

April 13, 2017

NOTICE OF DECISIONS
(Section 53 and 54 of the Planning Act)

PLEASE NOTE:

Applications Deferred *sine die*:

- Item 17. 104 Zaph Ave., A0042/17SC
- Item 25. 1 Kingsbury Cres., A0058/17SC

Thursday, April 13, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0045/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	FARHANA CHOUDHURY ROBB CHOWDHURY	Ward:	Scarborough Southwest (35)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	116 CLETA DR	Community:	Kennedy Park Community
Legal Description:	PLAN 3507 PT LOT 39		

Notice was given and the application considered on Thursday, April 13, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

This application is for consent to sever the land into two lots, as shown on the attached Site Plan. The lot to be conveyed (Part 2) and the retained lot (Part 1) would have a frontage of 10.52 metres and a lot area of 586.7 square metres. The owner is proposing to demolish the existing house and build two new detached houses. In order to facilitate the proposed development, relief from the provision of the Zoning By-law was requested, as outlined in A0235/16SC and A0236/16SC.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

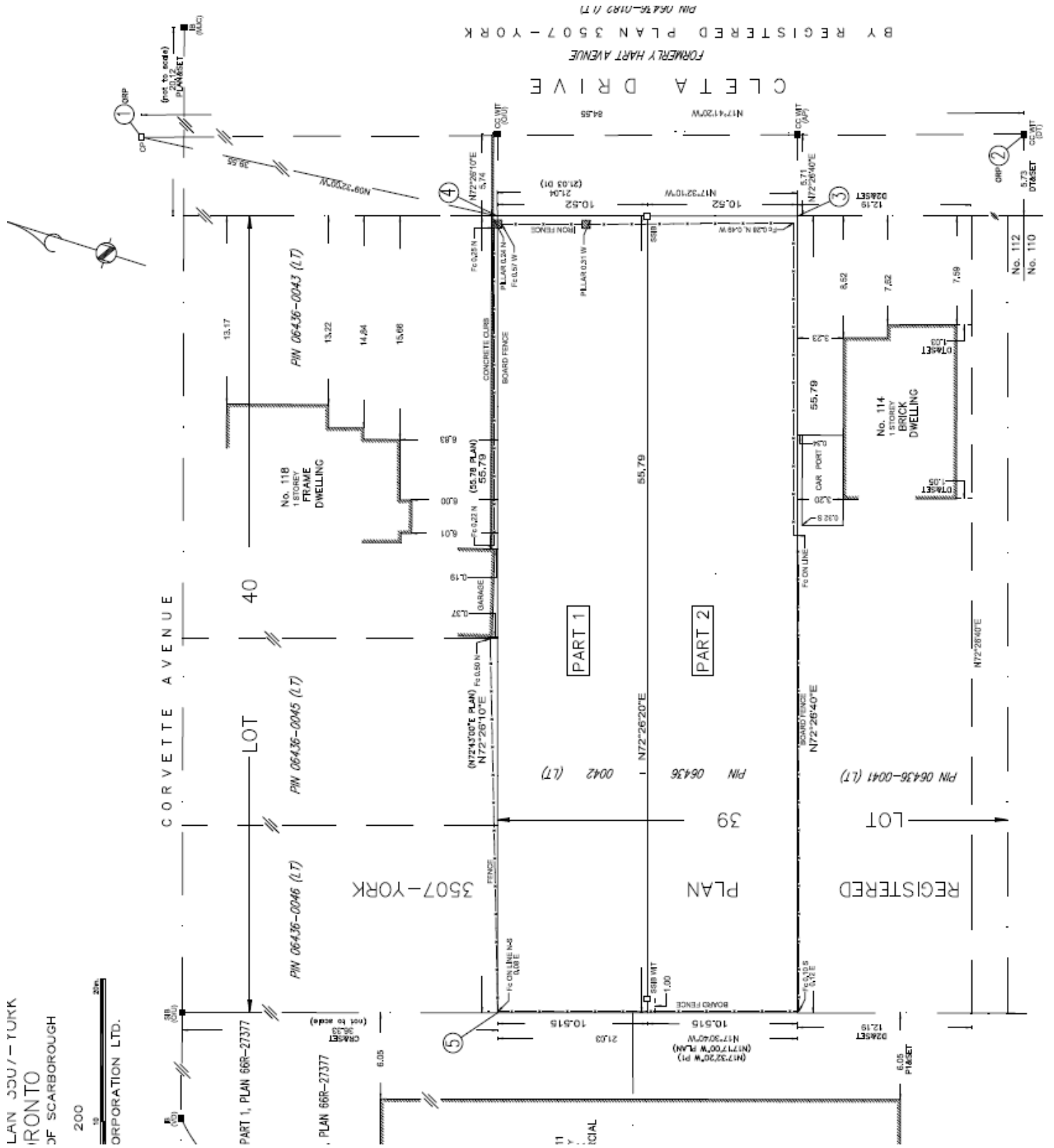
The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to create new lots as shown on the attached lot division plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys,

at 416 392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca

- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416 392-8338; jhouse@toronto.ca, or his designate, Virgil Gomes at 416 338-5033; vgomes@toronto.ca
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- (5)
 - a. The applicant shall submit to Urban Forestry a complete application to Injure or Destroy Trees for privately owned trees, as per City of Toronto Municipal Code Chapter 813, Article III.
 - b. The applicant shall submit to Urban Forestry a complete application to Injure or Destroy Trees for City owned trees, as per City of Toronto Municipal Code Chapter 813, Article II.
 - c. The applicant shall submit to Urban Forestry a refundable Tree Protection Security Deposit in the amount of \$583.00 in the form of renewable letter of credit or other form acceptable to the General Manager of Parks, Forestry and Recreation to guarantee the protection of the City owned trees to be retained fronting the site or adjacent to the site, as per the City's Tree Protection Policy and Specifications for Construction near Trees and the City of Toronto Municipal Code Chapter 813, Article II.
 - d. Where there are no existing street trees, the applicant shall provide to Urban Forestry a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The number of trees required to be planted is **one (1)** and the current cost of planting each tree is \$583.00. Payments shall be made payable to the Treasurer, City of Toronto and sent to Urban Forestry, Scarborough Civic Centre, 150 Borough Drive, 5th floor, Toronto, Ontario, M1P 4N7.
- (6) A draft Certificate of Official, as prescribed in Ontario Regulation 197/96 as Form 2 or 4 and in a form satisfactory to the Secretary Treasurer, shall be submitted to the Secretary Treasurer within one year of the date giving of notice of this decision.

Site Plan:



LAN 330/-TUKK
 IONTO
 OF SCARBOROUGH
 CORPORATION LTD.

SIGNATURE PAGE

File Number:	B0045/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	FARHANA CHOUDHURY ROBB CHOWDHURY	Ward:	Scarborough Southwest (35)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	116 CLETA DR	Community:	Kennedy Park Community
Legal Description:	PLAN 3507 PT LOT 39		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL: Tuesday, May 9, 2017

CERTIFIED TRUE COPY

Paul Galvin
Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0235/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	FARHANA CHOUDHURY ROBB CHOWDHURY	Ward:	Scarborough Southwest (35)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	116 A CLETA DR	Community:	Kennedy Park Community
Legal Description:	PLAN 3507 PT LOT 39		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey single family dwelling. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013**

1. To permit the proposed 10.52 metres lot frontage, whereas the Zoning By-law requires a minimum 12 metres lot frontage.
2. To permit the proposed building length of 21.4 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.
3. To permit the proposed building depth of 19.8 metres measured from the front yard setback requirement on a lot to the rear wall, whereas the Zoning By-law permits maximum building depth of 19 metres.
4. To permit the proposed 10.8 square metres platform (rear balcony), whereas the Zoning By-law permits maximum 4 square metres platform at or above the second floor.
5. To permit the proposed 6 front yard setback, whereas the Zoning By-law requires a minimum 7.59 metres front yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0235/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	FARHANA CHOUDHURY ROBB CHOWDHURY	Ward:	Scarborough Southwest (35)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	116 A CLETA DR	Community:	Kennedy Park Community
Legal Description:	PLAN 3507 PT LOT 39		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning

Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0236/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	MAHMUDA KHATUN ROBB CHOWDHURY	Ward:	Scarborough Southwest (35)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	116 B CLETA DR	Community:	Kennedy Park Community
Legal Description:	PLAN 3507 PT LOT 39		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey single family dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 10.52 metres lot frontage, whereas the Zoning By-law requires a minimum 12 metres lot frontage.
2. To permit the proposed building length of 21.4 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.

- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0236/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	MAHMUDA KHATUN ROBB CHOWDHURY	Ward:	Scarborough Southwest (35)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	116 B CLETA DR	Community:	Kennedy Park Community
Legal Description:	PLAN 3507 PT LOT 39		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning

Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0064/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	2491676 ONTARIO LTD.	Ward:	Scarborough Southwest (35)
Agent:	LEMCAD CONSULTANTS	Heritage:	Not Applicable
Property Address:	68 BEXHILL AVE	Community:	Clairlea Community
Legal Description:	PLAN M463 LOT 157		

Notice was given and the application considered on Thursday, April 13, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

Proposed severance of the land into two lots for detached dwellings. Each proposed lot would have a frontage of 7.62 m on Bexhill Avenue a lot area of approximately 241.5 m². The proposed lots are shown as PARTS 1 and 2 on the attached Site Plan.

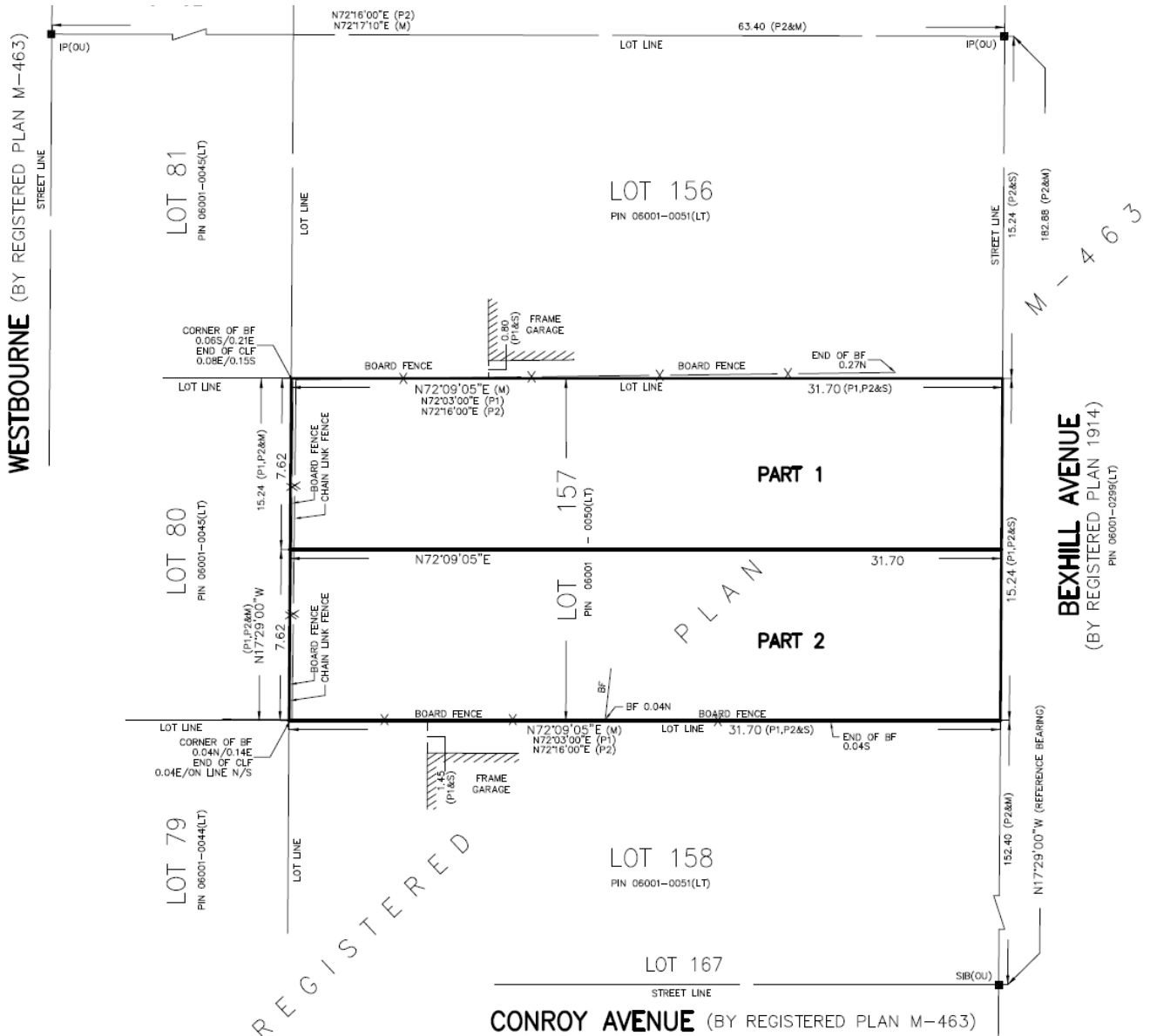
The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the attached lot Division Plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca

- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designate, Virgil Gomes at 416-338-5033; vgomes@toronto.ca
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- (5) The owner shall provide payment of \$583 per tree for 1 tree to be planted on the City road allowance, (one for each of the sites involved in the application) as per City Council direction, to the satisfaction of Urban Forestry, Tree Protection and Plan Review.
- (6) The Owner shall obtain Final and Binding Approval Decisions on minor variance applications A0365/16SC and A0366/16SC, to the satisfaction of the Deputy Secretary-Treasurer, Committee of Adjustment, Scarborough Panel.
- (7) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.



