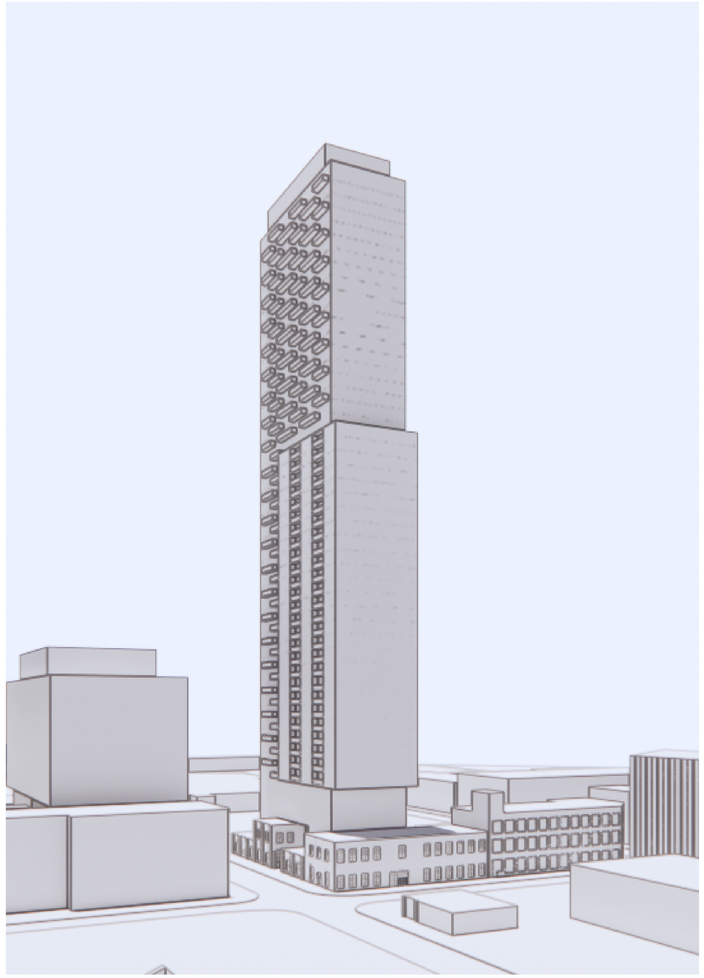


Sheet Number	Sheet Name
AZS000	Cover Page
AZS001	Project Information & Statistics
AZS003	GFA Diagrams
AZS101	Site Plan
AZS201	Level P1
AZS202	Ground Floor Plan
AZS203	Level 2 Amenity
AZS204	Level 3 Amenity
AZS205	Levels 4-5
AZS206	Levels 6-31 Typical Tower
AZS207	Level 32 Amenity
AZS208	Levels 33-34
AZS209	Levels 35-50 Typical Tower
AZS210	M.P.H
AZS211	Roof Level
AZS401	Building Elevations_North & East
AZS402	Building Elevations_South & West
AZS501	Building Section_South & East
AZS1111	Street Views

147-151 LIBERTY ST & 54-68 FRASER AVE.

LIST OF CONSULTANTS

OWNER
952 King West Holdings Inc.
147 Liberty Street
Toronto, ON. M6K 3G3
contact: Umair Waseem
e: waseem@intentionalcapital.com
p: 416-703-2151 x 206

ARCHITECTURE
Sweeny &Co Architects Inc.
134 Peter Street, Suite 1601
Toronto, ON. M5V 2H2
contact: Alexei Guerra
e: alexei@sweenyandco.com
p: 416-971-6252

LANDSCAPE
MHBC
7050 Weston Road, Suite 230
Woodbridge, ON. L4L 8G7
contact: Han Huang
e: hhuang@mhbcplan.com
p: 905-761-5588 x 215

MECHANICAL
THE AQUILA GROUP
40 University Avenue, suite 1300
Toronto, ON. M5J 1T1
contact: Matthew Marcoccia
e: mmarcoccia@theaquilagroup.com
p: 647-702-5107

PLANNING
Bousfields Inc.
3 Church Street, Suite 200
Toronto, ON. M5E 1M2
contact: Mike Bissett
e: mbisset@bousfields.ca
p: 416-903-6950

TRANSPORTATION
NEXTRANS CONSULTING ENGINEERS
520 Industrial Parkway South, Suite 201
Aurora, ON. L4G 6W8
contact: John Nham
e: john@nextrans.ca
t: 905-503-2563 x 223

WIND
RWDI
600 Southgate Drive
Guelph, ON. N1G 4P6
contact: Khalid Hussein
e: khalid.hussein@rwdi.com
p: 519-823-1311 x 2105

HERITAGE
GIAIMO ARCHITECTS
213 Sterling Road
Toronto, ON. M6R 2B2
contact: Joey Giaimo
e: joey@giaimo.ca

CIVIL
MGM CONSULTING INC.
555 Industrial Drive, Suite 201
Milton, ON. L9T 5E1
contact: Kasuni Lyanage
e: kliyanage@mgm.on.ca
p: 905-567-8678

ENVIRONMENTAL
ECOH MANAGEMENT
75 Courtneypark Drive West, Unit 1
Mississauga, ON. L5W 0E3
contact: Hapreet Kambo
e: hkambo@ecoh.ca
p: 905-795-2800

UPDATED DRAWINGS PER OLT MEDIATION

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED		yy-mm-dd
24-12-24	Issued for ZBA	
25-03-31	Issued for ZBA	

Sweeny&Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@sweenyandco.com | www.sweenyandco.com

PROJ. NAME
147 Liberty St/54-66 Fraser Ave.
Project Address#

OWNER
Intentional Capital

DWG TITLE
Cover Page

DATE: 2026-06-03
SCALE :
DRAWN : RM
CHECKED : AG
PROJ. No. : 2420
DWG No.
AZS000

C:\Users\richard\Documents\2026-05-26_R25_147 Liberty_Central_richardSHUKO.rvt
2026-06-05 4:51:43 PM

UNDERGROUND	TFA Area m²	TFA Area SF	RESIDENTIAL Area m²	RESIDENTIAL Area SF	NON-RES Area m²	NON-RES Area SF	GFA TOTAL Area m²	GFA TOTAL Area SF	INDOOR AMENITY Area m²	INDOOR AMENITY Area SF	OUTDOOR AMENITY Area m²	OUTDOOR AMENITY Area SF	NON-RES AMENITY Area m²	NON-RES AMENITY Area SF
PARKING														
Level -1	2,014.88 m²	21,688 SF	42.18 m²	454 SF	--	--	42.18 m²	454 SF	--	--	--	--	--	--
PARKING TOTAL	*2,014.88 m²*	*21,688 SF*	*42.18 m²*	*454 SF*	--	--	*42.18 m²*	*454 SF*	--	--	--	--	--	--
UNDERGROUND TOTAL	***2,014.88 m²***	***21,688 SF***	***42.18 m²***	***454 SF***	--	--	***42.18 m²***	***454 SF***	--	--	--	--	--	--

GFA (City of Toronto Zoning By-law 569-2013)

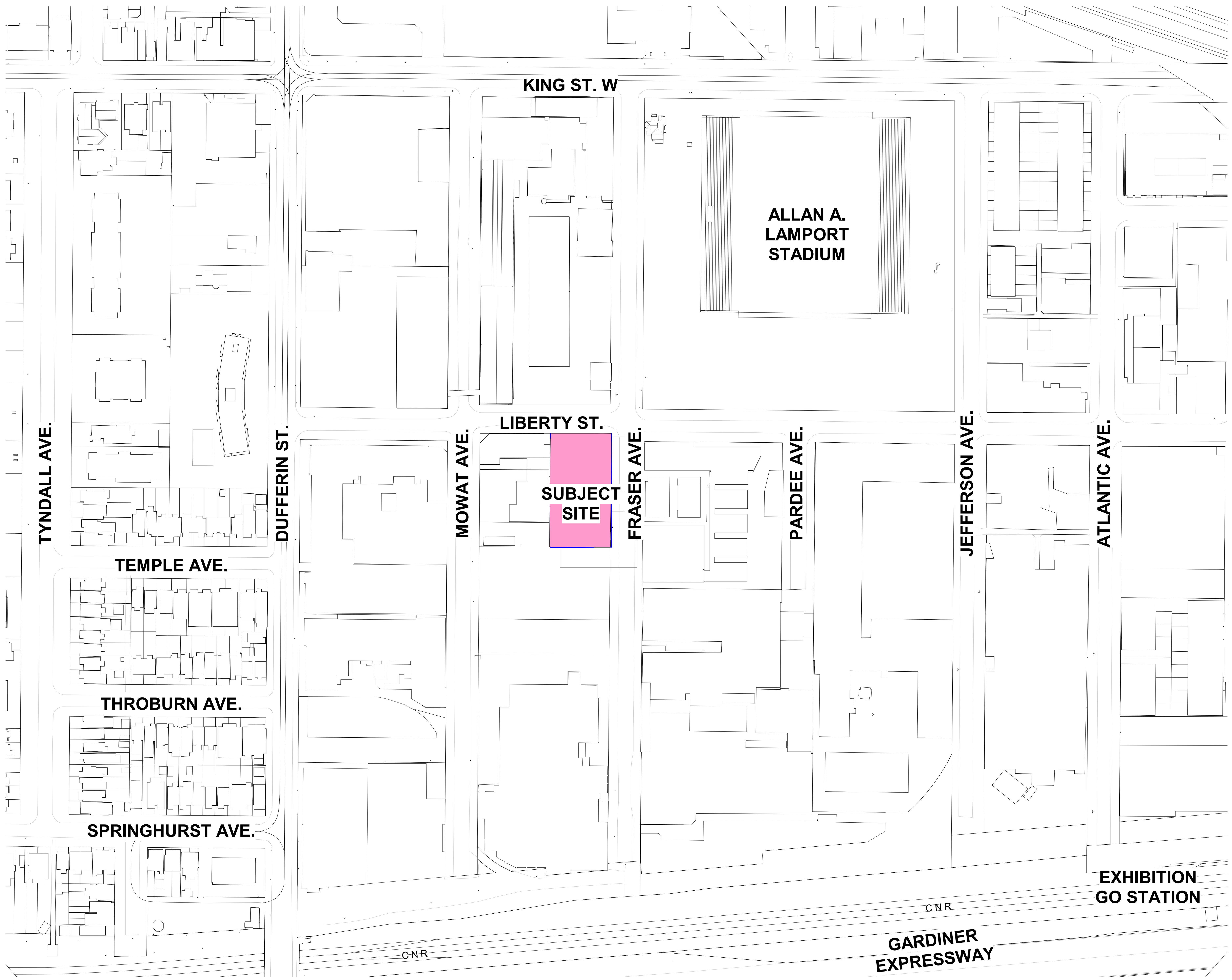
ABOVE GRADE	TFA Area m²	TFA Area SF	RESIDENTIAL Area m²	RESIDENTIAL Area SF	NON-RES Area m²	NON-RES Area SF	GFA TOTAL Area m²	GFA TOTAL Area SF
PODIUM (Heritage)								
Level 01	2,253.73 m²	24,259 SF	837.57 m²	9,015 SF	762.67 m²	8,209 SF	1,600.23 m²	17,225 SF
Level 02 Amenity	1,463.65 m²	15,755 SF	88.95 m²	957 SF	584.95 m²	6,296 SF	673.90 m²	7,254 SF
Level 03 Amenity	807.33 m²	8,690 SF	339.97 m²	3,659 SF	--	--	339.97 m²	3,659 SF
SUBTOTAL	*4,524.71 m²*	*48,704 SF*	*1,266.49 m²*	*13,632 SF*	*1,347.62 m²*	*14,506 SF*	*2,614.10 m²*	*28,138 SF*
TOWER (Low-Rise)								
Level 04	807.53 m²	8,692 SF	733.58 m²	7,896 SF	--	--	733.58 m²	7,896 SF
Level 05	807.53 m²	8,692 SF	733.58 m²	7,896 SF	--	--	733.58 m²	7,896 SF
Level 06	937.26 m²	10,089 SF	863.31 m²	9,293 SF	--	--	863.31 m²	9,293 SF
Level 7 to 31	*23,431.57 m²*	*252,215 SF*	*21,582.87 m²*	*232,316 SF*	--	--	*21,582.87 m²*	*232,316 SF*
SUBTOTAL	*25,983.89 m²*	*279,688 SF*	*23,913.35 m²*	*257,401 SF*	--	--	*23,913.35 m²*	*257,401 SF*
TOWER (High-Rise)								
Level 32 Amenity	807.53 m²	8,692 SF	602.88 m²	6,489 SF	--	--	602.88 m²	6,489 SF
Level 33	807.53 m²	8,692 SF	730.94 m²	7,868 SF	--	--	730.94 m²	7,868 SF
Level 34	807.53 m²	8,692 SF	730.94 m²	7,868 SF	--	--	730.94 m²	7,868 SF
Level 35	807.53 m²	8,692 SF	754.52 m²	8,122 SF	--	--	754.52 m²	8,122 SF
Level 36 to 50	*12,112.95 m²*	*130,383 SF*	*11,317.74 m²*	*121,823 SF*	--	--	*11,317.74 m²*	*121,823 SF*
M.P.H	595.75 m²	6,413 SF	--	--	--	--	--	--
SUBTOTAL	*15,938.82 m²*	*171,564 SF*	*14,137.02 m²*	*152,170 SF*	--	--	*14,137.02 m²*	*152,170 SF*
ABOVEGRADE TOTAL	***46,447.43 m²***	***499,956 SF***	***39,316.86 m²***	***423,203 SF***	***1,347.62 m²***	***14,506 SF***	***40,664.48 m²***	***437,709 SF***
GRAND TOTAL	**48,462.31 m²**	**521,644 SF**	**39,359.04 m²**	**423,657 SF**	**1,347.62 m²**	**14,506 SF**	**40,706.65 m²**	**438,163 SF**
	TFA		RESIDENTIAL		NON-RES		GFA TOTAL	

