

245 MARLEE AVE.

Proposed Mixed-Use Residential Development



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DRAWING LIST			
Sheet Number	Sheet Name	Receiving, Nov. 08, 2024 Site Plan Control Application, May 30, 2025 Settlement, June 30, 2026	
dA0.00 1	Cover Sheet		
dA1.01	Context Plan & 3D Massing		
dA1.02	Project Statistics & TGS Statistics		
dA1.03	Site Plan - Roof View		
dA1.04	Site Plan - Ground Floor View		
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dA2.02	Level P2-P3 Floor Plans		
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2			
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1			
TOTAL NUMBER OF SHEETS: 24			

Authorities Having Jurisdiction

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Date: May 30, 2025

KIRKOR
ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400
Toronto ON M3J 0H1

Revisions:

No.:	Revision:	Date:
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3	Issued For Settlement	June 30, 2026
2	Site Plan Control Application	May 30, 2025
1	ZBA Application	Nov. 08, 2024

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CHESTNUT HILL
DEVELOPMENTS

Client:

CHESTNUT HILL DEVELOPMENTS

245-251 Marlee Ave, 1-7 Romar Crescent,
16 Stayner Ave, Toronto, ON
Proposed Mixed-Use Residential Development

Drawing Title:

Cover Sheet

Scale:

Drawn by:	AR
Checked by:	HM
Project No.:	23-143
Date:	June 29, 2026
Drawing No.:	

dA0.00

245 Marlee Ave
Proposed Residential Development
Toronto, Ontario

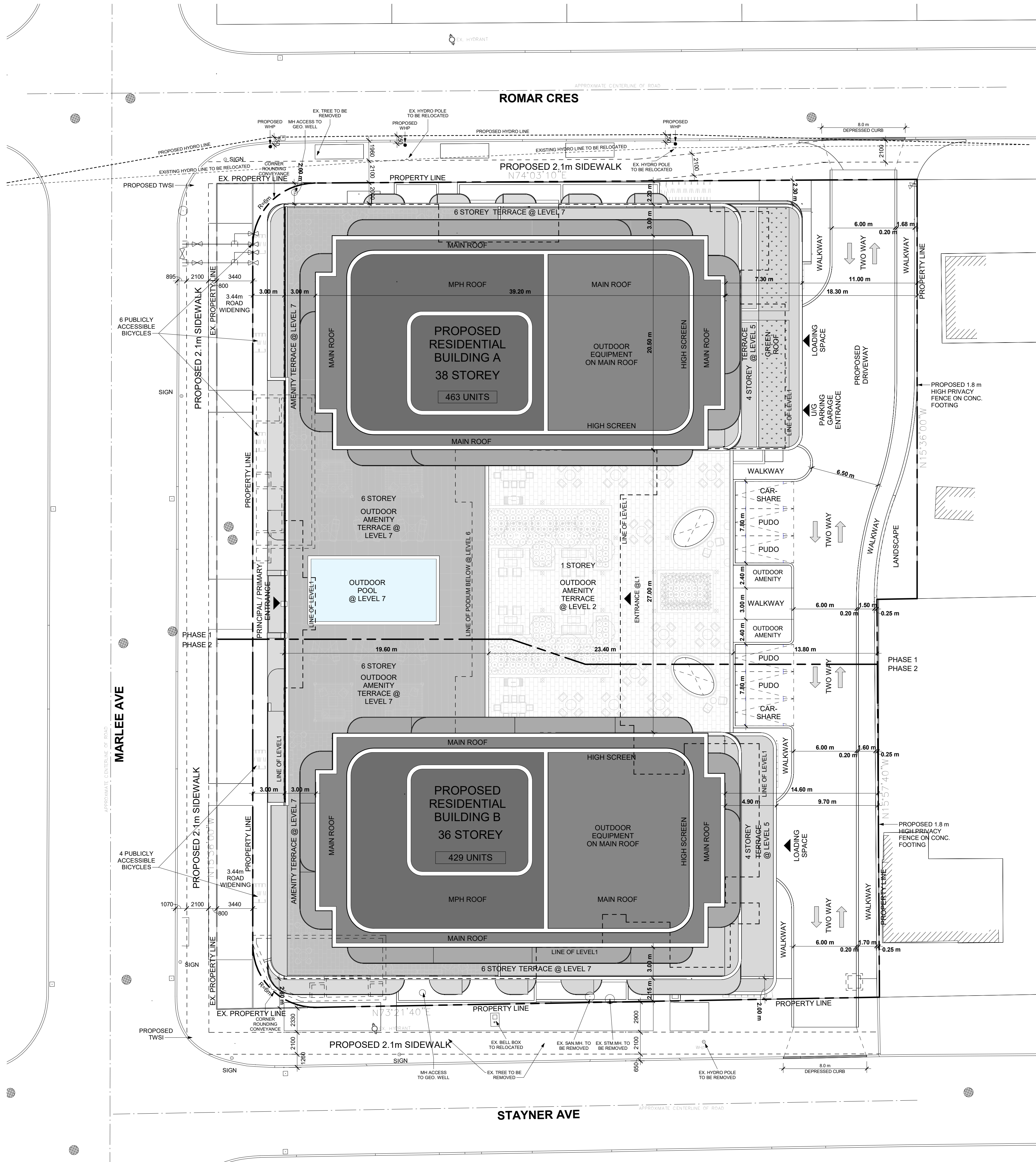
Project Statistics

May 27, 2025

Project No. 23-143

1.0	Site Areas				
		acres	sq.m	sq.ft.	
	Existing Total Site Area	1.27	5,132.44	55,245	
	Area of Road Widening (3440mm set back on Marlee Ave)	0.07	271.89	2,927	
	Area of Corner Rounding (6m radius) Conveyance	0.004	15.67	169	
	Net Consolidated Site Area **	1.20	4,844.88	52,149.89	
	**Based on Total Site Area - Area of Road Widening (3440mm set back on Marlee Ave)				
2.0	Gross Floor Area (GFA) *				
	* As per City of Toronto Zoning By-Law 40.5.40.40 (3).				
	* All residential areas exclude required amenity space, vehicle parking, bicycle parking, loading, staging, mechanical rooms, locker rooms below grade, shafts and exit stairwells.				
2.1	Proposed Residential GFA - Building A	Levels	sq.m	sq.ft.	
	Level P4 to P1	4 x	31.50	1,356	
	Level 1	1 x	750.00	8,073	
	Level 1 Mezz	1 x	400.00	4,306	
	Level 2	1 x	926.90	9,977	
	Level 3 to 4	2 x	1,403.10	30,206	
	Level 5	1 x	1,245.60	13,408	
	Level 6	1 x	1,076.60	11,588	
	Level 7	1 x	395.00	4,252	
	Level 8 to 38	31 x	727.20	22,543.20	242,653
	Proposed Residential GFA - Building A	38	30,269.50	325,818	
2.2	Proposed Residential GFA - Building B	Levels	sq.m	sq.ft.	
	Level P4 to P1	4 x	31.50	1,356	
	Level 1	1 x	530.00	5,705	
	Level 1 Mezz	1 x	350.00	3,767	
	Level 2	1 x	792.90	8,535	
	Level 3 to 4	2 x	1,192.10	25,963	
	Level 5 to 6	2 x	2,174.80	23,408	
	Level 7	1 x	392.10	4,221	
	Level 8 to 36	29 x	727.10	21,085.90	226,967
	Proposed Residential GFA - Building B	36	27,835.90	299,623	
2.3	Proposed Total Residential GFA - Building A + B		sq.m	sq.ft.	
	Proposed Residential GFA - Building A		30,269.50	325,818	
	Proposed Residential GFA - Building B		27,835.90	299,623	
	Proposed Total Residential GFA - Building A + B		58,105.40	625,441	
2.4	Proposed Retail GFA		sq.m	sq.ft.	
	Level 1 Building A		340.00	3,660	
	Level 1 Building B		320.00	3,444	
	Proposed Retail GFA		660.00	7,104	
2.5	Proposed Total GFA		sq.m	sq.ft.	
	Proposed Retail GFA		660.00	7,104	
	Proposed Total Residential GFA - Building A + B		58,105.40	625,441	
	Total Proposed GFA		58,765.40	632,546	
3.0	F, S, I				
		Total Proposed GFA (sq.m)	Existing Total Site Area (sq.m)		
		58,765.40	5,132.44	=	11.45
4.0	Site Coverage				
		Building Area (sq.m)	Net Consolidated Site Area (sq.m)		
		3,665.00	4,844.88	=	76%
5.0	Proposed Tower Floor Plate		sq.m	sq.ft.	
	Level 7 Building A & Building B		780.0	8,396	
	Level 8 to 38 Building A		780.0	8,396	
	Level 8 to 36 Building B		780.0	8,396	
6.0	Amenity GFA				
6.1	Required Amenity GFA - Building A	Total Units	Ratio	sq.m	sq.ft.
	Total Required Amenity	463 x	4.0 m² Unit	1,852.0	19,935
	Indoor Amenity (included in Total Required Amenity)	463 x	2.0 m² Unit	926.0	9,967
	Total Required Amenity GFA - Building A			1,852.0	19,935
	Proposed Indoor Amenity GFA - Building A	2.00 m² Unit			
	Level 1			120.0	1,292
	Level 2			474.0	5,102
	Level 7			332.0	3,574
	Total Proposed Indoor Amenity GFA - Building A			926.0	9,967
	Proposed Outdoor Amenity GFA - Building A	2.00 m² Unit			
	Level 1			164.0	1,765
	Level 2			324.0	3,488
	Level 7			438.0	4,715
	Total Proposed Outdoor Amenity GFA - Building A			926.0	9,967
	Total Proposed Amenity GFA - Building A	4.0 m² Unit		1,852.0	19,935
6.2	Required Amenity GFA - Building B	Total Units	Ratio	sq.m	sq.ft.
	Total Required Amenity	429 x	4.0 m² Unit	1,716.0	18,471
	Indoor Amenity (included in Total Required Amenity)	429 x	2.0 m² Unit	858.0	9,235
	Total Required Amenity GFA - Building B			1,716.0	18,471
	Proposed Indoor Amenity GFA - Building B	2.00 m² Unit			
	Level 1			114.0	1,227
	Level 2			409.0	4,402
	Level 7			335.0	3,606
	Total Proposed Indoor Amenity GFA - Building B			858.0	9,235
	Proposed Outdoor Amenity GFA - Building B	2.00 m² Unit			
	Level 1			192.0	2,067
	Level 2			342.0	3,681
	Level 7			324.0	3,488
	Total Proposed Outdoor Amenity GFA - Building B			858.0	9,235
	Total Proposed Amenity GFA - Building B	4.0 m² Unit		1,716.0	18,471
7.0	Net Saleable Area (NSA)				
7.1	Proposed Retail NSA	Levels	sq.m	sq.m	sq.ft.
	Level 1	1 x	850.00	660.00	7,104
7.2	Proposed Residential NSA - Building A	Levels	sq.m	sq.m	sq.ft.
	Level 1	1 x	0.0	0.00	0
	Level 2	1 x	737.5	797.59	7,598
	Level 3	1 x	1,223.9	1,223.90	13,174
	Level 4	1 x	1,223.9	1,223.90	13,174
	Level 5	1 x	1,090.4	1,090.40	11,737
	Level 6	1 x	919.3	919.30	9,895
	Level 7	1 x	337.7	337.70	3,630
	Level 8 to 38	31 x	666.7	20,667.70	222,465
	Proposed Residential NSA	38	26,200.40	282,019	
7.2	Proposed Residential NSA - Building B	Levels	sq.m	sq.m	sq.ft.
	Level 1	1 x	0.0	0.00	0
	Level 2	1 x	641.5	641.50	6,905
	Level 3	1 x	1,054.1	1,054.10	11,346
	Level 4	1 x	1,054.1	1,054.10	11,346
	Level 5	1 x	967.4	967.40	10,413
	Level 6	1 x	967.4	967.40	10,413
	Level 7	1 x	337.2	337.20	3,630
	Level 8 to 36	29 x	669.7	19,421.30	209,049
	Proposed Residential NSA	36	24,443.00	263,102	
7.3	Total Proposed Residential NSA			50,643.40	545,121
7.4	Total Proposed Residential and Retail NSA			51,303.40	552,225

