

Request for a Fence Exemption to the Toronto Municipal Code, Chapter 447 - 50 Northland Avenue

Date: April 23, 2026

To: Etobicoke York Community Council

From: District Manager, Municipal Licensing and Standards, West District

Wards: 5 York South-Weston

SUMMARY

This staff report concerns a matter for which the Etobicoke York Community Council has delegated authority from City Council to make a final decision.

This report responds to an application submitted by the property owner of 50 Northland Avenue requesting approval for a site-specific Fence Exemption under Section 447-1.2B (1) of Toronto Municipal Code Chapter 447 – Fences.

The purpose of this report is to advise Community Council regarding an application by the property owner of 50 Northland Avenue for a site-specific Fence Exemption, pursuant to Section 447-1.2B (1) of Toronto Municipal Code, Chapter 447 – Fences.

The property owner is seeking Community Council's permission to maintain a black aluminum post and composite board fence on the northwest side of the front yard of the property, measuring approximately:

Fence panel height: 1.83 metres

Extended post height: 0.30 metres

Total fence height: 2.13 metres

The 2.13 metre fence height applies only to the last three panels located on the private portion of the property, measured from the front wall of the dwelling.

RECOMMENDATIONS

The District Manager, Municipal Licensing and Standards, West District recommends that Etobicoke York Community Council:

1. Refuse to grant the application for exemption by the owner of 50 Northland Avenue because the fence fails to comply with the provisions of Toronto Municipal Code, Chapter 447 Fences.

FINANCIAL IMPACT

There is no financial impact to the City of Toronto

DECISION HISTORY

There are no previous Fence Exemption decisions for this property.

COMMENTS

The subject property, 50 Northland Avenue, is a semi-detached residential dwelling.

A complaint from a member of the public initiated this application.

The Municipal Licensing and Standards Division inspected the subject property on October 2, 2025, and a Notice of Violation was issued. The owner of the property submitted a Fence Exemption application on January 14, 2026.

The property owner is seeking relief from the by-law requirements to permit the existing front yard fence to exceed the maximum permitted height, citing safety concerns.

The existing fence is in contravention of Toronto Municipal Code, Chapter 447-1.2B (1) Fence Height Requirements:

B. Fence height.

(1) No fence described in the following Table shall, when measured at any point along its length from the average grade level measured perpendicular to and one metre away on either side of the fence, exceed the height set out in the Table for the fence.

GENERAL LOCATION	SPECIFIC LOCATION	CONSTRUCTION and DEFICIENCY	BY-LAW SECTION and REQUIREMENT*
Front Yard	Northwest	Black aluminum post and composite board fence in the front yard 2.13 metres.	Chapter 447 Section 447-1.2 B (1) Fence in a front yard; and not within 2.4 metres of a lot line abutting a public highway (public highway does not include a public lane exceeds 2.0 metres in height
Front Yard	Northwest	Black aluminum post and composite board fence in the front yard 2.13 metres.	Chapter 447 Section 447-1.2 B (1) A fence in a front yard and within 2.4 m public highway exceeds 1.2 metres in height.

CONTACT

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SIGNATURE

Brian Nogueira
District Manager, West District
Municipal Licensing and Standards

ATTACHMENTS

Attachment 1: iView Map illustrating the property located at 50 Northland Avenue, City of Toronto.

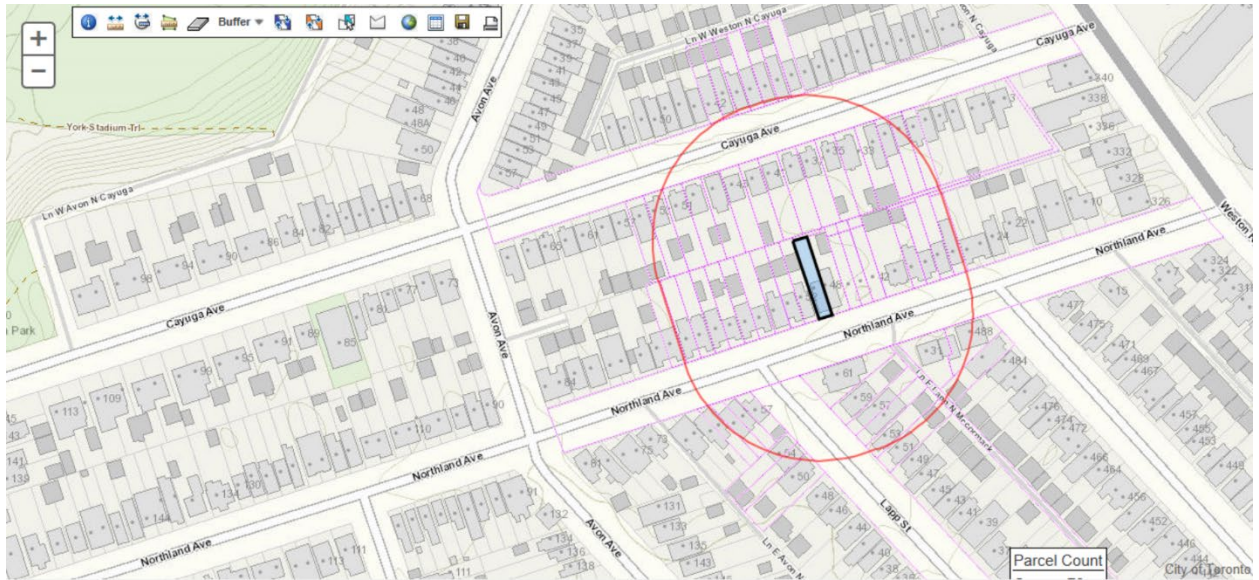
Attachment 2: Northwest elevation showing a full-length view of the fence extending from the sidewalk to the rear of the property. Photograph taken by the attending officer at 50 Northland Avenue, City of Toronto.