Lot Division Plan
 Applicant's Submitted Drawing
 Not to Scale

68 Bexhill Avenue
 File #B0064/16SC

13/04/2017

Attachment 1

SIGNATURE PAGE

File Number:	B0064/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	2491676 ONTARIO LTD.	Ward:	Scarborough Southwest (35)
Agent:	LEMCAD CONSULTANTS	Heritage:	Not Applicable
Property Address:	68 BEXHILL AVE	Community:	Clairlea Community
Legal Description:	PLAN M463 LOT 157		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL: Monday, May 8, 2017

CERTIFIED TRUE COPY

Paul Galvin
Acting Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, April 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0365/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	2491676 ONTARIO LTD.	Ward:	Scarborough Southwest (35)
Agent:	LEMCAD CONSULTANTS	Heritage:	Not Applicable
Property Address:	68 BEXHILL AVE PART 1	Community:	Clairlea Community
Legal Description:	PLAN M463 LOT 157		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The owner is requesting consent to sever the land at 68 Bexhill Avenue into two lots, and has applied for variances for the proposed north lot, shown as Part 1 on the attached Lot Division Plan. The owner is proposing to demolish the existing dwelling and build a new single family dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013 & By-law No. 8978:

- 1) The proposed lot frontage is 7.6 m
Whereas the minimum required lot frontage is 12 m
- 2) The proposed lot area is 241 m²
Whereas the minimum required lot area is 371 m²
- 3) The proposed side yard setback is 0.46 m on the south side (PART 1)
Whereas the minimum required side yard setback is 0.9 m

By-law No. 569-2013:

- 4) The proposed lot coverage is 43%
Whereas the maximum permitted lot coverage is 33%
- 5) The proposed house would have a flat roof and a building height of 8.8 m
Whereas the maximum permitted building height for a detached house with a flat roof is 7.2 m
- 6) The proposed floor area located within 4.0 m of the front main wall is 8.4 m²
Whereas a minimum of 10.0 m² of the first floor must be within 4.0 m of the front main wall.
- 7) The proposed roof overhang and eaves trough would be located 0.15 m from the south side lot line (PART 1)

Whereas the eaves of a roof may encroach into a required minimum building setback a maximum of 0.9 m, if they are no closer to a lot line than 0.3 m

By-law No. 8978:

- 8) The proposed lot coverage is 44%
Whereas the maximum permitted lot coverage is 33%
- 9) A portion of the house would have three storeys (garage + two storeys above)
Whereas the maximum number of storeys excluding basement is two

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0365/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	2491676 ONTARIO LTD.	Ward:	Scarborough Southwest (35)
Agent:	LEMCAD CONSULTANTS	Heritage:	Not Applicable
Property Address:	68 BEXHILL AVE PART 1	Community:	Clairlea Community
Legal Description:	PLAN M463 LOT 157		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Acting Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning

Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0366/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	2491676 ONTARIO LTD.	Ward:	Scarborough Southwest (35)
Agent:	LEMCAD CONSULTANTS	Heritage:	Not Applicable
Property Address:	68 BEXHILL AVE PART 2	Community:	Clairlea Community
Legal Description:	PLAN M463 LOT 157		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The owner is requesting consent to sever the land at 68 Bexhill Avenue into two lots, and has applied for variances for the proposed south lot, shown as Part 2 on the attached Lot Division Plan. The owner is proposing to demolish the existing dwelling and build a new single family dwelling.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013 & By-law No. 8978:

- 1) The proposed lot frontage is 7.6 m
Whereas the minimum required lot frontage is 12 m
- 2) The proposed lot area is 241 m²
Whereas the minimum required lot area is 371 m²
- 3) The proposed side yard setback is 0.46 m on the north side
Whereas the minimum required side yard setback is 0.9 m

By-law No. 569-2013:

- 4) The proposed lot coverage is 43%
Whereas the maximum permitted lot coverage is 33%
- 5) The proposed house would have a flat roof and a building height of 8.8 m
Whereas the maximum permitted building height for a detached house with a flat roof is 7.2 m
- 6) The proposed floor area located within 4.0 m of the front main wall is 8.4 m²
Whereas a minimum of 10.0 m² of the first floor must be within 4.0 m of the front main wall.
- 7) The proposed rear deck would have a setback of 0.7 m from the north lot line
Whereas the deck is required to be setback a minimum of 0.9 m
- 8) The proposed chimney breast setback from the north lot line is 0.15 m
Whereas a chimney breast may encroach into a required minimum building setback a maximum of 0.6 m if it is no wider than 2 m and no closer to a lot line than 0.3 m

- 9) The proposed roof overhang and eavestrough would be located 0.15 m from the north side lot line
Whereas the eaves of a roof may encroach into a required minimum building setback a maximum of 0.9 m, if they are no closer to a lot line than 0.3 m

By-law No. 8978:

- 10) The proposed lot coverage is 44%
Whereas the maximum permitted lot coverage is 33%
- 11) A portion of the house would have three storeys (garage + two storeys above)
Whereas the maximum number of storeys excluding basement is two

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0366/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	2491676 ONTARIO LTD.	Ward:	Scarborough Southwest (35)
Agent:	LEMCAD CONSULTANTS	Heritage:	Not Applicable
Property Address:	68 BEXHILL AVE PART 2	Community:	Clairlea Community
Legal Description:	PLAN M463 LOT 157		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Acting Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning

Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0003/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	RAJI RAHMAN CHOUDHURY MUHAMMED ABDUL KHALIQUE	Ward:	Scarborough Southwest (36)
Agent:	CANTAM GROUP	Heritage:	Not Applicable
Property Address:	123 HARDING BLVD	Community:	Birchcliff Community
Legal Description:	PLAN 1735 LOT 24		

Notice was given and the application considered on Thursday, April 13, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two (2) undersized residential lots.

Conveyed - Part 1

The proposed lot frontage is 7.63 m and the proposed lot area is 232.63 m². The existing detached dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling with an integral garage and basement walkout, requiring variances to the Zoning By-law, as outlined in Application A0038/17SC.

Retained - Part 2

The proposed lot frontage is 7.63 m and the proposed lot area is 232.63 m². The existing detached dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling with an integral garage and basement walkout, requiring variances to the Zoning By-law, as outlined in Application A0037/17SC.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to create new lots as shown on the attached lot division plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca.
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- (5) The Owner shall obtain Final and Binding Decisions on minor variance applications A0037/17SC and A0038/17SC, to the satisfaction of the Deputy Secretary-Treasurer, Committee of Adjustment, Scarborough Panel.
- (6) Where there are no existing street trees, the applicant shall provide to Urban Forestry a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The number of trees required to be planted is **two (2)** and the current cost of planting each tree is \$583.00. Payments shall be made payable to the Treasurer, City of Toronto and sent to Urban Forestry, Scarborough Civic Centre, 150 Borough Drive, 5th floor, Toronto, Ontario, M1P 4N7.
- (7) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0003/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	RAJI RAHMAN CHOUDHURY MUHAMMED ABDUL KHALIQUE	Ward:	Scarborough Southwest (36)
Agent:	CANTAM GROUP	Heritage:	Not Applicable
Property Address:	123 HARDING BLVD	Community:	Birchcliff Community
Legal Description:	PLAN 1735 LOT 24		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL: Monday, May 8, 2017

CERTIFIED TRUE COPY

Paul Galvin
Acting Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board**

Appeal Information below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, April 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0037/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	RAJI RAHMAN CHOUDHURY MUHAMMED ABDUL KHALIQUE	Ward:	Scarborough Southwest (36)
Agent:	CANTAM GROUP	Heritage:	Not Applicable
Property Address:	123 HARDING BLVD – PT 2	Community:	Birchcliff Community
Legal Description:	PLAN 1735 LOT 24		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with integral garage and basement walkout.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013:

1. The proposed lot area is 232.63 m²;
Whereas the minimum required lot area is the existing lot area of 465.23 m².
2. The proposed dwelling will cover 36% of the lot area (83.4 m²);
Whereas the maximum permitted coverage is 33% of the lot area (76.77 m²).
3. The proposed dwelling will have a floor space index equal to 0.996 times the lot area (231.62 m²);
Whereas the maximum permitted floor space index is 0.6 times the lot area (139.6 m²).
Note: the basement is considered the first floor and is included in the FSI.
4. The proposed dwelling will be three (3) storeys in height;
Whereas the maximum permitted number of storeys is two (2).
Note: the Zoning By-law classifies the ground floor as the second storey and the top floor as the third storey.
5. The proposed dwelling will have side main walls with a height of 7.6 m;
Whereas the maximum permitted side main wall height is 7 m.
6. The proposed west side platform (rear deck) will have an area of 4.19 m²;
Whereas the maximum permitted area of a platform at or above the second storey is 4 m².

By-law No. 8786:

7. The proposed lot has a depth of 30.49 m;
Whereas the minimum required lot depth is 33 m.
Note: this is an existing condition.
8. The proposed dwelling will cover 37% of the lot area (87 m²);
Whereas the maximum permitted coverage is 33% of the lot area (76.77 m²).
9. The proposed dwelling will have a total floor area equal to 0.71 times the lot area (166.17 m²);
Whereas the maximum permitted floor area is 0.6 times the lot area (139.6 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0037/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	RAJI RAHMAN CHOUDHURY MUHAMMED ABDUL KHALIQUE	Ward:	Scarborough Southwest (36)
Agent:	CANTAM GROUP	Heritage:	Not Applicable
Property Address:	123 HARDING BLVD – PT 2	Community:	Birchcliff Community
Legal Description:	PLAN 1735 LOT 24		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Acting Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or

- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0038/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	RAJI RAHMAN CHOUDHURY MUHAMMED ABDUL KHALIQUE	Ward:	Scarborough Southwest (36)
Agent:	CANTAM GROUP	Heritage:	Not Applicable
Property Address:	123 HARDING BLVD – PT 1	Community:	Birchcliff Community
Legal Description:	PLAN 1735 LOT 24		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with integral garage and basement walkout.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013:

1. The proposed lot area is 232.63 m²;
Whereas the minimum required lot area is the existing lot area of 465.23 m².
2. The proposed dwelling will cover 36% of the lot area (83.4 m²);
Whereas the maximum permitted coverage is 33% of the lot area (76.77 m²).
3. The proposed dwelling will have a floor space index equal to 0.996 times the lot area (231.62 m²);
Whereas the maximum permitted floor space index is 0.6 times the lot area (139.6 m²).
Note: the basement is considered the first floor and is included in the FSI.
4. The proposed dwelling will be three (3) storeys in height;
Whereas the maximum permitted number of storeys is two (2).
Note: the Zoning By-law classifies the ground floor as the second storey and the top floor as the third storey.
5. The proposed dwelling will have side main walls with a height of 7.6 m;
Whereas the maximum permitted side main wall height is 7 m.
6. The proposed west side platform (rear deck) will have an area of 4.19 m²;
Whereas the maximum permitted area of a platform at or above the second storey is 4 m².

By-law No. 8786:

7. The proposed lot has a depth of 30.49 m;
Whereas the minimum required lot depth is 33 m.
Note: this is an existing condition.
8. The proposed dwelling will cover 37% of the lot area (87 m²);
Whereas the maximum permitted coverage is 33% of the lot area (76.77 m²).
9. The proposed dwelling will have a total floor area equal to 0.71 times the lot area (166.17 m²);
Whereas the maximum permitted floor area is 0.6 times the lot area (139.6 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0038/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	RAJI RAHMAN CHOUDHURY MUHAMMED ABDUL KHALIQUE	Ward:	Scarborough Southwest (36)
Agent:	CANTAM GROUP	Heritage:	Not Applicable
Property Address:	123 HARDING BLVD – PT 1	Community:	Birchcliff Community
Legal Description:	PLAN 1735 LOT 24		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Acting Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or

- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0070/16SC	Zoning	General Industrial (MG) Zone [Waiver]
Owners:	MICHAEL MALTHANER 1110620 ONTARIO INC	Ward:	Scarborough-Agincourt (40)
Agent:	ARCHITALCAN DESIGN INC	Heritage:	Not Applicable
Property Address:	110 RIDGETOP RD	Employment District:	Ellesmere Employment District
Legal Description:	CON 2 PT LOT 30		

Notice was given and the application considered on Thursday, April 13, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

This application is for a proposal to sever the industrial property at 110 Ridgetop Road into two lots as shown on the attached Lot Division Plan.

The proposed lot shown as PART 1 would have a frontage of 49.2 m on Ridgetop Road and a lot area of approximately 10,641 m².

The proposed lot shown as PART 2 would have a frontage of 27 m on Ridgetop Road and a lot area of approximately 2,951 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the attached lot Division Plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services,

Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca

- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designate, Virgil Gomes at 416-338-5033; vgomes@toronto.ca
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- (5) The owner shall ensure that each lot has its own water and sanitary servicing connections to the municipal systems to the satisfaction of the Executive Director of Engineering and Construction Services. The applicant shall submit a preliminary site servicing plan to illustrate the location of existing municipal storm, sanitary, and water servicing. The applicant shall confirm that the existing municipal infrastructure does not encroach on the proposed newly created lot (Part 2).
- (6) The owner must enter into a fully secured Consent Agreement for the design and construction of sanitary sewers on Ridgetop Avenue to a point in line with the midpoint of the frontage of the Part 1, to the satisfaction of the Executive Director of Engineering and Construction Services.
 - a) It is the responsibility of the applicant to ensure that the elevations of the sewers are compatible with the intended use of the property;
 - b) The applicant is required to submit engineering drawings depicting the new sanitary sewer and all proposed service connections to the satisfaction of the Executive Director of Engineering and Construction Services;
 - c) The applicant is required to obtain all necessary Ministry of Environment and Climate Change approvals in this regard.
- (7) The owner shall comply with the following to the satisfaction of Urban Forestry, Tree Protection and Plan Review:
 - a) The Owner shall submit a complete application for permit to injure or destroy privately owned tree(s);
 - b) The owner shall provide payment of \$583 per tree for 1 tree to be planted on the City road allowance, (one for each of the sites involved in the application) as per City Council direction.
- (8) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0070/16SC	Zoning	General Industrial (MG) Zone [Waiver]
Owners:	MICHAEL MALTHANER 1110620 ONTARIO INC	Ward:	Scarborough-Agincourt (40)
Agent:	ARCHITALCAN DESIGN INC	Heritage:	Not Applicable
Property Address:	110 RIDGETOP RD	Employment District:	Ellesmere Employment District
Legal Description:	CON 2 PT LOT 30		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL: Monday, May 8, 2017

CERTIFIED TRUE COPY

Paul Galvin
Acting Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Decision Notice - CO.doc

Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, April 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A166/16SC	Zoning	Commercial Residential (CR) Zone [ZR]
Owners:	KINGSTON CORNELL DEVELOPMENTS INC	Ward:	Scarborough Southwest (36)
Agent:	BOUSFIELDS INC	Heritage:	Not Applicable
Property Address:	1390 – 1400 KINGSTON RD	Community:	Birchcliff Community
Legal Description:	PLAN M410 LOT 12		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The owners are proposing to develop the site with a seven storey, mid-rise condominium building with 41 residential units.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 8786

1) Exception 38

To permit dwelling units on the ground floor.