	Unit Count									
8.1	Proposed Units - Building A	Levels	Studio	1B	1B+D	2B	2B+D	3B	Units / Floor	Totals
	Level 1	1 x							0	0
	Level 2	1 x			10	1		2	13	13
	Level 3-4	2 x		1	8	8		3	20	40
	Level 5	1 x		1	6	6		3	18	18
	Level 6	1 x		1	6	5		3	15	15
	Level 7	1 x			3			2	5	5
	Level 8-38	31 x		2	6	2	1	1	12	332
	Total Units	38	0	68	229	90	31	47	463	463
				14.3%	49.5%	19.4%	6.7%	10.2%		100%
	Average Unit Size - Building A			1B	1B+D	2B	2B+D	3B	Average	
	sq.m			43.4	50.8	63.3	71.6	80.6	56.5	
	sq.ft.			467	547	681	771	868	609	
8.2	Proposed Units - Building B	Levels	Studio	1B	1B+D	2B	2B+D	3B	Units / Floor	Totals
	Level 1	1 x							0	0
	Level 2	1 x			3	5		2	10	10
	Level 3-4	2 x			8	8		3	17	34
	Level 5-6	2 x			7	6	1	2	16	32
	Level 7	1 x			3			2	5	5
	Level 8-36	29 x		2	6	2	1	1	12	348
	Total Units	36	0	58	210	87	31	43	429	429
				13.5%	49.0%	20.3%	7.2%	10.0%		100%
	Average Unit Size - Building B			1B	1B+D	2B	2B+D	3B	Average	
	sq.m			45.2	50.4	63.4	70.2	81.7	57.0	
	sq.ft.			487	543	683	756	879	613	
8.3	Proposed Total Units - Building A + B									463
	Proposed Units - Building A									463
	Proposed Units - Building B									429
	Proposed Total Units									892
9.0	Parking									
9.1	Parking Required - Building A		Units	Parking Rate					Parking Spaces	
	Residents		463 x	0.50 Unit	(Max. Rate)				231	
	Studio		x	0.90 Unit					0	
	1 Bedroom		295 x	0.50 Unit					147	
	2 Bedroom		121 x	0.50 Unit					60	
	3 Bedroom & Live/Work		47 x	0.50 Unit					23	
	Visitors		463 x	0.01 Unit + 2	(Min. Rate)				6	
	Retail			Shared with Residential Visitor Parking					0	
	Total Parking Required - Building A								237	
9.2	Parking Provided - Building A	Residents	Visitors	Retail	(Accessible Included) *	Car-Share (excluded) *			Parking Spaces	
	Surface	0	0	0	0	1			0	
	Level P1	30	6	4	4				40	
	Level P2	64			2				64	
	Level P3	64			2				64	
	Level P4	64			2				64	
	Total Parking Provided - Building A	222	6	4	10				232	50.1%
9.3	Parking Required - Building B		Units	Parking Rate					Parking Spaces	
	Residents		429 x	0.50 Unit	(Max. Rate)				214	
	Studio		x	0.90 Unit					0	
	1 Bedroom		268 x	0.50 Unit					134	
	2 Bedroom		118 x	0.50 Unit					59	
	3 Bedroom & Live/Work		43 x	0.50 Unit					21	
	Visitors		429 x	0.01 Unit + 2	(Min. Rate)				6	
	Retail			Shared with Residential Visitor Parking					0	
	Total Parking Required - Building B								220	
9.4	Parking Provided - Building B	Residents	Visitors	Retail	(Accessible Included) *	Car-Share (excluded)			Parking Spaces	
	Surface	0	0	0	0	1			0	
	Level P1	35	6	4	4				45	
	Level P2	57			2				57	
	Level P3	57			2				57	
	Level P4	57			2				57	
	Total Parking Provided - Building B	206	6	4	10				216	50.3%
9.5	Total Parking Provided									
	Parking Provided - Building A								232	
	Parking Provided - Building B								216	
	Total Parking Provided								448	
10.0	Bicycle Parking									
10.1	Bicycle Parking Required - Building A		No. of Units	Rate	(Bicycle Zone 1)				Bicycle Parking Spaces	
	Residents (Long Term)		463 x	0.90 Unit					417	
	Visitors (Short Term)		463 x	0.10 Unit					47	
	Retail			no bicycle parking is required under 2000 m²					0	
	Publicly Accessible		10	TGS-V4, Tier 1-AQ2.4					10	
	Total Bicycle Parking Required - Building A								474	
10.2	Electrical Bicycle Required - Building A		Long-term Bicycle Provided	Ratio (TGS-V4, Tier 1-AQ2.4)					Electrical Bicycles	
	Surface		417	x	15%				63	
10.3	Bicycle Parking Provided - Building A		Long-Term	Short-Term	Publicly Accessible	* Electrical Bike Included	Floor Area Occupied By Bicycle Parking		Bicycle Parking Spaces	
	Level 1 Outdoor			7	10		0%		17	
	Level 1 Indoor			40			3%		40	
	Level Mezz Indoor		417			63	36%		417	
	Total Bicycle Parking Provided - Building A	417	47	10	63				474	
10.4	Bicycle Parking Required - Building B		No. of Units	Rate	(Bicycle Zone 1)				Bicycle Parking Spaces	
	Residents (Long Term)		429 x	0.90 Unit					387	
	Visitors (Short Term)		429 x	0.10 Unit					43	
	Retail			no bicycle parking is required under 2000 m²					0	
	Total Bicycle Parking Required - Building B								430	
10.5	Electrical Bicycle Required - Building B		Long-term Bicycle Provided	Ratio (TGS-V4, Tier 1-AQ2.4)					Electrical Bicycles	
	Surface		387	x	15%				59	
10.6	Bicycle Parking Provided - Building B		Long-Term	Short-Term	Publicly Accessible	* Electrical Bike Included	Floor Area Occupied By Bicycle Parking		Bicycle Parking Spaces	
	Level 1 Outdoor			43			0%		43	
	Level Mezz Indoor		309		59		41%		309	
	Level P1 Indoor		78				2%		78	
	Total Bicycle Parking Provided - Building B	387	43	59	59				430	



LEGEND:

- SHORT-TERM BIKE PARKING SPACE
- CAR SHARE VEHICLE PARKING SPACE
- PICK-UP / DROP-OFF VEHICLE PARKING SPACE
- EXISTING CURB CUT / DEPRESSED CURB

GENERAL (SITE PLAN - ROOF VIEW) NOTES:

1. THE NEW RECONSTRUCTED SIDEWALKS ALONG THE DEVELOPMENT SITE FRONTAGES WILL BE BUILT TO THE SATISFACTION OF THE CITY, TO THE COST OF THE PROPERTY OWNER AND AT NO COST TO THE MUNICIPALITY.
2. ALL GROUND LEVEL VENTILATION GRATES WILL HAVE A POROSITY OF LESS THAN 20 MM X 20 MM OR 50 MM X 10 MM.
3. REFER TO CIVIL ENGINEERING DRAWINGS FOR ALL DESIGN ELEMENTS RELATED TO THE AFFECTED BOULEVARDS, INCLUDING EXISTING CONDITIONS, RELEVANT MUNICIPAL STANDARDS, AND PROPOSED CHANGES.
4. REFER TO THE LANDSCAPE ARCHITECT'S DRAWINGS PREPARED BY MEP DESIGN INC, FOR ALL LANDSCAPE DESIGN ITEMS, DETAILS AND STANDARDS.
5. THE PROPOSED DESIGN INFORMATION DEPICTED IN THIS PLAN IS PROVIDED FOR APPLICATION REVIEW BY THE MUNICIPALITY AND NOT INTENDED FOR CONSTRUCTION.

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ARCHITECTS AND PLANNERS

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245-251 Marlee Ave, 1-7 Romar Crescent, 16 Stayner Ave, Toronto, ON
Proposed Mixed-Use Residential Development

Drawing Title:

Site Plan - Roof View

Scale:

1 : 200

Drawn by:

AR

Checked by:

HM

Project No.:

