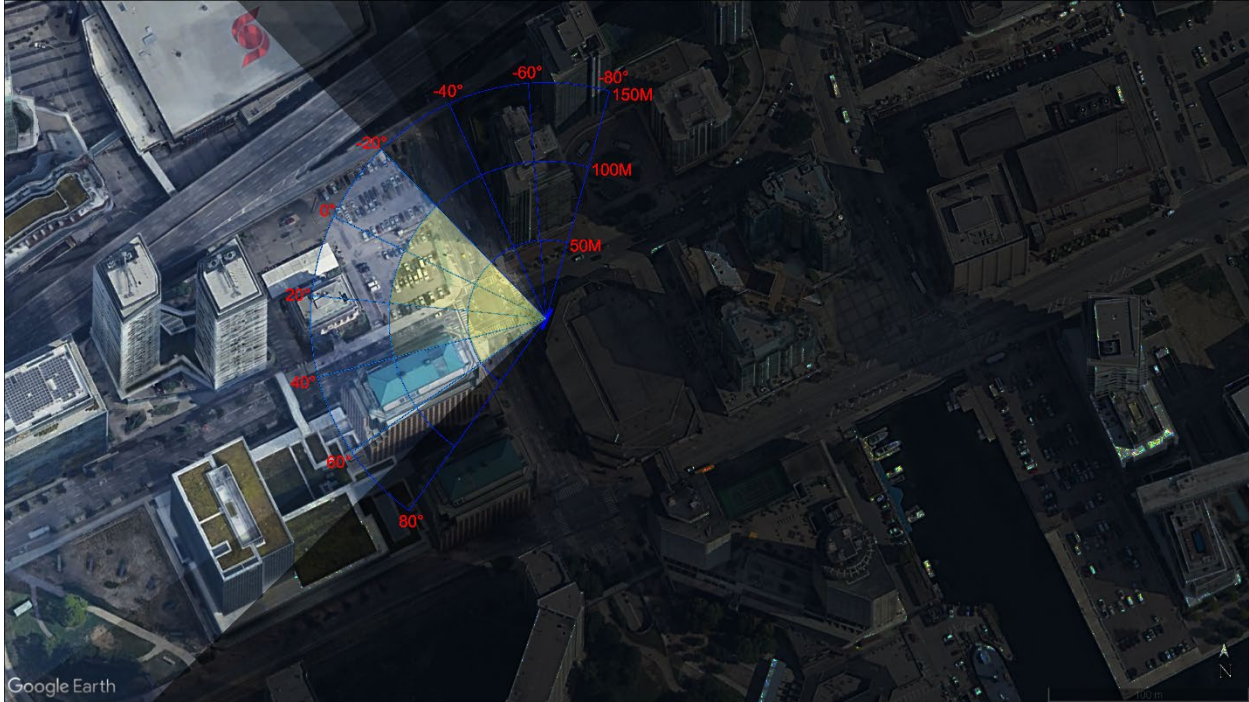


Figure 6. Site satellite photo overlay of distances and angles from proposed digital billboard site.

Site Calculations - VQE SITELINE 100 NITS 16.67mm Left Blocking									
	Measurement Angle								
Distance (M)	-80°	-60°	-40°	-20°	0°	20°	40°	60°	80°
50	0.000lux	0.014lux	0.030lux	1.723lux	2.116lux	2.031lux	1.528lux	0.690lux	0.000lux
100	0.000lux	0.003lux	0.008lux	0.470lux	0.550lux	0.523lux	0.387lux	0.171lux	0.000lux
150	0.000lux	0.001lux	0.003lux	0.214lux	0.247lux	0.234lux	0.172lux	0.076lux	0.000lux

Table 1. Site calculation in lux based on MRI VQE Sitrine Modules.

Field Ambient Light Measurements of Surrounding Areas

Media Resources conducted a set of field measurements on the different light sources around the proposed digital billboard at 11 Bay Street. The measurements were made using a AEMC Lightmeter Model CA813 on the evening of March 18th, 2024.

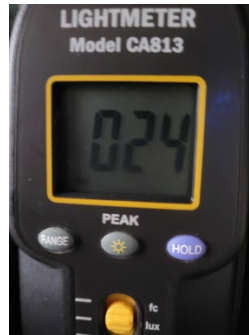


Figure 7. Photo from an example field measurement on the CA813

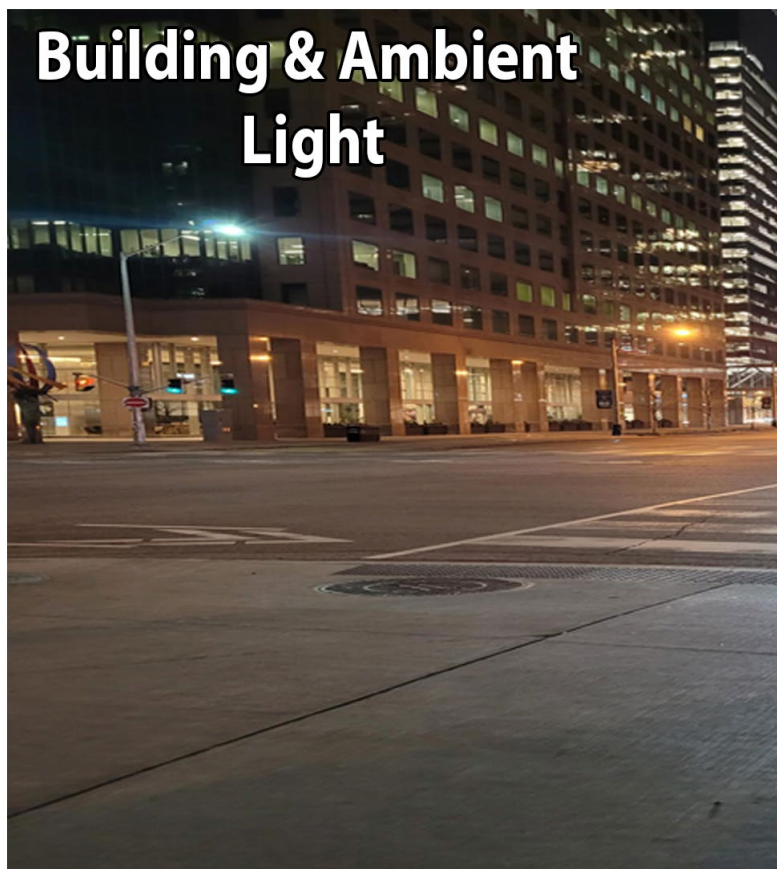


Figure 8. Photo of building and ambient light sources in the surrounding area of 11 Bay Street

Existing Display



Figure 9. Photo of existing display at 11 Bay Street



Figure 8. Photo of street light sources in the surrounding area of 11 Bay Street



Figure 8. Photo of common traffic headlights in the intersection area of 11 Bay Street

The table below shows the data we collected:

Measurement Taken	Ambient Lux Value
Building & Ambient Light	0.29
Existing Display	0.27
Streetlights	0.24
Headlights	0.87

The findings show that the average ambient lux value of the surrounding areas of 11 Bay Street is 0.41 Lux. If a digital display using the parameters of a VQE 16.67mm Sitaline Display running at 100 NITS would have a approximate impact of 0.097 Lux, compared to the 0.27 Lux of the existing display, this would be a decrease of 36%.



1-800-667-4554
1387 Cornwall Rd.
Oakville, ON L6J 7T5
mediaresources.com

Due to the use of VQE 16.67mm Siteline modules, the lux values on the Gardiner Expressway, approximately 150m away from the face of the display, shown in Figure 6, are estimated to be 0.24 lux on average during nighttime hours and 30.93 lux on average during daytime hours.

Also shown in Figure 6 is the blocking areas from using Media Resources Inc. SITELINE modules, this is shown by adding a blackened effect to the image to show areas that are below 0.3 lux, for this specific site, this effect starts after 150M and beyond 62 and -35 degrees on opposite sides, meaning all light / imagery from the sign will be completely blocked by SITELINE, resulting in no light impact in those areas, meaning any residential zones in those areas will not be of concern.

We are always committed to the responsible application of LED digital technology and are happy to engage with regulatory stakeholders at any time. Please feel free to contact us if you have any questions.

Sincerely,

Anthony Knight
Product Implementation Specialist
289-681-0035
aknight@mediaresources.com

March 12, 2024

City of Toronto
100 queen Street West
1st Floor, East Tower
Toronto, Ontario
M5N 2H2

Re: 11 Bay Street,
City of Toronto

The attached sketch dated March 04, 2024 was prepared by my office based on Registry records and field verification and is correct as of the date shown. This sketch is prepared to illustrate the locations as they relate to the regulations outlined in Chapter 694, Signs, General, of the City of Toronto Municipal Code.

Existing billboards:

- 1) Distances to existing static and digital billboards as shown on the attached sketch (5 billboards)
- 2) Distance to intersection:
 - a) Sign – 35m from intersection
 - b) Sign – 45m from intersection
 - c) Sign – 40m from intersection
 - d) Sign – 35m from intersection
- 3) Distance to Residentail 1270m
- 4) Distance to open space
 - a) Harbour Square park – 115m
 - b) Love park – 235m
- 5) Distance to IS zone 1300m
- 6) 38 meters distance to CR 6.0 (c6.0; r6.0) SS1 (x2116) zone
52 meters to CR 4.0 (c4.0; r2.5) SS1 (x2366) zone

Distances to existing billboards

1)	Existing Billboard	318m
2)	„ „	278m
3)	„ „	214m
4)	„ „	326m
5)	„ „	232m

Yours truly,
VLADIMIR DOSEN SURVEYING INC.



Vladimir Dosen, O.L.S., O.L.I.P.

SKETCH SHOWING EXISTING BILLBOARDS OF
11 BAY STREET
CITY OF TORONTO
NOT TO SCALE
VLADIMIR DOSEN SURVEYING O.L.S.



NO PERSON MAY COPY,REPRODUCE,DISTRIBUTE OR ALTER THIS
PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION
OF V.DOSEN O.L.S.

