

750 Queen's Plate Drive – Zoning By-law Amendment Application – Decision Report – Approval

Date: April 14, 2026

To: Etobicoke York Community Council

From: Director, Community Planning, Etobicoke York District

Ward: 1 - Etobicoke North

Planning Application Number: 17 278424 WET 02 OZ

Related Planning Application Number: 17 278431 WET 02 SA

SUMMARY

This report recommends approval of the application to amend the Zoning By-law to permit a 17-storey (54.8 metres, including the mechanical penthouse) residential building with a gross floor area (GFA) of 11,925 square metres.

RECOMMENDATIONS

The Director, Community Planning Etobicoke York District recommends that:

1. City Council amend City of Toronto Zoning By-law 569-2013 for the lands municipally known as 750 Queen's Plate Drive substantially in accordance with the draft Zoning By-law Amendment included as Attachment 5 to this Report.
2. City Council authorize the City Solicitor to make such stylistic and technical changes to the draft Zoning By-law Amendment as may be required.
3. Before introducing the necessary Bills to City Council for enactment, City Council require that the owner:
 - a. Submit to the Director, Engineering Review, Development Review for review and acceptance, a Functional Servicing Report to determine the storm water runoff, sanitary flow and water supply demand resulting from this development and whether there is adequate capacity in the existing municipal infrastructure to accommodate the proposed development; and

b. Make satisfactory arrangements with Engineering Review, Development Review and enter into the appropriate agreement with the City, which may include entering into an appropriate agreement with the City, for the design and construction of any improvements to the municipal infrastructure, should it be determined that upgrades are required to the infrastructure to support this development, according to the accepted Functional Servicing Report accepted by the Director, Engineering Review, Development Review.

FINANCIAL IMPACT

There are no financial implications resulting from the recommendations included in this report in the current budget year or in future years.

THE SITE AND SURROUNDING LANDS

Description

The site is located on the north side of Queen's Plate Drive, west of Highway 27 and north of Rexdale Boulevard. The site is generally triangular in shape and occupied by a one-storey condo sales office with a frontage of approximately 96.14 metres, and a gross site area of approximately 1,979 square metres. A portion of the site is situated within the area regulated by the Toronto and Region Conservation Authority (TRCA) and also subject to the City of Toronto Ravine and Natural Feature Protection (RNFP) By-law. See Attachment 2 for the Location Map.

Surrounding Uses

The surrounding uses are summarized as follows:

North of the subject site is a two-storey townhouse development. Beyond this is Humber River, Humber Trail, and the University of Guelph-Humber.

South of the subject site are three condo and co-op apartment buildings ranging from 15-17 storeys. Further south is the Great Canadian Casino Resort Toronto and the Woodbine Racetrack.

East of the subject site, is Woodbine Mall. Beyond this are commercial, industrial, and institutional uses including grocery stores, restaurants, places of worship and storage facilities.

West of the subject site is open space including the Humber River, Humber Trail, Humber Arboretum, and Humberwood Park. Beyond this is the Humberwood Community Centre and a low-scale residential neighbourhood, which consists of detached dwellings.

THE APPLICATION

Description

The application proposes to amend the Zoning By-law to permit a 17-storey (54.8 metres, including the mechanical penthouse) residential building.

Density

The proposal has a density of 6.1 times the area of the lot.

Dwelling Units

The proposed 148 units include 71 one-bedroom (47.9%), 70 two-bedroom (47.3%), and seven three-bedroom units (4.8%).

Amenity Space

The proposal includes 332 square metres of interior amenity space and 308 square metres of exterior amenity space. Interior amenity spaces are located on the ground, second and fourth levels. Exterior amenity spaces are located on the ground, fourth and seventeenth levels. The proposed amenity space exceeds the requirements of the 2 square metres per unit of interior space and 2 square metres per unit of exterior space.

Access, Parking and Loading

Access to the site would be via a semi-circular private driveway from Queen's Plate Drive. A five-level underground parking garage is proposed containing a maximum of 103 vehicular parking spaces, (16 visitor parking spaces and 87 residential parking spaces) is proposed. The proposal also includes a total of 125 bike parking spaces below grade, and one Type G loading space located at grade.

Additional Information

See the attachments of this Report for the Application Data Sheet, Location Map, Site Plan, Elevations, and 3D Massing Views of the proposal. Detailed project information including all plans and reports submitted as part of the application can be found on the City's Application Information Centre at: toronto.ca/750QueensPlateDr

Reasons for Application

The proposal requires a Zoning By-law Amendment application to bring the lands into Zoning By-law 569-2013 and to introduce specific performance standards, including maximum building height, maximum gross floor area, and minimum setbacks among other standards.

APPLICATION BACKGROUND

The current application was submitted on December 21, 2017 and deemed complete on July 24, 2024, satisfying the City's minimum application requirements. The reports and studies submitted in support of this application are available on the Application Information Centre toronto.ca/750QueensPlateDr.

On July 23, 1990, the City of Etobicoke adopted the site specific By-law 1990-156 to modify the zoning for the northwest corner of Queen's Plate Drive and Rexdale Boulevard from Limited Commercial (CL) and Class 1 Industrial (I.C1) to Sixth Density Residential (R6) and Public Open Space (OS) to permit residential development up to 17-storeys in height. The subject site is located within the area subject to site specific By-law 1990-156.

Agency Circulation Outcomes

The application together with the applicable reports noted above, have been circulated to all appropriate agencies and City Divisions. Responses received have been used to assist in evaluating the application and to formulate appropriate Zoning By-law amendments, including associated conditions of approval.

POLICY AND REGULATION CONSIDERATIONS

Provincial Land-Use Policies

All decisions of Council in respect of the exercise of any authority that affects a planning matter shall be consistent with the Provincial Planning Statement (2024), and shall conform to provincial plans.

Official Plan

The Official Plan Map 2 - Urban Structure identifies the western edge of this site as Green Space System, and Map 15 - Land Use Plan - designates the site as Apartment Neighbourhoods. While built up Apartment Neighbourhoods are generally considered stable areas of the city where significant growth is not anticipated on a city-wide basis, opportunities exist for additional townhouses or apartments on underutilized sites. See Attachment 3 of this Report for the Land Use Map. The Official Plan should be read as a whole to understand its comprehensive and integrative intent as a policy framework for priority setting and decision making.

Protected/Major Transit Station Area

The site is not within a delineated Protected Major Transit Station Area/Major Transit Station Area.

Site and Area Specific Policy (SASP) 29

SASP 29 - Lester B. Pearson International Airport (L.B.P.I.A.) Operating Area applies to the subject site. The policy states that redevelopment for residential uses and other sensitive land uses, or infilling for residential uses and other sensitive land uses, may be considered within the L.B.P.I.A. Operating Area, if it has been demonstrated that there will be no negative impacts on the long-term function of the airport. In this regard, proponents are required to provide noise studies when making applications for development approval in the airport operating area for determinations on noise mitigation measures as appropriate.

Zoning

The subject site is zoned Sixth Density Residential Zone (R6) and subject to site specific Zoning By-law No. 1990-156, as amended by Bylaw 1990-203 under the former City of Etobicoke Zoning By-law 11, 737. See Attachment 4 of this Report for the existing Zoning By-law Map.

Design Guidelines

The following design guidelines have been used in the evaluation of this application:

- Tall-Building Design Guidelines
- Pet Friendly Design Guidelines and Best Practices for New Multi-Unit Buildings
- Growing Up: Planning for Children in New Vertical Communities

Toronto Green Standard

The Toronto Green Standard (TGS) is a set of performance measures for green development. Applications for Zoning By-law Amendments and Site Plan Control are required to meet and demonstrate compliance with Tier 1 of the TGS. Tiers 2 and above are voluntary, higher levels of performance with financial incentives (partial development charges refund). Tier 1 performance measures are secured in provisions of the zoning by-law, on site plan drawings and through a Site Plan Agreement.