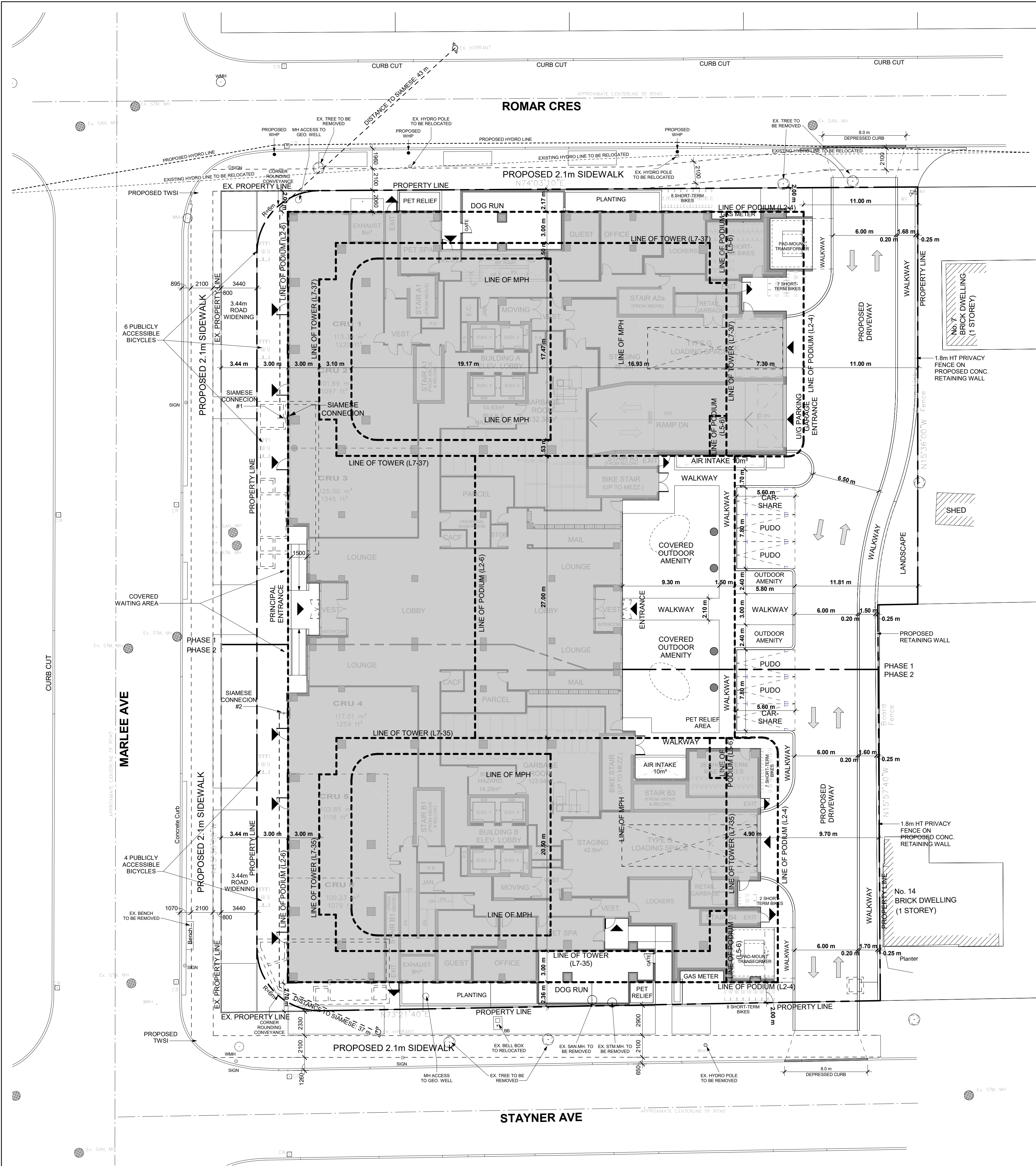
23-143

Date:

June 29, 2026

Drawing No.:

dA1.03



1 Site Plan - Ground Floor View
1:200

LEGEND:

- OUTLINE OF BUILDING (LEVELS ABOVE GROUND FLOOR)
- OUTLINE OF GROUND FLOOR
- SHORT-TERM BIKE PARKING SPACE
- CAR SHARE
- CAR SHARE VEHICLE PARKING SPACE
- PUDO
- PICK-UP / DROP-OFF VEHICLE PARKING SPACE
- EXISTING CURB CUT / DEPRESSED CURB
- ⋈ WATER CONNECTIONS

GENERAL (SITE PLAN - GROUND FLOOR VIEW) NOTES:

1. REFER TO CIVIL ENGINEERING DRAWINGS FOR ALL DESIGN ELEMENTS RELATED TO THE AFFECTED BOULEVARDS, INCLUDING EXISTING CONDITIONS, RELEVANT MUNICIPAL STANDARDS, AND PROPOSED CHANGES.
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Proposed Mixed-Use Residential Development

Site Plan - Ground Floor View

Scale: As indicated

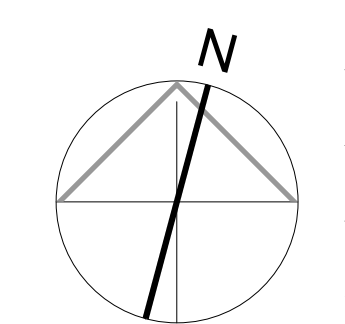
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Checked by: HM

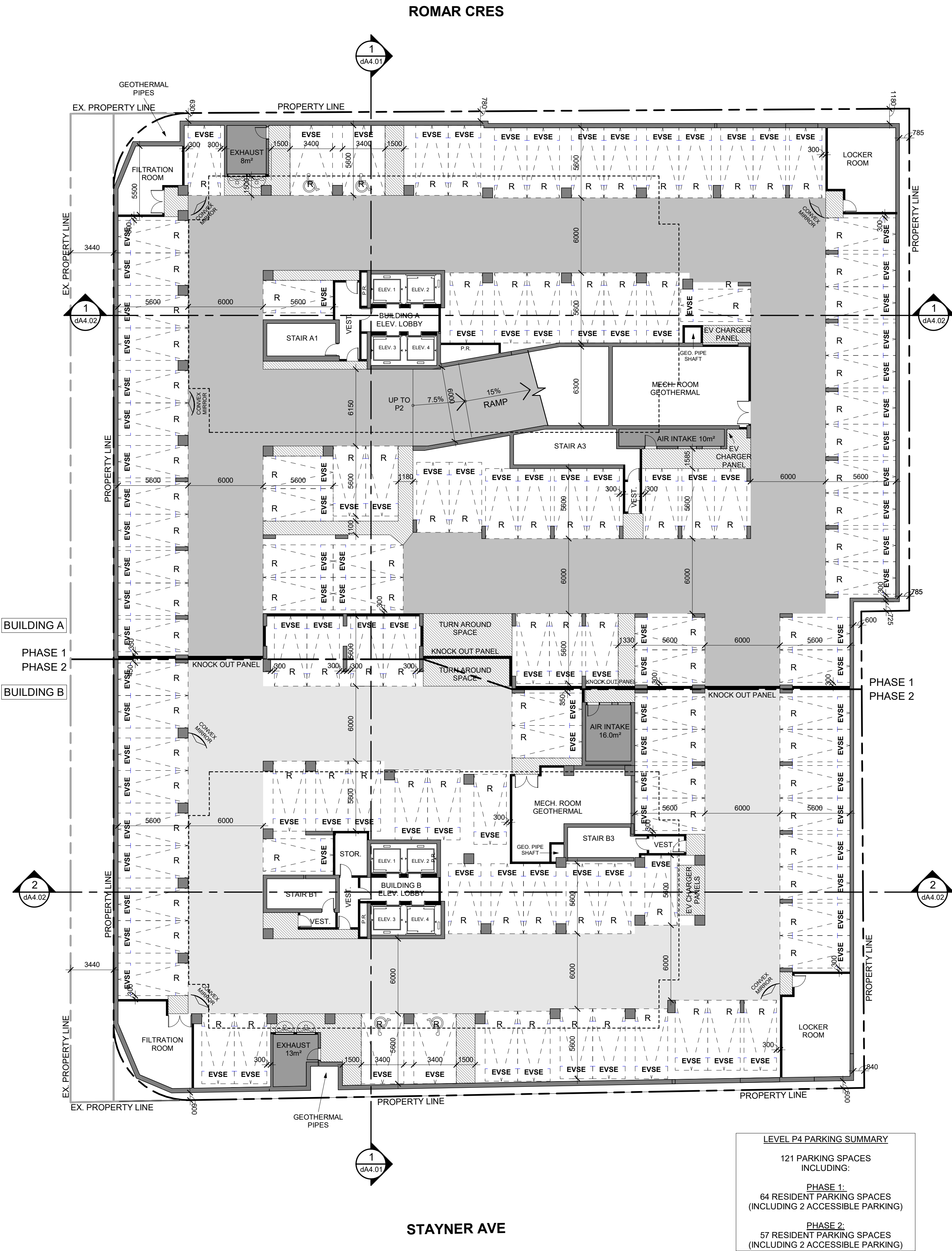
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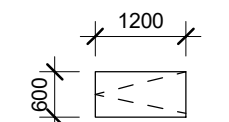
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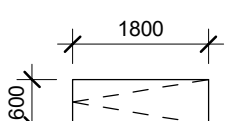
LEVEL P4 PARKING SUMMARY	
121 PARKING SPACES INCLUDING:	
PHASE 1:	
64 RESIDENT PARKING SPACES (INCLUDING 2 ACCESSIBLE PARKING)	
PHASE 2:	
57 RESIDENT PARKING SPACES (INCLUDING 2 ACCESSIBLE PARKING)	

TYPICAL BICYCLE PARKING SPACES:

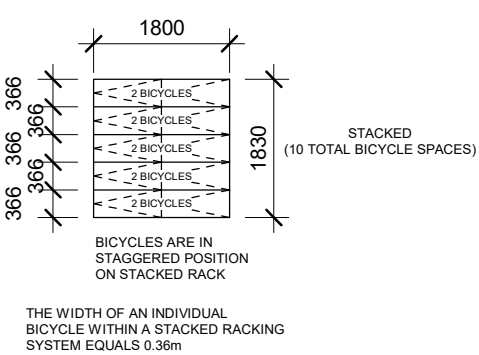
BIKE PARKING SPACE - VERTICAL:



BIKE PARKING SPACE - HORIZONTAL:

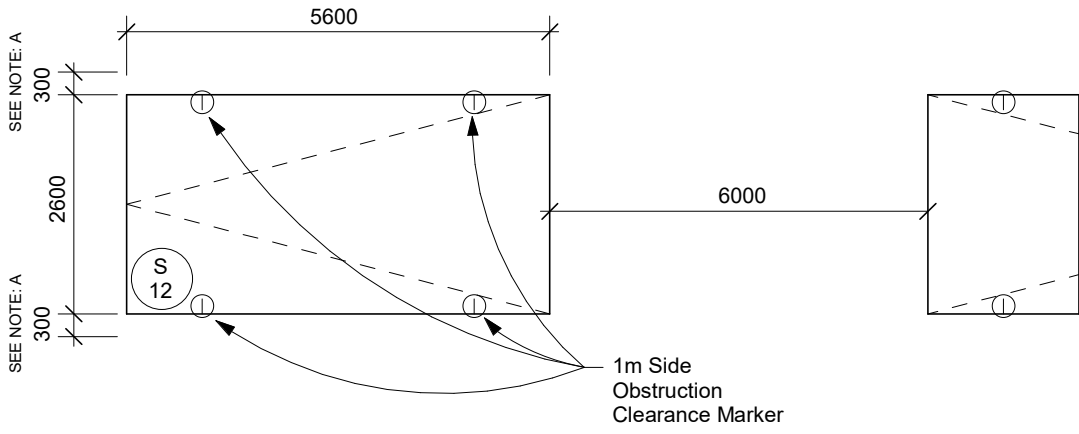


BIKE PARKING SPACE - STACKED:

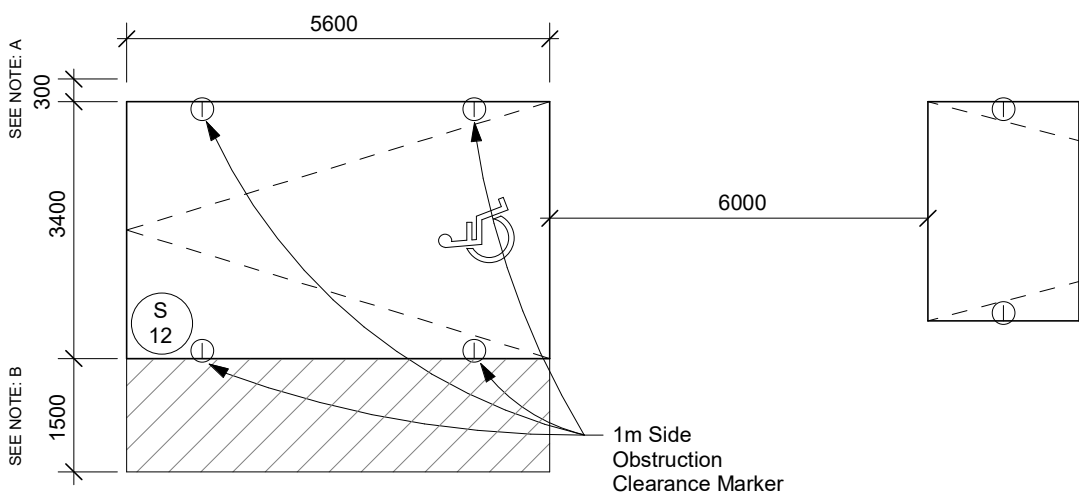


TYPICAL VEHICLE PARKING SPACE:

Drive Aisle @ 6m MIN.