NOTE

THIS IS NOT A PLAN OF SURVEY
AND SHALL NOT BE USED FOR
MORTGAGE OR TRANSACTION
PURPOSES.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

THE FIELD WORK WAS COMPLETED ON THE
08th, DAY OF MARCH 2024

MARCH 08, 2024

DATE


VLADIMIR DOSEN, B.Sc.
ONTARIO LAND SURVEYOR

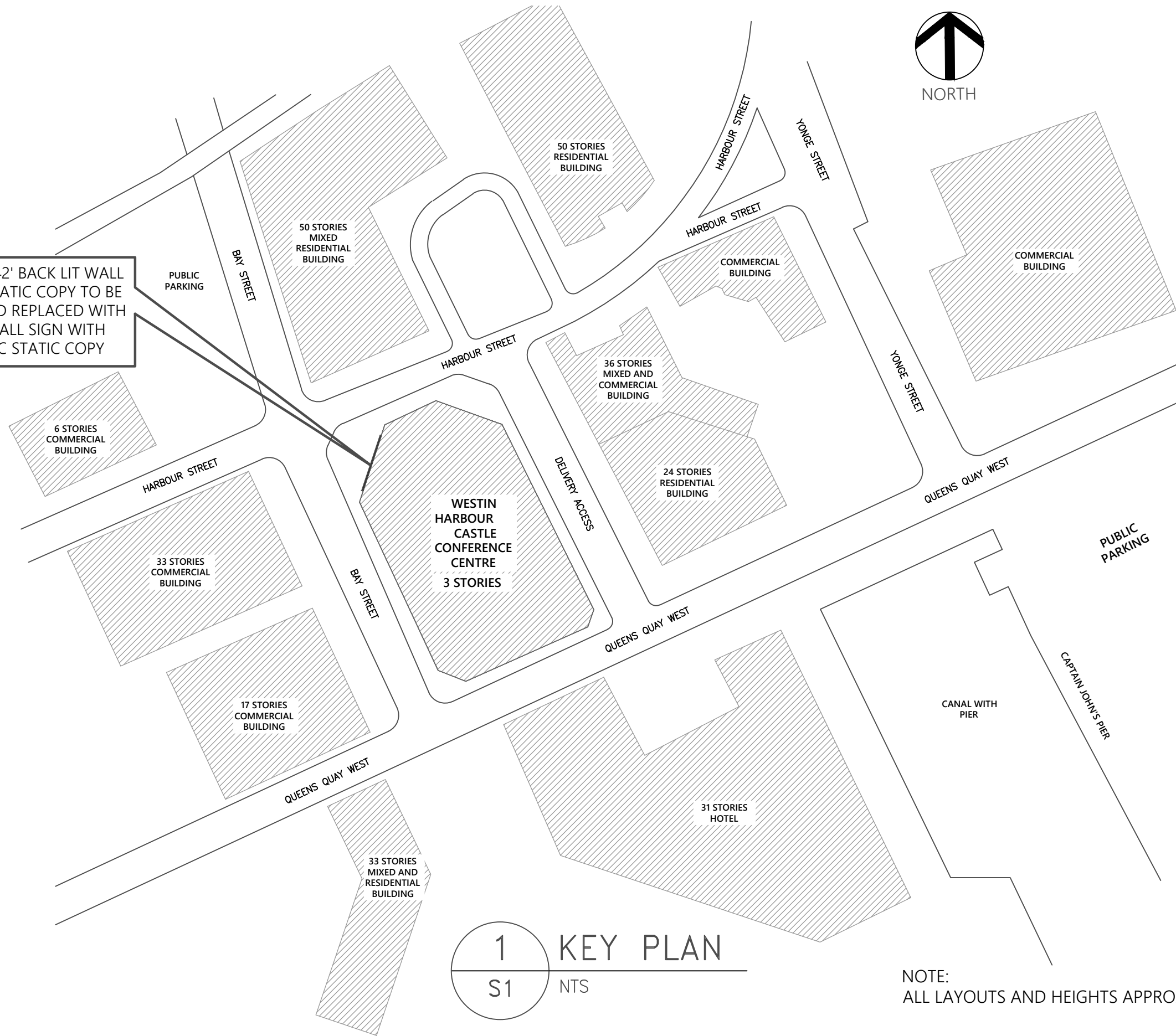
VLADIMIR DOSEN SURVEYING
ONTARIO LAND SURVEYORS

555 DAVISVILLE AVENUE
TORONTO , ONTARIO M4S 1J2
PHONE:(416) 527-0408 EMAIL: vladdosen@rogers.com

DRAWN BY: VD
CHECKED BY: VD

CAD FILE: 11 BAY ST
FILE:17-238
JOB No : 17497

EXISTING 12'x42' BACK LIT WALL SIGN WITH STATIC COPY TO BE REMOVED AND REPLACED WITH A 12'x42' WALL SIGN WITH ELECTRONIC STATIC COPY



1 KEY PLAN
S1 NTS

NOTE:
ALL LAYOUTS AND HEIGHTS APPROXIMATE

GENERAL NOTES

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DO NOT SCALE DRAWINGS.

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ALL CONSTRUCTION TO BE CARRIED OUT IN ACCORDANCE WITH ALL LOCAL CODES AND AUTHORITIES HAVING JURISDICTION.

DRAWING MUST HAVE LOCATION AND ENG. NO. FILLED IN TO BE VALID.

EXAMINER TO NOTIFY
ENGINEER OF ADDRESS:
SEAN HART, P.ENG.
C:416-209-8098
E:S.P.HART@HPMG.CA

1	APR./24		ISSUED FOR BLDG. PERMIT
No.	DATE	BY	DESCRIPTION

STAMP: MUST BE DIGITALLY SIGNED AND 3RD PARTY VERIFIED TO BE VALID

S. P. HART
2024-04-22
STRUCT.
PROVINCE OF ONTARIO

S.P.HART & ASSOCIATES LTD.
120 Carlton St. Suite 412
Toronto, Ontario M5A 4K2
C: (416) 209-8098
E: S.P.HART@HPMG.CA

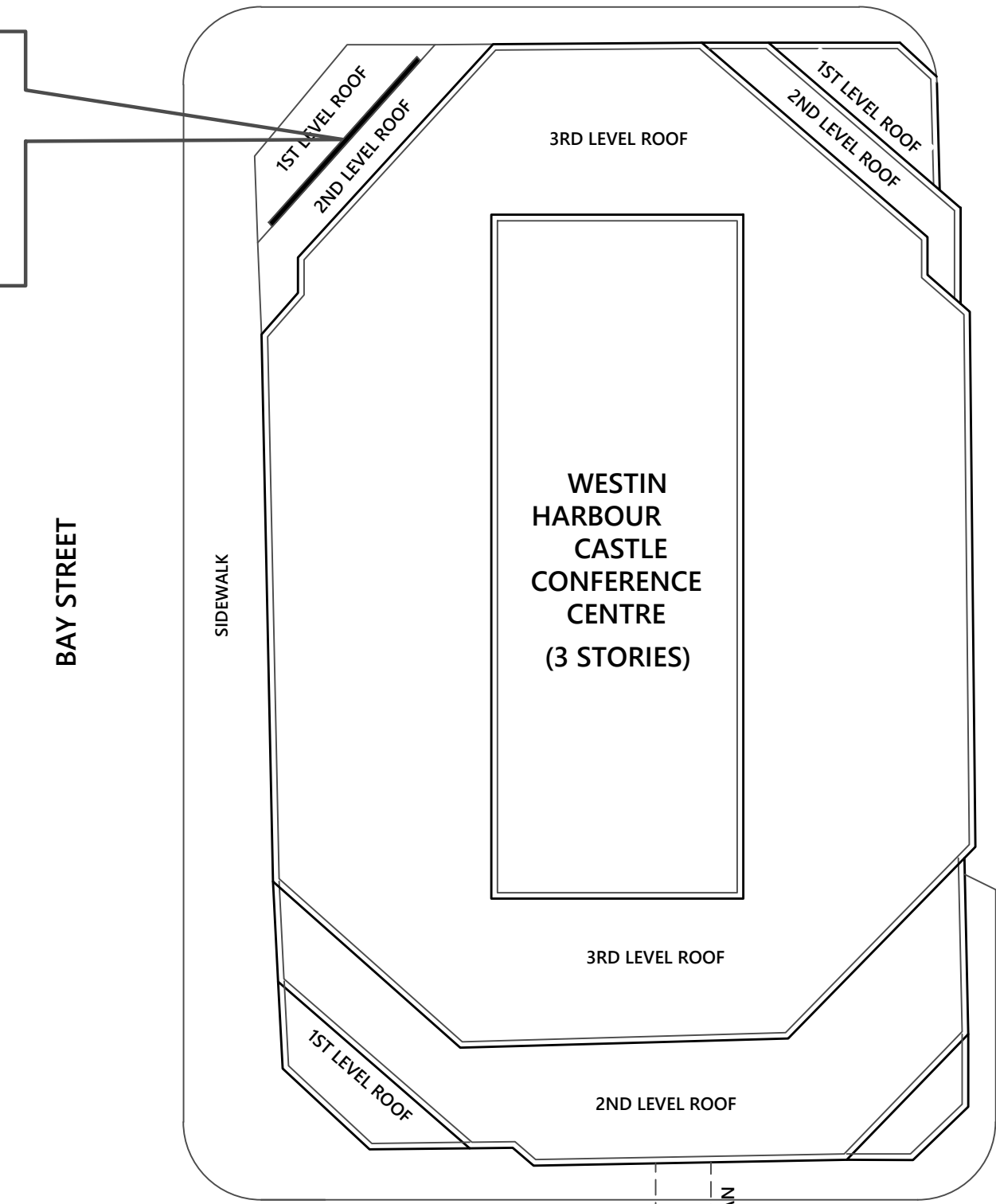
PROJECT:
12'-0"x42'-0" LED WALL MOUNT

LOCATION:
WESTIN HARBOUR CASTLE CONFERENCE CENTRE
11 Bay Street, Toronto, Ontario

DRAWING TITLE
12x42-LED-WALL-MOUNT-DISPLAY REPLACEMENT
KEYPLAN

DRAWN BY	ZS	DWG. No.	S1
DATE	MAR. 2024	OF	10
ENG. No. REQUIRED	24750		
SCALE:	AS NOTED		

EXISTING 12'x42' BACK LIT WALL SIGN WITH STATIC COPY TO BE REMOVED AND REPLACED WITH A 12'x42' WALL SIGN WITH ELECTRONIC STATIC COPY



