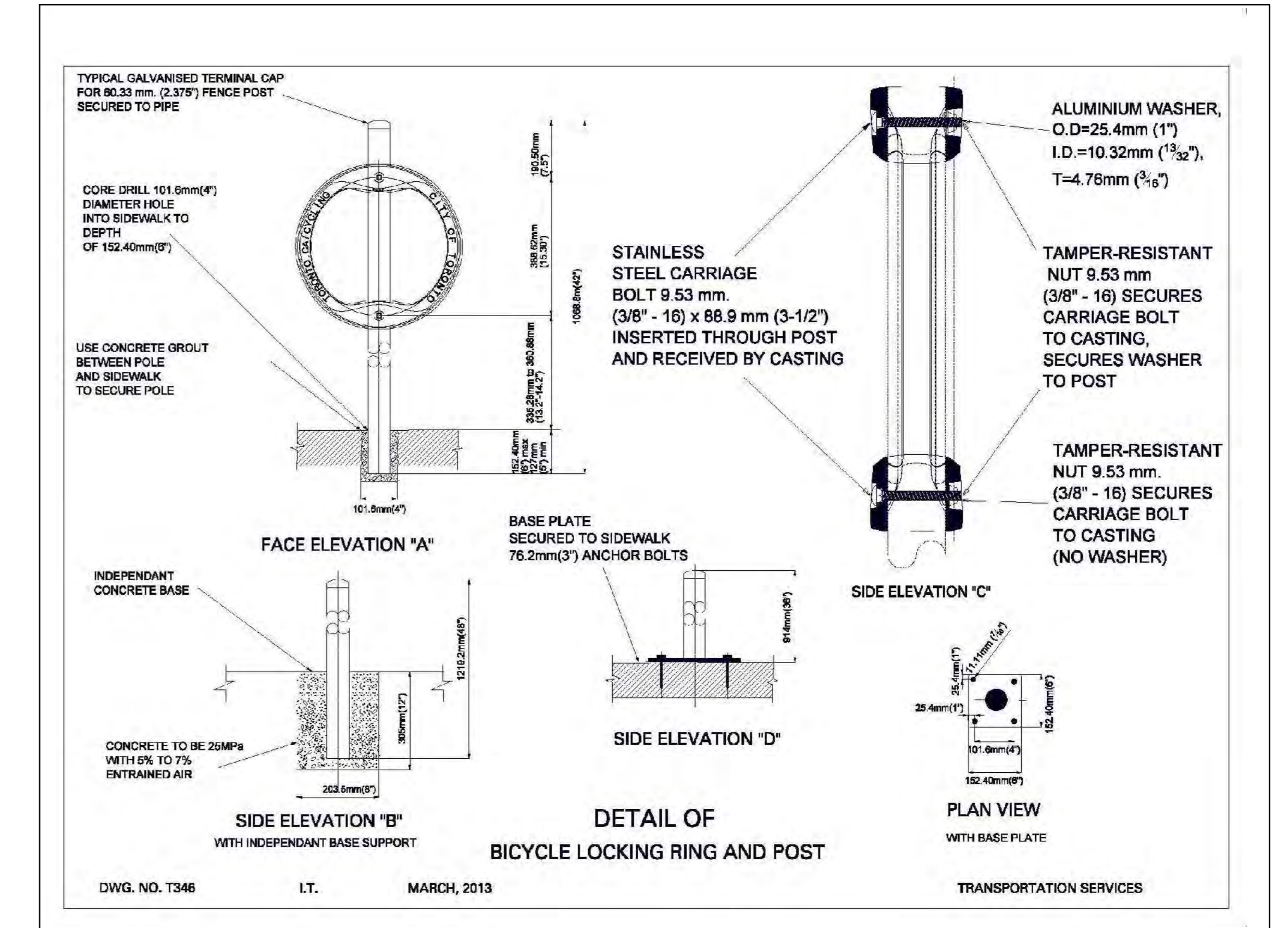
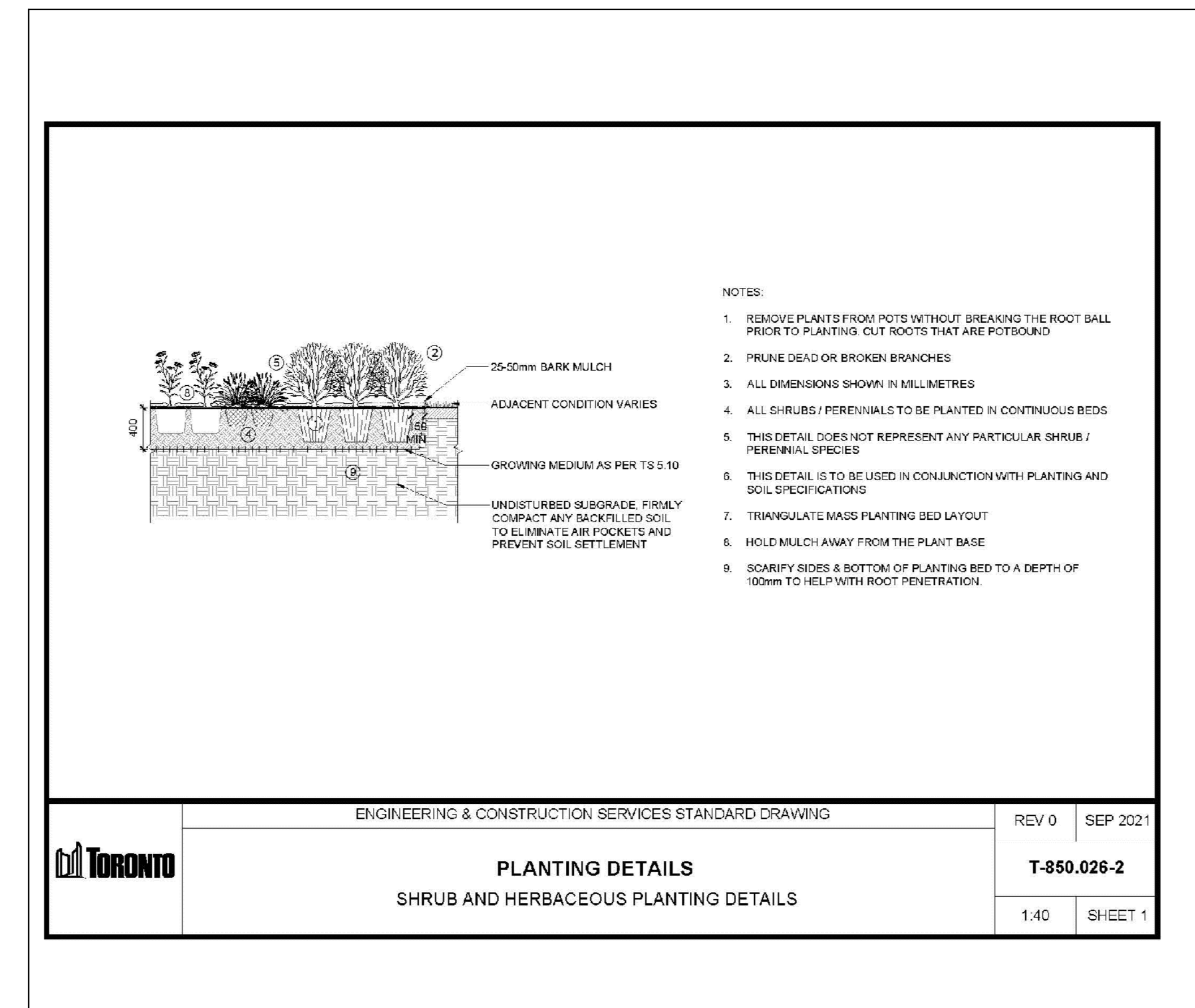
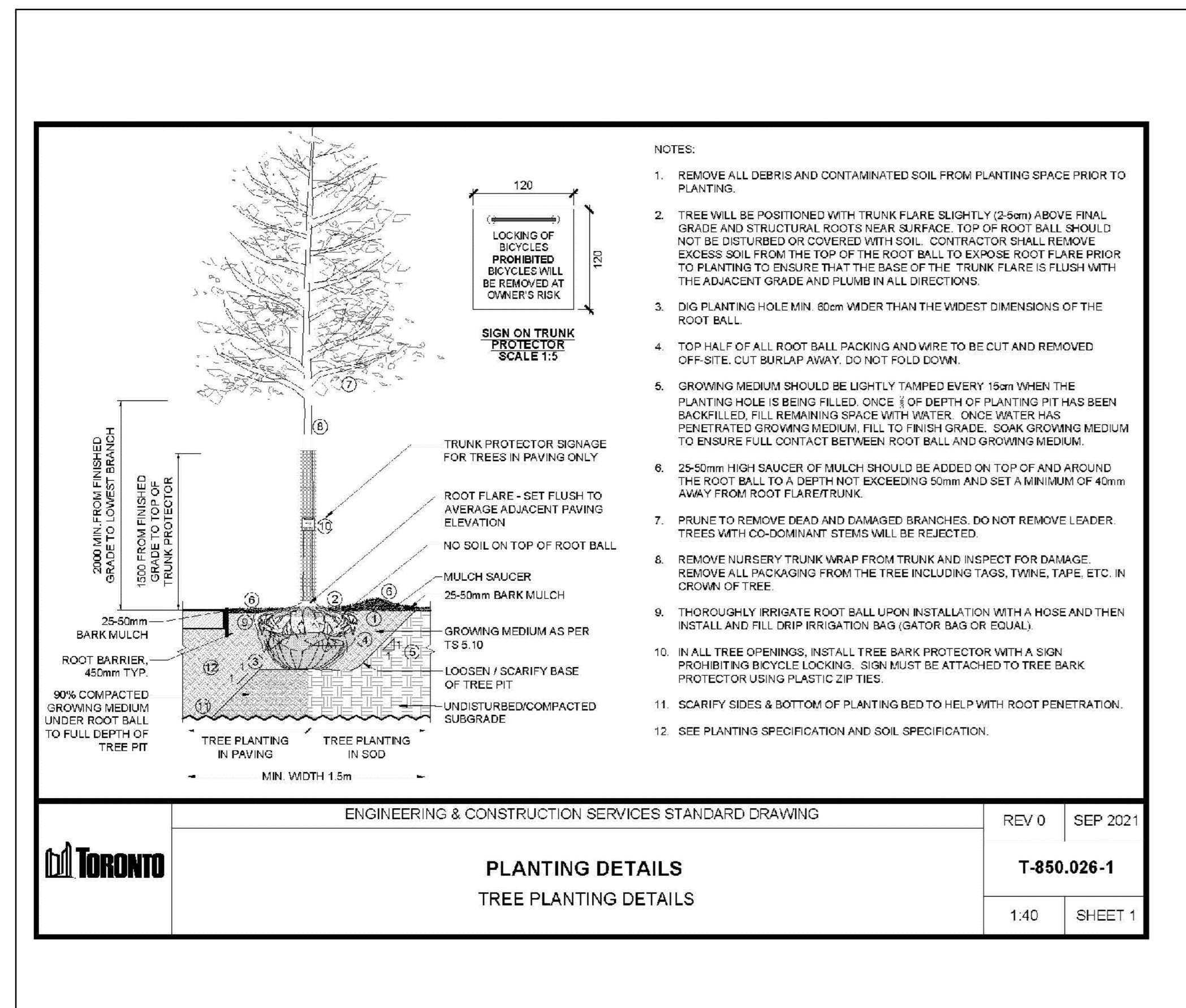


LEGEND

1 TRESSES IN SOFT LANDSCAPE
 SPL7 CITY OF TORONTO DETAIL

NTS

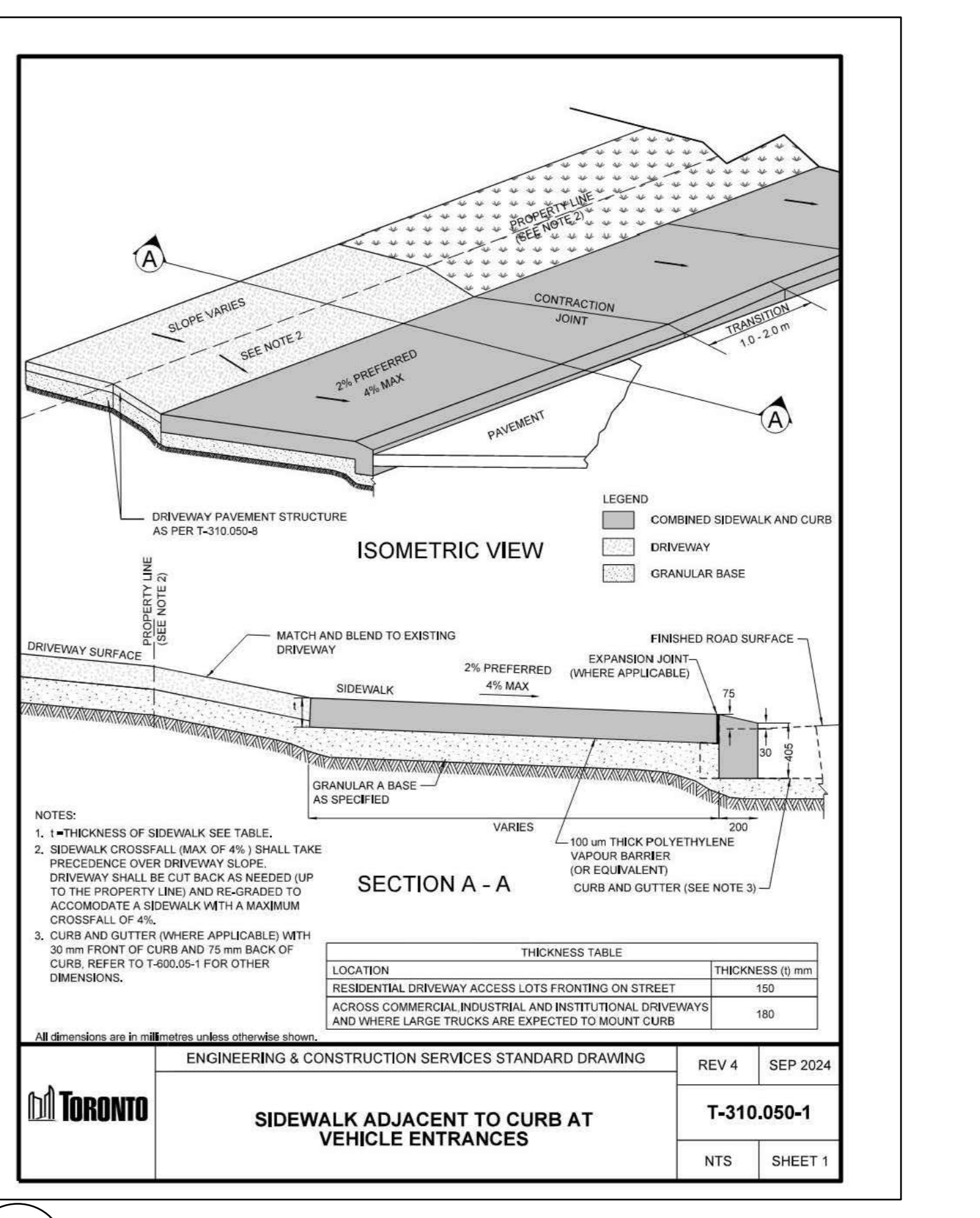
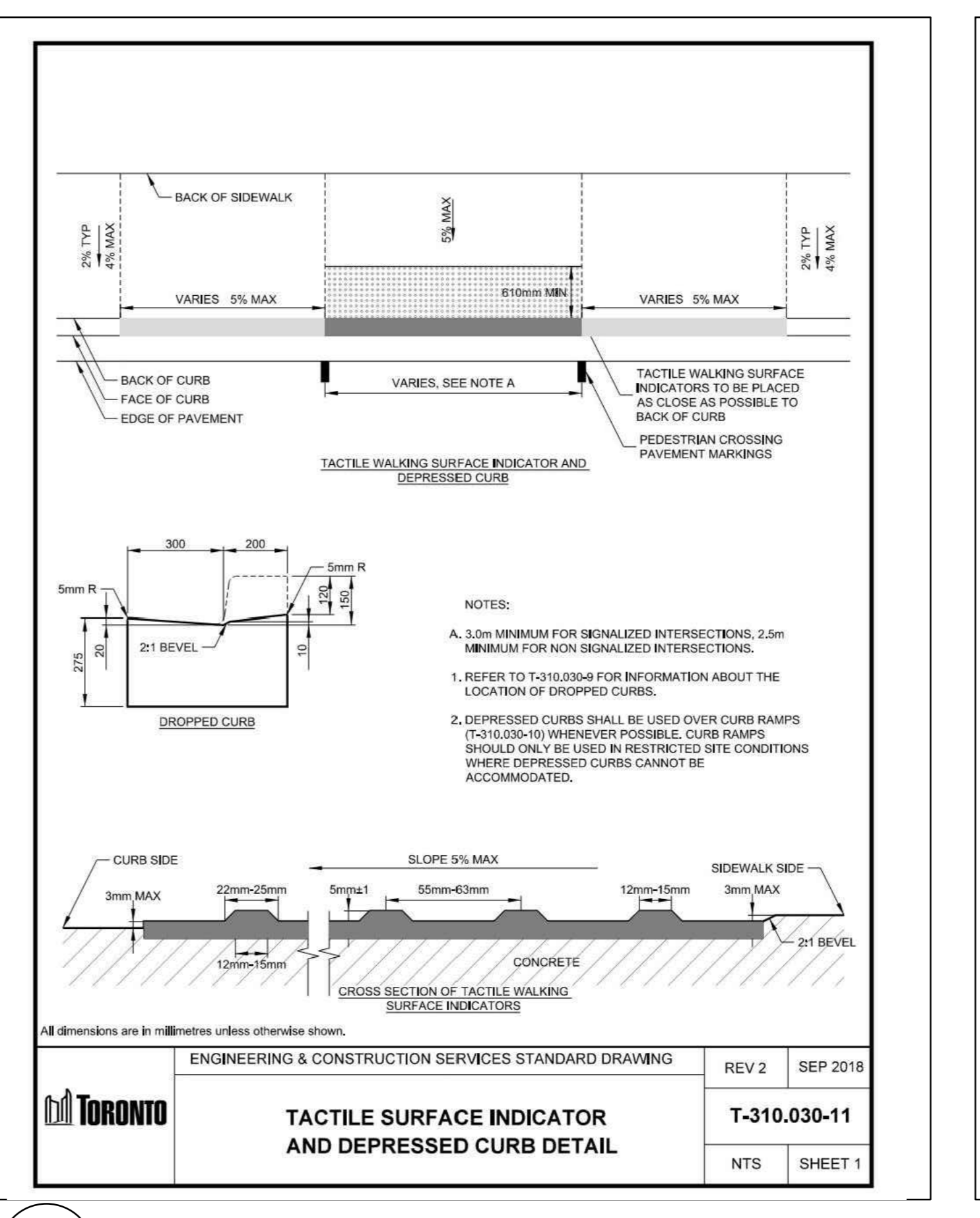
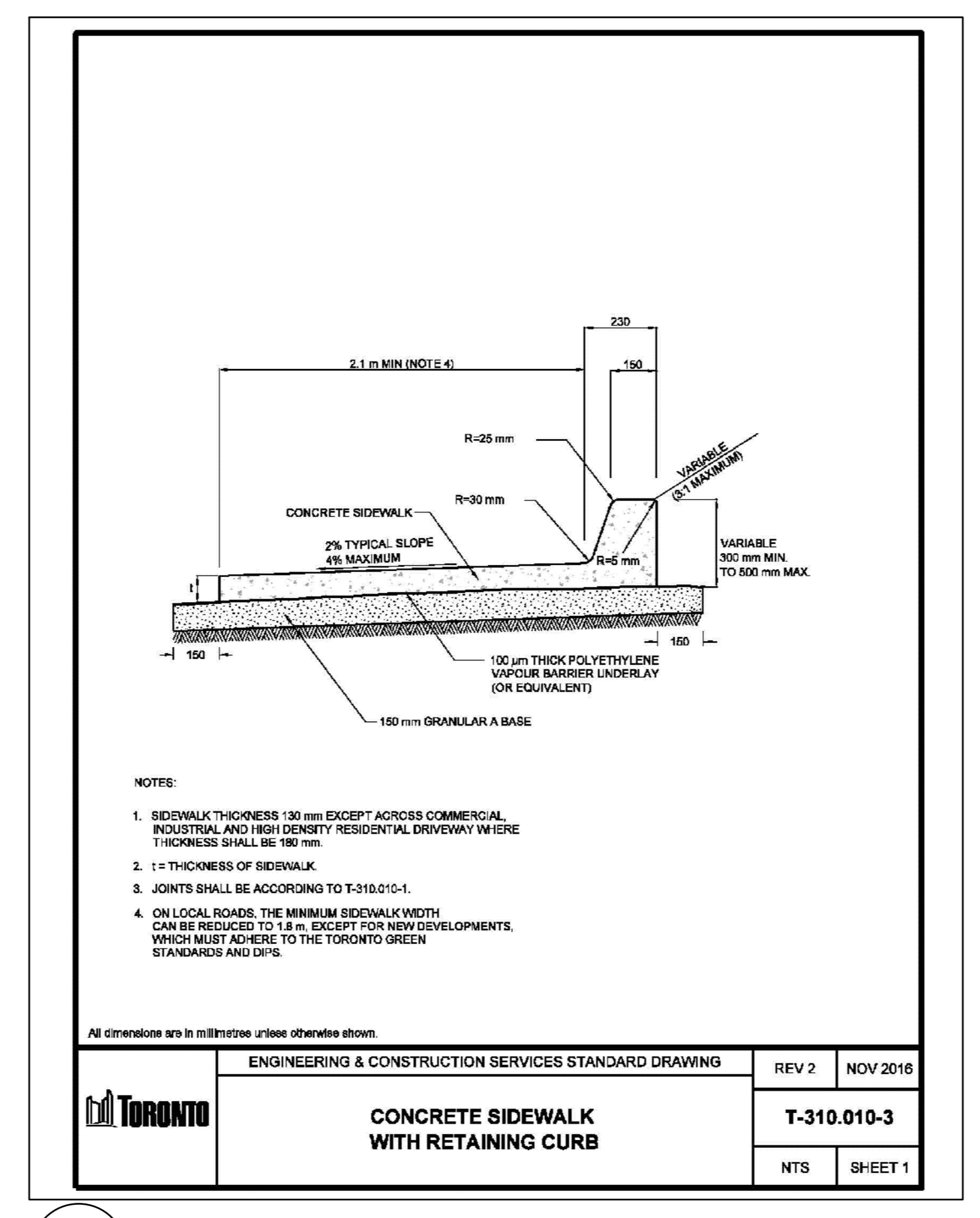
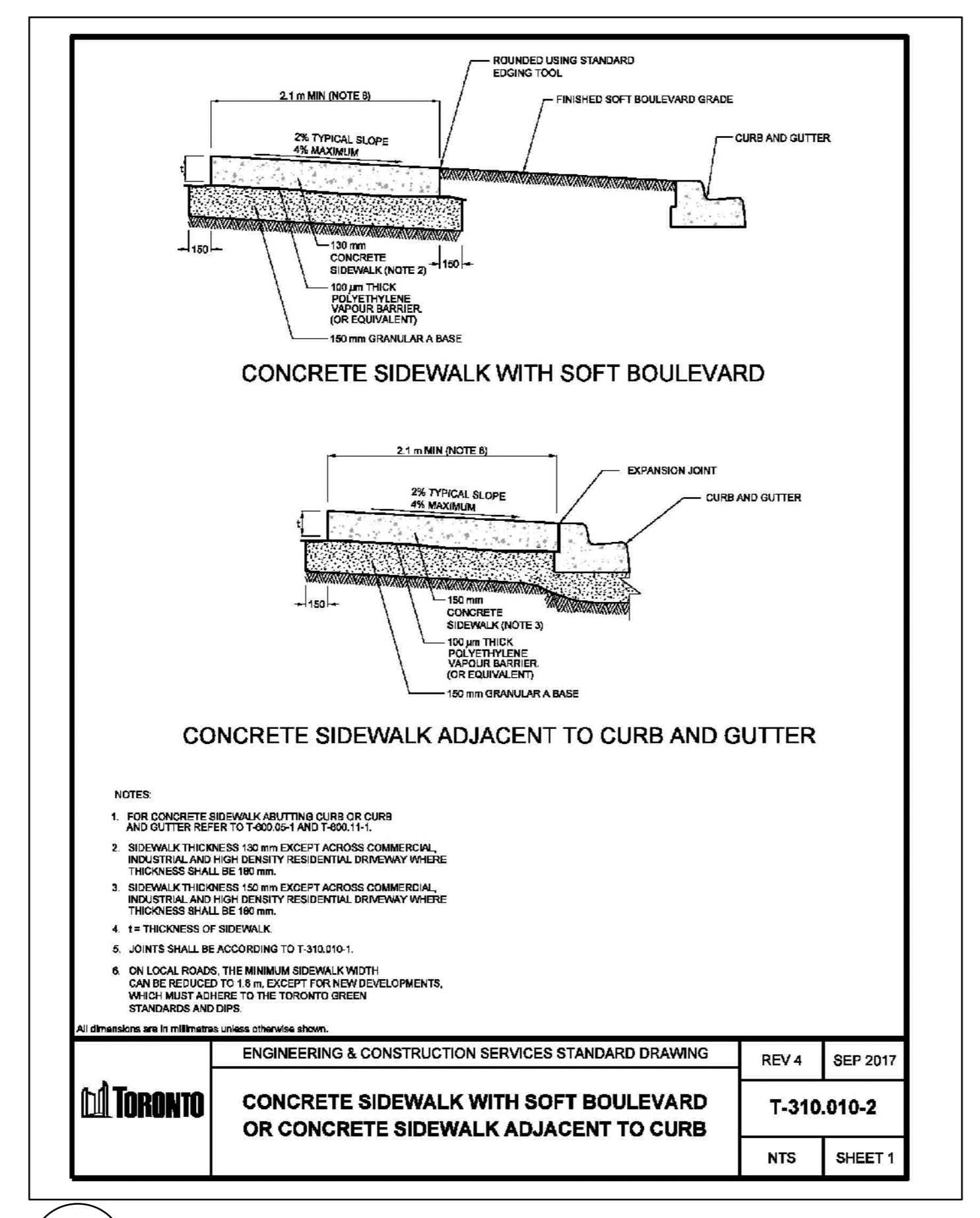
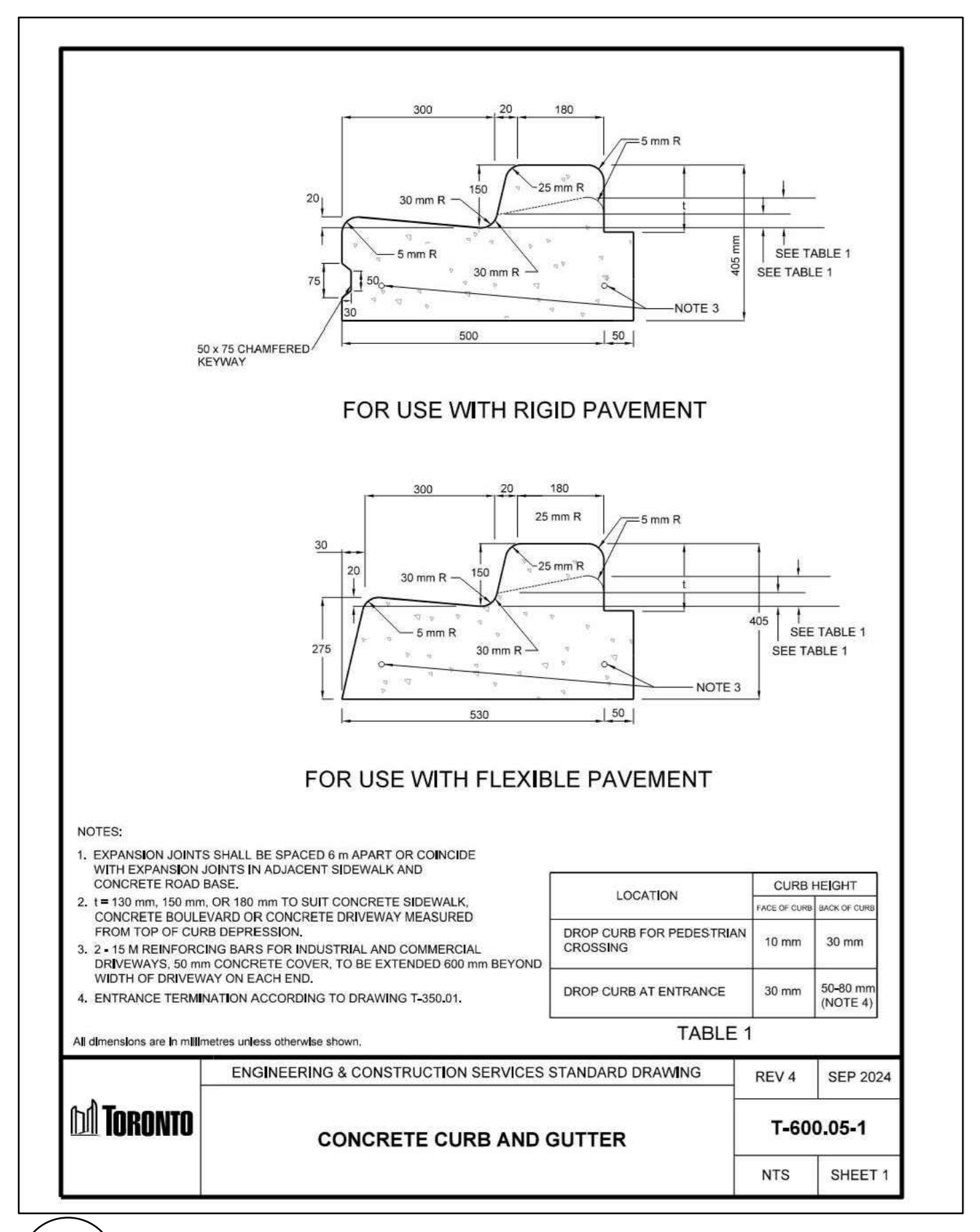