Accessible Parking Space



NOTES:
A - PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm.
B - PROVIDE A 1500mm WALKWAY ON AT LEAST ONE SIDE OF AN ACCESSIBLE PARKING STALL. THIS WALKWAY MAY BE SHARED WITH ADJOINING ACCESSIBLE PARKING SPACE.

2

Typical Parking Space Details and Legend
NTS

Note:
100% of Residential parking spaces must include an energized outlet capable of providing Level 2 charging or higher to the parking space.
25% of Visitor and Retail parking spaces include an energized outlet capable of providing Level 2 charging or higher to the parking space.
(As per TGS V.4 Tier 1, AQ 1.2)

Parking Legend:

EV	Assigned Parking Spaces Provided with an Energized Outlet Capable of Providing Level 2 Charging or Higher
R	Resident Parking
V	Visitor Parking
RT	Retail Parking

3

Typical EV Parking Space Legend
NTS

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Date: April 30, 2025

KIRKOR
ARCHITECTS AND PLANNERS
20 De Boers Drive Suite 400
Toronto ON M3J 0H1

No.:	Revision:	Date:

3	Issued For Settlement	June 30, 2025
2	Site Plan Control Application	May 30, 2025
1	ZBA Application	Nov. 08, 2024
No.:	Issued For:	Date:



Client:

CHESTNUT HILL DEVELOPMENTS

245-251 Marlee Ave, 1-7 Romar Crescent, 16 Stayner Ave, Toronto, ON
Proposed Mixed-Use Residential Development

Drawing Title:
Level P4 Floor Plan

Scale:

As indicated

Drawn by:

HM

Checked by:

CK

Project No.:

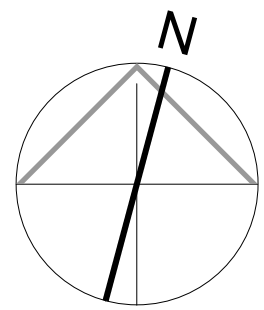
23-143

Date:

June 29, 2026

Drawing No.:

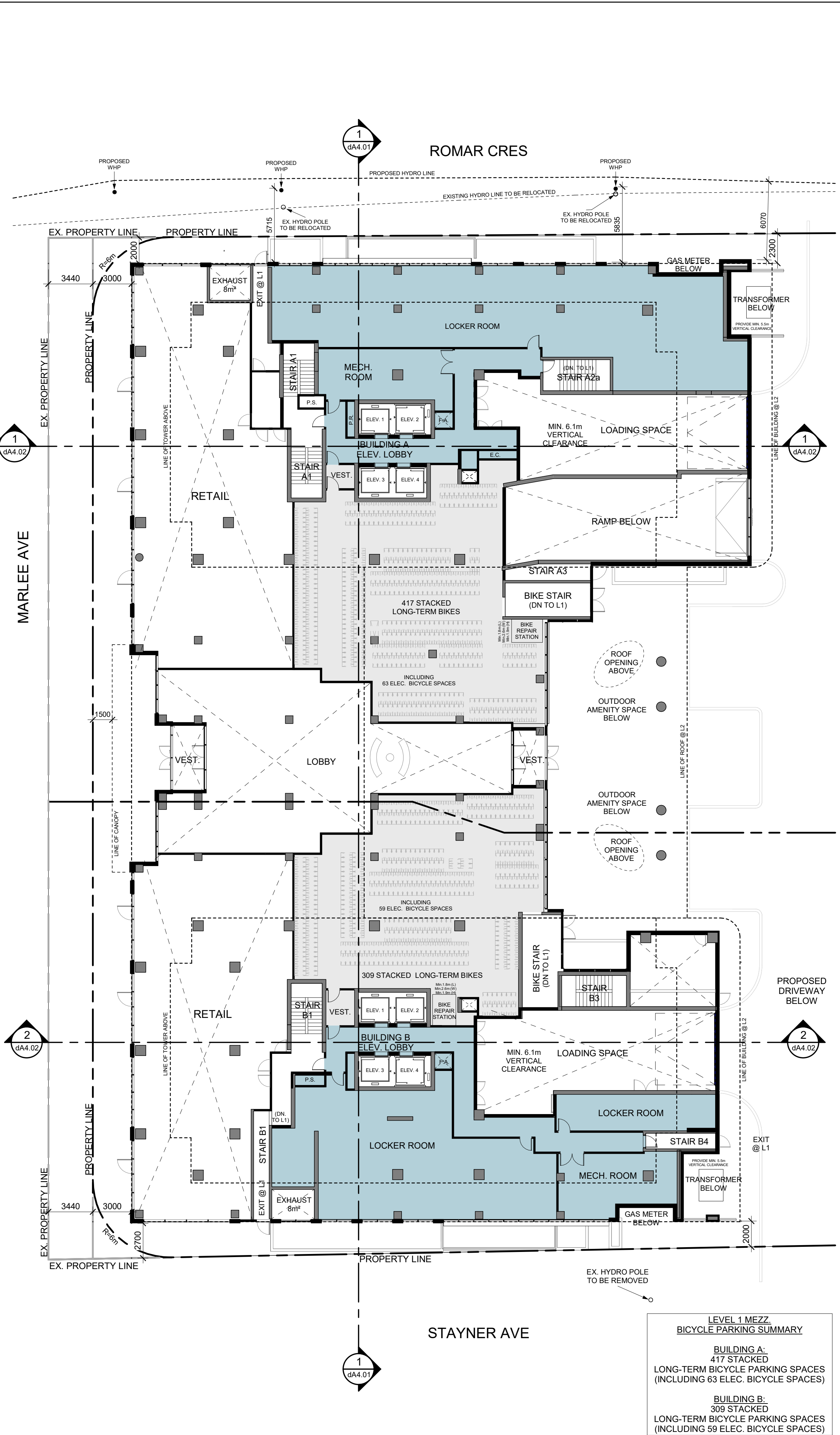
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1 Level 1 Floor Plan
1:200

REFER TO THE CIVIL ENGINEER DRAWINGS PREPARED BY SCHAEFFERS, FOR ALL BOULEVARD RELATED DETAILS AND CITY STANDARDS.
REFER TO LANDSCAPE ARCHITECTS DRAWINGS PREPARED BY MPEDSIGN, FOR LANDSCAPE RELATED DESIGN DETAILS.



2 Level 1 Mezz. Floor Plan
1:200

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No.:	Issued For:	Date:



CHESTNUT HILL DEVELOPMENTS

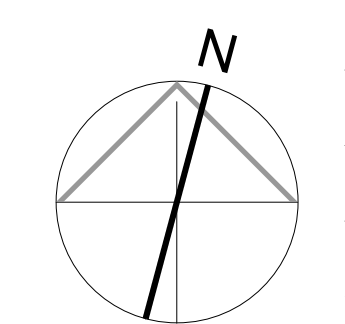
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245-251 Marlee Ave, 1-7 Romar Crescent, 16 Stayner Ave, Toronto, ON

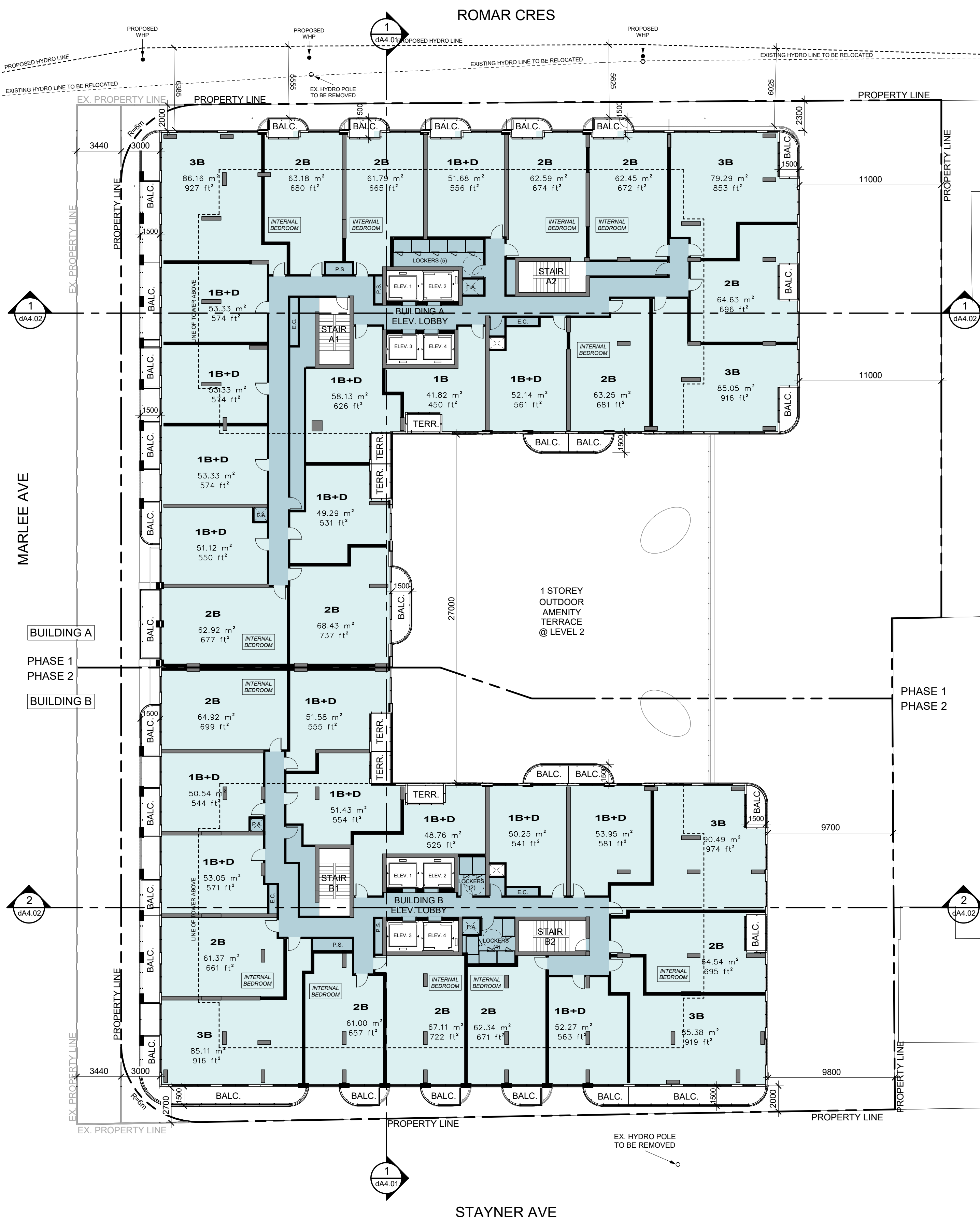
Proposed Mixed-Use Residential Development

