

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0078/17EYK	Zoning	RD & R2
Owner(s):	BRIDGEMOUNT DEVELOPMENT & CONSTRUCTION LTD	Ward:	Etobicoke-Lakeshore (05)
Agent:	M J DESIGN CONSULTANTS INC	Heritage:	Not Applicable
Property Address:	41 ELSFIELD RD	Community:	

Legal Description: PLAN 2406 LOT 54 N PT LOT 55

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition, a rear deck, a rear basement walkout and to construct a detached garage and a cabana in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**1. Section 10.20.40.70.(3)(C), By-law 569-2013**

The minimum required side yard setback is 1.2 m.

Section 320-42.1.(C)(1)

The minimum required side yard setback is 0.9 m.

Section 10.20.40.70.(3)(C), By-law 569-2013 and Section 320-42.1.(C)(1)

The altered dwelling will be located 0.46 m from the north side lot line.

2. Section 10.5.40.60.(7)(B), By-law 569-2013

The minimum required side yard setback for eaves is 0.3 m.

Section 320-41.D

The minimum required side yard setback for eaves is 0.4 m.

Section 10.5.40.60.(7)(B), By-law 569-2013 and Section 320-41.D

The eaves/roof projection of the altered dwelling will be located 0.21 m from the north side lot line.

3. Section 320-43.D.

The maximum permitted wall height of an accessory structure is 2.5 m.

The proposed detached garage will have a height of 2.96 m and the proposed cabana will have a height of 2.9 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

SIGNATURE PAGE

File Number:	A0078/17EYK	Zoning	RD & R2
Owner:	BRIDGEMOUNT DEVELOPMENT & CONSTRUCTION LTD	Ward:	Etobicoke-Lakeshore (05)
Agent:	M J DESIGN CONSULTANTS INC	Heritage:	Not Applicable
Property Address:	41 ELSFIELD RD	Community:	
Legal Description:	PLAN 2406 LOT 54 N PT LOT 55		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0108/17EYK	Zoning	E & IC2
Owner(s):	1542543 ONTARIO INC 1542543 ONTARIO INC	Ward:	Etobicoke North (02)
Agent:	VIKRAMJIT PANNU	Heritage:	Not Applicable
Property Address:	135 CARLINGVIEW DR	Community:	

Legal Description: CON 3 FTH PT LOT 19 RP 64R11505 PART 1

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To maintain a vehicle-related use in the Hotel Indigo. A previous Committee of Adjustment application (A705/11EYK) approved variances relating to permitted use.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**Section 60.20.20.10.(1), By-law 569-2013**

A vehicle dealership is not a permitted use in an E zone.

Section 304-32

Vehicle-related uses are not permitted in multiple-occupancy buildings.

A previous Committee of Adjustment application (A705/11EYK) approved vehicle related uses in a multiple-occupancy building for a period of five years, expiring February 16, 2017.

Section 60.20.20.10.(1), By-law 569-2013 and Section 304-32

The proposed vehicle rental establishment (dealership) use will be located in a multiple-occupancy building in an E zone.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.

- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:

1. The Committee of Adjustment's decision of approval shall be valid for a period of 5 years, expiring on May 25, 2022.
2. Parking for the existing vehicle rental establishment is restricted to a maximum of four vehicles, including staff parking and
3. Four parking stalls must be exclusively signed for use by rental and staff vehicles.

SIGNATURE PAGE

File Number:	A0108/17EYK	Zoning	E & IC2
Owner:	1542543 ONTARIO INC 1542543 ONTARIO INC	Ward:	Etobicoke North (02)
Agent:	VIKRAMJIT PANNU	Heritage:	Not Applicable
Property Address:	135 CARLINGVIEW DR	Community:	
Legal Description:	CON 3 FTH PT LOT 19 RP 64R11505 PART 1		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0122/17EYK	Zoning	RD & R2
Owner(s):	FRANCES PIACENTE MARIA PIACENTE	Ward:	Etobicoke-Lakeshore (05)
Agent:	WEATHERSTON ARCHITECTS	Heritage:	Not Applicable
Property Address:	26 GLENADEN AVE W	Community:	

Legal Description: PLAN 3143 LOT 34 W PT LOT 33

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling, a one-storey rear addition (behind the existing garage) and a new rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 320-59.C.**
The maximum permitted lot coverage is 33% of the lot area (111.77 m²).
Section 10.20.30.40.(1)(A), By-law 569-2013
The altered dwelling will cover 38% of the lot area (127.93 m²).
Section 320-59.C.
The altered dwelling will cover 39% of the lot area (133.01 m²).
- Section 900.3.10(42)(A)(i), By-law 569-2013**
The maximum permitted gross floor area (including an attached garage) is 0.5 times the area of the lot (169.35 m²).
Section 1.a), By-law 1993-109
The maximum permitted gross floor area (including attached or detached garages) shall be 118 m² plus 25% of the lot area (202.67 m²).
Section 900.3.10(42)(A)(i), By-law 569-2013 and Section 1.a), By-law 1993-109
The altered dwelling (including the attached garage) will have a gross floor area of 0.67 times the area of the lot (228.08 m²).

3. **Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 320-42.1.C.(1)
The minimum required side yard setback is 0.9 m, providing the aggregate is not less than 2.1 m.
Section 10.20.40.70.(3)(C), By-law 569-2013 and Section 320-42.1.C.(1)
The altered dwelling will be located 0.55 m from the east side lot line and will have a total aggregate side yard width of 1.92 m.
4. **Section 10.5.40.60.(7), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m.
Section 320-41.D
The minimum required side yard setback for eaves is 0.4 m.
Section 10.5.40.60.(7), By-law 569-2013 and Section Section 320-41.D
The eaves of the altered dwelling will be located 0 m from the east side lot line.
5. **Section 320-42.1.B.(2)**
The maximum permitted soffit height is 6.5 m.
The altered dwelling will have a soffit height of 6.55 m.
6. **Section 10.5.50.10.(1)(D), By-law 569-2013 and Section 320-24.10.A**
A minimum of 75% of the front yard, not covered by a permitted driveway, shall be maintained as soft landscaping (44.3 m²).
A total of 47% of the front yard, not covered by a permitted driveway, will be maintained as soft landscaping (27.7 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0122/17EYK	Zoning	RD & R2
Owner:	FRANCES PIACENTE MARIA PIACENTE	Ward:	Etobicoke-Lakeshore (05)
Agent:	WEATHERSTON ARCHITECTS	Heritage:	Not Applicable
Property Address:	26 GLENADEN AVE W	Community:	
Legal Description:	PLAN 3143 LOT 34 W PT LOT 33		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0126/17EYK	Zoning	RA
Owner(s):	MARMELOCK INVESTMENTS LTD DENNIS KALISH	Ward:	Etobicoke Centre (04)
Agent:	NOAM HAZAN DESIGN STUDIO	Heritage:	Not Applicable
Property Address:	25 RICHVIEW RD	Community:	

Legal Description: CON C PT LOT 16 RP R4225 PART 2

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To convert one dwelling unit within the existing apartment building into two dwelling units.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**Section 1.(a), By-law 702**

A maximum of 966 dwelling units are permitted for the entire site.

A total of 967 dwelling units are being proposed for the site.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0126/17EYK	Zoning	RA
Owner:	MARMELOCK INVESTMENTS LTD	Ward:	Etobicoke Centre (04)
Agent:	DENNIS KALISH NOAM HAZAN DESIGN STUDIO	Heritage:	Not Applicable
Property Address:	25 RICHVIEW RD	Community:	
Legal Description:	CON C PT LOT 16 RP R4225 PART 2		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0175/17EYK	Zoning:	IC1
Owner(s):	SATINDER SANDHU GULMIT SANDHU	Ward:	Etobicoke North (01)
Agent:	NITIN MALHOTRA	Heritage:	Not Applicable
Property Address:	2115 CODLIN CRES	Community:	

Legal Description: PLAN 28 PT LOT 6 PT LOT 5

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey west side addition to the existing industrial building located at the rear of the property.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 304-36.D.(2)**
The minimum required side yard setback is 3 m, with a minimum required aggregate side yard setback of 7.42 m.
The altered building will be located 1.5 m from the west side lot line, with a total aggregate side yard setback of 2.46 m.
- Section 304-36.C**
The minimum required rear yard setback is 6 m.
The altered building will be located 1.41 m from the rear lot line.
- Section 320-18.F.(3)(1)**
A minimum of 25 parking spaces are required for the vehicle related use.
A total of 15 parking spaces will be provided for the vehicle related use..

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

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- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0175/17EYK	Zoning	IC1
Owner:	SATINDER SANDHU GULMIT SANDHU	Ward:	Etobicoke North (01)
Agent:	NITIN MALHOTRA	Heritage:	Not Applicable
Property Address:	2115 CODLIN CRES	Community:	
Legal Description:	PLAN 28 PT LOT 6 PT LOT 5		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0176/17EYK	Zoning	RM & R3
Owner(s):	MUHAMMAD KHALID	Ward:	Etobicoke North (02)
Agent:	DEAR ONTARIO	Heritage:	Not Applicable
Property Address:	16 HATFIELD CRES	Community:	

Legal Description: PLAN 4163 LOT 111

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the dwelling by constructing: a second storey addition above the existing dwelling, a two-storey rear addition, a one-storey east side addition (for the purpose of a garage), a new front porch and a rear deck. The existing garage will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.6.10.(18)(E), By-law 569-2013 and Section 320-42.1.A.(1)**
The maximum permitted floor space index / gross floor area is 0.45 times the area of the lot (214.72 m²).
Section 900.6.10.(18)(E), By-law 569-2013
The altered dwelling will have a floor space index of 0.55 times the area of the lot (262.07 m²).
Section 320-42.1.A.(1)
The altered dwelling will have a gross floor area of 0.62 times the area of the lot (293.4 m²).
- Section 320-42.E.**
The maximum projection for a deck into the required rear yard setback is 1.6 m.
The proposed rear deck will project 2.5 m into the required rear yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

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- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0176/17EYK	Zoning	RM & R3
Owner:	MUHAMMAD KHALID	Ward:	Etobicoke North (02)
Agent:	DEAR ONTARIO	Heritage:	Not Applicable
Property Address:	16 HATFIELD CRES	Community:	
Legal Description:	PLAN 4163 LOT 111		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0180/17EYK	Zoning	RD & R1
Owner(s):	MIRJANA SCEPANOVIC PAVLE SCEPANOVIC	Ward:	Etobicoke Centre (04)
Agent:	PAVLE SCEPANOVIC	Heritage:	Not Applicable
Property Address:	41 GREAT OAK DR	Community:	

Legal Description: PLAN 3910 LOT 90

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a partial second storey and a new attached garage addition (which will replace the existing carport).

