

**Toronto** Checklist – Toronto Green Standard Version 4.0 2022  
TGS Version 4.0 Checklist: Mid to High Rise Residential and all New Non-Residential Development

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation Required for Site Plan Approval (Sections marked with an asterisk* are required for Rezoning or Subdivision applications)	Plans and Drawings
SW 1.3	Bulky Waste	Provide 10m <sup>2</sup> for bulky and special collection items (Residential)	<input checked="" type="checkbox"/> Notations on Plans indicate area and location for bulky items collection	Plan Numbers: A202
SW 1.4	Compaction	Waste storage room with space for containers and the compactor unit (Residential)	<input checked="" type="checkbox"/> Notations on Plans indicate area and location of waste storage rooms and compactor unit	Plan Numbers: A202
SW 4.1	Construction Waste Management	Manage construction and demolition waste in accordance with O. Reg. 103/94	<input checked="" type="checkbox"/> Documentation in accordance with O. Reg. 103/94	Plan Numbers: Refer to Report

Page 9 of 9

**Toronto** Checklist – Toronto Green Standard Version 4.0 2022  
TGS Version 4.0 Checklist: Mid to High Rise Residential and all New Non-Residential Development

**Tier 1: Ecology and Biodiversity**

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation Required for Site Plan Approval (Sections marked with an asterisk* are required for Rezoning or Subdivision applications)	Plans and Drawings
*EC 1.1	Tree Planting Areas and Soil Volume	Total volume of soil for tree planting areas = 40% of the site area divided by 66 m <sup>2</sup> x 30 m <sup>2</sup>  Each tree planting area has access to 30m <sup>2</sup> of soil	<input checked="" type="checkbox"/> TGS V4.0 Statistics Template <input checked="" type="checkbox"/> Soil Volume Template <input checked="" type="checkbox"/> Notations indicate soil volume (depth and area), species and quantity for each planting area <input checked="" type="checkbox"/> Soil Volume Plan	Plan Numbers: L101
*EC 1.2	Trees Along Street Frontages	Trees planted along street frontages with access to 30 m <sup>2</sup> of soil/tree	<input checked="" type="checkbox"/> Notations indicate soil volume (soil depth and area) species and quantity for each planting area <input checked="" type="checkbox"/> Planting details. Soil Volume Plan <input checked="" type="checkbox"/> Public Utilities Plan	Plan Numbers: L001, L101
EC 1.3	Parking Lots	1 shade tree planted parking lots area for every 5 parking spaces	<input type="checkbox"/> Notations indicate soil volume (depth and area), species and quantity on the Planting Plan/Soil Volume Plan for parking areas	Plan Numbers: N/A
EC 1.4	Watering Program	Four-year Watering program for private trees	<input type="checkbox"/> Notations on the Planting Plan include watering program methods and watering schedule	Plan Numbers: To be provided.
EC 2.1	Green & Cool Paving	Treat 75% of non-roof hardscape to reduce the urban heat island	<input checked="" type="checkbox"/> TGS V4.0 Statistics Template <input checked="" type="checkbox"/> Materials list includes SRI of high albedo paving <input checked="" type="checkbox"/> Notations indicate location of treated hardscape and soft landscaping	Plan Numbers: L300

Page 6 of 9

**Toronto** Checklist – Toronto Green Standard Version 4.0 2022  
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*AQ 2.3	Short-Term Bicycle Parking Location	Short-term bicycle parking, highly visible and publicly accessible location in accordance with Zoning Bylaw 569-2013	<input checked="" type="checkbox"/> Notations on Parking Plans or Site Plan indicate location and the number of short-term spaces in each bicycle parking area	Plan Numbers: A101A, A201-A301
*AQ 2.4	Electric Bike Infrastructure	15% of parking spaces equipped with Energized Outlet (120 V)	<input checked="" type="checkbox"/> Notations on Parking Plan includes location and performance level on parking plans	Plan Numbers: A101A, A202
*AQ 2.5	Shower & Change Facilities	Shower and change facilities in accordance with Zoning Bylaw 569-2013	<input type="checkbox"/> Notations indicate location and number of shower and change facilities	Plan Numbers: Not Provided
*AQ 2.6	Publicly Accessible Bike Parking	At least 10 additional publicly accessible, short-term bicycle parking spaces, at-grade on the site or within the public boulevard	<input checked="" type="checkbox"/> Notations on Plans include location and number of spaces	Plan Numbers: A102, A301
AQ 3.1	Connectivity	Pedestrian walkways	<input checked="" type="checkbox"/> Notations on Site Plan, Landscape Plans and Details	Plan Numbers: A102, A301, L100
AQ 3.2	Sidewalk Space	Minimum 2.1 meter pedestrian clearance	<input checked="" type="checkbox"/> Notations on Plans and Details	Plan Numbers: A102, A301, L100

Page 3 of 9

r. Varacalli Architect inc.  
1700 Langstaff Road, Unit No.1003, Concord, Ontario, Canada, L4K 3S3  
T. 905 761 9544 F. 905 532 0438

This drawing, as an instrument of service, is provided by and is the property of r. Varacalli Architect inc. This drawing is not to be scaled. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the architect of any variations from the supplied information. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, and all other engineering information; and interior design and landscape. Refer to the appropriate engineering drawings for engineering information. Construction must conform to all applicable laws, codes and requirements. All architectural symbols indicated are graphic representations only. This drawing and specification is not to be used for construction purposes until signed by the architect.