1 ROOF PLAN
S2 NTS

QUEENS QUAY WEST

NOTE:
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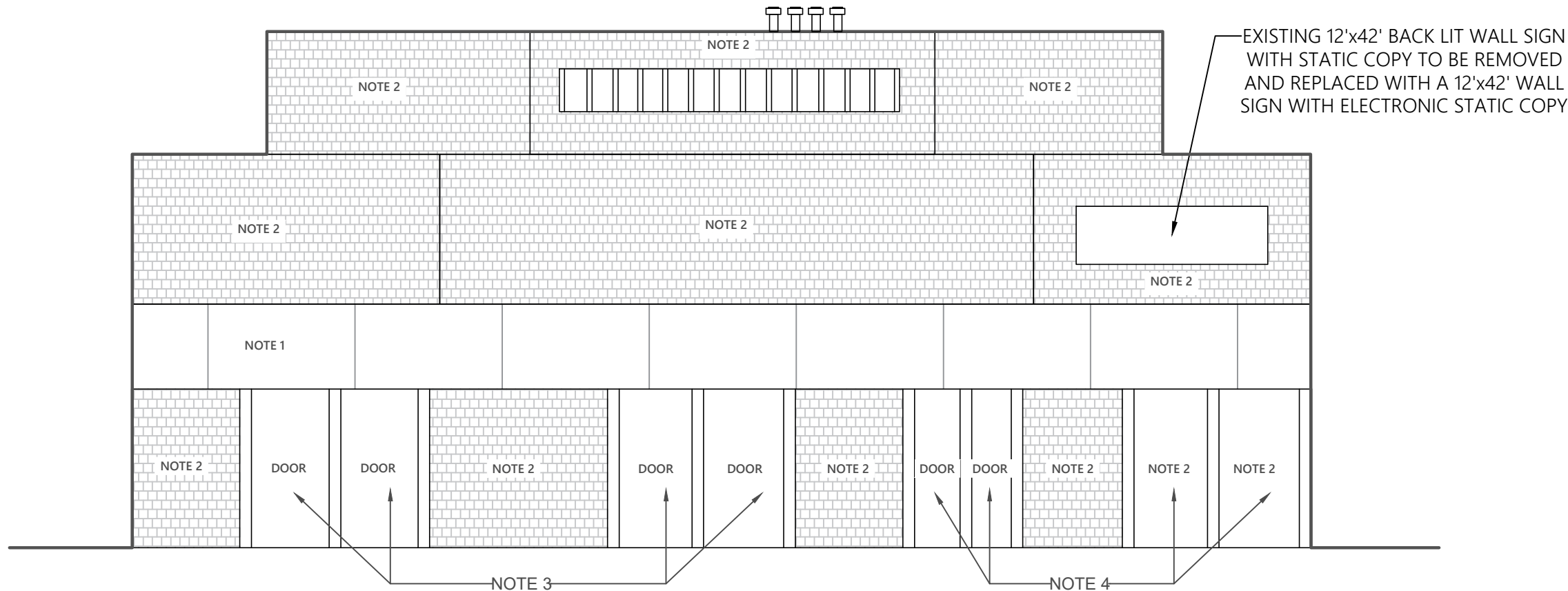
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Toronto, Ontario M5A 4K2
C: (416) 209-8098
E: S.P.HART@HPMG.CA

PROJECT:
12'-0"x42'-0" LED WALL MOUNT

LOCATION:
WESTIN HARBOUR CASTLE CONFERENCE CENTRE
11 Bay Street, Toronto, Ontario

DRAWING TITLE
**12x42-LED-WALL-MOUNT-DISPLAY REPLACEMENT
ROOF PLAN**

DRAWN BY	ZS	DWG. No.	S2 OF 10
DATE	MAR. 2024		
ENG. No. REQUIRED	24750		
SCALE:	AS NOTED		



- NOTES:
1. PRECAST CONCRETE PANELS (GREY)
 2. DECORATIVE SPLITBLOCK (GREY)
 3. METAL DOORS (CHOCOLATE BROWN)
 4. OPENINGS

1 NORTH ELEVATION
S3 NTS

NOTE:
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E:S.P.HART@HPMG.CA**

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S. P. HART
2024-04-22
STRUCT.

PROFESSIONAL ENGINEER
PROVINCE OF ONTARIO

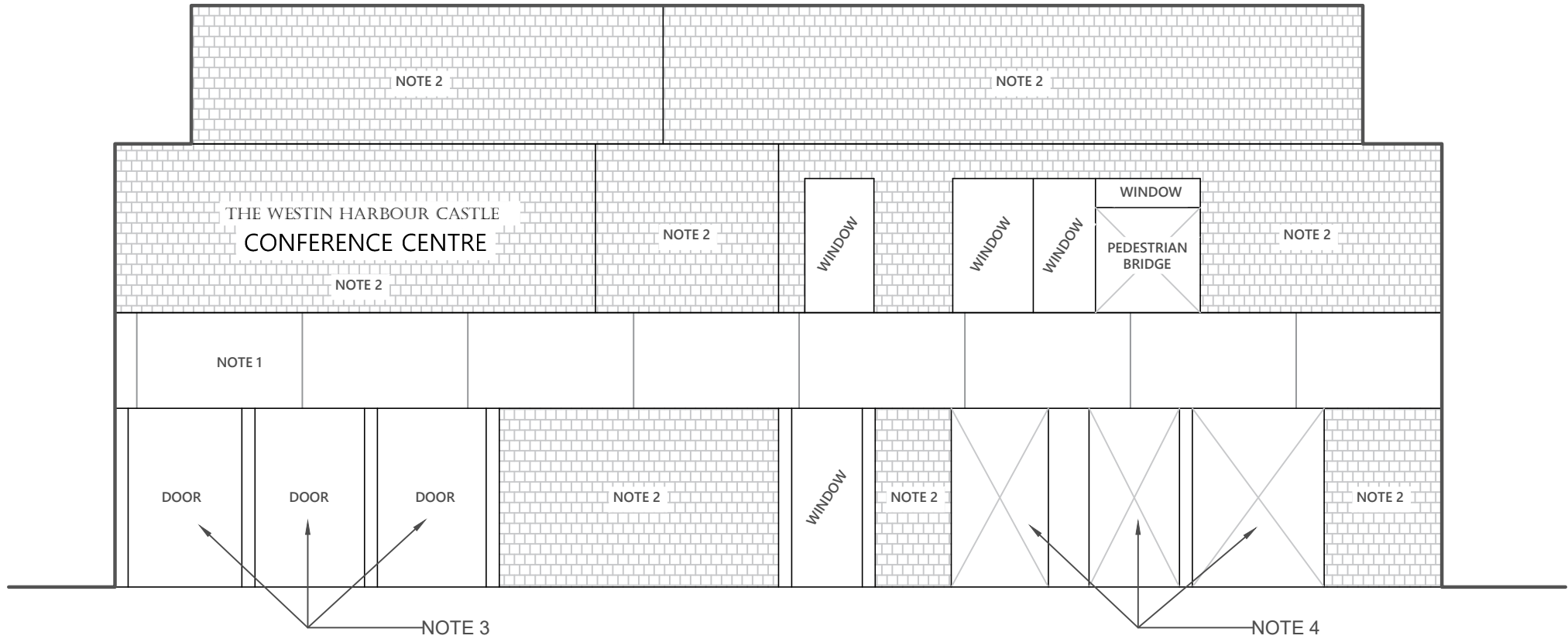
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120 Carlton St. Suite 412
Toronto, Ontario M5A 4K2
C: (416) 209-8098
E: S.P.HART@HPMG.CA

PROJECT:
12'-0"x42'-0" LED WALL MOUNT

LOCATION:
WESTIN HARBOUR CASTLE CONFERENCE CENTRE
11 Bay Street, Toronto, Ontario

DRAWING TITLE
**12x42-LED-WALL-MOUNT-DISPLAY REPLACEMENT
ELEVATION**

DRAWN BY	ZS	DWG. No.	S3
DATE	MAR. 2024	OF	10
ENG. No. REQUIRED	24750		
SCALE:	AS NOTED		



- NOTES:
1. PRECAST CONCRETE PANELS (GREY)
 2. DECORATIVE SPLITBLOCK (GREY)
 3. METAL DOORS (CHOCOLATE BROWN)
 4. OPENINGS

1 SOUTH ELEVATION
S4 NTS

NOTE:
ALL LAYOUTS AND HEIGHTS APPROXIMATE

GENERAL NOTES

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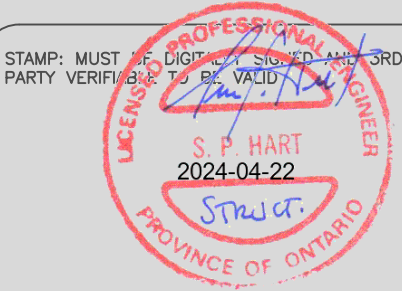
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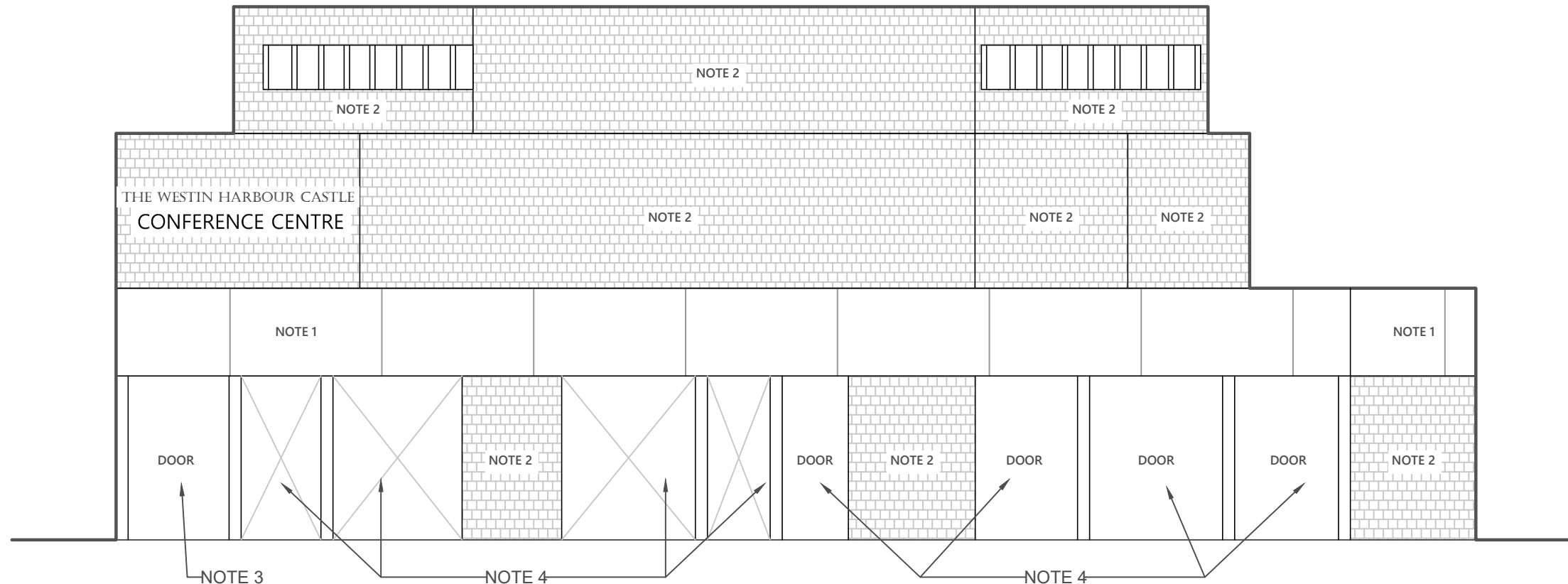
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120 Carlton St. Suite 412
Toronto, Ontario M5A 4K2
C: (416) 209-8098
E: S.P.HART@HPMG.CA