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 320-55.C.**
The maximum permitted lot coverage is 33% of the lot area (294.1 m²).
The altered dwelling will cover 33.6% of the lot area (299.7 m²).
- 2. Section 900.3.10.(37)(C), By-law 569-2013 and Section 1.(b)(1), By-law 1992-25**
The maximum permitted gross floor area, including an attached or detached garage, shall be 150 m² plus 25% of the lot area (372.8 m²).
The altered dwelling, including the attached garage, will have a gross floor area of 150 m² plus 27.4% of the lot area (394.1 m²).
- 3. Section 10.20.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 9.54 m.
The altered dwelling will be located 9.31 m from the front lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0180/17EYK	Zoning	RD & R1
Owner:	MIRJANA SCEPANOVIC PAVLE SCEPANOVIC	Ward:	Etobicoke Centre (04)
Agent:	PAVLE SCEPANOVIC	Heritage:	Not Applicable
Property Address:	41 GREAT OAK DR	Community:	
Legal Description:	PLAN 3910 LOT 90		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0185/17EYK	Zoning:	RD & R2
Owner(s):	GALINA BURYAK VYACHESLAV BURYAK	Ward:	Etobicoke-Lakeshore (05)
Agent:	VYACHESLAV BURYAK	Heritage:	Not Applicable
Property Address:	67 CLAYMORE DR	Community:	

Legal Description: PLAN 4581 LOT 29

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey front addition. with a new front porch and a second storey addition above the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 & Section 320-59(C)**
The maximum permitted lot coverage is 33% of the lot area (172.7 m²)
The altered dwelling will have a lot coverage of 36.2% of the lot area (189.5 m²).
- Section 900.3.10(42)(A)(1), By-law 569-2013 & Section (1)(a), By-law 1993-109**
The maximum permitted gross floor area is 0.45 times the lot area (235.5 m²).
The altered dwelling will have a gross floor area of 0.65 times the lot area (343.3 m²).
- Section 10.20.40.70.(1), By-law 569-2013 & Section 320-40(C)(1)**
The minimum required front yard setback is 9.78 m.
The altered dwelling will be located 7.78 m from the front lot line.
- Section 320-42.1(C)(2)**
The minimum required aggregate side yard setback is 3.21 m.
The altered dwelling will have an aggregate side yard setback of 2.65 m.
- Section 10.20.40.10.(1)(A), By-law 569-2013 & Section 320-42.1(B)(1)**
The maximum permitted dwelling height is 9.5 m.
The altered dwelling will have a height of 10.62 m.
- Section 10.20.40.10.(6), By-law 569-2013**
The maximum permitted height of the first floor is 1.2 m, above established grade.
The altered dwelling will have a first floor height of 1.46 m, above established grade.

7. **Section 10.20.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7 m.
The altered dwelling will have a front exterior main wall height of 7.37 m.
8. **Section 320-42.1(B)(2)**
The maximum permitted soffit height is 6.5 m.
The altered dwelling will have a soffit height of 7.05 m.
9. **Section 10.20.40.50., By-law 569-2013**
The maximum permitted area of a platform at or above the second storey is 4 m².
The proposed front balcony will have an area of 4.46 m²

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0185/17EYK	Zoning	RD & R2
Owner:	GALINA BURYAK VYACHESLAV BURYAK	Ward:	Etobicoke-Lakeshore (05)
Agent:	VYACHESLAV BURYAK	Heritage:	Not Applicable
Property Address:	67 CLAYMORE DR	Community:	
Legal Description:	PLAN 4581 LOT 29		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0186/17EYK	Zoning	RD & R2
Owner(s):	NITISH HEJMADI HONEY HEJMADI	Ward:	Etobicoke Centre (03)
Agent:	KEN BECKENDAM	Heritage:	Not Applicable
Property Address:	84 HILLCROFT DR	Community:	

Legal Description: PLAN 3274 LOT 46

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey rear addition (covered porch).

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**Section 10.20.30.40.(1)(A), By-law 569-2013 & Section 320-59.C.**The maximum permitted lot coverage is 33% of the lot area (161.68 m²).**Section 10.20.30.40.(1)(A), By-law 569-2013**The altered dwelling will have a lot coverage of 37% of the lot area (178.77 m²).**Section 320-59.C.**The altered dwelling will have a lot coverage of 42% of the lot area (203.27 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The proposal shall be constructed substantially in accordance with the site and elevation plans held on file by the Committee of Adjustment office and date stamped as received on February 23, 2017, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0186/17EYK	Zoning	RD & R2
Owner:	NITISH HEJMADI HONEY HEJMADI	Ward:	Etobicoke Centre (03)
Agent:	KEN BECKENDAM	Heritage:	Not Applicable
Property Address:	84 HILLCROFT DR	Community:	
Legal Description:	PLAN 3274 LOT 46		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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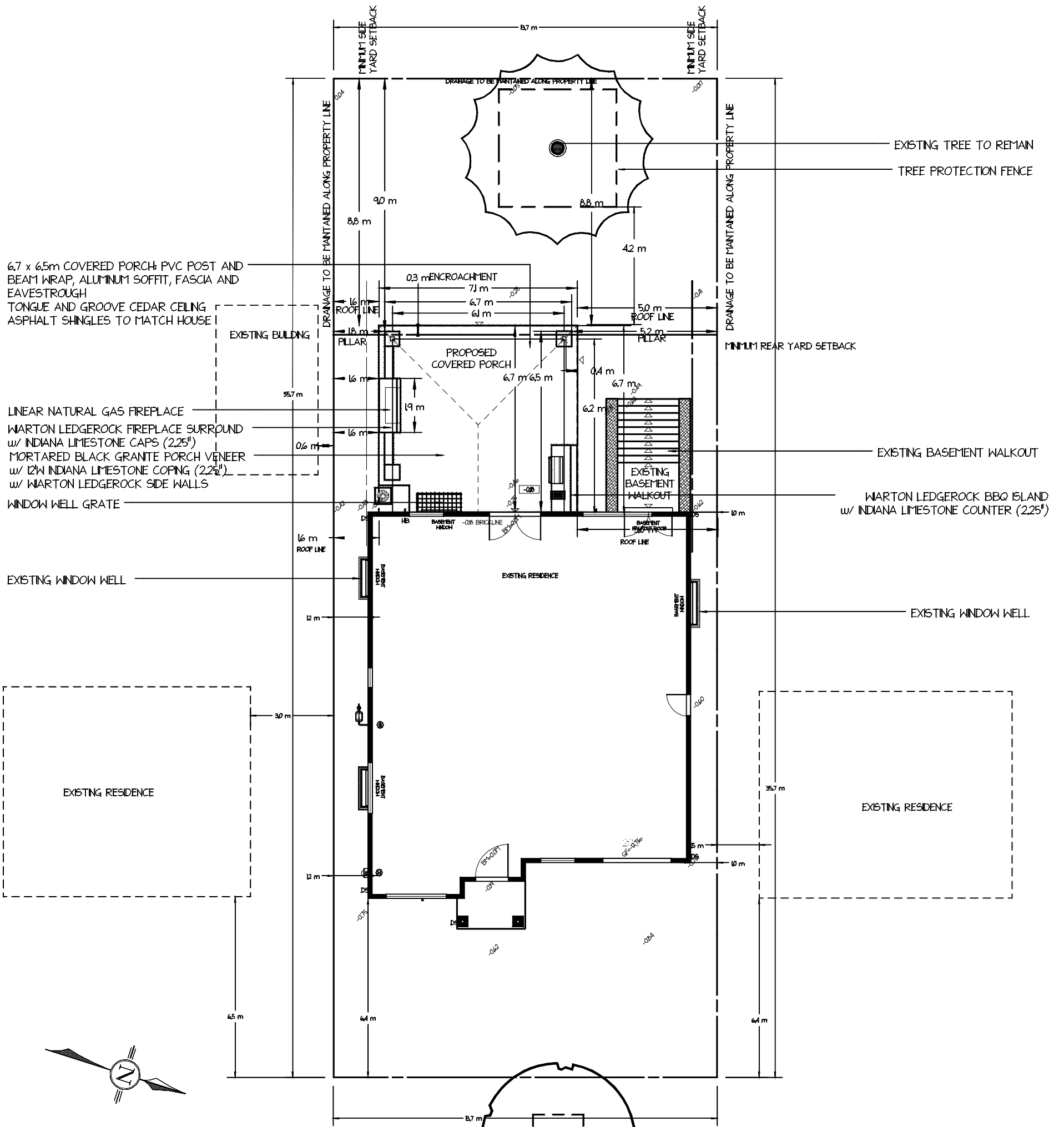
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6.7 x 6.5m COVERED PORCH: PVC POST AND BEAM WRAP, ALUMINUM SOFFIT, FASCIA AND EAVESTROUGH
 TONGUE AND GROOVE CEDAR CEILING
 ASPHALT SHINGLES TO MATCH HOUSE

LINEAR NATURAL GAS FIREPLACE
 WARTON LEDGEROCK FIREPLACE SURROUND w/ INDIANA LIMESTONE CAPS (2.25")
 MORTARED BLACK GRANITE PORCH VENEER w/ 12" INDIANA LIMESTONE COPING (2.25") w/ WARTON LEDGEROCK SIDE WALLS
 WINDOW WELL GRATE