Architect: R. Varacalli OAA, RAIC  
Signature: \_\_\_\_\_

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EC 2.2	On-site Landscaping, Native and Plants	Landscape includes 50% native plants and native flowering species	<input checked="" type="checkbox"/> TGS V4.0 Statistics Template <input checked="" type="checkbox"/> Plant list includes common name, scientific name, size, quantity, stock type, native or non-native and flowering species <input checked="" type="checkbox"/> Notations indicate potable or non-potable irrigation system on Landscape Plan	Plan Numbers: L101
EC 2.3	Green & Cool Roofs	At least one or a combination of the following: <input checked="" type="checkbox"/> Green Roof required under the Green Roof By-Law or, <input type="checkbox"/> Green Roof bylaw does not apply, provide 100% of Available Roof Space with one or a combination - Green Roof <input type="checkbox"/> Solar PV <input type="checkbox"/> Cool Roof	<input checked="" type="checkbox"/> TGS V4.0 Statistics Template <input checked="" type="checkbox"/> Green Roof Statistics Template on roof plan. <input checked="" type="checkbox"/> Notations include green roof locations identified on elevations and roof plans <input checked="" type="checkbox"/> Notations include SRI of cool roof on roof plan and location of solar panels	Plan Numbers: A310, L300
*EC 3.1	Ravine & Natural Feature Protected Area: Stewardship	Stewardship Plan implemented for setbacks	<input type="checkbox"/> Stewardship Plan (if applicable) <input type="checkbox"/> Notations indicate Stewardship Plan area	Plan Numbers: N/A
*EC 3.2	Ravine & Natural Feature Protected Area: NHS	Natural Heritage System and the Ravine Protected Area planted with 100% native plants	<input type="checkbox"/> TGS V4.0 Statistics Template <input type="checkbox"/> Plant list identifies native or non-native species and plants from regionally appropriate seed source	Plan Numbers: N/A

Page 7 of 9

**Toronto** Checklist – Toronto Green Standard Version 4.0 2022  
TGS Version 4.0 Checklist: Mid to High Rise Residential and all New Non-Residential Development

**Tier 1: Water Quality and Efficiency**

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation Required for Site Plan Approval (Sections marked with an asterisk* are required for Rezoning or Subdivision applications)	Plans and Drawings
*WQ 1.1	Water Balance, Quality Control & Quantity Control	Design the site to achieve all Water Balance, Water Quality and Water Quantity control targets required by the Wet Weather Flow Management Guidelines	<input checked="" type="checkbox"/> Stormwater Management Report <input checked="" type="checkbox"/> Notations on Plans (Landscape, Grading, Roof and Details) indicate green infrastructure features and locations consistent with Stormwater Report	Plan Numbers: Refer to Functional Servicing and Stormwater Report
*WQ 1.2	Green Streets	Capture and control stormwater runoff from new streets in accordance with the City's green infrastructure standards and specifications for the Right-of-Way	<input type="checkbox"/> Stormwater Management Report <input type="checkbox"/> Landscape and Planting Plan, Public Utilities Plan consistent with Stormwater Report <input type="checkbox"/> Notations indicate locations, feature type, location, dimensions and details	Plan Numbers: N/A - No new streets are planned to be constructed for the
WQ 1.3	On-site Green Infrastructure	Landscaped site area includes at least one of the following features: <input checked="" type="checkbox"/> Enhanced Green Roof <input checked="" type="checkbox"/> Enhanced landscape using pollinator plants <input type="checkbox"/> Bioretention facility <input type="checkbox"/> Restored Area	<input checked="" type="checkbox"/> Notations on the Roof Plan, Landscape and Planting Plans to indicate features size, type, location and plant lists <input checked="" type="checkbox"/> Plant list identifies pollinator species if applicable <input type="checkbox"/> Green Infrastructure Statistics Template <input type="checkbox"/> Green Roof Statistics Template <input type="checkbox"/> Stormwater Management Report references	Plan Numbers: L101, L300

Page 5 of 9

**Toronto** Checklist – Toronto Green Standard Version 4.0 2022  
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TGS Documentation includes the submission of the completed Tier 1 TGS Checklist and the Statistics Template updated with each planning submission. All sections must be completed for SPA. The TGS Statistics Template is provided on the Project Statistics Plan with each submission in addition to the TGS Checklist. For projects pursuing Tier 2 or 3, a separate TGS High Performance checklist must be submitted prior to NOAC.

**Tier 1: Air Quality**

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation Required for Site Plan Approval (Sections marked with an asterisk* are required for Rezoning or Subdivision applications)	Plans and Drawings
*AQ 1.1	Single-Occupant Vehicle Trips	Reduce single occupancy vehicles trips by 25%	<input checked="" type="checkbox"/> Transportation Impact Study (TIS) includes IDM analysis (if applicable)	Plan Numbers: Refer to Report
*AQ 1.2	Electric Vehicle Infrastructure	Parking spaces equipped with an Energized Outlet in accordance with Zoning Bylaw 569-2013 as amended	<input checked="" type="checkbox"/> TGS V4.0 Statistics Template <input checked="" type="checkbox"/> Project parking statistics include number and location of EV spaces, performance level and EVMS on Parking	Plan Numbers: A101A, A201-A301
*AQ 2.1	Bicycle Parking Rates	Bicycle parking rates in accordance with Zoning Bylaw 569-2013	<input checked="" type="checkbox"/> TGS V4.0 Statistics Template <input checked="" type="checkbox"/> Project statistics include rates, number and type (long-term/short-term) of bicycle parking spaces <input checked="" type="checkbox"/> Summary table includes number, type and % of net floor area occupied by bicycle parking for each parking floor or at-grade	Plan Numbers: A101A, A201-A301
*AQ 2.2	Long-term Bicycle Parking Location	Long-term bicycle parking, secure controlled-access in accordance with Zoning Bylaw 569-2013.	<input checked="" type="checkbox"/> Notations on Parking Plans to indicate the number of long-term parking spaces in each secure bicycle parking area	Plan Numbers: A101A, A201-A202

Page 2 of 9

Project Manager: J. Seto

Date	Description
06 Mar. 5, 2026	Final Consolidated Set
05 Feb. 24, 2026	Final Consolidated Set
04 Jan. 5, 2026	Final Consolidated Set
03 Sept. 26, 2025	Re-issued for OPA / ZBA / Mediation as per City Comments
02 Sept. 10, 2025	Re-issued for OPA / ZBA / Mediation
01 Dec. 4, 2024	Re-issued for OPA / ZBA
No	Issued for