Whereas dwelling units are only permitted on or above the second storey of a building.

2) Performance Standard 205

To permit eight (8) visitor bicycle parking rings to be located outside the property lines.

Whereas three (3) visitor bicycle parking spaces are required to be located outside on the ground floor (on the lot) or first underground parking level in a publicly accessible area.

3) Performance Standard 283 (Applicable to westerly portion of the site only)

To permit eight (8) storeys and a height of 22.5 m.

Whereas the By-law requires a minimum of two storeys and a maximum of 4 storeys not exceeding an overall height of 14 m.

4) Performance Standard 283 (Applicable to westerly portion of the site only)

To permit a gross floor area of 3.0 times the area of the lot (4,279 m²).

Whereas the maximum permitted gross floor area is 2.5 times the area of the lot (3,575 m²).

5) Performance Standard 284

To permit eight (8) storeys and a height of 22.5 m.

Whereas the By-law requires a minimum of two storeys and a maximum of 6 storeys not exceeding an overall height of 20 m.

6) Performance Standard 293

To permit a 45-degree angular plane measured from the midpoint of the 7.5 m setback line and beginning at a height of 10.5 m. A portion of the building may project beyond the 45-degree angular plane as shown on, and shall be substantially in accordance with, the attached East and West Elevations.

Whereas buildings shall not exceed a 45-degree angular plane from a lot line abutting Single Family Residential (S), Two-Family Residential (T), Multiple-Family (M), and Park (P) Zones.

7) Performance Standard 296

To permit the portion of the building above 14 m (5th floor) abutting Kingston Rd and Cornell Ave to be in line with the main walls below and not stepped back an additional 1.5 m.

Whereas for that portion of a building above 14 m in height, buildings shall be stepped back an additional 1.5 m from the main wall abutting a public street.

8) Performance Standard 299

To permit the mechanical penthouse to be setback 3.5 m from Kingston Rd and 5.5 m from Cornell Ave.

Whereas mechanical penthouses shall be stepped back 5 m in addition to the required setbacks from all street yards. The mechanical penthouse shall cover no more than 30% of the roof area and extend no more than 5 m in height.

9) Performance Standard 300

To permit the floor to ceiling height of the first floor to be 3.5 m.

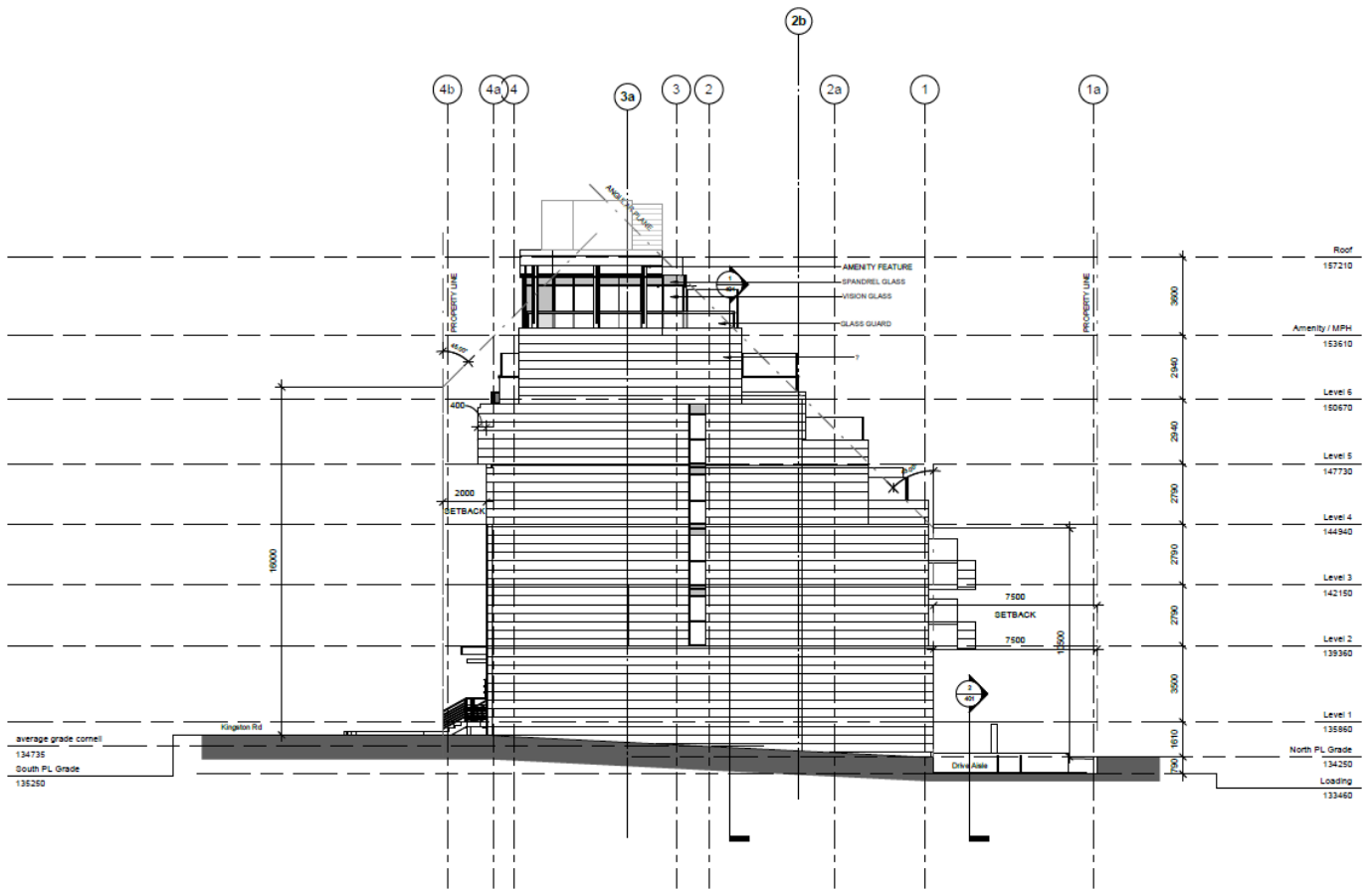
Whereas the minimum required floor to ceiling height of the first floor shall be 4.5 metres for buildings or structures.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

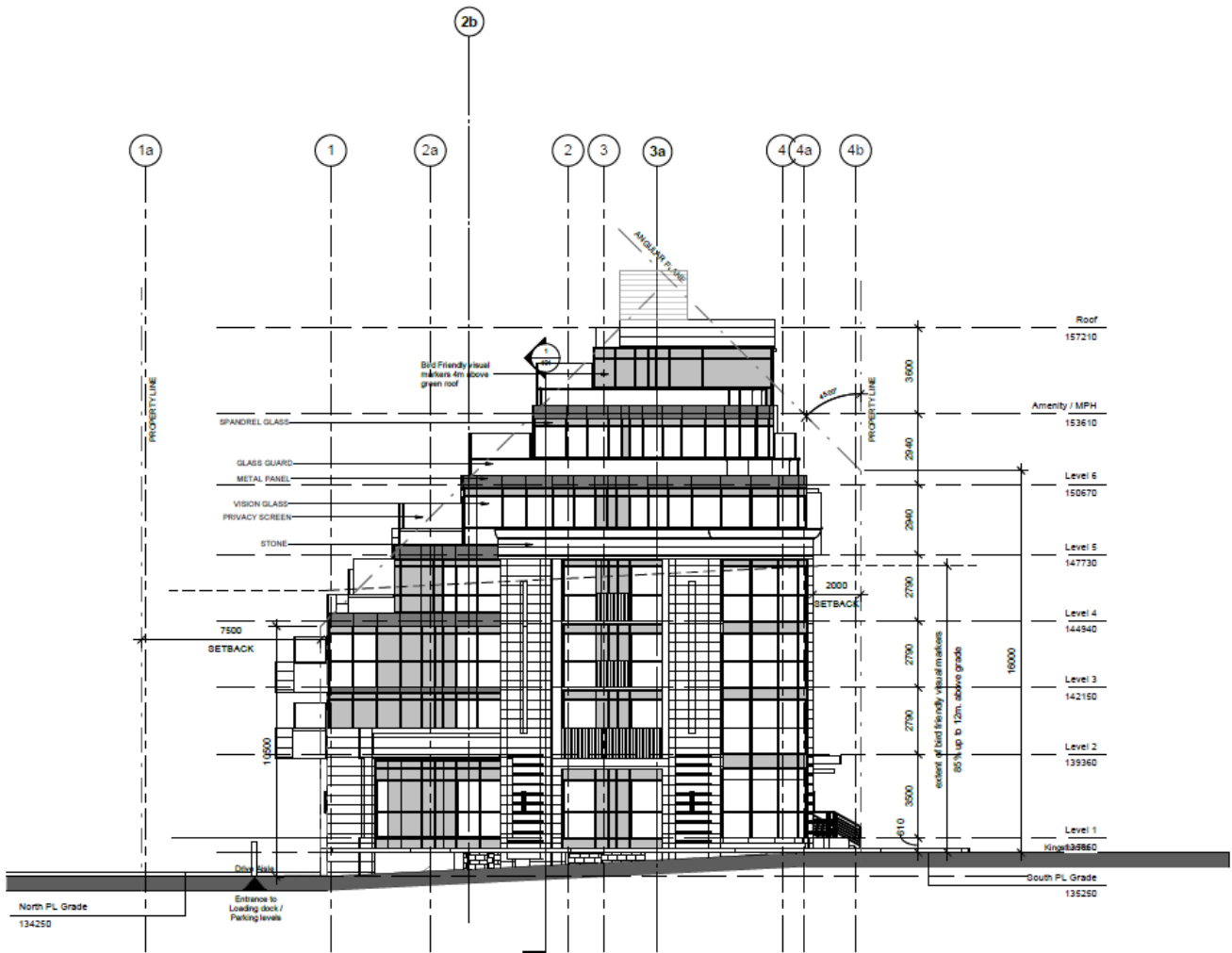
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.



East Elevation 1390-1400 Kingston Road
 Applicant's Submitted Drawing File # A0166/16SC
Not to Scale

13/04/2017

Attachment 1



West Elevation 1390-1400 Kingston Road

Applicant's Submitted Drawing File # A0166/16SC

Not to Scale

13/04/2017

Attachment 2

SIGNATURE PAGE

File Number:	A166/16SC	Zoning	Commercial Residential (CR) Zone [ZR]
Owner:	KINGSTON CORNELL DEVELOPMENTS INC	Ward:	Scarborough Southwest (36)
Agent:	BOUSFIELDS INC	Heritage:	Not Applicable
Property Address:	1390 – 1400 KINGSTON RD	Community:	Birchcliff Community
Legal Description:	PLAN M410 LOT 12		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Acting Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning

Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0312/16SC	Zoning	Residential Detached (RD) & Single Family Residential (S) Zone [ZR]
Owner(s):	KIM LANG TAING DONG JIANG	Ward:	Scarborough Southwest (36)
Agent:	RICHARD LIBRACH	Heritage:	Not Applicable
Property Address:	81 MEADOWCLIFFE DR	Community:	Cliffcrest Community
Legal Description:	PLAN M440 PT LOT 157 NOW RP R871 PART 1 AND LOT 158		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling. A portion of the existing foundation will remain.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013:

1. The proposed dwelling will be located 23.44 m from the front lot line;
Whereas the minimum required front yard setback is 23.92 m.
2. The proposed dwelling will have a height of 26.86 m, as measured from established grade.
Whereas the maximum permitted height of a dwelling with a flat or shallow roof is 7.2 m.
3. The proposed dwelling will have three (3) storeys;
Whereas the maximum permitted number of storeys is two (2).
4. The proposed dwelling will have a first floor height of 19.8 m above established grade;
Whereas the maximum permitted first floor height above established grade is 1.2 m.
5. The proposed dwelling will have a parapet height of 0.91 m above the roof deck;
Whereas the maximum permitted height of a parapet is 0.3 m.
6. The area of the platforms are as follows:
Second Floor: South Entrance Porch: 14.88 m²
East Deck: 21.96 m²
Third Floor: W Side Patio: 10.16 m²
Whereas the maximum permitted area of each platform is 4 m².

By-law No. 9396:

7. The proposed dwelling will be located 21.26 m from the rear lot line;
Whereas the minimum required rear yard setback is 27.73 m.
8. The proposed dwelling will have a height of 20.32 m, as measured from mean grade.
Whereas the maximum permitted height is 9 m.
9. The proposed dwelling will have a basement height of 11.99 m, as measured from the mean grade to the ceiling of the basement;
Whereas the maximum permitted basement height is 1 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall obtain a permit from Toronto and Region Conservation Authority (TRCA) prior to carrying out any new development within the regulated area.
2. Prior to the issuance of any Building Permit, including (but not limited to) a permit for demolition, excavation and/or shoring, the following conditions shall be fulfilled to the satisfaction of the Senior Manager, Heritage Preservation Services:
 - a. The applicant shall retain a consultant archaeologist, licensed by the Ministry of Tourism, Culture and Sport under the provisions of the Ontario Heritage Act (R.S.O 1990 as amended) to carry out a Stage 1-2 archaeological assessment of the entire property and follow through on recommendations to mitigate, through preservation or resource removal and documentation, adverse impacts to any significant archaeological resources found. The assessment is to be completed in accordance with the 2011 Standards and Guidelines for Consulting Archaeologists, Ministry of Tourism, Culture and Sport.
 - b. Should the archaeological assessment process continue beyond a Stage 1-2 assessment, any recommendations for Stage 3 - 4 mitigation strategies must be reviewed and approved by Heritage Preservation Services prior to commencement of the site mitigation.
 - c. The consultant archaeologist shall submit a copy of the relevant assessment report(s) to the Heritage Preservation Services Unit in both hard copy format and as an Acrobat PDF file on compact disk. All archaeological assessment reports will be submitted to the City of Toronto for approval concurrent with their submission to the Ministry of Tourism, Culture and Sport.
 - d. No demolition, construction, grading or other soil disturbances shall take place on the subject property prior to the City's Planning Division (Heritage Preservation Services Unit) and the Ministry of Tourism, Culture and Sport (Heritage Operations Unit) confirming in writing that all archaeological licensing and technical review requirements have been satisfied.