PUBLIC ENGAGEMENT

Community Consultation

On June 27, 2019, an in-person community consultation meeting was hosted by City staff. Additionally, the applicant hosted an open-house format community consultation on April 22, 2026 which was attended by approximately 20 people. Issues raised by attendees at the meeting and through correspondence included:

- Concerns about environmental impact on adjacent natural areas.
- Need for park space in the area, specifically space designed for children; and

- Concerns about an increase in traffic volume resulting in congestion.

The issues raised through the community consultation process have been considered through the review of the application and commented on as necessary in the body of this Report.

Statutory Public Meeting Comments

In making their decision with regard to this application, Council members have an opportunity to hear the oral submissions made at the statutory public meeting held by the Etobicoke York Community Council for this application, as these submissions are broadcast live over the internet and recorded for review.

COMMENTS

Provincial Planning Statement and Provincial Plans

Staff's review of this application has had regard for the relevant matters of provincial interest set out in the Planning Act. Staff has reviewed the current proposal for consistency with the PPS (2024). Staff is satisfied that the proposal is consistent with the PPS (2024).

Official Plan Policies and Design Guidelines

This application has been reviewed against the Official Plan policies, including the SASP 29, and design guidelines described in the Policy and Regulation Considerations Section of this Report.

Land Use

The proposed residential use is appropriate and permitted within an Apartment Neighbourhoods land use designation.

Flood Mitigation and Natural Hazards

While the proposed building is located a minimum of three metres from the TRCA-owned property line, a portion of the subject site is within the TRCA's Regulation Limit. TRCA staff have no objection to the proposed Zoning By-law Amendment as the footprint of the proposed development does not interfere with TRCA lands. Under applicable law, a TRCA Permit under Ontario Regulation 41/24 is required prior to issuance of any municipal building permits.

Natural Heritage Protection and Ravine Protection

The applicant submitted a natural heritage study, landscape plans, and ravine stewardship plans in support of the proposed development. Environmental Planning staff have reviewed the submitted materials and do not object to the proposed Zoning By-law Amendment. The applicant will be required to address mitigation of any impacts of the proposed development on the natural heritage system as part of the review of the Site Plan Control application.

The property is subject to the provisions of the City of Toronto Municipal Code Chapter 658 – Ravine and Natural Feature Protection. RNFP staff have reviewed the submission including landscape plans, arborist report, and tree protection plan and consider the reports to be satisfactory. Additional requirements such as soil volume for new tree planting will be secured through the Site Plan Control review process.

Housing

The Official Plan directs that a full range of housing in terms of form, tenure and affordability be provided to meet the current and future needs of residents. The proposed development includes 71 (47.5%) one bedroom units, 70 (47.3%) two bedroom units and 7 (4.8%) three bedroom units. While the proposed unit mix does not achieve the number of three-bedroom units recommended by the Growing-Up Guidelines, the proposed two-bedroom units exceeds the recommended unit mix which would contribute to the intent of providing larger units for larger households. The proposed unit mix has been secured in the draft Zoning By-law Amendment (Attachment 5).

Height and Massing

Staff are satisfied that the proposed height, massing, and built form conform with the Official Plan, including the Apartment Neighbourhoods Official Plan policies, and meet the intent of the Tall Building Design Guidelines.

The proposal has appropriate height in relation to the surrounding context and has incorporated appropriate massing through building setbacks, façade articulation, and stepbacks to achieve an appropriate built form. The proposed building is 9 metres south of the neighbourhood to the north lot line. The tower steps back 4 metres from the north lot line at the third level (7.75 metres) and another 3.6 metres at the fourth level (11 metres). The proposed design features help achieve good fit and transition in scale to the low-rise area to the north and limit negative impact on the public realm.

Public Realm

The Official Plan encourages coordinated landscape improvements on adjacent boulevards and within setbacks to enhance local character, fit with public streetscapes, and provide attractive, accessible and safe transitions between the private and public

realms.

The proposal conforms with the applicable public realm policies of the Official Plan. The proposed development includes a sidewalk of approximately 96 metres along Queen's Plate Drive with a 2.1 metre wide pedestrian clearway which will help create a comfortable pedestrian environment. The proposed building setbacks allow space for trees and landscaping and ground-floor residential units with walk-out patios. Additional streetscape features, such as street furniture and ground floor design details will be secured through the Site Plan Control review process.

Shadow Impact

A sun and shadow study which outlines the shadows cast by the proposed 17-storey building was submitted in support of the proposed development. The shadow study shows the extent of the shadow from the proposed buildings during the spring and fall equinoxes (March 21 and September 21). The Shadow Study demonstrates that there would be minimal shadow impact resulting from the proposed development on lands designated Neighbourhoods directly north of the subject site. Approximately twenty dwellings on Mare Crescent will experience shadow impacts moving across the rear yards from 12:18 pm to 4:18 pm during the spring and fall equinoxes. During the spring and fall equinoxes, the proposed development cast a shadow on the Natural Areas at 9:18am, 10:18am and 11:18am, resulting in no shadow impacts by noon.

The study confirms that the proposal meets Official Plan policies and the Tall Building Design Guidelines requiring shadow impacts to be minimal, particularly on sensitive uses such as open spaces. Based on the submitted shadow studies, the shadow impacts from the proposal are acceptable.

Wind Impact

A Pedestrian Level Wind Study was submitted in support of the proposed development. The study determined ground-level winds at some locations are expected to be similar to those observed in the existing site condition with a few localized areas expected to experience higher pedestrian level winds. The stepped massing on the north façade of the development is expected to moderate ground-level wind impacts in the area around the proposed building. Through the Site Plan Control process, additional design considerations, including screen walls, canopies, and/or landscaping, will be reviewed and secured to further mitigate potential wind impacts along the north and south sides of the proposed building .

Servicing

Development Engineering Staff have reviewed the submitted materials associated with the proposed development including a Functional Servicing and Storm Water

Management Report. Development Engineering staff identified concerns with the some required points of clarification with the report. As such, Development Engineering has requested a revised Functional Servicing and Storm Water Management Report to determine the storm water runoff, sanitary flow and water supply demand. Prior to the enactment of Bills, the applicant is required to submit the required materials for review to the satisfaction of the Director, Engineering Review, Development Review and General Manager, Toronto Water.

Traffic Impact

The applicant submitted a Transportation Impact Study, prepared by GHD, dated November 15, 2016, and a Traffic Operations Assessment and Parking Study Update, prepared by LEA Consulting Ltd. dated November 20, 2024. Approximately 50 and 56 two-way vehicular trips are anticipated to be generated by the subject development during the AM and PM peak hour periods. The study concludes that projected site generated vehicular traffic volumes can be adequately accommodated on the area road network.

Transportation Review staff concur with the consultant's recommendation for the implementation of a northbound left turn lane. The design illustrates a proposed left turn lane from Queen's Plate Drive to the inbound (north) driveway into the site. Transportation Review staff concur with the conclusions of the transportation consultant.

Access, Vehicular and Bicycle Parking and Loading

The Official Plan states that development will locate and organize vehicle parking, vehicular access ramps, loading, and servicing to minimize their impact and improve the safety and attractiveness of the public realm by providing underground parking, removing existing surface parking, and integrating above-ground parking structures.

All vehicular access to the site would be consolidated into the proposed semi-circular driveway off Queen's Plate Drive. The driveway would include signage denoting one-way counterclockwise traffic flow. One Type G loading space would be located on the ground floor. The loading space is proposed to be located within the building.

The proposed vehicular and bicycle parking supply and loading, and the justification provided in the Transportation Impact Study are acceptable to Transportation Review staff.

Parkland

In accordance with Section 42 of the Planning Act, the owner is required to satisfy the parkland dedication requirement through cash-in-lieu. As per Toronto Municipal Code Chapter 415-29, the appraisal of the cash-in-lieu will be determined under the direction of the Executive Director, Corporate Real Estate Management. Additionally, the Toronto

Municipal Code Chapter 415-28, requires that the payment be made prior to the issuance of the first above-ground building permit for the land to be developed.