Building Permit #  
Drain Permit #  
Foundation Permit #  
Shoring & Excavation #  
Hoarding Permit #  
Demolition Permit #  
S.P.A. Application #  
Zoning Application # 22 180913 NNY 16 OZ  
Draft Plan of Subdivision Application #  
OLT Case # OLT-25-000319

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EC 5.1	Bird-Friendly Glazing	85% of all exterior glazing within the first 16m treated including fly-through and High Hazard Areas, to reduce bird collisions	<input checked="" type="checkbox"/> TGS V4.0 Statistics Template <input checked="" type="checkbox"/> Bird Friendly Statistics Template <input checked="" type="checkbox"/> Notations on Elevation Plans include treatment area, and material legend showing type, density and colour of visual markers, and High Hazard Areas	Plan Numbers: A108, A401 to A408
EC 5.2	Roof-top Vegetation	Glazing 4 m above rooftop vegetation is treated to reduce bird collisions	<input type="checkbox"/> Notations include required treated area, type of treatment, surface, density and colour of visual markers	Plan Numbers: A108, A401 to A408
EC 5.3	Grate Porosity	Maximum porosity of ventilation grates is 20mm X 20mm or 10mm X50mm	<input checked="" type="checkbox"/> Notations indicate location and porosity of ground level grates	Plan Numbers: A301
EC 5.4	Exterior Lighting	Dark Sky compliant fixtures	<input type="checkbox"/> Notations indicate Dark Sky compliant fixtures <input type="checkbox"/> Lighting Plan	Plan Numbers: To be provided.

**Tier 1: Waste and Circular Economy**

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation Required for Site Plan Approval (Sections marked with an asterisk* are required for Rezoning or Subdivision applications)	Plans and Drawings
*SW 1.1	Waste Collection	Waste sorting system for garbage, recycling and organics	<input checked="" type="checkbox"/> TGS V4.0 Statistics Template <input checked="" type="checkbox"/> Notations on Floor Plans indicate type and location of waste sorting system	Plan Numbers: A202, A301, see report
*SW 1.2	Waste Storage Space	Waste storage rooms	<input checked="" type="checkbox"/> Notations on Floor Plans or Parking Plans indicate area and location of waste storage rooms	Plan Numbers: A202, A301

Page 8 of 9

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AQ 3.3	Weather Protection	Covered outdoor walking areas	<input checked="" type="checkbox"/> Notations on Plans and Details	Plan Numbers: A301
AQ 3.4	Pedestrian Lighting	Pedestrian-scale lighting	<input type="checkbox"/> Notations on Plans and Details <input type="checkbox"/> Lighting Plan	Plan Numbers:

**Tier 1: Buildings Energy, Emissions and Resilience**

Section	Development Feature	Tier 1 Performance Measure (See full standards and specifications for details and definitions)	Documentation Required for Site Plan Approval (Sections marked with an asterisk* are required for Rezoning or Subdivision applications)	Plans and Drawings
GHG 1.1	Greenhouse Gas Emissions Limits	Demonstrate on annual Greenhouse Gas Intensity (GHGI) that meets the TGS performance limits	<input checked="" type="checkbox"/> Energy (Modelling) Report and Energy Workbook prior to NOAC	Plan Numbers: Refer to Energy Efficiency Report
GHG 1.2	Building Energy Performance	Design the building to achieve the TEUI and TEUI targets by building type OR 25% improvement above OBC, S9-10, Division 3 (2017)	<input checked="" type="checkbox"/> Energy (Modelling) Report and Energy Workbook prior to NOAC	Plan Numbers: Refer to Energy Efficiency Report

Page 4 of 9

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Complete in conjunction with the full Toronto Green Standard Version 4.0 (TGS V4.0) and Specifications.

Tier 1 performance measures are required by the City and must be included as part of your approved development application. Tier 2 and 3 higher performance levels are voluntary and associated with financial incentives. To determine eligibility for incentives go to [www.toronto.ca/arendevelopment](http://www.toronto.ca/arendevelopment).

Performance Level:  Tier 1 (Required)  Tier 2  Tier 3

Application Information:  Site Plan Control  Zoning Bylaw Amendment  Draft Plan of Subdivision

Application Number: 22 180913 NNY 16 OZ Date Received (yyyy-mm-dd): 2024-12-04

Community Planner (First, Last Name): Ingrid Fung

Is this checklist revised from an earlier submission?  Yes  No

Gross Floor Area (m<sup>2</sup>): 88,600 Number of Storeys: 14-29 Number of Units: 1022 Non Residential Gross Floor Area (m<sup>2</sup>): 897

Proposal Description: (Include a narrative of your project highlighting green attributes or performance measures):  
The proposed 3 buildings of 28, 29, and 14 storeys are residential buildings. The 29 storey east building has street retail. The project has sustainable features ranging from improving air quality, energy efficiency, water quality and efficiency, to ecological and solid waste management.

**Property and Applicant Information:**  
Address of Subject Land (Street Number and Name): 895 LAWRENCE AVENUE EAST, M3C 3L2  
Project Name: 895 LAWRENCE AVENUE EAST  
Applicant/Agent: R. Varacalli  
Name (First, Last Name): R. Varacalli Business Telephone Number: 905 532-345 ex 225  
Business Email: rvaracalli@bazis.com Registered Owner (First, Last Name): 895 Lawrence Ave. E., Inc.