SIGNATURE PAGE

File Number:	A0312/16SC	Zoning	Residential Detached (RD) & Single Family Residential (S) Zone [ZR]
Owner:	KIM LANG TAING DONG JIANG	Ward:	Scarborough Southwest (36)
Agent:	RICHARD LIBRACH	Heritage:	Not Applicable
Property Address:	81 MEADOWCLIFFE DR	Community:	Cliffcrest Community
Legal Description:	PLAN M440 PT LOT 157 NOW RP R871 PART 1 AND LOT 158		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Acting Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or

- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0347/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [Waiver]
Owner(s):	HOSNEARA AHMED FARIDUDDIN AHMED	Ward:	Scarborough Southwest (36)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	27 GRADWELL DR	Community:	Cliffcrest Community
Legal Description:	PLAN M475 PT LOT 230 PT LOT 229		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to permit the already constructed two storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013**

1. To permit the proposed height of the first floor to be 1.45 metres above established grade, whereas the Zoning By-law permits the maximum height of the first floor above established grade to be 1.2 metres. Please note: The Committee of Adjustment approved 1.4 metres above established grade at the January 2014 hearing (A287/14SC).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance is minor.

This Approval is Conditional on the Following:

The owner shall provide payment of \$583 per tree for 1 trees to be planted on the City road allowance, (one for each of the sites involved in the application) as per City Council direction.

SIGNATURE PAGE

File Number:	A0347/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [Waiver]
Owner:	HOSNEARA AHMED FARIDUDDIN AHMED	Ward:	Scarborough Southwest (36)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	27 GRADWELL DR	Community:	Cliffcrest Community
Legal Description:	PLAN M475 PT LOT 230 PT LOT 229		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Monday, April 17, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning

Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0355/16SC	Zoning	Commercial Residential (CR) Zone [ZR]
Owner:	EKATERINI STAVROPOULOS GEORGE MOULATSIOTIS	Ward:	Scarborough Southwest (35)
Agent:	ARISTOTLE CHRISTOU	Heritage:	Not Applicable
Property Address:	3224 DANFORTH AVE & 2 WANSTEAD AVE	Community:	Oakridge Community
Legal Description:	PLAN 808 PT LOT 6		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

This application is for variances for a proposal to construct a third and fourth storey addition over the existing two storey mixed use building at 3224 Danforth Avenue, and a four storey addition at the rear of the building. The building would be used for commercial space on the ground floor and six apartment units on the upper floors. The detached building at the rear of the property at 2 Wanstead Avenue is proposed to be renovated and converted into a live/work residential unit.

REQUESTED VARIANCES TO THE ZONING BY-LAW:By-law No. 569-2013:

- 1) The existing detached building at the rear of the property is proposed to be converted into a single family dwelling
Whereas a single family dwelling is not permitted in the Commercial Residential (CR) Zone
- 2) The proposed floor area is 3.24 x the area of the lot (603 m²)
Whereas the maximum permitted floor area is 2.5 x the area of the lot (464 m²)
- 3) The proposed residential floor area is 2.66 x the area of the lot (495 m²)
Whereas maximum permitted residential floor area is 1.9 x the area of the lot (353 m²)
- 4) The ground floor of the proposed single family dwelling at the rear of the property would be used for residential purposes
Whereas a dwelling unit in the Commercial Residential Zone must be located above the second above grade storey
- 5) The existing detached building at the rear of the property to be converted into a single family dwelling has no setback from the east lot line abutting Wanstead Avenue
Whereas the minimum required building setback from a lot line that abuts a street is 1.5 m
- 6) No parking spaces are existing or proposed on the property
Whereas a minimum of 5 parking spaces are required
- 7) The existing detached building at the rear of the property has a setback of 2.7 m from the lot line of the lot

abutting the lane on the opposite side of the lane

Whereas where the rear lot line abuts a lane, the building must be set back a minimum of 7.5 m from the lot line of the lot abutting the lane on the opposite side of the lane

- 8) The existing buildings have no setback from the west lot line

Whereas where the main wall of a building has windows or openings, the main wall must be set back a minimum of 5.5 m from a lot line that is not adjacent to a street or lane

- 9) The mixed use building is located between the detached building at the rear of the property and Danforth Avenue

Whereas a building with a dwelling unit may not be located so that another building is between any main wall of the building and the street on which the building fronts

By-law No. 9812:

- 10) The existing detached building at the rear of the property is proposed to be converted into a single family dwelling

Whereas a single family dwelling is not permitted in the Commercial Residential (CR) Zone

- 11) The proposed floor area is 3.24 x the area of the lot (603 m²)

Whereas the maximum permitted floor area is 2.5 x the area of the lot (464 m²)

- 12) No parking spaces are existing or proposed on the property

Whereas a minimum of 8 parking spaces are required

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to NOT approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variances are not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are not minor.

SIGNATURE PAGE

File Number:	A0355/16SC	Zoning	Commercial Residential (CR) Zone [ZR]
Owner:	EKATERINI STAVROPOULOS GEORGE MOULATSIOTIS	Ward:	Scarborough Southwest (35)
Agent:	ARISTOTLE CHRISTOU	Heritage:	Not Applicable
Property Address:	3224 DANFORTH AVE & 2 WANSTEAD AVE	Community:	Oakridge Community
Legal Description:	PLAN 808 PT LOT 6		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Acting Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or

- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0362/16SC	Zoning	Commercial Residential (CR) & Residential Townhouse (RT) Zone [Waiver]
Owners:	GOLDMAN ELLESMERE 2 DEVELOPMENTS INC ZAHAVISH DOWNTOWN DEVELOPMENTS LTD	Ward:	Scarborough Centre (37)
Agent:	BOUSFIELDS INC	Heritage:	Not Applicable
Property Address:	1001 ELLESMERE RD	Employment District:	Dorset Park Employment District
Legal Description:	RCP 9846 LOT 5		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

This application is for variances to permit the minimum required front yard setback to be reduced for 46 proposed townhouse dwelling units in a 91-unit development. The 46 proposed units that are the subject of this application are located in Blocks 2 and 3, as shown on the attached Siting Plan.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

Block 2:

By-law No. 24982 & By-law No. 569-2013:

- 1) The proposed front yard setback for Block 2 is 2 m
Whereas the minimum required front yard setback for Block 2 is 3 m

Block 3:

By-law No. 24982 & By-law No. 569-2013:

- 2) The proposed front yard setback for Block 3 is 1.5 m
Whereas the minimum required front yard setback for Block 3 is 3 m

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0362/16SC	Zoning	Commercial Residential (CR) & Residential Townhouse (RT) Zone [Waiver]
Owners:	GOLDMAN ELLESMERE 2 DEVELOPMENTS INC ZAHAVISH DOWNTOWN DEVELOPMENTS LTD	Ward:	Scarborough Centre (37)
Agent:	BOUSFIELDS INC	Heritage:	Not Applicable
Property Address:	1001 ELLESMERE RD	Employment District:	Dorset Park Employment District
Legal Description:	RCP 9846 LOT 5		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Acting Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local**

Appeal Body Appeal Information below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0377/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	ELIZABETH TRIVANOVIC	Ward:	Scarborough-Agincourt (40)
Agent:	CEDOMIDR TRIVANOVIC	Heritage:	Not Applicable
Property Address:	54 ALLANGROVE CRES	Community:	L'Amoreaux Community
Legal Description:	PLAN M1174 LOT 25		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and maintain the as-built single storey addition on the north side of the detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 and No. 12466:

1. The addition is located 2.85 m from the side yard lot line abutting Allangrove Crescent;
Whereas the minimum required side yard setback that abuts a street (flankage yard) is 4.5 m.

By-law No. 569-2013:

2. The exterior landscaped stairs leading to the sidewalk will be located 0 m from the side lot line;
Whereas the minimum required side yard setback from a property line to a set of stairs is 0.6 m.

By-law No. 12466:

3. The front covered porch has dimensions of 9.47 m by 2.7 m;
Whereas the maximum permitted dimensions of an accessory structure is 7.6 m by 7.6 m

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.

- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0377/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	ELIZABETH TRIVANOVIC	Ward:	Scarborough-Agincourt (40)
Agent:	CEDOMIDR TRIVANOVIC	Heritage:	Not Applicable
Property Address:	54 ALLANGROVE CRES	Community:	L'Amoreaux Community
Legal Description:	PLAN M1174 LOT 25		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Acting Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or

- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0378/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	2350819 ONTARIO LTD.	Ward:	Scarborough Southwest (36)
Agent:	M J DESIGN CONSULTANTS INC	Heritage:	Not Applicable
Property Address:	23 ELMVIEW DR	Community:	Birchcliff Community
Legal Description:	PLAN 3223 PT LOTS 133 AND 134		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey rear addition with a second storey over the existing one storey single family dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013**

1. To permit the proposed 298 square metres floor area, whereas the Zoning By-law permits maximum 204 square metres floor area.
2. To permit the proposed 0.1 metres setback between the eaves/eavestrough and the property line, whereas the Zoning By-law requires a minimum 0.3 metres distance between eaves, eavestrough and property line.
3. To permit the proposed 41% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
4. To permit the proposed/existing 2.8 metres by 5.4 metres parking space dimension, whereas the Zoning By-law requires a minimum 3.2 metres by 5.6 metres parking space dimensions.

By-law No. 8786

5. To permit the proposed 0.32 metres south side yard setback, whereas the Zoning By-law requires a minimum 0.45 metres side yard setback.
6. To permit the proposed 43% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.

7. To permit the proposed 296 square metres floor area, whereas the Zoning By-law permits maximum 204 square metres floor area.

8. To permit the proposed/existing 2.8 metres by 5.4 metres parking space dimension, whereas the Zoning By-law requires a minimum 3.3 metres by 5.6 metres parking space dimensions.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

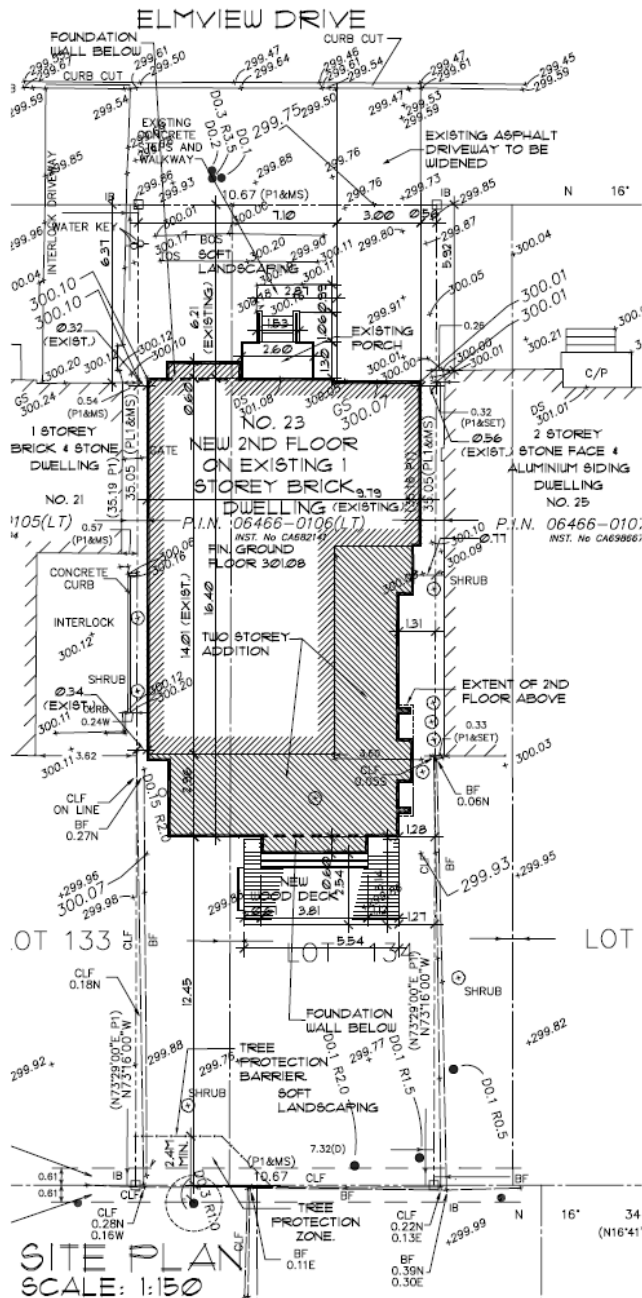
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This decision is subject to the following condition(s):

1. The Owner shall build in accordance with the Site Plan, Drawing No. 1 and the Elevations, Drawing No. 6 through 9, prepared by MJ Design Consultants Inc., dated July 2016, later revised and held on file by the Committee of Adjustment office and date stamped as received on March 29, 2017, to the satisfaction of the Director, Community Planning, Scarborough District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

Attachment 1: Site Plan

INFORMATION TAKEN FROM:
 SURVEYOR'S REAL PROPERTY REPORT
 PART 1 PLAN OF PART OF LOTS 133 & 134
 REGISTERED PLAN 3223
 CITY OF TORONTO,
 FORMERLY THE CITY OF SCARBOROUGH
 DATE: MAY 30 2016
 BY: GUIDO PAPA SURVEYING