ABOVE GRADE	INDOOR AMENITY Area m²	INDOOR AMENITY Area SF	OUTDOOR AMENITY Area m²	OUTDOOR AMENITY Area SF	NON-RES AMENITY Area m²	NON-RES AMENITY Area SF
PODIUM (Heritage)						
Level 01	--	--	--	--	--	--
Level 02 Amenity	639.89 m²	6,888 SF	703.93 m²	7,577 SF	68.85 m²	741 SF
Level 03 Amenity	392.67 m²	4,227 SF	67.00 m²	721 SF	--	--
SUBTOTAL	*1,032.55 m²*	*11,114 SF*	*770.93 m²*	*8,298 SF*	--	--
TOWER (Low-Rise)						
Level 04	--	--	--	--	--	--
Level 05	--	--	--	--	--	--
Level 06	--	--	--	--	--	--
Level 7 to 31	--	--	--	--	--	--
SUBTOTAL	--	--	--	--	--	--
TOWER (High-Rise)						
Level 32 Amenity	128.07 m²	1,378 SF	103.68 m²	1,116 SF	--	--
Level 33	--	--	--	--	--	--
Level 34	--	--	--	--	--	--
Level 35	--	--	--	--	--	--
Level 36 to 50	--	--	--	--	--	--
M.P.H	--	--	--	--	--	--
SUBTOTAL	*128.07 m²*	*1,378.49 m²*	*103.68 m²*	*1,116 SF*	*68.85 m²*	*741 SF*
ABOVEGRADE TOTAL	***1,160.62 m²***	***12,493 SF***	***874.61 m²***	***9,414 SF***	***68.85 m²***	***741 SF***
GRAND TOTAL	**1,160.62 m²**	**12,493 SF**	**874.61 m²**	**9,414 SF**	**68.85 m²**	**741 SF**
	INDOOR AMENITY		OUTDOOR AMENITY		NON-RES AMENITY	

TOTAL RESIDENTIAL UNIT COUNT

ABOVE GRADE	BACH	1BD	1BD+D	2BD	2BD+D	3BD	3BD+D	TOTAL
Level 01	-	-	-	-	-	-	-	-
Level 02 Amenity	-	-	-	-	-	-	-	-
Level 03 Amenity	1	2	-	2	-	-	-	5
SUBTOTAL	*1*	*2*	-	*2*	-	-	-	*5*
	20.0%	40.0%	-	40.0%	-			
Level 04	2	3	3	3	-	1	-	12
Level 05	2	3	3	3	-	1	-	12
Level 06	1	3	3	5	-	1	-	13
Level 7 to 31	*25*	*75*	*75*	*125*	-	*25*	-	*325*
SUBTOTAL	*30*	*84*	*84*	*136*	-	*28*	-	*362*
	8.3%	23.2%	23.2%	37.6%	-	7.7%	-	
Level 32 Amenity	-	5	-	3	-	1	-	9
Level 33	-	4	2	3	-	2	-	11
Level 34	-	4	2	3	-	2	-	11
Level 35	-	3	3	3	-	2	-	11
Level 36 to 50	-	*45*	*45*	*45*	-	*30*	-	*165*
M.P.H	-	-	-	-	-	-	-	-
SUBTOTAL		*61*	*52*	*57*	-	*37*	-	*207*
	-	29.5%	25.1%	27.5%	-	17.9%	-	
ABOVEGRADE TOTAL	***31***	***147***	***136***	***195***	-	***65***	-	***574***
GRAND TOTAL	**31**	**147**	**136**	**195**		**65**		
	5.4%	25.6%	23.7%	34.0%		11.3%		
AVG. UNIT SIZE PER TYPE	36.89 m²	47.82 m²	55.23 m²	70.15 m²	--	86.75 m²	--	
	397 SF	515 SF	594 SF	755 SF	--	934 SF	--	

*** Areas in square feet are for reference only.



1 AZS001 ZBA_Context Plan
1 : 1500

ZONING REQUIREMENTS

SITE

TYPE	NOTES	PROVIDED
GROSS SITE AREA		2,673.41 m²
NET SITE AREA		2,673.41 m²

COVERAGE

TYPE	NOTES	PROVIDED	
BUILDING COVERAGE*	*percentage of NET SITE AREA	2,279.41 m²	85.26%
PAVED AREA*		319.00 m²	11.93%
LANDSCAPING*		75.00 m²	2.81%
NET SITE AREA		2,673.41 m²	100.00%

FSI

TYPE	NOTES	PROVIDED	
TOTAL RES GFA		39,359.04 m²	96.69%
TOTAL OFFICE GFA	NON-RES	1,347.62 m²	3.31%
TOTAL GFA		40,706.65 m²	100.00%
FLOOR SPACE INDEX (NET)		15.23	

RESIDENTIAL AMENITY

TYPE		PROVIDED (m²/unit)	PROVIDED (m²)
INDOOR	574 units	2.02 m²	1,160.62 m²
OUTDOOR	574 units	1.52 m²	874.61 m²
TOTAL RES. AMENITY		3.55 m²	2,035.24 m²

VEHICULAR PARKING

Please Note: remaining parking spaces will be roughed in for future EV installation

Please Note: Accessible parking rate: if number of effective (eff.) spaces is 13-100, then min. of 1 space for every 25 eff. spaces (as per Zoning By-Law 569-2013, section 200.15.10.10)

TYPE		REQUIRED			PROVIDED
Barrier-Free	574 units		1/25 eff. spaces =	2	3
Residential Visitor	574 units	0.1	eff. spaces/unit =	57	31
TOTAL PARKING					34

LEVEL	REGULAR	BF	VISITOR	EV	LVL TOTAL
P1	0	3	31		34
TOTAL PARKING	*0*	*3*	*31*		*34*

*includes retail parking spots

BICYCLE PARKING

TYPE		REQUIRED			PROVIDED
Res LONG TERM	574 units	0.9	spaces/unit	517	518
Res SHORT TERM	574 units	0.1	spaces/unit	58	58
TOTAL BICYCLES				575	576

LEVEL BREAKDOWN	RES. LT.	RES. ST.	RETAIL	% NET FLOOR AREA	LVL TOTAL
P1	212	0		12.32%	212
L1	306	58		18.15%	364
L2	0	0		16.00%	0
TOTAL BICYCLES	*518*	*58*		46.47%	*576*

LOADING & STAGING

400 dwelling units or more 1 Type "G" and 1 - Type "C"

Staging: Every 50 units above the initial 50 units, add an area of 5m2

TYPE	REQUIRED			PROVIDED
Type G				1
Type C				1
STAGING	50	574 units	52.40 m²	68.20 m²

GARBAGE ROOM

RESIDENTIAL: first 50 units = 25m2, following 13m2 for every additional 50 units

TYPE	REQUIRED				PROVIDED
Type G/B					1.0
BUILDING	25.00 m²	574 units	136.24 m²	161.24 m²	192.00 m²
BULK + HHW				10.00 m²	17.00 m²
TOTAL GARBAGE				171.24 m²	213.40 m²

CAR PARKING SPACE:

NOTES:

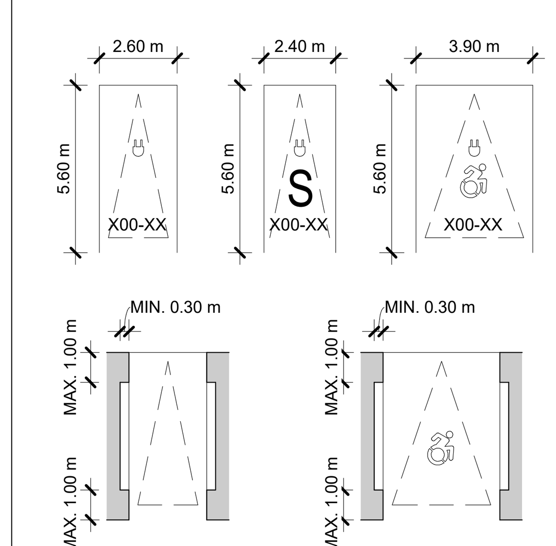
- DRIVE AISLE MINIMUM 6.0m UNLESS OTHERWISE NOTED.
- MINIMUM 2.1m VERTICAL CLEARANCE UNLESS OTHERWISE NOTED.
- ALL PARKING SPACES ARE TYPICAL UNLESS OTHERWISE NOTED.

MINIMUM PARKING SPACE DIMENSIONS:

REGULAR:
WIDTH: 2.60m
LENGTH: 5.60m

REDUCED:
WIDTH: 2.40m
LENGTH: 5.60m

ACCESSIBLE:
WIDTH: 3.90m
LENGTH: 5.60m



PARKING SPACE CLEARANCE FROM FIXED OBJECTS

LEGEND:

ACCESIBLE PARKING SPACE

ELECTRIC VEHICLE PARKING SPACE

S PARKING SPACE NOT MEETING THE MINIMUM DIMENSIONS REQUIREMENTS OR HAVING OBSTRUCTIONS

X 00 -XX — USE / NUMBER / SUB-USE

USES:

R = RESIDENTIAL
V = VISITOR
CS = CAR SHARE

BICYCLE PARKING SPACE:

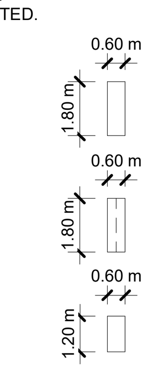
MINIMUM BICYCLE PARKING SPACE DIMENSIONS:

NOTE: 2.4m VERTICAL CLEARANCE IN ALL ROOMS UNLESS OTHERWISE NOTED.

HORIZONTAL:
WIDTH: 0.60m
LENGTH: 1.80m

HORIZONTAL STACKED:
WIDTH: 0.60m
LENGTH: 1.80m

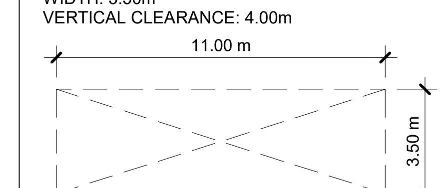
VERTICAL:
WIDTH: 0.60m
HORIZONTAL CLEARANCE: 1.20 m



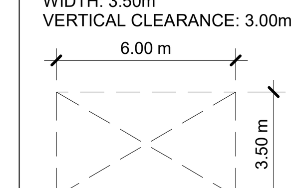
TYPICAL LOADING SPACE:

MINIMUM LOADING SPACE DIMENSIONS:

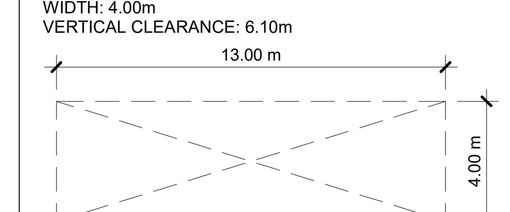
TYPE B
LENGTH: 11.00m
WIDTH: 3.50m
VERTICAL CLEARANCE: 4.00m



TYPE C
LENGTH: 6.00m
WIDTH: 3.50m
VERTICAL CLEARANCE: 3.00m



TYPE G
LENGTH: 13.00m
WIDTH: 4.00m
VERTICAL CLEARANCE: 6.10m

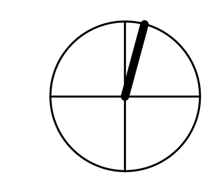


DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED	yy-mm-dd
24-12-24	Issued for ZBA
25-03-31	Issued for ZBA



Sweeny&Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@sweenyandco.com | www.sweenyandco.com

PROJ. NAME
147 Liberty St/54-66 Fraser Ave.
#Project Address#

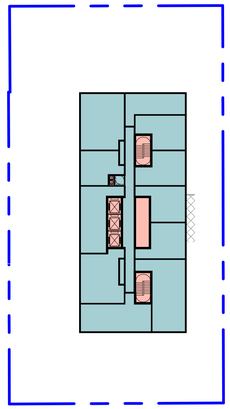
OWNER
Intentional Capital

DWG TITLE
Project Information & Statistics

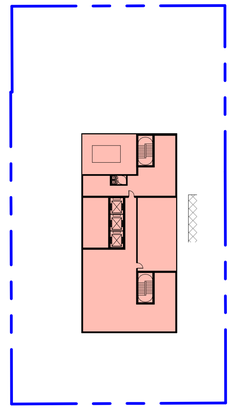
DATE: 2026-06-03
SCALE : As indicated
DRAWN : RM
CHECKED : AG
PROJ. No. : 2420
DWG No. **AZS001**

C:\Users\richard\Documents\2026-05-26_R25_147 Liberty_Central_richardSHUKQ.rvt

2026-06-05 4:51:44 PM



9 AZS003 GFA_ZBA_Level 33-50 Typical Tower
1 : 500



10 AZS003 GFA_ZBA_M.P.H
1 : 500

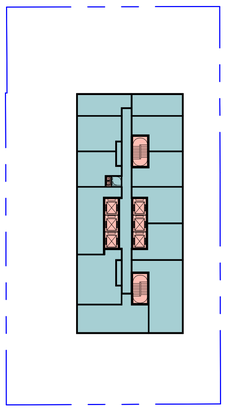
GROSS FLOOR AREA (ZBL 569-2013)

DEDUCTIONS*

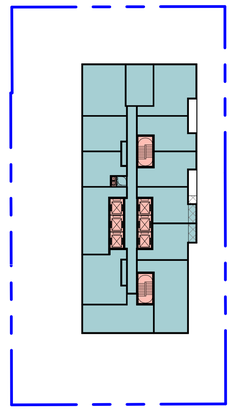
GROSS FLOOR AREA

***Deductions include:**
(A) parking, loading, and bicycle parking below grade;
(B) required loading spaces and required bicycle spaces at or above grade;
(C) storage rooms, washrooms, electrical, utility, mechanical and ventilation rooms in the basement;
(D) shower and change facilities required by this By-law for required bicycle parking spaces;
(E) infoor amenity spaces required by this By-law
(F) elevator shafts;
(G) garbage shafts;
(H) mechanical penthouse; and
(I) exit stairwells in the building.

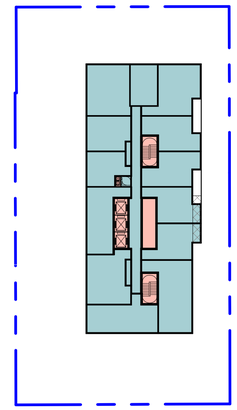
(Refer to 40.5.40.40 Floor Area in By-Law 569-2013).