2 TREE PLANTING DETAIL
 SPL7 CITY OF TORONTO DETAIL

3 SHRUB AND PERENNIAL PLANTING DETAIL
 SPL7 CITY OF TORONTO DETAIL

4 BIKE RING
 SPL7 CITY OF TORONTO DETAIL

NTS



5 CONCRETE CURB
 SPL7 CITY OF TORONTO DETAIL

6 CONCRETE SIDEWALK
 SPL7 CITY OF TORONTO DETAIL

7 CONCRETE SIDEWALK JOINTS
 SPL7 CITY OF TORONTO DETAIL

8 TACTILE INDICATOR STRIP
 SPL7 CITY OF TORONTO DETAIL

9 VEHICULAR ENTRANCE
 SPL7 CITY OF TORONTO DETAIL

NTS

Project: 110 Sheppard Ave. E

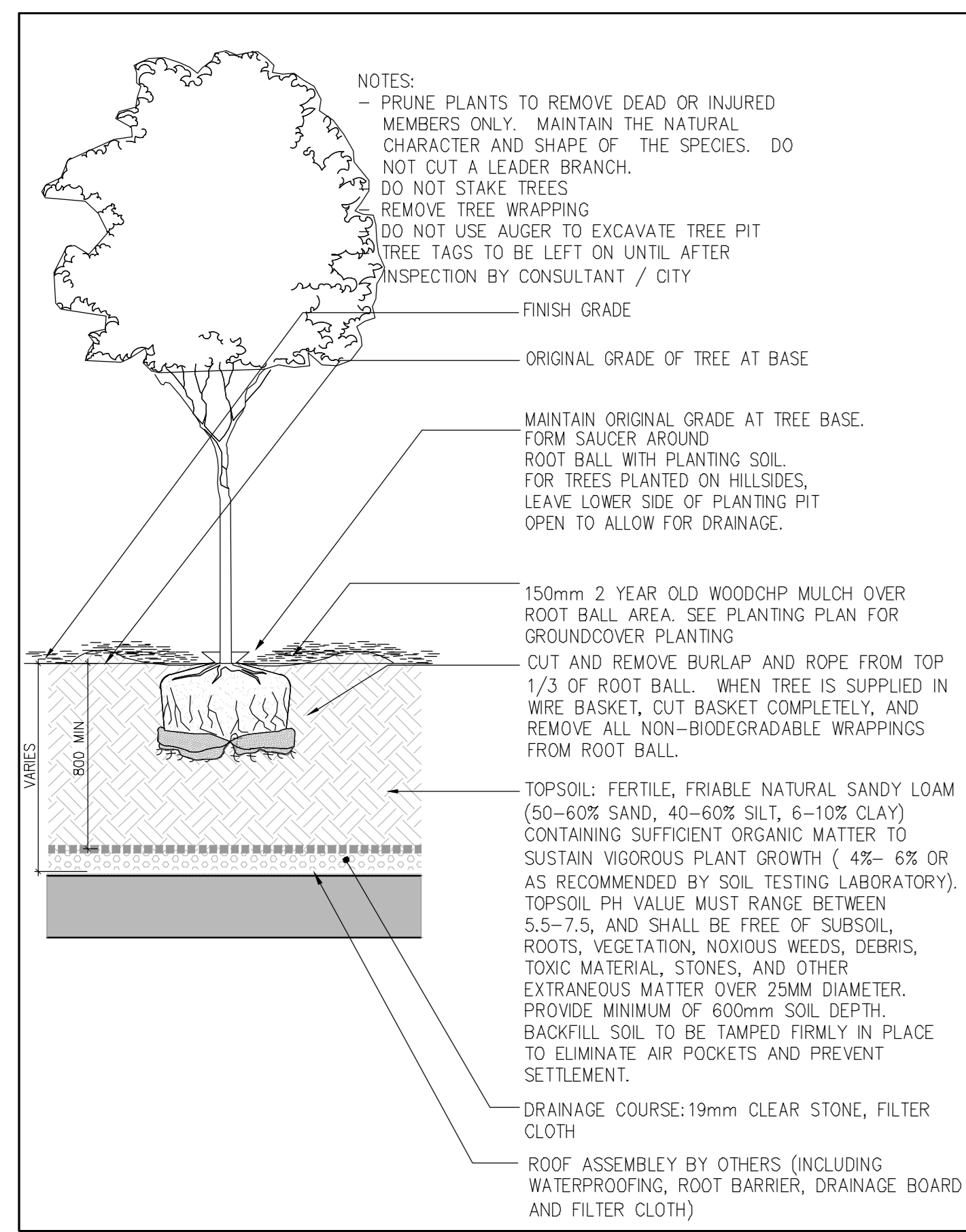
Prepared for: 110 Sheppard East GP Inc.

Location: Toronto, Ontario

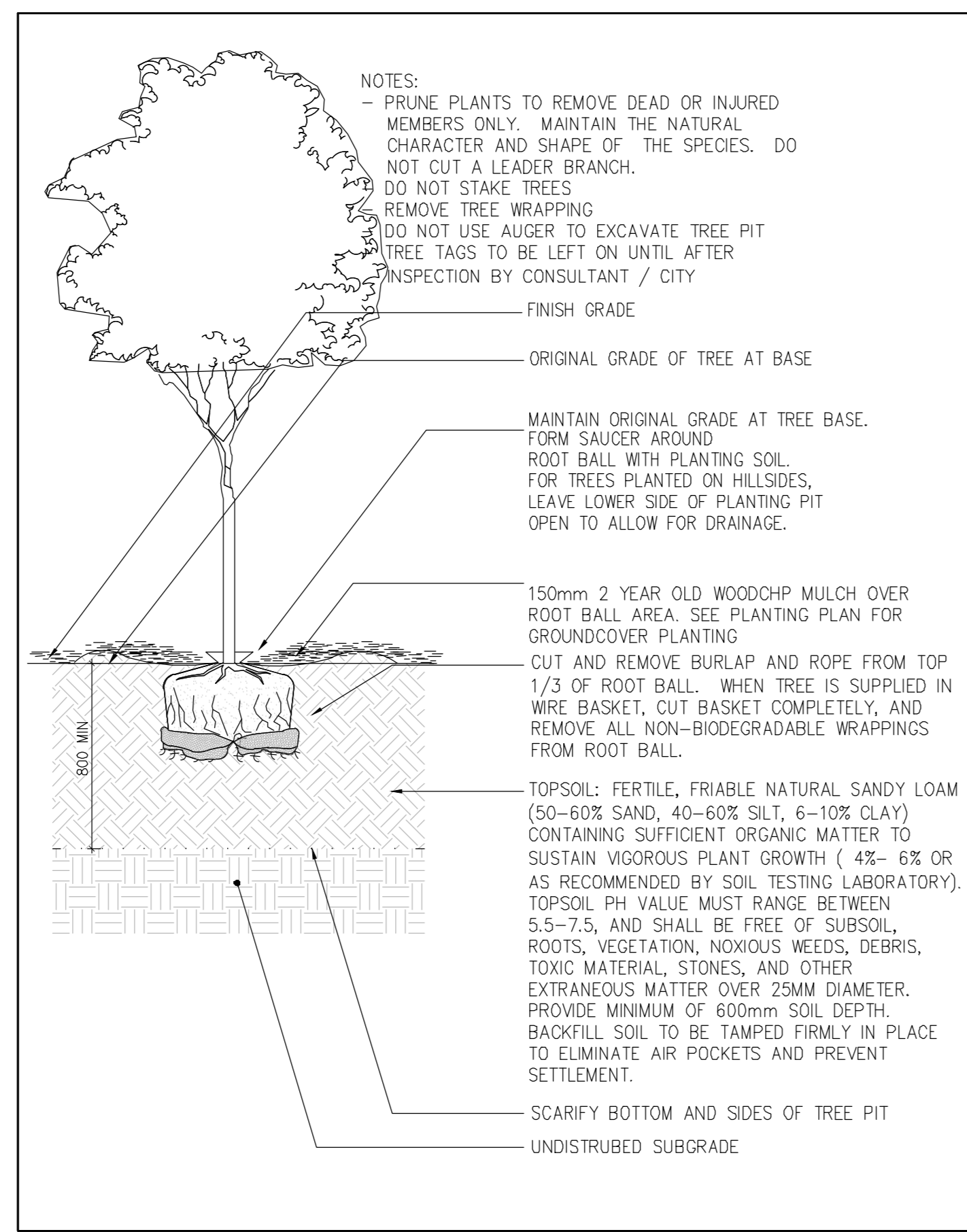
Ferris + Associates
 213 Spadina Road
 Suite 211
 Toronto, Ontario
 M5R 2S2

Drawing Title: CITY DETAILS

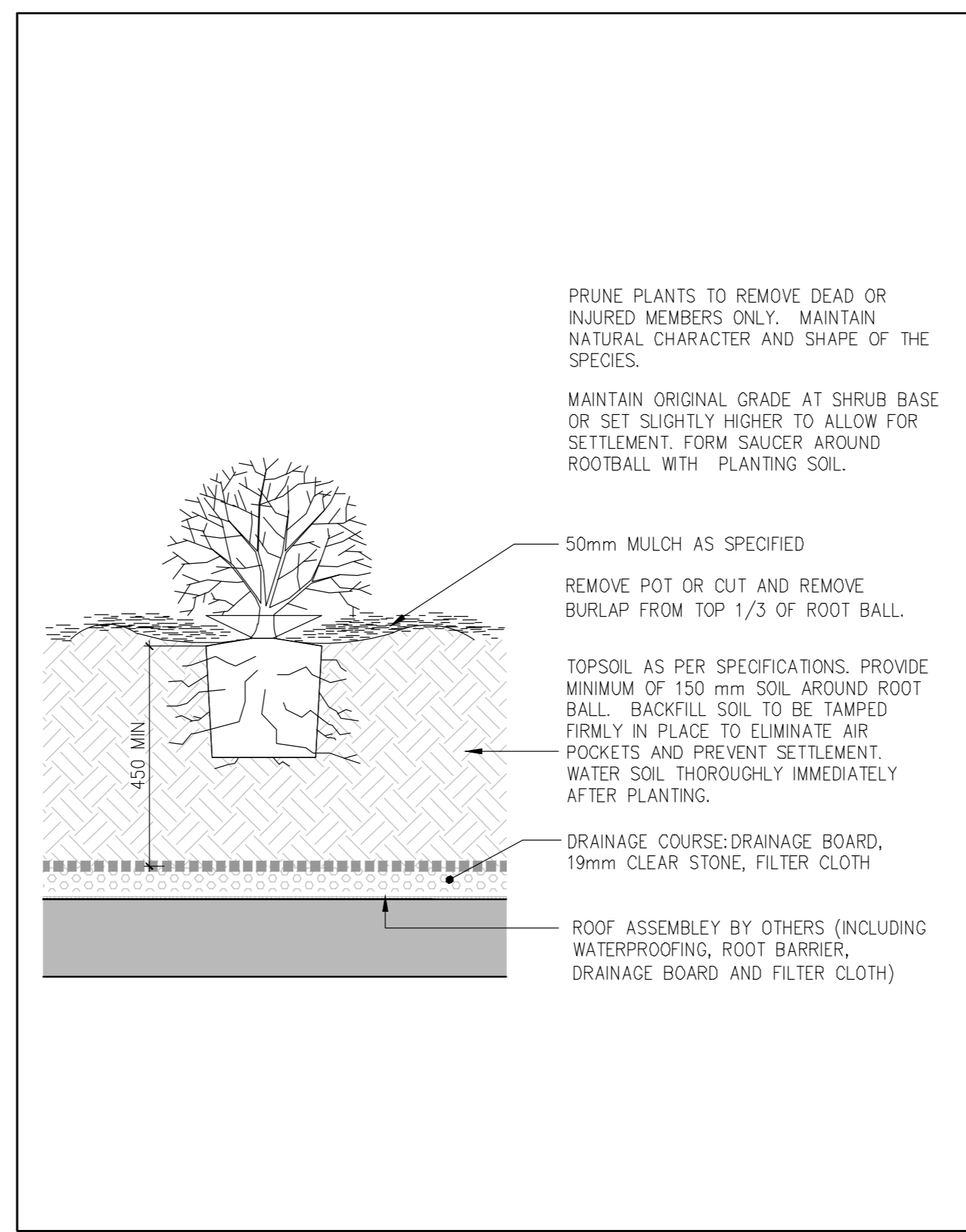
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 Drawing No: SPL7



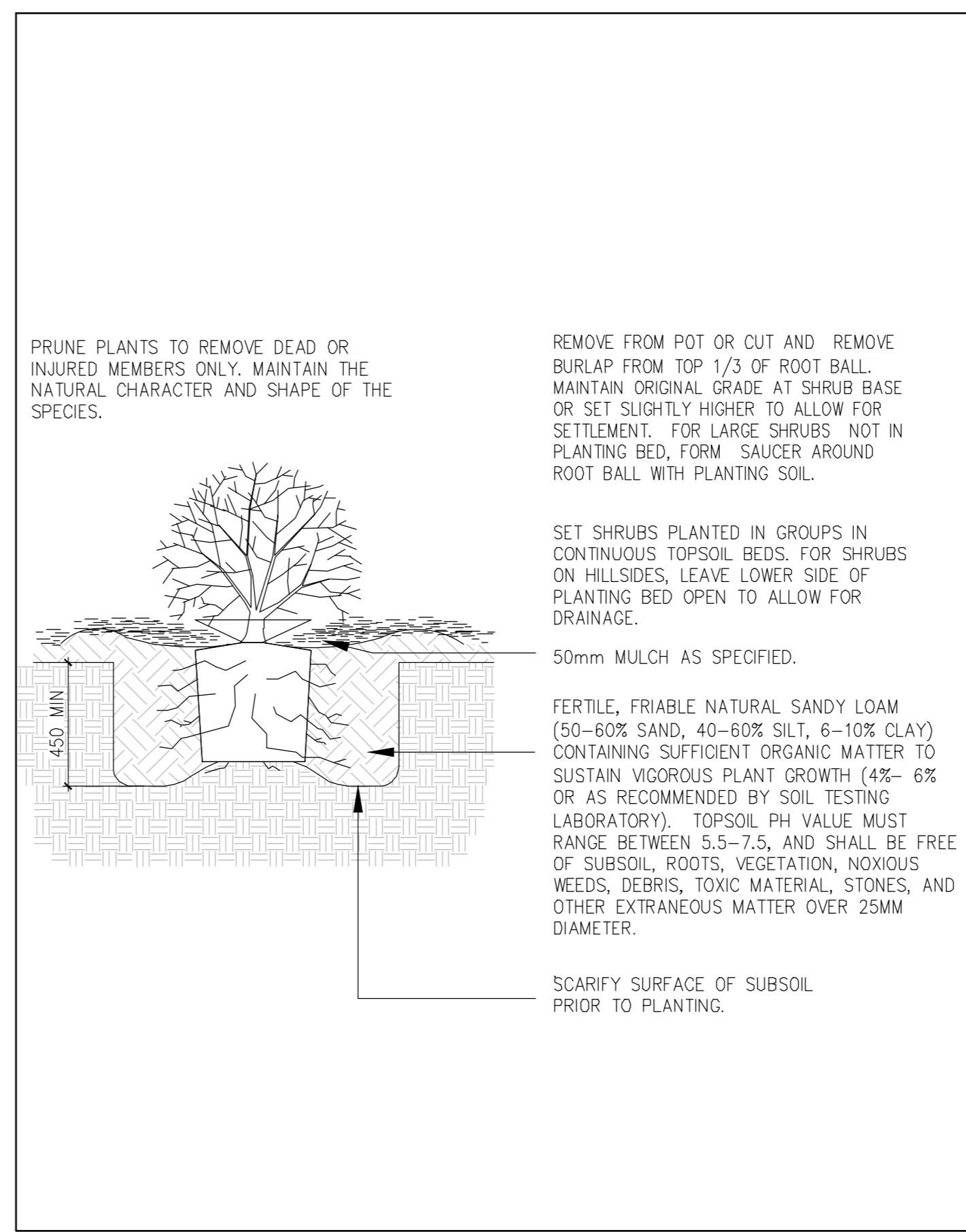
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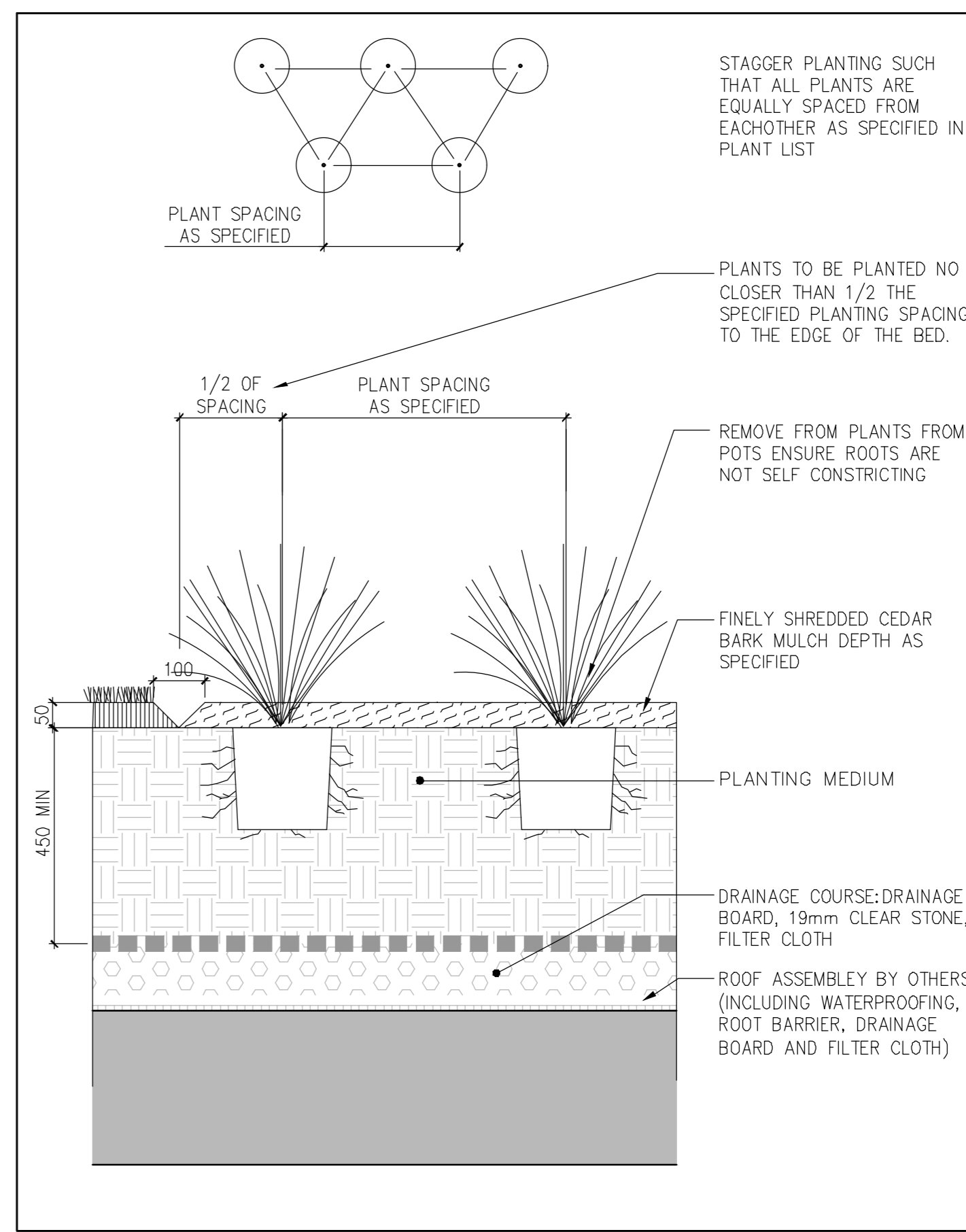
2 SPL8 TREE PLANTING ON GRADE 1:25