Page 1 of 9

Proposed Mixed Use Development

895 LAWRENCE AVENUE EAST  
Toronto, Ontario

Drawing  
**TORONTO GREEN STANDARDS CHECKLIST**

Scale: N.T.S.  
Plot date: MARCH 5, 2026

Sheet  
**A109A**

PARKING BREAKDOWN		PARKING STATISTICS				VEHICLE PARKING SPACES SCHEDULE											
USE	Units	Gfa	Minimum Parking Ratio	Effective Parking Ratio	Effective Parking Required	Original Applicant	Resubmission	Difference	TYPICAL	PARKING STALL COLUMN ONE SIDE	PARKING STALL COLUMN TWO SIDES	PARKING STALL MAXIMUM COLUMN SIDE	BARRIER FREE	SMALL CAR 1 PARKING STALL			
RETAIL	44	none	0.7	0.7	30	22	5	-17	2.8 m	2.8 m	2.8 m	2.8 m	4.9 m	2.8 m			
VISITOR	565	none	0.5	0.5	282	44	62	+18	2.8 m	2.8 m	2.8 m	2.8 m	4.9 m	2.8 m			
RESIDENTIAL	1116	none	1.1	1.1	1227	268	239	-29	2.8 m	2.8 m	2.8 m	2.8 m	4.9 m	2.8 m			
<b>TOTAL</b>	<b>1725</b>	<b>none</b>	<b>0.77</b>	<b>0.77</b>	<b>1039</b>	<b>334</b>	<b>306</b>	<b>-28</b>									

USE	Units	Gfa	Minimum Parking Ratio	Effective Parking Ratio	Effective Parking Required	Proposed Parking Ratio	Proposed Parking Spaces
Studio	44	none	0.7	0.7	30	0.7	30
tr	565	none	0.5	0.5	282	0.5	282
zr	297	none	0.5	0.5	148	0.5	148
zr	116	none	1.1	1.1	127	1.1	127
Residents	1,022	none	1.1	1.1	1,124	1.1	1,124
Visitors	1,022	2 spaces plus 0.05 per unit	0.1	0.1	102	0.1	102
Retail	44	53	1 space per 100m <sup>2</sup> of gfa	1 space per 100m <sup>2</sup> of gfa	53	1	53
<b>TOTAL</b>	<b>3,448</b>	<b>53</b>	<b>0.77</b>	<b>0.77</b>	<b>1,636</b>	<b>0.77</b>	<b>1,636</b>

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zr	116	none	1.1	1.1	127	1.1	127
Residents	1,022	none	1.1	1.1	1,124	1.1	1,124
Visitors	1,022	2 spaces plus 0.05 per unit	0.1	0.1	102	0.1	102
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Visitors	1,022	2 spaces plus 0.05 per unit	0.1	0.1	102	0.1	102
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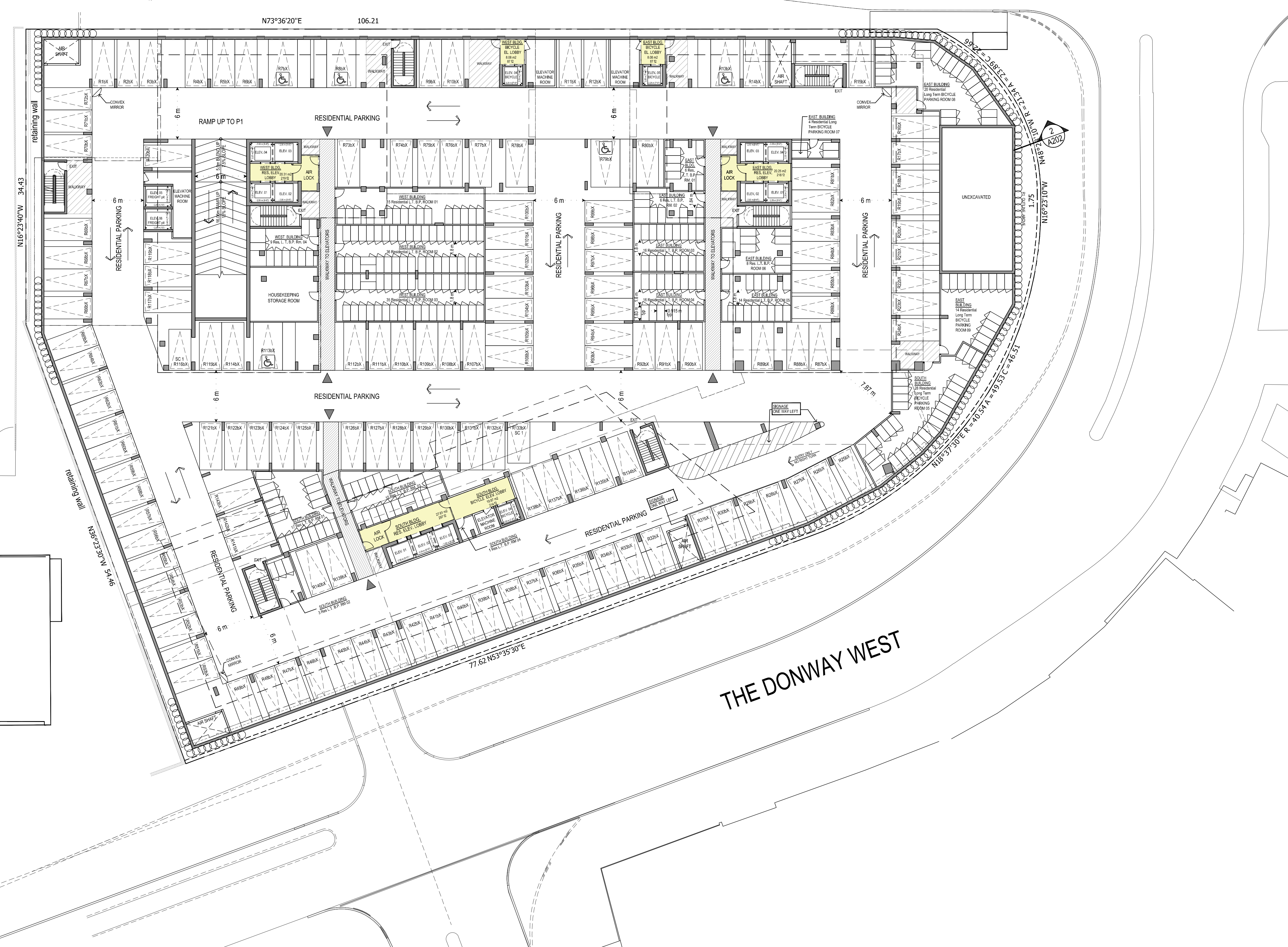
  