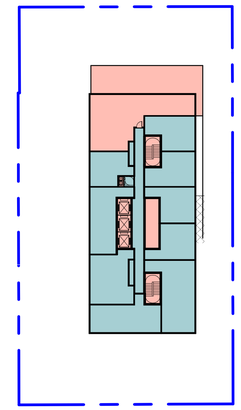
4 AZS003 GFA_ZBA_Level 4-5
1 : 500



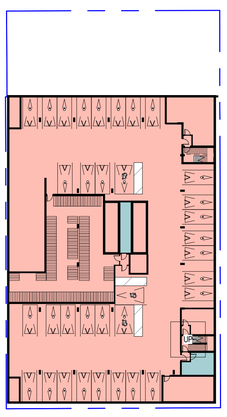
5 AZS003 GFA_ZBA_Level 6-27 Typical Tower
1 : 500



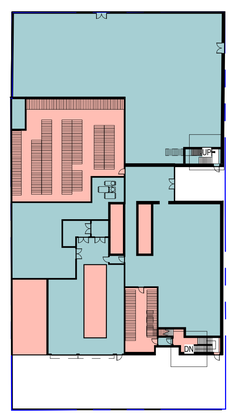
6 AZS003 GFA_ZBA_Level 28-31
1 : 500



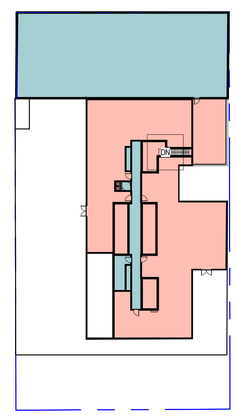
7 AZS003 GFA_ZBA_Level 32 Amenity
1 : 500



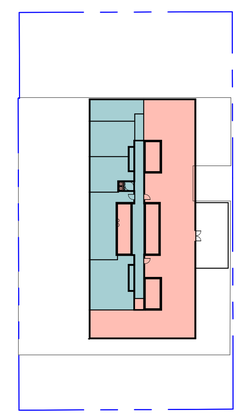
8 AZS003 GFA_ZBA_Level P1 Underground
1 : 500



1 AZS003 GFA_ZBA_Ground Level
1 : 500



2 AZS003 GFA_ZBA_Level 2 Amenity
1 : 500



3 AZS003 GFA_ZBA_Level 3 Amenity
1 : 500

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED		yy-mm-dd
24-12-24	Issued for ZBA	
25-03-31	Issued for ZBA	

Sweeny&Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@sweenyandco.com | www.sweenyandco.com

PROJ. NAME
147 Liberty St/54-66 Fraser Ave.
Project Address#

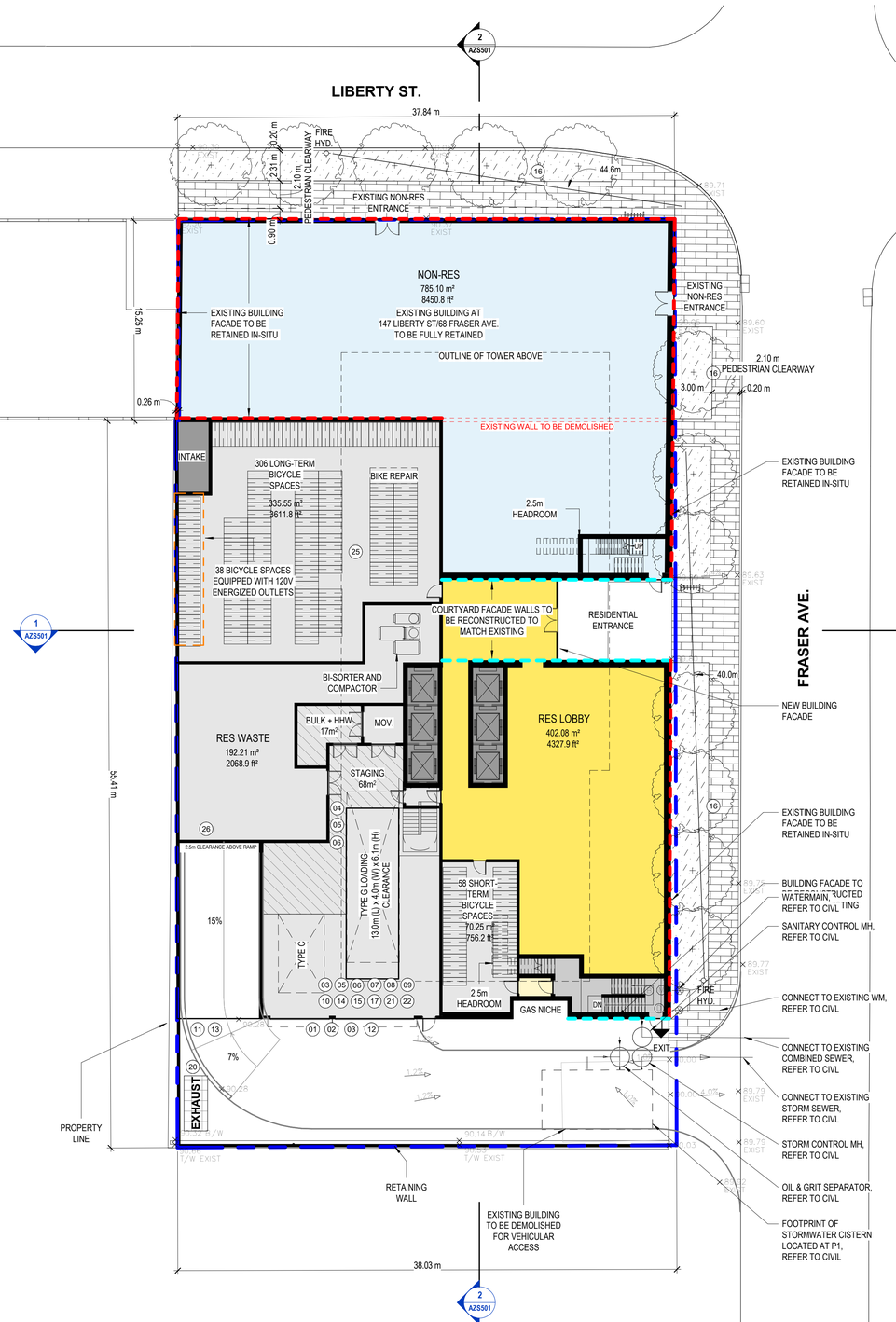
OWNER
Intentional Capital

DWG TITLE
GFA Diagrams

DATE: 2026-06-03
SCALE : As indicated
DRAWN : RM
CHECKED : AG
PROJ. No. : 2420
DWG No. **AZS003**

C:\Users\richard\Documents\2026-05-26_R25_147 Liberty_Central_richardSHUKO.rvt

2026-06-05 4:51:44 PM



SITE PLAN NOTES

Note Number	Note Text
01	MINIMUM 4.4 METERS VERTICAL CLEARANCE PROVIDED FOR ALL ACCESS DRIVEWAYS AND OVERHEAD DOORS FOR COLLECTION VEHICLES
02	MINIMUM 6.0 METERS WIDTH PROVIDED FOR ALL POINTS OF EGRESS AND INGRESS FOR COLLECTION VEHICLES
03	MINIMUM 4.5 METERS WIDTH PROVIDED FOR ALL ACCESS DRIVEWAYS AND OVERHEAD DOORS FOR COLLECTION VEHICLES
04	MIN 5.5 SQUARE METERS FOR COLLECTION/ STAGING PAD AT POINT OF TYPE G VEHICLE
05	MAX. 2% SLOPE CONSTRUCTED OF AT LEAST 200mm REINFORCED CONCRETE PROVIDED FOR COLLECTION/STAGING PAD
06	MINIMUM 6.1 METERS CLEARANCE PROVIDED ABOVE COLLECTION/ STAGING PAD
07	MIN. 6.1 METERS VERTICAL UNENCUMBERED CLEARANCE PROVIDED FOR LOADING SPACE
08	MAX. 2% SLOPE CONSTRUCTED OF AT LEAST 200mm REINFORCED CONCRETE PROVIDED FOR LOADING SPACE
09	TYPE G VEHICLE MUST EXIT WITH ASSISTANCE OF BUILDING OPERATIONS MANAGEMENT STAFF
10	FULLY TRAINED EMPLOYEE TO BE PRESENT AT ALL TIMES DURING GARBAGE COLLECTION TO ASSIST THE DRIVER OF THE CITY'S SOLID WASTE REFUSE COLLECTION VEHICLE WITH THE BACK-UP MANOEUVRES ONTO THE PUBLIC LANE BY CONTROLLING PEDESTRIAN AND VEHICULAR TRAFFIC AT THE EXIT FROM THE LOADING SPACE
11	A WARNING SYSTEM AT THE TOP OF THE UNDERGROUND RAMP TO ALERT MOTORISTS OF THE PRESENCE OF TRUCKS TO BE PROVIDED AND MAINTAINED
12	ACCEPTABLE WARNING SYSTEM AND/OR CONVEX MIRROR ADJACENT TO THE PUBLIC STREET TO ALERT VEHICLES AND PEDESTRIANS OF THE PRESENCE OF TRUCKS TO BE PROVIDED AND MAINTAINED
13	CONVEX MIRRORS AND WARNING DEVICES TO BE INSTALLED AT CRITICAL TURNING CORNERS AND LOCATIONS AS COORDINATED W/ TRAFFIC CONSULTANT
14	USE OF LOADING AREAS TO BE SCHEDULED BY BUILDING MANAGEMENT TO FACILITATE PROPER LOADING/UNLOADING OF GOODS
15	ALL ACCESS DRIVEWAYS AND PASSAGEWAYS LEADING TO THE TYPE G LOADING SPACE MUST BE LEVEL (+/- 8%)
16	REFER TO LANDSCAPE DRAWINGS FOR SIDEWALK LANDSCAPING DESIGN
17	TYPE G LOADING SPACE AND ALL DRIVEWAYS AND PASSAGEWAYS PROVIDING ACCESS THERETO TO BE CONSTRUCTED TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE
18	NON-RESIDENTIAL REFUSE TO BE COLLECTED BY PRIVATE REFUSE COLLECTION FIRM AT NO EXPENSE TO THE CITY, AND ON DIFFERENT DAYS FROM CITY REFUSE COLLECTION SO AS TO ENSURE THAT THE TYPE G LOADING SPACE IS VACANT FOR CITY SOLID WASTE COLLECTION. ALL REFUSE TO BE STORED ON PRIVATE PROPERTY IN VERMIN-PROOF CONTAINERS
19	ALL BINS THAT WILL BE USED FOR THE STORAGE OF NON-RESIDENTIAL WASTE WILL BE LABELLED INDIVIDUALLY WITH "NON-RESIDENTAL USE ONLY" PAINTED OR STENCILLED LETTERING RANGING IN HEIGHT FROM 0.15M TO 0.30M
20	ALL METAL GRATES TO HAVE MAXIMUM POROSITY OF 20MM x 20MM AT GROUND LEVEL
21	ALL PARKING SPOTS TO COMPLY W/ DIMENSIONS AND CLEARANCES REQUIRED AND PROVIDED BY THE AUTHORITY HAVING JURISDICTION. REFER TO DIAGRAMS PROVIDED
22	PARKING REGULATION SIGNAGES TO BE PROVIDED AND DESIGNED TO A.H.J. STANDARDS
23	OUTLINE OF CANOPY / COVERED OUTDOOR WAITING AREA
24	ALL PARKING SPACES PROVIDED INCLUDES AN ENERGIZED OUTLET CAPABLE OF PROVIDING LEVEL 2 CHARNGING OR HIGHER TO THE PARKING SPACE
25	MIN. 15% OF BICYCLE PARKING INCLUDES A 120V ENERGIZED OUTLET
26	MIN. 1SM/100 UNITS OF DEDICATED SPACE FOR THE COLLECTION AND STORAGE OF HOUSEHOLD HAZARDOUS WASTE AND/OR E-WASTE PROVIDED

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED	yy-mm-dd
24-11-15	Issued for Coordination
24-12-03	Issued for Coordination
24-12-24	Issued for ZBA
25-03-31	Issued for ZBA

Sweeny&Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@sweenyandco.com | www.sweenyandco.com

PROJ. NAME
147 Liberty St/54-66 Fraser Ave
Project Address#

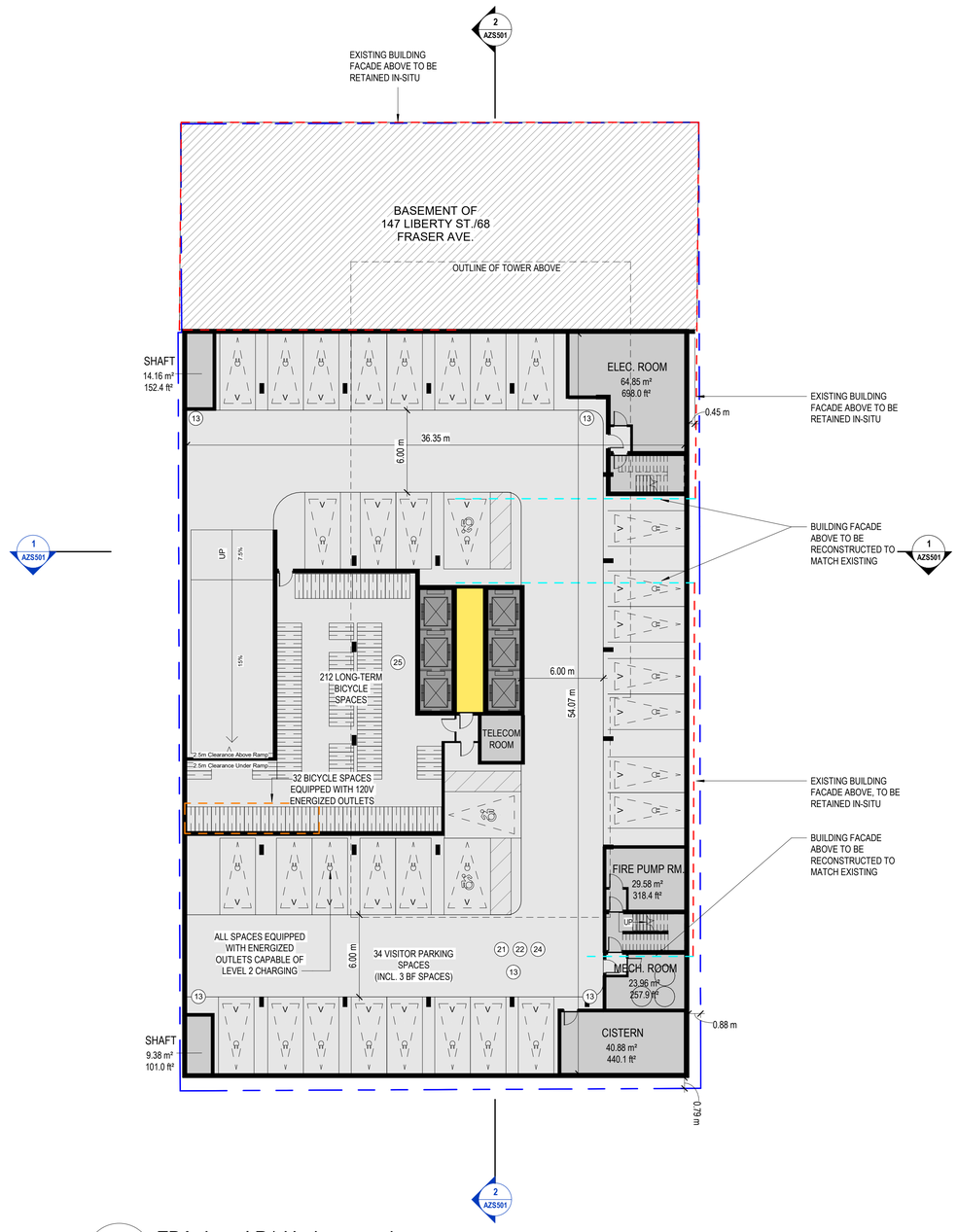
OWNER
Intentional Capital

DWG TITLE
Site Plan

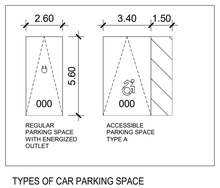
DATE: 2026-06-03
SCALE : As indicated
DRAWN : RM
CHECKED : AG, HH
PROJ. No. : 2420
DWG No. AZS101