EXISTING BASEMENT WALKOUT
 WARTON LEDGEROCK BBQ ISLAND w/ INDIANA LIMESTONE COUNTER (2.25")

SITE STATISTICS

AREAS	
LOT	489.95 SQ M
HOUSE	150.43 SQ M
PROP COVERED PORCH	43.55 SQ M
LOT COVERAGE	
HOUSE	31%
PORCH	9%
TOTAL PROPOSED	40%

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SITE PLAN
 84 HILLCROFT DR
 ETOBICOKE, ON

SCALE	1/50
DESIGNER	P.F.
DATE	FEB 2017

Inspired by Nature Guided by Experience Defined by Character

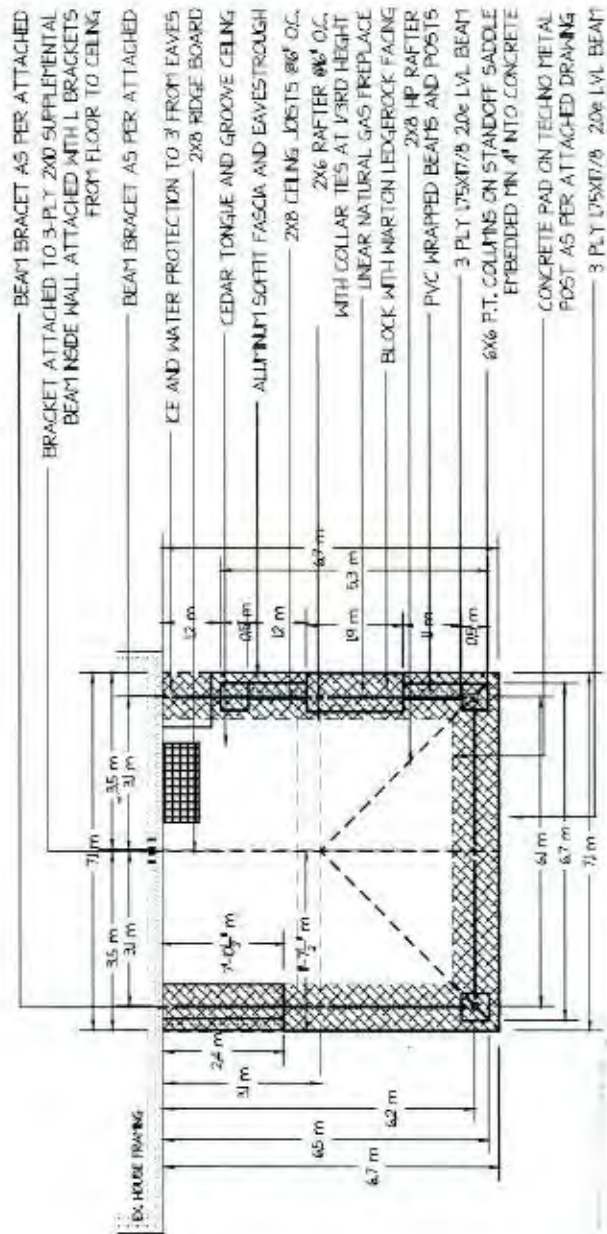
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SCALE	1/8" = 1'-0"
DESIGNER	P.T.
DATE	FEB 2017

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FRAMING DIAGRAM

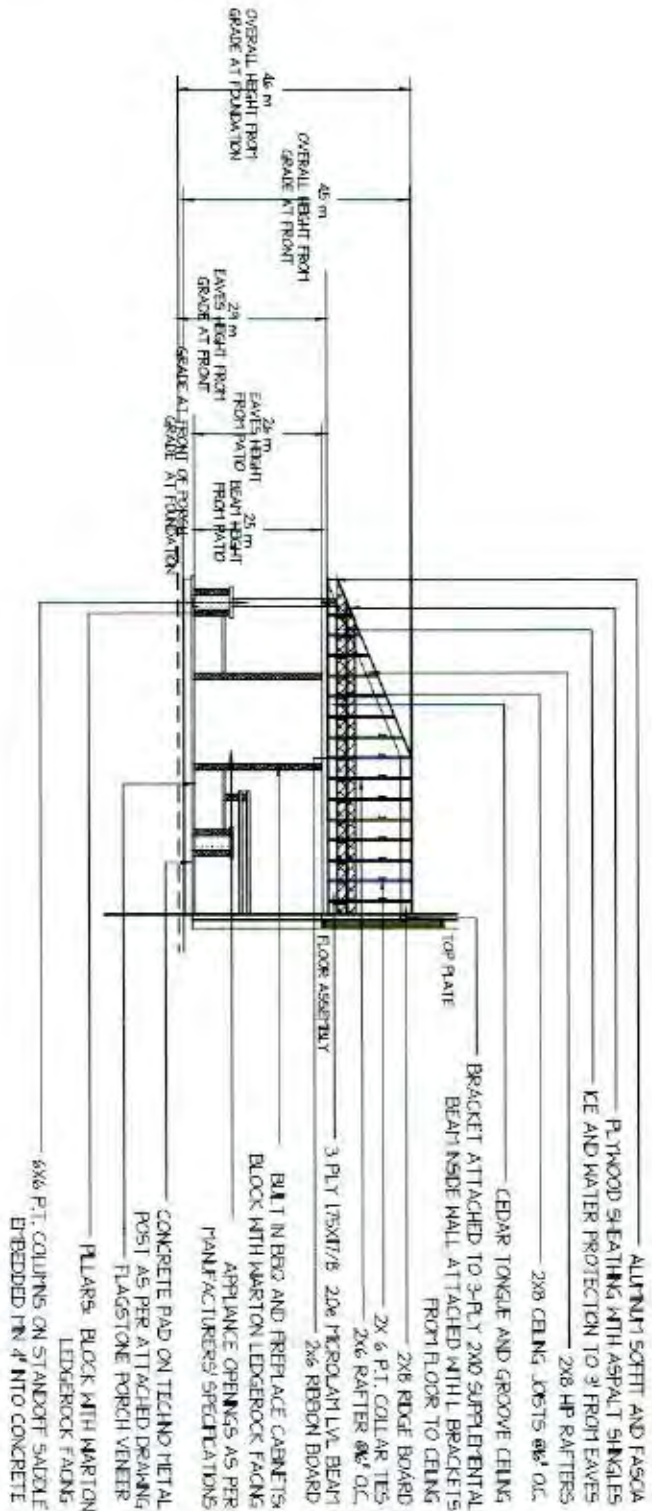


ALL FRAMING MEMBERS TO BE P.T. IN ACCORDANCE WITH OBC





ALL FRAMING MEMBERS TO BE P.I.T. IN ACCORDANCE WITH OBC



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RIGHT SD ELEVATION
HILLCROFT DR
ETOBICOKE, ON

SCALE	1/50
DRAWN BY	PF.
DATE	FEB 2017

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Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0193/17EYK	Zoning	RD & R2
Owner(s):	LORI BANKS NICOLAS VERNI	Ward:	Etobicoke Centre (04)
Agent:	PAUL MARQUES ARCHITECT	Heritage:	Not Applicable
Property Address:	27 JARDINE PL	Community:	

Legal Description: PLAN 5489 LOT 169

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing dwelling by constructing the following: a one-storey north side addition with an attached garage, a rear addition with a new deck and a new shed in the rear yard..

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 33% of the lot area (228.3 m²).
The altered dwelling will have a lot coverage of 33.63% of the lot area (232.67 m²).
- Section 320-43.E.(1)**
The maximum permitted lot coverage for an ancillary building is 2% of the lot area (13.84 m²).
The proposed shed will have a lot coverage of 3.77% of the lot area (26.05 m²).
- Section 320-43.D.**
No part of the walls or supporting posts supporting a pitched roof of an accessory building shall exceed 2.5 m in height.
The proposed height of the supporting walls of the proposed shed will be 3.18 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for permit to injure or destroy privately owned trees.

SIGNATURE PAGE

File Number:	A0193/17EYK	Zoning	RD & R2
Owner:	LORI BANKS NICOLAS VERNI	Ward:	Etobicoke Centre (04)
Agent:	PAUL MARQUES ARCHITECT	Heritage:	Not Applicable
Property Address:	27 JARDINE PL	Community:	
Legal Description:	PLAN 5489 LOT 169		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0194/17EYK	Zoning	RD & R2
Owner(s):	ABIGAIL BEZANT ELSON JAMES ELSON	Ward:	Etobicoke-Lakeshore (05)
Agent:	GREGORY REUTER ARCHITECT	Heritage:	Not Applicable
Property Address:	33 BRENTWOOD RD S	Community:	

Legal Description: PLAN 2436 N PT LOT 50

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling, the existing semi-detached garage will be maintained.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 320-59.C.**
The maximum permitted lot coverage is 33% of the lot area (122.3 m²).
Section 10.20.30.40.(1)(A), By-law 569-2013
The new dwelling will cover 39.51% of the lot area (145.42 m²).
Section 320-59.C
The new dwelling will cover 40.1% of the lot area (148.63 m²).
- Section 900.3.10.(18)(E), By-law 569-2013 and Section 1.(b)(1), By-law 1992-22**
The maximum permitted gross floor area is 185 m² or a floor space index of 0.45 times the area of the lot (166.77 m²).
The new dwelling will have a gross floor area of (254.3 m²) and a floor space index of 0.69 times the area of the lot (254.3 m²).
- Section 900.3.10.(18)(A), By-law 569-2013 and Section 1.a)(1), By-law 1992-22**
The maximum permitted building height is 8.5 m.
The new dwelling will have a height of 9.1 m.