Level 1 & Mezz. Floor Plans

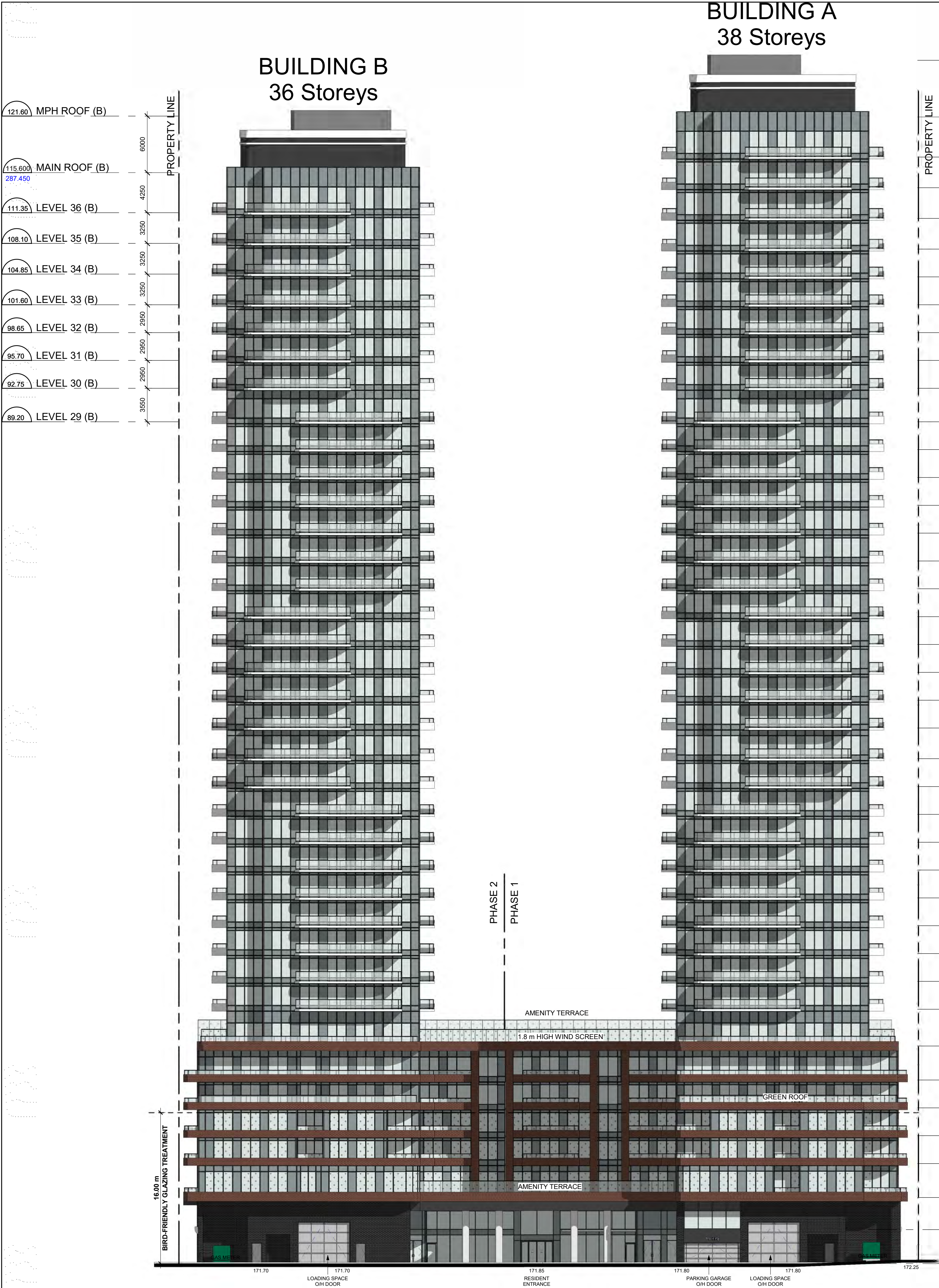
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Drawn by:	HM
Checked by:	CK
Project No.:	23-143
Date:	June 29, 2026
Drawing No.:	dA2.04



dA2.04



2 Level 3-4 Floor Plan



1 East Elevation
1:200

EXTERIOR FINISH LEGEND

- 23-143
- 1A ARCHITECTURAL CONCRETE PRECAST PANEL - BRICK INLAY
Colour: Red
Manufacturer:
- 1B ARCHITECTURAL CONCRETE PRECAST PANEL - BRICK INLAY
Colour: Black
Manufacturer:
- 2A MASONRY - BRICK VENEER
Colour: Red
Manufacturer: Brampton Brick
- 2B MASONRY - BRICK VENEER
Colour: Black
Manufacturer: Brampton Brick
- 2C MASONRY - GRANITE WALL TILE
Colour: Black
Finish: Polished
- 3A1 PRE-FIN. WINDOW WALL VISION PANEL
Colour (Glazing): Energy Select R34 Clear (6mm)
System: Window Wall System
- 3B1 PRE-FIN. WINDOW WALL SPANDREL PANEL
Colour (Glazing): Grey Thorn #3-4595 PPG Clear (6mm)
System: Window Wall System
- 3C1 PRE-FIN. WINDOW WALL FRITTED VISION PANEL
Colour (Glazing): Energy Select R34 Clear (6mm) + Partially Fritted Glass
System: Window Wall System (Bird Friendly)
- 4A1 PRE-FIN. CURTAIN WALL VISION PANEL
Colour (Glazing): AGC 1" Energy Select 36
System: Curtain Wall System
- 4B1 PRE-FIN. CURTAIN WALL SPANDREL PANEL
Colour (Glazing): Grey Thorn #3-4595 PPG Clear (6mm)
System: Curtain Wall System
- 4C1 PRE-FIN. CURTAIN WALL FRITTED VISION PANEL
Colour (Glazing): AGC 1" Energy Select 36 + Partially Fritted Glass
System: Curtain Wall System (Bird Friendly)
- 4D1 PRE-FIN. CURTAIN WALL METAL SPANDREL PANEL
Colour: Charcoal, Duranar UC131810
System: Curtain Wall System
- 5A PRE-FIN. METAL PANEL
Colour: Bright White, Duranar UC55026
- 5B PRE-FIN. METAL PANEL
Colour: Charcoal, Duranar UC131810
- 6A PRE-FIN. METAL SLAB-EDGE COVER
Colour: Bright White, Duranar UC55026
- 6B PRE-FIN. METAL SLAB-EDGE COVER
Colour: Charcoal, Duranar UC131810
- 7A EIFS STUCCO
Finish: Sandblasted, White
- 7B EIFS STUCCO
Finish: Sandblasted, Charcoal
- R1 BALCONY GLASS RAILING
Glass: Clear
- R2 BALCONY RAILING WITH RAISED METAL PANEL
Glass: Clear
Raised Metal Panel: Bright White, Duranar UC55026
- R3 BALCONY RAILING WITH FRITTED GLASS
Glass: Partially Fritted Glass
- R4 TERRACE GLASS RAILING
Glass: Clear
- R5 TERRACE RAILING WITH FRITTED GLASS
Glass: Partially Fritted Glass
- R6 GLASS WIND SCREEN
Glass: Clear
- R7 GLASS WIND SCREEN WITH FRITTED GLASS
Glass: Partially Fritted Glass
- R8 BALCONY/TERRACE DIVIDER
Glass: Frosted/Tinted
Metal/Colour: Aluminum / Charcoal, Duranar UC131810

Bird-Friendly Design Statistics	Elevation First 16m Above Grade					
	North	South	East	West	Total (m2)	Total (%)
Glazing Area (m ²)	531.584	515.109	672.446	836.816	2555.955	100%
Glazing Area (m ²) facing High Hazard Area	-	-	-	-	-	-
Untreated Area (m ²)	67.438	49.864	15.39	244.227	376.919	15%
Treated Area (m ²)	464.146	465.245	657.056	592.589	2179.036	85%
Visual Markers (m ²)	244.917	237.024	272.82	350.343	1105.104	
Non-reflective glass (m ²)	219.229	228.221	279.292	188.214	914.956	
Shaded (m ²)	0	0	104.944	54.032	158.976	

	Elevation First 4m Above Rooftop Vegetation*					
	North (Floor #s)	South (Floor #s)	East (Floor #s)	West (Floor #s)	Total (m2)	Total (%)
Glazing Area (m ²)					0	N/A
Untreated Area (m ²)					0	N/A
Treated Area (m ²)					0	N/A
Non-reflective glass (m ²)					0	
Visual Markers (m ²)			43.375		43.4	
Shaded (m ²)					0	

* Include this section only when applicable and provide relevant floor numbers for reference

Building Window : Wall Ratio	40%
------------------------------	-----

Refer to the Toronto Green Standard Version 4 Ecology section for details on bird collision deterrence treatment options.