Tree Preservation

The application is subject to the provisions of the City of Toronto Municipal Code, Chapter 658, Ravine and Natural Feature Protection, and Chapter 813 Articles II (City Tree By-law) and III (Private Tree by-law). A Tree Inventory and Preservation Plan was prepared in support of this application by 7 Oaks Tree Care, dated January 12, 2022, and updated May 28, 2025.

There are four existing City-owned trees to be preserved, and eight new trees proposed on private property. A total of 37 ravine trees are proposed to be removed with 41 replacement trees required. The applicant is to submit a tree protection security deposit to ensure the protection of four City-owned trees. Trees on private property, protected by the Ravine & Natural Feature Protection By-law may not be removed, injured, or destroyed without written authorization from RNFP. This will be required through the Site Plan Control application process.

Community Services and Facilities

The Official Plan establishes and recognizes that the provision of and investment in community services and facilities supports healthy, safe, liveable, and accessible communities. Community services and facilities are the building blocks of our neighbourhoods, foundational to creating complete communities and include matters such as recreation, libraries, childcare, schools, public health, and human and cultural services. Providing for a full range of community services and facilities in areas that are inadequately serviced or experiencing growth is a shared responsibility.

Toronto Green Standard

The applicant is required to meet Tier 1 of the TGS version in force at the time of a complete application for Site Plan Control. The applicant is encouraged to achieve Tier 2 or higher to advance the City's objectives for resilience and to achieve net-zero emissions by 2040 or sooner.

CONTACT

Tyler Marr, Planner, Tel. No. 416-392-7591, E-mail: Tyler.Marr@toronto.ca

SIGNATURE

Alex Teixeira, MCIP, RPP
Director, Community Planning
Etobicoke York District

ATTACHMENTS

City of Toronto Information/Drawings

- Attachment 1: Application Data Sheet
- Attachment 2: Location Map
- Attachment 3: Official Plan Land Use Map
- Attachment 4: Existing Zoning By-law Map
- Attachment 5: Draft Zoning By-law Amendment

Applicant Submitted Drawings

- Attachment 6: Site Plan
- Attachment 7: Elevations
- Attachment 8: 3D Massing Model

Attachment 1: Application Data Sheet

Municipal Address: 750 Queen's Plate Drive Date Received: December 21, 2017

Application Number: 17 278424 WET 02 OZ

Application Type: Zoning By-law Amendment

Project Description: Zoning By-law Amendment application to permit the redevelopment of the northern portion of the lands at 750 Queen's Plate Drive (formerly 840 Queen's Plate Dr) with a 17-storey building containing 148 residential units and a gross floor area of 11,925 square metres. The proposal would provide 103 vehicular and 128 bicycle parking spaces below-grade. Associated Site Plan: 17 278431 WET 02 SA

Applicant	Agent	Architect	Owner
M. Behar Planning & Design Limited	M. Behar Planning & Design Limited	Icon Architects	Frank Cirillo

EXISTING PLANNING CONTROLS

Official Plan Designation: Apartment Neighbourhoods Site Specific Provision: N/A

Zoning: R6, Former City of Etobicoke Zoning By-law 11, 737 Heritage Designation: N/A

Height Limit: 17-storeys Site Plan Control Area: Yes

PROJECT INFORMATION

Site Area (sq m): 1,979 Frontage (m): 96 Depth (m): 48

Building Data	Existing	Retained	Proposed	Total
Ground Floor Area (sq m):	157		1,017	1,017
Residential GFA (sq m):	0		11,925	11,925
Non-Residential GFA (sq m):	157			

Total GFA (sq m):	157	11,925	11,925
Height - Storeys:	1	17	17
Height - Metres:	5	55	55

Lot Coverage Ratio (%) : 51.37 Floor Space Index: 6.03

Floor Area Breakdown	Above Grade (sq m)	Below Grade (sq m)
Residential GFA:	11,925	0
Retail GFA:	0	0
Office GFA:	0	0
Industrial GFA:	0	0
Institutional/Other GFA:	0	0

Residential Units by Tenure	Existing	Retained	Proposed	Total
Rental:	0	0	0	0
Freehold:	0	0	0	0
Condominium:	0	0	148	148
Other:	0	0	0	0
Total Units:	0	0	148	148

Total Residential Units by Size

	Rooms	Bachelor	1 Bedroom	2 Bedroom	3+ Bedroom
Retained:	0	0	0	0	0
Proposed:	0	0	71	70	7
Total Units:	0	0	71	70	7

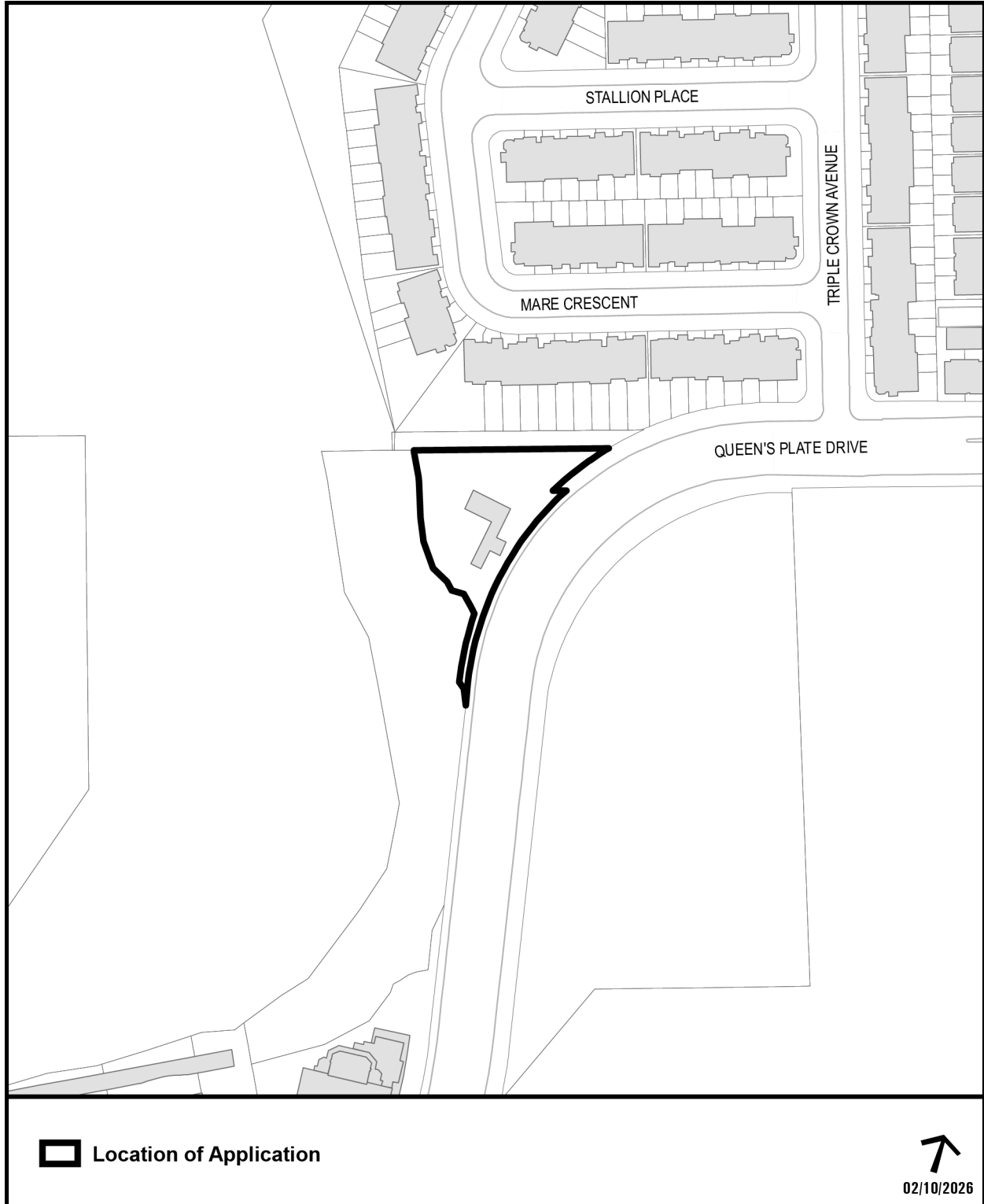
Parking and Loading

Parking Spaces: 103 Bicycle Parking Spaces: 125 Loading Docks: 1

CONTACT:

Tyler Marr, Planner
416-392-7591
Tyler.Marr@toronto.ca

Attachment 2: Location Map



Attachment 3: Official Plan Land Use Map




Official Plan Land Use Map # 13

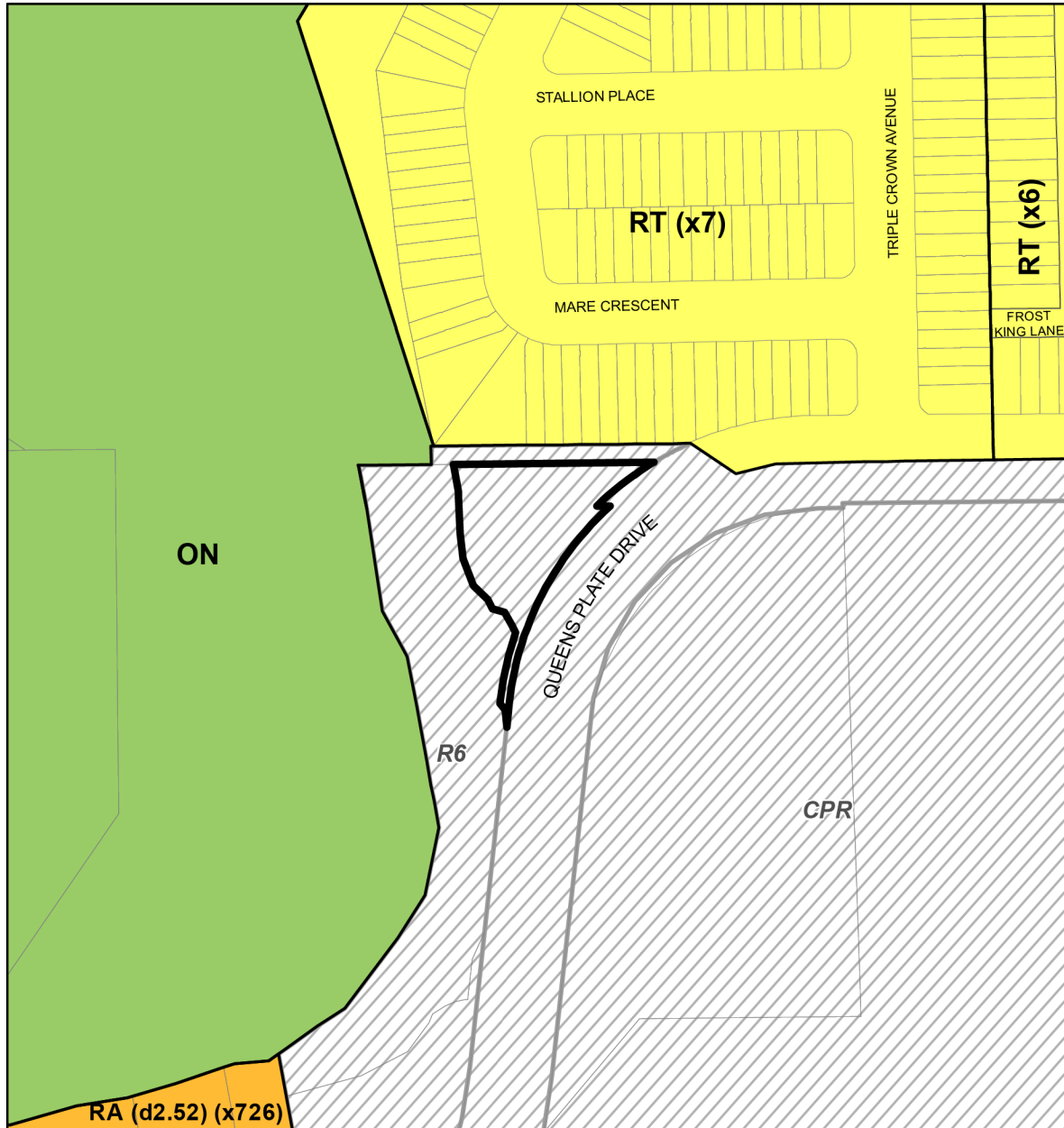
750 Queens Plate Drive

File # 17 278424 WET 02 0Z

-  Location of Application
-  Neighbourhoods
-  Apartment Neighbourhoods
-  Natural Areas
-  Mixed Use Areas


Not to Scale
Extracted: 02/10/2026

Attachment 4: Existing Zoning By-law Map







Zoning By-law 569-2013

750 Queens Plate Drive

File # 17 278424 WET 02 0Z

-  Location of Application
-  RT Residential Townhouse
-  RA Residential Apartment
-  ON Open Space Natural

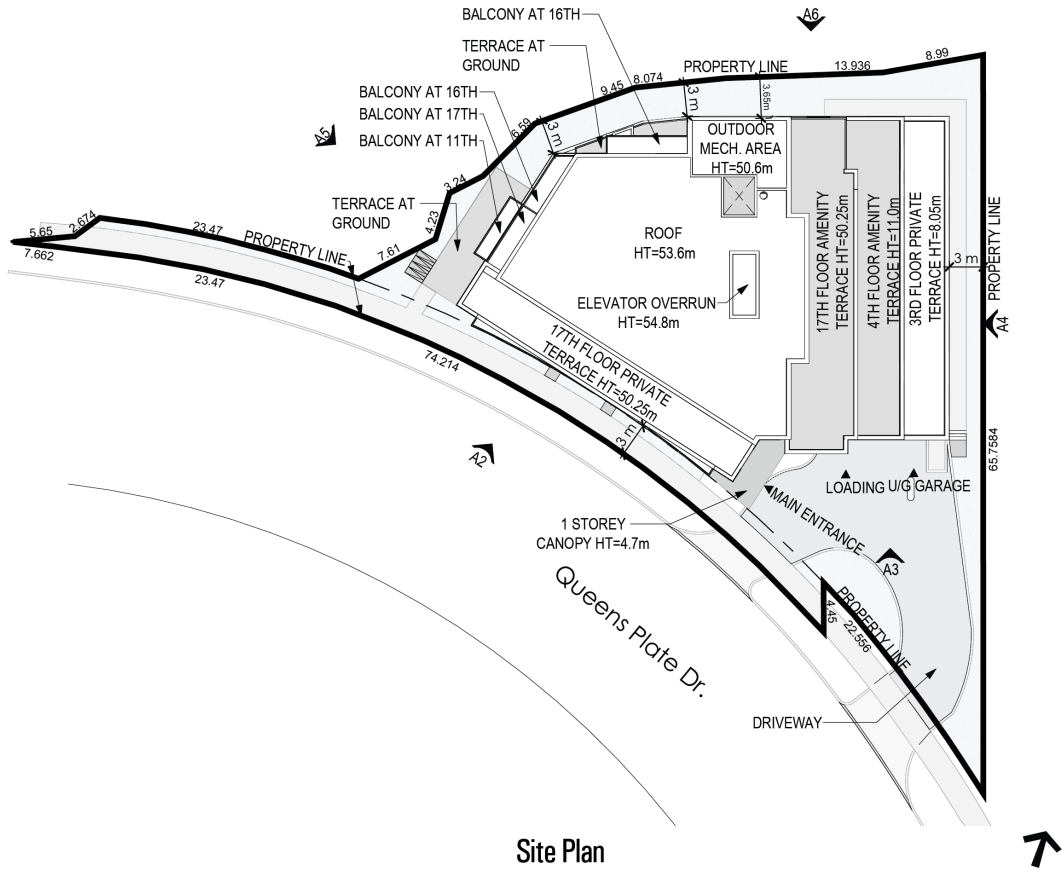
-  See Former City of Etobicoke By-law No. 11,737
-  R6 Sixth Density Residential Zone
-  CPR Regional Planned Commercial Zone