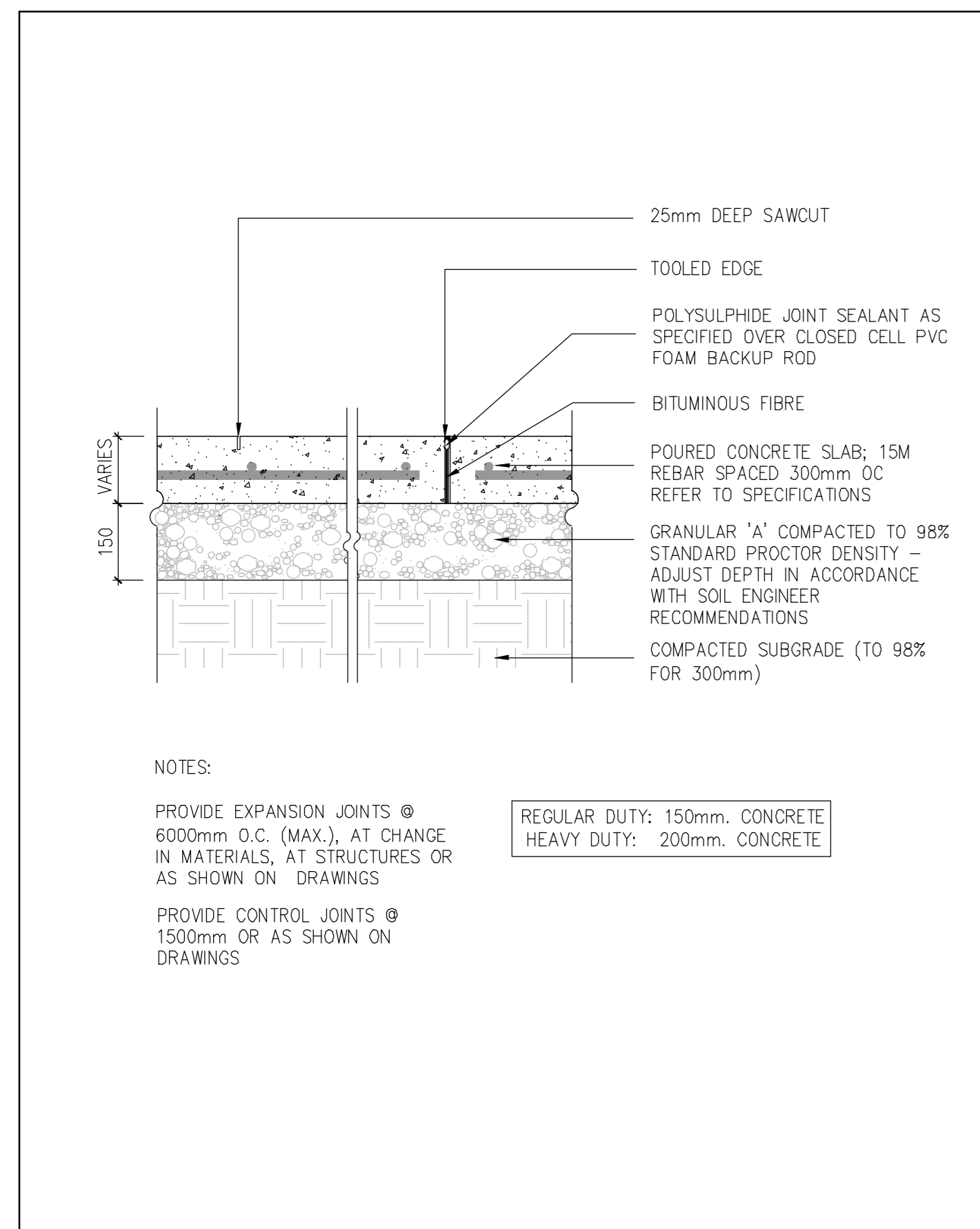
3 SPL8 SHRUB PLANTING ON STRUCTURE 1:20



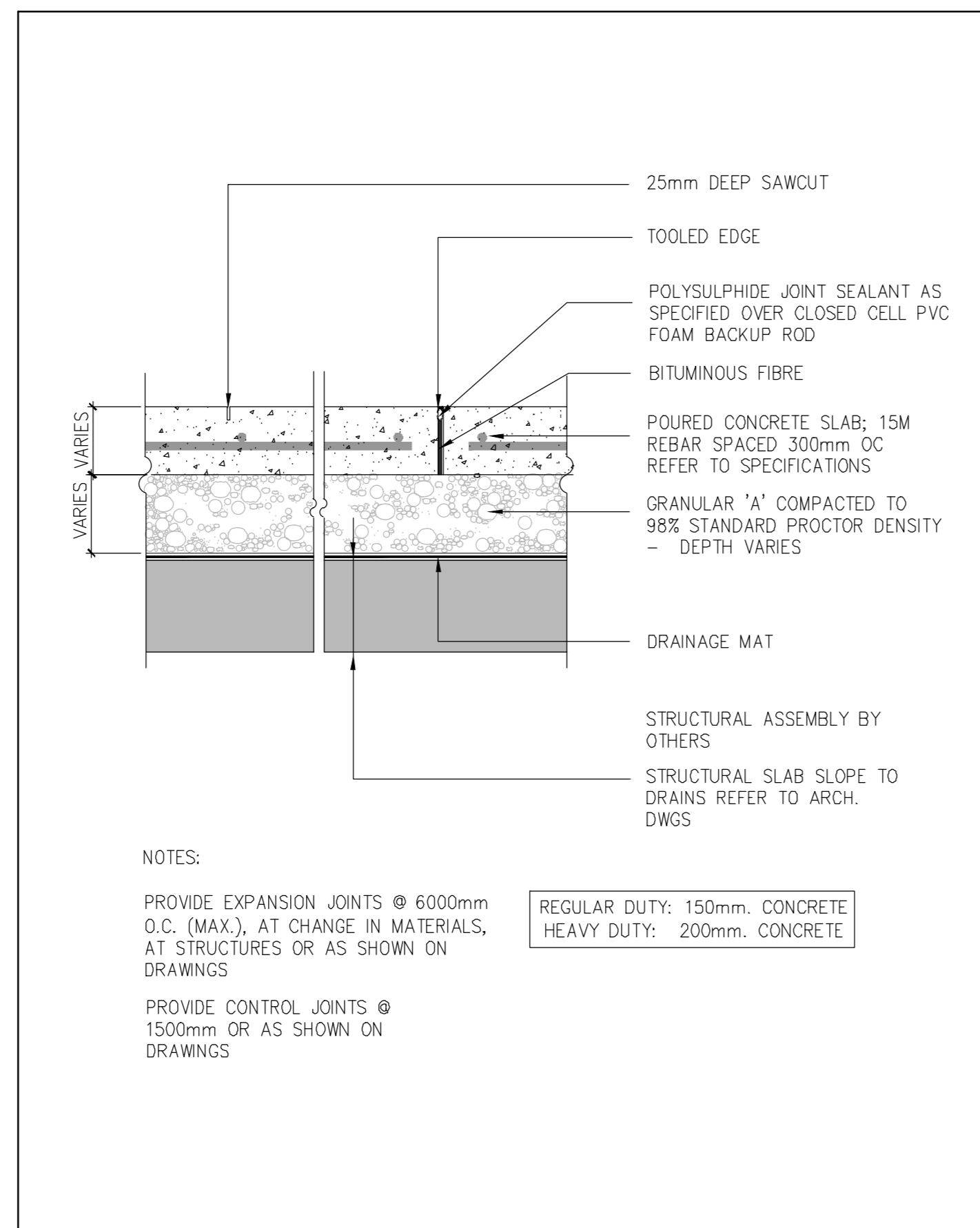
4 SPL8 SHRUB PLANTING ON GRADE 1:20



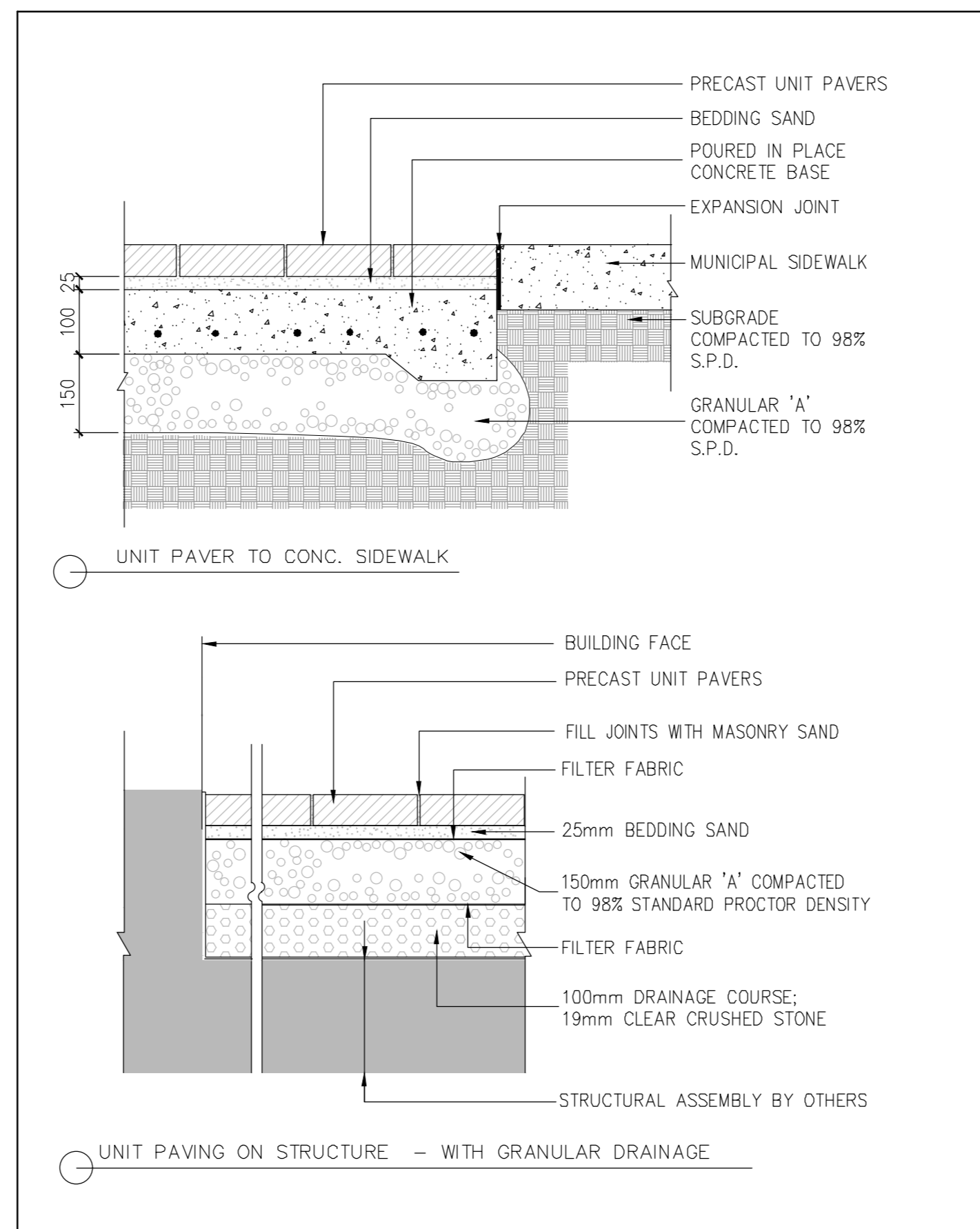
5 SPL8 PERENNIAL PLANTING ON STRUCTURE 1:10



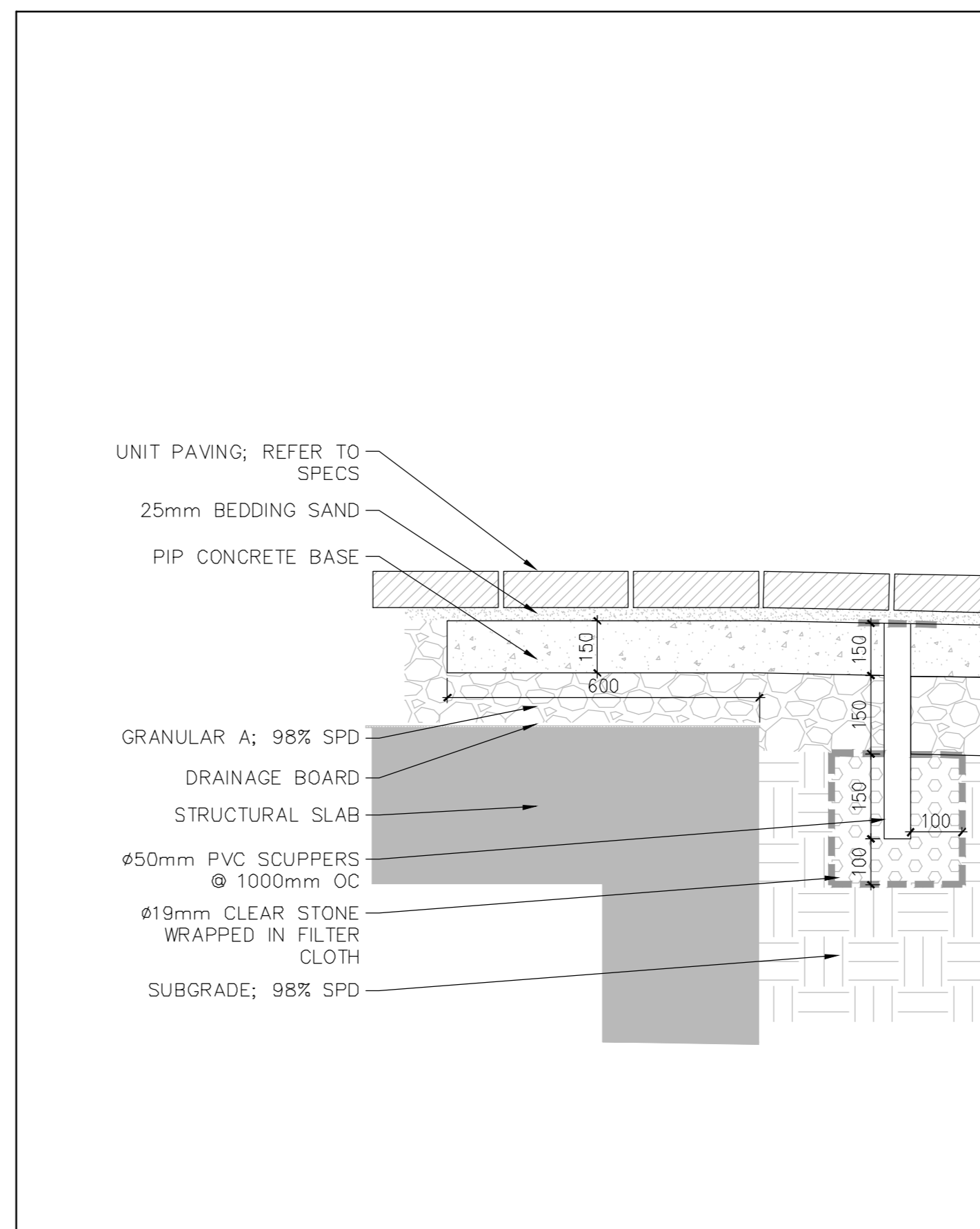
6 SPL8 CONCRETE PAVING ON GRADE 1:10



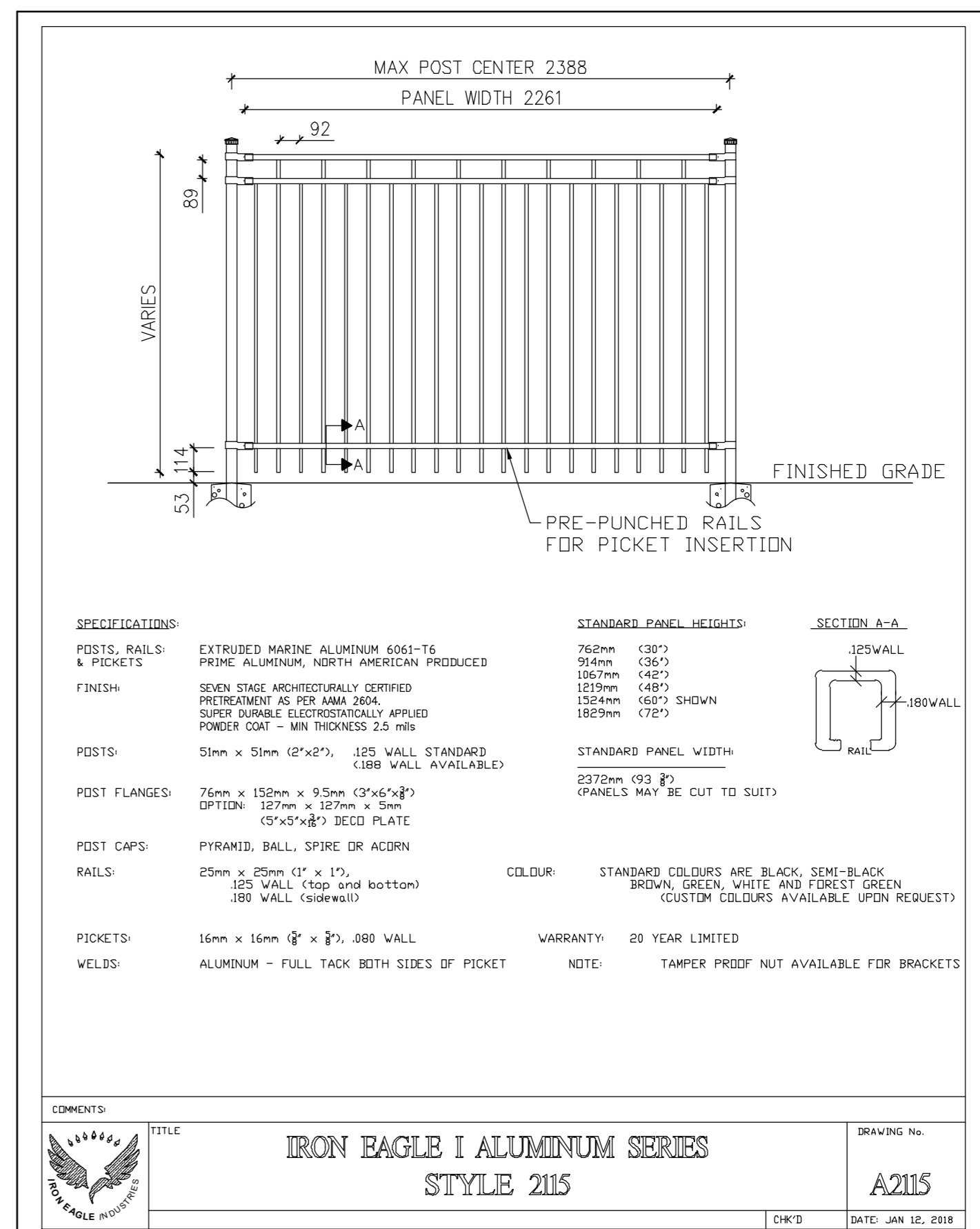
7 SPL8 CONCRETE PAVING ON STRUCTURE 1:10



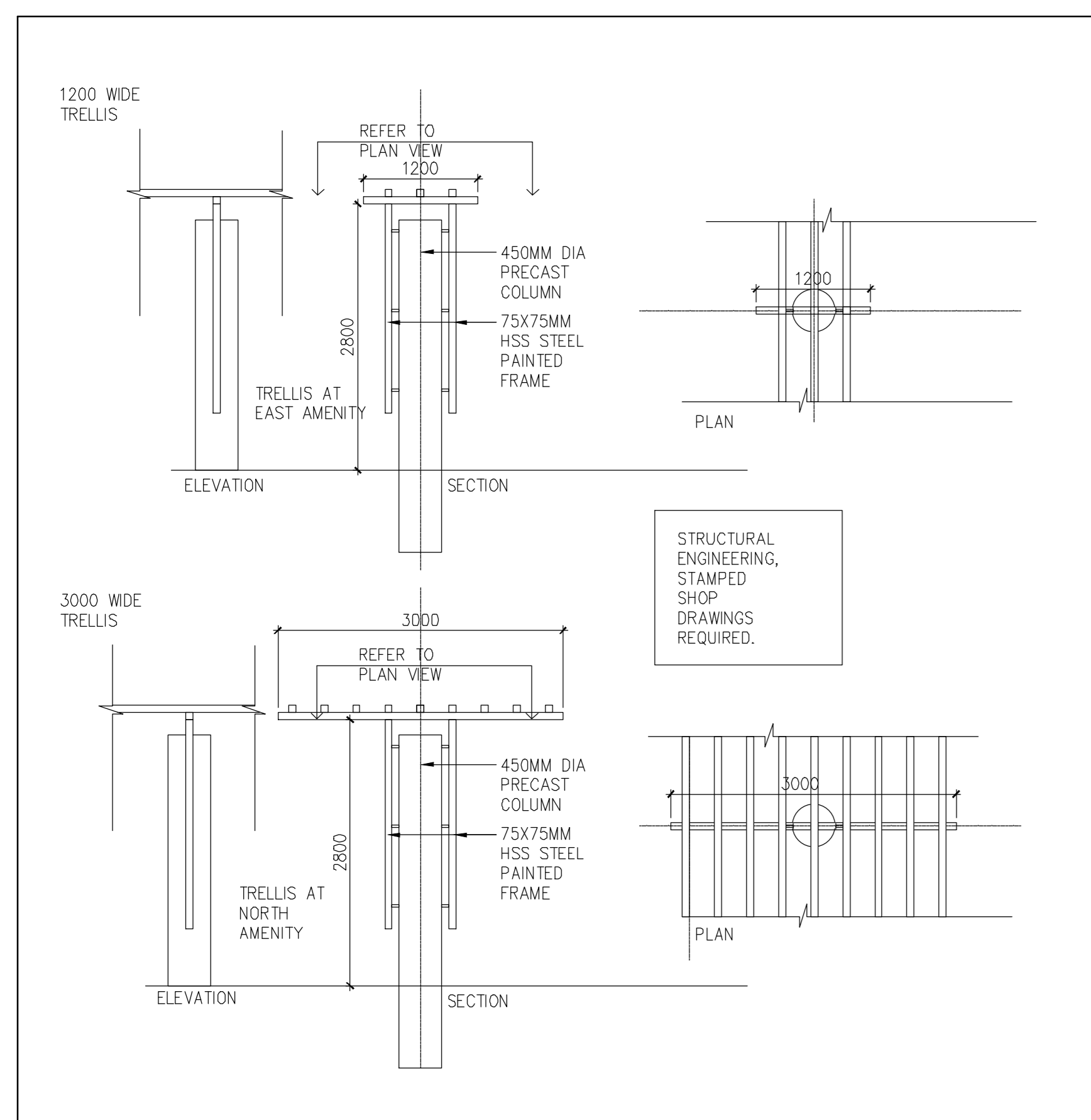
8 SPL8 UNIT PAVING 1:10



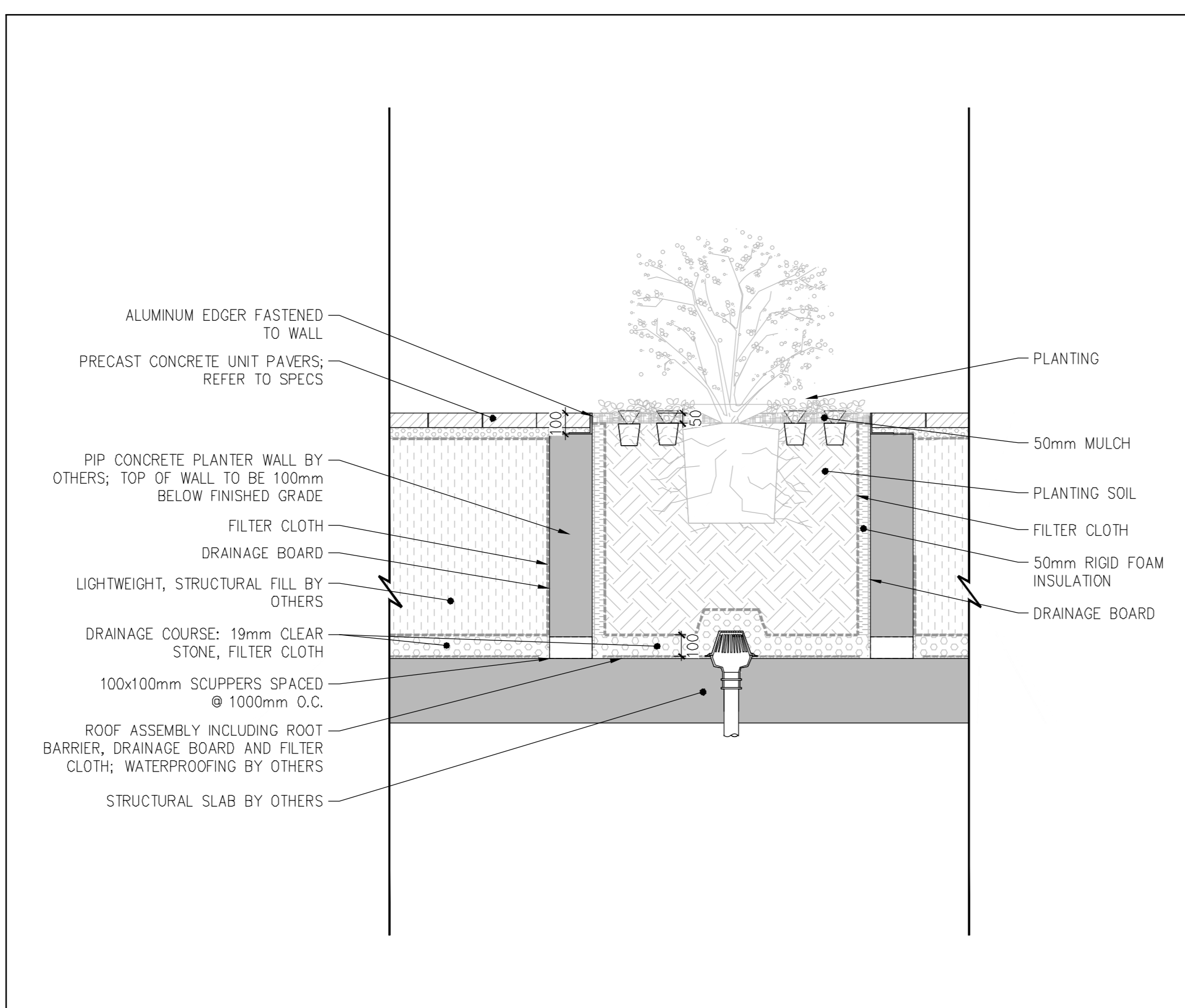
9 SPL8 UNIT PAVING TRANSITION FROM STRUCTURE TO GRADE 1:10