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Date: April 30, 2025

KIRKOR
ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400
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Revisions:

No.: Revision: Date:

3 Issued For Settlement June 30, 2026

2 Site Plan Control Application May 30, 2025

1 ZBA Application Nov. 08, 2024

No.: Issued For: Date:

CHESTNUT HILL DEVELOPMENTS

Client:

CHESTNUT HILL DEVELOPMENTS

245-251 Marlee Ave, 1-7 Romar Crescent, 16 Stayner Ave, Toronto, ON

Proposed Mixed-Use Residential Development

Drawing Title:

East Elevation

Scale:

1 : 250

Drawn by:

AR

Checked by:

HM

Project No.:

23-143

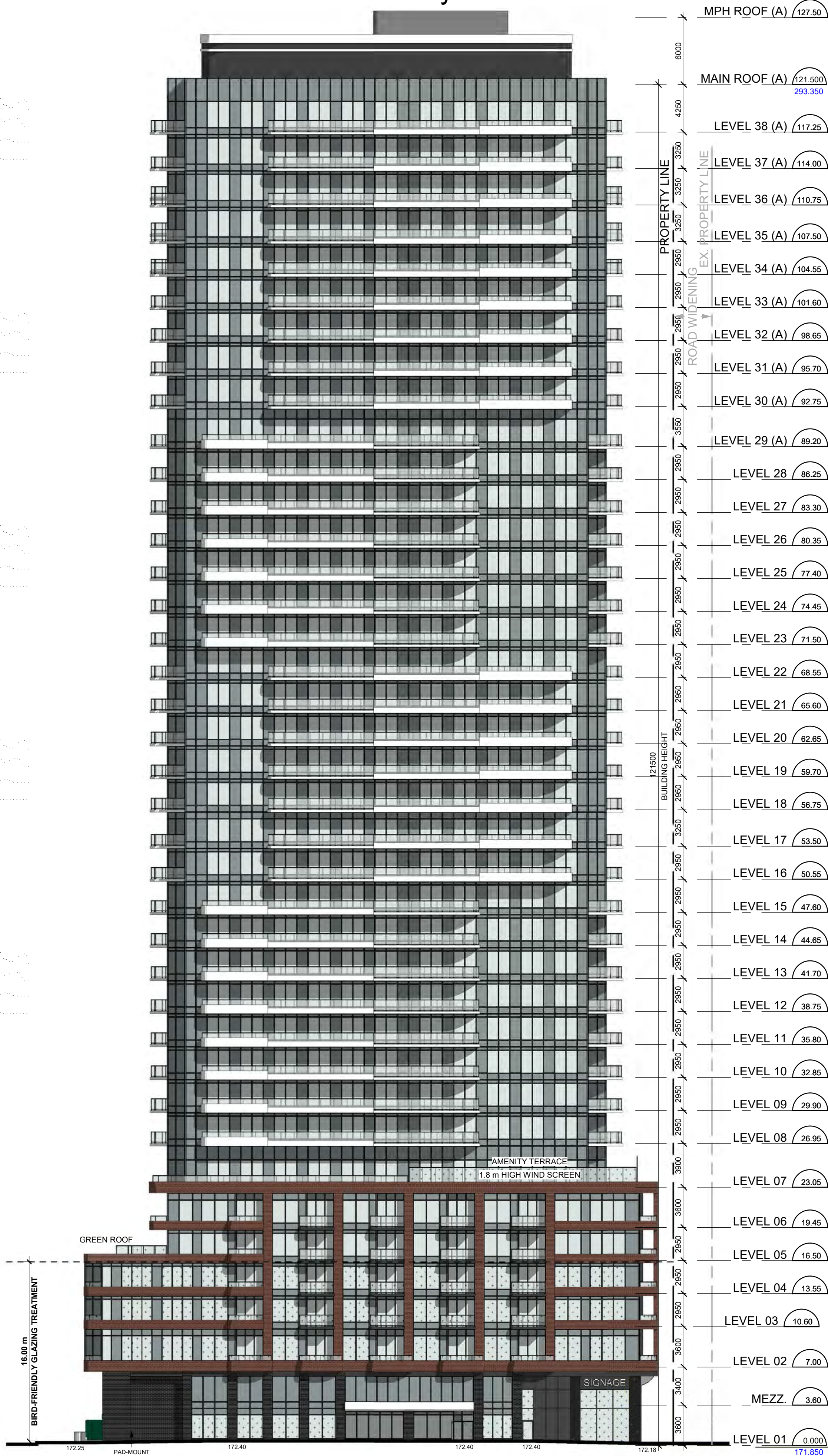
Date:

June 29, 2026

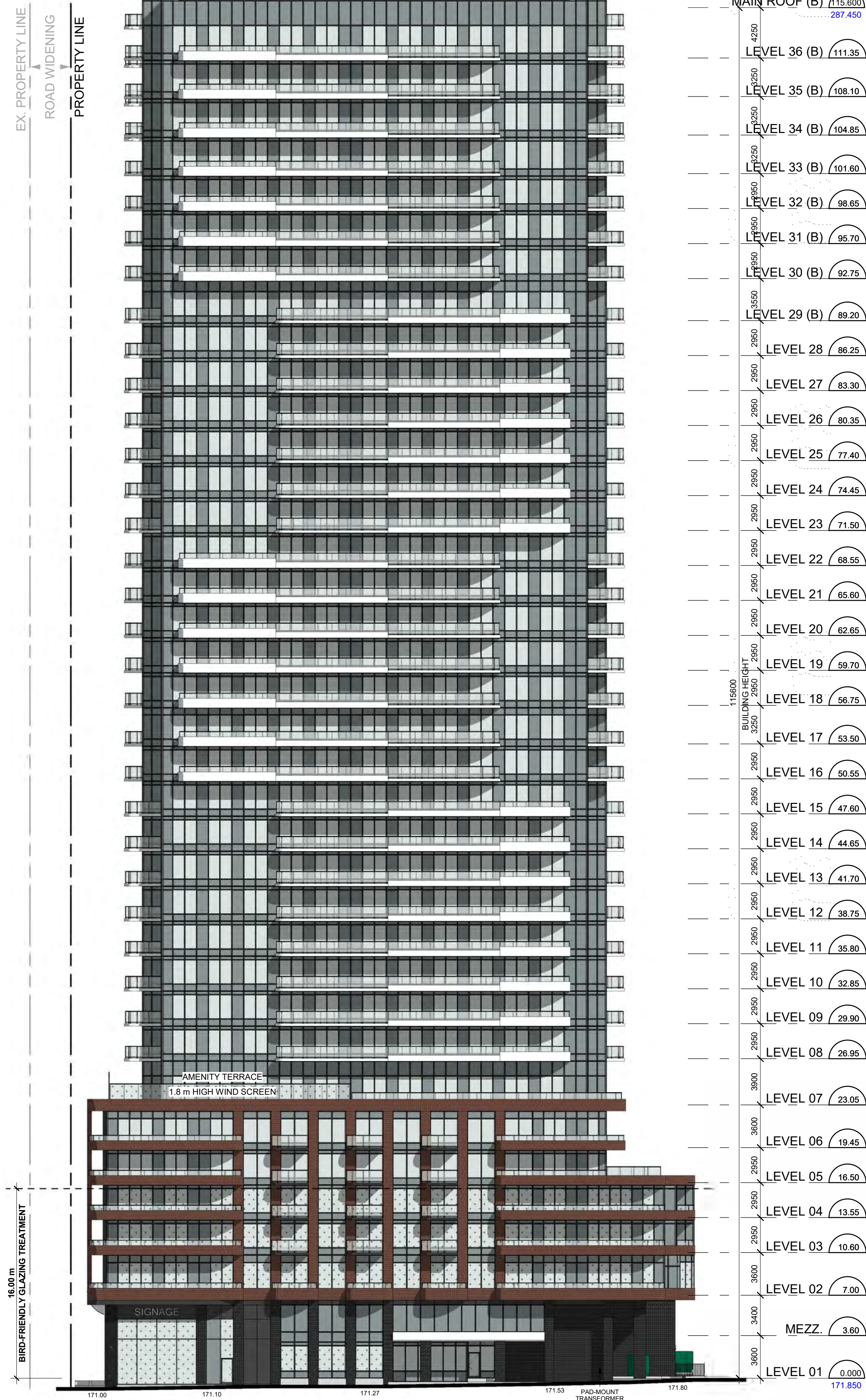
Drawing No.:

dA3.01

BUILDING A 38 Storeys



BUILDING B 36 Storeys



EXTERIOR FINISH LEGEND

23-143

- 1A** ARCHITECTURAL CONCRETE PRECAST PANEL - BRICK INLAY
Colour: Red
Manufacturer:
- 1B** ARCHITECTURAL CONCRETE PRECAST PANEL - BRICK INLAY
Colour: Black
Manufacturer:
- 2A** MASONRY - BRICK VENEER
Colour: Red
Manufacturer: Brampton Brick
- 2B** MASONRY - BRICK VENEER
Colour: Black
Manufacturer: Brampton Brick
- 2C** MASONRY - GRANITE WALL TILE
Colour: Black
Finish: Polished
- 3A1** PRE-FIN. WINDOW WALL VISION PANEL
Colour (Glazing): Energy Select R34 Clear (6mm)
System: Window Wall System
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System: Curtain Wall System
- 5A** PRE-FIN. METAL PANEL
Colour: Bright White, Duranar UC55026
- 5B** PRE-FIN. METAL PANEL
Colour: Charcoal, Duranar UC131810
- 6A** PRE-FIN. METAL SLAB-EDGE COVER
Colour: Bright White, Duranar UC55026
- 6B** PRE-FIN. METAL SLAB-EDGE COVER
Colour: Charcoal, Duranar UC131810
- 7A** EIFS STUCCO
Finish: Sandblasted, White
- 7B** EIFS STUCCO
Finish: Sandblasted, Charcoal
- R1** BALCONY GLASS RAILING
Glass: Clear
- R2** BALCONY RAILING WITH RAISED METAL PANEL
Glass: Clear
Raised Metal Panel: Bright White, Duranar UC55026
- R3** BALCONY RAILING WITH FRITTED GLASS
Glass: Partially Fritted Glass
- R4** TERRACE GLASS RAILING
Glass: Clear
- R5** TERRACE RAILING WITH FRITTED GLASS
Glass: Partially Fritted Glass
- R6** GLASS WIND SCREEN
Glass: Clear
- R7** GLASS WIND SCREEN WITH FRITTED GLASS
Glass: Partially Fritted Glass
- R8** BALCONY/TERRACE DIVIDER
Glass: Frosted/Tinted
Metal/Colour: Aluminum / Charcoal, Duranar UC131810

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CHESTNUT HILL
DEVELOPMENTS

Client:

CHESTNUT HILL DEVELOPMENTS

245-251 Marlee Ave, 1-7 Romar Crescent, 16
Stayner Ave, Toronto, ON
Proposed Mixed-Use Residential Development

Drawing Title:

North & South Elevations

Scale:

1 : 250

Drawn by:

AR

Checked by:

HR

Project No.:

23-143

Date:

June 29, 2026

Drawing No.:

dA3.02

1

North Elevation
1:200

2

South Elevation
1:200



EXTERIOR FINISH LEGEND

23-143

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Manufacturer:
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Colour: Black
Manufacturer:
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Toronto ON M3J 0H1

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CHESTNUT HILL
DEVELOPMENTS

Client:

CHESTNUT HILL DEVELOPMENTS

245-251 Marlee Ave, 1-7 Romar Crescent, 16 Stayner Ave, Toronto, ON
Proposed Mixed-Use Residential Development

Drawing Title:

West Elevation

Scale:

1 : 250

Drawn by:

AR

Checked by:

HM

Project No.:

23-143

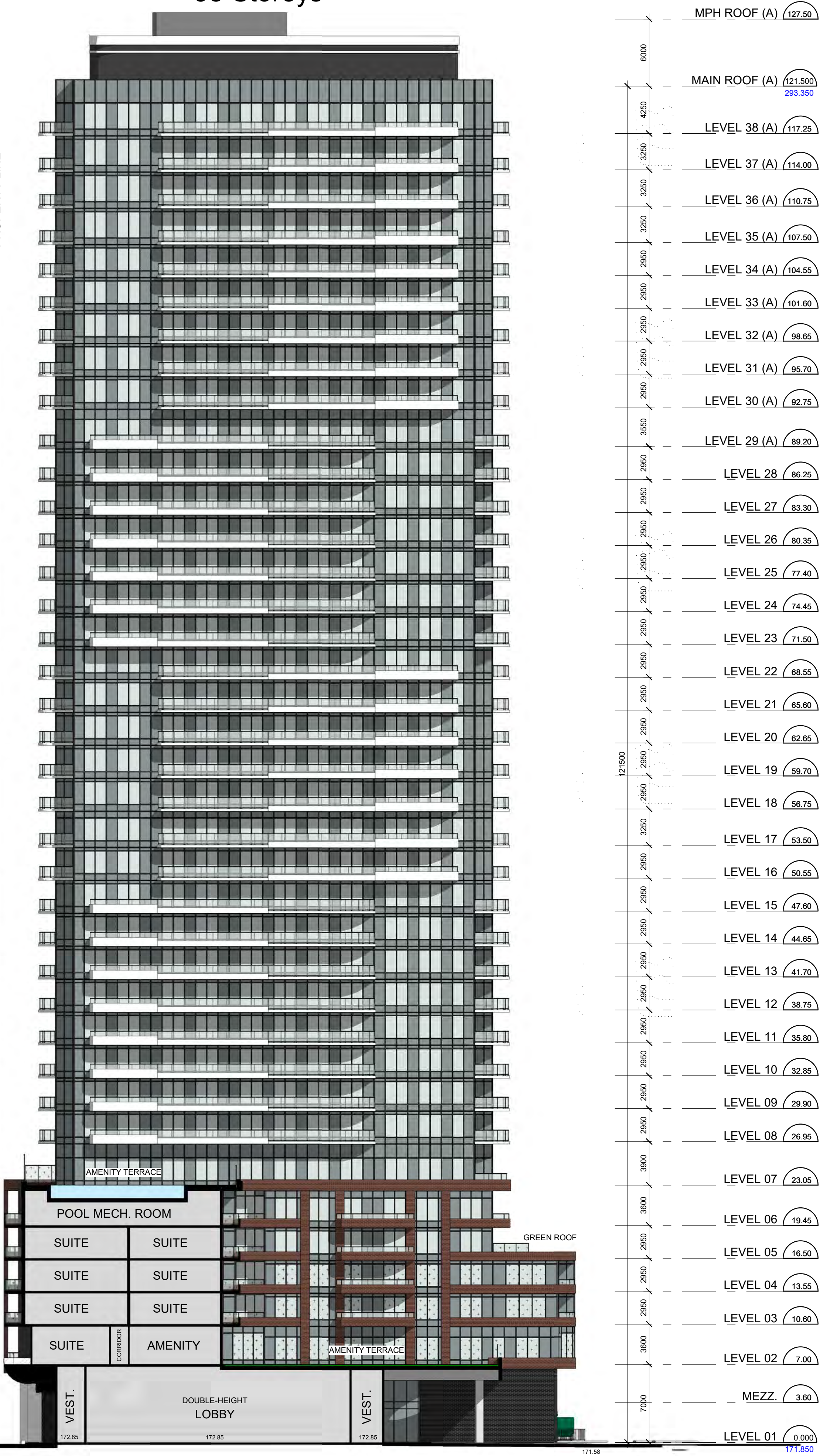
Date:

June 29, 2026

Drawing No.:

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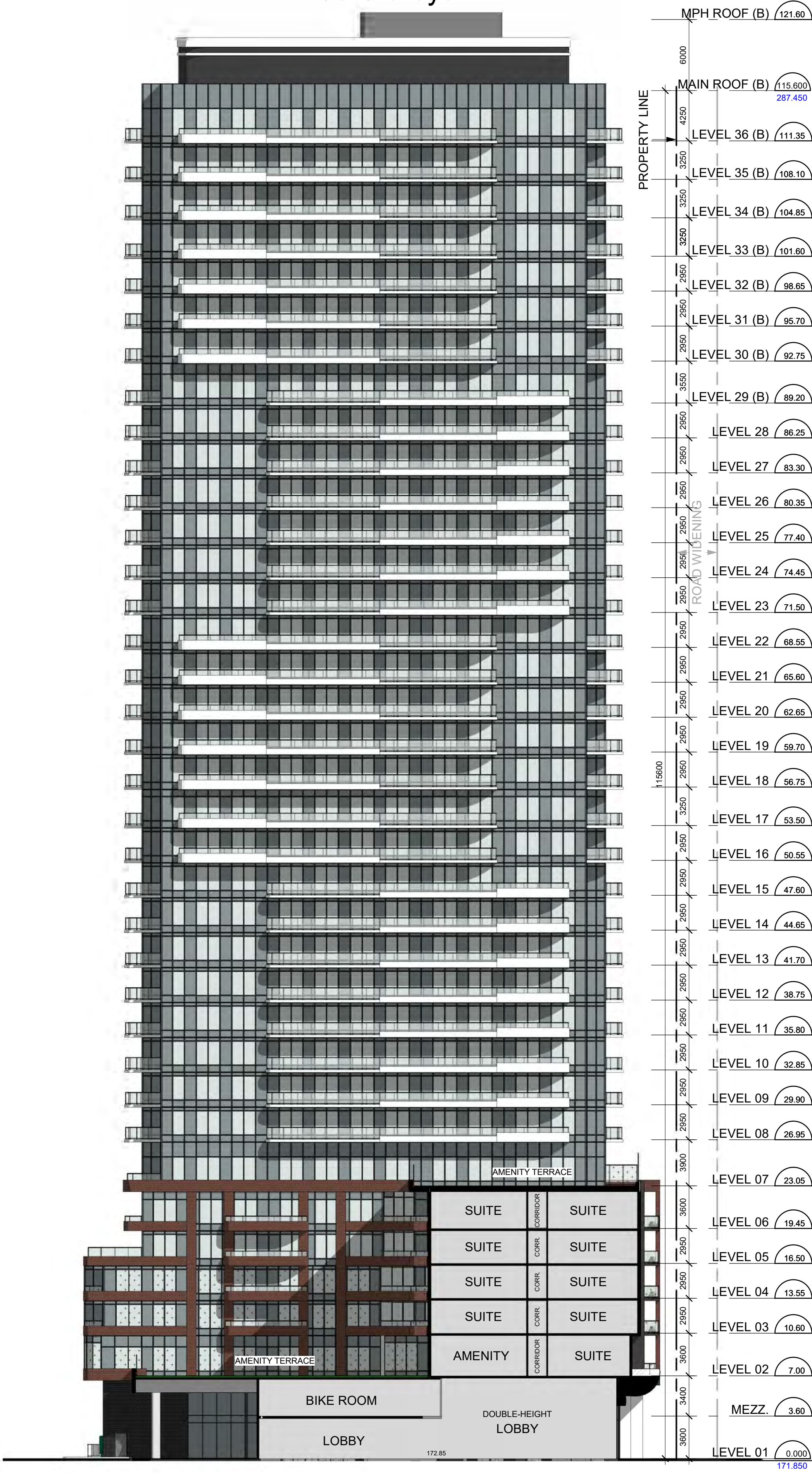
BUILDING A
38 Storeys



1

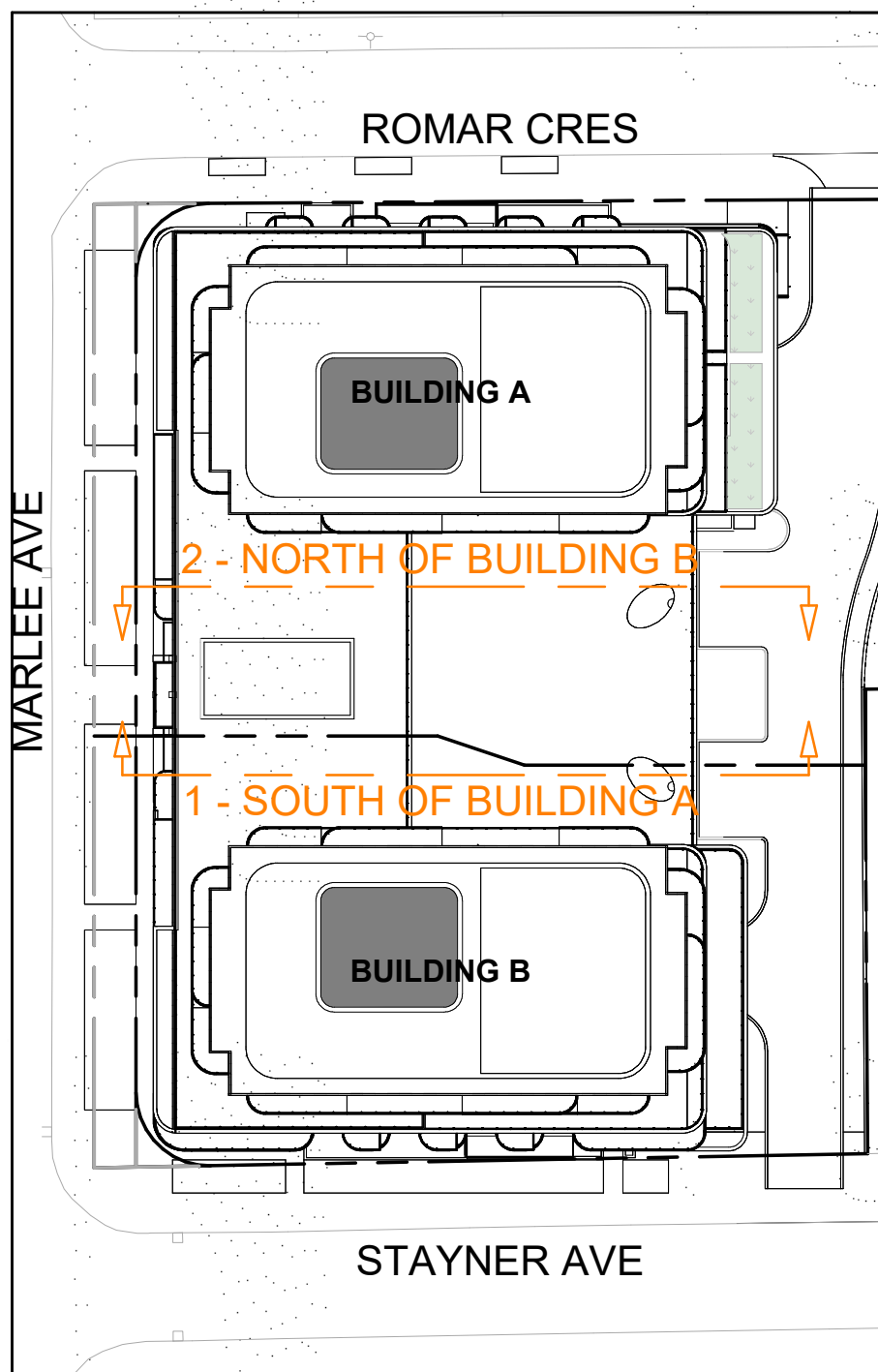
Sectional South Elevation - Building A
1:250