PROJECT:
12'-0"x42'-0" LED WALL MOUNT

LOCATION:
WESTIN HARBOUR CASTLE CONFERENCE CENTRE
11 Bay Street, Toronto, Ontario

DRAWING TITLE
**12x42-LED-WALL-MOUNT-DISPLAY REPLACEMENT
ELEVATION**

DRAWN BY	ZS	DWG. No.	S4
DATE	MAR. 2024	OF	10
ENG. No. REQUIRED	24750		
SCALE:	AS NOTED		



- NOTES:
1. PRECAST CONCRETE PANELS (GREY)
 2. DECORATIVE SPLITBLOCK (GREY)
 3. METAL DOORS (CHOCOLATE BROWN)
 4. OPENINGS

1 EAST ELEVATION
S5 NTS

NOTE:
ALL LAYOUTS AND HEIGHTS APPROXIMATE

GENERAL NOTES

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C:416-209-8098
E:S.P.HART@HPMG.CA**

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No.	DATE	BY	DESCRIPTION

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2024-04-22
Struct.
PROVINCE OF ONTARIO

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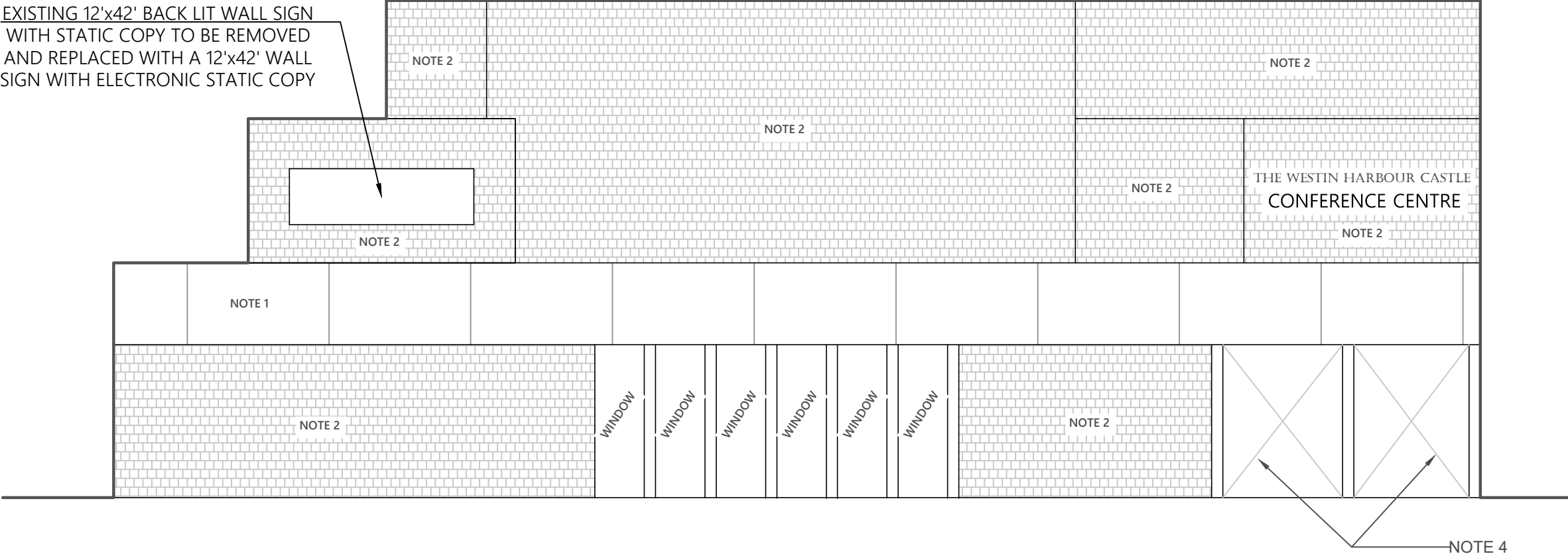
PROJECT:
12'-0"x42'-0" LED WALL MOUNT

LOCATION:
WESTIN HARBOUR CASTLE CONFERENCE CENTRE
11 Bay Street, Toronto, Ontario

DRAWING TITLE
**12x42-LED-WALL-MOUNT-DISPLAY REPLACEMENT
ELEVATION**

DRAWN BY	ZS	DWG. No.	S5 OF 10
DATE	MAR. 2024		
ENG. No. REQUIRED	24750		
SCALE:	AS NOTED		

EXISTING 12'x42' BACK LIT WALL SIGN
WITH STATIC COPY TO BE REMOVED
AND REPLACED WITH A 12'x42' WALL
SIGN WITH ELECTRONIC STATIC COPY



- NOTES:
1. PRECAST CONCRETE PANELS (GREY)
 2. DECORATIVE SPLITBLOCK (GREY)
 3. METAL DOORS (CHOCOLATE BROWN)
 4. OPENINGS

1 WEST ELEVATION
S6 NTS

NOTE:
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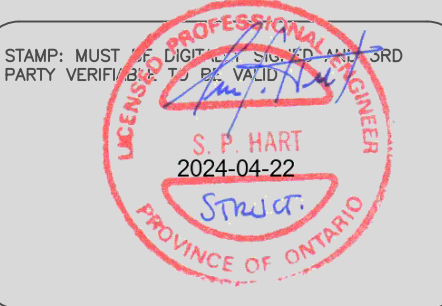
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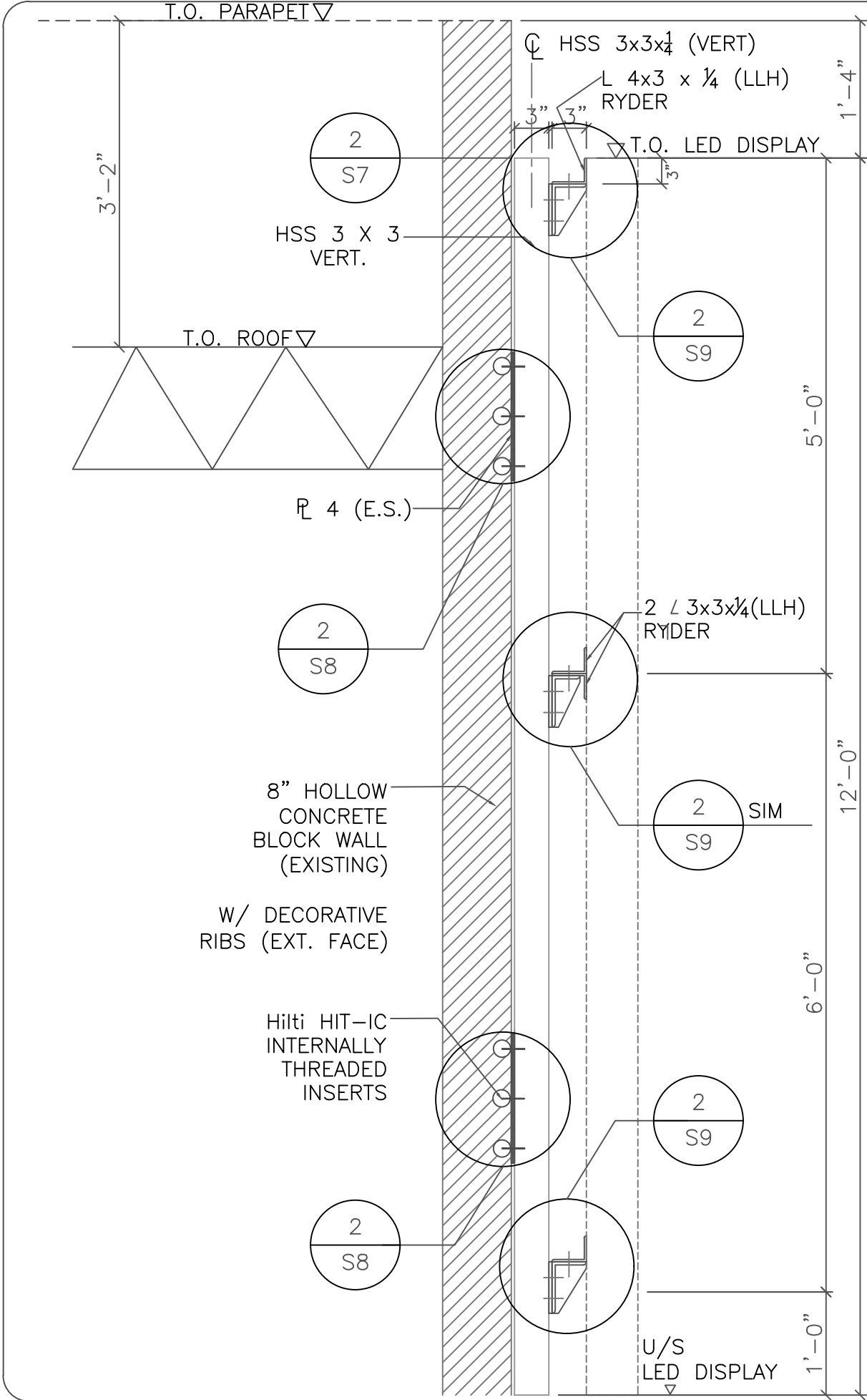
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E: S.P.HART@HPMG.CA