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 Extracted: 02/10/2026

Attachment 5: Draft Zoning By-law Amendment

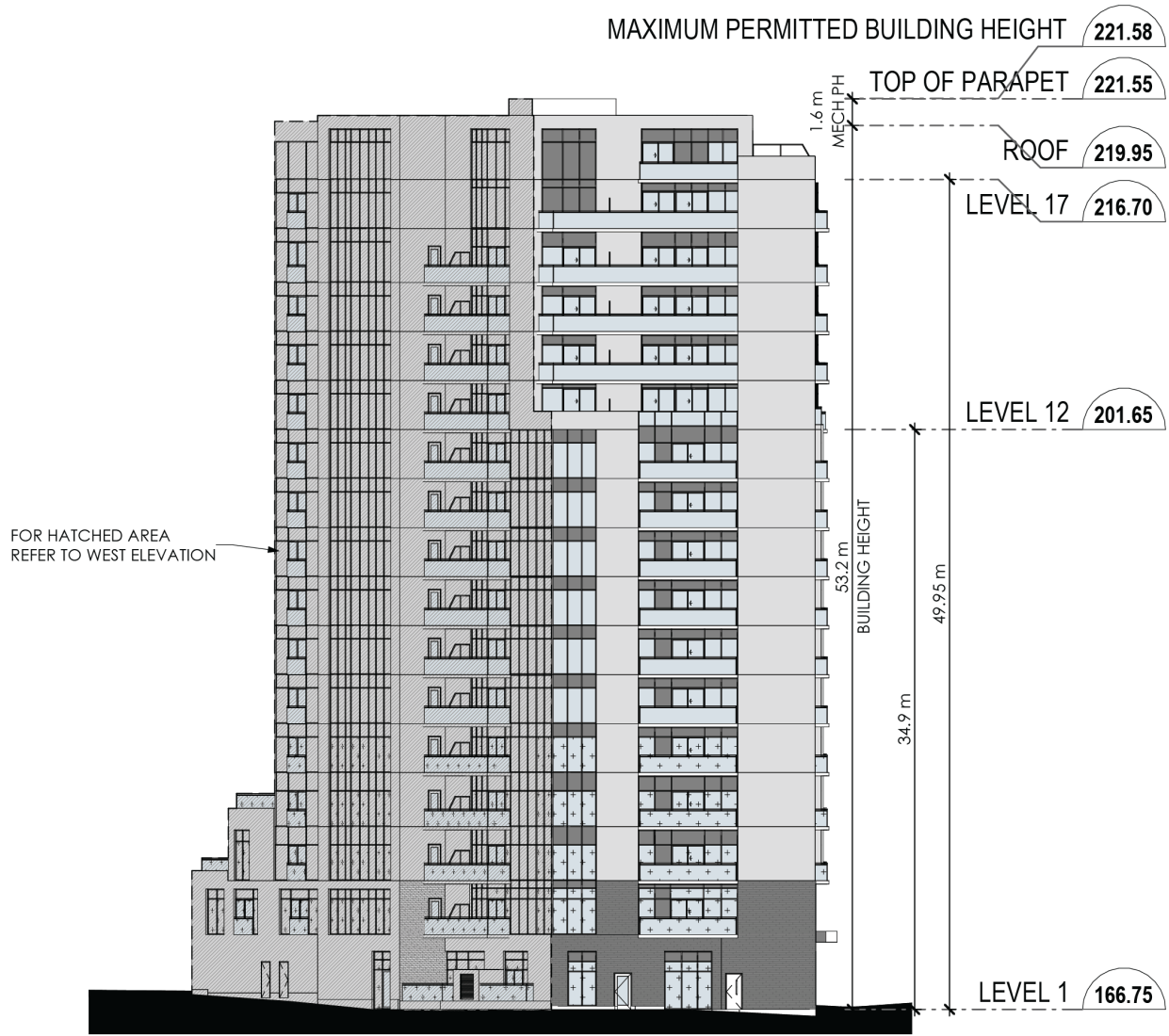
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Attachment 6: Site Plan

