

Authority: Etobicoke York Community Council  
Item [-], as adopted by City of Toronto Council on [-]

## CITY OF TORONTO

### BY-LAW [XXXX-XX]

#### To amend Zoning By-law 569-2013, as amended, with respect to the lands municipally known in the year 2025 as 750 Queen's Plate.

Whereas Council of the City of Toronto has the authority pursuant to Section 34 of the Planning Act, R.S.O. 1990, c. P. 13, as amended, to pass this By-law; and

Whereas Council of the City of Toronto has provided adequate information to the public and has held at least one public meeting in accordance with the Planning Act, as amended; and

The Council of the City of Toronto enacts:

1. The lands subject to this By-law are outlined by heavy black lines on Diagram 1 attached to this By-law.
2. The words highlighted in bold type in this By-law have the meaning provided in Zoning By-law 569-2013, as amended, Chapter 800 Definitions.
3. Zoning By-law 569-2013, as amended, is further amended by adding the lands subject to this By-law to the Zoning By-law Map in Section 990.10, and applying the following zone label to these lands: RA (297) as shown on Diagram 2 attached to this By-law.
4. Zoning By-law 569-2013, as amended, is further amended by adding the lands subject to this By-law to the Policy Areas Overlay Map in Article 995.10.1, and applying no value.
5. Zoning By-law 569 -2013, as amended, is further amended by adding the lands to the Height Overlay Map in Article 995.20.1, and applying no value.
6. Zoning By-law 569 -2013, as amended, is further amended by adding the lands to the Lot Coverage Overlay Map in Article 995.30.1, with a lot coverage label of 52 as shown on Diagram 4 attached to this By-law.
7. Zoning By-law 569-2013, as amended, is further amended by adding Article 900.7.10 Exception Number 297 so that it reads:

(297) Exception RA (x297)

The lands, or a portion thereof as noted below, are subject to the following Site Specific Provisions, Prevailing By-laws and Prevailing Sections:

Site Specific Provisions:

- (A) On lands municipally known as 750 Queen's Plate, if the requirements of By-law XXXX are complied with, a **building** or **structure** may be constructed, used or enlarged in compliance with Regulations (B) to (V) below;
- (B) Despite regulation 15.5.40.10(1), the height of a **building** or **structure** is the distance between the Canadian Geodetic Datum of 166.75, and the highest point of the **building** or **structure**;
- (C) Despite regulations 15.5.40.10(2) to (6) and 15.10.40.10(1), the permitted maximum height of a **building** or **structure** is the number in metres following the letters "HT" as shown on Diagram 3 of By-law [Clerks to insert By-law number];
- (D) Despite regulation 15.10.40.10(2), the permitted maximum number of **storeys** is the numerical value following the letters "ST" on Diagram 3 of By-law [Clerks to insert By-law number];
- (E) Despite regulation 15.10.40.40(1), the permitted maximum **gross floor area** of all **buildings** and **structures** is 15,000 square metres;
- (F) Despite Clause 15.10.40.70, the required minimum **building setbacks** are shown in metres on Diagram 3 of By-law [Clerks to insert By-law number];
- (G) Despite regulations 15.5.40.50 (1) and (2) and (F) above, a platform may encroach into the minimum required **building setbacks** and **main wall** separation distances by a maximum of 2.5 metres;
- (H) Despite Regulations 15.5.40.60(1), (2) and (3), and (F) and (G) above, the following elements may encroach into the required minimum building setbacks and main wall separation distances as follows:
  - (i) balconies, by a maximum of 2.0 metres;
  - (ii) exterior stairs, access ramps and elevating devices, by a maximum of 2.0 metres;
  - (iii) architectural features, such as a pilaster, decorative column, cornice, sill, belt course, or chimney breast, by a maximum of 1.5 metres;
  - (iv) dividers and green roof elements, by a maximum of 1.0 metre;
  - (v) dividers at grade, by a maximum of 3.0 metres;
  - (vi) shade structures and wind mitigation structures, by a maximum of 5.0 metres; and
  - (vii) Structures, enclosures, elements and equipment related to mechanical and building operations and maintenance such as access ladders, platforms, vents, pipes, window washing equipment, and telecommunications equipment, by a maximum of