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BICYCLE PARKING STATISTICS			
TIER 1 - WEST BUILDING	TIER 1 - EAST BUILDING	TIER 1 - SOUTH BUILDING	TIER 1 - TOTAL
RESIDENTS BICYCLE PARKING CALCULATIONS	RESIDENTS BICYCLE PARKING CALCULATIONS	RESIDENTS BICYCLE PARKING CALCULATIONS	RESIDENTS BICYCLE PARKING CALCULATIONS
LONG TERM = 1.0 SPACES PER DWELLING UNIT (0.2 x 500 = 50)	LONG TERM = 1.0 SPACES PER DWELLING UNIT (0.2 x 370 = 74)	LONG TERM = 1.0 SPACES PER DWELLING UNIT (0.2 x 281 = 56)	LONG TERM = 1.0 SPACES PER DWELLING UNIT (0.2 x 1152 = 230)
SHORT TERM = 0.2 SPACES PER DWELLING UNIT (0.2 x 500 = 100)	SHORT TERM = 0.2 SPACES PER DWELLING UNIT (0.2 x 370 = 74)	SHORT TERM = 0.2 SPACES PER DWELLING UNIT (0.2 x 281 = 56)	SHORT TERM = 0.2 SPACES PER DWELLING UNIT (0.2 x 1152 = 230)
TOTAL = 1.1 SPACES PER DWELLING UNIT (1.1 x 500 = 550)	TOTAL = 1.1 SPACES PER DWELLING UNIT (1.1 x 370 = 407)	TOTAL = 1.1 SPACES PER DWELLING UNIT (1.1 x 281 = 309)	TOTAL = 1.1 SPACES PER DWELLING UNIT (1.1 x 1152 = 1267)

RESIDENTS LONG TERM BICYCLE PARKING COUNT	RESIDENTS SHORT TERM BICYCLE PARKING COUNT
LEVEL and PARKING SPACE SIZE	LEVEL and PARKING SPACE SIZE
P2 LEVEL HORIZONTAL (Minimum 2.0m x 1.0m deep x 1.8m high)	P1 LEVEL HORIZONTAL (Minimum 2.0m x 1.0m deep x 1.8m high)
P1 LEVEL HORIZONTAL (Minimum 2.0m x 1.0m deep x 1.8m high)	P1 LEVEL HORIZONTAL (Minimum 2.0m x 1.0m deep x 1.8m high)
<b>TOTAL</b>	<b>TOTAL</b>
172	171



r. Varacalli Architect inc.

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R. Varacalli  
OAA, RAIC

Project Manager  
J. Sato

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Draft Plan of Subdivision Application #	
OLT Case #	OLT-25-000319