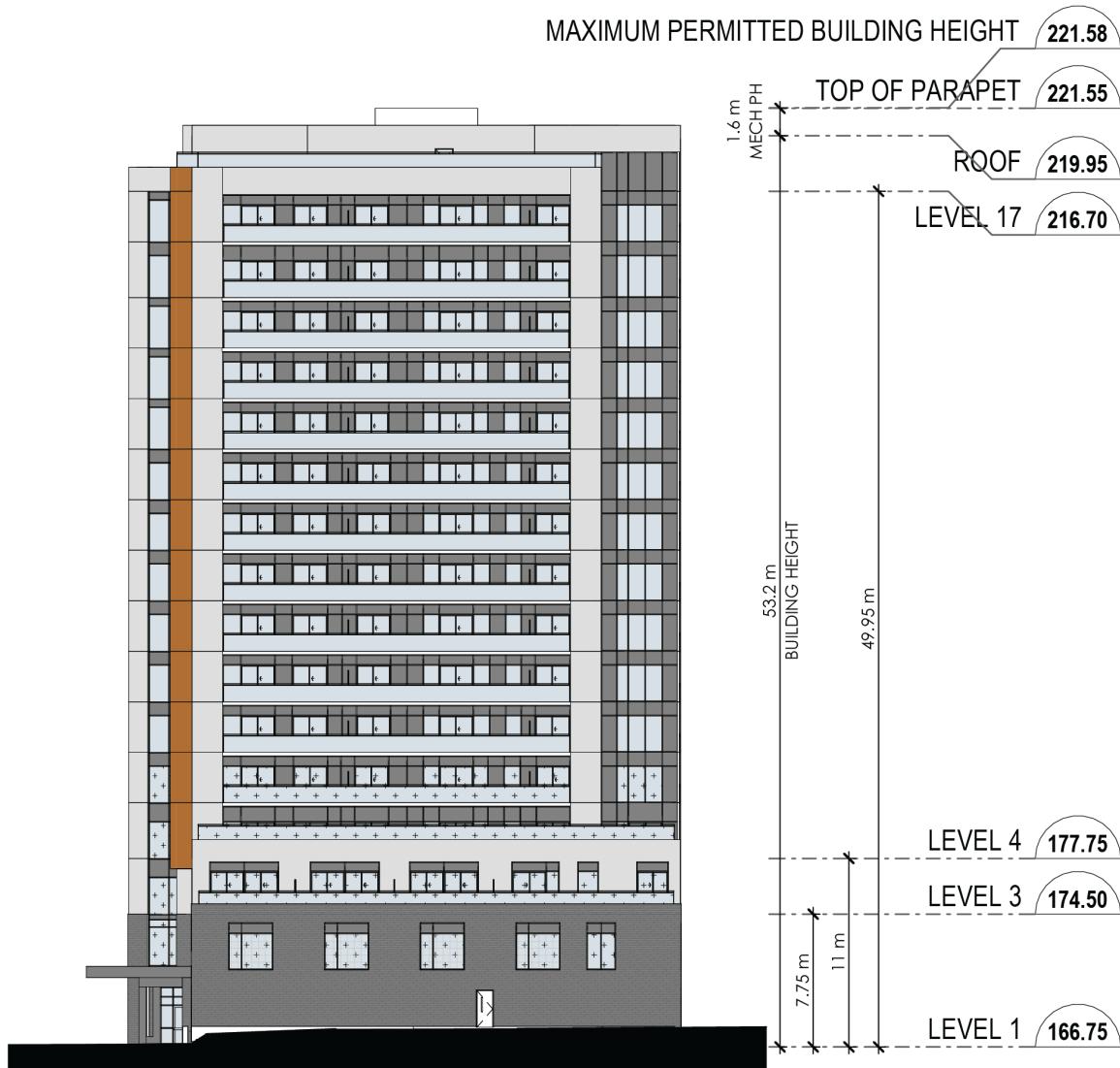


Site Plan

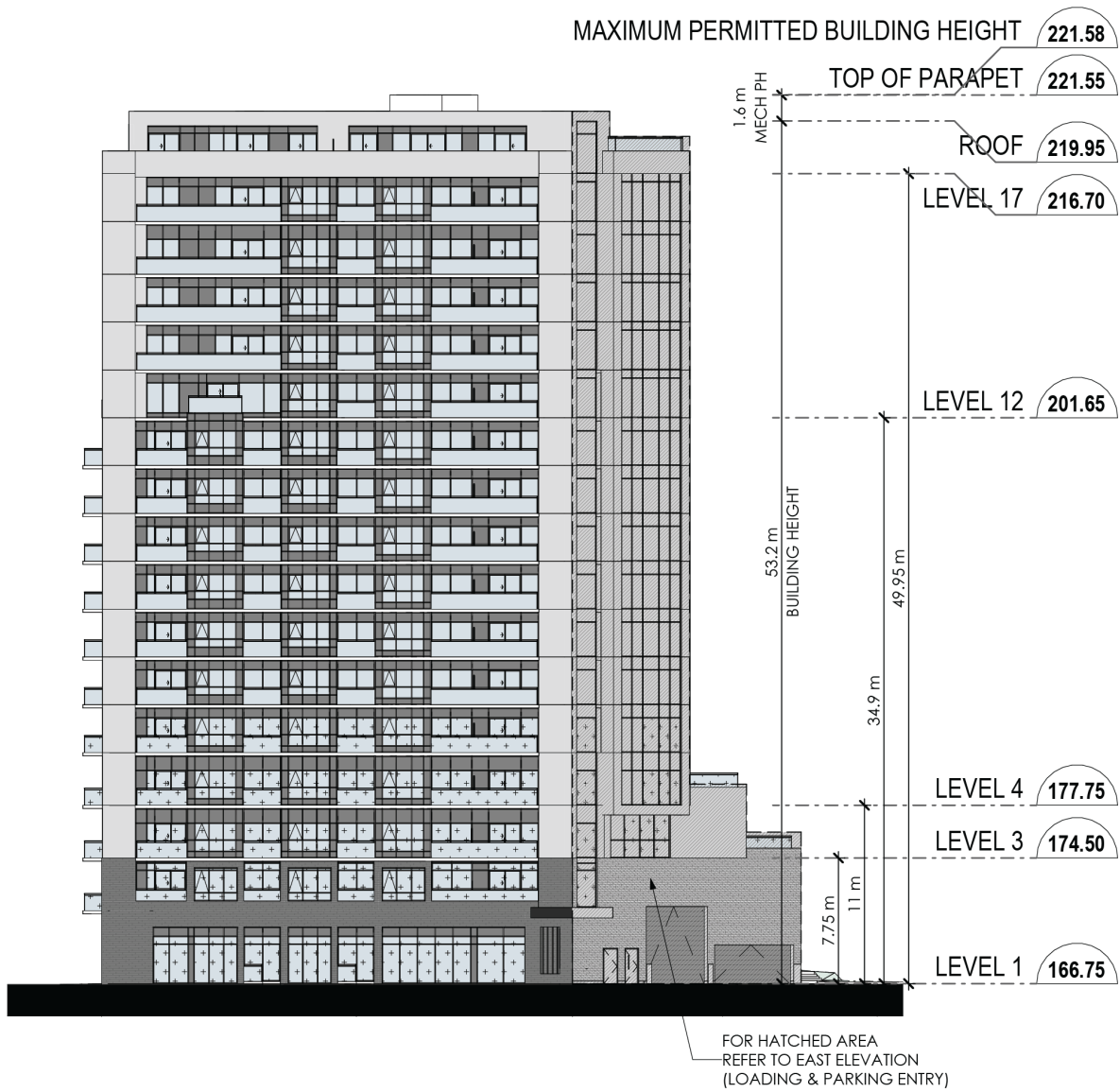
Attachment 7: Elevations



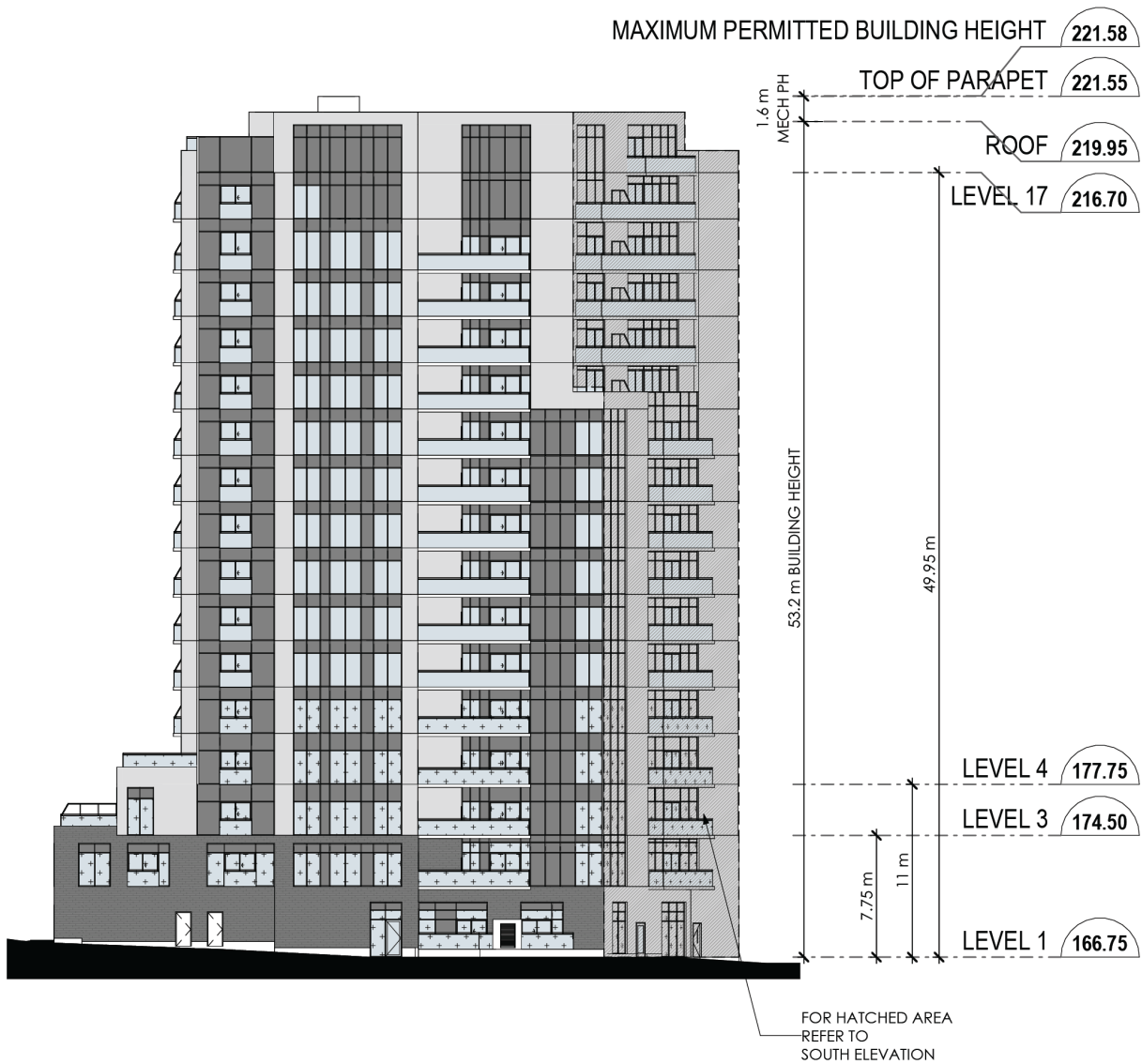
South Elevation



North Elevation

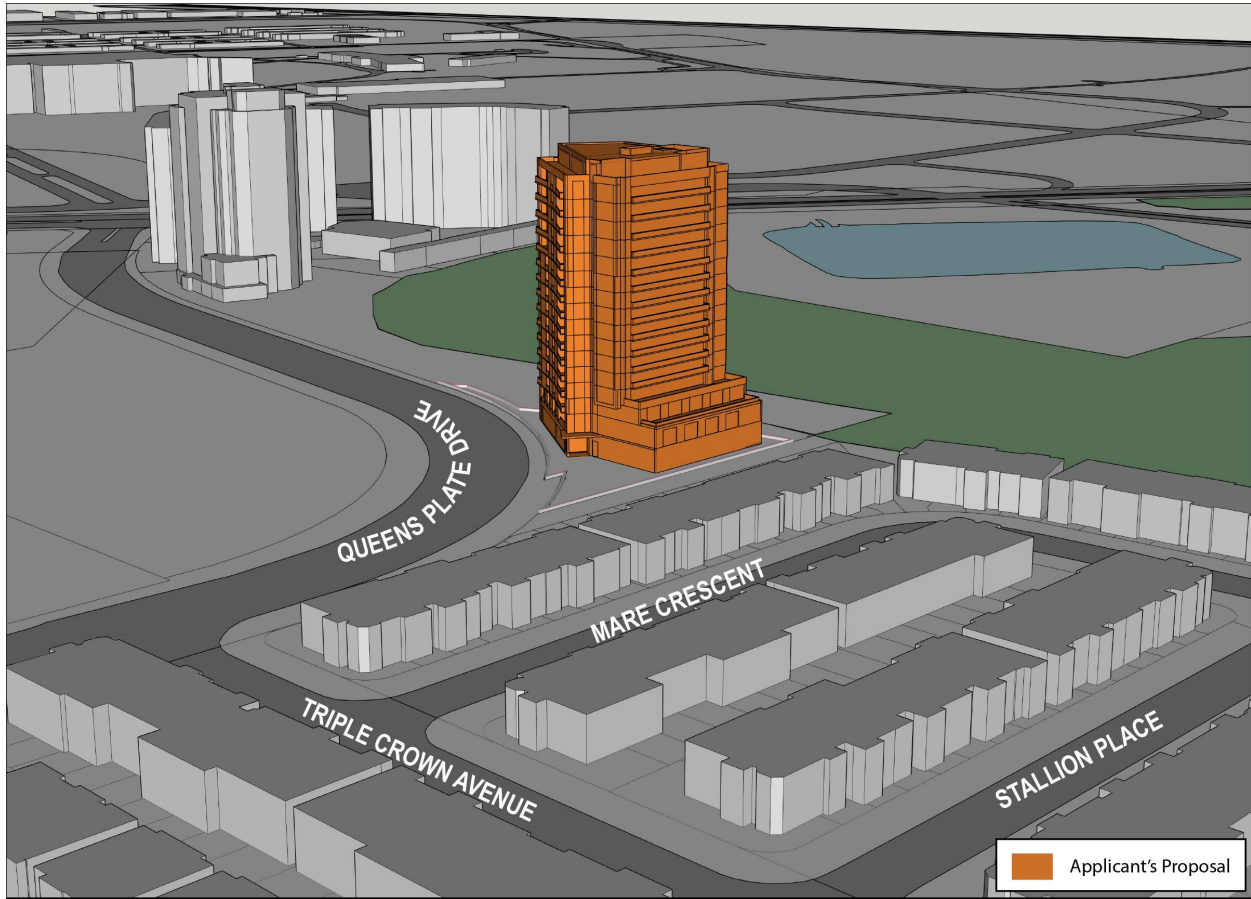


East Elevation