PROJECT:
12'-0"x42'-0" LED WALL MOUNT

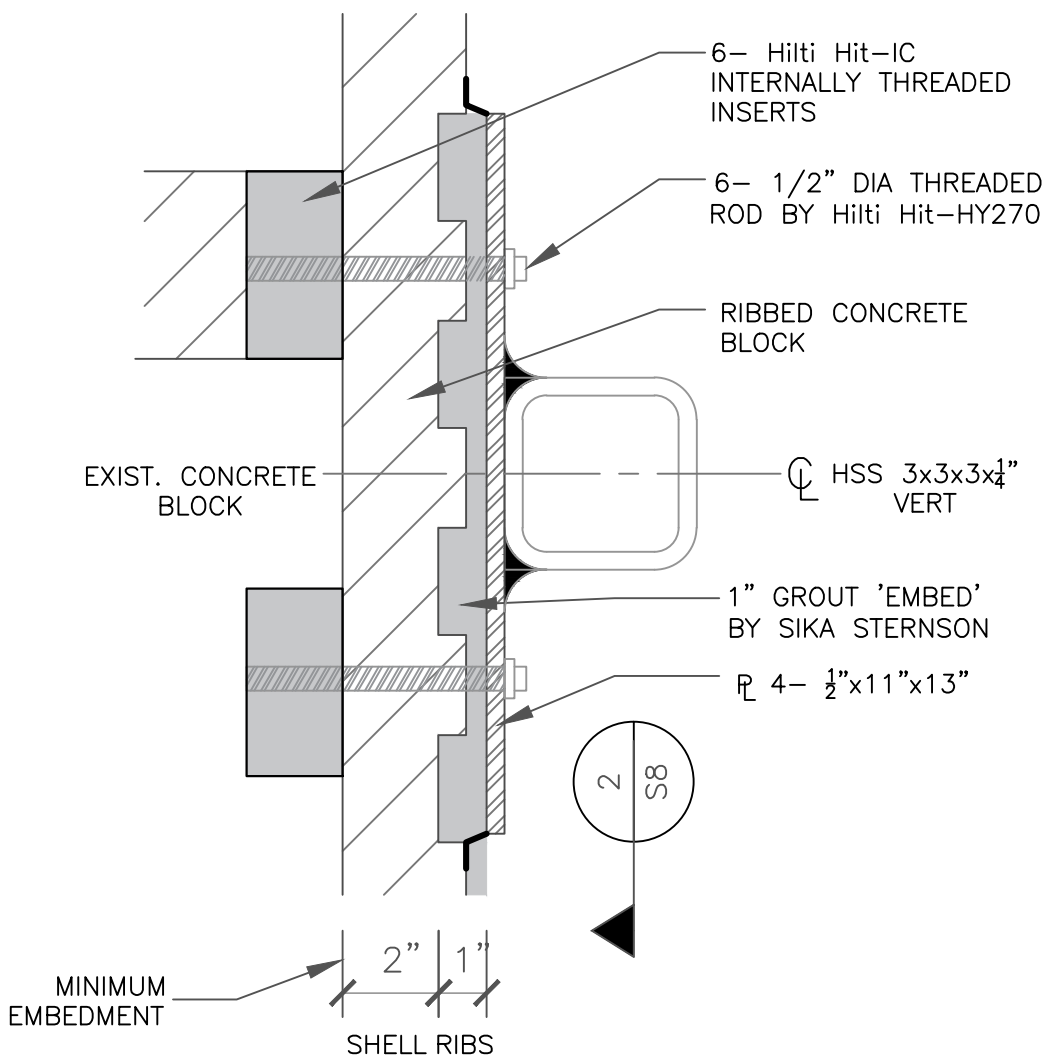
LOCATION:
WESTIN HARBOUR CASTLE CONFERENCE CENTRE
11 Bay Street, Toronto, Ontario

DRAWING TITLE
**12x42-LED-WALL-MOUNT-DISPLAY REPLACEMENT
ELEVATION**

DRAWN BY	ZS	DWG. No.	S6
DATE	MAR. 2024	OF	10
ENG. No. REQUIRED	24750		
SCALE:	AS NOTED		



1 SECTION AT WALL
SCALE 3/4"=1'-0"



2 DETAIL-WALL CONN'N
SCALE 3"=1'-0"

NOTE:
ALL EXISTING DIMENSIONS APPROXIMATE

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ENGINEER OF ADDRESS:
SEAN HART, P.ENG.
C:416-209-8098
E:S.P.HART@HPMG.CA

1	APR./24		ISSUED FOR BLDG. PERMIT
No.	DATE	BY	DESCRIPTION

STAMP: MUST BE DIGITALLY SIGNED AND 3RD PARTY VERIFIED TO BE VALID
S.P. HART
2024-04-22
STRUCT.
PROVINCE OF ONTARIO

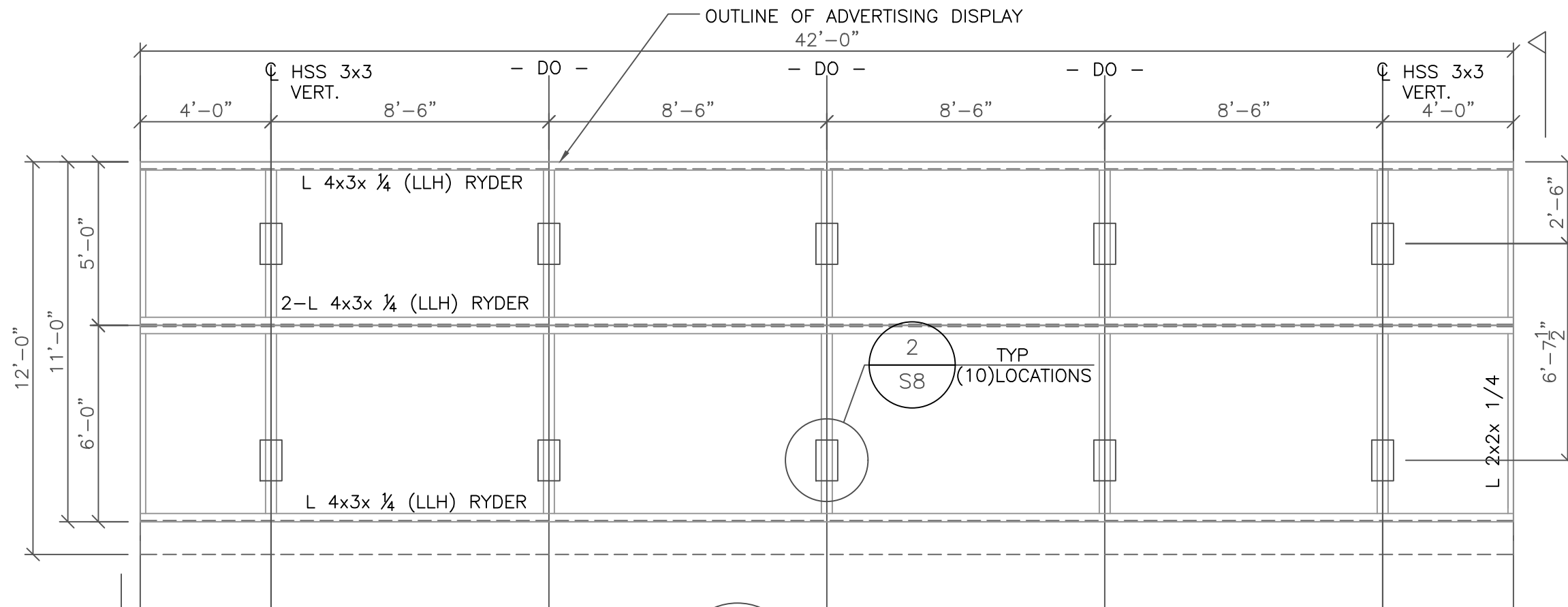
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PROJECT:
12'-0"x42'-0" LED WALL MOUNT

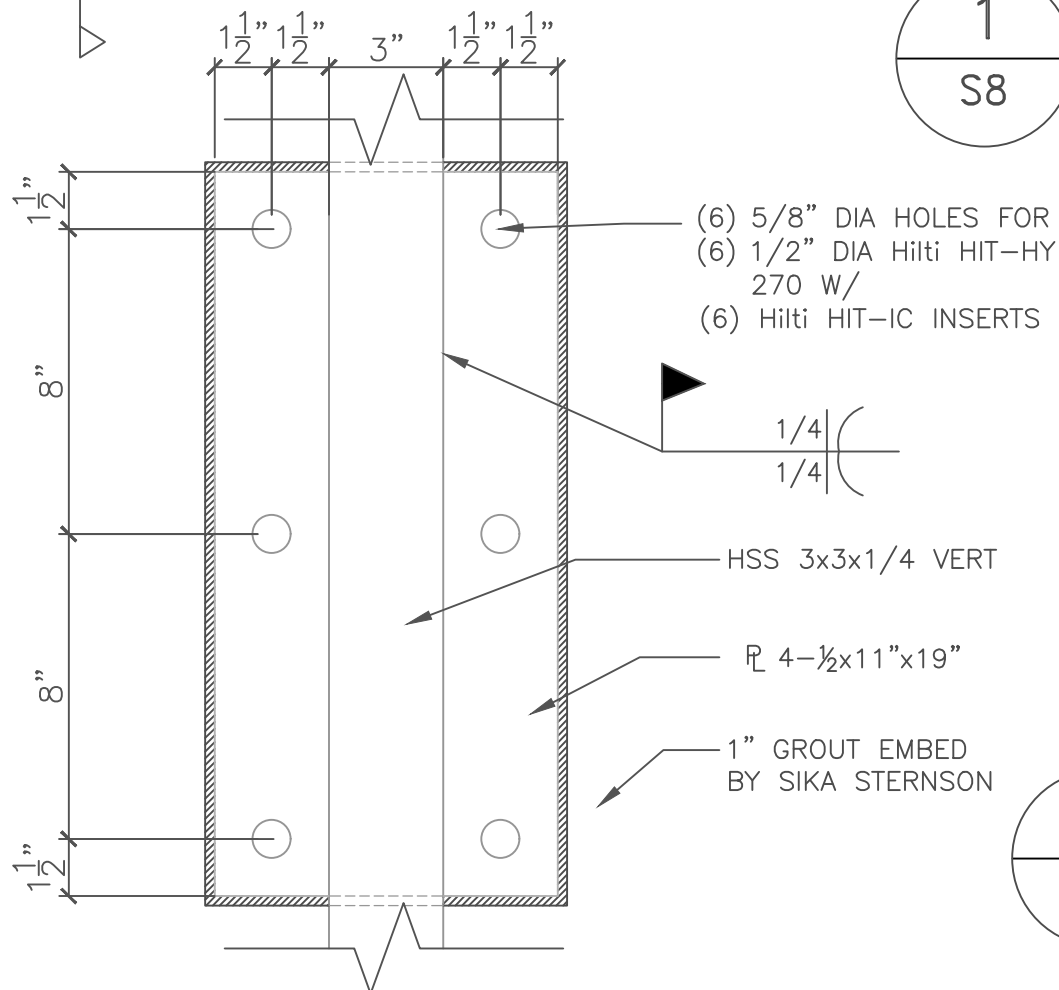
LOCATION:
WESTIN HARBOUR CASTLE CONFERENCE CENTRE
11 Bay Street, Toronto, Ontario