BUILDING B
36 Storeys



2

Sectional North Elevation - Building B
1:250



3

Key Plan
NTS

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Toronto ON M3J 0H1

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Client:
CHESTNUT HILL DEVELOPMENTS
245-251 Marlee Ave, 1-7 Romar Crescent, 16
Stayner Ave, Toronto, ON
Proposed Mixed-Use Residential Development

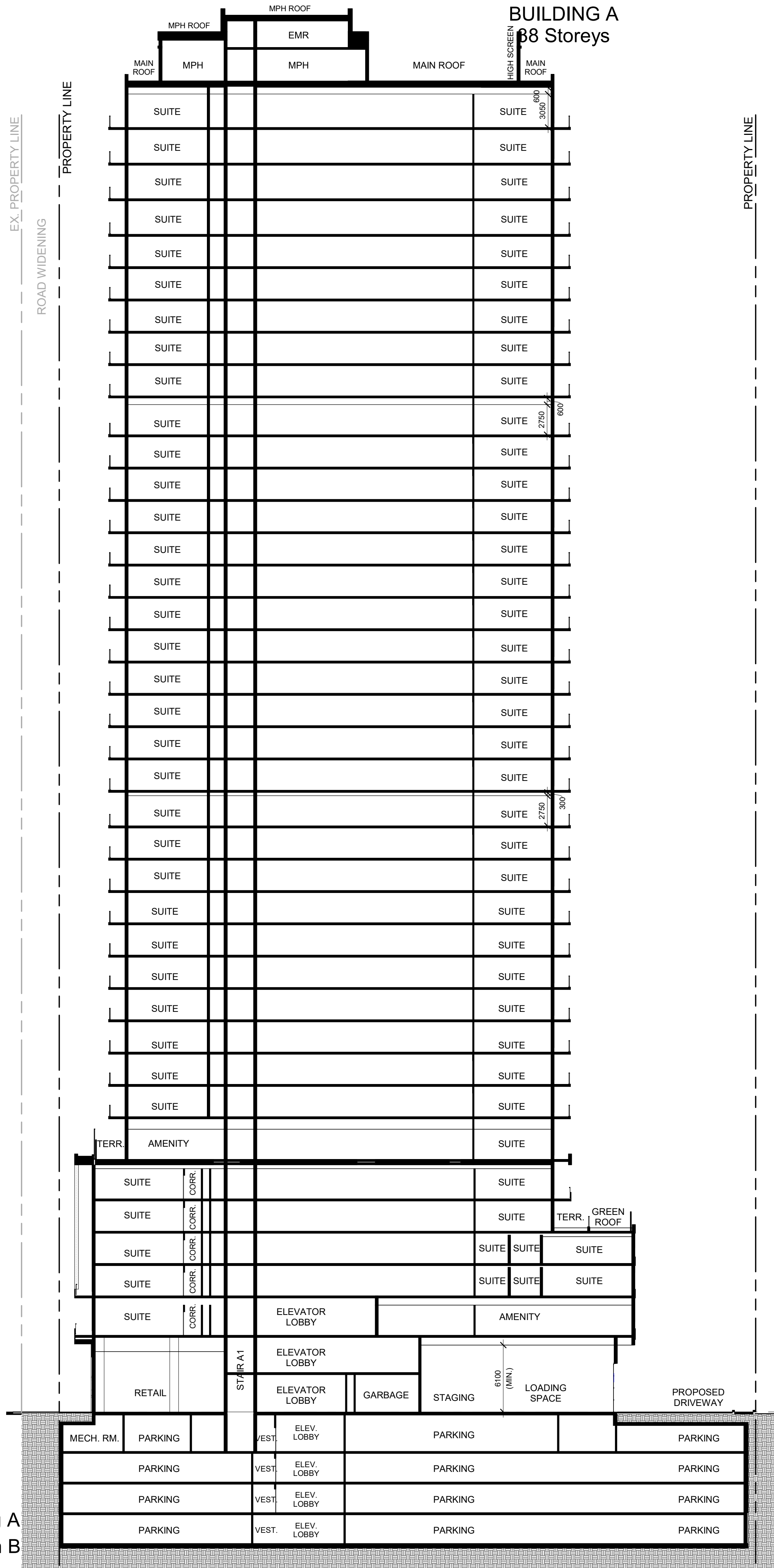
Drawing Title:
Sectional Elevations

Scale:
As indicated
Drawn by:
AR
Checked by:
HM
Project No.:
23-143
Date:
June 29, 2026
Drawing No.:

dA3.04

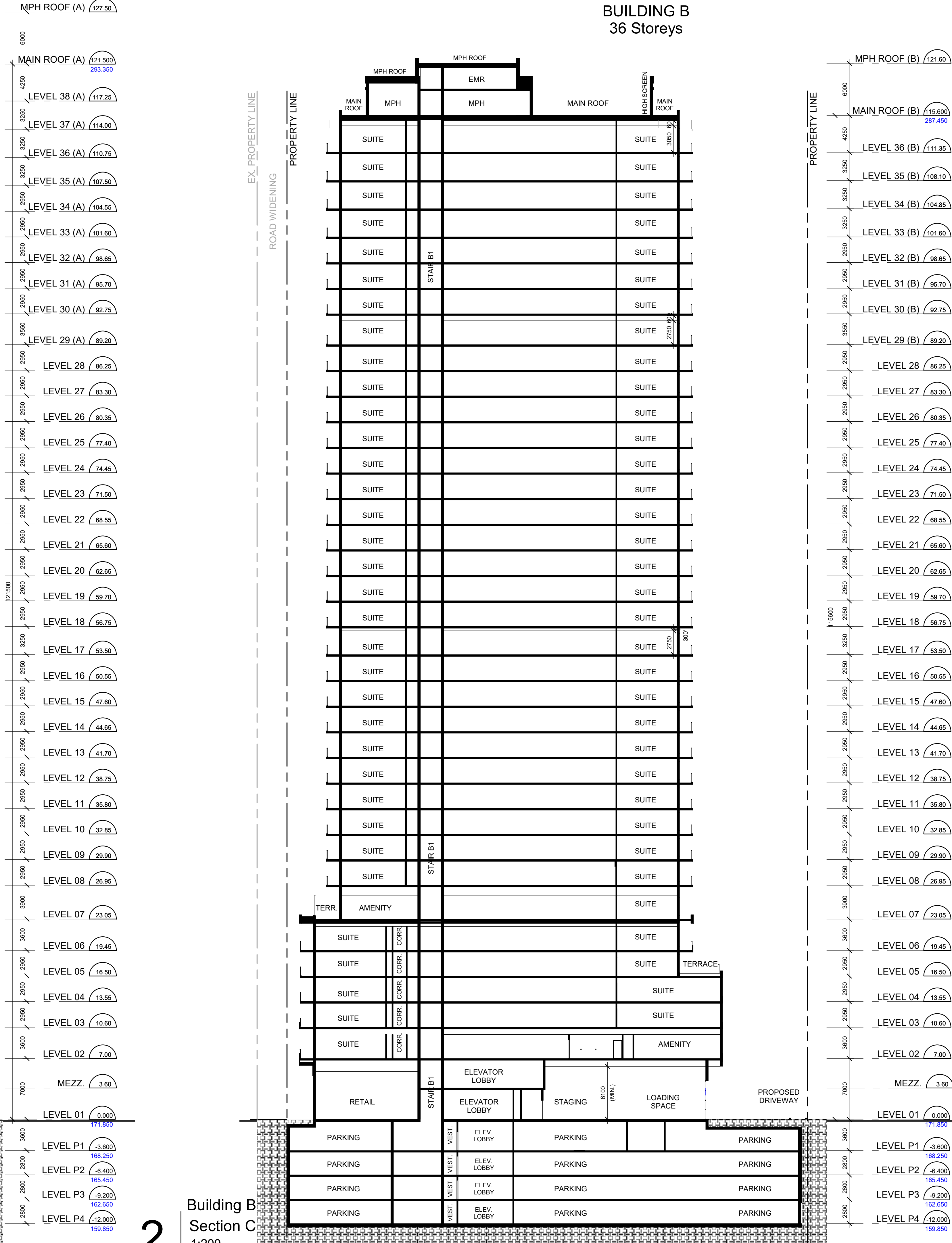
1

Building A
Section B
1:200



2

Building B
Section C
1:200



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CHESTNUT HILL DEVELOPMENTS

Client:

245-251 Marlee Ave, 1-7 Romar Crescent, 16
Stayner Ave, Toronto, ON
Proposed Mixed-Use Residential Development

Drawing Title:

Building Sections B & C

Scale:	1 : 250
Drawn by:	AR
Checked by:	HM
Project No.:	23-143
Date:	June 29, 2026
Drawing No.:	

dA4.02



Notes:

The Architectural renderings provided herein are artistic representations based on common computer modeling tools and practices to estimate the intended design and aesthetic at a specific date, time and environmental conditions. The renderings are intended for illustrative purposes only and should not be relied upon as a precise depiction of the finished structure.

Planting in renderings is for illustrative purposes only. See landscape plans for design details.

Roads in renderings are for illustrative purposes only. See site plan for detailed road plan.

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Date: April 30, 2025

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Revisions:		
No.:	Revision:	Date:

3	Issued For Settlement	June 30, 2026
2	Site Plan Control Application	May 30, 2025
1	ZBA Application	Nov. 08, 2024

No.:	Issued For:	Date:
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CHESTNUT HILL
DEVELOPMENTS

Client:

CHESTNUT HILL DEVELOPMENTS

245-251 Marlee Ave, 1-7 Romar Crescent, 16
Stayner Ave, Toronto, ON
Proposed Mixed-Use Residential Development

Drawing Title:

Renderings

Scale:

Drawn by:

HM

Checked by:

CK

Project No.:

23-143

Date:

June 29, 2026

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