Proposed Mixed Use Development

895 LAWRENCE AVENUE EAST  
Toronto, Ontario

Drawing  
**P2 LEVEL**  
**(1 FLOOR)**

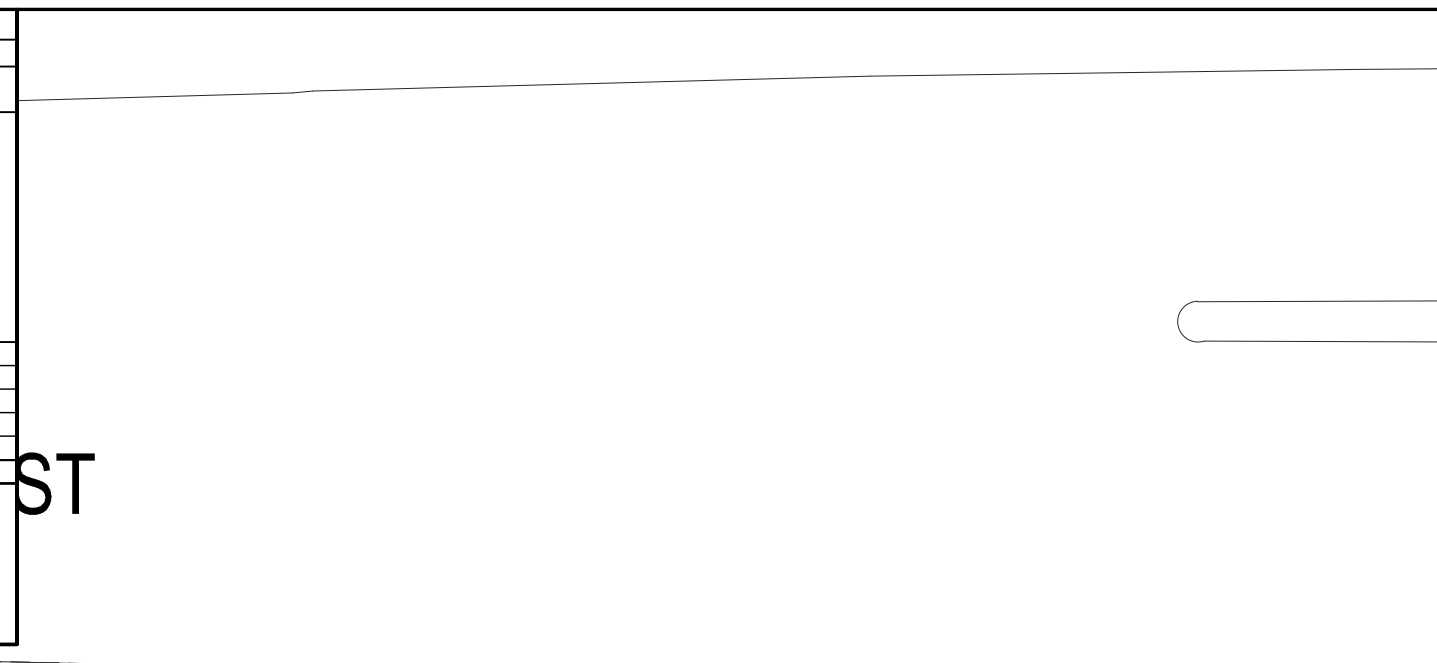
Scale: 1:250  
Plot date: MARCH 5, 2026

**P2**  
Sheet  
**A201**

PARKING BREAKDOWN				PARKING STATISTICS			
Category	Original Applicant	Resubmission	Difference	Typical	Parking Stall Column One Side	Parking Stall Maximum Column Side	Barrier Free
RETAIL	22	5	-17	2.8m	2.8m	2.8m	2.8m
VISITOR	44	62	+18	2.8m	2.8m	2.8m	2.8m
RESIDENTIAL	268	239	-29	2.8m	2.8m	2.8m	2.8m
<b>TOTAL</b>	<b>334</b>	<b>306</b>	<b>-28</b>				

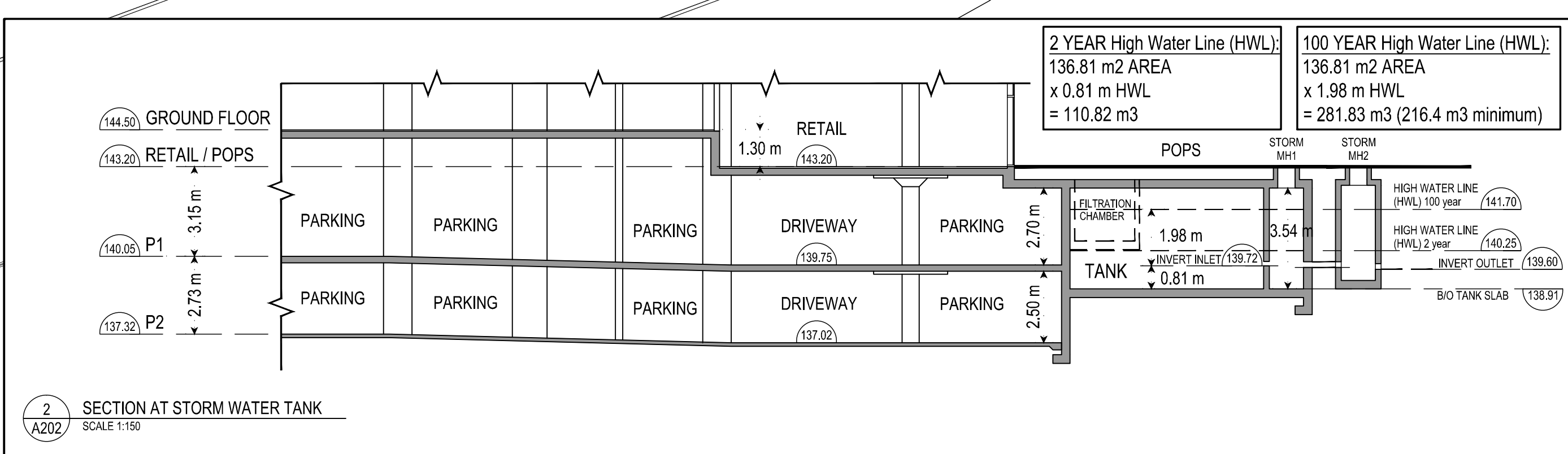
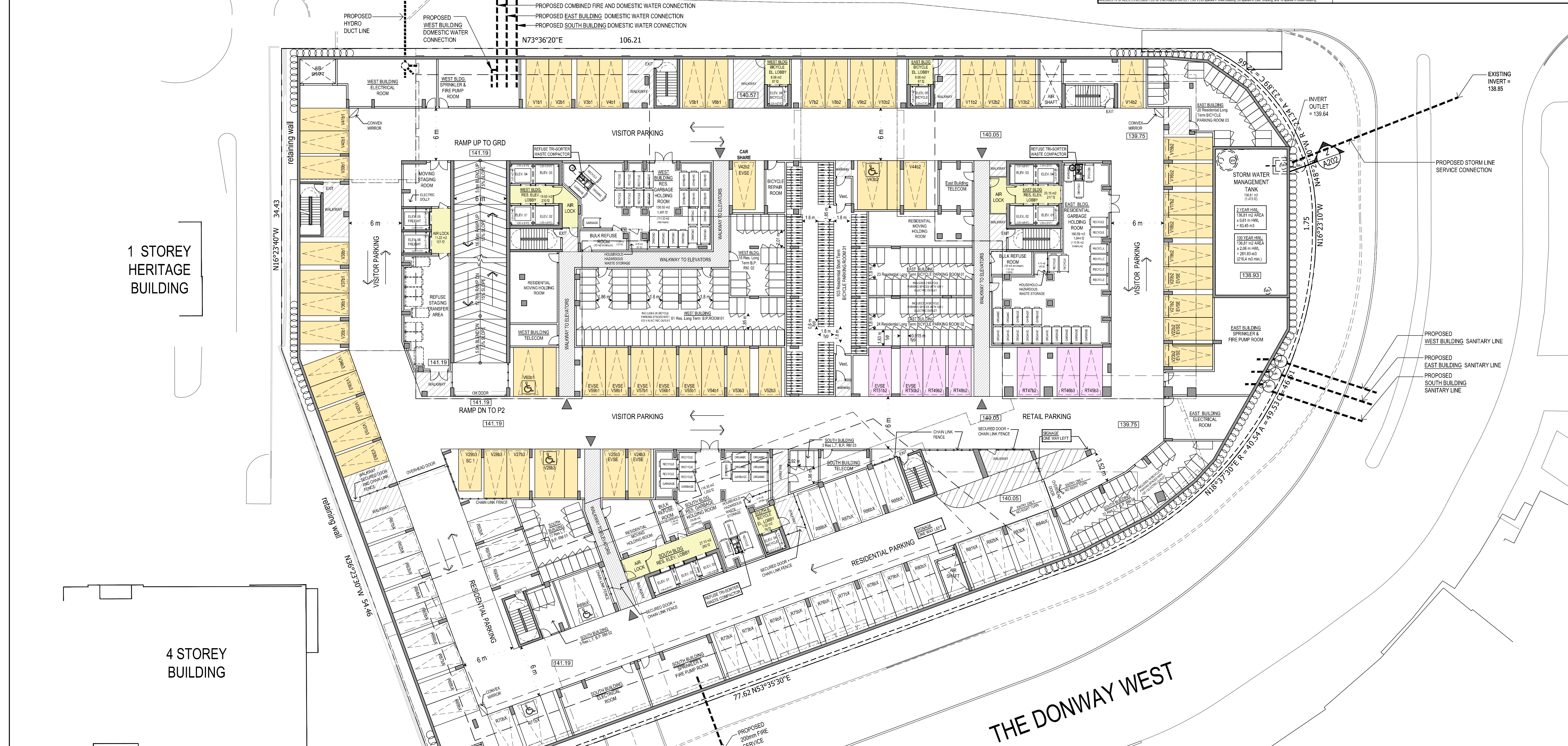
USE	Units	Gfa	Minimum Parking Ratio	Effective Parking Ratio	Effective Parking Required	Proposed Parking Ratio	Proposed Parking Spaces
Studio	44	none	none	0.7 spaces per d.u.	30	22	22
Tr	565	none	none	0.5 spaces per d.u.	452	44	44
Zbr	297	none	none	0.5 spaces per d.u.	297	44	44
2br	116	none	none	1.1 spaces per d.u.	127	44	44
Residents	1,022	2 spaces plus 0.05 per unit	0.1 spaces per d.u.	0.1712 spaces per d.u. = 175	102	44	44
Visitors	1,022	2 spaces plus 0.05 per unit	0.1 spaces per d.u.	2 * 0.05 spaces per d.u. = 53	53	44	44
RETAIL	1,022	1 space per 100m2 of gfa	1 space per 100m2 of gfa	0.1 spaces per 100m2 of gfa = 6	6	44	44
Accessable parking spaces	53	if the number of effective parking spaces is >100, a minimum of 5 accessible parking spaces + 1 accessible parking space for every 50 effective parking spaces or part thereof in excess of 100 parking spaces.	584 spaces - 100 = 684	584 spaces - 100 = 684	18	44	44
ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) - RESIDENTIAL	100% REQUIRED	PROPOSED	175	100%			
ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) - NON-RESIDENTIAL	25% REQUIRED	PROPOSED	15	25%			