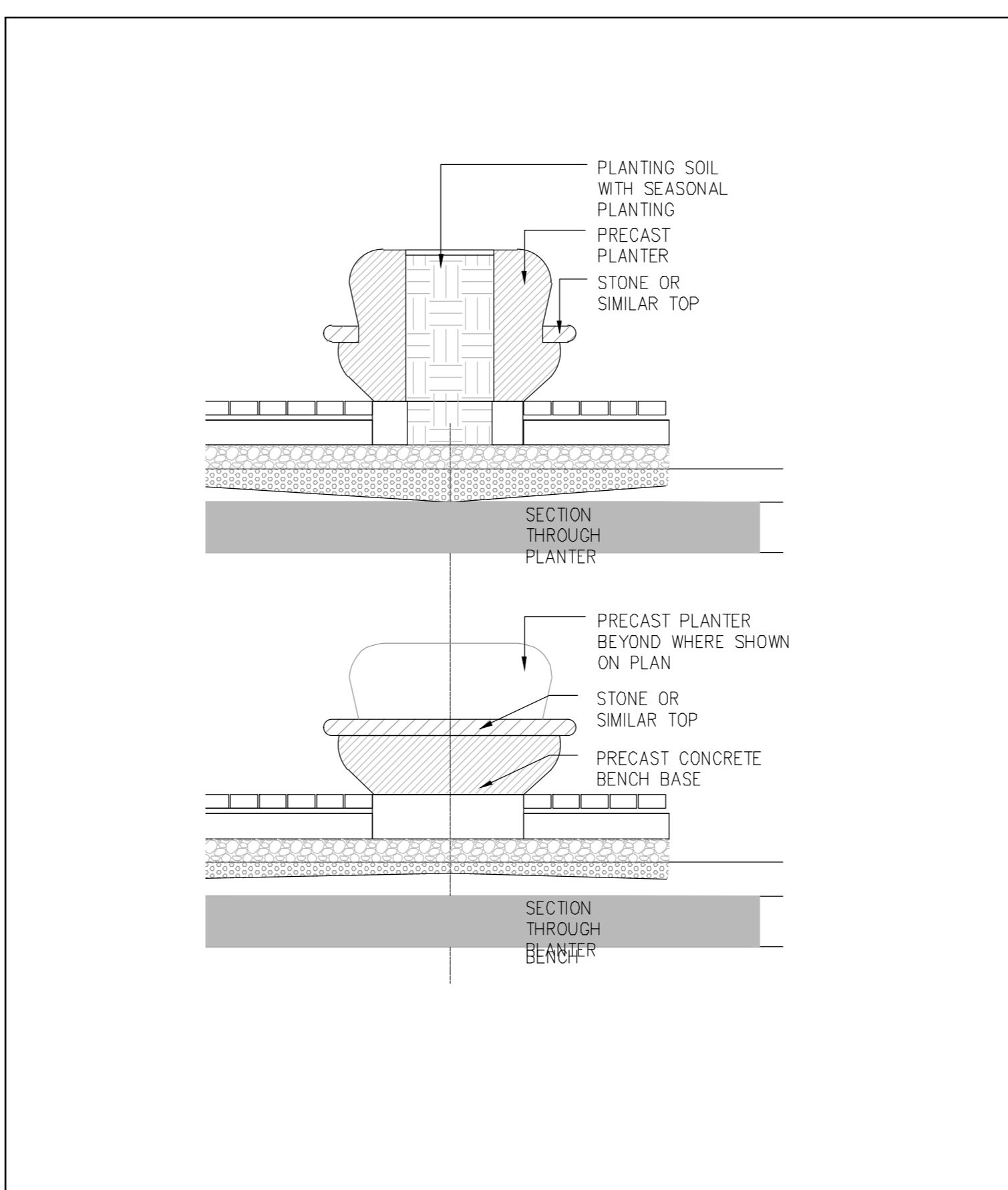
10 SPL8 METAL FENCE 1:25



11 SPL8 TRELLIS STRUCTURE FEATURE 1:50



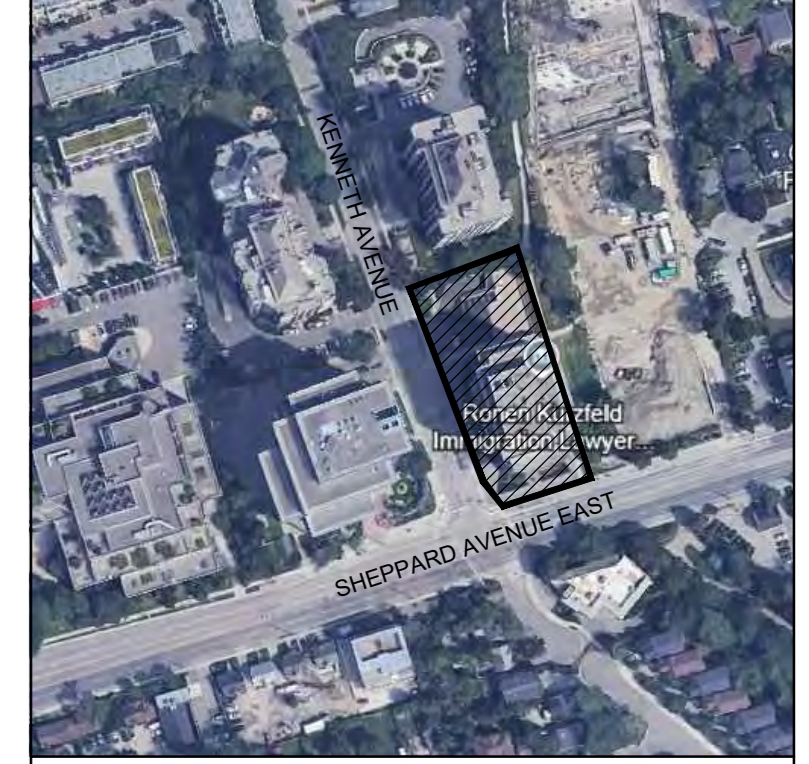
12 SPL8 AT GRADE PLANTER - GROUND FLOOR 1:20



13 SPL8 CUSTOM BENCH AND PLANTER 1:30



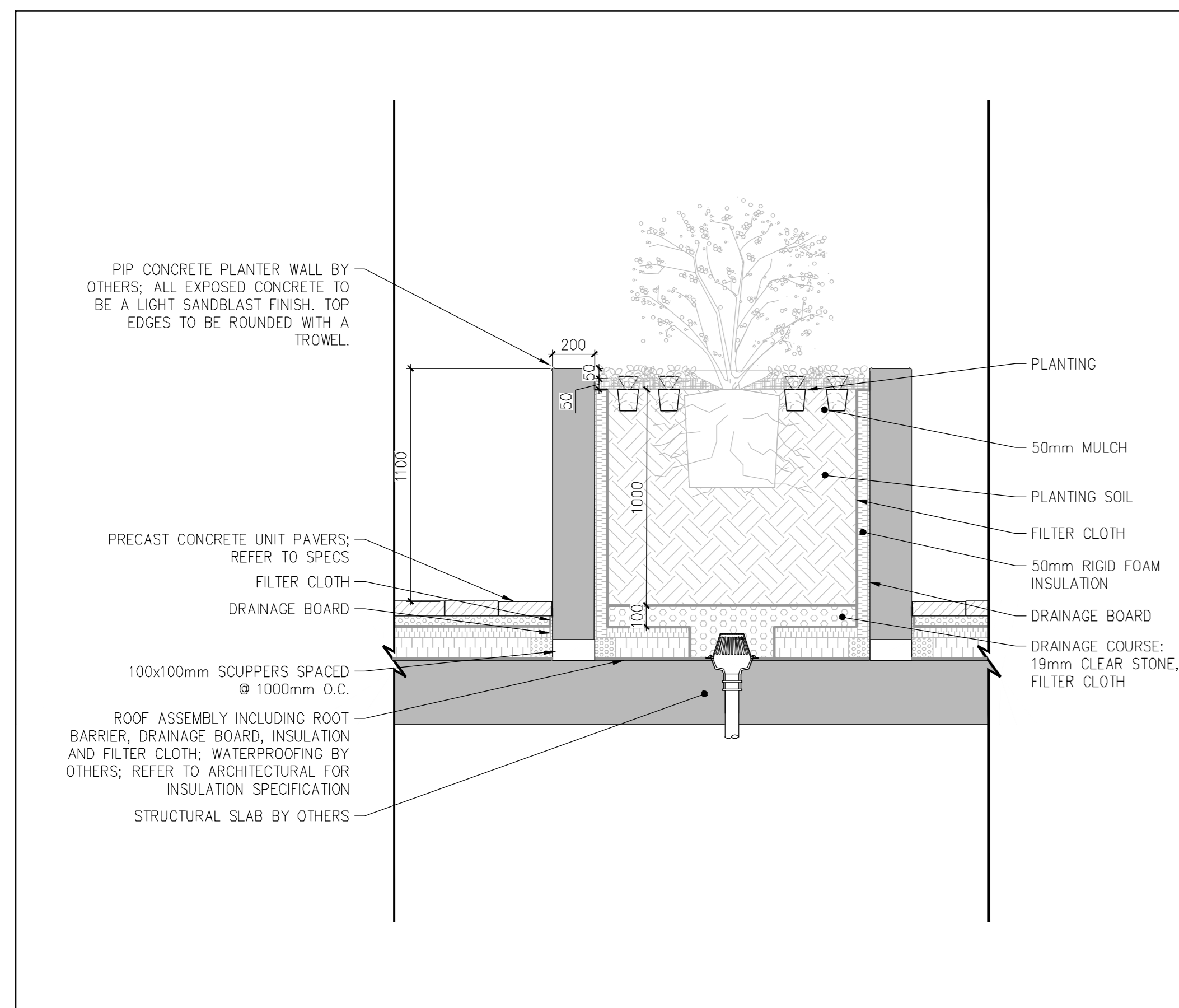
14 SPL8 CUSTOM CURVED BENCH NTS



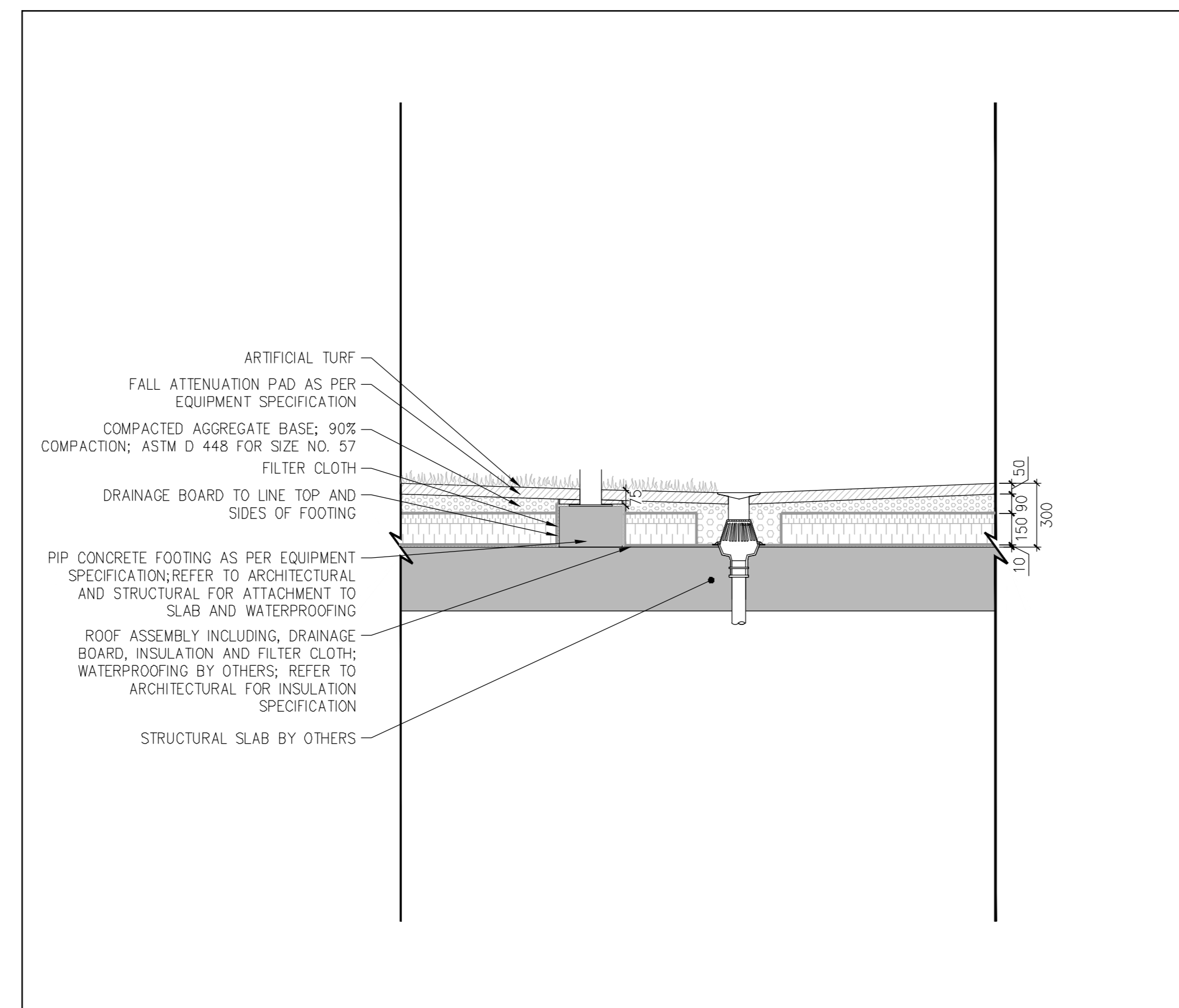
Key Plan
Notes:
1. Do not scale the drawings.
2. The contractor shall check and verify all dimensions and conditions on the project and immediately report any discrepancies to the consultant before proceeding with the work.
3. The contractor is to be aware of all existing and proposed services and utility lines stated by each agency having jurisdiction prior to commencing work.

LEGEND

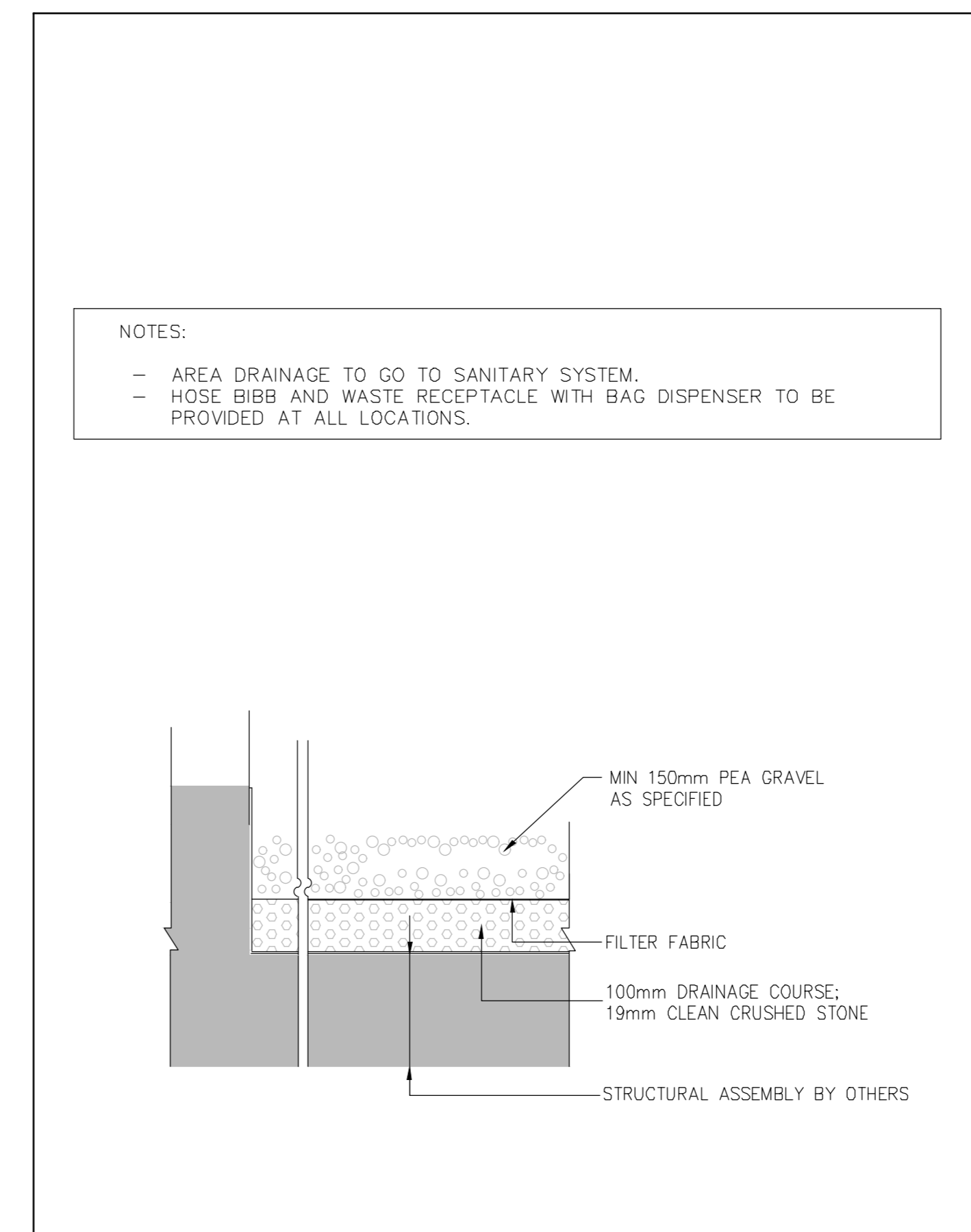
ITEM	DESCRIPTION	QUANTITY	UNIT
1	PRECAST UNIT PAVERS	100	SQ. M.
2	25mm BEDDING SAND	100	SQ. M.
3	GRANULAR 'A'	100	SQ. M.
4	DRAINAGE BOARD	100	SQ. M.
5	19mm CLEAR STONE	100	SQ. M.
6	19mm CLEAR CRUSHED STONE	100	SQ. M.
7	100x100mm SCUPPERS	10	PCS.
8	50mm ROD FOAM INSULATION	100	SQ. M.
9	50mm MULCH	100	SQ. M.
10	PLANTING SOIL	100	SQ. M.
11	150mm GRANULAR 'A'	100	SQ. M.
12	450mm PVC SCUPPERS	10	PCS.
13	419mm CLEAR STONE	100	SQ. M.
14	100mm DRAINAGE COURSE	100	SQ. M.
15	150mm GRANULAR 'A'	100	SQ. M.
16	25mm BEDDING SAND	100	SQ. M.
17	150mm GRANULAR 'A'	100	SQ. M.
18	450mm PVC SCUPPERS	10	PCS.
19	419mm CLEAR STONE	100	SQ. M.
20	100mm DRAINAGE COURSE	100	SQ. M.
21	150mm GRANULAR 'A'	100	SQ. M.
22	25mm BEDDING SAND	100	SQ. M.
23	150mm GRANULAR 'A'	100	SQ. M.
24	450mm PVC SCUPPERS	10	PCS.
25	419mm CLEAR STONE	100	SQ. M.
26	100mm DRAINAGE COURSE	100	SQ. M.
27	150mm GRANULAR 'A'	100	SQ. M.
28	25mm BEDDING SAND	100	SQ. M.
29	150mm GRANULAR 'A'	100	SQ. M.
30	450mm PVC SCUPPERS	10	PCS.
31	419mm CLEAR STONE	100	SQ. M.
32	100mm DRAINAGE COURSE	100	SQ. M.
33	150mm GRANULAR 'A'	100	SQ. M.
34	25mm BEDDING SAND	100	SQ. M.
35	150mm GRANULAR 'A'	100	SQ. M.
36	450mm PVC SCUPPERS	10	PCS.
37	419mm CLEAR STONE	100	SQ. M.
38	100mm DRAINAGE COURSE	100	SQ. M.
39	150mm GRANULAR 'A'	100	SQ. M.
40	25mm BEDDING SAND	100	SQ. M.
41	150mm GRANULAR 'A'	100	SQ. M.
42	450mm PVC SCUPPERS	10	PCS.
43	419mm CLEAR STONE	100	SQ. M.
44	100mm DRAINAGE COURSE	100	SQ. M.
45	150mm GRANULAR 'A'	100	SQ. M.
46	25mm BEDDING SAND	100	SQ. M.
47	150mm GRANULAR 'A'	100	SQ. M.
48	450mm PVC SCUPPERS	10	PCS.
49	419mm CLEAR STONE	100	SQ. M.
50	100mm DRAINAGE COURSE	100	SQ. M.
51	150mm GRANULAR 'A'	100	SQ. M.
52	25mm BEDDING SAND	100	SQ. M.
53	150mm GRANULAR 'A'	100	SQ. M.
54	450mm PVC SCUPPERS	10	PCS.
55	419mm CLEAR STONE	100	SQ. M.
56	100mm DRAINAGE COURSE	100	SQ. M.
57	150mm GRANULAR 'A'	100	SQ. M.
58	25mm BEDDING SAND	100	SQ. M.
59	150mm GRANULAR 'A'	100	SQ. M.
60	450mm PVC SCUPPERS	10	PCS.
61	419mm CLEAR STONE	100	SQ. M.
62	100mm DRAINAGE COURSE	100	SQ. M.
63	150mm GRANULAR 'A'	100	SQ. M.
64	25mm BEDDING SAND	100	SQ. M.
65	150mm GRANULAR 'A'	100	SQ. M.
66	450mm PVC SCUPPERS	10	PCS.
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69	150mm GRANULAR 'A'	100	SQ. M.
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71	150mm GRANULAR 'A'	100	SQ. M.
72	450mm PVC SCUPPERS	10	PCS.
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74	100mm DRAINAGE COURSE	100	SQ. M.
75	150mm GRANULAR 'A'	100	SQ. M.
76	25mm BEDDING SAND	100	SQ. M.
77	150mm GRANULAR 'A'	100	SQ. M.
78	450mm PVC SCUPPERS	10	PCS.
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80	100mm DRAINAGE COURSE	100	SQ. M.
81	150mm GRANULAR 'A'	100	SQ. M.
82	25mm BEDDING SAND	100	SQ. M.
83	150mm GRANULAR 'A'	100	SQ. M.
84	450mm PVC SCUPPERS	10	PCS.
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88	25mm BEDDING SAND	100	SQ. M.
89	150mm GRANULAR 'A'	100	SQ. M.
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92	100mm DRAINAGE COURSE	100	SQ. M.
93	150mm GRANULAR 'A'	100	SQ. M.
94	25mm BEDDING SAND	100	SQ. M.
95	150mm GRANULAR 'A'	100	SQ. M.
96	450mm PVC SCUPPERS	10	PCS.
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98	100mm DRAINAGE COURSE	100	SQ. M.
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100	25mm BEDDING SAND	100	SQ. M.
101	150mm GRANULAR 'A'	100	SQ. M.
102	450mm PVC SCUPPERS	10	PCS.
103	419mm CLEAR STONE	100	SQ. M.
104	100mm DRAINAGE COURSE	100	SQ. M.
105	150mm GRANULAR 'A'	100	SQ. M.
106	25mm BEDDING SAND	100	SQ. M.
107	150mm GRANULAR 'A'	100	SQ. M.
108	450mm PVC SCUPPERS	10	PCS.
109	419mm CLEAR STONE	100	SQ. M.
110	100mm DRAINAGE COURSE	100	SQ. M.
111	150mm GRANULAR 'A'	100	SQ. M.
112	25mm BEDDING SAND	100	SQ. M.
113	150mm GRANULAR 'A'	100	SQ. M.
114	450mm PVC SCUPPERS	10	PCS.
115	419mm CLEAR STONE	100	SQ. M.
116	100mm DRAINAGE COURSE	100	SQ. M.
117	150mm GRANULAR 'A'	100	SQ. M.
118	25mm BEDDING SAND	100	SQ. M.
119	150mm GRANULAR 'A'	100	SQ. M.
120	450mm PVC SCUPPERS	10	PCS.
121	419mm CLEAR STONE	100	SQ. M.
122	100mm DRAINAGE COURSE	100	SQ. M.
123	150mm GRANULAR 'A'	100	SQ. M.
124	25mm BEDDING SAND	100	SQ. M.
125	150mm GRANULAR 'A'	100	SQ. M.
126	450mm PVC SCUPPERS	10	PCS.
127	419mm CLEAR STONE	100	SQ. M.
128	100mm DRAINAGE COURSE	100	SQ. M.
129	150mm GRANULAR 'A'	100	SQ. M.
130	25mm BEDDING SAND	100	SQ. M.
131	150mm GRANULAR 'A'	100	SQ. M.
132	450mm PVC SCUPPERS	10	PCS.
133	419mm CLEAR STONE	100	SQ. M.
134	100mm DRAINAGE COURSE	100	SQ. M.
135	150mm GRANULAR 'A'	100	SQ. M.
136	25mm BEDDING SAND	100	SQ. M.
137	150mm GRANULAR 'A'	100	SQ. M.
138	450mm PVC SCUPPERS	10	PCS.
139	419mm CLEAR STONE	100	SQ. M.
140	100mm DRAINAGE COURSE	100	SQ. M.
141	150mm GRANULAR 'A'	100	SQ. M.
142	25mm BEDDING SAND	100	SQ. M.
143	150mm GRANULAR 'A'	100	SQ. M.
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146	100mm DRAINAGE COURSE	100	SQ. M.
147	150mm GRANULAR 'A'	100	SQ. M.
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150	450mm PVC SCUPPERS	10	PCS.
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153	150mm GRANULAR 'A'	100	SQ. M.
154	25mm BEDDING SAND	100	SQ. M.
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156	450mm PVC SCUPPERS	10	PCS.
157	419mm CLEAR STONE	100	SQ. M.
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159	150mm GRANULAR 'A'	100	SQ. M.
160	25mm BEDDING SAND	100	SQ. M.
161	150mm GRANULAR 'A'	100	SQ. M.
162	450mm PVC SCUPPERS	10	PCS.
163	419mm CLEAR STONE	100	SQ. M.
164	100mm DRAINAGE COURSE	100	SQ. M.
165	150mm GRANULAR 'A'	100	SQ. M.
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168	450mm PVC SCUPPERS	10	