C:\Users\richard\Documents\2026-05-26_R25_147 Liberty_Central_richardSHUKIQ.rvt
2026-06-05 4:51:45 PM

Note Number	Note Text
13	CONVEX MIRRORS AND WARNING DEVICES TO BE INSTALLED AT CRITICAL TURNING CORNERS AND LOCATIONS AS COORDINATED W/ TRAFFIC CONSULTANT
21	ALL PARKING SPOTS TO COMPLY W/ DIMENSIONS AND CLEARANCES REQUIRED AND PROVIDED BY THE AUTHORITY HAVING JURISDICTION. REFER TO DIAGRAMS PROVIDED
22	PARKING REGULATION SIGNAGES TO BE PROVIDED AND DESIGNED TO A.H.J. STANDARDS
24	ALL PARKING SPACES PROVIDED INCLUDES AN ENERGIZED OUTLET CAPABLE OF PROVIDING LEVEL 2 CHARNGING OR HIGHER TO THE PARKING SPACE
25	MIN. 15% OF BICYCLE PARKING INCLUDES A 120V ENERGIZED OUTLET



1
AZS201
ZBA_Level P1 Underground
1 : 200



TYPES OF CAR PARKING SPACE

NOTES:

1. Per Toronto Green Standard Version 4:
   Parking spaces must be equipped with an energized outlet, which is clearly marked and identified for electric vehicle charging, in accordance with Zoning By-law 569-2013, as amended:

   All residential parking spaces provided for dwelling units located in an apartment building, mixed use building, multiple dwelling unit building, excluding visitor parking spaces, must include an energized outlet capable of providing Level 2 charging or higher to the parking space

2. Per Toronto Green Standard Version 4:
   Residential: At least 15% of the required long-term bicycle parking spaces, or one parking space, whichever is greater, shall include an Energized Outlet (120 V) adjacent to the bicycle rack or parking space

TOTAL OF 34 RESIDENTIAL VISITOR PARKING SPACES

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED	yy-mm-dd
24-11-15	Issued for Coordination
24-12-03	Issued for Coordination
24-12-24	Issued for ZBA
25-03-31	Issued for ZBA

Sweeny&Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@sweenyandco.com | www.sweenyandco.com

PROJ. NAME
147 Liberty St/54-66 Fraser Ave.
Project Address#

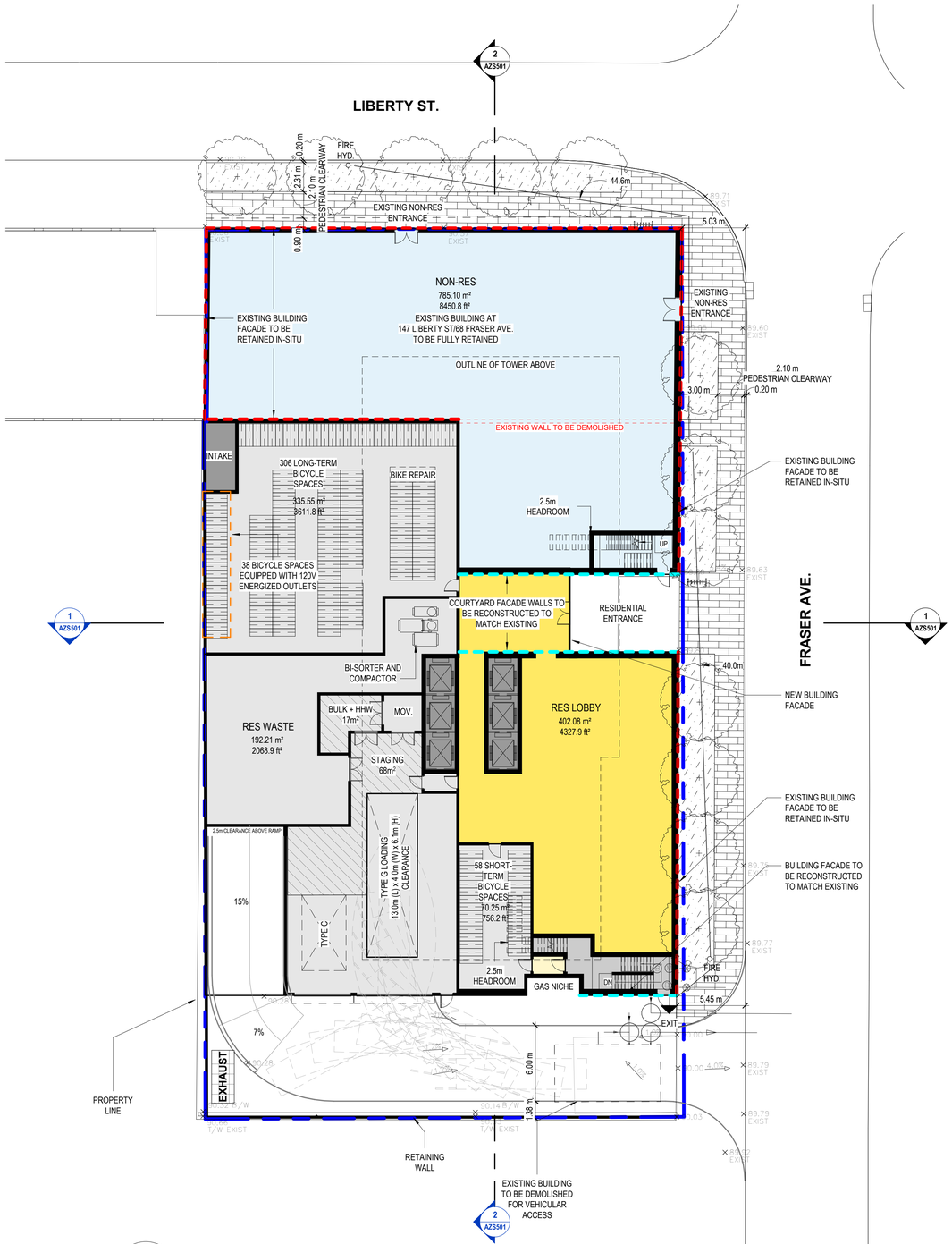
OWNER
Intentional Capital

DWG TITLE
Level P1

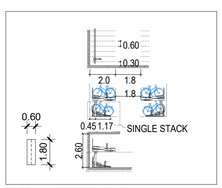
DATE: 2026-06-03
SCALE : 1 : 200
DRAWN : RM
CHECKED : HH
PROJ. No. : 2420
DWG No.
AZS201

C:\Users\richard\Documents\2026-05-26_R25_147 Liberty_Central_richardSHUKQ.rvt

2026-06-05 4:51:45 PM



1 AZS202 ZBA_Ground Level
1 : 200



TYPE H - HORIZONTAL STACK
PRODUCT: SINGLE PARKER BY JOSTA OR EQUIV.
INSTALLATION: FLOOR MOUNTED

262 RESIDENTIAL LONG-TERM BIKE PARKING SPACES
74 RESIDENTIAL SHORT-TERM BIKE PARKING SPACES

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED	yy-mm-dd
24-11-15	Issued for Coordination
24-12-03	Issued for Coordination
24-12-24	Issued for ZBA
25-03-31	Issued for ZBA

Sweeny&Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@sweenyandco.com | www.sweenyandco.com

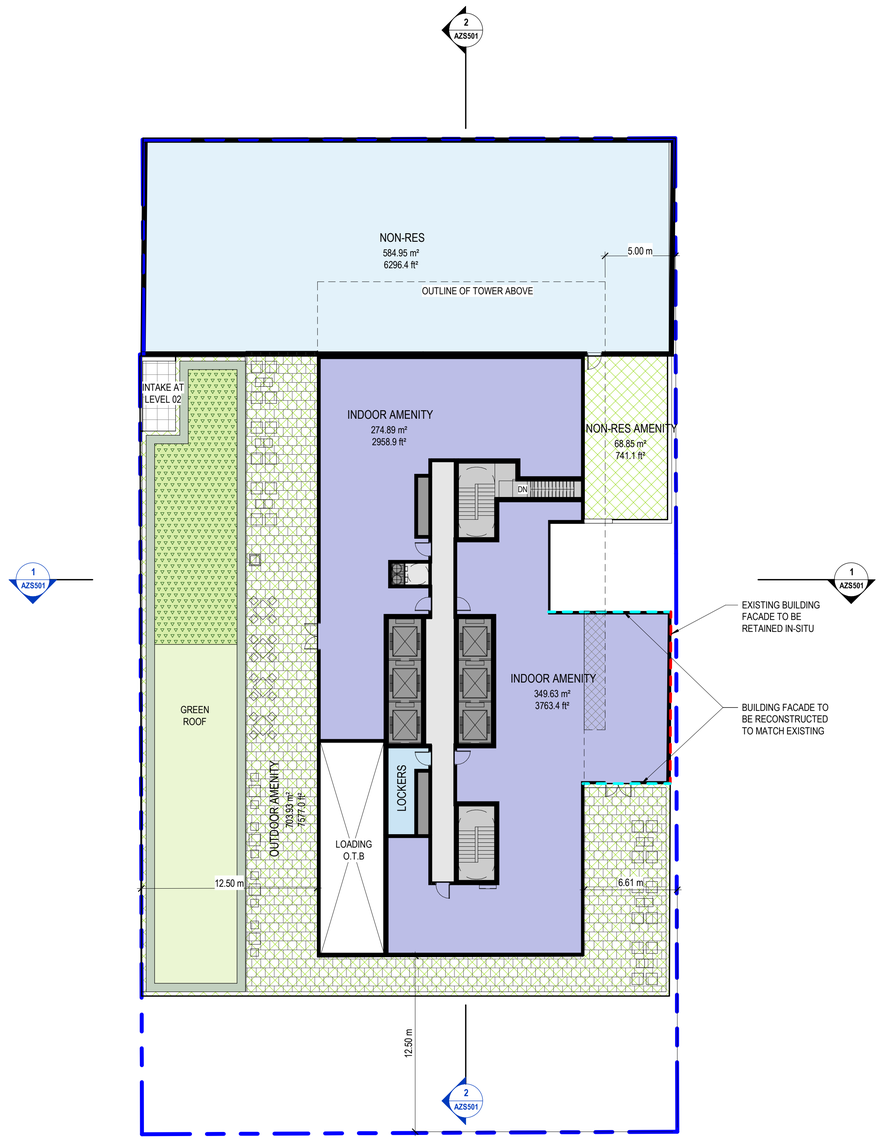
PROJ. NAME
147 Liberty St/54-66 Fraser Ave.
Project Address#

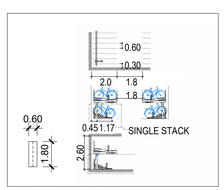
OWNER
Intentional Capital

DWG TITLE
Ground Floor Plan

DATE: 2026-06-03
SCALE : 1 : 200
DRAWN : RM
CHECKED : HH
PROJ. No. : 2420
DWG No. AZS202

C:\Users\richard\Documents\2026-05-26_R25_147 Liberty_Central_richardSHUKQ.rvt
2026-06-05 4:51:46 PM





TYPE H - HORIZONTAL STACK
PRODUCT: SINGLE PARKER BY JOSTA OR EQUIV.
INSTALLATION: FLOOR MOUNTED

1
AZS203
ZBA_Level 2 Amenity
1 : 200

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED	yy-mm-dd
24-11-15	Issued for Coordination
24-12-03	Issued for Coordination
24-12-24	Issued for ZBA
25-03-31	Issued for ZBA

Sweeny&Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@sweenyandco.com | www.sweenyandco.com