2.0 metres;

- (I) Despite Regulations 15.10.40.80(1) and 15.10.40.80(2), if a building has main walls from which a line projected outward at a right angle from one of the main walls intercepts another main wall of the same building, the required minimum above-ground separation distance between those main walls, inset balconies, and recessed building entrances, is 2.2 metres if there is an opening on one or both of the main walls.
- (J) Despite 15.5.50.10 (1), a minimum 34 percent of landscaping shall be provided on site, of which, a minimum of 54 percent shall be provided as soft landscaping.
- (K) Despite 15.5.50.10.(2), a minimum 0m wide landscaping strip shall be permitted.
- (L) Despite regulation 15.5.50.10(1), a **lot** in the Residential Apartment Zone category must have:
  - (i) a minimum of 673 square metres of the area of the **lot** for **landscaping**; and
  - (ii) a minimum of 360 square metres of the **landscaping** area required in (i) above must be **soft landscaping**;
- (M) Despite 15.5.100.1(1) (B), the maximum driveway width within 10m of a street line shall be 22 meters.
- (N) Despite regulation 200.15.1(1), an accessible **parking space** must have the following minimum dimensions:
  - (i) length of 5.6 metres;
  - (ii) width of 3.4 metres; and
  - (iii) vertical clearance of 2.1 metres;
- (O) Despite regulations 200.15.1(3), the entire length of an accessible **parking space** must be adjacent to a 1.5 metre wide shared access aisle or path on one side of the accessible **parking space**;
- (P) Despite regulation 200.15.1(4), accessible **parking spaces** must be located no more than 15 metres from a barrier free:
  - (i) entrance to a **building** entrance to a **building**;
  - (ii) passenger elevator that provides access to the first **storey** of a **building**; and
  - (iii) the shortest route between the required entrances in (i) and (ii);

- (Q) The provision of **dwelling units** is subject to the following;
- (i) the permitted maximum number of **dwelling units** is 150 **dwelling units**;
  - (ii) an overall minimum of 48 percent of **dwelling units** must have two or more bedrooms;
  - (iii) an overall minimum of 4 percent of **dwelling units** must have three or more bedrooms; and
  - (iv) any **dwelling units** with three or more bedrooms provided to satisfy (iii) above are not included in the provision required by (ii) above;
- (R) Despite regulation 200.5.1.10 (14) (A), a minimum of 20 percent of residential parking shall maintain an energized outlet for electric vehicle charging.
- (S) Despite regulation 200.5.1.10 (14) (B), zero level 2 vehicle charging stations are required.
- (T) Despite regulation 200.15.10.10 (1) (C), a minimum of 5 accessible parking spaces shall be required.
- (U) Despite regulation 230.5.1.10 (9) (B) (iii), 50 percent of the area of the first level below grade is not occupied by bicycle parking.
- (V) Despite regulation 230.20.2.20 (2), a short-term bicycle parking space shall be no more than 45 meters from a pedestrian entrance to the apartment building.
- (W) Despite regulation 230.5.1.10 (12), a bike maintenance facility shall have a minimum dimensions of 1.52m x 2.59m.

Prevailing By-laws and Prevailing Sections: (None Apply)

8. Despite any severance, partition or division of the lands, the provisions of this By-law shall apply as if no severance, partition or division occurred.

Enacted and passed on [Clerks to insert date].