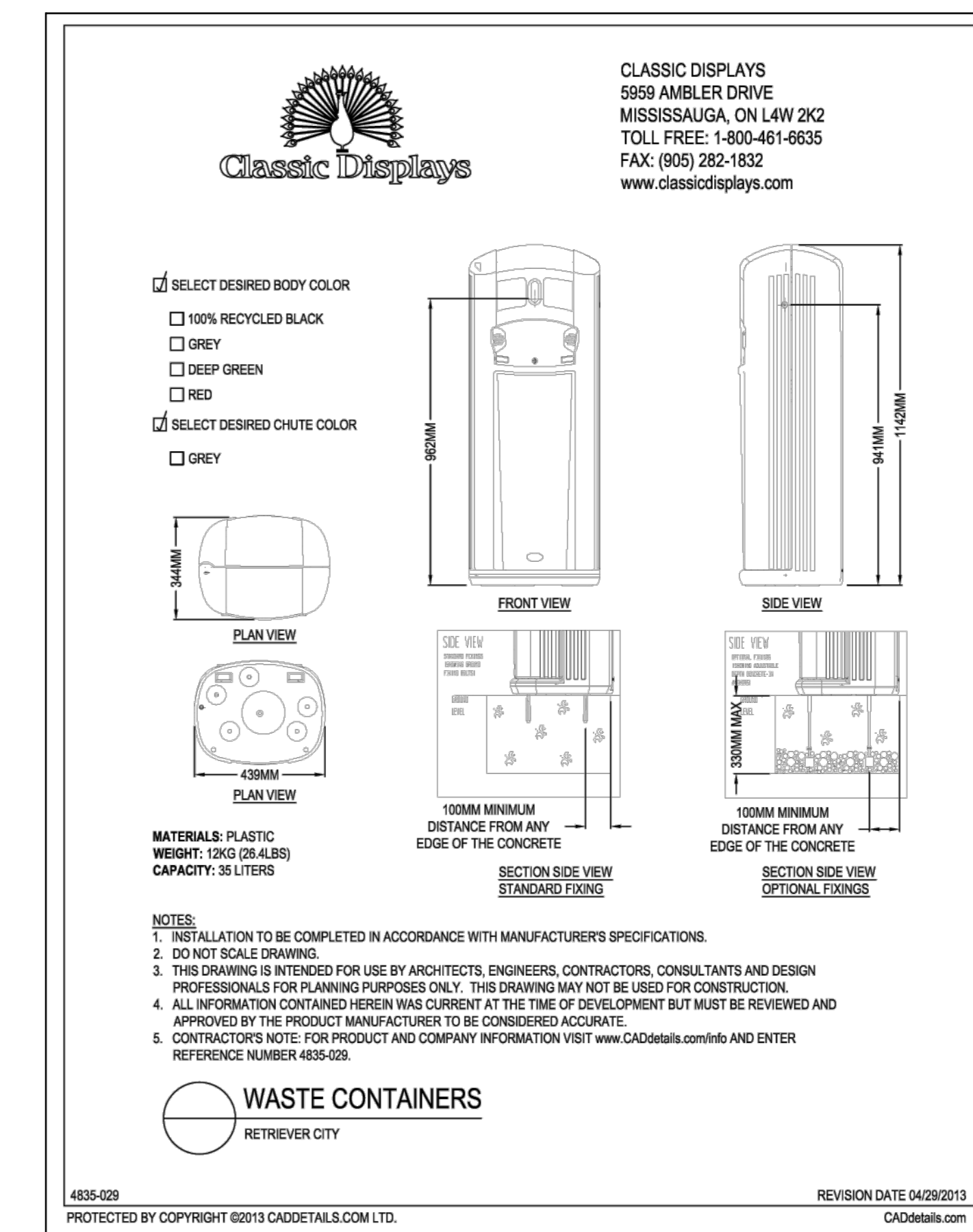
1 SPL9 CONCRETE PLANTER - ROOF 1:20



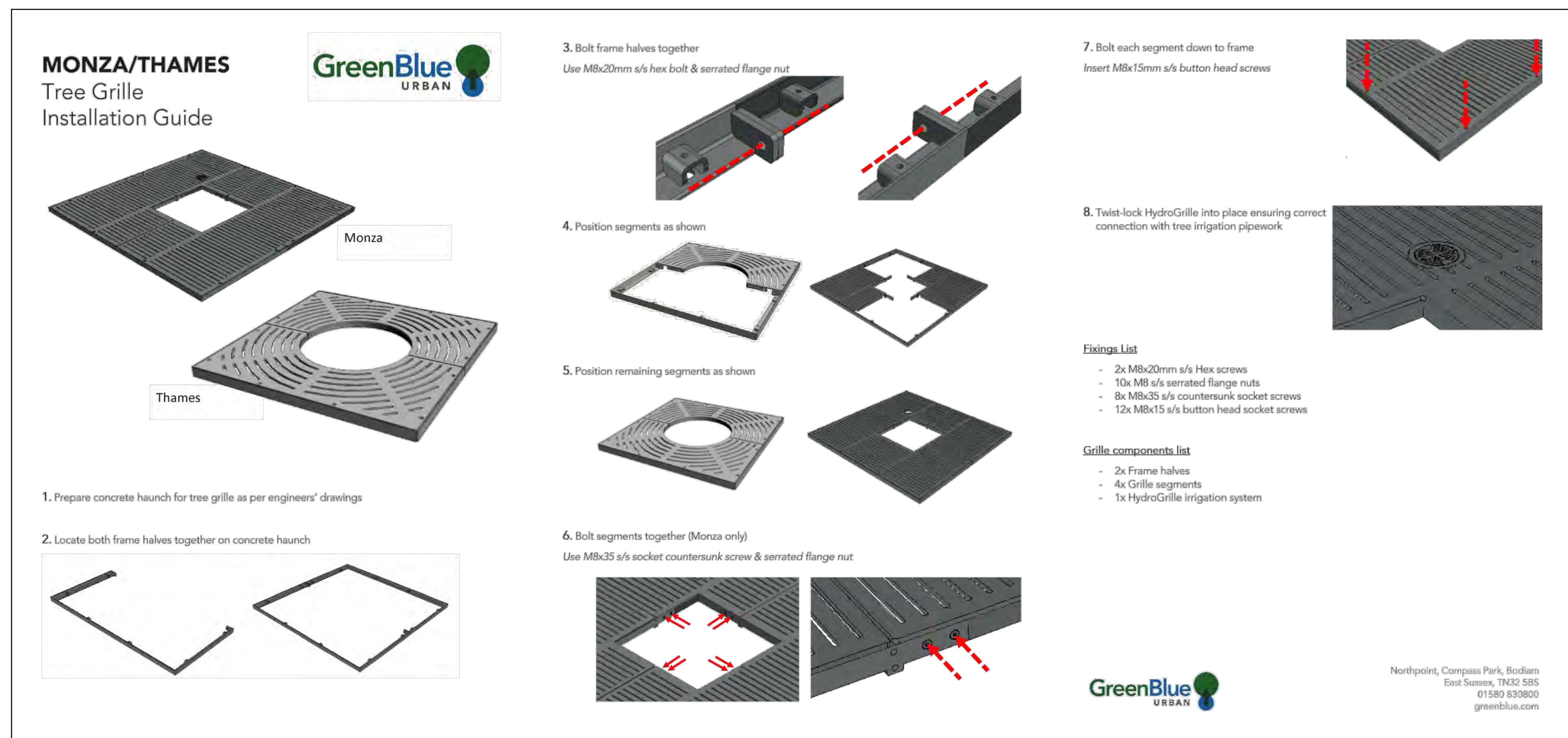
2 SPL9 ARTIFICIAL TURF SAFETY SURFACE 1:20



3 SPL9 PET AMENITY AREA 1:10



4 SPL9 PET AMENITY AREA - WASTE RECEPTACLE 1:10



5 SPL9 TREE GRATE NTS



Key Plan
Notes:
1. Do not scale the drawings.
2. The contractor shall check and verify all dimensions and conditions on the project and immediately report any discrepancies to the consultant before proceeding with the work.
3. The contractor is to be aware of all existing and proposed services and utilities. The contractor shall have all underground services and utility lines staked by each agency having jurisdiction prior to commencing work.

LEGEND

2	28-03-11
1	Issued for Reopening & Site Plan Application 25-03-11
No.	Issued 17-04-00

This drawing is to be used for the following purpose: Not to be used for construction unless signed by the landscape architect.

Project: 110 Sheppard Ave. E

Prepared for: 110 Sheppard East GP Inc.

Location: Toronto, Ontario

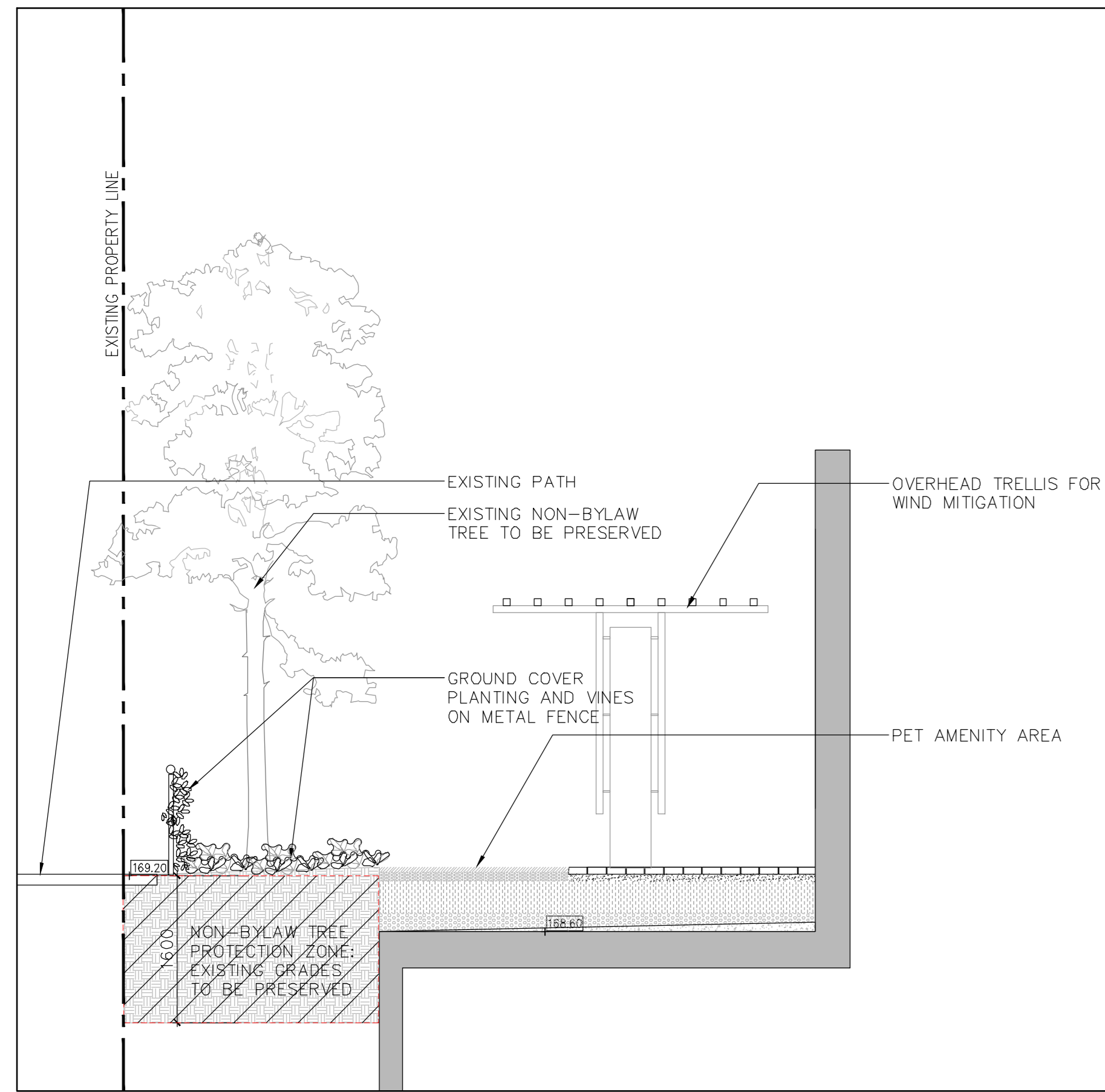
Ferris + Associates
a division of NAK 05 Inc.
213 Spadina Road
Suite 211
Toronto, Ontario
M5R 2S2



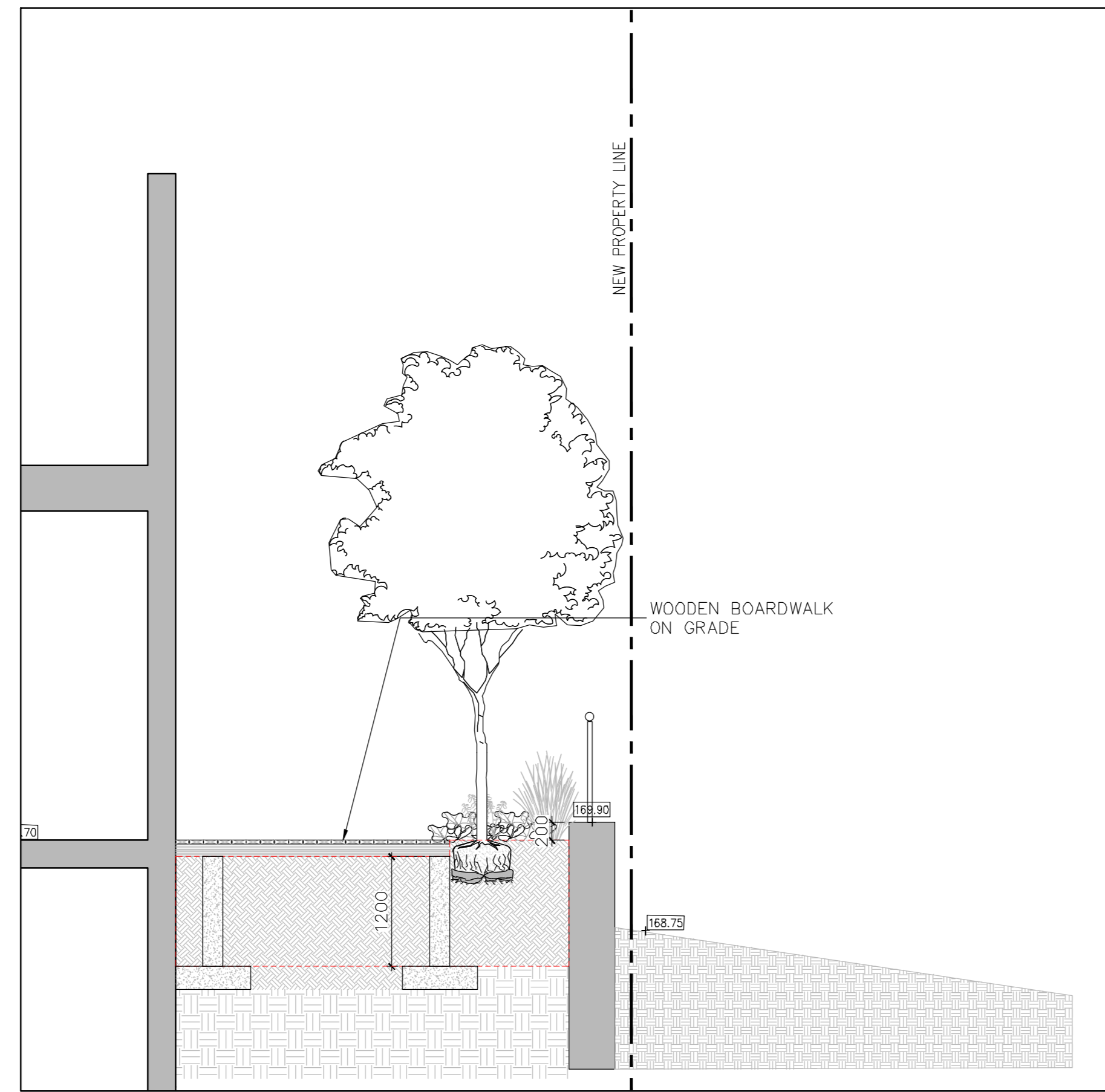
Drawing Title: LANDSCAPE DETAILS

Date: February 2020
Scale: As shown
Drawn: SRI
Checked: PGP
Project No: 2747
Drawing No:

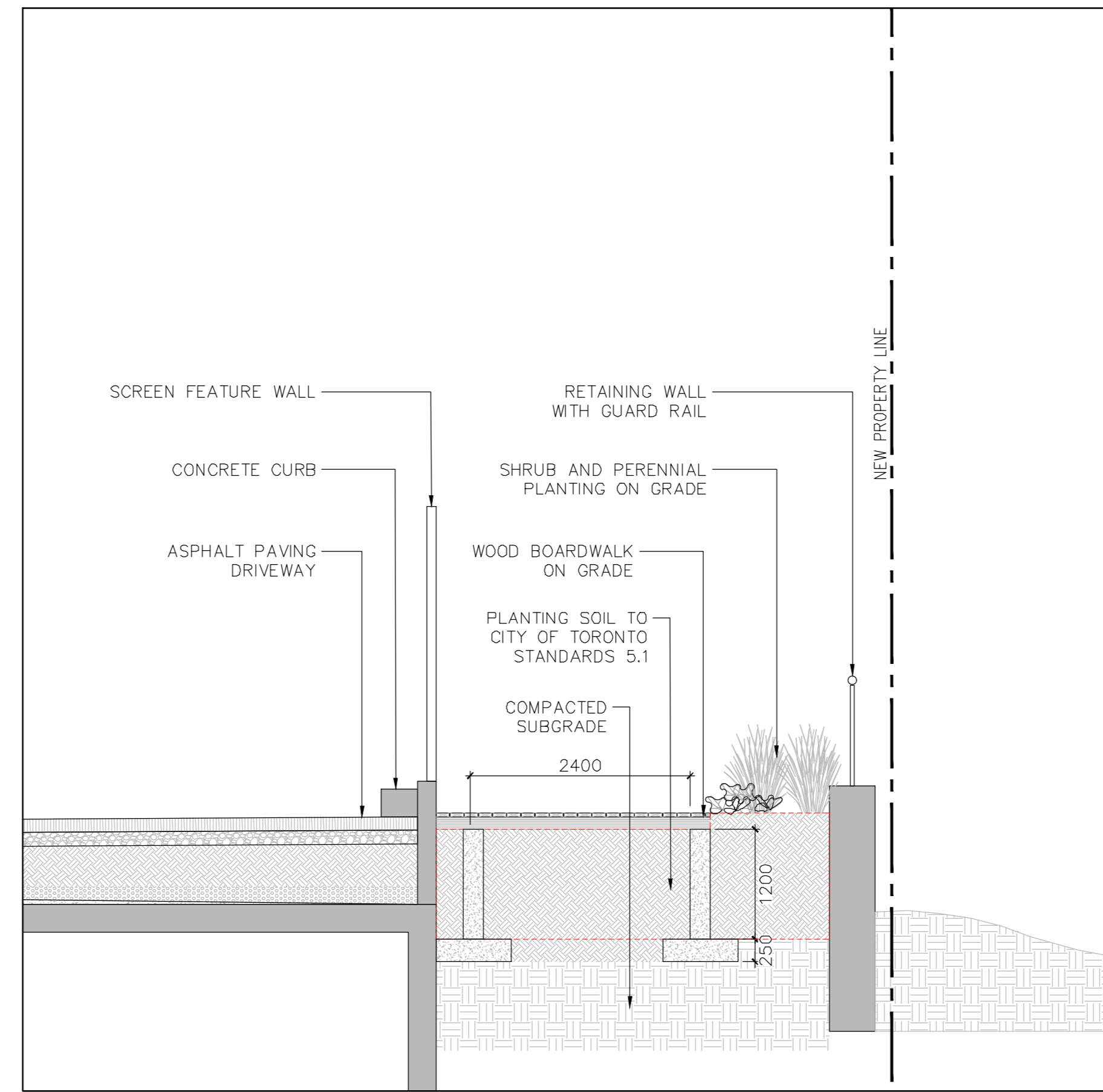
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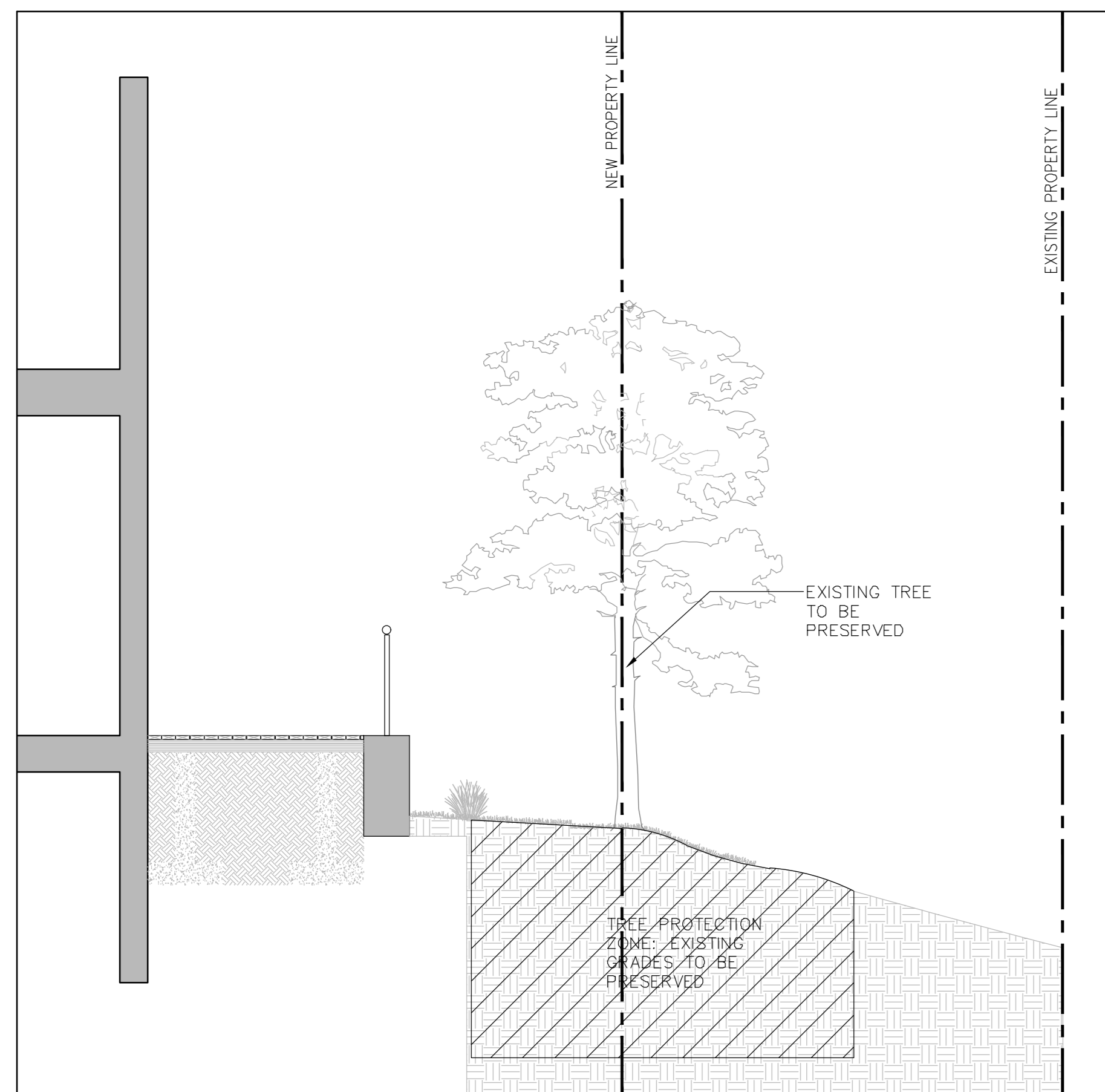
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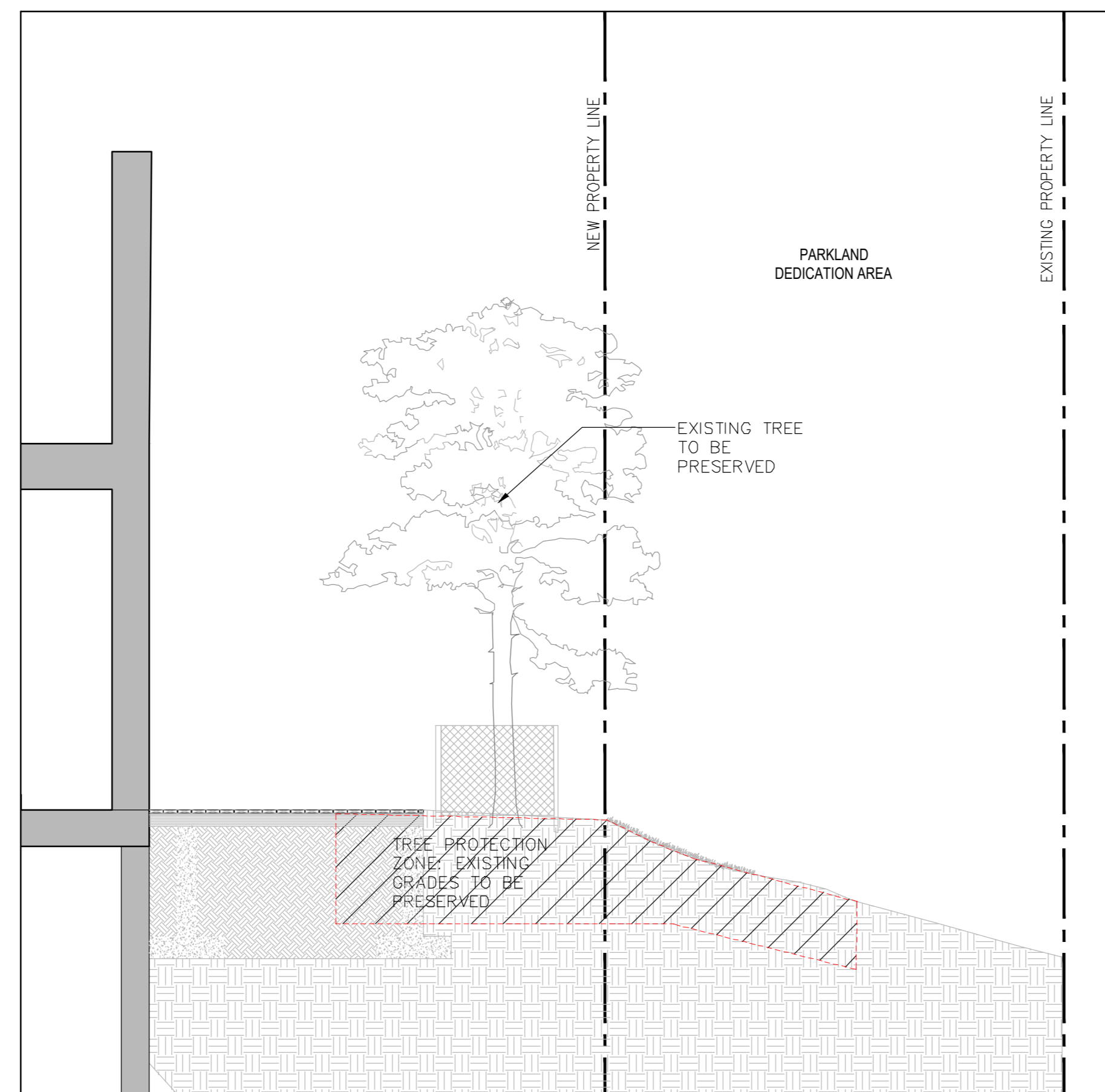
2 SECTION 1:50
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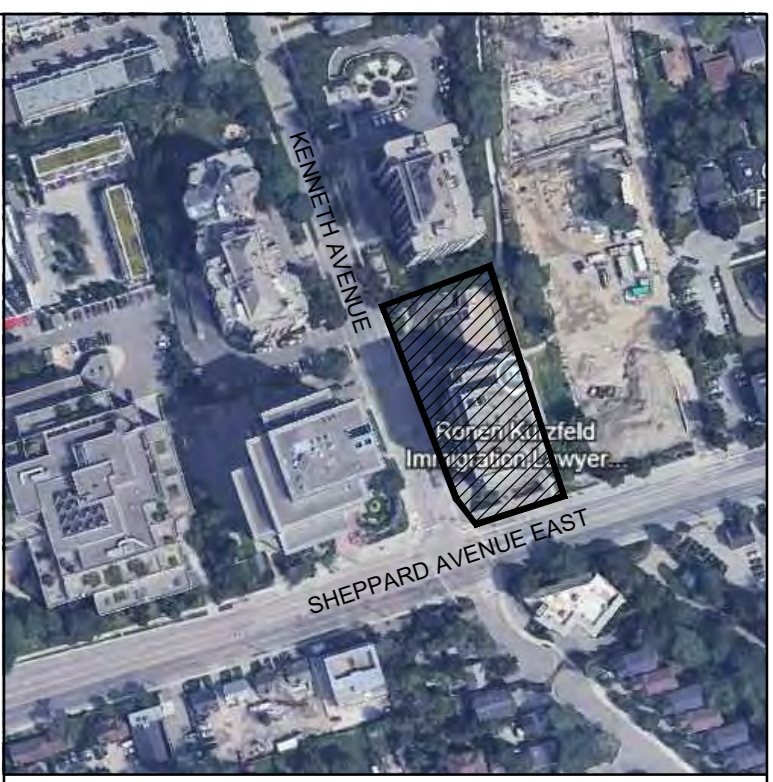
3 SECTION 1:50
SPL10