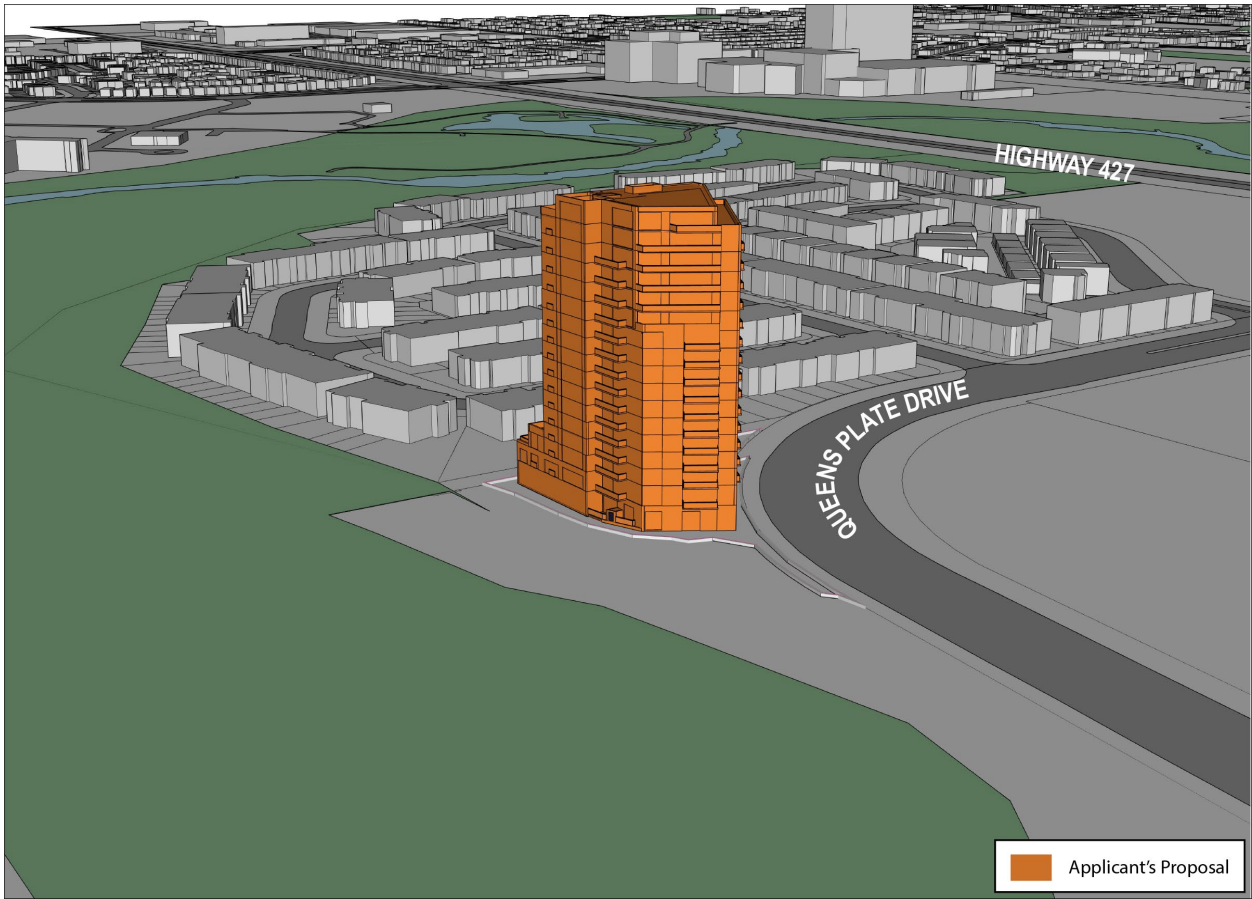
West Elevation

Attachment 8: 3D Massing Model



View of Applicant's Proposal Looking Southwest

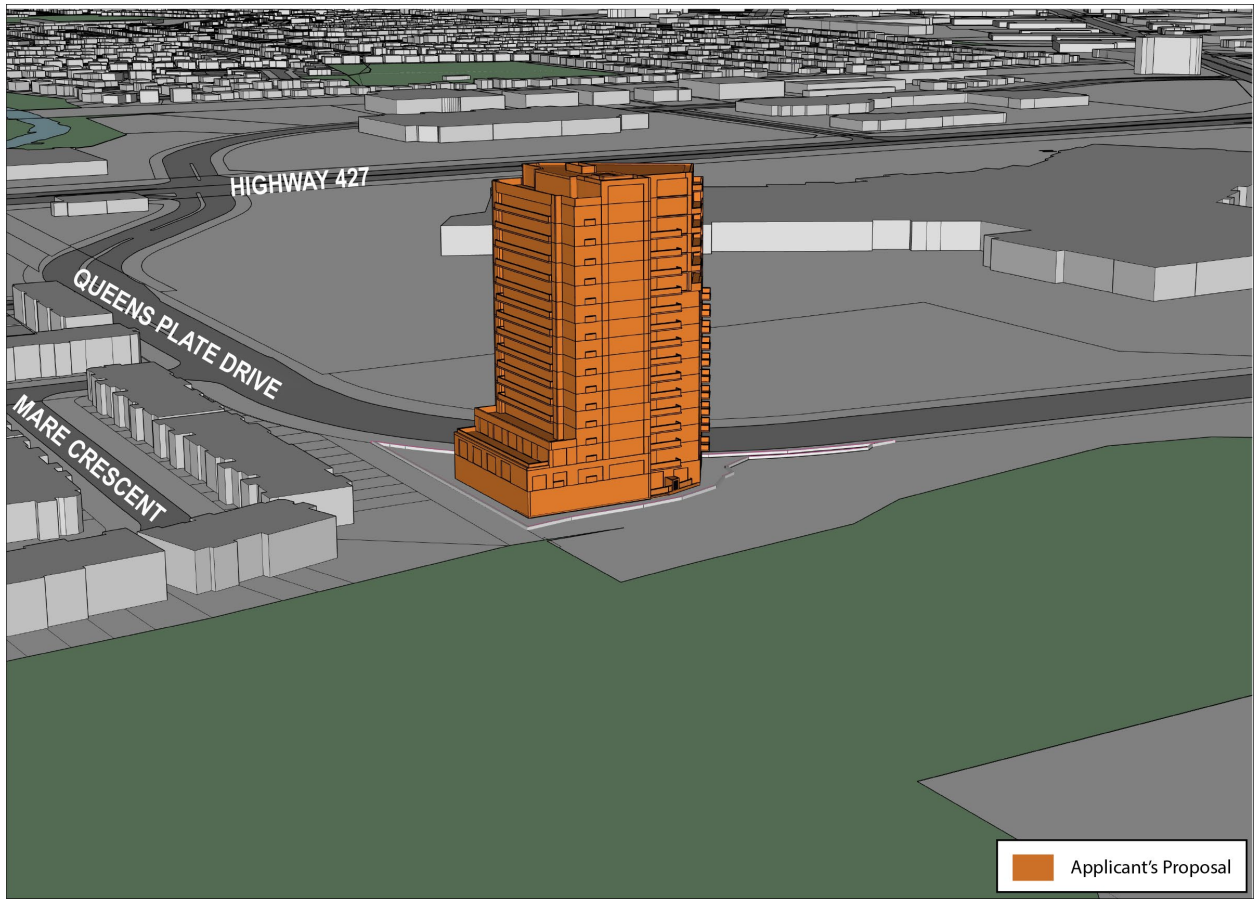

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View of Applicant's Proposal Looking Northeast