[full name],  
Speaker

[full name],  
City Clerk

(Seal of the City)

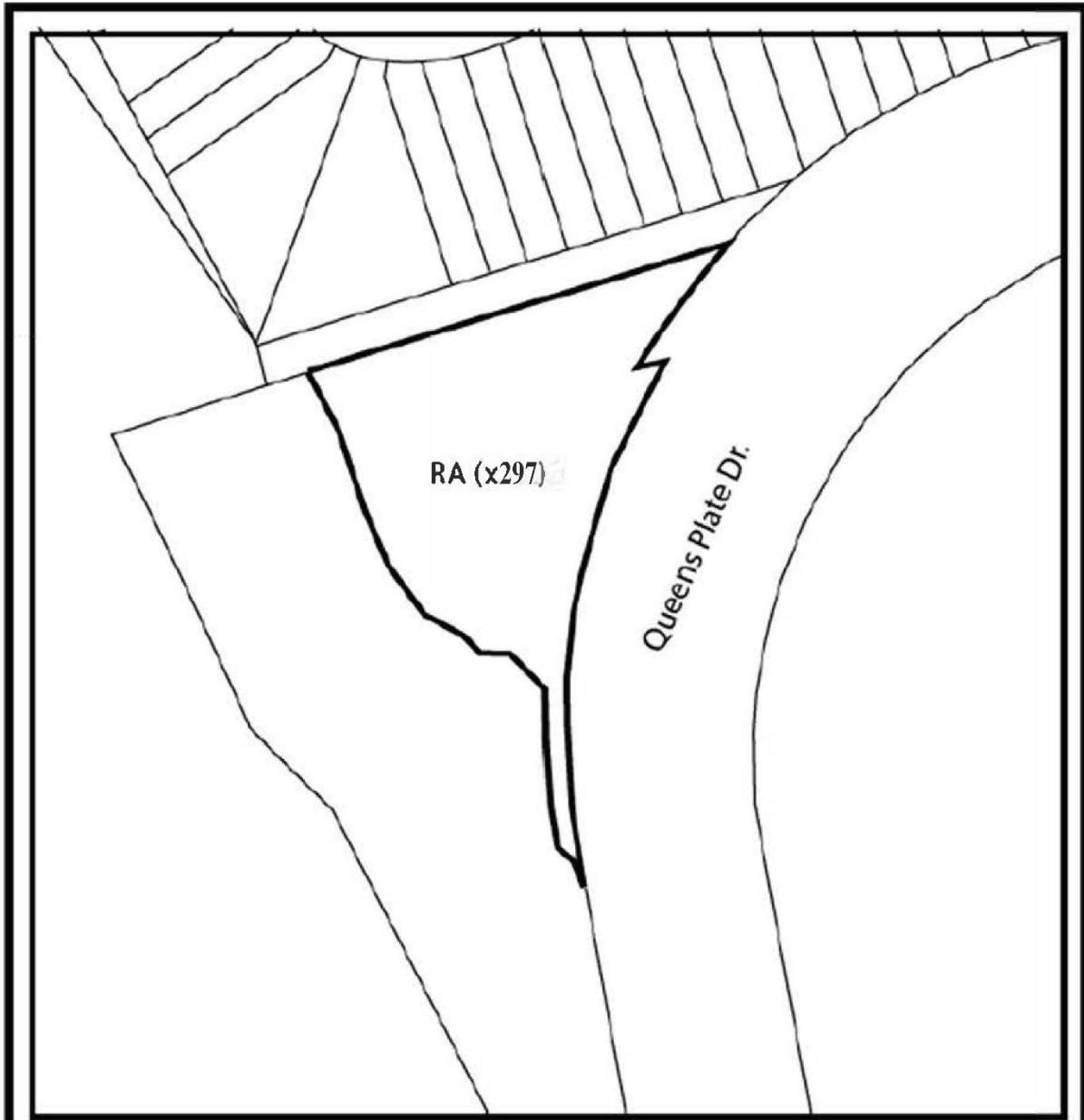


 **TORONTO**  
Diagram 1

750 Queens Plate Drive  
File # 17 278424 WET 02 OZ



City of Toronto By-law 569-2013  
Not to Scale