4. **Section 900.3.10.(18)(B), By-law 569-2013**
The maximum permitted main wall height is 6 m above established grade.
The new dwelling will have a main wall height of 8.39 m above established grade.
5. **Section 1.a)(2), By-law 1992-22**
The maximum permitted building height is 6 m.
The new dwelling will have a height of 7.95 m.
6. **Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The new dwelling will have a length of 17.75 m.
7. **Section 1.d)(1), By-law 1992-22**
The maximum permitted building depth is 16.5 m.
The new dwelling will have a depth of 17.89 m.
8. **Section 10.5.100.1.(1)(A), By-law 569-2013**
The minimum required driveway width is 2 m.
Section 320-44.A.(1)(a)
The minimum required driveway width is 2.6 m.
Section 10.5.100.1.(1)(A), By-law 569-2013 and Section 320-44.A.(1)(a)
The proposed driveway will have a width of 1.22 m in the front yard.
9. **Section 10.5.60.1.(4).(4), By-law 569-2013**
No above-ground part of an ancillary building or structure may be erected prior to the erection of the main walls and completion of the roof of a residential building on the same lot.
The existing semi-detached rear garage (ancillary structure) will be maintained and be in existence prior to the erection of the main walls and completion of the roof of the new detached dwelling on the same lot.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
2. The proposal shall be constructed substantially in accordance with the revised plans submitted and held on file by the Committee of Adjustment office and date stamped as received on April 27, 2017, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

3. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 3.1 The site plan must be revised to illustrate the proposed new driveway and curb cut within the abutting Brentwood Road municipal boulevard, the removal of the redundant portions of the existing driveway and restoration of the redundant curb cut with raised concrete curb in accordance to City of Toronto Design Standard No. T-310.050-1 and T-310.010-4.
 - 3.2 The site plan must be revised to include a notation on the drawing stating: "The proposed new driveway shall be constructed to the applicable City of Toronto Design Standard(s)";
 - 3.3 The site plan must be revised to include a notation on the drawing stating: "The applicant must provide a Municipal Road Damage Deposit (MRDD) for the proposed driveway construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at 416-338-1045 in this regard;
 - 3.4 The site plan must be revised to include a notation on the drawing stating: "The applicant must obtain all required permits for work within the public road allowance from the Right-of-Way Management Section of Transportation Services";

SIGNATURE PAGE

File Number:	A0194/17EYK	Zoning	RD & R2
Owner:	ABIGAIL BEZANT ELSON JAMES ELSON	Ward:	Etobicoke-Lakeshore (05)
Agent:	GREGORY REUTER ARCHITECT	Heritage:	Not Applicable
Property Address:	33 BRENTWOOD RD S	Community:	
Legal Description:	PLAN 2436 N PT LOT 50		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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CITY OF TORONTO
COMMITTEE OF ADJUSTMENT
ETOBICOKE YORK DISTRICT

REVISED

MAY 5, 2017



The Elson Residence

C of A Submission - Revision 2

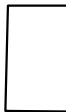
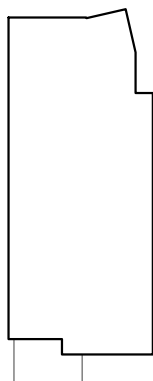
May 5th 2017

Gregory Reuter Architect



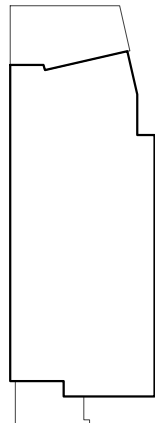
B.E.S., B.Arch., OAA, MRAIC
115 Danforth Ave., Toronto
greuter@rdcabuild.com
t 647 261 8052

EX. GAR.
AREA:
17.3 m²
186.2 sq ft

BASEMENT
AREA:
122.9 m²
1322.8 sq ft

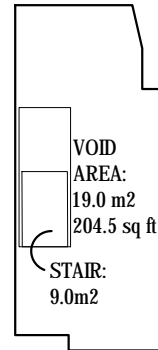
COLD
AREA:
6.9 m²
74.2 sq ft



COVERED
AREA:
17.1 m²
184.0 sq ft

GROUND
FLOOR
AREA:
121.8 m²
1311.0 sq ft

COVERED
AREA:
6.9 m²
74.2 sq ft



VOID
AREA:
19.0 m²
204.5 sq ft

STAIR:
9.0m²

SECOND
FLOOR
AREA:
125.2 m²
1347.6 sq ft

3/A0.1

FLOOR AREAS

SCALE NTS

AREA:	metric	imperial
SECOND FLOOR AREA:	125.2 m ²	1347.6 sq ft
SECOND FLOOR VOID:	10.0	204.5
GROUND FLOOR AREA:	121.8 m ²	1311.0 sq ft
BASEMENT AREA:	122.9 m ²	1322.8 sq ft
EX. GARAGE AREA:	17.3 m ²	186.2 sq ft
TOTAL AREA:	359.9 m²	3873.9 sq ft
TOTAL ABOVE GR. AREA:	237.0 m²	2551.0 sq ft
TOTAL SITE AREA:	370.6 m²	3989 sq ft
PROPOSED DENSITY:	68.6% [125.2 -10.0 +121.8 +17.3 / 370.6]	
DWELLING DENSITY:	63.9% [125.2 -10.0 +121.8 / 370.6]	
AVERAGE GRADE:	(118.50 + 118.54)/2 = 118.52	

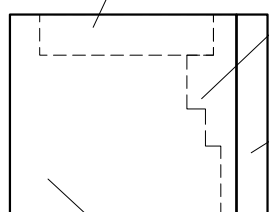
PROJECT DESCRIPTION:
DEMOLITION OF AN EXISTING DWELLING STRUCTURE OF 120m² [1291 sqft].
PROVISION OF A NEW 2 STOREY DWELLING STRUCTURE WITH A FINISHED BASEMENT.

2/A0.1

BUILDING & SITE DATA

SCALE NTS

TOTAL FRONT
YARD AREA:
80.0 m²



COVERED
PORCH AREA:
10.9 m²

PERMEABLE
WALK AREA:
9.0 m²

DRIVEWAY
AREA:
9.6 m²

SOFT LANDSC'D
AREA:
50.3 m²

Gregory Reuter Architect



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greuter@rdcabuild.com
1 647 261 8052

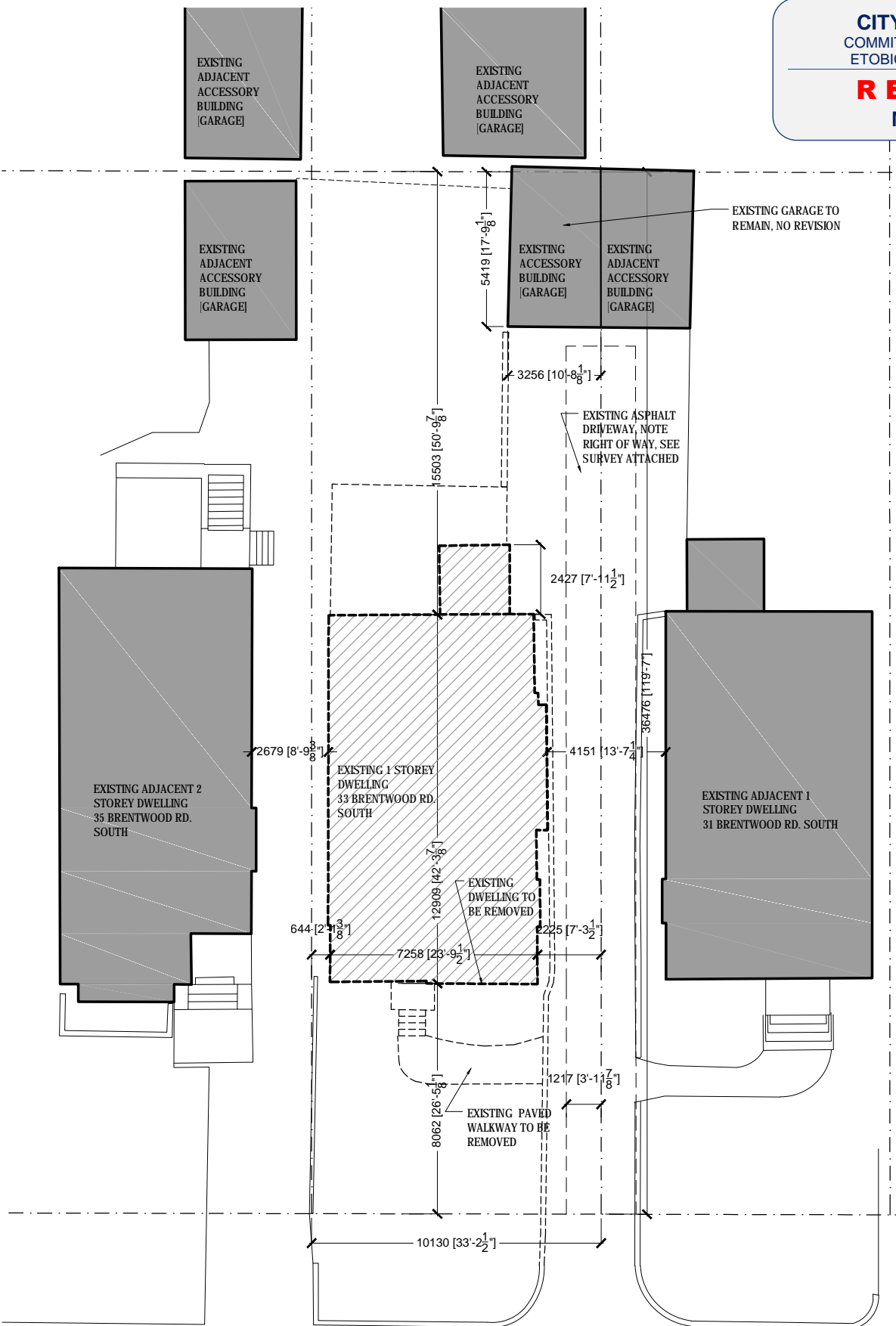
PROJECT:	The Elson Residence
ISSUE:	Schematics
SCALE UNO:	NTS
DRAWING NO AND TITLE:	A0.1 SITE PLAN