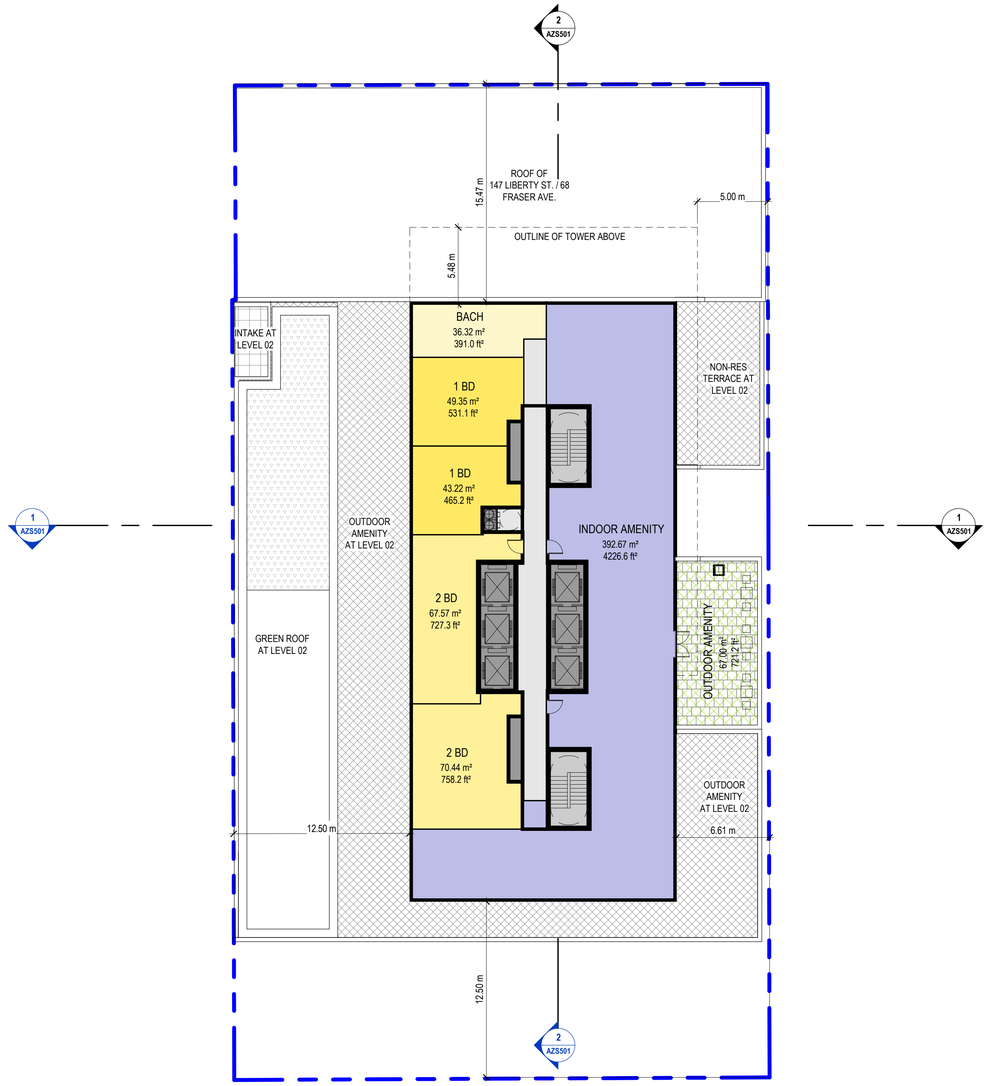
PROJ. NAME
147 Liberty St/54-66 Fraser Ave.
Project Address#

OWNER
Intentional Capital

DWG TITLE
Level 2 Amenity

DATE: 2026-06-03
SCALE : 1 : 200
DRAWN : RM
CHECKED : HH
PROJ. No. : 2420
DWG No.
AZS203

C:\Users\richard\Documents\2026-05-26_R25_147 Liberty_Central_richardSHUKO.rvt
2026-06-05 4:51:46 PM



1 AZS204 ZBA_Level 3 Amenity
1 : 200

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED	yy-mm-dd
24-11-15	Issued for Coordination
24-12-03	Issued for Coordination
24-12-24	Issued for ZBA
25-03-31	Issued for ZBA

Sweeny&Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@sweenyandco.com | www.sweenyandco.com

PROJ. NAME
147 Liberty St/54-66 Fraser Ave.
Project Address#

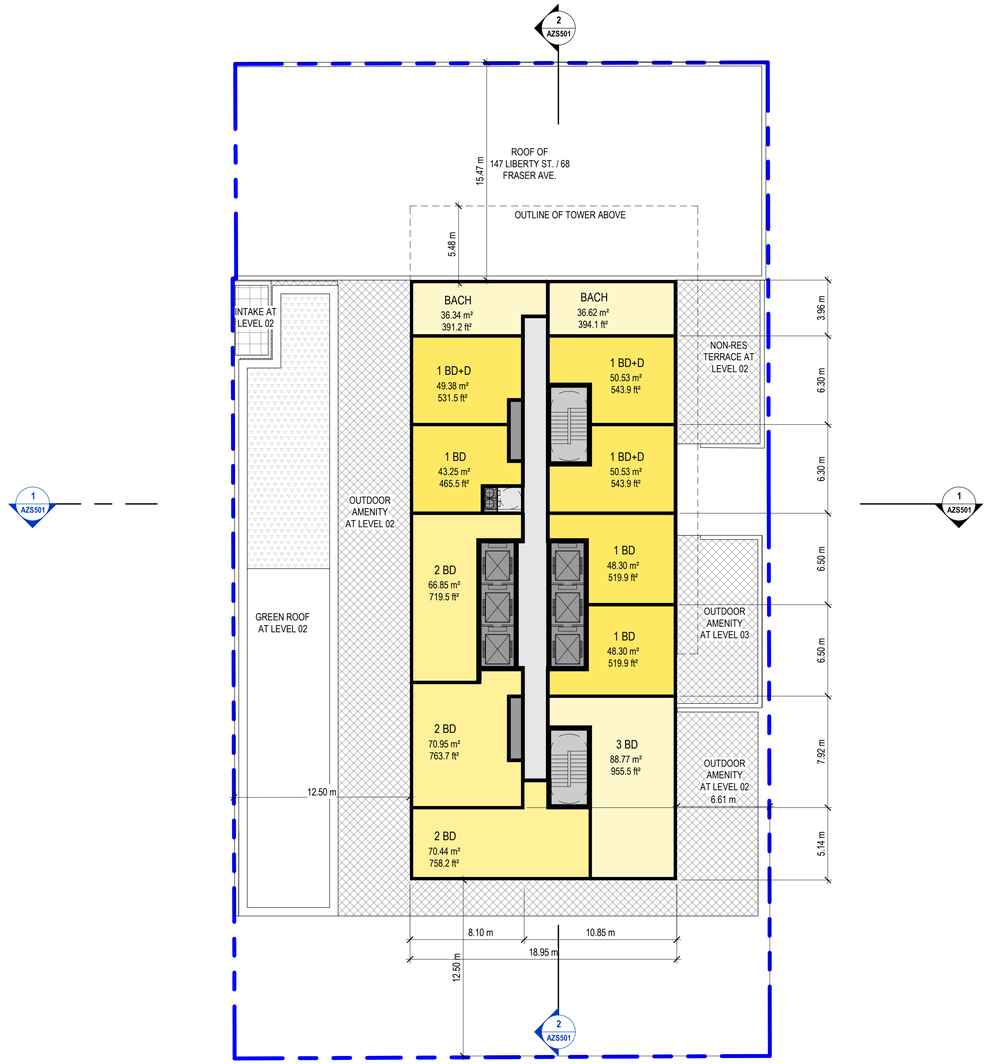
OWNER
Intentional Capital

DWG TITLE
Level 3 Amenity

DATE: 2026-06-03
SCALE : 1 : 200
DRAWN : RM
CHECKED : HH
PROJ. No. : 2420
DWG No.
AZS204

C:\Users\richardt\Documents\2026-05-26_R25_147 Liberty_Central_richardSHUKO.rvt

2026-06-05 4:51:46 PM



1
AZS205
ZBA_Level 4-5
1 : 200

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED	yy-mm-dd
24-11-15	Issued for Coordination
24-12-03	Issued for Coordination
24-12-24	Issued for ZBA
25-03-31	Issued for ZBA

Sweeny&Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@sweenyandco.com | www.sweenyandco.com

PROJ. NAME
147 Liberty St/54-66 Fraser Ave.
Project Address#

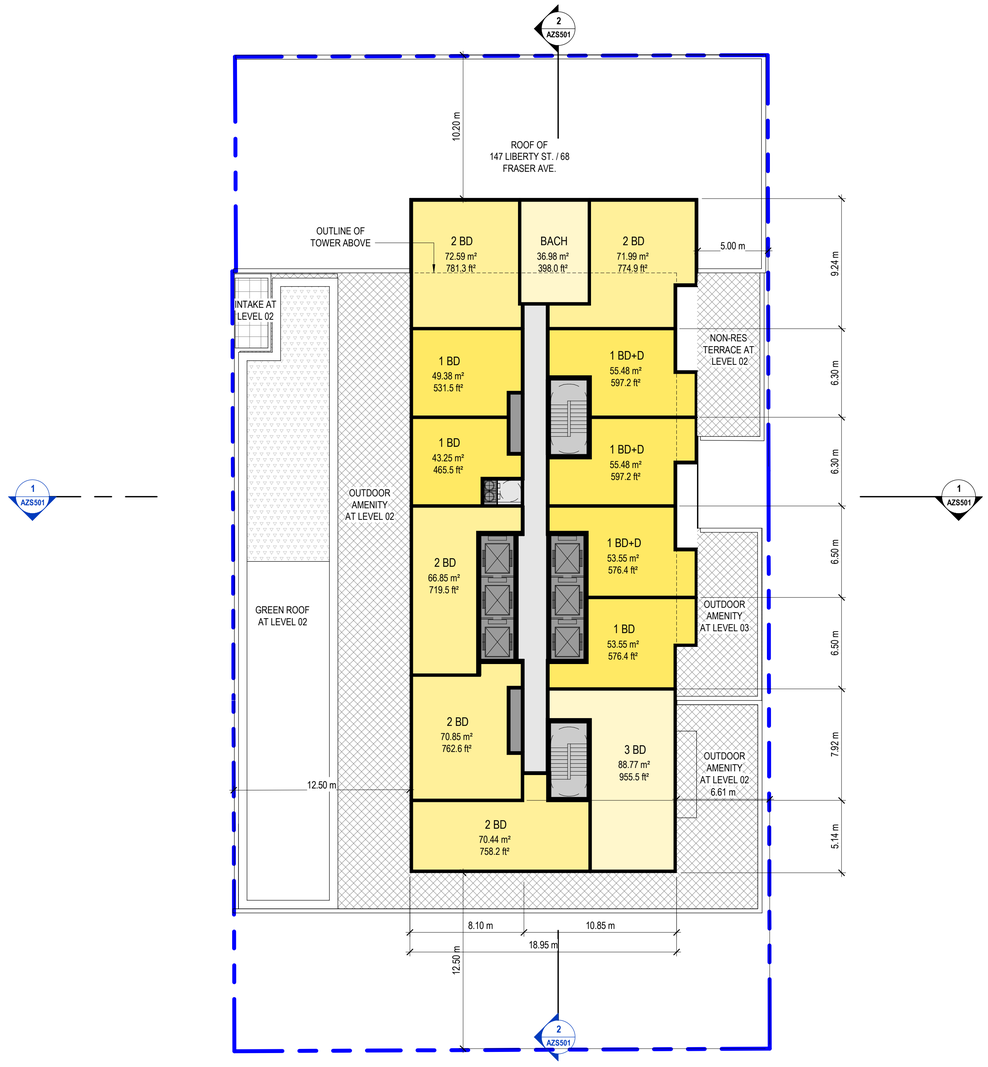
OWNER
Intentional Capital

DWG TITLE
Levels 4-5

DATE: 2026-06-03
SCALE : 1 : 200
DRAWN : RM
CHECKED : HH
PROJ. No. : 2420
DWG No.
AZS205

C:\Users\richard\Documents\2026-05-26_R25_147 Liberty_Central_richardSHUKQ.rvt

2026-06-05 4:51:46 PM



1
AZS206
ZBA_Level 6-31 Typical Tower
1 : 200

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED	yy-mm-dd
24-11-15	Issued for Coordination
24-12-03	Issued for Coordination
24-12-24	Issued for ZBA
25-03-31	Issued for ZBA

Sweeny&Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@sweenyandco.com | www.sweenyandco.com

PROJ. NAME
147 Liberty St/54-66 Fraser Ave.
Project Address#

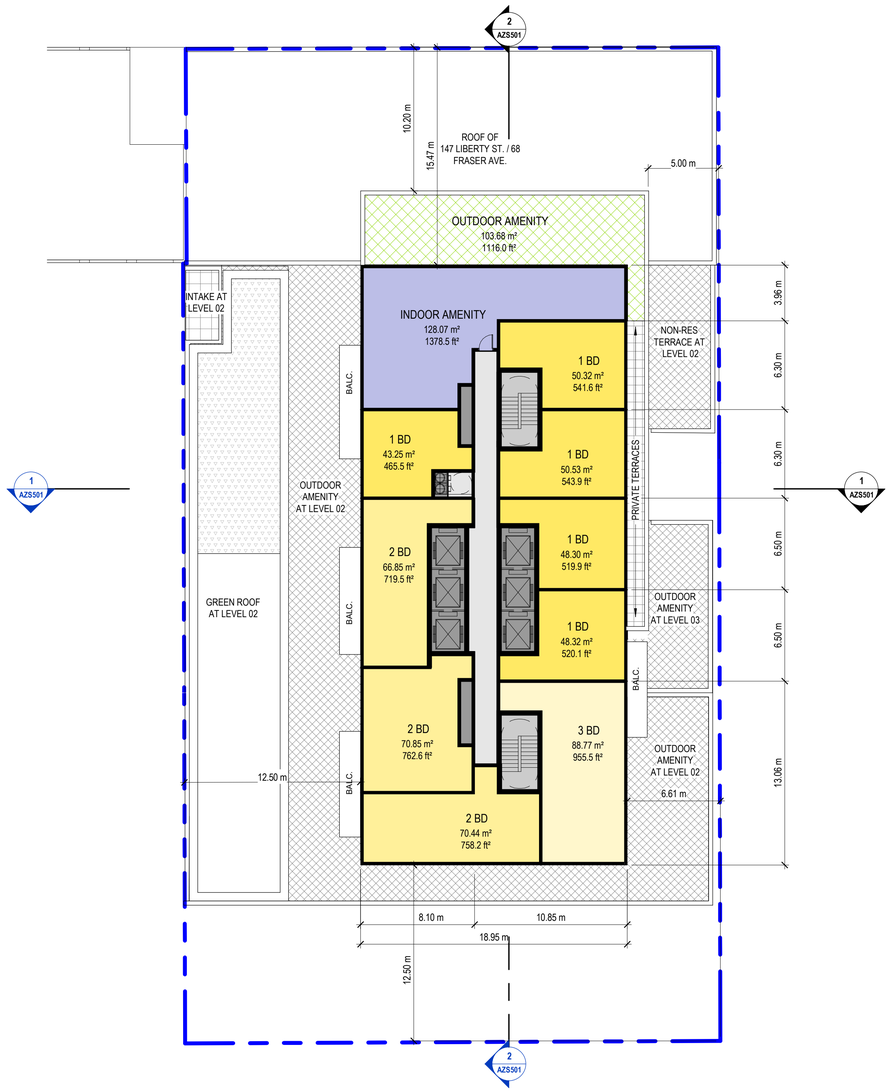
OWNER
Intentional Capital

DWG TITLE
Levels 6-31 Typical Tower

DATE: 2026-06-03
SCALE : 1 : 200
DRAWN : RM
CHECKED : HH
PROJ. No. : 2420
DWG No.
AZS206

C:\Users\richard\Documents\2026-05-26_R25_147 Liberty_Central_richardSHUKQ.rvt

2026-06-05 4:51:47 PM



1
AZS207
ZBA_Level 32 Amenity
1 : 200

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED	yy-mm-dd
24-11-15	Issued for Coordination
24-12-03	Issued for Coordination
24-12-24	Issued for ZBA
25-03-31	Issued for ZBA