DRAWING TITLE
12x42-LED-WALL-MOUNT-DISPLAY REPLACEMENT
DETAILS

DRAWN BY	ZS	DWG. No.	S7
DATE	MAR. 2024	OF	10
ENG. No. REQUIRED	24750		
SCALE:	AS NOTED		



1 ELEVATION - LED FRAME
S8 SCALE 1/4"=1'-0"



2 DETAIL 4 (10 REQ'D)
S8 SCALE 2"=1'-0"

GENERAL NOTES

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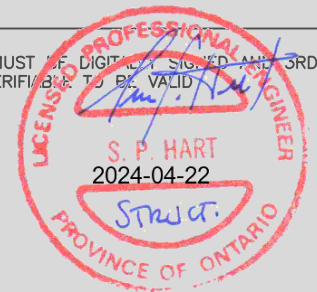
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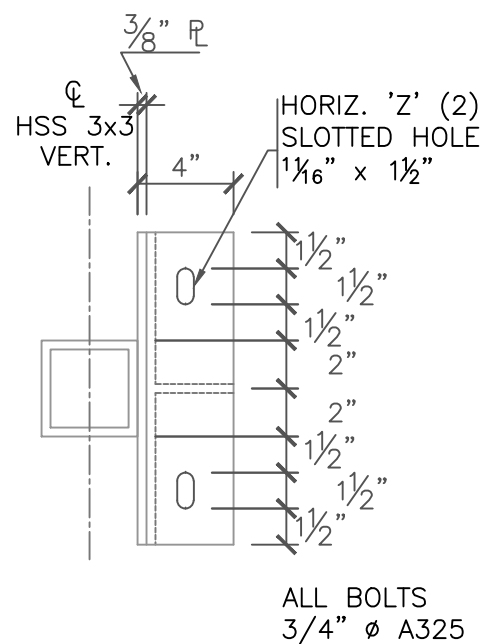
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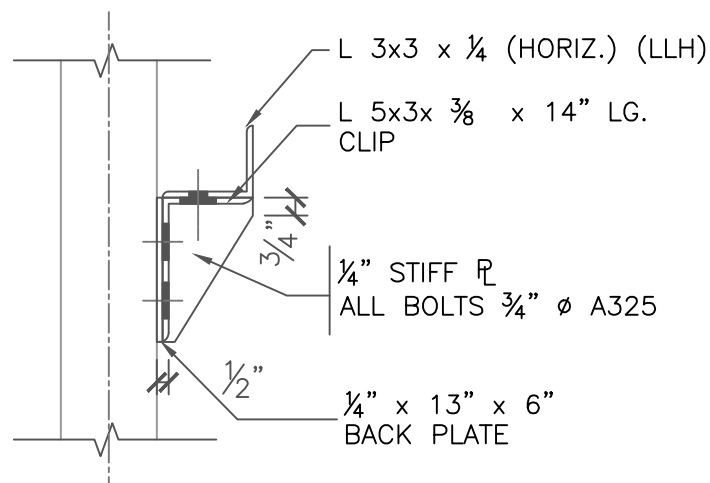
LOCATION:
WESTIN HARBOUR CASTLE CONFERENCE CENTRE
11 Bay Street, Toronto, Ontario

DRAWING TITLE
**12x42-LED-WALL-MOUNT-DISPLAY REPLACEMENT
DETAILS**

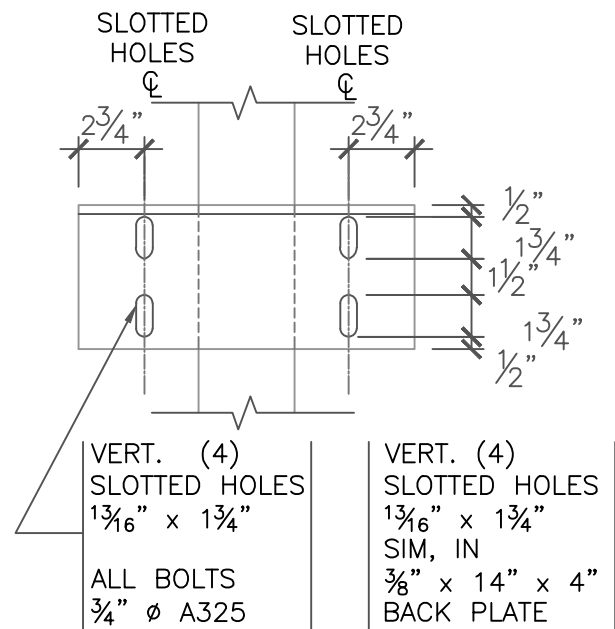
DRAWN BY	ZS	DWG. No.	S8 OF 10
DATE	MAR. 2024		
ENG. No. REQUIRED	24750		
SCALE:	AS NOTED		



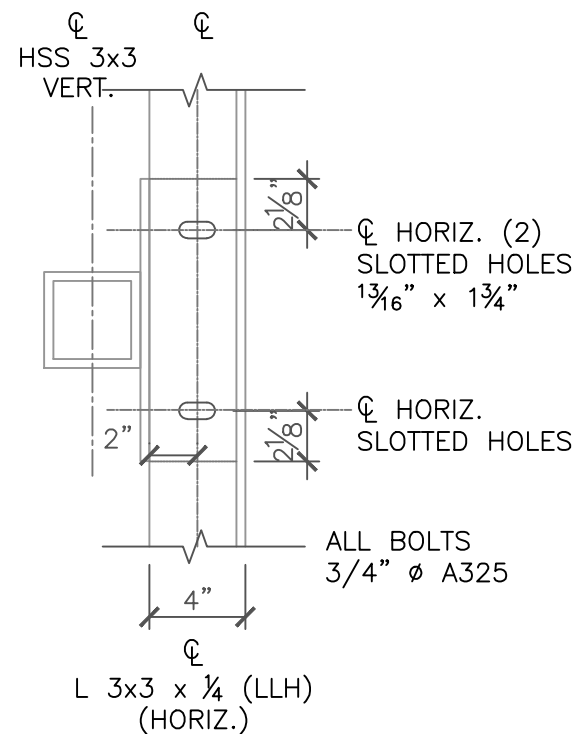
1 PLAN BRACKET
S9 SCALE 1 1/2"=1'-0"



2 SECTION BRACKET
S9 SCALE 1 1/2"=1'-0"



3 ELEVATION BRACKET
S9 SCALE 1 1/2"=1'-0"



4 PLAN BRACKET/(HORIZ.)
S9 SCALE 1 1/2"=1'-0"

GENERAL NOTES

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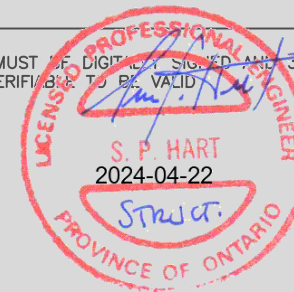
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ENGINEER OF ADDRESS:**
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E:S.P.HART@HPMG.CA

1	APR./24		ISSUED FOR BLDG. PERMIT
No.	DATE	BY	DESCRIPTION

STAMP: MUST BE DIGITALLY SIGNED AND 3RD PARTY VERIFIED TO BE VALID



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Toronto, Ontario M5A 4K2
C: (416) 209-8098
E: S.P.HART@HPMG.CA

PROJECT:
12'-0"x42'-0" LED WALL MOUNT

LOCATION:
WESTIN HARBOUR CASTLE CONFERENCE CENTRE
11 Bay Street, Toronto, Ontario

DRAWING TITLE
**12x42-LED-WALL-MOUNT-DISPLAY REPLACEMENT
DETAILS**

DRAWN BY	ZS	DWG. No.	S9 OF 10
DATE	MAR. 2024		
ENG. No. REQUIRED	24750		
SCALE:	AS NOTED		

GENERAL NOTES:

1. ALL STRUCTURAL STEEL ROLLED SECTIONS AND PLATES SHALL BE M300W STEEL AND COMPLY WITH THE REQUIREMENTS OF CSA SPECIFICATIONS CAN3–G40.21
2. STRUCTURAL HOLLOW STEEL SECTIONS SHALL COMPLY WITH THE REQUIREMENTS OF CSA SPECIFICATION G40.21 GRADE M350W; JUMBO HSS'S TO MEET ASTM A500 GRADE 'C'
3. ALL STRUCTURAL BOLTS, NUTS AND WASHERS USED IN CONNECTIONS, SHALL BE HIGH STRENGTH TO ASTM STANDARD A325 AND SHALL BE TORQUED IN ACCORDANCE WITH TABLE 12 OF CSA SPECIFICATION S16.
4. ALL WELDS AND WELDING SHALL COMPLY WITH THE REQUIREMENTS OF CSA SPECIFICATION W59. USE E480XX ELECTRODES.
5. WHERE MEMBERS ARE WELDED TOGETHER THE WELDS SHALL DEVELOP THE FULL CAPACITY OF THE MEMBERS IN BENDING AND SHEAR.
6. ANCHOR BOLTS, AND BOLTS THROUGH MASONRY SHALL COMPLY WITH THE REQUIREMENTS OF ASTM STANDARD A307. NUTS, BOLTS, RODS & WASHERS TO BE GALVANIZED.
7. ENSURE THAT MASONRY AT ANCHOR POINTS IS IN GOOD CONDITION. MAKE GOOD AS REQUIRED TO ENSURE ADEQUATE LOAD TRANSFER.
8. DESIGN WIND PRESSURE IS BASED ON NBC SUPPLMENT

$F_n = C_f \times q \times C_g \times C_e \times h \times I$

$= 1.19 \times 0.54 \times 1.09 \times 2.5 \times 1.0 \times 3.66 \times 12.80$

$= 82.03 \text{ KN (UNFACTORED)}$

$F_n \text{ (SUCTION)} = 0.5/1.30 \times 82.03$

$= 31.55 \text{ KN(T) UNFACTORED}$

$F_n \text{ (PRESSURE)} = 0.80/1.30 \times 82.03$

$= 50.48 \text{ KN(C) UNFACTORED}$

$DL = 0.50 \text{ (STEEL)} + 0.80 \text{ (LED)}$

$= 1.5 \text{ KN/M}^2 \text{ UNFACTORED}$
9. WHERE BASE PLATES BEAR ON EXISTING ROOF OR PARAPET, FLASH AS NECESSARY TO PROVIDE WATERPROOF SEAL (NON–STRUCTURAL) BY OTHERS
10. DETAILS OF EXISTING BUILDING AND EXISTING CONDITIONS AS PROVIDED BY OTHERS
11. ALL STEEL IS TO BE COATED WITH TWO COATS OF OXIDE PRIMER AND TWO COATS CHOCOLATE BROWN OUTDOOR ALKYD PAINT.
12. THE DESIGN ENGINEER (SEAN HART, P. ENG., C: 416–209–8098) IS TO BE NOTIFIED IN WRITING (F:416–413–1343) 48 HOURS PRIOR TO COMMENCING CONSTRUCTION TO VERIFY DESIGN ASSUMPTIONS, OR ELSE THE ENGINEER WILL NOT BE RESPONSIBLE FOR ANY ASPECT OF THE CONSTRUCTION. THE NOTIFICATION IS TO INCLUDE THE STREET ADDRESS, MUNICIPALITY, KEY PLAN, SIZE AND HEIGHT OF POSTER PANEL STRUCTURE.
13. ALL HOLLOW SECTIONS, COLUMNS, ETC. THAT ARE CLOSED AT THE ENDS ARE TO HAVE MINIMUM (2) 1/4” DIA. WEEP HOLES AT THE UNDERSIDE OR TOP AND BOTTOM.