PROJECT NO: 16035

4/A0.1

LANDSCAPE AREAS

SCALE NTS



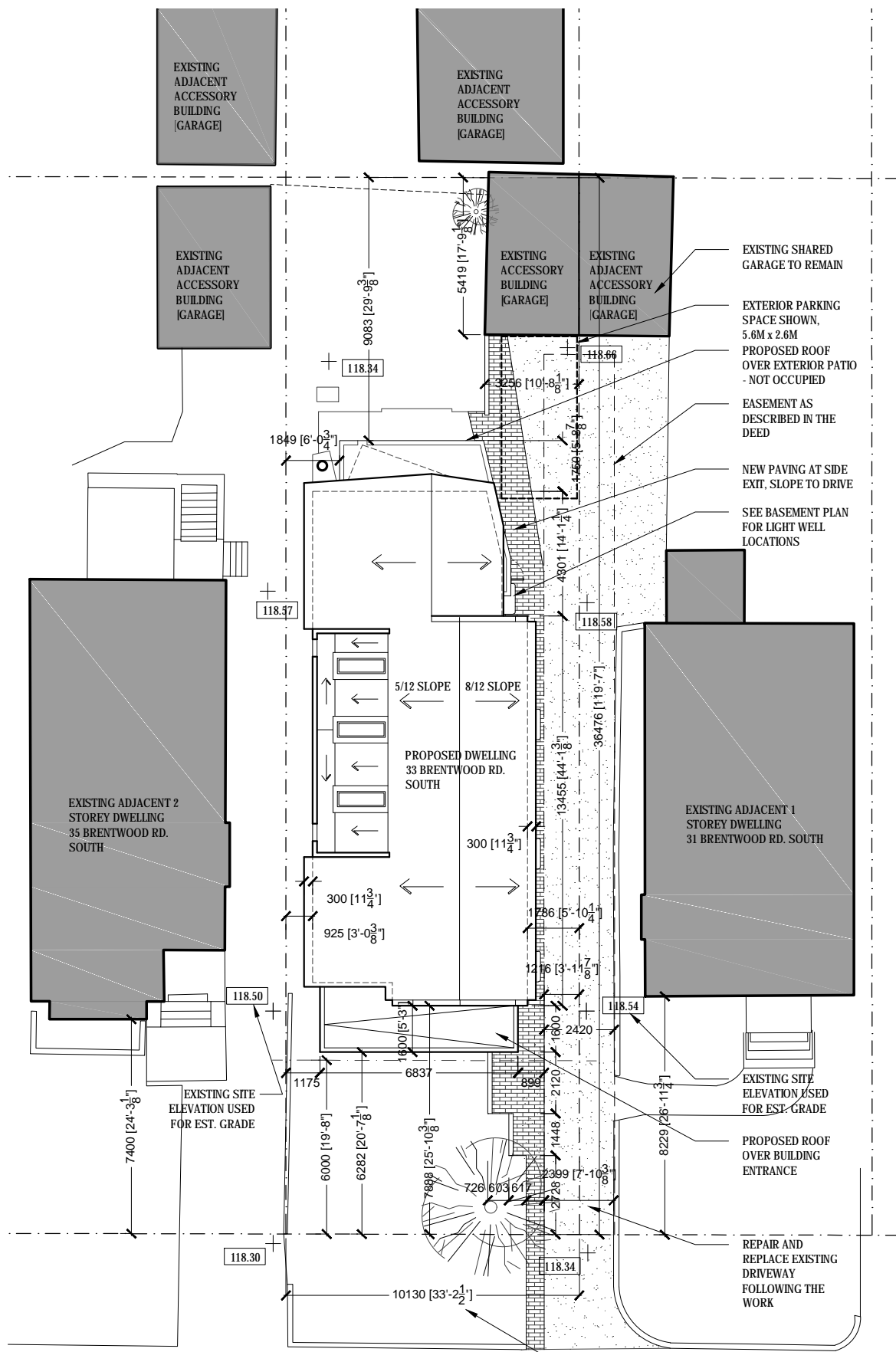
Gregory Reuter Architect



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 115 Danforth Ave., Toronto
 greuter@rdcabuild.com
 1 647 261 8052

PROJECT:	The Elson Residence
ISSUE:	Schematics
SCALE UNO:	NTS
DRAWING NO AND TITLE:	A0.2 EXISTING SITE PLAN

1/A1.1
PROPOSED SITE PLAN
 SCALE 1: 200



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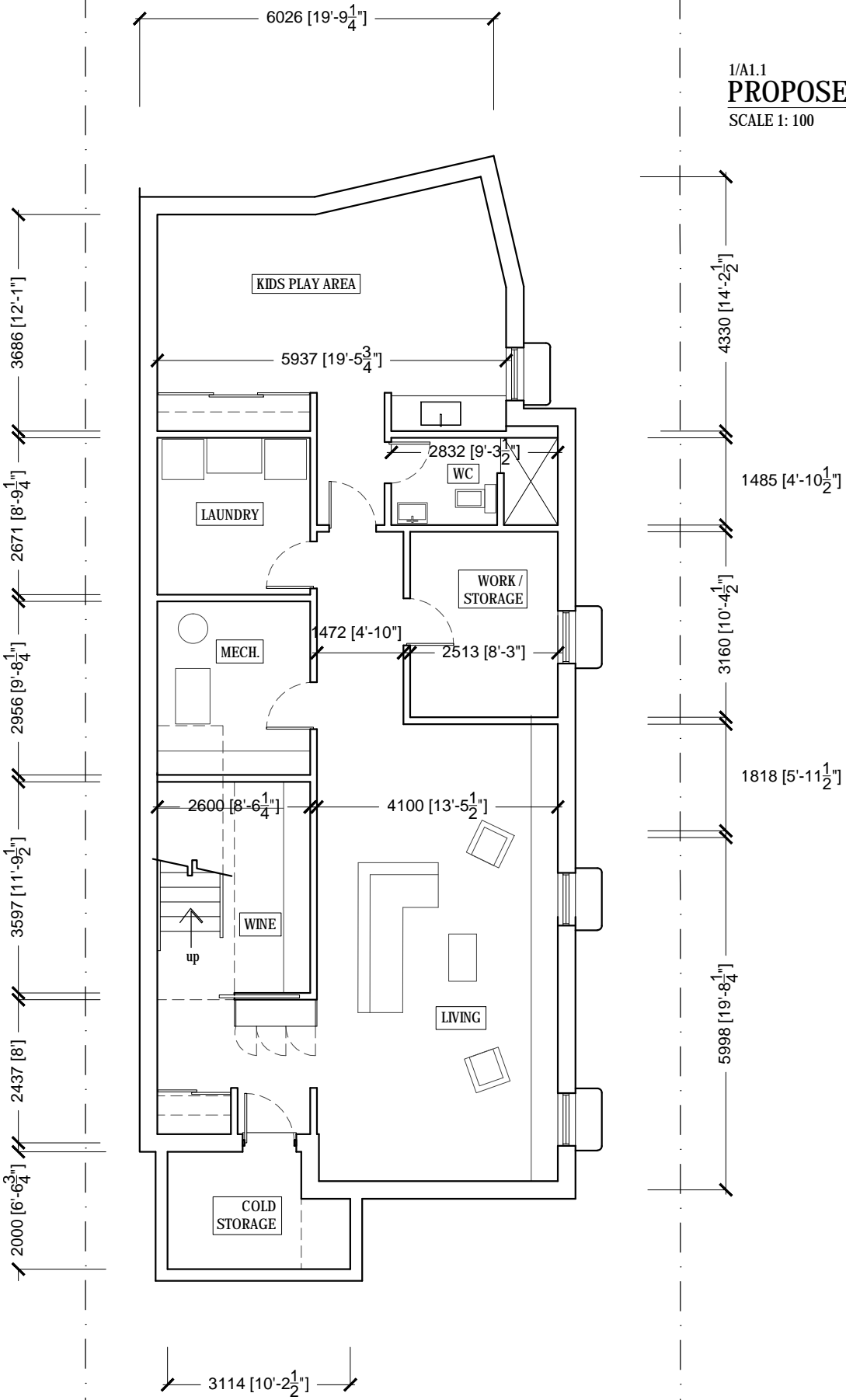
1/A1.1
PROPOSED SITE PLAN
 SCALE 1: 200

PROJECT:	The Elson Residence
ISSUE:	Schematics
SCALE UNO:	NTS
DRAWING NO AND TITLE:	A1.1 PROPOSED SITE PLAN