4 SECTION 1:50
SPL10



5 SECTION 1:50
SPL10



- Notes:
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LEGEND

2	28-03-11
1	Issued for Rezoning & Site Plan Application 25-03-11
No.	Issued 17-08-00

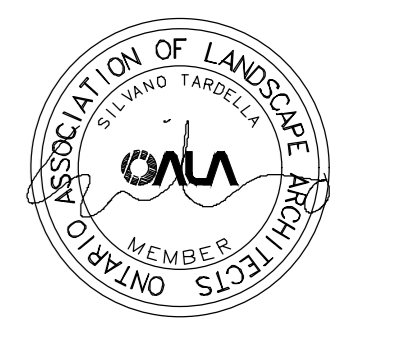
This drawing is to be used for the following purpose: Not to be used for construction unless signed by the landscape architect.

Project: 110 Sheppard Ave. E

Prepared for: 110 Sheppard East GP Inc.

Location: Toronto, Ontario

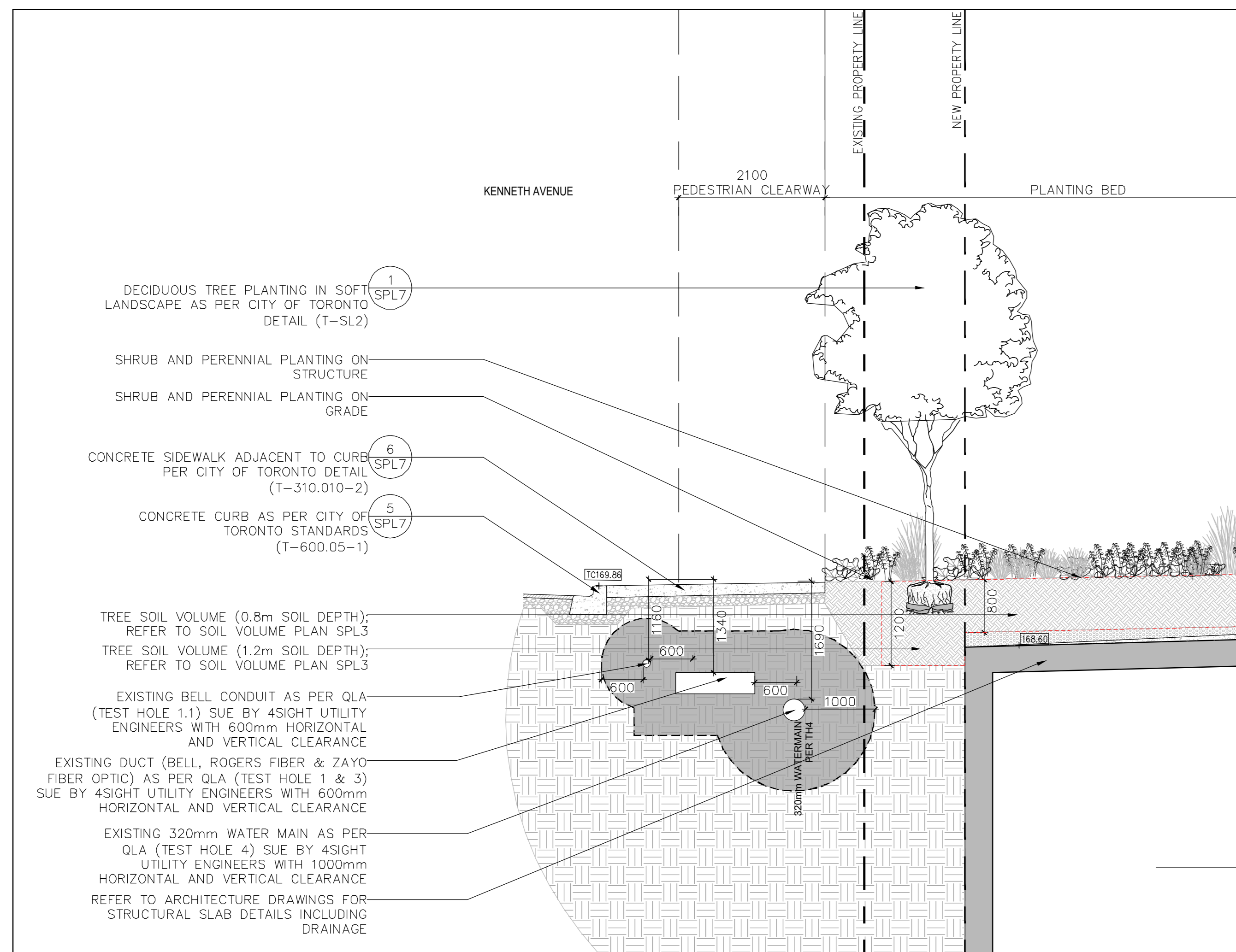
Ferris + Associates
a division of HAK GS Inc.
213 Spadina Road
Suite 211
Toronto, Ontario
M5R 2S2



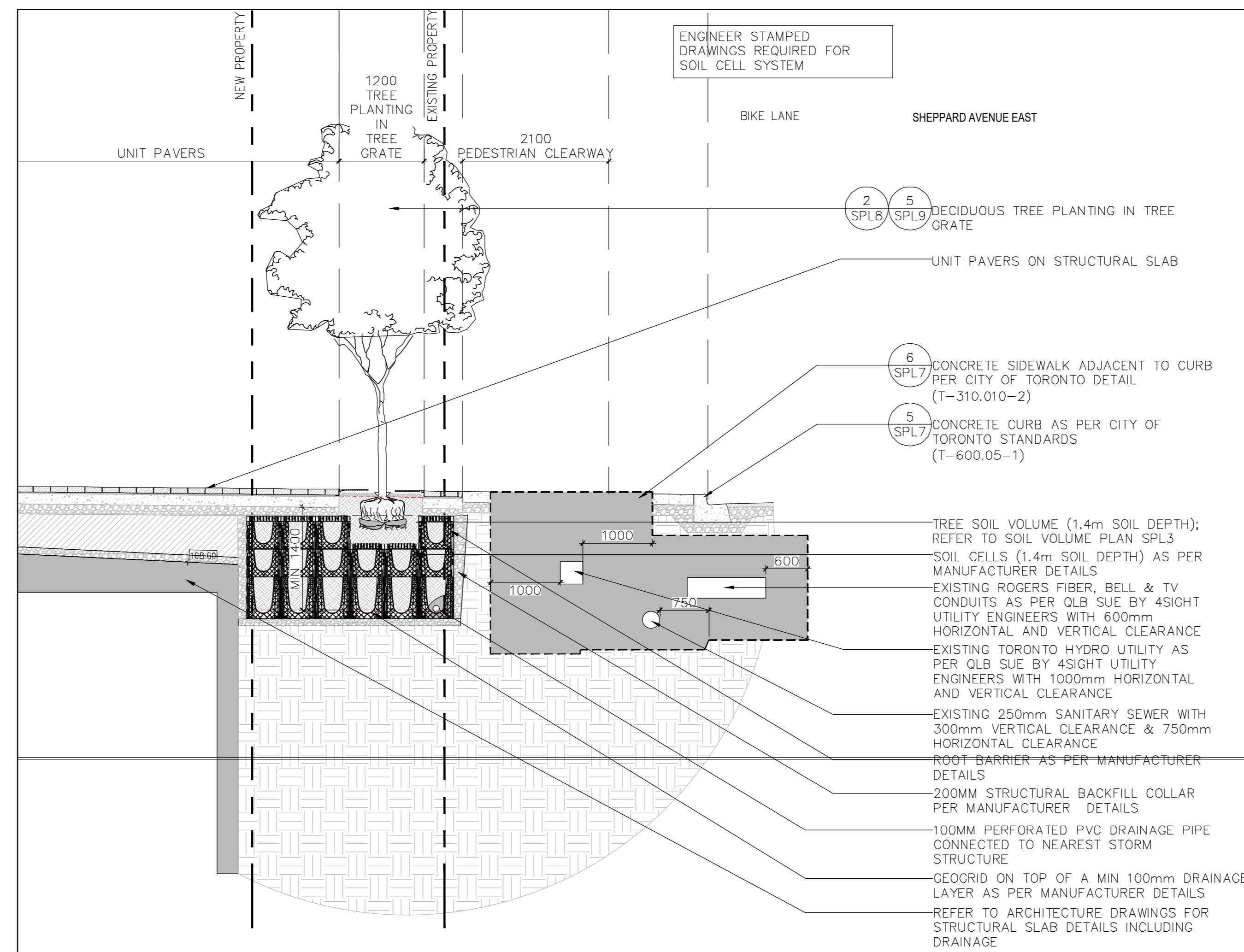
Drawing Title: LANDSCAPE SECTIONS

Date: February 2025
Scale: As shown
Drawn: M
Checked: PGP
Project No: 2747
Drawing No:

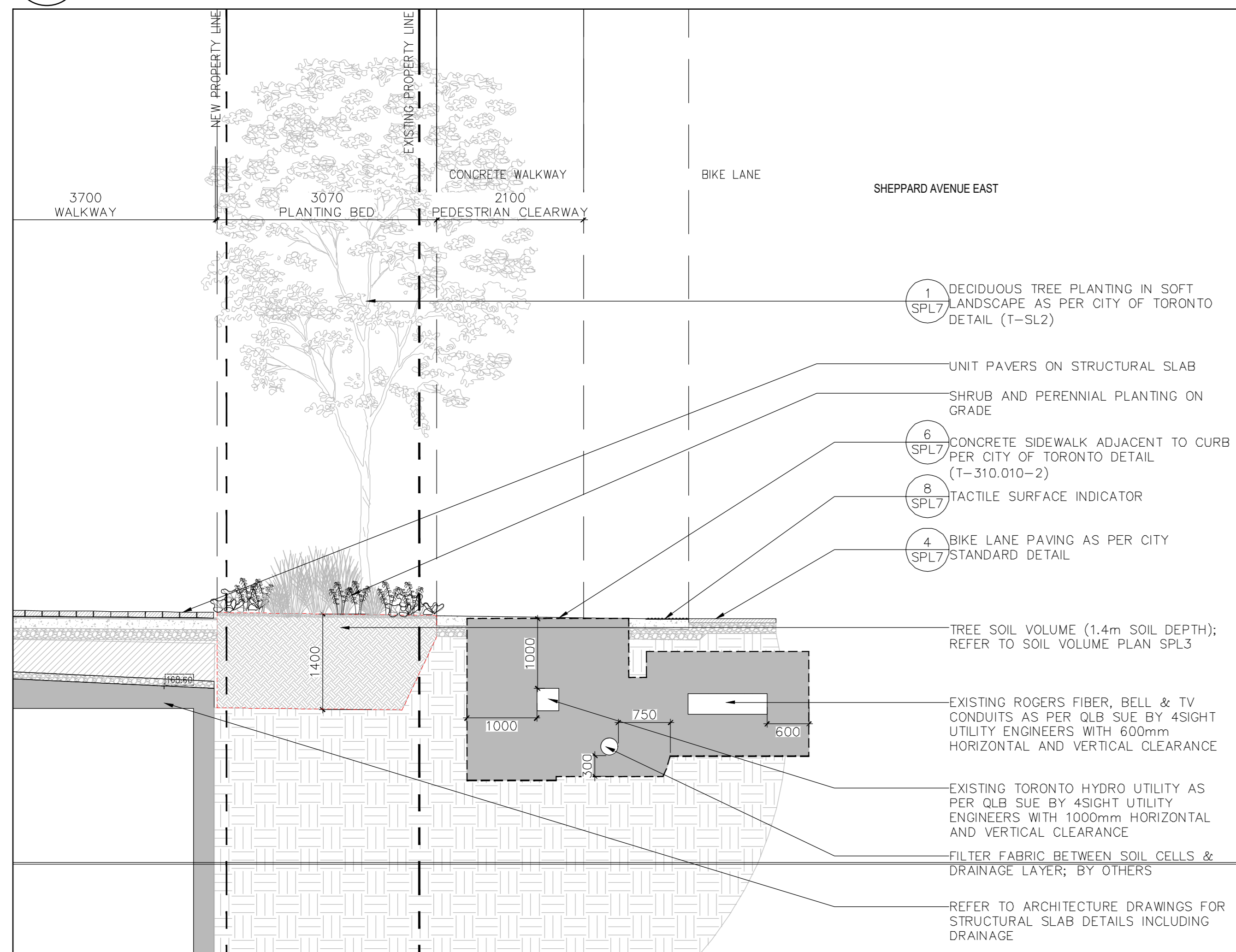
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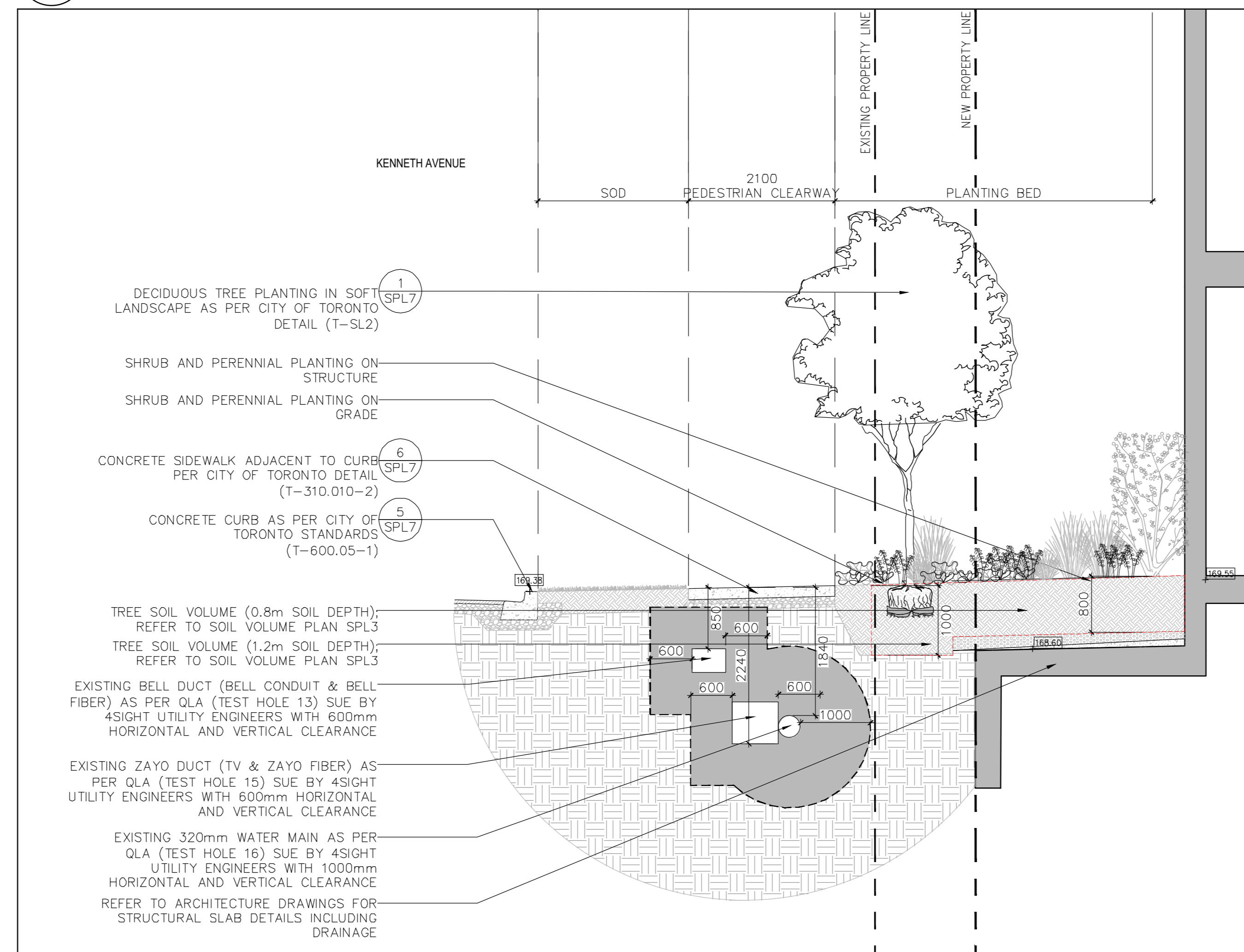
1 SECTION 1:50
SPL11



2 SHEPPARD AVE. EAST STREETSCAPE SECTION 1:50
SPL11



3 SHEPPARD AVE. EAST STREETSCAPE SECTION 1:50
SPL11



4 SECTION 1:50
SPL11



Key Plan n.t.s.
Notes:
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LEGEND

2	28.03.11
1	Issued for Recurring & Site Plan Application 25.03.11
No.	Issued 17.04.00

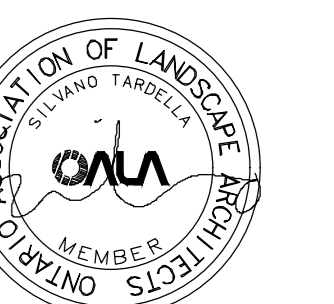
This drawing is to be used for the following purpose: Not to be used for construction unless signed by the landscape architect.

Project: 110 Sheppard Ave. E

Prepared for: 110 Sheppard East GP Inc.