STATISTICS

ZONING RD (F10.5X)X252
 PROPOSED USE SINGLE FAMILY DWELLING
 LOT AREA 373.98 M² 4,025.49 SQ FT

EXISTING COVERAGE OR 0.29 X LOT AREA	109.81 M ²	1,181.97 SQ FT
PROPOSED TOTAL COVERAGE, NOT INCLUDING FRONT PORCH OR 0.42 X LOT AREA	156.75 M ²	1,687.20 SQ FT
INCLUDING FRONT PORCH OR 0.43 X LOT AREA	160.13 M ²	1,723.63 SQ FT

EXISTING G.F.A.		
GROUND FLOOR OR 0.25 X LOT AREA	91.62 M ²	986.22 SQ FT
GARAGE	18.19 M ²	195.75 SQ FT

NEW ADDITION G.F.A.		
GROUND FLOOR	42.53 M ²	457.16 SQ FT
SECOND FLOOR	150.24 M ²	1,617.21 SQ FT
TOTAL	192.77 M ²	2,074.97 SQ FT

COMBINED TOTAL G.F.A.		
GROUND FLOOR	134.15 M ²	1,443.98 SQ FT
SECOND FLOOR	150.24 M ²	1,617.21 SQ FT
TOTAL	284.39 M ²	3,061.19 SQ FT
OR 0.77 X LOT AREA		
GARAGE (EXISTING)	18.19 M ²	195.75 SQ FT

FRONT YARD AREA (EXISTING TO REMAIN)		
DRIVEWAY	18.63 M ²	202.53 SQ FT
PORCH	3.38 M ²	36.38 SQ FT
WALKWAY & STAIR	4.71 M ²	51.35 SQ FT
SOFT LANDSCAPE	37.93 M ²	408.27 SQ FT
TOTAL	64.71 M ²	696.53 SQ FT

FRONT LANDSCAPING AREA (LESS DRIVEWAY) OR 71.21% OF FRONT YARD AREA	46.08 M ²	496.00 SQ FT
SOFT LANDSCAPING AREA (LESS WALKWAY, STAIR & PORCH) OR 82.31% OF FRONT LANDSCAPING AREA	37.93 M ²	408.27 SQ FT

REAR YARD AREA		
DECK	13.66 M ²	146.72 SQ FT
SOFT LANDSCAPING	119.18 M ²	1269.16 SQ FT
TOTAL	132.84 M ²	1,429.88 SQ FT

SOFT LANDSCAPING AREA	119.18 M ²	1269.16 SQ FT
OR 89.12% OF REAR YARD AREA		

WALL LENGTHS / PERIMETER		
EXISTING PERIMETER	46.44 M	152' 4-1/2"
LENGTH WALLS RETAINED	35.41 M	116' 2-1/4"
PERCENT RETAINED		16.2%

Contractor must check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the work.
 COPYRIGHT © 2016
 All designs and drawings herein are the copyright property of M.J. Design Consultants Inc. and must be returned upon written request by the contractor. No use of these drawings without the written consent of M.J. Design Consultants Inc. is strictly forbidden.
 Drawings are not to be scaled.

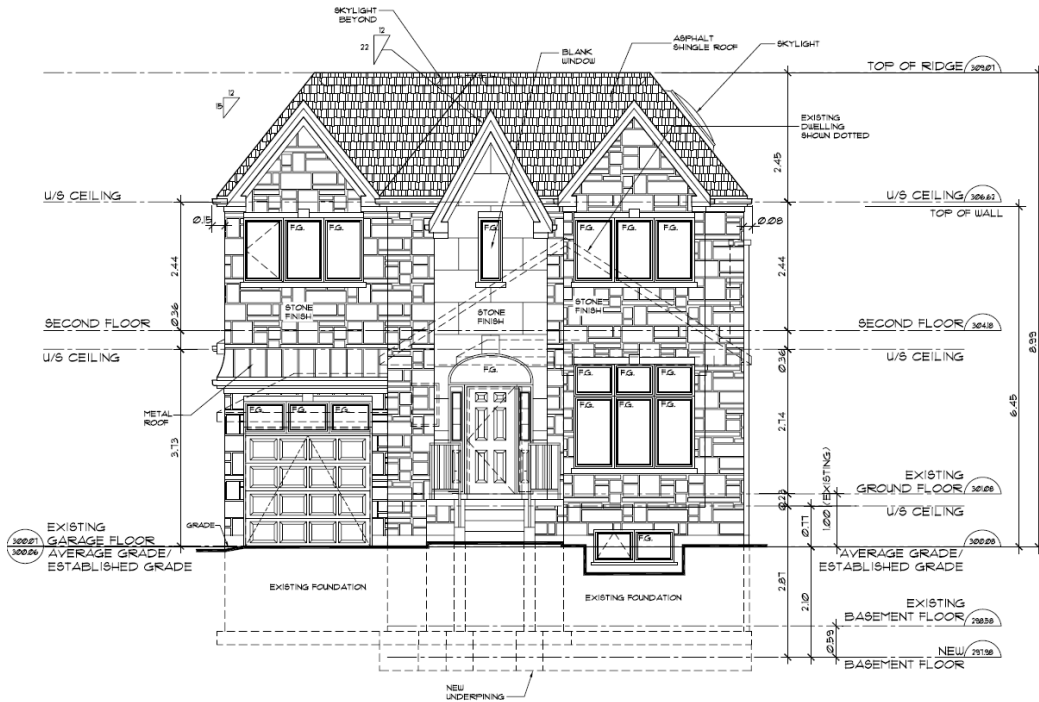
M.J. DESIGN CONSULTANTS INC.
 5115 212 - 290 North Queen Street
 Toronto, Ontario M5S 1A5
 Telephone (416) 334-9004 / Fax (416) 334-6018

LOCATION
 23 ELMVIEW DRIVE
 TORONTO, ONTARIO

TITLE
 SITE PLAN

SCALE	AS SHOWN	DRAWN	A.B.
DATE	JULY 2016	CHECKED	N.R.C.
PROJECT NO.		DRAWING NO.	1
		REVISION NO.	3

Attachment 2: Elevation



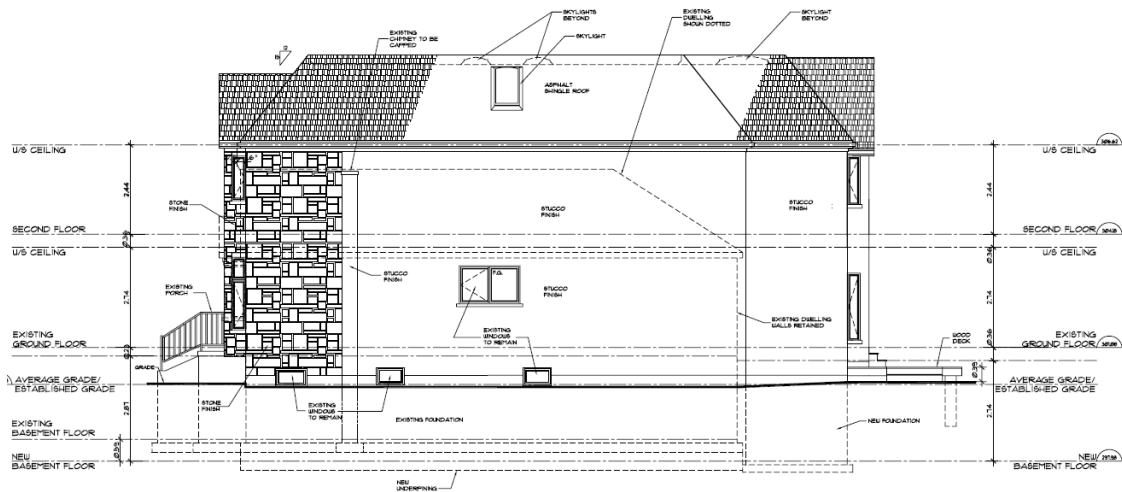
WEST ELEVATION
SCALE: 1:70

Contractor must check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the work.
COPYRIGHT © 2016
All designs and drawings herein are the copyright property of M.J. Design Consultants Inc. and must be returned upon written request. Any reproduction and/or use of these drawings without the written consent of M.J. Design Consultants Inc. is strictly forbidden. Drawings are not to be scaled.

M.J. DESIGN CONSULTANTS INC.
Suite 212 750 North Queen Street
Toronto, Ontario M5S 2E2
Telephone: (416)364-0464/Fax: (416)364-0518

LOCATION 23 ELMVIEW DRIVE TORONTO, ONTARIO	
FILE WEST ELEVATION	
SCALE AS SHOWN	DRAWN A.B.
DATE JULY 2016	CHECKED R.R.
PROJECT NO.	DRAWING NO. 6 REVISION NO. 2

Attachment 3: Elevation



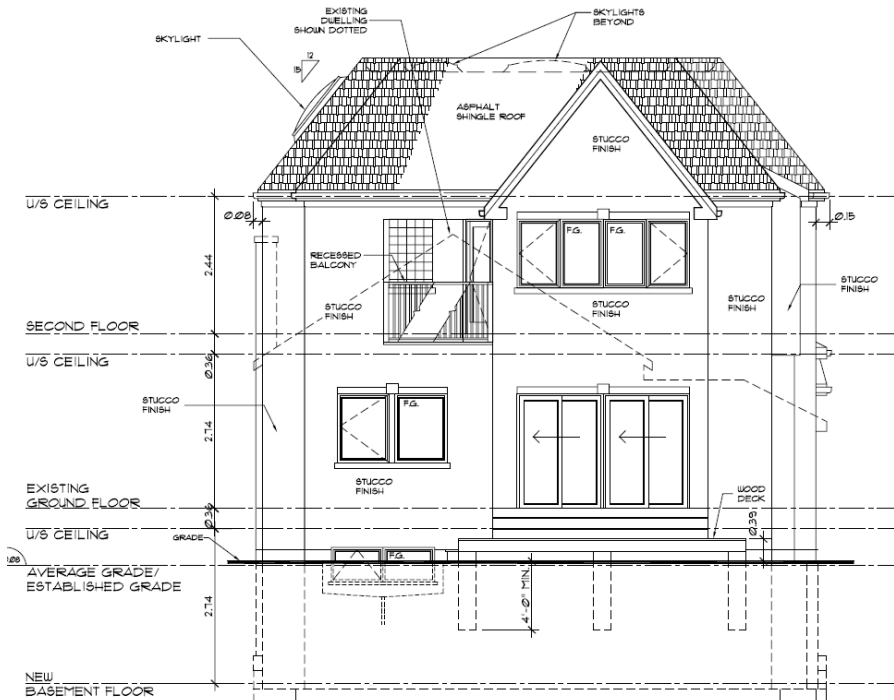
SOUTH ELEVATION
SCALE: 1:70

Contractor must check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the work.
COPYRIGHT © 2016
All designs and drawings herein are the copyright property of M.J. Design Consultants Inc. and must be returned upon written request. Any reproduction and/or use of these drawings without the written consent of M.J. Design Consultants Inc. is strictly forbidden. Drawings are not to be scaled.

M.J. DESIGN CONSULTANTS INC.
Suite 212 750 North Queen Street
Toronto, Ontario M5S 2E2
Telephone: (416)364-0464/Fax: (416)364-0518

LOCATION 23 ELMVIEW DRIVE TORONTO, ONTARIO	
FILE SOUTH ELEVATION	
SCALE AS SHOWN	DRAWN A.B.
DATE JULY 2016	CHECKED R.R.
PROJECT NO.	DRAWING NO. 7 REVISION NO. 3

Attachment 4: Elevation



EAST ELEVATION

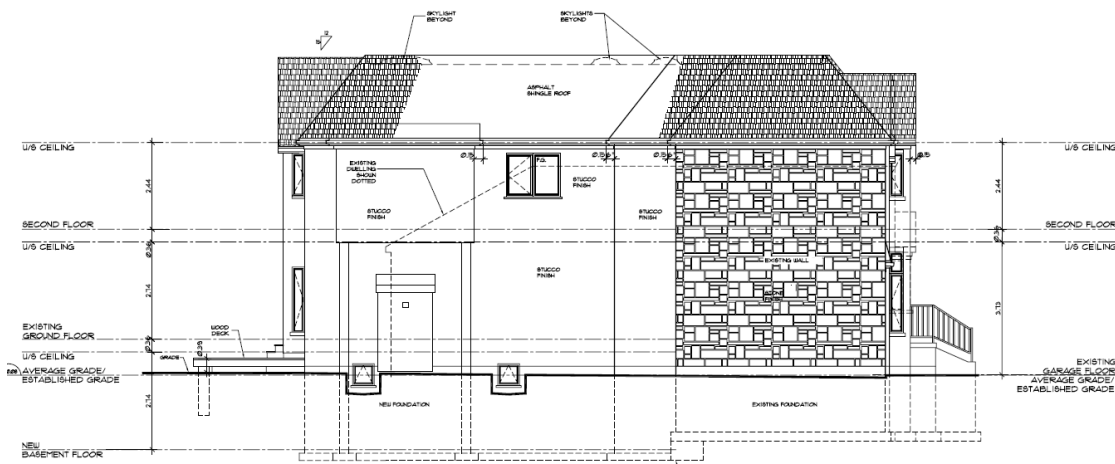
SCALE: 1:10

Contractor must check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the work.
 COPYRIGHT © 2016
 All designs and drawings herein are the copyright property of M.J. Design Consultants Inc. and must be returned upon written request. Any reproduction and/or use of these drawings without the written consent of M.J. Design Consultants Inc. is strictly forbidden.
 Drawings are not to be scaled.

M.J. DESIGN CONSULTANTS INC.
 Suite 212 - 300 North Queen Street
 Toronto / Ontario / M5C 1S2
 Telephone: (416) 594-0864 / Fax: (416) 594-0518

LOCATION	
23 ELMVIEW DRIVE TORONTO, ONTARIO	
TITLE	
EAST ELEVATION	
SCALE	DRAWN
AS SHOWN	A.B.
DATE	CHECKED
JULY 2016	R.R.
PROJECT NO.	REVISION NO.
8	2

Attachment 5: Elevation



NORTH ELEVATION

SCALE: 1:10

SPATIAL SEPARATION CALCULATIONS

AREA OF EXPOSING WALL FACE	106.09 SQM	1143 SQFT
LIMITING DISTANCE	1.30 M	4'-3"
PERMITTED:	1.2%	74 SQM / 797 SQFT
PROPOSED:	1.8%	188 SQM / 2038 SQFT

Contractor must check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the work.
 COPYRIGHT © 2016
 All designs and drawings herein are the copyright property of M.J. Design Consultants Inc. and must be returned upon written request. Any reproduction and/or use of these drawings without the written consent of M.J. Design Consultants Inc. is strictly forbidden.
 Drawings are not to be scaled.