PROJECT NO: 16035

1/A1.1
PROPOSED GROUND PLAN

SCALE 1: 100



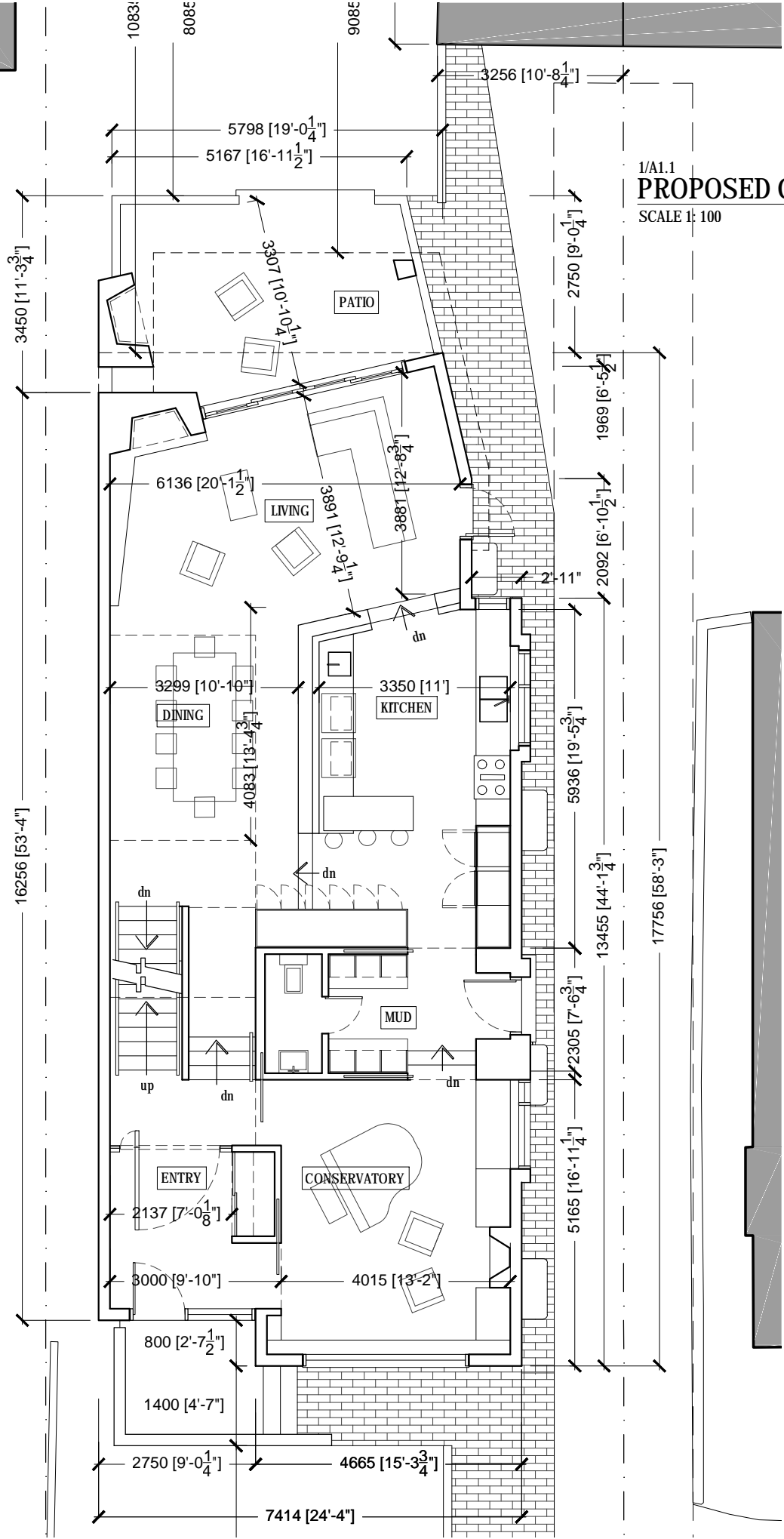
Gregory Reuter Architect



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 115 Danforth Ave., Toronto
 greuter@rdcabuild.com
 t 647 261 8052

PROJECT:	The Elson Residence
ISSUE:	Schematics
SCALE UNO:	NTS
DRAWING NO AND TITLE:	A2.0 BASEMENT FLOOR PLAN

PROJECT NO: 16035



1/A1.1
PROPOSED GROUND PLAN
 SCALE 1:100



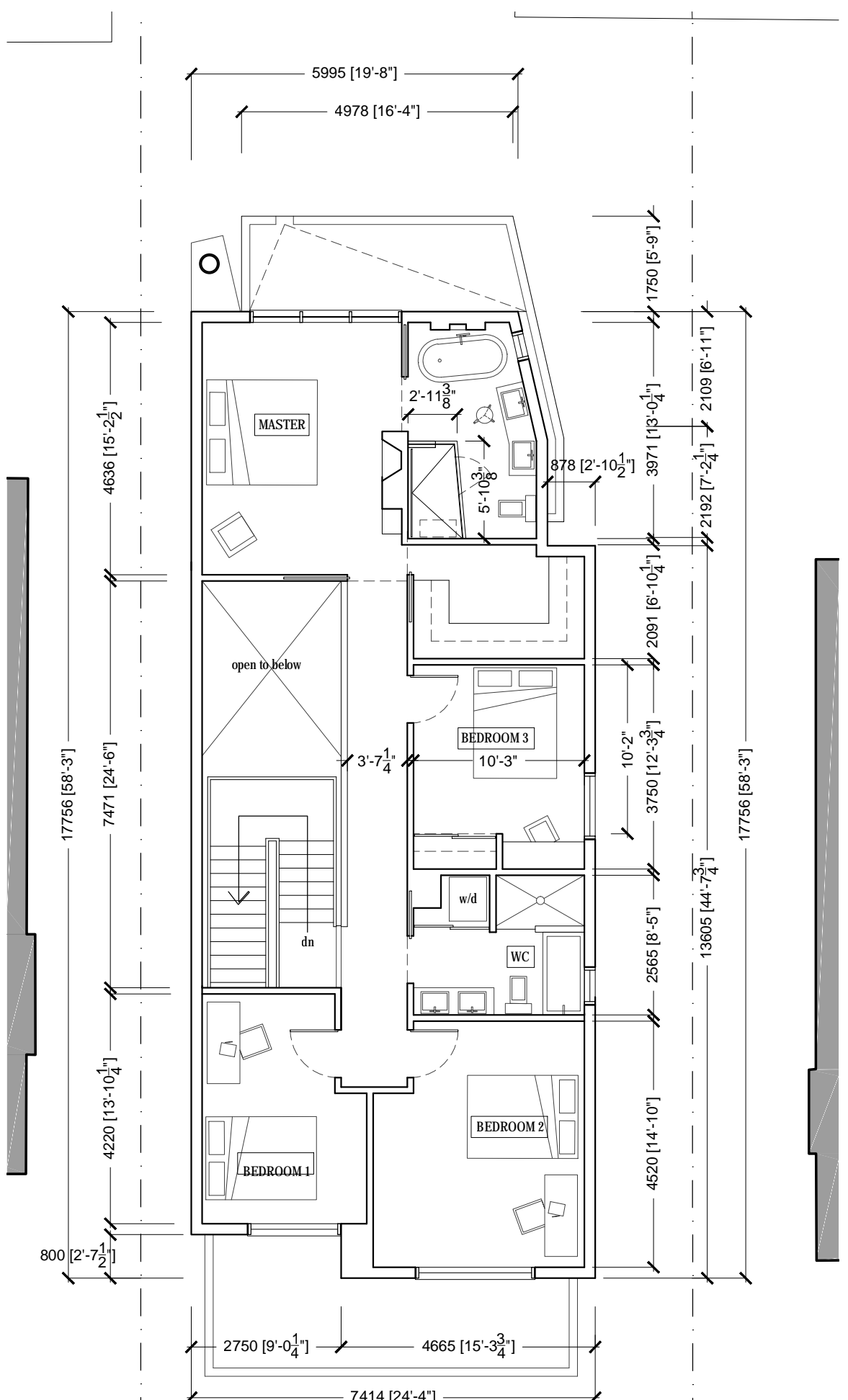
Gregory Reuter Architect



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 115 Danforth Ave., Toronto
 greuter@rdcabuild.com
 1 647 261 8052

PROJECT:	The Elson Residence
ISSUE:	Schematics
SCALE UNO:	NTS
DRAWING NO AND TITLE:	A2.1 GROUND FLOOR PLAN

PROJECT NO: 16035



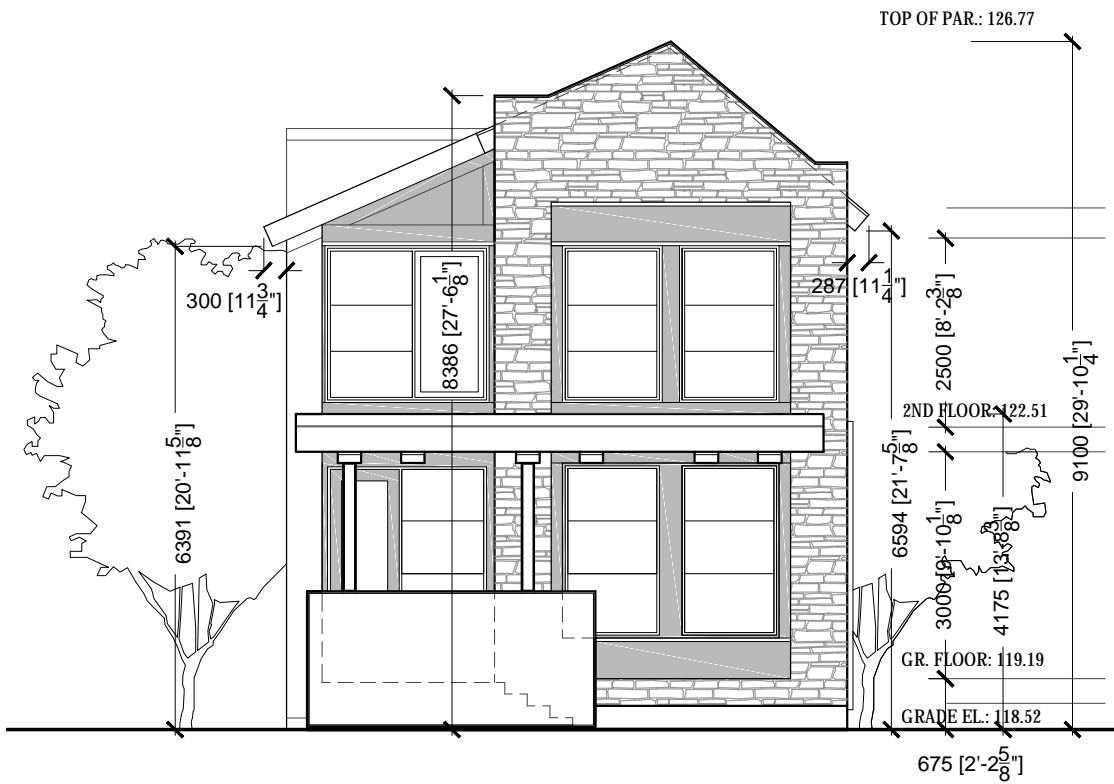
Gregory Reuter Architect



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 greuter@rdcabuild.com
 t 647 261 8052

PROJECT:	The Elson Residence
ISSUE:	Schematics
SCALE UNO:	NTS
DRAWING NO AND TITLE:	A2.2 PROPOSED SECOND FLOOR
PROJECT NO:	16035