 **TORONTO**  
Diagram 2

750 Queens Plate Drive  
File # 17 278424 WET 02 OZ



City of Toronto By-law 569-2013  
Not to Scale



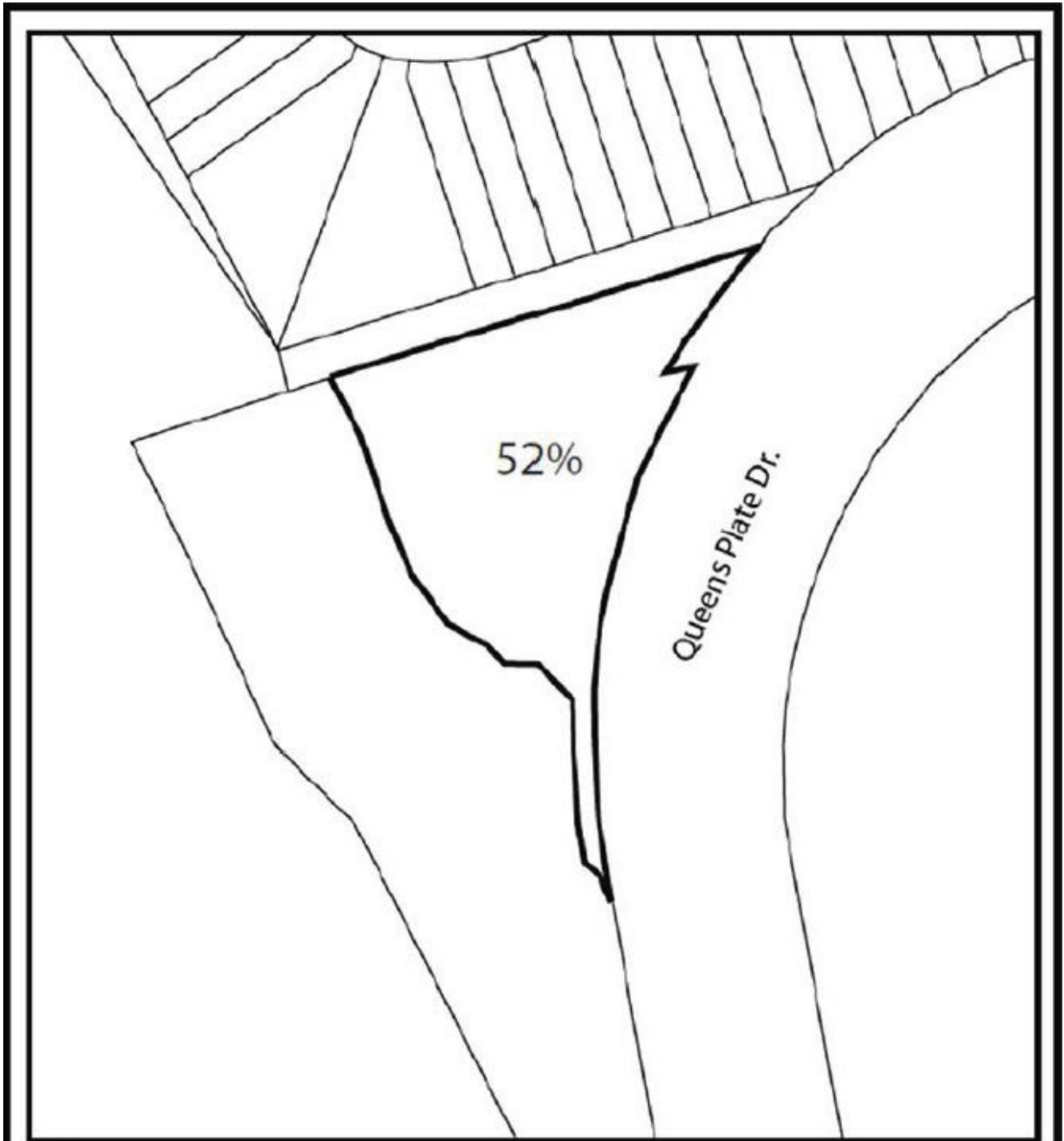


Diagram 4

750 Queens Plate Drive  
File # 17 278424 WET 02 OZ