14. ALL STRUCTURAL BOLTS, NUTS AND WASHERS USED IN CONNECTIONS SHALL BE HIGH STRENGTH TO ASTM STANDARDS AND SHALL BE PRE–TENSIONED IN ACCORDANCE WITH TABLE 7 OF CSA SPECIFICATION S16 AS FOLLOWS:

BOLT DIAMETER	MINIMUM BOLT TENSION KN & (KIPS)		HOLE SIZE
	A325	A490	
1/2”	53 (11.93)	67 (15.07)	5/8”
5/8”	85 (19.13)	107 (24.07)	3/4”
3/4”	125 (28.13)	157 (35.32)	7/8”
7/8”	174 (39.15)	218 (49.05)	1”
1”	227 (51.08)	285 (64.12)	1 1/8”
1 1/8”	249 (56.02)	356 (80.10)	1 1/4”
1 1/4”	316 (71.10)	454 (102.15)	1 3/8”
1 3/8”	378 (85.05)	538 (121.05)	1 1/2”
1 1/2”	458 (103.05)	658 (148.05)	1 5/8”

15. ALL BOLTS ARE TO BE INSTALLED BY ”DIRECT TENSION INDICATOR” METHOD, IN ACCORDANCE WITH CAN/CSA S16.1.
16. USE GLID GUARD EPOXY SELF–PRIMING MASTIC No.5256/5257 (OR APPROVED EQUAL) TO 12” ABOVE AND BELOW TOP OF GRADE ON STRUCTURAL STEEL.
17. USE No.11 PRODUCT REDUCED WITH 50% SOLVENT No.5568 ON TOP OF CONCRETE CAISSONS.
18. PROVIDE MINIMUM 2% SLOPE AWAY FROM BASE PLATE/CAISSON JUNCTURE.
19. ALL CONCRETE IS TO BE EXPOSURE CLASS S–1 AND IS TO HAVE A COMPRESSIVE STRENGTH OF 35 MPa AT 56 DAYS. USE 4% TO 7% AIR ENTRAINMENT. MAXIMUM AGGREGATE SIZE IS TO BE 3/4” (19mm). CURE CONCRETE FOR 7 DAYS AT MIN. 10° C. WATER CEMENT RATIO = 0.40 ETC.
20. FOOTINGS ARE DESIGNED FOR A FIRM, NON–CAVING CLAY OR SANDY CLAY.
21. TOP 6” OVER FOOTING IS TO BE COMPRISED OF FREE DRAINING GRANULAR FILL. (IF TOP OF FOOTING IS TO BE COVERED)
22. ALL CONTACT SURFACES OF BOLTED PARTS ARE TO HAVE MILL SCALE THOROUGHLY CLEANED OR ELSE BLAST CLEAN WITH A CLASS ”A” COATING APPLIED AS PER CAN/CSA –.S16.1.
23. A BUILDING PERMIT IS TO BE OBTAINED PRIOR TO COMMENCING ANY CONSTRUCTION.
24. THE CONTRACTOR IS TO PROTECT ADJACENT PROPERTIES AND VERIFY ALL UTILITY LOCATIONS PRIOR TO INSTALLING FOUNDATIONS.
25. THE CONTRACTOR IS 100% RESPONSIBLE FOR MAINTAINING SAFETY ON SITE DURING CONSTRUCTION PER MINISTRY OF LABOUR.
26. MUNICIPAL BY–LAW COMPLIANCE IS BY OTHERS THAN S.P.HART & ASSOCIATES LTD. AND SEAN HART, P. ENG.
27. CONFIRM LED MANUFACTURER WITH ENGINEER AND OBTAIN WRITTEN PERMISSION TO PROCEED WITH MANUFACTURING OF STRUCTURAL STEEL PRIOR TO COMMENCING WITH FABRICATION.
28. ALL HILTI PRODUCTS TO BE SUPPLIED AND INSTALLED STRICTLY IN ACCORDANCE WITH MANUFACTURER’S SPECIFICATIONS ”MASONRY FASTENING TECHNICAL GUIDE EDITION 23–7.1 HIT–HY 270 HYBRID FOR MASONRY CONSTRUCTION.”

GENERAL NOTES:

ALL DRAWINGS AND STRUCTURAL INFORMATION ARE THE PROPERTY OF THE ENGINEER.

DO NOT SCALE DRAWINGS.

ALL DIMENSIONS AND SITE CONDITIONS TO BE CHECKED AND VERIFIED ON SITE BY THE CONTRACTOR BEFORE COMMENCING ANY WORK. INFORM ENGINEER OF ANY DESCREPIANCIES IN WRITING AND OBTAIN WRITTEN APPROVAL FROM THE ENGINEER BEFORE PROCEEDING.

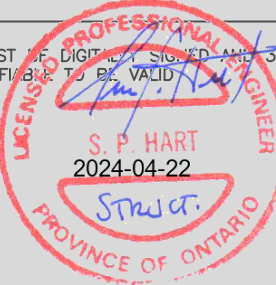
ALL CONSTRUCTION TO BE CARRIED OUT IN ACCORDANCE WITH ALL LOCAL CODES AND AUTHORITIES HAVING JURISDICTION.

DRAWING MUST HAVE LOCATION AND ENG. NO. FILLED IN TO BE VALID.

**EXAMINER TO NOTIFY
ENGINEER OF ADDRESS:
SEAN HART, P.ENG.
C:416-209-8098
E:S.P.HART@HPMG.CA**

1	APR./24		ISSUED FOR BLDG. PERMIT
No.	DATE	BY	DESCRIPTION

STAMP: MUST BE DIGITALLY SIGNED AND 3RD PARTY VERIFIED TO BE VALID



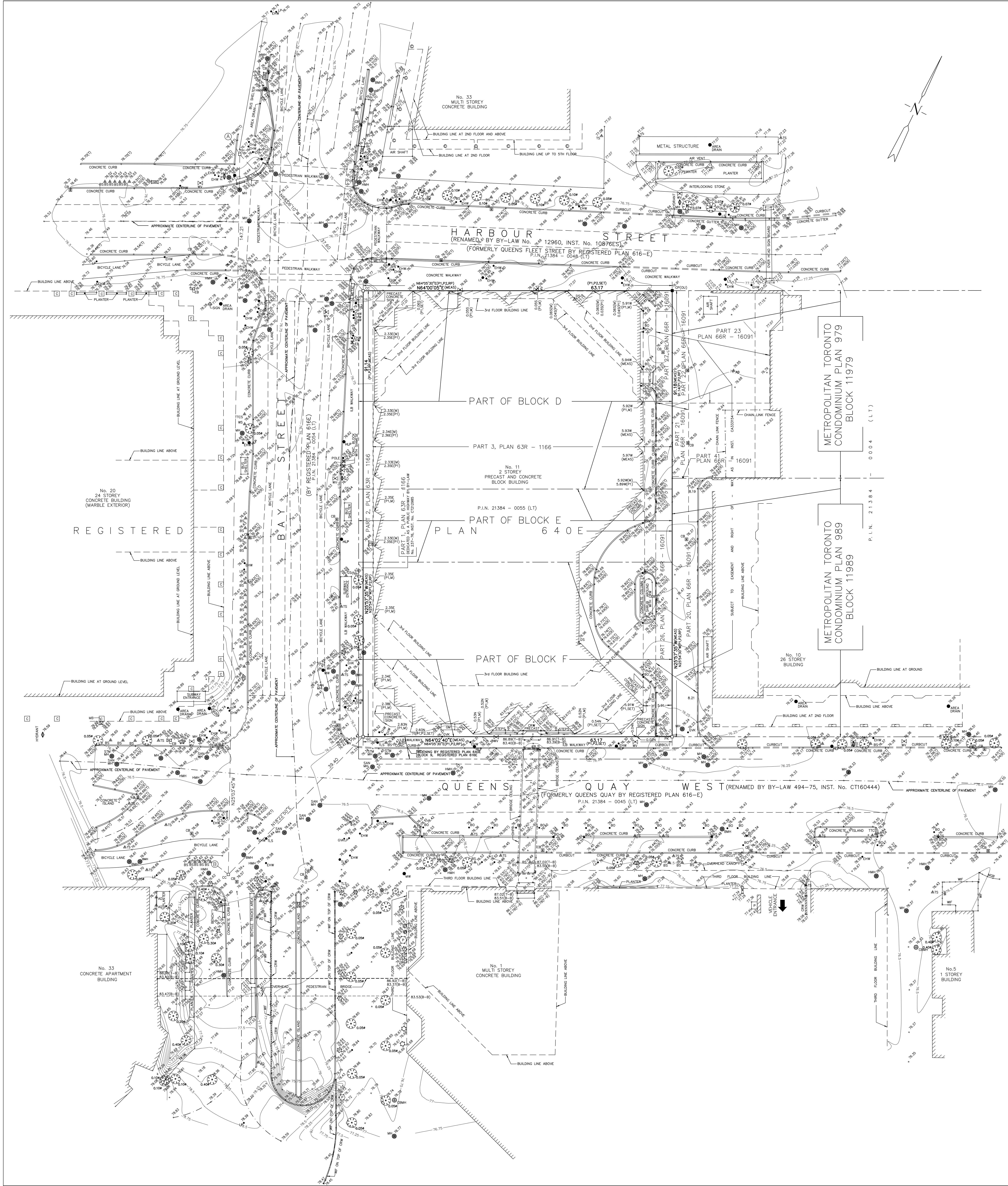
S.P.HART & ASSOCIATES LTD.
120 Carlton St. Suite 412
Toronto, Ontario M5A 4K2
C: (416) 209–8098
E: S.P.HART@HPMG.CA

PROJECT:
12’–0”x42’–0” LED WALL MOUNT

LOCATION:
WESTIN HARBOUR CASTLE CONFERENCE CENTRE
11 Bay Street, Toronto, Ontario

DRAWING TITLE
12x42-LED-WALL-MOUNT-DISPLAY REPLACEMENT
GENERAL NOTES

DRAWN BY	ZS	DWG. No. S10 OF 10
DATE	MAR. 2024	
ENG. No. REQUIRED	24750	
SCALE:	AS NOTED	



PLAN OF SURVEY OF
PART OF BLOCKS D, E AND F
REGISTERED PLAN 640E
CITY OF TORONTO

SCALE 1 : 300

R. AVIS SURVEYING INC.

METRIC : DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

©COPYRIGHT: "NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF R. AVIS, O.L.S."