1/A2.1
PROPOSED SECOND FLOOR PLAN
 SCALE 1: 100



1/A3.1
WEST FACADE
 SCALE 1: 100

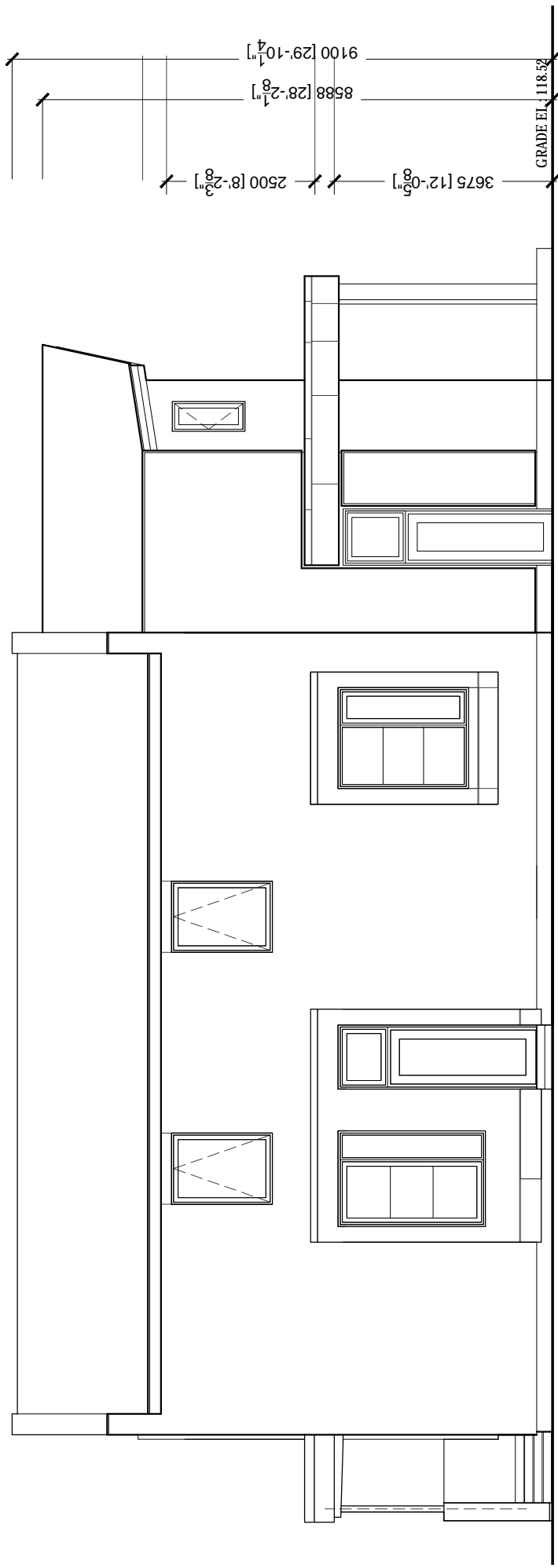
Gregory Reuter Architect



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 115 Danforth Ave., Toronto
 greuter@rdcabuild.com
 t 647 261 8052

PROJECT:	The Elson Residence
ISSUE:	Schematics
SCALE UNO:	NTS
DRAWING NO AND TITLE:	A3.1 WEST ELEVATION

PROJECT NO: 16035



1/A3.2
SOUTH FACADE
 SCALE 1: 100

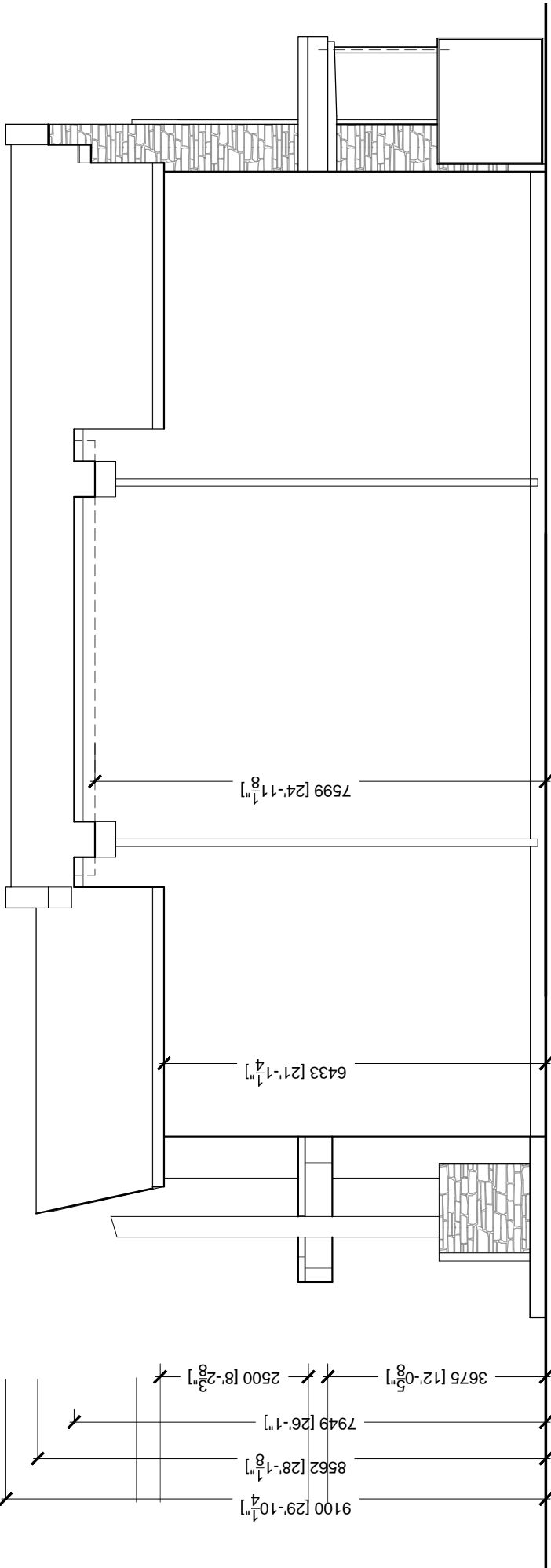
Gregory Reuter Architect



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 115 Danforth Ave., Toronto
 greuter@rdcabuild.com
 t 647 261 8052

PROJECT:	The Elson Residence
ISSUE:	Schematics
SCALE UNO:	NTS
DRAWING NO AND TITLE:	A3.2 SOUTH ELEVATION

PROJECT NO: 16035



1/A3.3
NORTH ELEVATION
 SCALE 1: 100

Gregory Reuter Architect

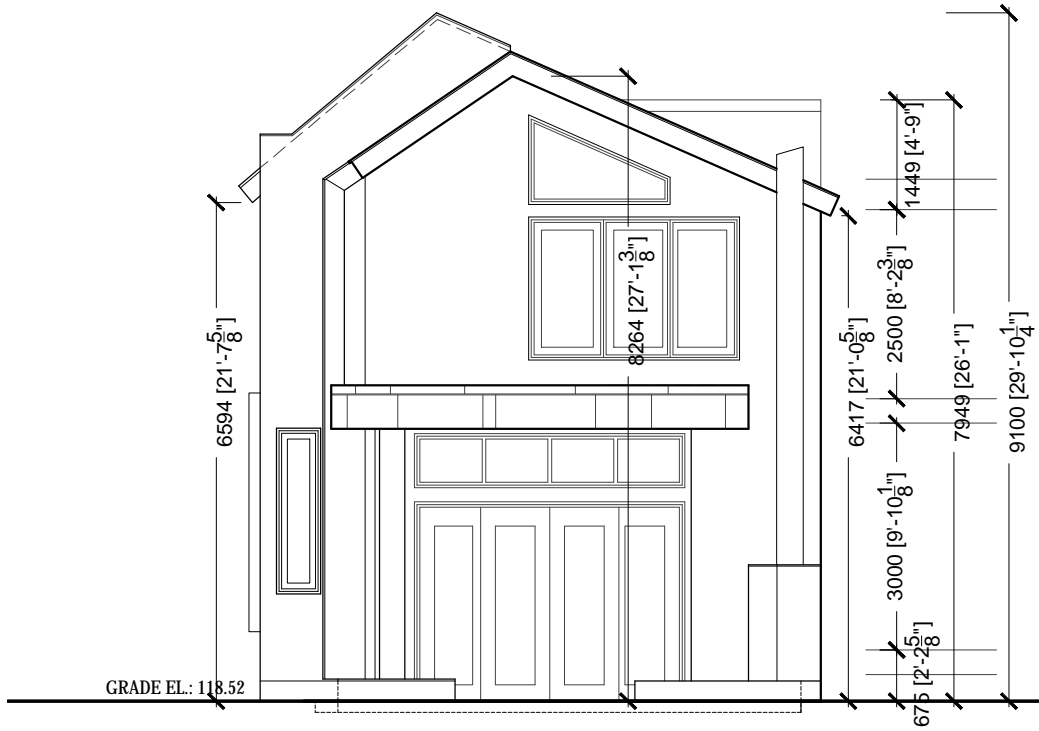


B.E.S., B.Arch., OAA, MRAIC
 115 Danforth Ave., Toronto
 greuter@rdcabuild.com
 1 647 261 8052

PROJECT:	The Elson Residence
ISSUE:	Schematics
SCALE UNO:	NTS
DRAWING NO AND TITLE:	A3.3 NORTH ELEVATION