M.J. DESIGN CONSULTANTS INC.
 Suite 212 - 300 North Queen Street
 Toronto / Ontario / M5C 1S2
 Telephone: (416) 594-0864 / Fax: (416) 594-0518

LOCATION	
23 ELMVIEW DRIVE TORONTO, ONTARIO	
TITLE	
SOUTH ELEVATION	
SCALE	DRAWN
AS SHOWN	A.B.
DATE	CHECKED
JULY 2016	R.R.
PROJECT NO.	REVISION NO.
8	3

SIGNATURE PAGE

File Number:	A0378/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	2350819 ONTARIO LTD.	Ward:	Scarborough Southwest (36)
Agent:	M J DESIGN CONSULTANTS INC	Heritage:	Not Applicable
Property Address:	23 ELMVIEW DR	Community:	Birchcliff Community
Legal Description:	PLAN 3223 PT LOTS 133 AND 134		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or

- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0401/16SC	Zoning	Residential Detached (RD) & Single Family (S) [Waiver]
Owner(s):	S & P DREAM DEVELOPMENTS INC.	Ward:	Scarborough Centre (38)
Agent:	S & P DREAM DEVELOPMENTS INC	Heritage:	Not Applicable
Property Address:	9 CHANCELLOR DR	Community:	Woburn Community
Legal Description:	PLAN M749 LOT 661		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed dwelling will be located 6.1 m from the front lot line;
Whereas the minimum required front yard setback is 7.55 m.
2. The proposed dwelling will be located 7.66 m from the rear lot line;
Whereas the minimum required rear yard setback is 8.75 m.
3. The proposed dwelling will have a main wall height of 7.6 m;
Whereas the maximum permitted main wall height is 7 m for no less than 60% of the total width of all front and rear main walls.
4. The proposed dwelling will have a total length of 18.07 m;
Whereas the maximum permitted dwelling length is 17 m.

By-law No. 9510:

5. The proposed dwelling will be located 7.66 m from the rear lot line;
Whereas the minimum required rear yard setback is 8.24 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

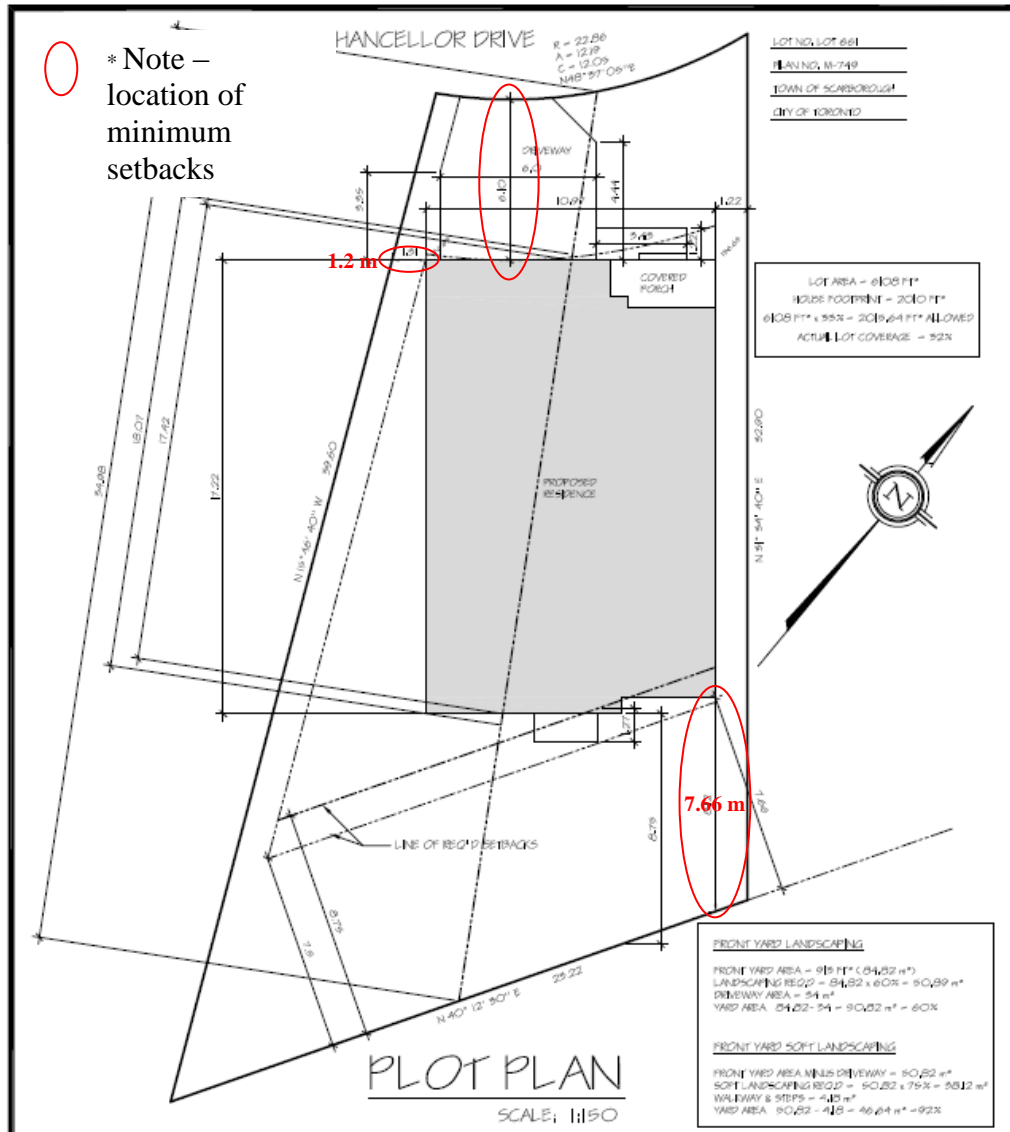
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The Owner shall build substantially in accordance with the Site Plan, Drawing No. 16-07-08, prepared by New Castle Drafting & Design Inc, dated December 19, 2016, in order to ensure the front, rear and west side yard setback variances do not apply to the entire length of the irregular lot lines (see Attachment 1: Site Plan).
2. The Owner shall submit a complete application for a permit to injure or destroy City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.
3. The Owner shall submit a tree protection guarantee security deposit of **\$1,457** to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry.

Attachment 1: Site Plan



<p>MINOR VARIANCE REQUIRED</p> <p>-MAX. BUILDING HEIGHT 9m (29.5') -PROPOSED HEIGHT 10.52m (34.0')</p> <p>-MAX. BUILDING LENGTH 17m -PROPOSED BUILDING LENGTH 18.07m</p> <p>-MIN. REAR YARD SETBACK IS 7.5m OR 25% OF LOT DEPTH WHICH IS 8.745m -PROPOSED REAR YARD SETBACK 7.66m</p>		<p>-MIN. FRONT YARD SETBACK IS AVERAGE OF TWO ADJACENT HOUSES 7.545m -PROPOSED FRONT YARD SETBACK IS 6.10m</p> <p>-MIN. SIDE YARD SETBACK 1.8m -PROPOSED SIDE YARD SETBACK IS 1.2m</p> <p>-MAX. MAIN WALL HEIGHT 7m (22.97') FOR NO LESS THAN 60% OF THE TOTAL WIDTH -PROPOSED MAIN HEIGHT IS 7.7m (25.26') FOR NO LESS THAN 60% OF THE TOTAL WIDTH OF FRONT MAIN WALL</p>	
<p>For undersize fee reduced and taken responsibility for this design, and join for notification and make the requirements set out in the Ontario Building Code to be a designer.</p> <p>Barry Jones <i>[Signature]</i> 25452 NAME LICENSE NO. PCH new castle drafting & design inc. 29016 FIRM NAME PCH</p>		<p>PLAN OF PROPOSED RESIDENCE FOR 9 CHANCELLOR DR. TORONTO ONTARIO</p>	

<p>new castle drafting & design inc. 76 Baldwin St. Newcastle, Ontario L1B 1H1 TEL 905-987-5263 FAX 905-987-5180 web site: www.newcledrafting.ca email: nodrafting@on.aibs.com</p>	SCALE	DATE	DRAWN
	1:150	DEC.19:2016	TRJ
SHT 1 OF 6		DRAWING NUMBER 16-07-08	

SIGNATURE PAGE

File Number:	A0401/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	S & P DREAM DEVELOPMENTS INC.	Ward:	Scarborough Centre (38)
Agent:	S & P DREAM DEVELOPMENTS INC	Heritage:	Not Applicable
Property Address:	9 CHANCELLOR DR	Community:	Woburn Community
Legal Description:	PLAN M749 LOT 661		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Acting Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or

- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0005/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	BRENDA J WINKLER JOHN WINKLER	Ward:	Scarborough Southwest (35)
Agent:	TENG MENG CHOW	Heritage:	Not Applicable
Property Address:	96 DONSIDE DR	Community:	Clairlea Community
Legal Description:	PLAN M464 PT LOT 89		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

Proposal to convert the existing garage into a dwelling unit by doing interior renovations and constructing a second storey addition on top of the existing structure.

REQUESTED VARIANCES TO THE ZONING BY-LAW:By-law No. 8978 and By-law No. 569-2013:

- 1) The existing lot area is 116 m²
Whereas the minimum required lot area is 371 m²
- 2) The existing lot frontage is 7.62 m
Whereas the minimum required lot frontage is 12 m
- 3) The existing/proposed lot coverage is 41%
Whereas the maximum permitted lot coverage is 33%
- 4) A total of 68% of the required front yard landscaping is proposed to be maintained as soft landscaping
Whereas a minimum of 75% of the required front yard landscaping must be soft landscaping.
(For the purposes of this requirement, soft landscaping means trees, shrubs, grass, flowers, vegetables, and other vegetation but excludes hard-surfaced areas such as decorative stonework, walkways, or other hard-surfaced landscape-architectural elements.)
- 5) The existing/proposed rear yard setback is 4.5 m
Whereas the minimum required rear yard setback is 7.5 m
- 6) The existing/proposed front yard setback is 2 m
Whereas the minimum required front yard setback is 4.5 m

By-law No. 8978:

- 7) The proposed first floor area is 46 m²
Whereas the minimum required first floor area is 51 m²

- 8) The proposed parking space dimensions are 3.2 m x 5.5 m
Whereas the minimum required parking space dimensions are 3.3 m x 5.6 m

By-law No. 569-2013:

- 9) The proposed parking space length is 5.5 m
Whereas the minimum required parking space length is 5.6 m

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

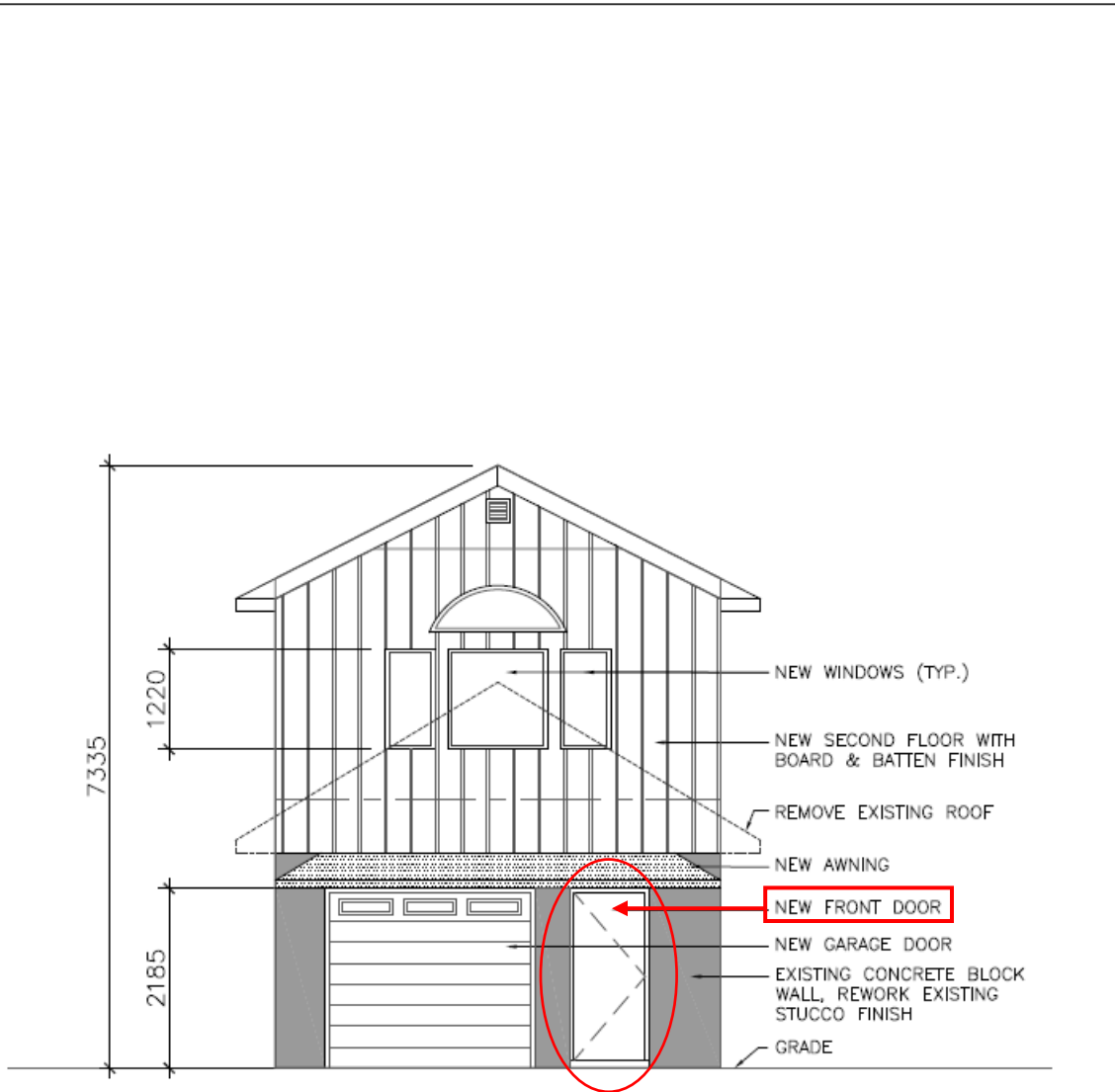
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This approval is conditional on the following:

- 1) The Owner shall build substantially in accordance with the revised Front Elevation, Drawing No. AP5, prepared by Brenda Winkler, dated September 25, 2016, to ensure that an entrance doorway is constructed at the front of the proposed dwelling (see Attachment 1: Front Elevation).