NOTES AND LEGEND

BEARINGS SHOWN HEREON ARE GRID BEARINGS AND ARE DERIVED FROM OBSERVED REFERENCE POINTS AND HAVING A BEARING OF N25°33'45"W BY REAL TIME NETWORK (RTK) OBSERVATION, ZONE 10, CENTRAL MERIDIAN 79° 30' WEST LONGITUDE.
(3° MODIFIED TRANSVERSE MERCATOR PROJECTION, NAD 83 (CSRS-1997))

3' MTM ZONE 10 COORDINATES NAD83(CRS-1997) (CENTRAL MERIDIAN 79°30' WEST LONGITUDE)	
DERIVED FROM OBSERVED REFERENCE POINTS A AND B	
NORTHING	EASTING
A 4833588.254	314668.737
B 4833454.904	314731.097

(1) THE MTM COORDINATES LISTED ABOVE ARE TO AN URBAN ACCURACY, PER SUBSECTION 14(2) OF ONTARIO REGULATION 216/10 FILED UNDER THE SURVEYORS ACT
(2) THE MTM COORDINATES LISTED ABOVE ARE TO BE USED FOR GEOGRAPHIC INFORMATION SYSTEM INTEGRATION ONLY AND CANNOT BE USED TO RE-ESTABLISH THE PROPERTY CORNERS OR BOUNDARIES SHOWN HEREON

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO CITY OF TORONTO BENCH MARK No. CT1549, HAVING AN ELEVATION = 72.208 metres.

DISTANCES SHOWN HEREON ARE ADJUSTED GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.999889

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT PLANTED
SB	DENOTES	STANDARD IRON BAR
SSB	DENOTES	SHORT STANDARD IRON BAR
IB	DENOTES	IRON BAR
CC	DENOTES	CUT CROSS
CP	DENOTES	CONCRETE PIN
WT	DENOTES	WITNESS
MEAS/M	DENOTES	MEASURED
N,S,E,W	DENOTES	NORTH, SOUTH, EAST, WEST
RP	DENOTES	REGISTERED PLAN 640E
P1	DENOTES	PLAN OF SURVEY BY BOOK & CLARK'S NATIONAL SURVEYORS NETWORK, O.L.S. DATED SEPTEMBER 18, 2013.
P2	DENOTES	PLAN OF TOPOGRAPHIC SURVEY BY SPEIGHT AND VAN NOSTRAND LIMITED, O.L.S. DATED JULY 3, 1986.
OU	DENOTES	ORIGIN UNKNOWN
AD	DENOTES	ADVERTISEMENT SIGN
BMH	DENOTES	BELL MANHOLE
BO	DENOTES	BOLLARD
BS	DENOTES	BICYCLE STAND
CB	DENOTES	CATCH BASIN
CSMH	DENOTES	CATCH BASIN MANHOLE
CRW	DENOTES	CONCRETE RETAINING WALL
DS	DENOTES	DOOR SILL
EB	DENOTES	ELECTRIC BOX
EHW	DENOTES	ELECTRIC HAND WELL
FH	DENOTES	FIRE HYDRANT
GB	DENOTES	GARBAGE BIN
GM	DENOTES	GAS MAIN
GS	DENOTES	GUIDE SIGN
GVK	DENOTES	GAS VALVE KEY
HLP	DENOTES	HYDRO LIGHT POLE
HMH	DENOTES	HYDRO MANHOLE
HR	DENOTES	HAND RAIL
ILB	DENOTES	INTERLOCKING BRICK
LP	DENOTES	LIGHT POLE
LS	DENOTES	LIGHT STANDARD
MB	DENOTES	MAIL BOX
MGR	DENOTES	METAL GUARD RAIL
MH	DENOTES	MANHOLE
MW	DENOTES	MONITORING WELL
OHPB	DENOTES	OVERHEAD PEDESTRIAN BRIDGE
P	DENOTES	PLANTER
PB	DENOTES	PHONE BOOTH
SCB	DENOTES	SIGNAL CONTROL BOX
SAN MH	DENOTES	SANITARY MANHOLE
STM MH	DENOTES	STORM MANHOLE
TL	DENOTES	TRAFFIC LIGHT STANDARD
TS	DENOTES	TRAFFIC SIGN
TICS	DENOTES	TTC BUS STOP
WF	DENOTES	WROUGHT IRON FENCE
WS	DENOTES	WARRING SIGN
WV	DENOTES	WATER VALVE
(B)	DENOTES	BOTTOM OF CONCRETE CURB
(T)	DENOTES	TOP OF CONCRETE CURB
(B-B)	DENOTES	ELEVATION AT THE BOTTOM OF THE BRIDGE (EXTERIOR)
(T-T)	DENOTES	ELEVATION AT THE TOP OF THE BRIDGE (EXTERIOR)
(C-B)	DENOTES	CEILING ELEVATION OF THE BRIDGE (INTERIOR)
(F-B)	DENOTES	FLOOR ELEVATION OF THE BRIDGE (INTERIOR)

0.10m DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER 0.10 metres

DENOTES SPOT ELEVATION

AREA OF THE SUBJECT LAND: 5758.3 sq. m.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON THE 30TH DAY OF MARCH, 2020

APRIL 1, 2020
DATE

GEORGE C. M. LO
Ontario Land Surveyor

R. AVIS SURVEYING INC.
SUITE 203
235 YORKLAND BOULEVARD
TORONTO, ONTARIO
M2J 4Y8
TEL: (416) 490-8352 FAX: (416) 491-6206
www.ravissurveying.com

CHECKED BY : G.L. O.L.S.	PROJECT No. : 3361-0
CALCULATED BY : S.S.	DRAWING No. : 3361-07.DWS
DRAWN BY : S.S.	



Toronto Building
Kamal Gogna, P. Eng., Interim Chief Building Official
and Executive Director

Sign Bylaw Unit
City Hall, Ground Floor East
100 Queen St West
Toronto, ON M5H 2N2

Fernanda Patza
Building Plans Examiner & Inspector

Phone: 416-392-6987
Fax:
Email: Fernanda.Patza@toronto.ca

ZELINKA PRIAMO LTD
C/O AZAR DAVIS
20 MAUD ST SUITE 305
TORONTO ON M5V 2M5

Examiner's Notice

Date: Wednesday, July 17, 2024

Preliminary Project Review No: 24 147172 ZPR 00 ZR FolderRSN: 5436866

Multiple-Use Building - Sign

at 11 BAY ST

Ward: Spadina-Fort York (10)

Examination of your Request for a Preliminary Project Review has revealed that certain requirements of the City's Sign By-law have not been satisfied. The attached Notice provides the details of the review.

Should compliance with the Sign By-law not be possible, you may apply for a sign variance. You may visit the City of Toronto Web site @ www.toronto.ca/building to down load the sign variance application form or discuss the matter with City staff by calling (416) 392-8000.

Subsequent reviews will require the submission of a new Project Review Request along with payment of the applicable fees.

The Notice is based on plans and documents submitted and the Sign By-law in force at the time.

The plans and documents will be held on file for one year from the date of the Notice after which time they be discarded and the Notice becomes invalid.

Should there be changes to the Sign By-law or other applicable law prior to the issuance of a sign permit you will be required to comply with those changes.

Please refer to your PPR number when you phone in, submit subsequent reviews or submit your sign permit application.

Fernanda Patza
Building Plans Examiner & Inspector

Folder Name: 11 BAY ST
Application Number: 24 147172 ZPR 00 ZR

City's Sign bylaw Notice

ITEM DESCRIPTION

Sign Bylaw	
FOR INFORMATION PURPOSES ONLY This property is located in the CR-Commercial Residential sign district and is subject to the City of Toronto Municipal Code Chapter 694, Signs, General. Summary of Proposal: This is a Preliminary Project Review (PPR) for one third party electronic wall sign, displaying electronic static copy, to be erected on the second storey on the west elevation. ***OUTDOOR ADVERTISING*** ***NOTE: Please read this notice carefully. As your proposal currently stands, you will require a Sign Variance in order to receive approval. The below sections outline the bylaw provisions which will require variance, based on the known information from the drawings submitted.	
1.	Anything not expressly permitted by this chapter is prohibited. [Prohibited signs [694-15 A]] A third party electronic wall sign is not expressly permitted in the CR Sign District.
2.	A third party sign shall not be erected or displayed or cause to be erected or displayed in whole or in part within 400 metres of any limit of the F.G. Gardiner Expressway from a point 250 metres west of Strachan Avenue to the easternmost limit of Booth Avenue. [Site Specific Area Restrictions [694-24 A(3)]] The proposed third party sign would be located approximately 110 metres from the limit of the F.G Gardiner Expressway.



April 23, 2024

To whom it may concern,

It has come to my attention that the Westin Harbour Castle Hotel is looking to convert an existing 12'x42' First Party Backlit sign wall sign with static copy to contain a same sized Third Party / First Party wall sign with electronic static copy. In support of this initiative, I believe it will be of great benefit to the local community, as well as the thousands of tourists that visit The Waterfront Business Improvement Area (BIA).

By converting the existing wall sign to an electronic version, this will create more advertising space and opportunity for Toronto organizations and initiatives. As the Executive Director of Toronto Association of Business Improvement Areas (TABIA) and individual focused on improving the economic and social well-being of Toronto's 84 BIAs, I recognize this important direction. Westin Harbour Castle Hotel and Convention Centre has demonstrated their commitment to the betterment and promotion of BIAs through its plan.

Westin Harbour Castle has committed to supporting the needs of the area, hotel and conventions, including allocating time on the sign to the Amber Alert program, the local Waterfront BIA and access for all other Toronto BIAs to help promote destinations across the City of Toronto.

I hope all who are involved in the review of this project will recognize the potential this improvement provides.

Sincerely,

A handwritten signature in black ink, appearing to read "John Kiru". The signature is fluid and cursive, with a large, stylized "J" and "K".

John Kiru
Executive Director, TABIA