Sweeny&Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@sweenyandco.com | www.sweenyandco.com

PROJ. NAME
147 Liberty St/54-66 Fraser Ave.
Project Address#

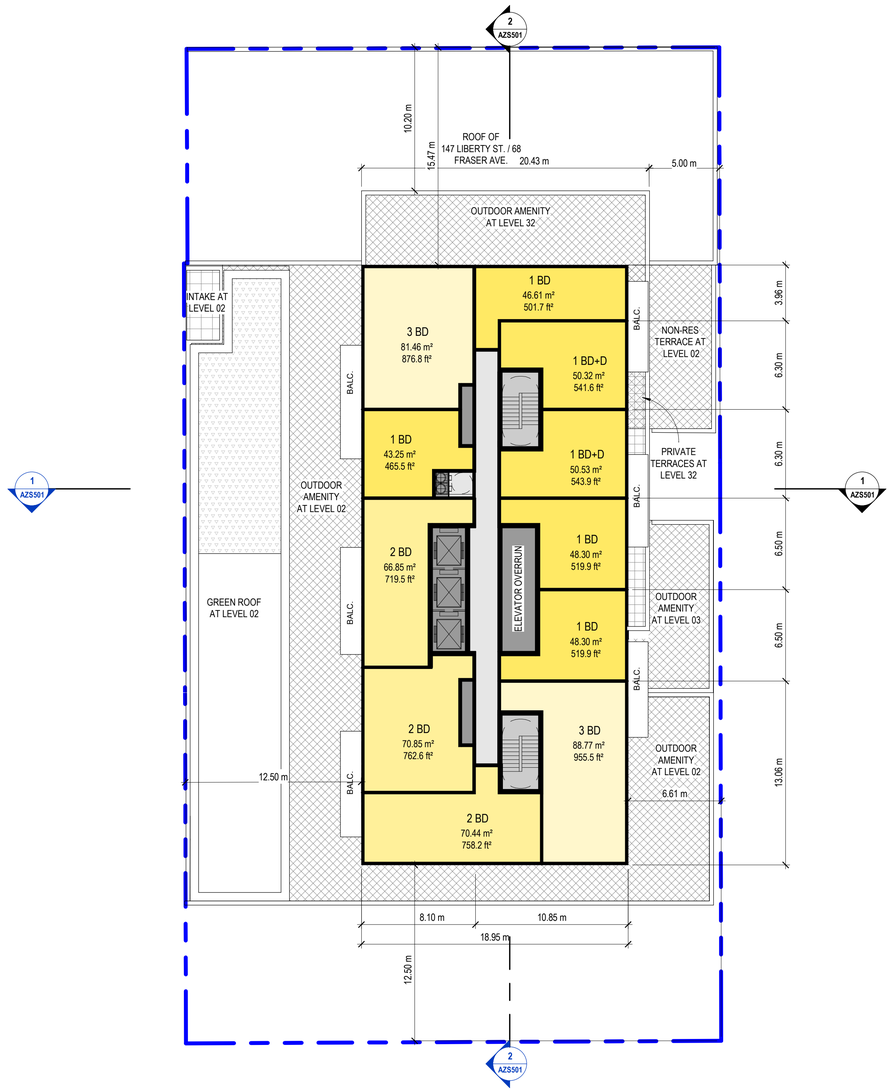
OWNER
Intentional Capital

DWG TITLE
Level 32 Amenity

DATE: 2026-06-03
SCALE : 1 : 200
DRAWN : RM
CHECKED : HH
PROJ. No. : 2420
DWG No.
AZS207

C:\Users\richard\Documents\2026-05-26_R25_147 Liberty_Central_richardSHUKQ.rvt

2026-06-05 4:51:47 PM



1
AZS208
ZBA_Level 33-34
1 : 200

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED	yy-mm-dd
24-11-15	Issued for Coordination
24-12-03	Issued for Coordination
24-12-24	Issued for ZBA
25-03-31	Issued for ZBA

Sweeny&Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@sweenyandco.com | www.sweenyandco.com

PROJ. NAME
147 Liberty St/54-66 Fraser Ave.
Project Address#

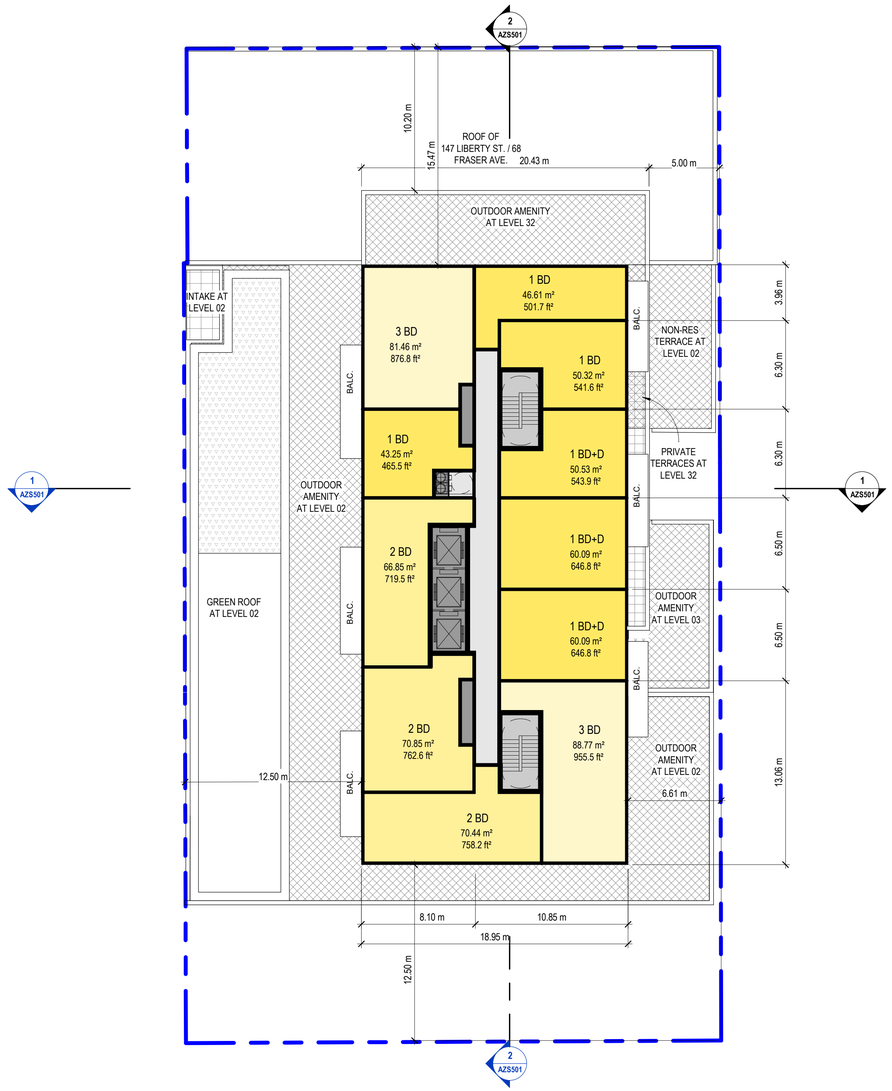
OWNER
Intentional Capital

DWG TITLE
Levels 33-34

DATE: 2026-06-03
SCALE : 1 : 200
DRAWN : RM
CHECKED : HH
PROJ. No. : 2420
DWG No.
AZS208

C:\Users\richard\Documents\2026-05-26_R25_147 Liberty_Central_richardSHUKQ.rvt

2026-06-05 4:51:47 PM



1
AZS209
ZBA_Level 35-50 Typical Tower
1 : 200

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED	yy-mm-dd
24-11-15	Issued for Coordination
24-12-03	Issued for Coordination
24-12-24	Issued for ZBA
25-03-31	Issued for ZBA

Sweeny&Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@sweenyandco.com | www.sweenyandco.com

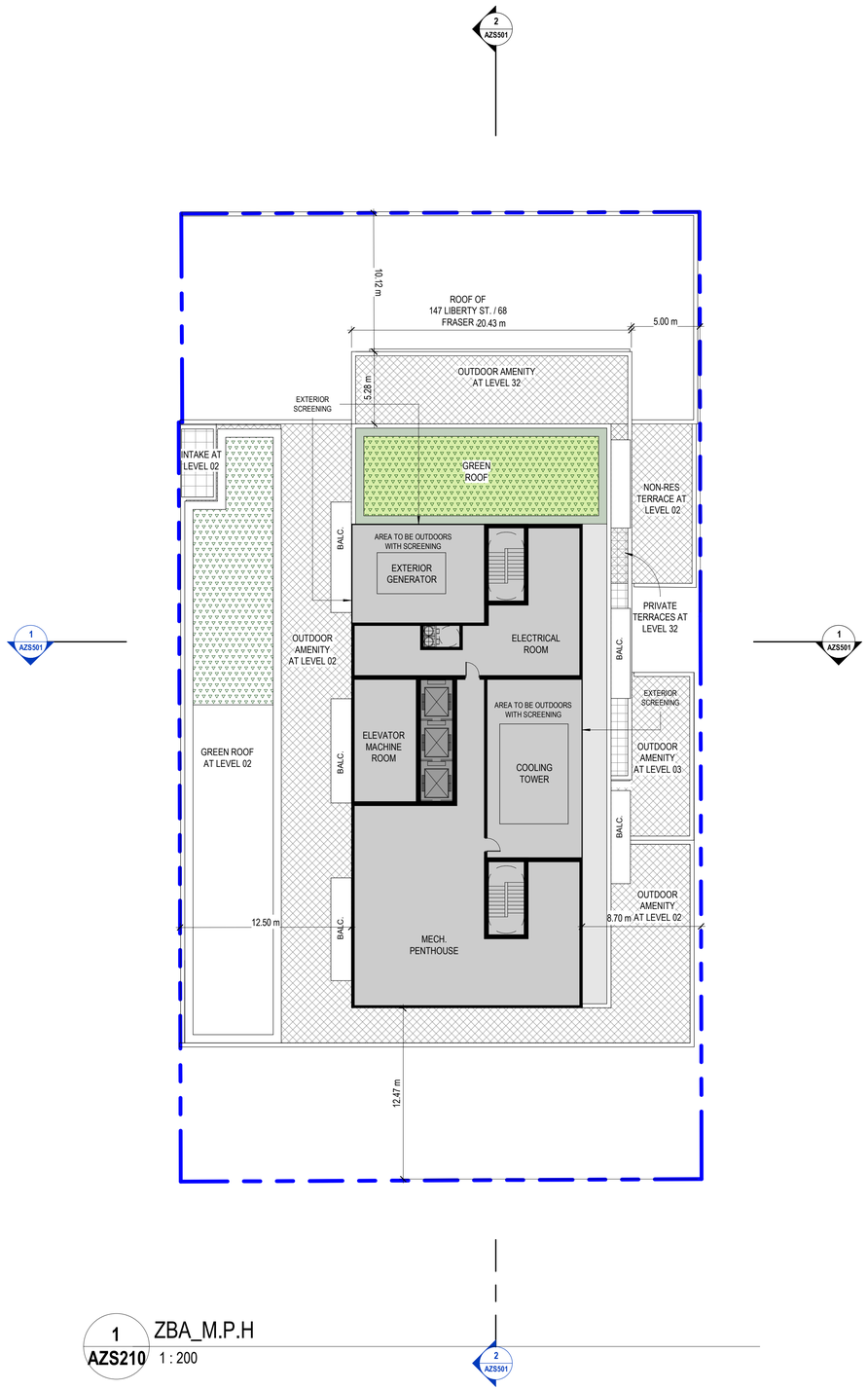
PROJ. NAME
147 Liberty St/54-66 Fraser Ave.
Project Address#

OWNER
Intentional Capital

DWG TITLE
Levels 35-50 Typical Tower

DATE: 2026-06-03
SCALE : 1 : 200
DRAWN : RM
CHECKED : HH
PROJ. No. : 2420
DWG No.
AZS209

C:\Users\richard\Documents\2026-05-26_R25_147 Liberty_Central_richardSHUKQ.rvt
2026-06-05 4:51:47 PM



1
AZS210
ZBA_M.P.H
1 : 200

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED	yy-mm-dd
24-11-15	Issued for Coordination
24-12-03	Issued for Coordination
24-12-24	Issued for ZBA
25-03-31	Issued for ZBA

Sweeny&Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@sweenyandco.com | www.sweenyandco.com

PROJ. NAME
147 Liberty St/54-66 Fraser Ave.
Project Address#

OWNER
Intentional Capital

DWG TITLE
M.P.H

DATE: 2026-06-03
SCALE : 1 : 200
DRAWN : RM
CHECKED : HH
PROJ. No. : 2420
DWG No.
AZS210

C:\Users\richard\Documents\2026-05-26_R25_147 Liberty_Central_richardSHUKQ.rvt

2026-06-05 4:51:47 PM

ROOF LEGEND:

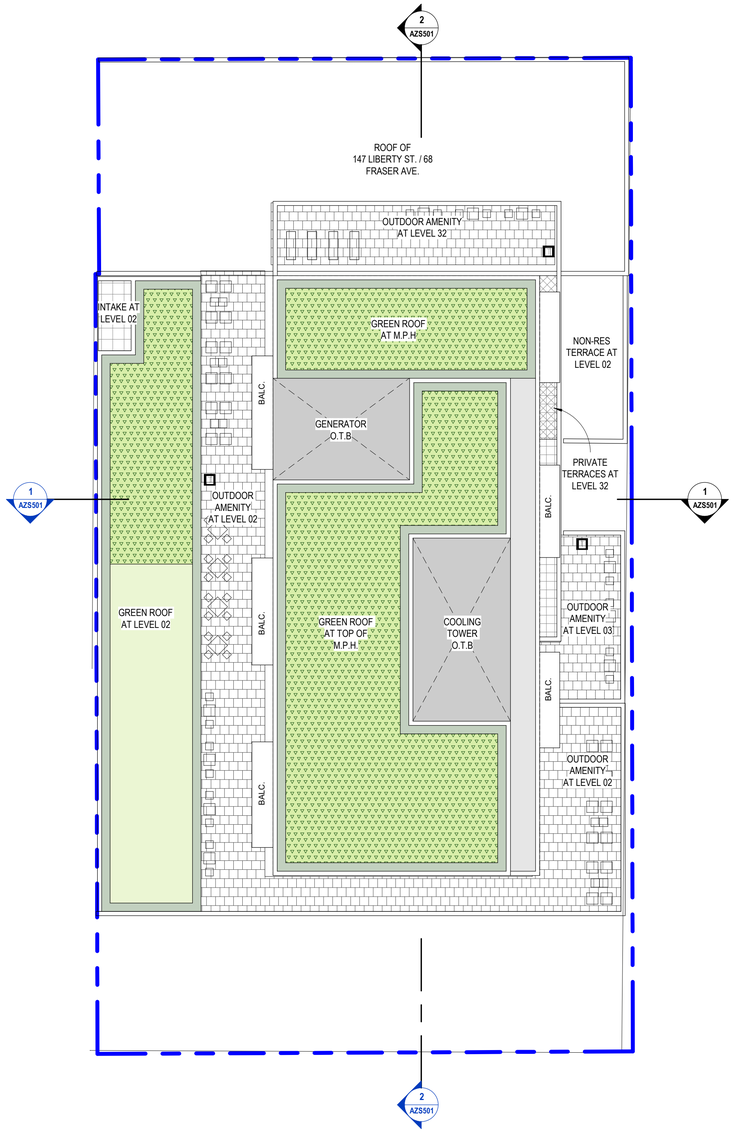
- EXTENSIVE GREEN ROOF
- INTENSIVE GREEN ROOF
- MAINTENANCE STRIP
- OUTDOOR AMENITY
- TERRACE
- MECH

TORONTO City Planning Division

Green Roof Statistics

Green Roof Statistics - Building A		Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m2)		43,200.4
Total Roof Area (m2)		2,279.4
Area of Residential Private Terraces (m2)		33.8
Rooftop Outdoor Amenity Space, if in a Residential Building (m2)		1,014.0
Area of Renewable Energy Devices (m2)		0.0
Tower (s)Roof Area with floor plate less than 750 m2		0.0
Total Available Roof Space (m2)		1,231.6
Green Roof Coverage	**Required**	**Proposed**
Coverage of Available Roof Space (m2)	739.0	739.0
Coverage of Available Roof Space (%)	60%	60%

TO BE UPDATED



1 AZS211 ZBA_Roof Level
1 : 200

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED yy-mm-dd

24-11-15	Issued for Coordination
24-12-03	Issued for Coordination
24-12-24	Issued for ZBA
25-03-31	Issued for ZBA

Sweeny&Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@sweenyandco.com | www.sweenyandco.com

PROJ. NAME
147 Liberty St/54-66 Fraser Ave.
#Project Address#

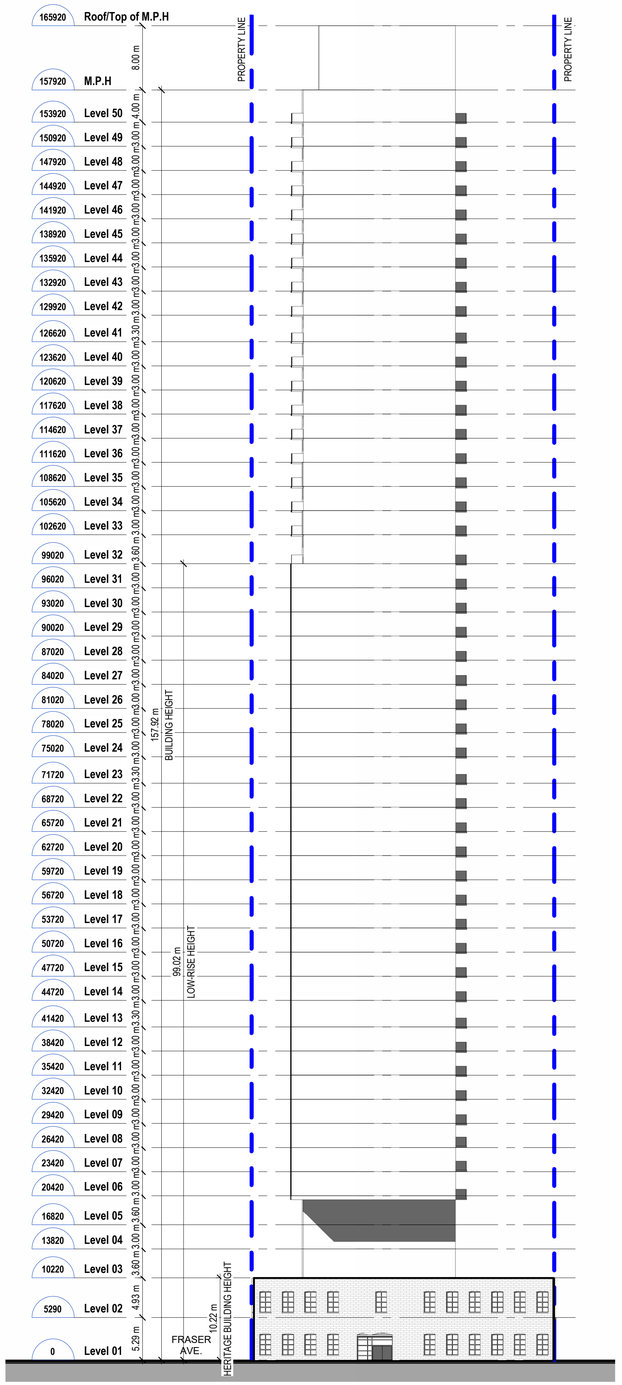
OWNER
Intentional Capital

DWG TITLE
Roof Level

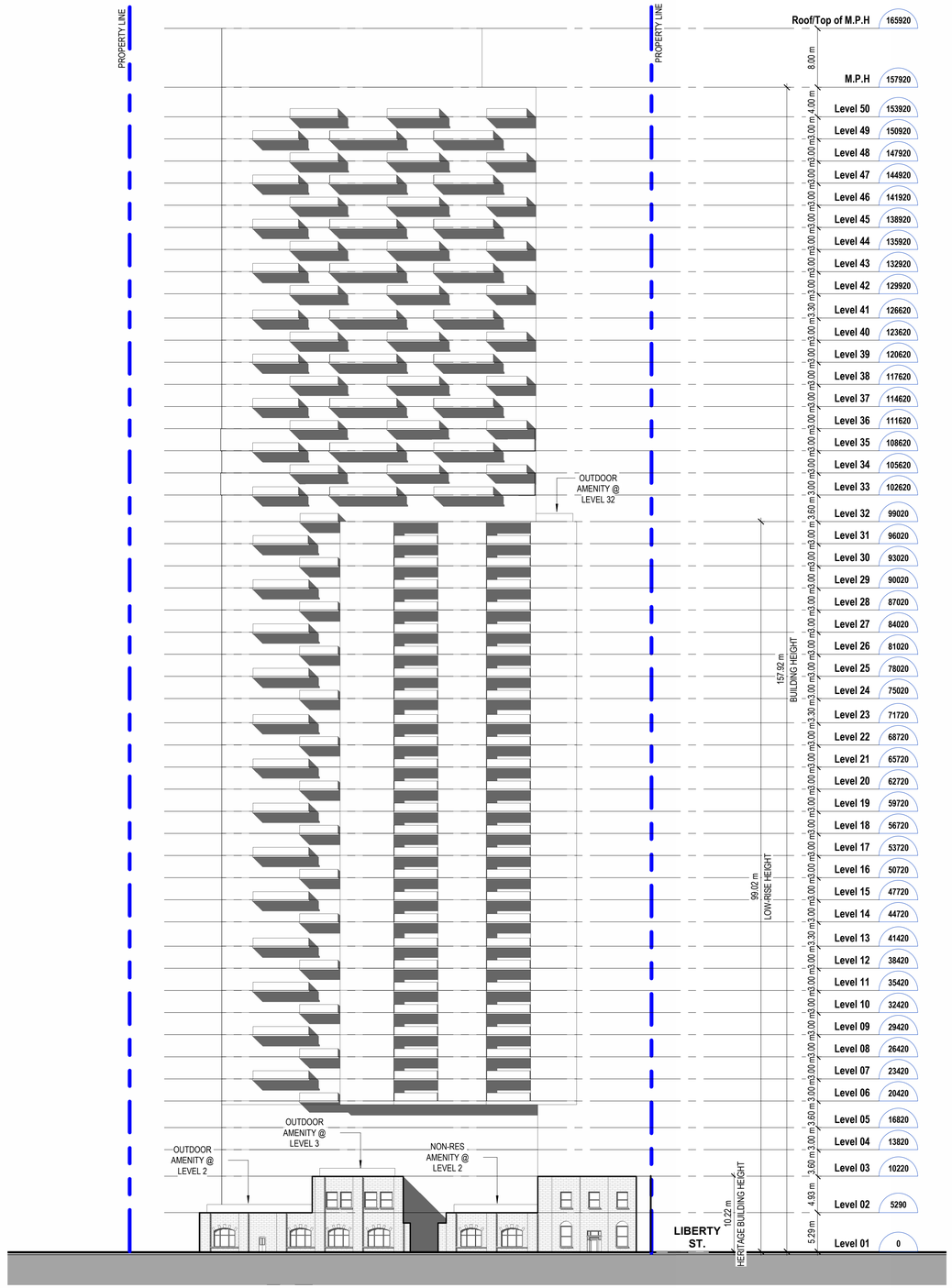
DATE: 2026-06-03
SCALE : As indicated
DRAWN : RM
CHECKED : HH
PROJ. No. : 2420
DWG No.
AZS211

C:\Users\richard\Documents\2026-05-26_R25_147 Liberty_Central_richardSHUKO.rvt

2026-06-05 4:51:48 PM



1 AZS401 ZBA_Building Elevation_North
1 : 350



2 AZS401 ZBA_Building Elevation_East
1 : 350

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED	yy-mm-dd
24-12-24	Issued for ZBA
25-03-31	Issued for ZBA

Sweeny&Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@sweenyandco.com | www.sweenyandco.com