WASTE STORAGE STATISTICS		
WEST BUILDING	EAST BUILDING	SOUTH BUILDING
WASTE STORAGE BIN COUNT CALCULATIONS GARBAGE = 1 BIN PER 54 UNITS = 392/54 = 8 RECYCLE = 1 BIN PER 45 UNITS = 392/45 = 8 ORGANIC = 1 BIN PER 45 UNITS = 392/45 = 8	WASTE STORAGE BIN COUNT CALCULATIONS GARBAGE = 1 BIN PER 54 UNITS = 379/54 = 7 RECYCLE = 1 BIN PER 45 UNITS = 379/45 = 8 ORGANIC = 1 BIN PER 45 UNITS = 379/45 = 8	WASTE STORAGE BIN COUNT CALCULATIONS GARBAGE = 1 BIN PER 54 UNITS = 261/54 = 5 RECYCLE = 1 BIN PER 45 UNITS = 261/45 = 6 ORGANIC = 1 BIN PER 45 UNITS = 261/45 = 6
WASTE STORAGE ROOM CALCULATIONS 25 m2 FOR FIRST 50 D.U. + 0.25 m2 FOR EACH ADDITIONAL D.U. + 10 m2 FOR BULKY ITEMS + 1 m2 PER 100 UNITS FOR HOUSEHOLD HAZARDOUS WASTE STORAGE (H.H.W.S.) DWELLING UNITS = 392 * 0.25 = 98.00 m2 + 10.00 m2 = 108.00 m2 + 25.00 m2 = 133.00 m2 + 10.00 m2 (100/100) = 143.00 m2 (MINIMUM)	WASTE STORAGE ROOM CALCULATIONS 25 m2 FOR FIRST 50 D.U. + 0.25 m2 FOR EACH ADDITIONAL D.U. + 10 m2 FOR BULKY ITEMS + 1 m2 PER 100 UNITS FOR HOUSEHOLD HAZARDOUS WASTE STORAGE (H.H.W.S.) DWELLING UNITS = 379 * 0.25 = 94.75 m2 + 10.00 m2 = 104.75 m2 + 25.00 m2 = 129.75 m2 + 10.00 m2 (100/100) = 139.75 m2 (MINIMUM)	WASTE STORAGE ROOM CALCULATIONS 25 m2 FOR FIRST 50 D.U. + 0.25 m2 FOR EACH ADDITIONAL D.U. + 10 m2 FOR BULKY ITEMS + 1 m2 PER 100 UNITS FOR HOUSEHOLD HAZARDOUS WASTE STORAGE (H.H.W.S.) DWELLING UNITS = 261 * 0.25 = 65.25 m2 + 10.00 m2 = 75.25 m2 + 25.00 m2 = 100.25 m2 + 10.00 m2 (100/100) = 110.25 m2 (MINIMUM)