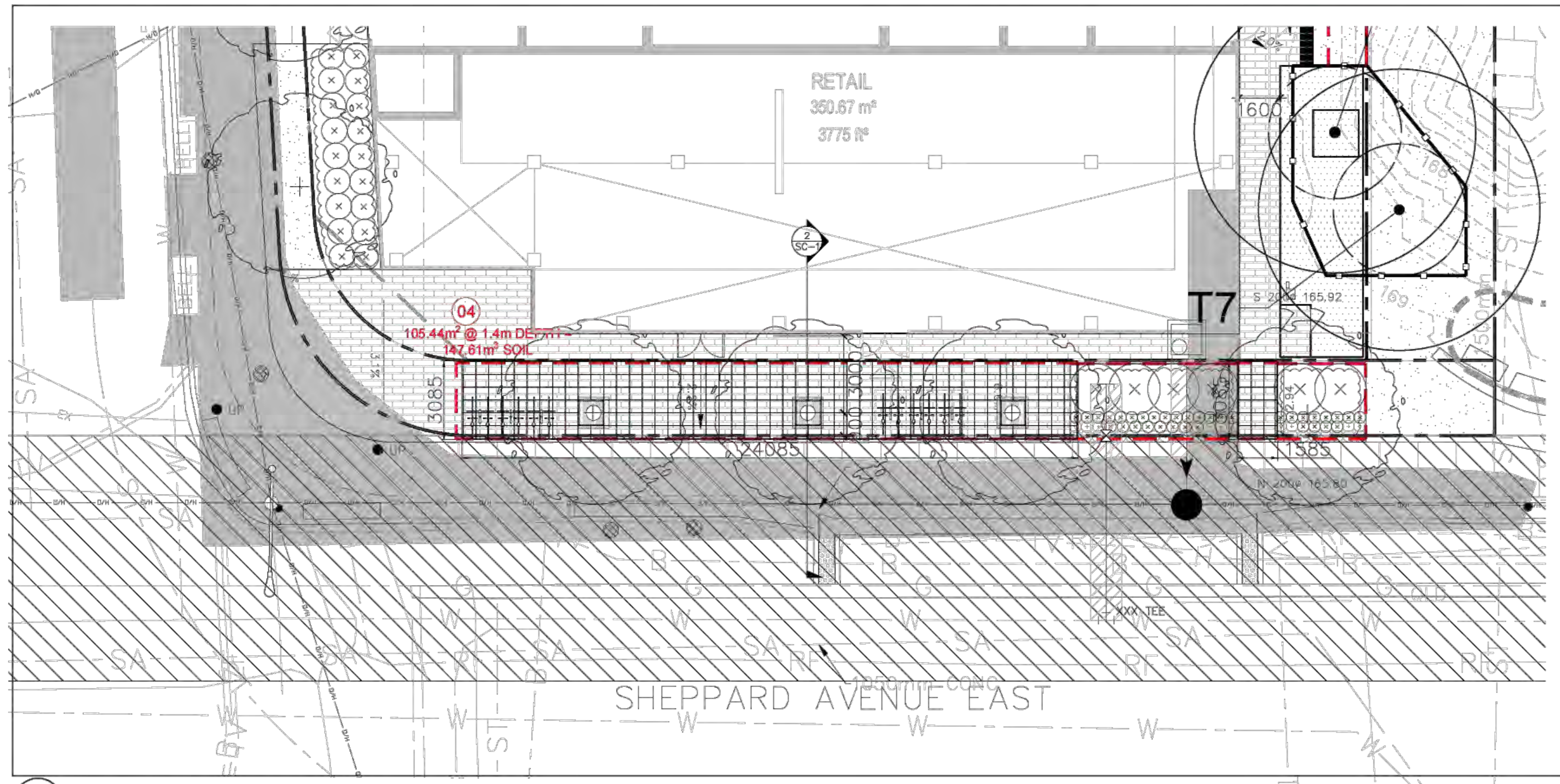
Location: Toronto, Ontario

Ferris + Associates
a division of HAK US Inc.
213 Spadina Road
Suite 211
Toronto, Ontario
M5R 2S2



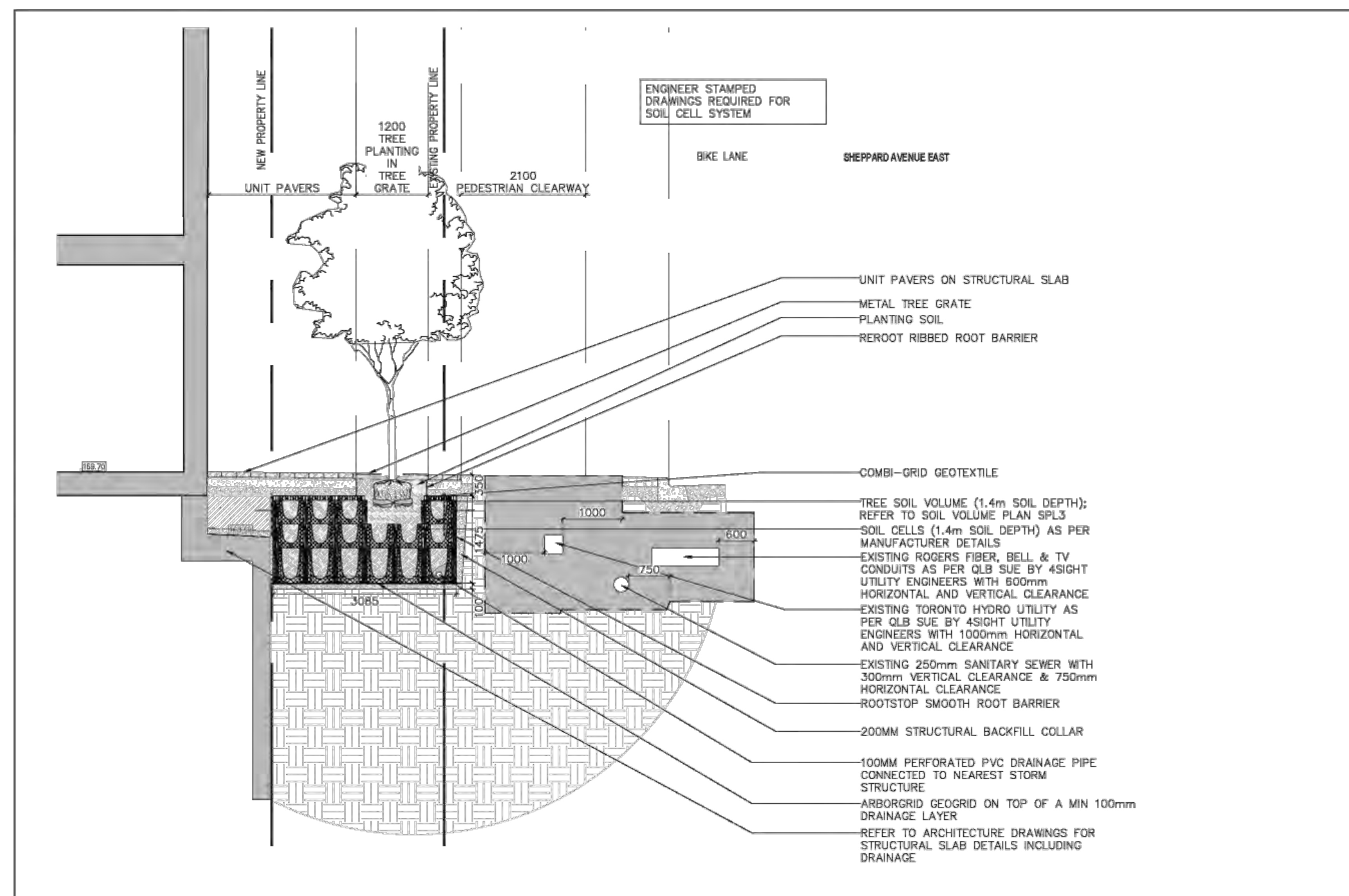
Drawing Title: LANDSCAPE SECTIONS

Date: February 2025
Scale: As shown
Drawn: SH
Checked: PGP
Project No: 2747
Drawing No: SPL11



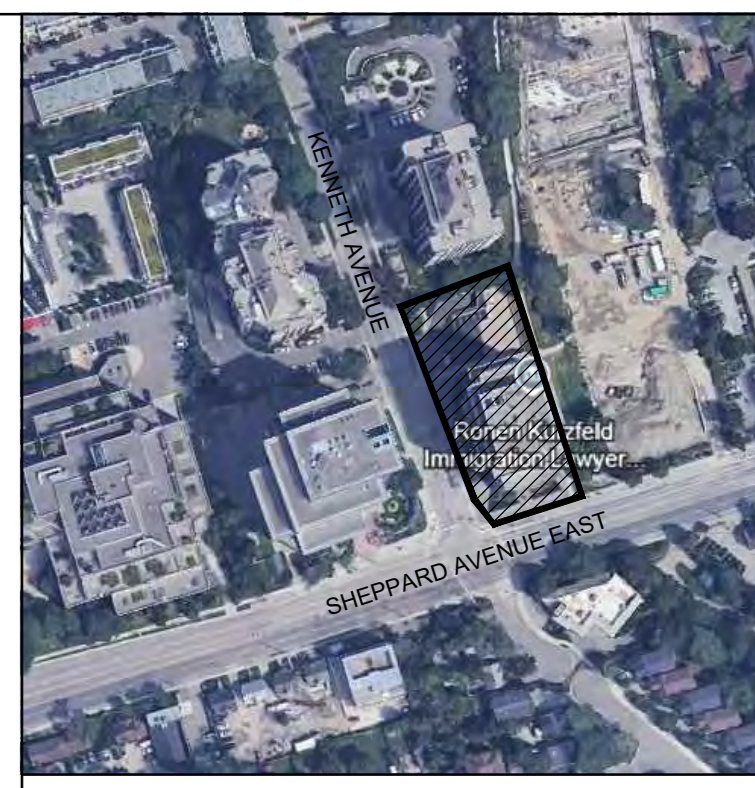
1 SC-1 SOIL CELL LAYOUT PLAN

1:150



2 SC-1 SOIL CELL SECTION DETAIL

1:150



Key Plan n.t.s.

- Notes:
1. Do not scale the drawings.
 2. The contractor shall check and verify all dimensions and conditions on the project and immediately report any discrepancies to the consultant before proceeding with the work.
 3. The contractor is to be aware of all existing and proposed services and utilities. The contractor shall have all underground services and utility lines staked by each agency having jurisdiction prior to commencing work.



REVISIONS			
REV #	DATE	REV #	DESIGNED
MONTH	DAY	#	INITIALS

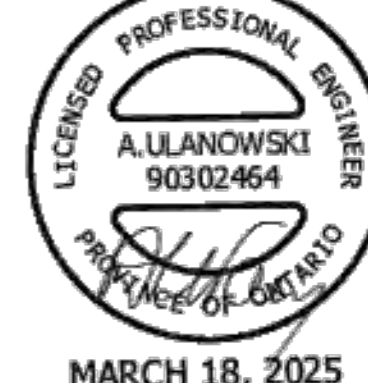
LEGEND

110 SHEPPARD EAST
110 SHEPPARD AVE EAST
FERRIS + ASSOCIATES
CITY OF TORONTO / PROVINCE OF ONTARIO
INSTALLATION INSTRUCTIONS

ENGINEER STAMP #1



ENGINEER STAMP #2



DATE: 03/17/2025
DRAWN BY: LF
CHECKED BY: CM
SHEET NO
SC-1

2.	Issued for Recording & Site Plan Application	28.03.11
1.	Issued	25.03.21
No.	Issued	YY-MM-DD

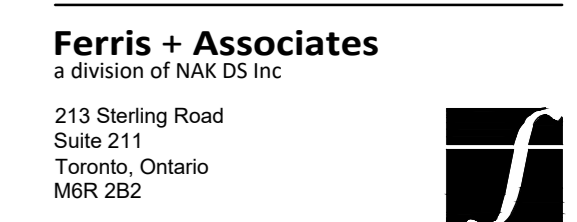
This drawing is to be used for the following purpose:

Not to be used for construction unless signed by the landscape architect.

Project: 110 Sheppard Ave. E

Prepared for: 110 Sheppard East GP Inc.

Location: Toronto, Ontario



Drawing Title: SOIL CELL DETAILS

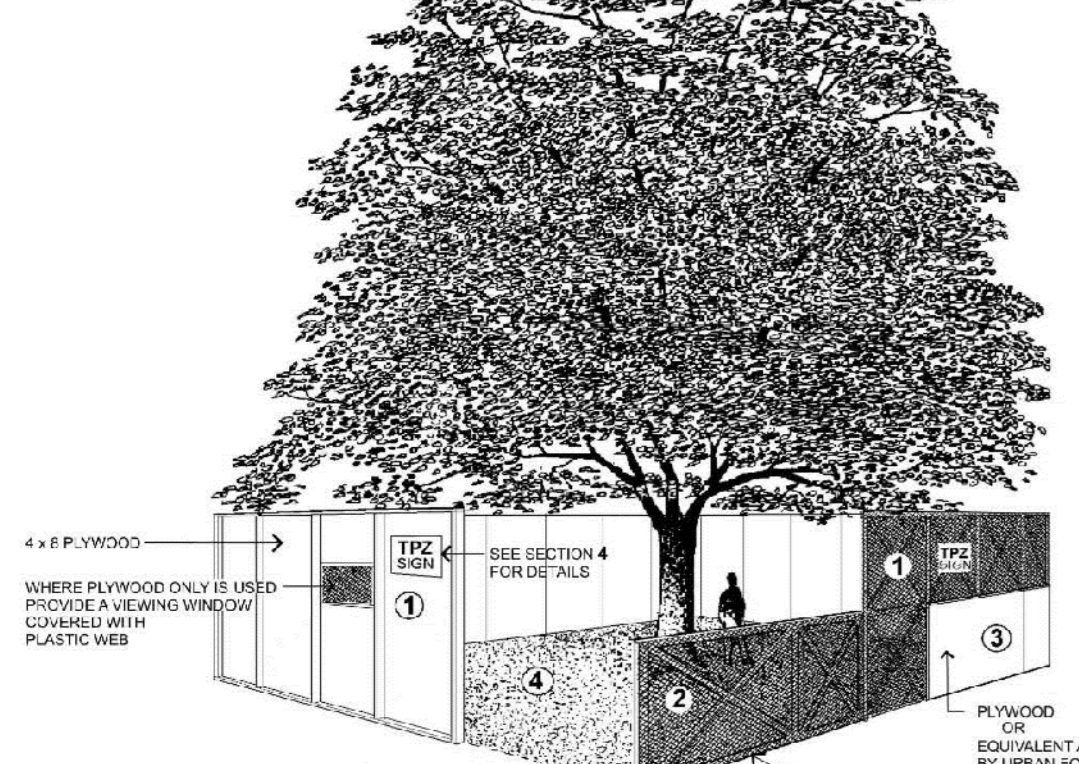
Date:	February 2025
Scale:	As shown
Drawn:	LF
Checked:	CM
Project No:	2747
Drawing No:	SPL12

Tree Protection Zone (TPZ)

All construction related activities, including grade alteration, excavation, soil compaction, any materials or equipment storage, disposal of liquid and vehicular traffic are NOT permitted within this TPZ.

This tree protection barrier must remain in good condition and must not be removed or altered without authorization of City of Toronto, Urban Forestry.

Concerns or inquiries regarding this TPZ can be directed to: 311 or 311@toronto.ca



Tree Protection Barriers

- Tree protection barriers must be constructed with a solid wood frame clad with plywood or approved equivalent. Height of hoarding may be less than 8 ft. to accommodate any branches that may be lower.
- Tree protection barriers for trees situated on the City road allowance where visibility must be maintained shall be 1.2m (4ft) high and consist of orange plastic with blue facing on a wood frame made of 2 x 4s.
- Where some excavate or fill has to be temporarily located near a tree protection barrier, plywood must be used to ensure no material enters the Tree Protection Zone.
- No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.

Note: Sediment control fencing shall be installed in locations indicated in an Urban Forestry approved Tree Protection Plan. The sediment control fencing must be installed to Ontario Provincial Standards (OPS-219.120) heavy duty silt fence barrier and to the satisfaction of Urban Forestry. See Detail TP-2

2 TREE PROTECTION HOARDING DETAIL
CITY OF TORONTO DETAIL

THE FOLLOWING NOTES ARE TO BE PROVIDED ON ALL SITE AND LANDSCAPE PLANS SUBMITTED IN SUPPORT OF CONSTRUCTION RELATED APPLICATIONS. PRIOR TO SITE DISTURBANCE THE OWNER MUST CONFIRM THAT NO MIGRATORY BIRDS ARE MAKING USE OF THE SITE FOR NESTING. THE OWNER MUST ENSURE THAT THE WORKS ARE IN CONFORMANCE WITH THE MIGRATORY BIRD CONVENTION ACT AND THAT NO MIGRATORY BIRD NESTS WILL BE IMPACTED BY THE PROPOSED WORK.

IT IS THE APPLICANT'S RESPONSIBILITY TO DISCUSS POTENTIAL TREE INJURY OF TREES ON SHARED PROPERTY LINES WITH THEIR NEIGHBOURS. SHOULD SUCH TREES BE INJURED TO THE POINT OF INSTABILITY OR DEATH THE APPLICANT MAY BE HELD RESPONSIBLE FOR REMOVAL AND SUCH ISSUES SHOULD BE DEALT WITH IN CIVIL COURT OR THROUGH NEGOTIATION. THE APPLICANT WOULD BE REQUIRED TO REPLACE SUCH TREES TO THE SATISFACTION OF URBAN FORESTRY.

TREE PROTECTION ZONE: NO CONSTRUCTION ACTIVITY INCLUDING GRADE CHANGES, SURFACE TREATMENTS OR EXCAVATIONS OF ANY KIND IS PERMITTED WITHIN THE AREA IDENTIFIED ON THE TREE PROTECTION PLAN OR SITE PLAN AS A TREE PROTECTION ZONE (TPZ). NO ROOT CUTTING IS PERMITTED. NO STORAGE OF MATERIALS OR FILL IS PERMITTED WITHIN THE TPZ. NO MOVEMENT OR STORAGE OF VEHICLES OR EQUIPMENT IS PERMITTED WITHIN THE TPZ. THE AREA(S) IDENTIFIED AS A TPZ MUST REMAIN UNDISTURBED AT ALL TIMES.

TREE PROTECTION BARRIERS: FOR CITY-OWNED TREES: TREE PROTECTION BARRIERS FOR TREES SITUATED ON THE CITY ROAD ALLOWANCE WHERE VISIBILITY MUST BE MAINTAINED, CAN BE 1.2M (4FT) HIGH AND CONSIST OF CHAIN LINK, OR ORANGE PLASTIC WEB SNOW FENCING ON A 2" X 4" WOOD FRAME. ALL SUPPORTS AND BRACING USED TO SECURE THE BARRIER SHOULD BE LOCATED OUTSIDE THE TPZ. ALL SUPPORTS AND BRACING SHOULD MINIMIZE DAMAGE TO ROOTS OUTSIDE THE TPZ. WHERE SOME FILL OR EXCAVATE HAS TO BE TEMPORARILY LOCATED NEAR A TREE PROTECTION BARRIER, PLYWOOD MUST BE USED TO ENSURE NO MATERIAL ENTERS THE TPZ. IF THE TPZ NEEDS TO BE REDUCED TO FACILITATE CONSTRUCTION ACCESS, THE TREE PROTECTION BARRIER MUST BE MAINTAINED AT A LESSER DISTANCE AND THE EXPOSED TPZ PROTECTED WITH PLYWOOD AND WOOD CHIPS. THIS MUST FIRST BE APPROVED BY URBAN FORESTRY.

FOR TREES ON PRIVATE PROPERTY SITUATED ON ADJACENT TO CONSTRUCTION SITES: TREE PROTECTION BARRIERS MUST BE INSTALLED AROUND TREES TO BE PROTECTED USING PLYWOOD CLAD HOARDING OR AN EQUIVALENT APPROVED BY URBAN FORESTRY. ALL SUPPORTS AND BRACING TO SAFELY SECURE THE BARRIER SHOULD BE OUTSIDE THE TPZ. ALL SUCH SUPPORTS AND BRACING SHOULD MINIMIZE DAMAGE TO ROOTS OUTSIDE THE TPZ.

ARBORCULTURAL WORK: ANY ROOTS OR BRANCHES WHICH EXTEND BEYOND THE TPZ INDICATED ON THIS PLAN WHICH REQUIRE PRUNING, MUST BE PRUNED BY A QUALIFIED ARBORIST OR OTHER TREE PROFESSIONAL AS APPROVED BY URBAN FORESTRY. ALL PRUNING OF TREE ROOTS AND BRANCHES MUST BE IN ACCORDANCE WITH GOOD ARBORCULTURAL STANDARDS. ROOTS LOCATED OUTSIDE THE TPZ THAT HAVE RECEIVED APPROVAL FROM URBAN FORESTRY TO BE PRUNED MUST FIRST BE EXPOSED BY HAND DIGGING OR BY USING A LOW PRESSURE HYDRO VAC METHOD. THIS WILL ALLOW A PROPER PRUNING CUT AND MINIMIZE TEARING OF THE ROOTS. THE ARBORIST/TREE PROFESSIONAL RETAINED TO CARRY OUT CROWN OR ROOT PRUNING MUST CONTACT URBAN FORESTRY NO LESS THAN 48 HOURS PRIOR TO CONDUCTING ANY SPECIFIED WORK.

TREE PROTECTION HOARDING IN THE RAVINE & NATURAL FEATURE PROTECTED AREAS: THE APPLICANT/OWNER SHALL PROTECT ALL TREES IN THE PROTECTED AREA THAT HAVE NOT BEEN APPROVED FOR REMOVAL OR INJURY, THROUGHOUT DEVELOPMENT WORKS TO THE SATISFACTION OF URBAN FORESTRY.

PLYWOOD (OR CHAIN LINK FENCE, IF AGREED TO BY URBAN FORESTRY) TREE PROTECTION HOARDING SHALL BE INSTALLED IN THE LOCATIONS AS INDICATED IN THE URBAN FORESTRY APPROVED TREE PROTECTION PLAN. TREE PROTECTION HOARDING SHALL BE INSTALLED TO STANDARDS AS DETAILED IN THE CITY'S TREE PROTECTION POLICY AND SPECIFICATIONS FOR CONSTRUCTION NEAR TREES AND TO THE SATISFACTION OF URBAN FORESTRY.

TREE PROTECTION HOARDING MUST REMAIN IN PLACE AND IN GOOD CONDITION DURING DEMOLITION AND/OR CONSTRUCTION AND MUST NOT BE ALTERED OR MOVED UNTIL AUTHORIZED BY URBAN FORESTRY. ESTABLISHED TREE PROTECTION ZONES MUST NOT BE USED AS CONSTRUCTION ACCESS, STORAGE OR STAGING AREAS. GRADE CHANGES ARE NOT PERMITTED WITHIN ESTABLISHED TPZ.

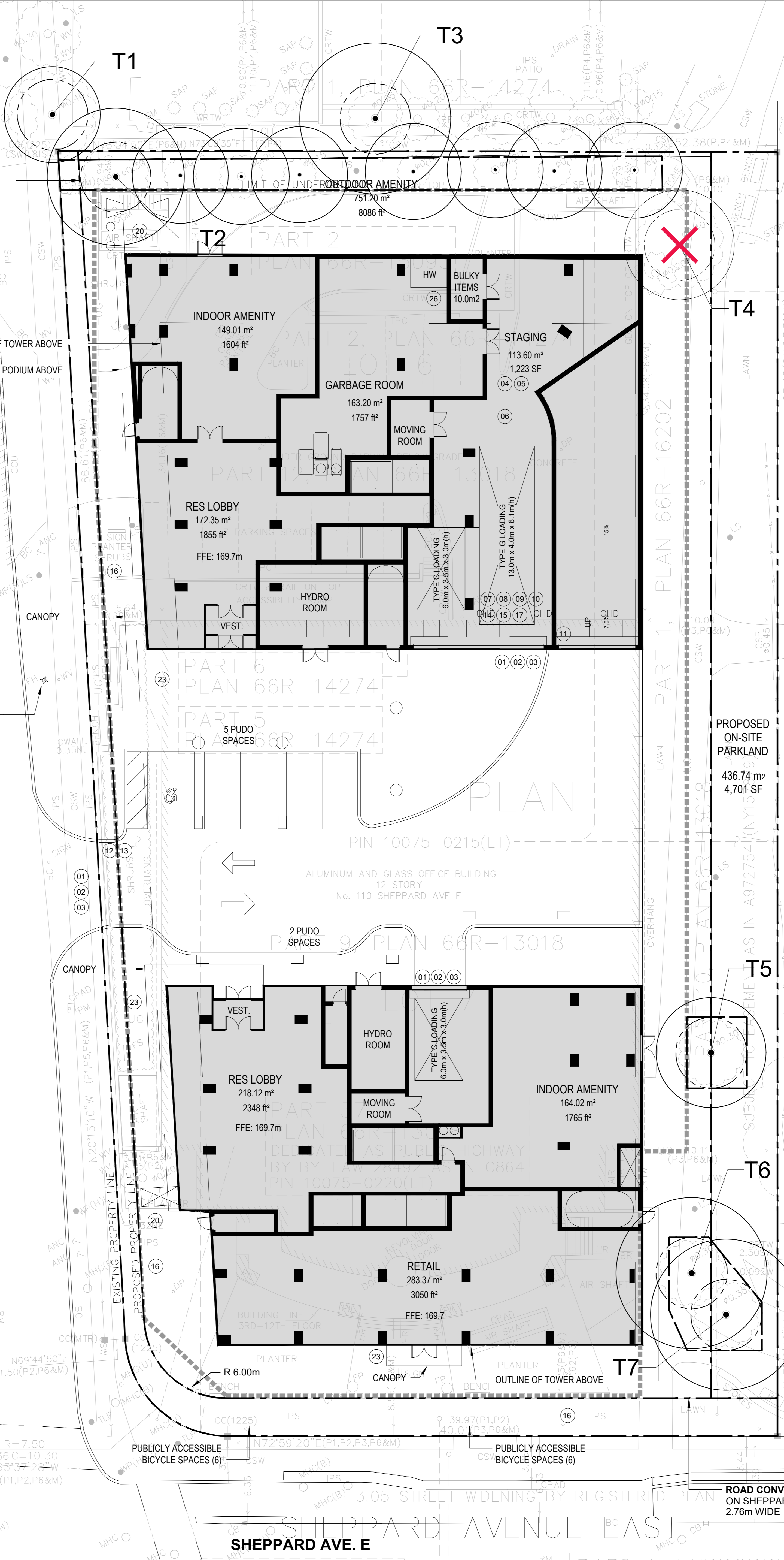
ALL ADDITIONAL TREE PROTECTION OR PRESERVATION REQUIREMENTS, ABOVE AND BEYOND THE REQUIRED TREE PROTECTION HOARDING, MUST BE UNDERTAKEN OR IMPLEMENTED AS DETAILED IN THE URBAN FORESTRY APPROVED ARBORIST REPORT AND/OR THE APPROVED TREE PROTECTION PLAN AND TO THE SATISFACTION OF URBAN FORESTRY. SEDIMENT CONTROL FENCING SHALL BE INSTALLED IN THE LOCATIONS AS INDICATED IN THE URBAN FORESTRY APPROVED SEDIMENT CONTROL FENCING REPORT AND TO THE SATISFACTION OF URBAN FORESTRY. JULY 2010 9

GENERAL NOTE: PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY THE TREE PROTECTION BARRIERS SPECIFIED ON THIS PLAN MUST BE INSTALLED AND WRITTEN NOTICE PROVIDED TO URBAN FORESTRY. THE TREE PROTECTION BARRIERS MUST REMAIN IN EFFECTIVE CONDITION UNTIL ALL SITE ACTIVITIES INCLUDING LANDSCAPING ARE COMPLETE. WHERE REQUIRED, SIGNS AS SPECIFIED IN SECTION 4 "TREE PROTECTION SIGNAGE" MUST BE ATTACHED TO ALL SIDES OF THE BARRIER.