PROJ. NAME
147 Liberty St/54-66 Fraser Ave.
Project Address#

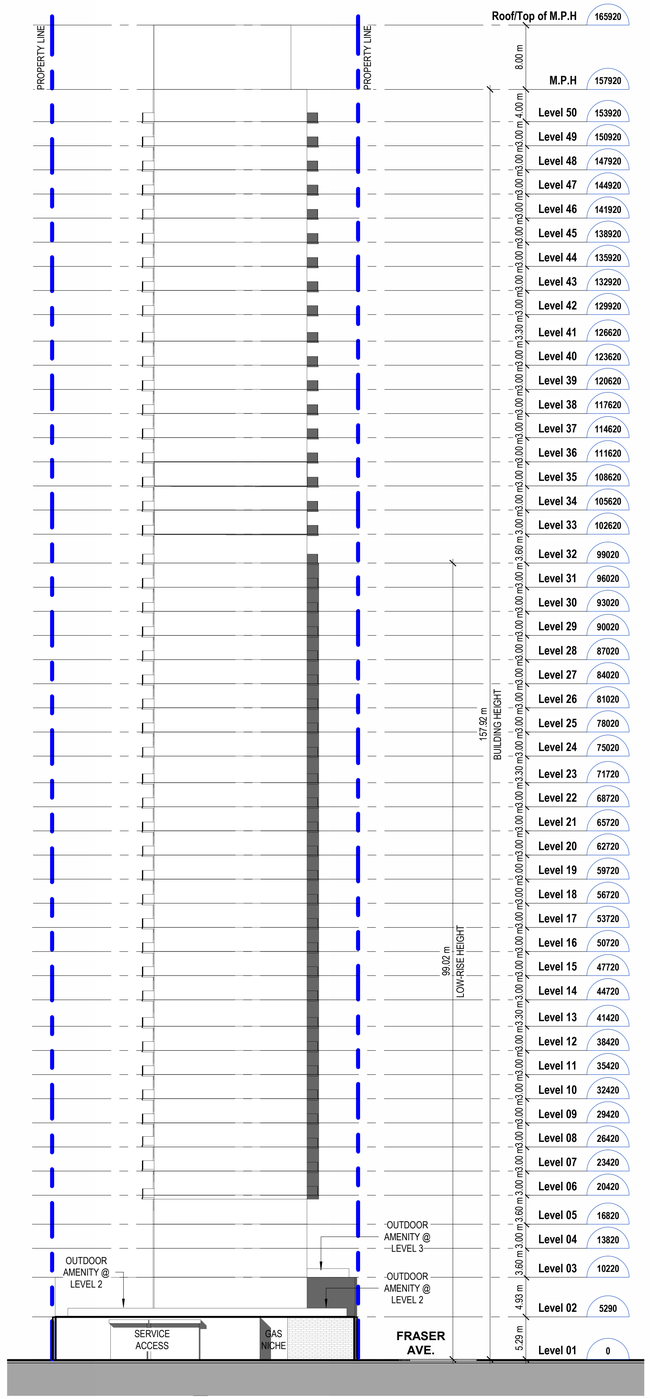
OWNER
Intentional Capital

DWG TITLE
Building Elevations_North & East

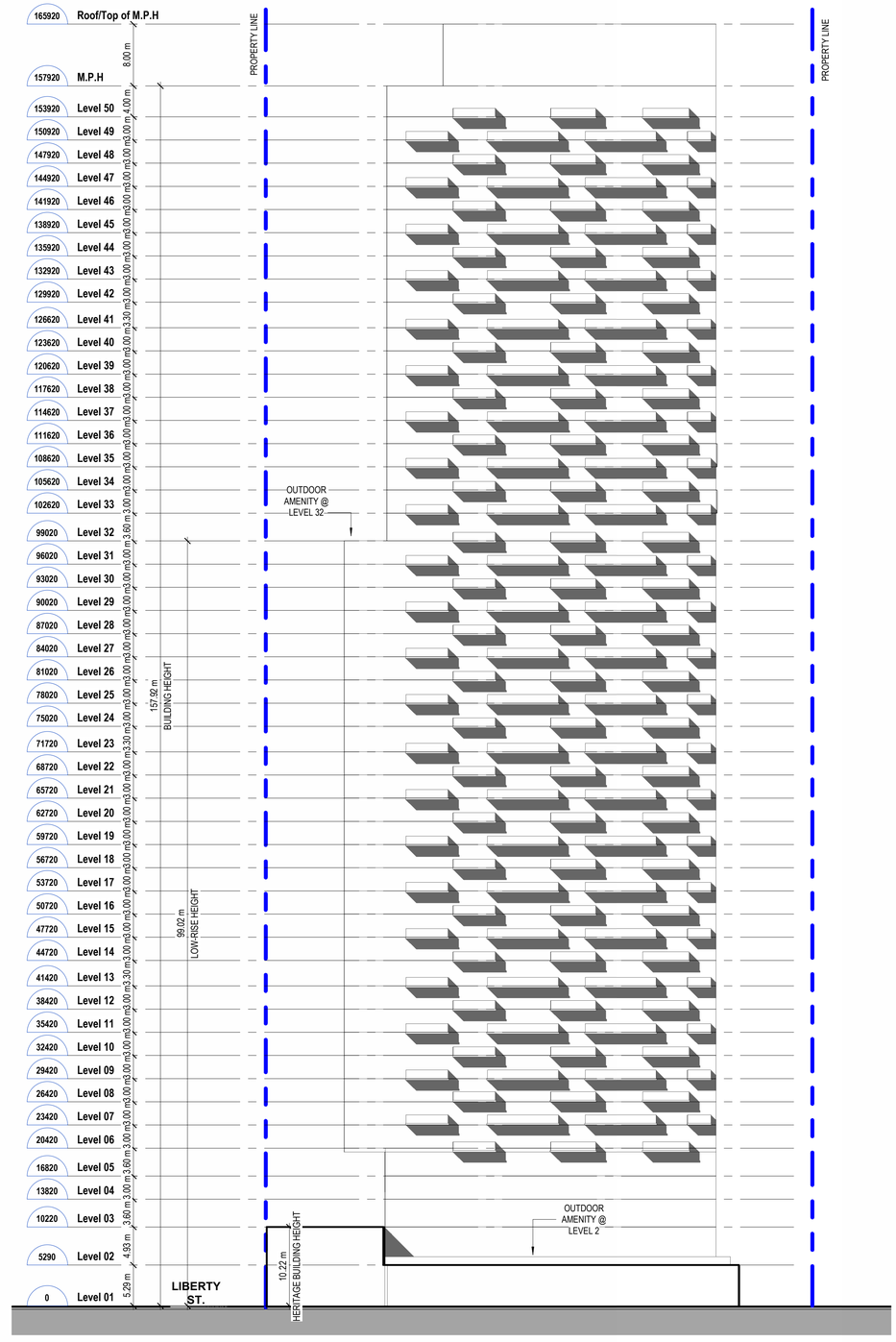
DATE:	2026-06-03
SCALE :	1 : 350
DRAWN :	RM
CHECKED :	HH
PROJ. No. :	2420

DWG No.
AZS401

C:\Users\richard\Documents\2026-05-26_R25_147 Liberty_Central_richardSHUKQ.rvt
2026-06-05 4:51:50 PM



1 AZS402 ZBA_Building Elevation_South
1 : 350



2 AZS402 ZBA_Building Elevation_West
1 : 350

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED	yy-mm-dd
24-12-24	Issued for ZBA
25-03-31	Issued for ZBA

Sweeny&Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@sweenyandco.com | www.sweenyandco.com

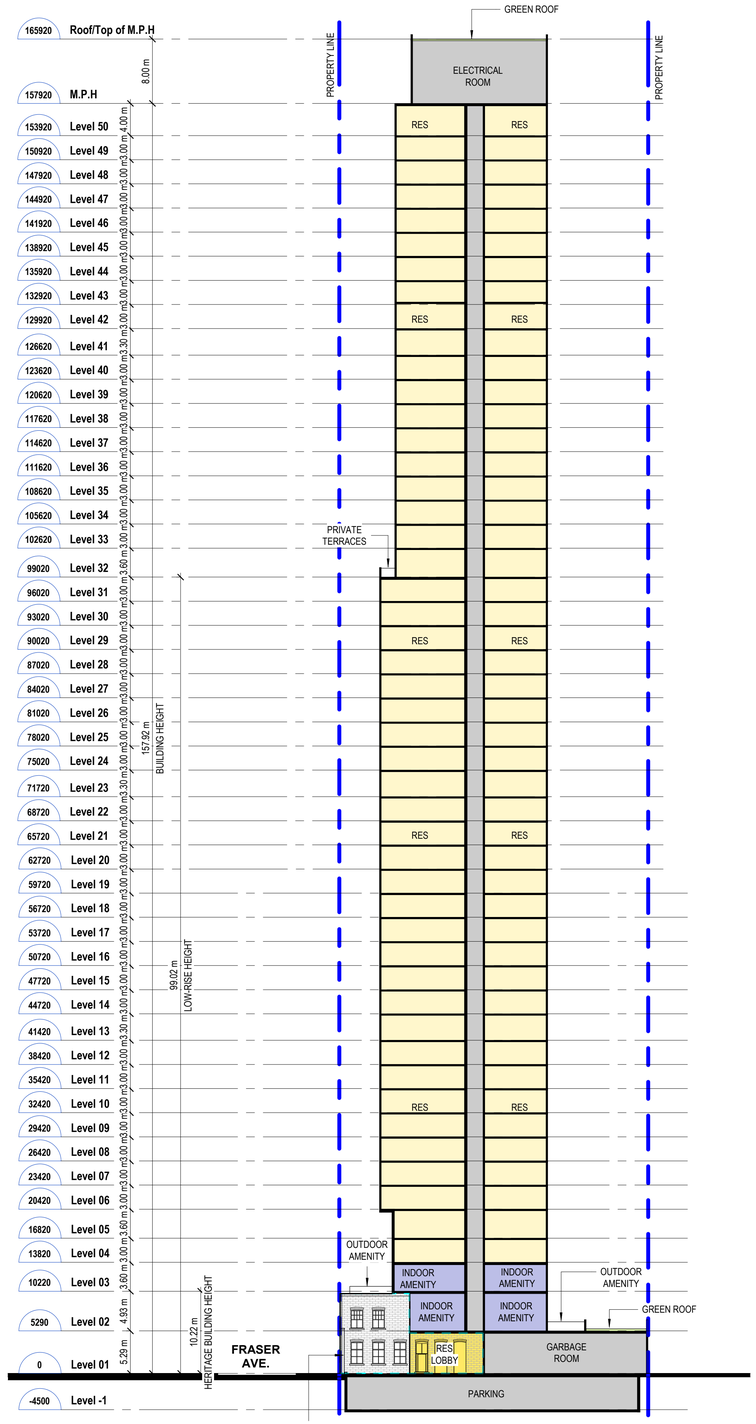
PROJ. NAME
147 Liberty St/54-66 Fraser Ave.
Project Address#

OWNER
Intentional Capital

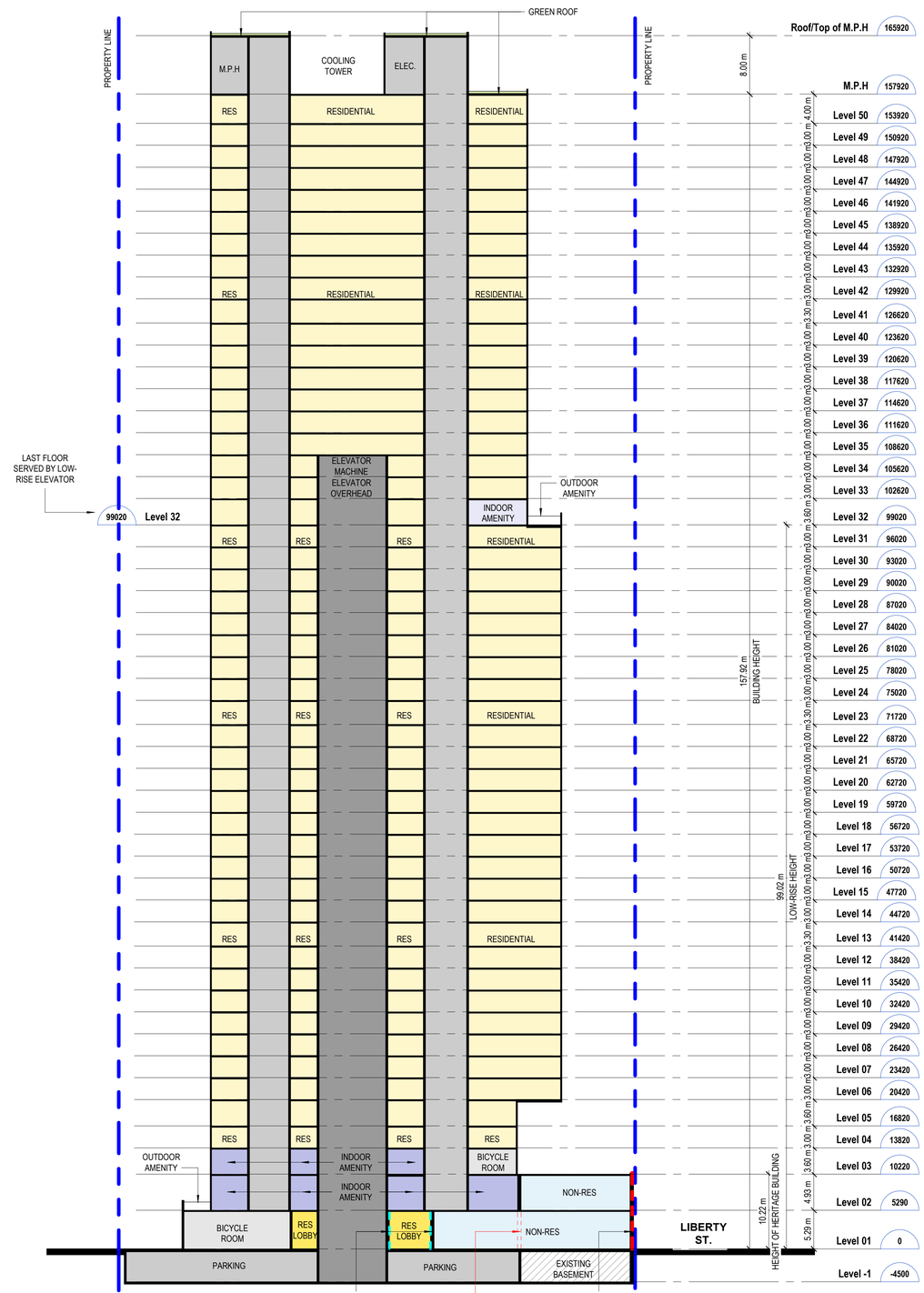
DWG TITLE
Building Elevations_South & West

DATE: 2026-06-03
SCALE : 1 : 350
DRAWN : RM
CHECKED : HH
PROJ. No. : 2420
DWG No. **AZS402**

C:\Users\richard\Documents\2026-05-26_R25_147 Liberty_Central_richardSHUKQ.rvt
2026-05-05 4:51:52 PM



1 AZS501 ZBA_Building Section_South 1 : 350



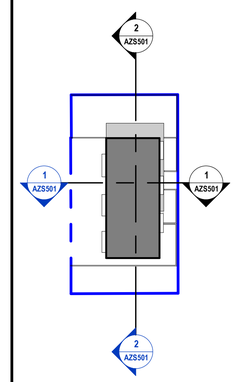
2 AZS501 ZBA_Building Section_East 1 : 350

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED	yy-mm-dd
24-12-03	Issued for Coordination
24-12-24	Issued for ZBA
25-03-31	Issued for ZBA



Sweeny&Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@sweenyandco.com | www.sweenyandco.com

PROJ. NAME
147 Liberty St/54-66 Fraser Ave.
Project Address#

OWNER
Intentional Capital

DWG TITLE
Building Section_South & East

DATE: 2026-06-03
SCALE : As indicated
DRAWN : RM
CHECKED : HH
PROJ. No. : 2420
DWG No. AZS501

C:\Users\richard\Documents\2026-05-26_R25_147 Liberty_Central_richardSHUKQ.rvt

2026-06-05 4:51:52 PM

Street view along Fraser Ave.

Street view at Liberty St. & Fraser Ave.

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED	yy-mm-dd
24-12-24	Issued for ZBA
25-03-31	Issued for ZBA

Sweeny&Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@sweenyandco.com | www.sweenyandco.com

PROJ. NAME
147 Liberty St/54-66 Fraser Ave.
Project Address#

OWNER
Intentional Capital

DWG TITLE
Street Views

DATE: 2026-06-05
SCALE :
DRAWN : RM
CHECKED : AG, HH
PROJ. No. : 2420
DWG No.
AZS1111

C:\Users\richard\Documents\2026-05-26_R25_147 Liberty_Central_richardSHUKO.rvt

2026-06-05 4:51:52 PM