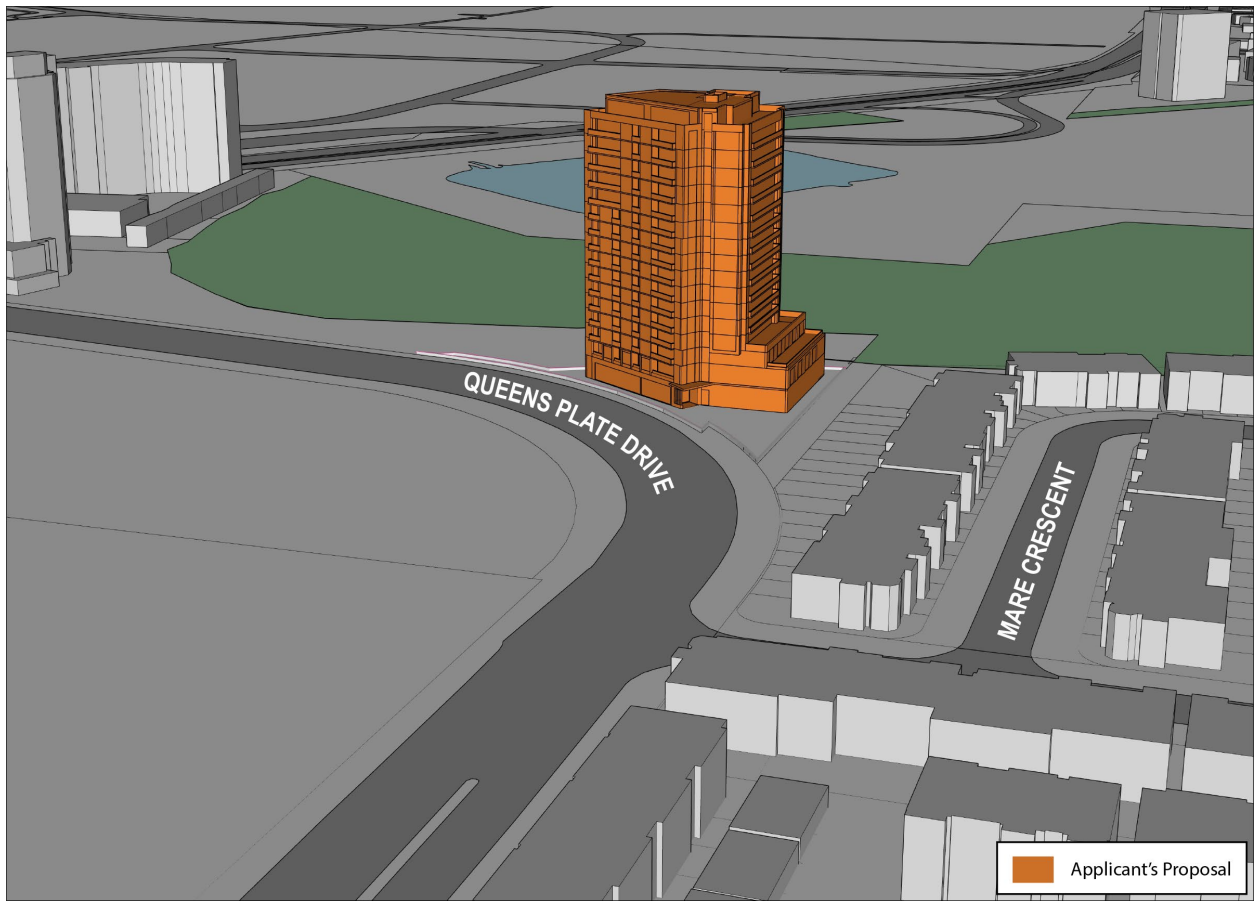
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View of Applicant's Proposal Looking East



03/13/2026



View of Applicant's Proposal Looking Southwest

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