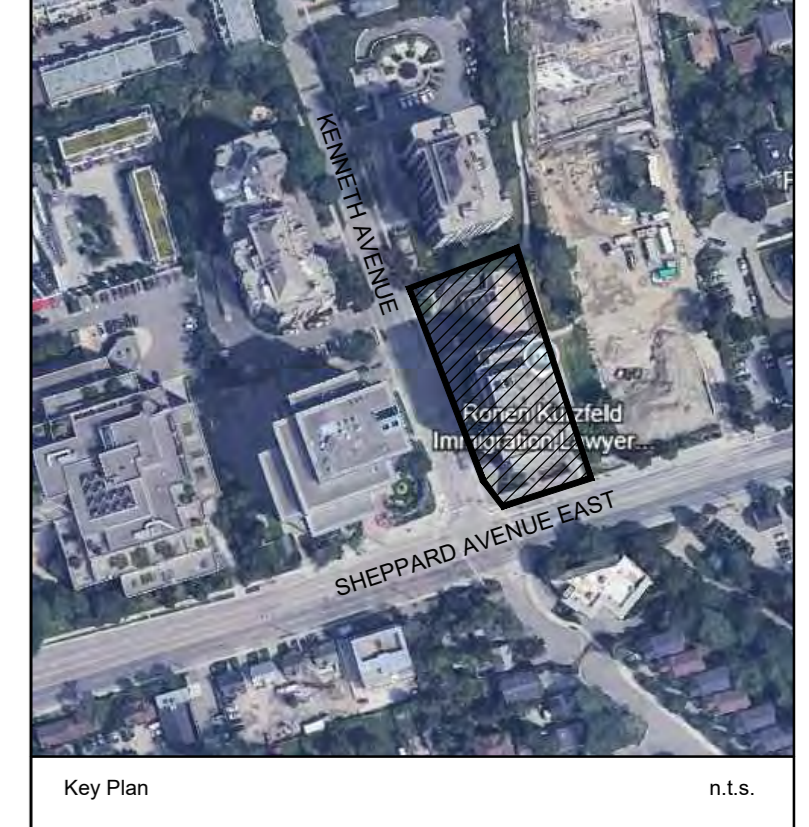
WRITTEN NOTICE MUST BE PROVIDED TO URBAN FORESTRY PRIOR TO THE REMOVAL OF THE TREE PROTECTION BARRIERS.

ROAD CONVEYANCE ON KENNETH AVE. 1.44m WIDE

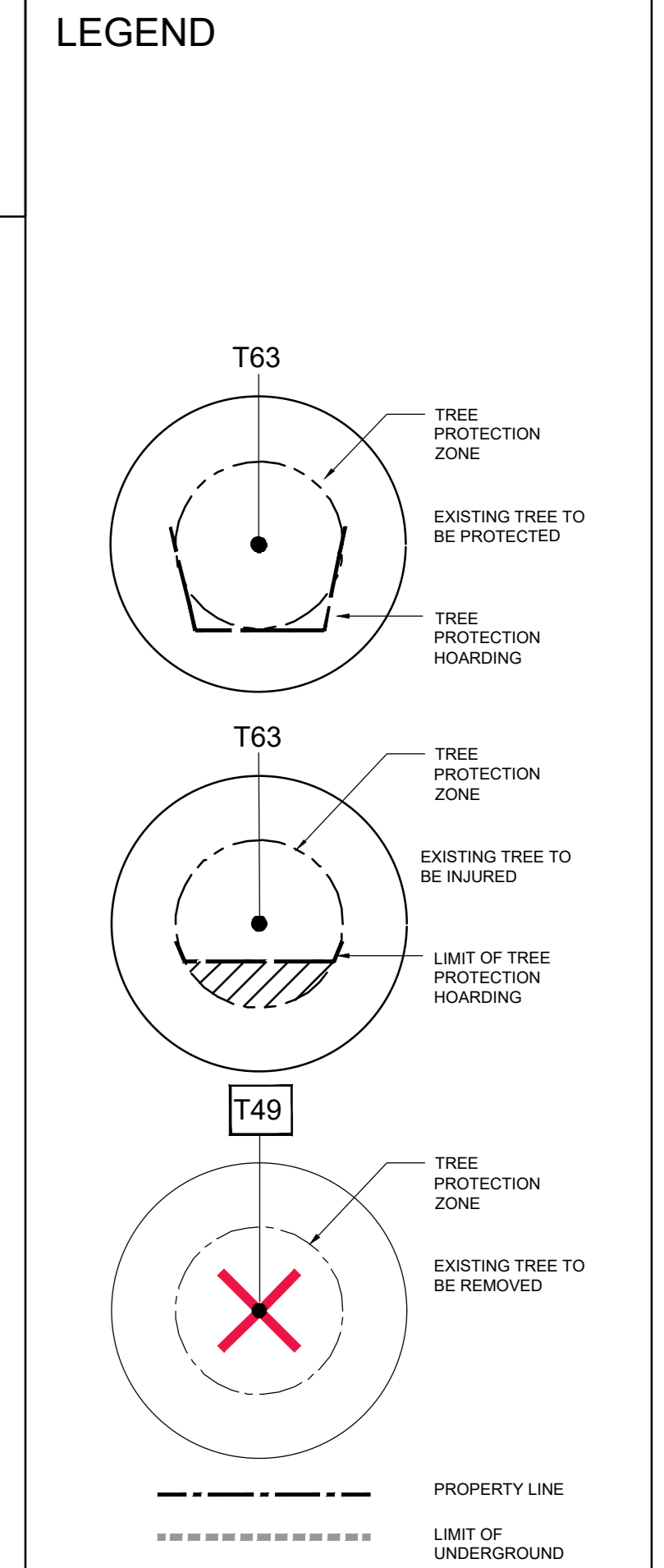
KENNETH AVENUE (BY REGISTERED PLAN 4433) (CONFIRMED BY PLAN BA-539, REGISTERED AS PLAN D-222, AS IN NY658458) (CONFIRMED BY PLAN 10075-0223(LT))



- GENERAL NOTES:
- LEGAL DESCRIPTION OF PROPERTY: PART 1, PLAN OF SURVEY OF PART OF LOTS 6 AND 7 REGISTERED PLAN 4433 CITY OF TORONTO
 - ARCHITECTURAL INFORMATION PROVIDED BY: SWEENEY & CO ARCHITECTS
 - SURVEY INFORMATION PROVIDED BY: DAVID'S SEARLES SURVEYING LTD.
 - GRADING AND SERVING PROVIDED BY: SSS CONSULTING GROUP
 - EXISTING UTILITY INFORMATION PROVIDED BY: 458HT UTILITY ENGINEERS
 - ARBORIST REPORT PROVIDED BY: FERRIS + ASSOCIATES a division of NAK DS Inc.
 - ALL LANDSCAPE FURNITURE SHOWN IS FOR DESIGN CONCEPT ONLY
 - ALL EXISTING MUNICIPAL SIGNAGE TO BE REINSTATED
 - TREE LOCATIONS ON PUBLIC PROPERTY SUBJECT TO REVIEW AND APPROVAL BY UNDERGROUND UTILITY COMPANIES.
 - ROOT DEFLECTOR TO BE USED WHERE ROOT BALL OF TREES ON PUBLIC PROPERTY ARE WITHIN 1.2m OF UNDERGROUND UTILITIES.
 - PLANTING ON PRIVATE PROPERTY TO BE PROVIDED WITH A WATER EFFICIENT FULLY AUTOMATIC IRRIGATION SYSTEM USING STORMWATER HARVESTING. PLANTING WITHIN THE RIGHT OF WAY TO BE WATERED WITH A WATER EFFICIENT FULLY AUTOMATIC IRRIGATION SYSTEM
 - ALL LIGHTING TO BE DARK SKY COMPLIANT
 - GRATE POROSITY NOT TO EXCEED 20x20mm OR 10x10mm



- Notes:
- Do not scale the drawings.
 - The contractor shall check and verify all dimensions and conditions on the project and immediately report any discrepancies to the consultant before proceeding with the work.
 - The contractor is to be aware of all existing and proposed services and utilities. The contractor shall have all underground services and utility lines staked by each agency having jurisdiction prior to commencing work.



2	28.03.11
1	25.03.11
No.	17.04.00

This drawing is to be used for the following purpose:

Not to be used for construction unless signed by the landscape architect.

Project: 110 Sheppard Ave. E

Prepared for: 110 Sheppard East GP Inc.

Location: Toronto, Ontario

Ferris + Associates
a division of NAK DS Inc.
213 Stirling Road
Suite 211
Toronto, Ontario
M8R 2B2



Drawing Title: TREE PRESERVATION & REMOVAL PLAN

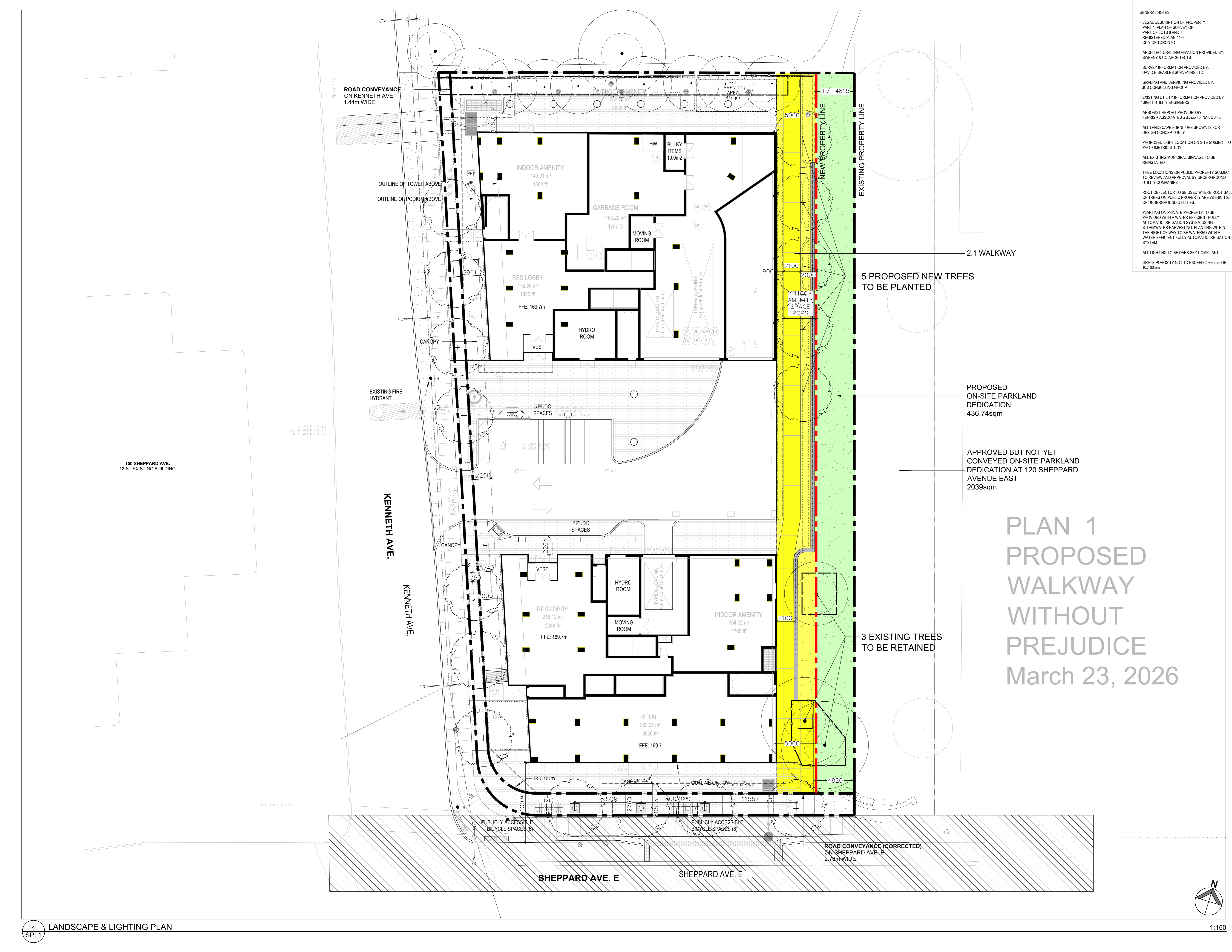
Date: February 2025
Scale: As shown
Drawn: SB
Checked: PBF
Project No: 2747
Drawing No:

1:150
TPR1

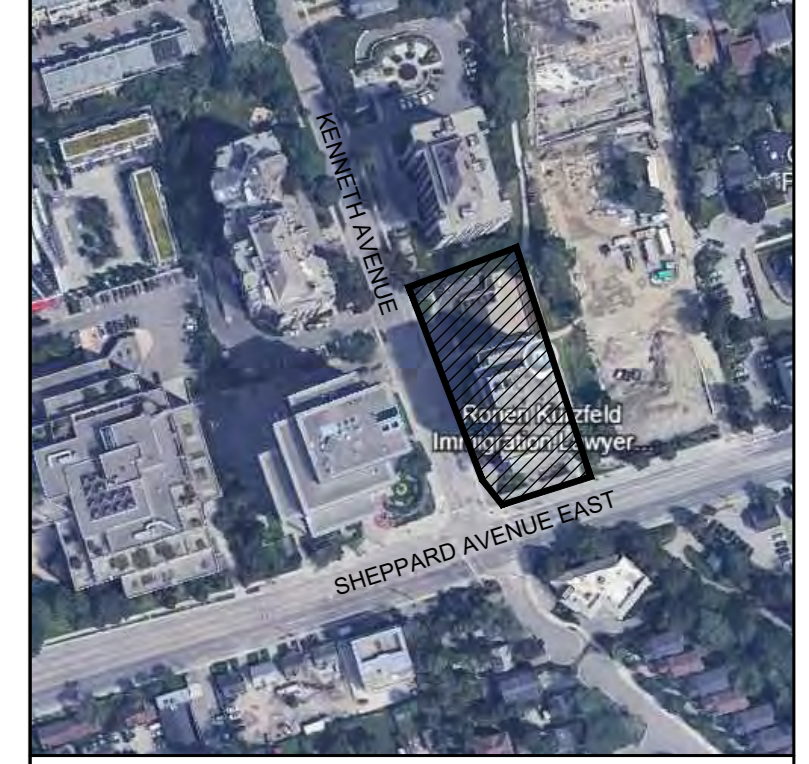
1 TREE PRESERVATION & REMOVAL PLAN

SCHEDULE "A3"

Conceptual Walkway, prepared by NAK DS Inc dated March 23, 2026



- GENERAL NOTES:**
- LEGAL DESCRIPTION OF PROPERTY: PART 1, PLAN OF SURVEY OF PART OF LOTS 6 AND 7 REGISTERED PLAN 4433 CITY OF TORONTO
 - ARCHITECTURAL INFORMATION PROVIDED BY: SWEENEY & CO ARCHITECTS
 - SURVEY INFORMATION PROVIDED BY: DAVID B SEARLES SURVEYING LTD
 - GRADING AND SERVING PROVIDED BY: SCS CONSULTING GROUP
 - EXISTING UTILITY INFORMATION PROVIDED BY: 45IGHT UTILITY ENGINEERS
 - ARBORIST REPORT PROVIDED BY: FERRIS + ASSOCIATES a division of NAK DS Inc.
 - ALL LANDSCAPE FURNITURE SHOWN IS FOR DESIGN CONCEPT ONLY
 - PROPOSED LIGHT LOCATION ON SITE SUBJECT TO PHOTOMETRIC STUDY
 - ALL EXISTING MUNICIPAL SIGNAGE TO BE REINSTATED
 - TREE LOCATIONS ON PUBLIC PROPERTY SUBJECT TO REVIEW AND APPROVAL BY UNDERGROUND UTILITY COMPANIES.
 - ROOT DEFLECTOR TO BE USED WHERE ROOT BALL OF TREES ON PUBLIC PROPERTY ARE WITHIN 1.2m OF UNDERGROUND UTILITIES.
 - PLANTING ON PRIVATE PROPERTY TO BE PROVIDED WITH A WATER EFFICIENT FULLY AUTOMATIC IRRIGATION SYSTEM USING STORMWATER HARVESTING. PLANTING WITHIN THE RIGHT OF WAY TO BE WATERED WITH A WATER EFFICIENT FULLY AUTOMATIC IRRIGATION SYSTEM
 - ALL LIGHTING TO BE DARK SKY COMPLIANT
 - GRATE POROSITY NOT TO EXCEED 20x20mm OR 10x100mm



- Notes:**
1. Do not scale the drawings.
 2. The contractor shall check and verify all dimensions and conditions on the project and immediately report any discrepancies to the consultant before proceeding with the work.
 3. The contractor is to be aware of all existing and proposed services and utility lines staked by each agency having jurisdiction prior to commencing work.

LEGEND

- HIGH BRANCHING, DECIDUOUS, SHADE TREES
- PROPOSED PLANTING
- EXISTING TREE TO REMAIN
- PROPERTY LINE
- EXTENT OF UNDERGROUND
- BUILDING ABOVE
- 1.2m HI. METAL FENCE
- CONCRETE PAVING/ SIDEWALK: SRI>29
- UNIT PAVING A: SRI>29
- SOD
- UNDERGROUND UTILITY OFFSET ZONE
- TACTILE INDICATOR STRIP
- BOLLARD LIGHT: DARK SKY COMPLIANT
- WALL MOUNT LIGHT
- CEILING MOUNT LIGHT
- BIKE RINGS
- EXISTING OVERHEAD WIRES
- FH FIRE HYDRANT
- STREET LIGHT
- SOIL VOLUME
- AREA WITH MICROTOPPIUM APPLIES
- POPS AREA

2		25-03-11
1	Issued for Rezoning & Site Plan Application	25-03-21
No.	Issued	YY-MM-DD

This drawing is to be used for the following purpose: Not to be used for construction unless signed by the landscape architect.

Project: 110 Sheppard Ave. E

Prepared for: 110 Sheppard East GP Inc.

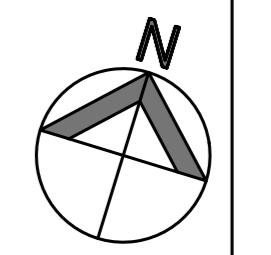
Location: Toronto, Ontario

Ferris + Associates
 a division of NAK DS Inc.
 218 Stacey Road
 Suite 211
 Toronto, Ontario
 M8R 2B2



Drawing Title: LANDSCAPE & LIGHTING PLAN

Date: February 2025
 Scale: As shown
 Drawn: SH
 Checked: PSF
 Project No: 2747
 Drawing No: SPL1



1:150

PLAN 1
 PROPOSED
 WALKWAY
 WITHOUT
 PREJUDICE
 March 23, 2026

SCHEDULE "B"

**Draft Reference Plan prepared by David B. Searles Surveying Ltd. plotted January 22,
2026 showing the Proposed Road Widening**

SCHEDULE				
PART	LOT	REGISTERED PLAN	PIN	AREA(Sq.M)
1				3469.10
2	PART OF 6 & 7	4433	ALL OF 10075-0215(LT)	913.40
3				27.80
4				106.90
5				122.60

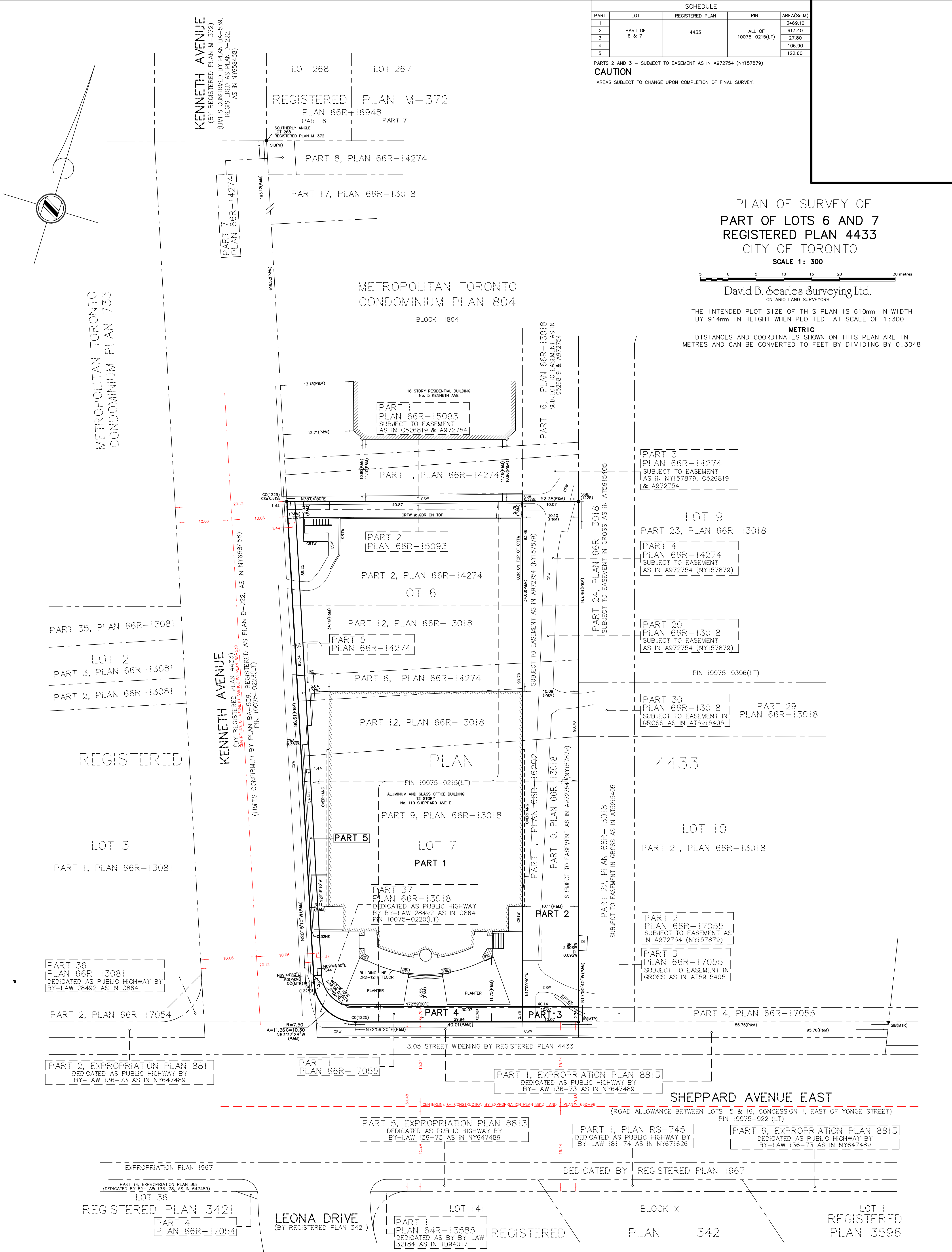
PARTS 2 AND 3 - SUBJECT TO EASEMENT AS IN A972754 (NY157879)
CAUTION
 AREAS SUBJECT TO CHANGE UPON COMPLETION OF FINAL SURVEY.

PLAN OF SURVEY OF
 PART OF LOTS 6 AND 7
 REGISTERED PLAN 4433
 CITY OF TORONTO

SCALE 1: 300

David B. Searles Surveying Ltd.
 ONTARIO LAND SURVEYORS

THE INTENDED PLOT SIZE OF THIS PLAN IS 610mm IN WIDTH BY 914mm IN HEIGHT WHEN PLOTTED AT SCALE OF 1:300
METRIC
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



INTEGRATION DATA

OBSERVED REFERENCE POINT ID	NORTHING	EASTING
ORP ---	48	---
ORP ---	48	---
ORP ---	48	---
ORP ---	48	---

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

BEARING NOTE
 BEARINGS SHOWN HEREON ARE GRID BEARINGS DERIVED FROM OBSERVED REFERENCE POINTS AND (SEE INTEGRATION DATA TABLE FOR COORDINATES) BY REAL TIME NETWORK (RTN) OBSERVATIONS, AND ARE REFERRED TO MTM ZONE 10 (79°30' WEST), NAD83 (CSRS 2010).

DISTANCE NOTE
 DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.999874.

NOTE
 PROPERTY LIMITS ARE NOT FENCED UNLESS OTHERWISE NOTED ON THE FACE OF THE PLAN.
 AREAS ARE IN SQUARE METRES AND CAN BE CONVERTED TO SQUARE FEET BY MULTIPLYING BY 10.764

- LEGEND**
- DENOTES MONUMENT FOUND
 - CC DENOTES CUT CROSS
 - IB DENOTES IRON BAR
 - SIB DENOTES STANDARD IRON BAR
 - SSB DENOTES SHORT STANDARD IRON BAR
 - 1225 DENOTES DAVID B. SEARLES SURVEYING LTD.
 - MTR DENOTES METRO TORONTO TRANSPORTATION DEPARTMENT
 - M DENOTES MEASURED
 - P DENOTES SURVEYOR'S REAL PROPERTY REPORT BY DAVID B. SEARLES SURVEYING LTD., DATED DECEMBER 4, 2024 (FILE 66-2-22)
 - CRTW DENOTES CONCRETE RETAINING WALL
 - CSW DENOTES CONCRETE SIDEWALK
 - CWALL DENOTES CONCRETE WALL
 - DI DENOTES DITCH INLET

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE _____ DAY OF _____

PRELIMINARY

DATE _____ ALISTER SANKEY
 ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-_____

David B. Searles Surveying Ltd.	Calculator	Draftsperson
4255 Sherwoodtowne Blvd., Suite 206, Mississauga, Ontario L4Z 1Y5	BJ	IV
Tel: (905) 273-6840 Fax: (905) 896-4410	Editor	Plan Index No.
Email: info@dssearles.ca	BJ	B 20

Calculation File: 66-22CALC.DWG Drawing File: 66-3-22.DWG File No.: 66-3-22

PLOTTED 2026-01-22