Attachment 3: Northwest elevation showing three of five panels of a black aluminum post and composite board fence, extending from the front wall of the dwelling and located on the private portion of the property. Photograph taken by the attending officer at 50 Northland Avenue, City of Toronto.

Attachment 4: City of Toronto iView satellite map of the property at 50 Northland Avenue, illustrating the front yard boundary between private property and City property, as delineated by the pink line.

Attachment 5: Northwest elevation showing the first two of five panels of a black aluminum post and composite board fence, extending from the City sidewalk to the private property line. Photograph taken by the attending officer at 50 Northland Avenue, City of Toronto.

Attachment 1: iView Map illustrating the property located at 50 Northland Avenue, City of Toronto.



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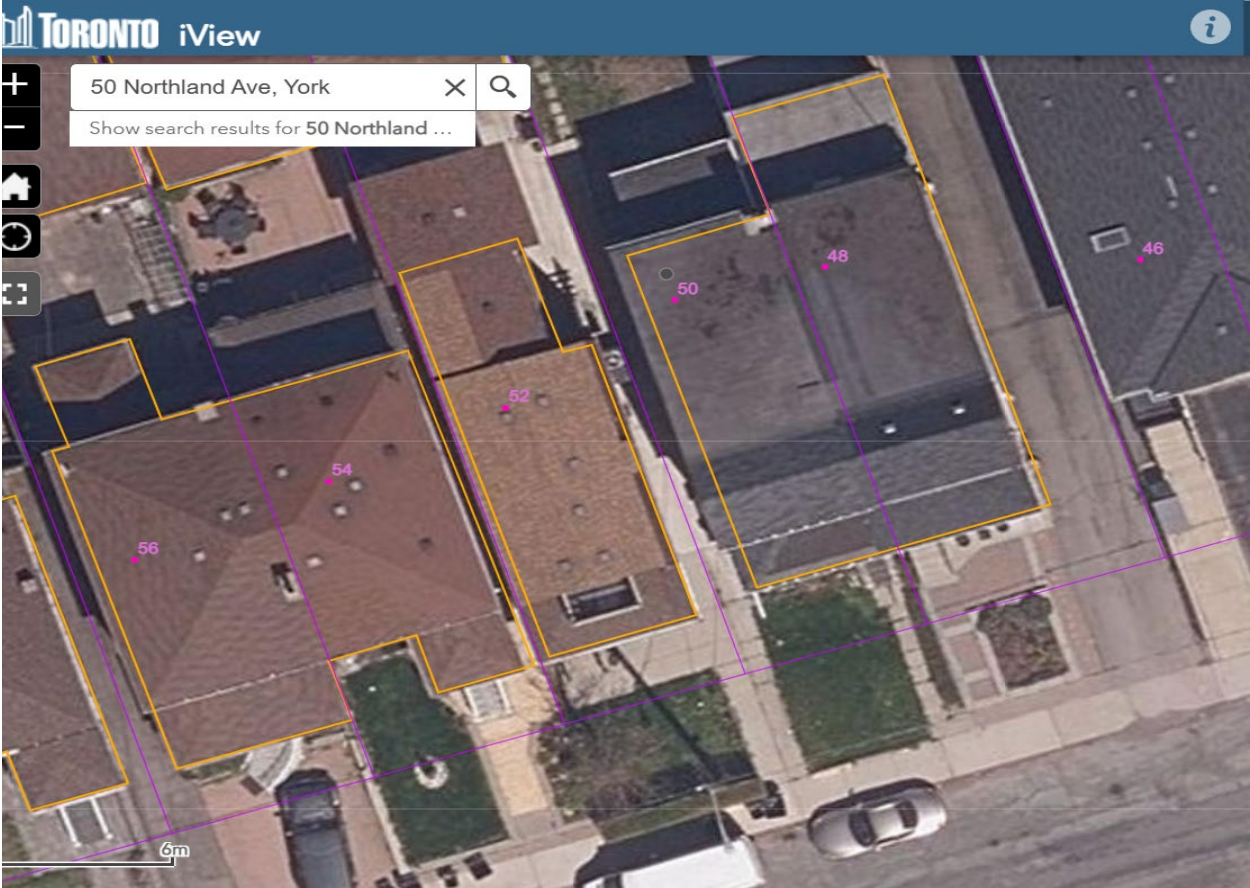


Attachment 3: Northwest elevation showing three of five panels of a black aluminum post and composite board fence, extending from the front wall of the dwelling and located on the private portion of the property. Photograph taken by the attending officer at 50 Northland Avenue, City of Toronto.



Located on Private Property

Attachment 4: City of Toronto iView satellite map of the property at 50 Northland Avenue, illustrating the front yard boundary between private property and City property, as delineated by the pink line.



Attachment 5: Northwest elevation showing the first two of five panels of a black aluminum post and composite board fence, extending from the City sidewalk to the private property line. Photograph taken by the attending officer at 50 Northland Avenue, City of Toronto.



Located on City of Toronto Right-of-Way