BICYCLE PARKING STATISTICS		
TIER 1 - WEST BUILDING	TIER 1 - SOUTH BUILDING	TIER 1 - TOTAL
RESIDENTS BICYCLE PARKING CALCULATIONS LONG TERM = 1.0 SPACES PER DWELLING UNIT = 0.9 * 392 = 353 SHORT TERM = 0.2 SPACES PER DWELLING UNIT = 0.2 * 392 = 77 TOTAL = 1.1 SPACES PER DWELLING UNIT = 1.1 * 392 = 431	RESIDENTS BICYCLE PARKING CALCULATIONS LONG TERM = 1.0 SPACES PER DWELLING UNIT = 0.9 * 379 = 341 SHORT TERM = 0.2 SPACES PER DWELLING UNIT = 0.2 * 379 = 76 TOTAL = 1.1 SPACES PER DWELLING UNIT = 1.1 * 379 = 417	RESIDENTS BICYCLE PARKING CALCULATIONS LONG TERM = 1.0 SPACES PER DWELLING UNIT = 0.9 * 1022 = 920 SHORT TERM = 0.2 SPACES PER DWELLING UNIT = 0.2 * 1022 = 204 TOTAL = 1.1 SPACES PER DWELLING UNIT = 1.1 * 1022 = 1124



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OAA, RAIC

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J. Sato

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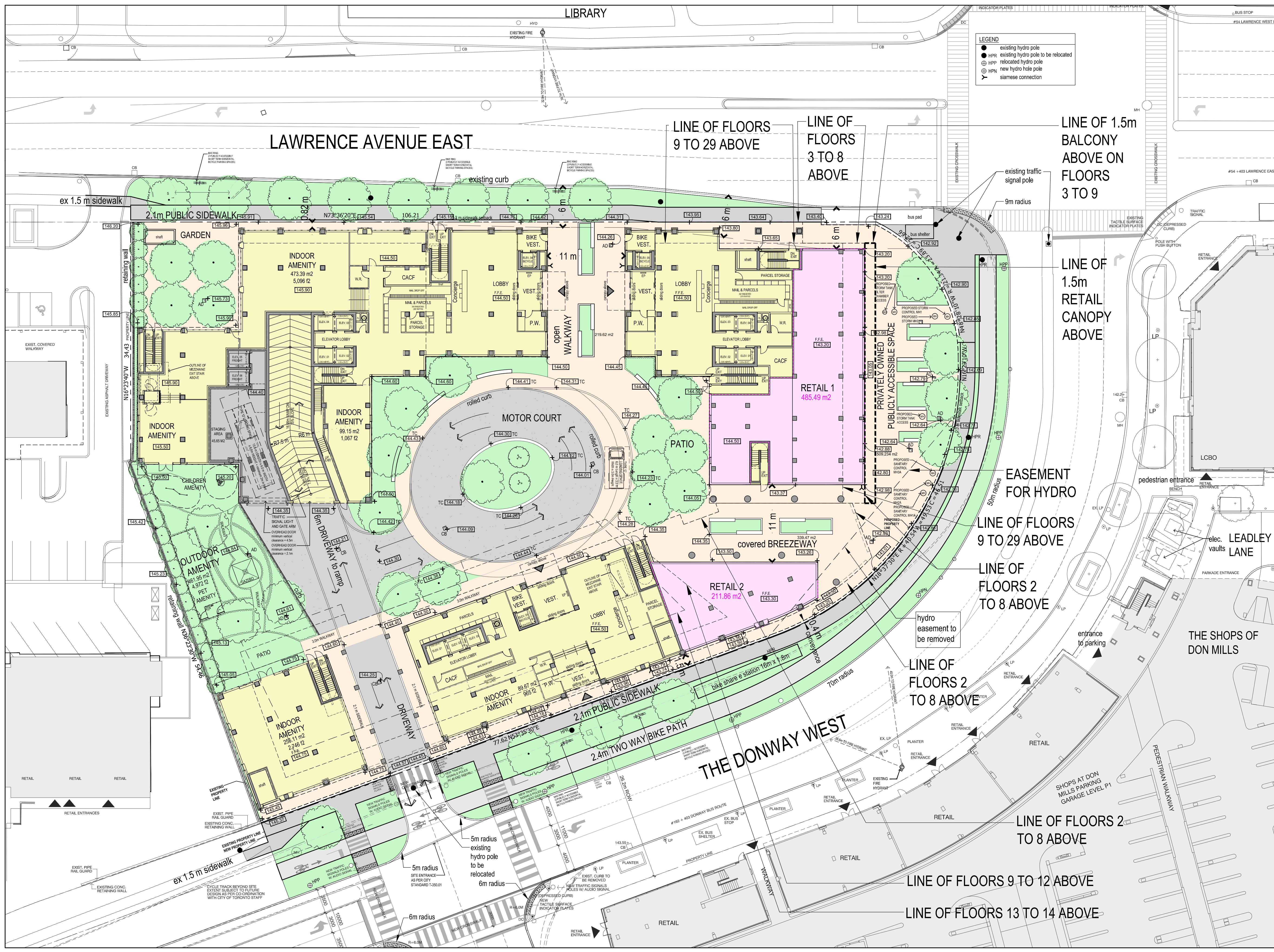
Proposed Mixed Use Development

895 LAWRENCE AVENUE EAST  
Toronto, Ontario

Drawing  
**P1 LEVEL**  
(1 FLOOR)

Scale: 1:250  
Plot date: MARCH 5, 2026

**P1**  
Sheet  
**A202**



**LEGEND**

- existing hydro pole
- HPR existing hydro pole to be relocated
- HPP relocated hydro pole
- HPN new hydro hole pole
- Y siamese connection

Varacalli Architect inc.  
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 OAA, RAIC

Signature

Project Manager  
 J. Seto

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Proposed Mixed Use Development

895 LAWRENCE AVENUE EAST  
 Toronto, Ontario

Drawing  
**GROUND PLAN**  
 Level 1

Scale: 1:250  
 Plot date: MARCH 5, 2026

Sheet  
**A301**