Attachment 1: Front Elevation



1
AP5

NEW SOUTH (FRONT) ELEVATION

2. REVISION Mar. 7, 2017
 1. COM. OF ADJUSTMENT Jan. 2, 2017

OWNERS: JOHN & BRENDA WINKLER	PROPOSED SECOND FLOOR ADDITION 96 DONSDRIVE DRIVE, TORONTO, ON	DRAWING NO.
DESIGNED BY BRENDA WINKLER		AP5
DATE: SEP. 25, 2016	NEW SOUTH (FRONT) ELEVATION	
SCALE: 1:75		

SIGNATURE PAGE

File Number:	A0005/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	BRENDA J WINKLER JOHN WINKLER	Ward:	Scarborough Southwest (35)
Agent:	TENG MENG CHOW	Heritage:	Not Applicable
Property Address:	96 DONSIDE DR	Community:	Clairlea Community
Legal Description:	PLAN M464 PT LOT 89		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Acting Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or

- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0012/17SC	Zoning	RD - Residential Detached/ S- Single Family Residential [ZZC]
Owner(s):	LANCE HANG GAO	Ward:	Scarborough-Rouge River (41)
Agent:	LANCE HANG GAO	Heritage:	Not Applicable
Property Address:	49KNOCKBOLT CRES	Community:	Agincourt North Community
Legal Description:	PLAN M1214 LOT 467		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey rear addition to the existing two-storey single family dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013**

1. To permit the proposed 351 square metres floor area or 0.57 times the lot area, whereas the Zoning By-law permits maximum 279 square metres floor area or 0.5 times the lot area.
2. To permit the proposed building length of 21.6 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.
3. To permit the proposed building depth of 22 metres measured from the front yard setback requirement on a lot to the rear wall, whereas the Zoning By-law permits maximum building depth of 19 metres.

By-law No. 12797

4. To permit the proposed 36.1% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
5. To permit the proposed 332 square metres floor area or 0.54 times the lot area, whereas the Zoning By-law permits maximum 279 square metres floor area or 0.5 times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This Approval is Conditional on the Following:

1. The Owner shall submit a complete application for permit to injure or destroy privately owned tree(s).
2. The Owner shall submit a complete application for permit to injure or destroy City-owned tree(s).
A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.
3. The Owner shall submit a tree protection guarantee security deposit of **\$19,217.00** to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry.

SIGNATURE PAGE

File Number:	A0012/17SC	Zoning	RD - Residential Detached/ S- Single Family Residential [ZZC]
Owner:	LANCE HANG GAO	Ward:	Scarborough-Rouge River (41)
Agent:	LANCE HANG GAO	Heritage:	Not Applicable
Property Address:	49 KNOCKBOLT CRES	Community:	Agincourt North Community
Legal Description:	PLAN M1214 LOT 467		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning

Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0025/17SC	Zoning	M - Industrial Zone [ZZC]
Owner(s):	TORONTO HYDRO-ELECTRIC SYSTEM LTD	Ward:	Scarborough-Rouge River (42)
Agent:	BARRY AND BRYAN ASSOCIATES	Heritage:	Not Applicable
Property Address:	715 MILNER AVE	Community:	
Legal Description:	PLAN M1705 PT BLKS C AND D PLAN M1700 PT BLK I RP 66R24746 PARTS 2 AND 3		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to permit open storage on the site.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 24982**

To permit the proposed open storage area to the west of the existing building, whereas the Zoning By-law does not permit open storage.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This Approval is Conditional on the Following:

1. The Owner shall submit a complete application for permit to injure or destroy privately owned tree(s).
2. The Owner shall submit a complete application for permit to injure or destroy City-owned tree(s).
A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.
3. The Owner shall submit a tree protection guarantee security deposit of **\$26,834.00** to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry.
4. That the site works he carried out substantially in accordance with the following plans:
 - a. Overall Site Plan. Drawing No. A 101 A by Barry Bryan Associates Architects, Engineers. Project Managers dated February 2017 and revised to March 2, 2017:
 - b. Part Site Plan — Option A — East End, Drawing No. A102A by Barry Bryan Associates, Engineers. Project Managers dated February 2017 and revised to March 2, 2017;
 - c. Part Site Plan — Option A — West End, Drawing No. A 103A by Barry Bryan Associates Architects, Engineers, Project Managers dated February 2017 and revised to March 2, 2017;
 - d. Landscape Plan Option A. Drawing No. L101A by Barry Bryan Associates Architects, Engineers, Project Managers dated December 2016 and revised to March 24, 2017.
5. That the Owner submit a financial guarantee, in the form of an irrevocable Letter of Credit or certified cheque payable to the Treasurer, City of Toronto, in the amount of \$136,923.75 to secure the on-site landscaping requirements.

SIGNATURE PAGE

File Number:	A0025/17SC	Zoning	M - Industrial Zone [ZZC]
Owner:	TORONTO HYDRO-ELECTRIC SYSTEM LTD	Ward:	Scarborough-Rouge River (42)
Agent:	BARRY AND BRYAN ASSOCIATES	Heritage:	Not Applicable
Property Address:	715 MILNER AVE	Community:	
Legal Description:	PLAN M1705 PT BLKS C AND D PLAN M1700 PT BLK I RP 66R24746 PARTS 2 AND 3		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning

Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0035/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [WAIVER]
Owner(s):	FARHAT NAYEEM KHAN	Ward:	Scarborough Southwest (36)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	70B SOUTH WOODROW BLVD	Community:	Cliffside Community
Legal Description:	PLAN 1964 LOT 270 LOT 271		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a two-storey single family dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013**

1. To permit the proposed 209 square metres floor area or 0.72 times the lot area, whereas the Zoning By-law permits maximum 174 square metres floor area or 0.6 times the lot area.
2. To permit the proposed 36% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
3. To permit the proposed 9.05 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
4. To permit the proposed 3.75 square metres of the first floor to be within 4 metres of the front main wall, whereas the Zoning By-law requires a minimum 10 square metres of the first floor to be within 4 meters of the front main wall.
5. To permit the eaves of the roof encroach into the side yard setback by 0.33 metres, whereas the Zoning By-law permits 0.22 metres for the eaves of a roof to encroach into a required minimum building setback.

By-law No. 9364

6. To permit the proposed 36% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
7. To permit the proposed 209.1 square metres floor area or 0.72 times the lot area, whereas the Zoning By-law permits maximum 174 square metres floor area or 0.6 times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0035/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [WAIVER]
Owner:	FARHAT NAYEEM KHAN	Ward:	Scarborough Southwest (36)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	70B SOUTH WOODROW BLVD	Community:	Cliffside Community
Legal Description:	PLAN 1964 LOT 270 LOT 271		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning

Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0036/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [WAIVER]
Owner(s):	FARHAT NAYEEM KHAN	Ward:	Scarborough Southwest (36)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	70A SOUTH WOODROW BLVD	Community:	Cliffside Community
Legal Description:	PLAN 1964 LOT 270 LOT 271		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a two-storey single family dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013**

1. To permit the proposed 209 square metres floor area or 0.72 times the lot area, whereas the Zoning By-law permits maximum 174 square metres floor area or 0.6 times the lot area.
2. To permit the proposed 36% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
3. To permit the proposed 3.75 square metres of the first floor to be within 4 metres of the front main wall, whereas the Zoning By-law requires a minimum 10 square metres of the first floor to be within 4 meters of the front main wall.
4. To permit the eaves of the roof encroach into the side yard setback by 0.33 metres, whereas the Zoning By-law permits 0.22 metres for the eaves of a roof to encroach into a required minimum building setback.
5. To permit the proposed 6 metres front yard setback, whereas the Zoning By-law requires a minimum 6.07 metres front yard setback.

By-law No. 9364

6. To permit the proposed 36% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
7. To permit the proposed 209.1 square metres floor area or 0.72 times the lot area, whereas the Zoning By-law permits maximum 174 square metres floor area or 0.6 times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0036/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [WAIVER]
Owner:	FARHAT NAYEEM KHAN	Ward:	Scarborough Southwest (36)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	70A SOUTH WOODROW BLVD	Community:	Cliffside Community
Legal Description:	PLAN 1964 LOT 270 LOT 271		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning

Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0043/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	MIRJANA CIRIC IGOR CIRIC	Ward:	Scarborough Southwest (36)
Agent:	IGOR CIRIC	Heritage:	Not Applicable
Property Address:	89 EASTVILLE AVE	Community:	Cliffcrest Community
Legal Description:	PLAN M475 PT LOT 43 PT LOT 44		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a second storey addition to the existing one storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 9396**

1. To permit the proposed 221 square metres floor area or 0.502 times the lot area, whereas the Zoning By-law permits maximum 175.6 square metres floor area or 0.4 times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance is minor.

SIGNATURE PAGE

File Number:	A0043/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	MIRJANA CIRIC IGOR CIRIC	Ward:	Scarborough Southwest (36)
Agent:	IGOR CIRIC	Heritage:	Not Applicable
Property Address:	89 EASTVILLE AVE	Community:	Cliffcrest Community
Legal Description:	PLAN M475 PT LOT 43 PT LOT 44		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning

Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0044/17SC	Zoning	Residential Semi-Detached (RS) & Two-Family Residential (T) Zone [ZR]
Owner(s):	JOANNE MARINOS CHRISTOPHER MARINOS	Ward:	Scarborough Southwest (36)
Agent:	KBK STUDIOS INC	Heritage:	Not Applicable
Property Address:	24 BLANTYRE AVE	Community:	Birchcliff Community
Legal Description:	PLAN 619 PT LOT 23 BLOCK C		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition and a second storey addition over the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013:

1. The altered dwelling will have a floor space index equal to 0.73 times the lot area (337.15 m²); Whereas the maximum permitted floor space index is 0.5 times the lot area (232.25 m²).
Note: the basement level is considered the first floor and is therefore included in the FSI.
2. The altered dwelling will be three storeys in height; Whereas a maximum of two storeys is permitted.
Note: the basement level is considered the first floor.
3. The altered dwelling will have a main wall height of 7.3 m; Whereas the maximum permitted height of a pair of side main walls is 7 m.
4. The altered front porch will encroach 3.45 m into the required front yard setback; Whereas the maximum permitted platform encroachment is 1.5 m.

By-law No. 8786:

5. The altered dwelling will have a total floor area equal to 0.73 times the lot area (338.5 m²); Whereas the maximum permitted floor area is 0.5 times the lot area (232.25 m²).
Note: the basement level is considered the first floor and is therefore included in the floor area.

6. The altered dwelling will be three storeys in height;
Whereas a maximum of two storeys is permitted.
Note: the basement level is considered the first floor.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0044/17SC	Zoning	Residential Semi-Detached (RS) & Two-Family Residential (T) Zone [ZR]
Owner:	JOANNE MARINOS CHRISTOPHER MARINOS	Ward:	Scarborough Southwest (36)
Agent:	KBK STUDIOS INC	Heritage:	Not Applicable
Property Address:	24 BLANTYRE AVE	Community:	Birchcliff Community
Legal Description:	PLAN 619 PT LOT 23 BLOCK C		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Acting Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or

- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Tuesday, April 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0045/17SC	Zoning	Highway Commercial (HC) Zone [Waiver]
Owners:	SCARBOROUGH TRUCK CENTRE INC 1240060 ONTARIO LTD	Ward:	Scarborough-Rouge River (41)
Agent:	TORONTO TRANSIT COMMISSION	Heritage:	Not Applicable
Property Address:	1810 MARKHAM RD	Employment District:	Marshalling Yard Employment District
Legal Description:	CON 3 PT LOT 19		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit the existing building to be used by TTC for the maintenance and storage of public transit vehicles.

REQUESTED VARIANCE TO THE ZONING BY-LAW:By-law No. 24982:

- 1) To permit the a garage for the maintenance and storage of public transit vehicles
Whereas a garage for the maintenance and storage of public transit vehicles is not a permitted use.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance is minor.

SIGNATURE PAGE

File Number:	A0045/17SC	Zoning	Highway Commercial (HC) Zone [Waiver]
Owners:	SCARBOROUGH TRUCK CENTRE INC 1240060 ONTARIO LTD	Ward:	Scarborough-Rouge River (41)
Agent:	TORONTO TRANSIT COMMISSION	Heritage:	Not Applicable
Property Address:	1810 MARKHAM RD	Employment District:	Marshalling Yard Employment District
Legal Description:	CON 3 PT LOT 19		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Acting Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or

- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0046/17SC	Zoning	Residential Detached (RD) & Single Family (S) [Waiver]
Owner(s):	SABRI ALLARAJ	Ward:	Scarborough Southwest (36)
Agent:	MARIN ZABZUNI	Heritage:	Not Applicable
Property Address:	44 MUIR DR	Community:	Scarborough Village Community
Legal Description:	PLAN 2235 PT LOT 29		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear and north side addition and a second storey addition over the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & 10010:

1. The altered dwelling will have a height of 9.26 m;
Whereas the maximum permitted dwelling height is 9 m.

By-law No. 569-2013:

2. The altered dwelling will have a first floor height of 1.59 m above established grade
Whereas the maximum permitted height above established grade is 1.2 m.

By-law No. 10010:

3. The altered dwelling will have a basement height of 1.35 m, as measured from the average grade at the front main wall to the ceiling of the basement;
Whereas the maximum permitted basement height is 1 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0046/17SC	Zoning	Residential Detached (RD) & Single Family (S) [Waiver]
Owner:	SABRI ALLARAJ	Ward:	Scarborough Southwest (36)
Agent:	MARIN ZABZUNI	Heritage:	Not Applicable
Property Address:	44 MUIR DR	Community:	Scarborough Village Community
Legal Description:	PLAN 2235 PT LOT 29		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Acting Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or

- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0050/17SC	Zoning	Single Family (S) & residential Detached (RD) Zone [ZR]
Owners:	SANTHARUPAN BALAKRISHNARAJAH	Ward:	Scarborough-Rouge River (42)
Agent:	KEN VARATHA	Heritage:	Not Applicable
Property Address:	50 CRITTENDEN SQ	Community:	Malvern Community
Legal Description:	PLAN M1667 LOT 63		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

Proposed new one-storey attached garage addition on the south side of the house, and the covered porch at the front of the house.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013:

- 1) The existing/proposed front yard setback is 5.8 m
Whereas the minimum required front yard setback is 7.1 m

By-law No. 14402:

- 2) The existing/proposed front yard setback is 5.8 m
Whereas the minimum required front yard setback is 7.1 m
- 3) The proposed exterior garage length is 8.8 m
Whereas the maximum permitted garage length is 7.6 m
- 4) The proposed garage width is 3.0 m
Whereas the minimum required garage width is 3.3 m

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.

- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0050/17SC	Zoning	Single Family (S) & residential Detached (RD) Zone [ZR]
Owner:	SANTHARUPAN BALAKRISHNARAJAH	Ward:	Scarborough-Rouge River (42)
Agent:	KEN VARATHA	Heritage:	Not Applicable
Property Address:	50 CRITTENDEN SQ	Community:	Malvern Community
Legal Description:	PLAN M1667 LOT 63		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Acting Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or

- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0054/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	ALICIA ABANADOR RODOLFO ABANADOR	Ward:	Scarborough East (43)
Agent:	NURUN NABI DESIGNS	Heritage:	Not Applicable
Property Address:	94 WESTCROFT DR	Community:	West Hill Community
Legal Description:	PLAN 2160 PT LOT 26 RP 64R7470 PART 2		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey sunroom and deck addition to rear of the existing detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The existing dwelling, including the proposed sunroom, will have a total length of 17.83 m; Whereas the maximum permitted dwelling length is 17 m.

By-law No. 10327:

2. The proposed rear deck will be 8.74 m wide; Whereas the maximum permitted dimensions for an accessory structure (deck) is 7.6 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0054/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	ALICIA ABANADOR RODOLFO ABANADOR	Ward:	Scarborough East (43)
Agent:	NURUN NABI DESIGNS	Heritage:	Not Applicable
Property Address:	94 WESTCROFT DR	Community:	West Hill Community
Legal Description:	PLAN 2160 PT LOT 26 RP 64R7470 PART 2		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Acting Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or

- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0056/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	RUMANA SYEDA ASHRAF RABIUL MOHAMMED ASHRAF	Ward:	Scarborough Southwest (36)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	187 RANDALL CRES	Community:	Cliffside Community
Legal Description:	PLAN 2541 LOT 405 PT LOT 404 PT LOT 406		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013:

1. The proposed dwelling will have a floor space index equal to 0.6 times the lot area (293.35 m²); Whereas the maximum permitted floor space index is 0.5 times the lot area (244.68 m²).
2. The proposed dwelling will have a height of 9.3 m above established grade; Whereas the maximum permitted height is 9 m.
3. The proposed west facing platform (front balcony) will have an area of 5.6 m²; Whereas the maximum permitted area of a platform at or above the second storey is 4 m².
4. None of the area of the first floor is proposed to be within 4 m of the front main wall; Whereas a minimum of 10 m² of the first floor must be located within 4 m of the front main wall.

By-law No. 9364:

5. The proposed dwelling will cover 35% of the lot area (169.37 m²); Whereas the maximum permitted lot coverage is 33% of the lot area (161.49 m²).
6. The proposed dwelling will have a total floor area equal to 0.58 times the lot area (285.52 m²); Whereas the maximum permitted floor area is 0.5 times the lot area (244.68 m²).

7. The proposed dwelling will have a height of 9.3 m above mean grade;
Whereas the maximum permitted height is 9 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0056/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	RUMANA SYEDA ASHRAF RABIUL MOHAMMED ASHRAF	Ward:	Scarborough Southwest (36)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	187 RANDALL CRES	Community:	Cliffside Community
Legal Description:	PLAN 2541 LOT 405 PT LOT 404 PT LOT 406		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Acting Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or

- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0060/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [Waiver]
Owner(s):	YI YING YU	Ward:	Scarborough-Agincourt (39)
Agent:	AND ARCHITECTURE INC	Heritage:	Not Applicable
Property Address:	50 BELLEFONTAINE ST	Community:	Tam O'Shanter Community

Legal Description: PLAN 4401 LOT 138

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a two-storey single family dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013 & By-law No. 12360**

1. To permit the proposed 372.9 square metres floor area or 0.48 times the lot area, whereas the Zoning By-law permits maximum 312.1 square metres floor area or 0.4 times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance is considered desirable for the appropriate development of the land.

- In the opinion of the Committee, the variance is minor.

This Approval is Conditional on the Following:

1. The Owner shall submit a complete application for permit to injure or destroy privately owned tree(s).
2. The owner shall provide payment of \$583 per tree for 1 trees to be planted on the City road allowance, (one for each of the sites involved in the application) as per City Council direction.

SIGNATURE PAGE

File Number:	A0060/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [Waiver]
Owner:	YI YING YU	Ward:	Scarborough-Agincourt (39)
Agent:	AND ARCHITECTURE INC	Heritage:	Not Applicable
Property Address:	50 BELLEFONTAINE ST	Community:	Tam O'Shanter Community
Legal Description:	PLAN 4401 LOT 138		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning

Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Wednesday, April 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0062/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	STEVEN JOHN LEWIS PELTON AMANDA HELENE PELTON	Ward:	Scarborough Southwest (36)
Agent:	AMANDA HELENE PELTON	Heritage:	Not Applicable
Property Address:	7 PARKLAND RD	Community:	Birchcliff Community
Legal Description:	PLAN 3288 LOT 44		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to allow vehicle parking on the existing driveway. The Committee of Adjustment approved variance to convert the garage to living space in January 2017. The Committee of Adjustment approved variances for a second floor addition in April 2014.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013**

1. To permit the proposed the proposed parking space located in the side yard that abuts a street, whereas the Zoning By-law requires a parking space to be in a building or structure.

By-law No. 8786

2. To permit the proposed 5.86 metres wide parking space located in the street yard, whereas the Zoning By-law permits maximum 3 metres wide parking space located in the street yard.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0062/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	STEVEN JOHN LEWIS PELTON AMANDA HELENE PELTON	Ward:	Scarborough Southwest (36)
Agent:	AMANDA HELENE PELTON	Heritage:	Not Applicable
Property Address:	7 PARKLAND RD	Community:	Birchcliff Community
Legal Description:	PLAN 3288 LOT 44		

_____ David Peacock (signed)	_____ Eden Gajraj (signed)	_____ Hena Kabir (signed)
_____ Sean Karmali (signed)		

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or

- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0063/17SC	Zoning	Residential Detached (RD) & Two-Family Residential (T) [ZR]
Owner(s):	LYNDON PETERSON MARY MORRIS-EDEY	Ward:	Scarborough Southwest (35)
Agent:	ALEX RUBB	Heritage:	Not Applicable
Property Address:	148 BENJAMIN BLVD	Community:	Kennedy Park Community
Legal Description:	PLAN M729 PT LOT 35 NOW RP R126 PART 4		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey west side addition to the existing semi-detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013 & No. 9276:

1. The altered dwelling will be located 2.7 m from the rear lot line;
Whereas the minimum required rear yard setback is 7.5 m.
Note: this is an existing condition.

By-law No. 569-2013:

2. The proposed rear yard parking space will be 2.7 m wide;
Whereas the minimum required width of a parking space is 3.2 m.

By-law No. 9276:

3. The proposed rear yard parking space will be 2.7 m wide;
Whereas the minimum required width of a parking space is 3.3 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0063/17SC	Zoning	Residential Detached (RD) & Two-Family Residential (T) [ZR]
Owner:	LYNDON PETERSON MARY MORRIS-EDEY	Ward:	Scarborough Southwest (35)
Agent:	ALEX RUBB	Heritage:	Not Applicable
Property Address:	148 BENJAMIN BLVD	Community:	Kennedy Park Community
Legal Description:	PLAN M729 PT LOT 35 NOW RP R126 PART 4		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Acting Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or

- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Thursday, April 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0072/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	MURRON JACQUES	Ward:	Scarborough Centre (37)
Agent:	30 FORENSIC ENGINEERING	Heritage:	Not Applicable
Property Address:	89 LILIAN DR	Community:	Wexford Community
Legal Description:	PLAN 4168 LOT 320		

Notice was given and a Public Hearing was held on Thursday, April 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a wood carport on the south side of the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 0.15 metres south side yard setback, whereas the Zoning By-law requires a minimum 0.45 metres side yard setback.
2. To permit the proposed 12.5 metres by 3 metres parking space, whereas the Zoning By-law requires a minimum 5.6 metres by 3.2 metres parking space.
3. To permit the proposed 40% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.

By-law No. 9511

4. To permit the proposed 0.15 metres south side yard setback and is 1.46 metres from the dwelling on the adjoining lot, whereas the Zoning By-law requires a minimum 0.45 metres side yard setback and a minimum of 1.5 metres away from the dwelling on the adjoining lot.
5. To permit the proposed 12.5 metres by 3 metres parking space, whereas the Zoning By-law requires a minimum 5.6 metres by 3.3 metres parking space.

6. To permit the proposed 12.5 metres carport length, whereas the Zoning By-law permits maximum 7.6 metres carport length.
7. To permit the proposed 40% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
8. To permit the proposed 91.5 square metres combined total floor area of all structures on the lot, whereas the Zoning By-law permits maximum 75 square metres combined total floor area of all structures on the lot.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This Approval is Conditional on the Following:

The Owner shall build substantially in accordance with the Site Plan, Drawing No. SK.2, prepared by T.B. Holder, dated February 27, 2017, in order to ensure the south side yard setback and coverage variances apply only to the proposed carport (see Attachment 1: Site Plan).

Site Plan:



40 University Avenue, Suite 800
 Toronto, ON M5G 1T1
 T 416 360 1700 F 416 360 5574
 3100a.cadex



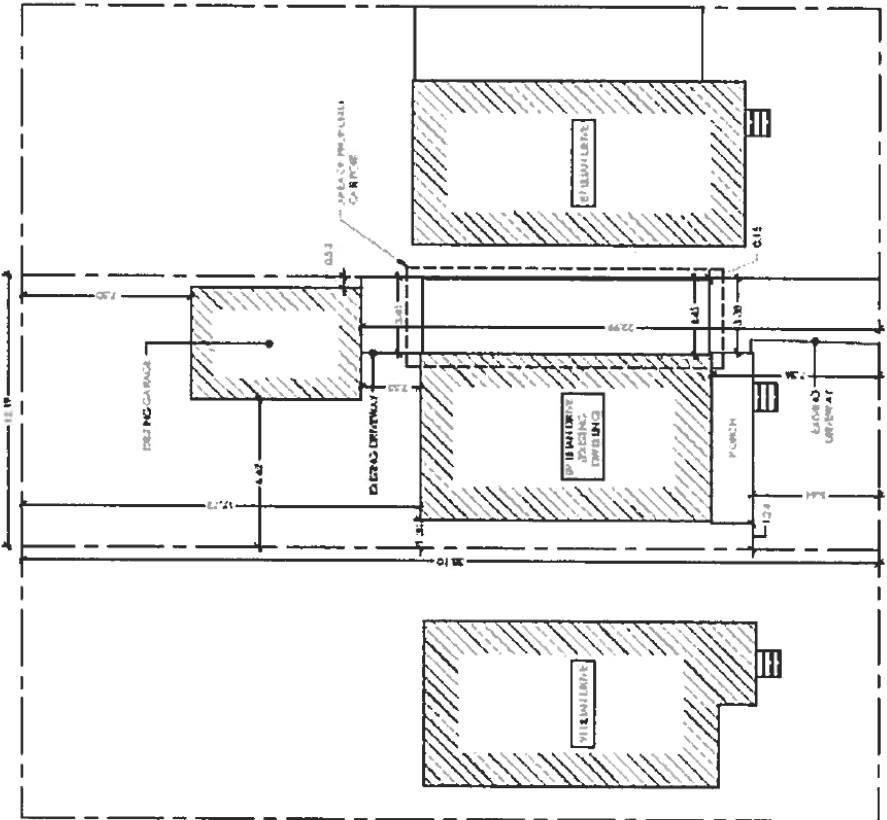
DATE: 11/11/11
 DRAWN BY: JMM
 CHECKED BY: JMM

DRAWING PREPARATION
 OF ATTACHED CARPORT,
 89 LILIAN DRIVE,
 SCARBOROUGH, ON

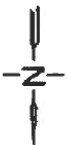
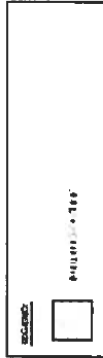
DATE: 11/11/11
 TYPED BY: JMM
 DATE: 11/11/11
 REVISION: 1
 DRAWN BY: JMM

SK.2

NOTES:
 1. ALL DIMENSIONS ARE IN METERS
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED



1 SITE PLAN - FOR REFERENCE [SEE OLS PLAN] SK.2
 1:200



SIGNATURE PAGE

File Number:	A0072/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	MURRON JACQUES	Ward:	Scarborough Centre (37)
Agent:	30 FORENSIC ENGINEERING	Heritage:	Not Applicable
Property Address:	89 LILIAN DR	Community:	Wexford Community
Legal Description:	PLAN 4168 LOT 320		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, April 18, 2017

LAST DATE OF APPEAL:
Wednesday, May 3, 2017

CERTIFIED TRUE COPY

Paul Galvin
Manager & Deputy Secretary Treasurer
Scarborough Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning

Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.