PROJECT NO: 16035

1/A3.2
EAST FACADE
 SCALE 1: 100



Gregory Reuter Architect



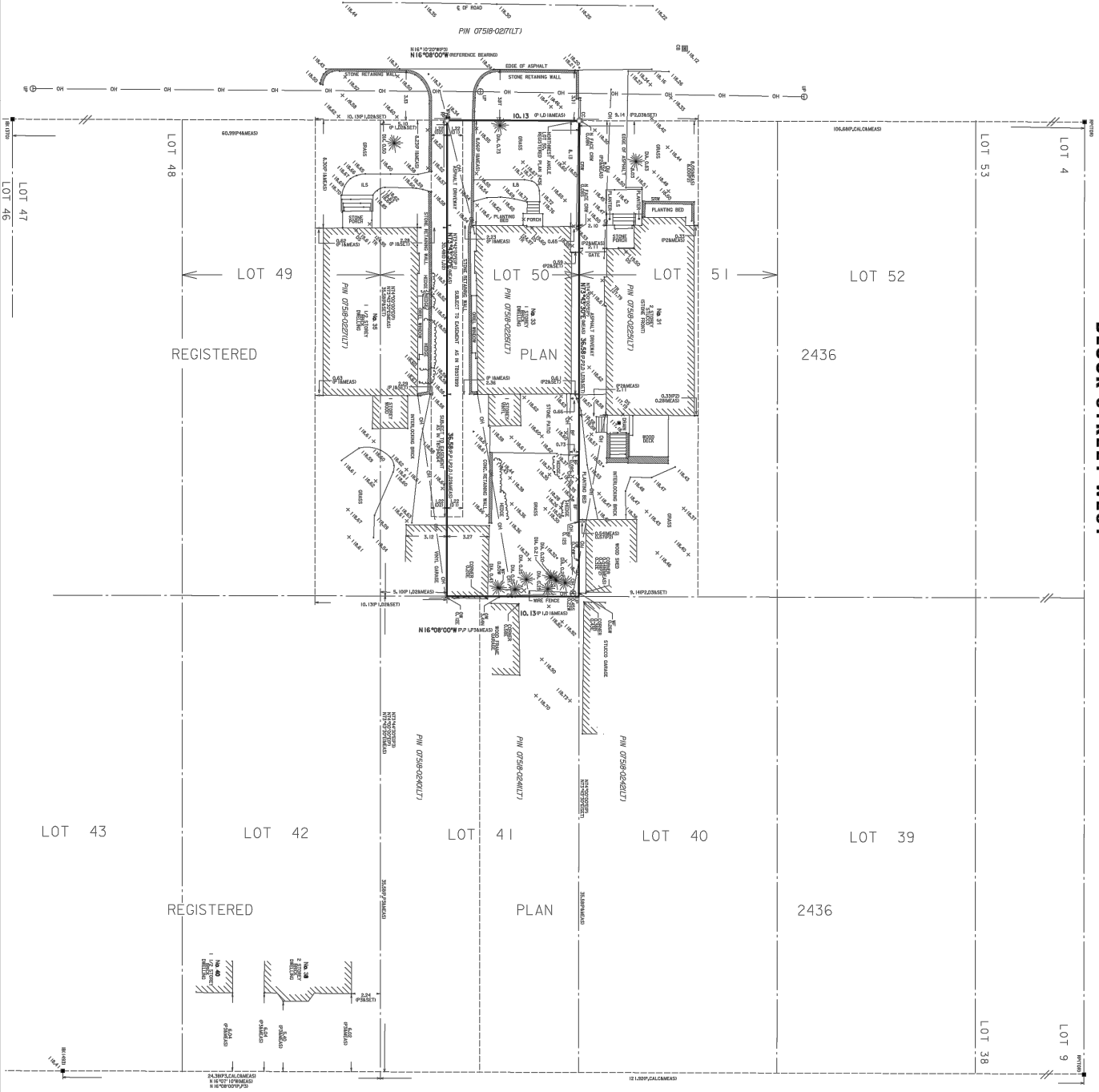
B.E.S., B.Arch., OAA, MRAIC
 115 Danforth Ave., Toronto
 greuter@rdcabuild.com
 1 647 261 8052

PROJECT:	The Elson Residence
ISSUE:	Schematics
SCALE UNO:	NTS
DRAWING NO AND TITLE:	A3.4 EAST ELEVATION

PROJECT NO: 16035

KNOWN AS **BRENTWOOD ROAD SOUTH**
(RUDOLPH ROAD BY REGISTERED PLAN 2436)

BLOOR STREET WEST



CLIVENEN AVENUE

SURVEYOR'S REAL PROPERTY REPORT
PART OF LOT 50
REGISTERED PLAN 2436
CITY OF TORONTO
(FORMERLY CITY OF ELDORADO)
SCALE: 1:100

PART 2 - SURVEY REPORT

NOTES

- 1. THIS SURVEY REPORT IS A PRELIMINARY REPORT AND IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.
- 2. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF ANY ENCUMBRANCES OR INTERESTS AFFECTING THE PROPERTY.
- 3. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF ANY ENCUMBRANCES OR INTERESTS AFFECTING THE PROPERTY.
- 4. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF ANY ENCUMBRANCES OR INTERESTS AFFECTING THE PROPERTY.

BENCH MARK NOTE
THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF ANY ENCUMBRANCES OR INTERESTS AFFECTING THE PROPERTY.

LEGEND
[Symbol] CANON BOUNDARY
[Symbol] UTILITY POLE
[Symbol] WATER VALVE
[Symbol] CONCRETE TIE

SURVEYOR'S CERTIFICATE
I, THE SURVEYOR, HAVE CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY AND HAVE FOUND NO EVIDENCE OF ANY ENCUMBRANCES OR INTERESTS AFFECTING THE PROPERTY.

ROUSE SURVEYORS
185 EAST BEAVER CREEK
SUITE 100
TORONTO, ONTARIO M5S 2K1
TEL: 416-461-1234
WWW.ROUSESURVEYORS.COM

ASSOCIATION OF SURVEYORS OF ONTARIO
MEMBER SINCE 1984

DATE: JULY 6, 2016
DRAWN BY: [Name]
CHECKED BY: [Name]
DATE: JULY 6, 2016

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0220/17EYK	Zoning:	RD & R2
Owner(s):	ASTRIT EJUPI ANILA EJUPI	Ward:	Etobicoke-Lakeshore (05)
Agent:	ROCCO SCHIPANO	Heritage:	Not Applicable
Property Address:	190 BERRY RD	Community:	

Legal Description: PLAN 3853 LOT 2

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the dwelling by constructing: a second storey addition above the existing dwelling, a two-storey rear addition, a two-storey west side addition (which will contain a new main floor garage), a rear deck and a front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40(1)(A), By-law 569-2013 & Section 320-59.C.**
The maximum permitted lot coverage is 33% of the lot area (153.6 m²).
The lot coverage will be 33.5% of the lot area (156 m²).
- Section 900.3.10(42)(A)(i), By-law 569-2013 and Section 1(a), By-law 1993-109**
The maximum permitted gross floor area (including attached or detached garages) shall be 118 m² plus 25% of the lot area (234.4 m²) up to a maximum floor space index of 0.5 (232.8 m²).
The altered dwelling will have a gross floor area of 118 m² plus 41% of the lot area (310 m²) with a floor space index of 0.67 (310 m²).
- Section 10.20.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 7.79 m.
The altered dwelling will be located 7.77 m from the front lot line.
- Section 10.20.40.70.(3)(C), By-law 569-2013 & Section 320-42.1C(1)**
The minimum required side yard setback is 1.2 m.
The altered dwelling will be located 0.97 from the west side lot line.
- Section 320-42.1B(2)**
The maximum permitted height for a flat roof is 6.5 m.
The altered dwelling will have a height of 9.49 m.

6. Section 200.5.1.10.(2)(A), By-law 569-2013 & Section 320-18.A(1)

The minimum required dimensions of a parking space are 5.6 m in length and 3.2 m in width. The proposed parking space will have a length of 5.2 m and a width of 2.9 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The site plan must include the following notations, to the satisfaction of Traffic Planning / Right of Way Management:

- a. "All existing redundant curb cuts that are no longer required will be restored to the satisfaction of the City of Toronto at no cost to the municipality";
- b. "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards";
- c. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD;
- d. "The applicant must obtain all required permits to construct the proposed driveways from the Right-of-Way Management Section of Transportation Services";

SIGNATURE PAGE

File Number:	A0220/17EYK	Zoning	RD & R2
Owner:	ASTRIT EJUPI ANILA EJUPI	Ward:	Etobicoke-Lakeshore (05)
Agent:	ROCCO SCHIPANO	Heritage:	Not Applicable
Property Address:	190 BERRY RD	Community:	
Legal Description:	PLAN 3853 LOT 2		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0227/17EYK	Zoning	RD & RS
Owner(s):	VESNA SEDLASEK BORIS SEDLASEK	Ward:	Etobicoke-Lakeshore (06)
Agent:	FX DESIGN BUILD	Heritage:	Not Applicable
Property Address:	29 LAKE PROMENADE	Community:	

Legal Description: PLAN 1581 PT LOT 4

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
The new dwelling will be located 0.9 m from the east side lot line and 1 m from the west side lot line.
- 2. Section 10.20.40.10.(4)(A), By-law 569-2013**
The maximum permitted height of a dwelling with a flat roof is 7.2 m.
The new dwelling will have a flat roof height of 8.48 m.
- 3. Section 10.20.40.30.(1), By-law 569-2013**
The maximum permitted building depth is 19 m.
The new dwelling will have a depth of 22.86 m.
- 4. Section 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above the second storey of a detached house is 4 m².
The proposed second storey rear platforms will have areas of 7.4 m² and 7.9 m².
- 5. Section 10.5.80.40.(2), By-law 569-2013**
The elevation of the lowest point of a vehicle entrance in a main wall of the building must be higher than the elevation of the centreline of the driveway at the point where it intersects a lot line abutting a street.
The proposed vehicle entrance in a main wall of the principal building is lower than the elevation of the centreline of the driveway at the point where it intersects a lot line abutting a street (8% sloped driveway into a below grade garage).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or destroy privately owned trees.
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
3. The proposal shall be constructed substantially in accordance with the revised plans submitted and held on file by the Committee of Adjustment office and date stamped as received on April 27, 2017, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
4. The site plan must include the following notations, to the satisfaction of Traffic Planning / Right of Way Management:
 - a. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - b. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services";

SIGNATURE PAGE

File Number:	A0227/17EYK	Zoning	RD & RS
Owner:	VESNA SEDLASEK BORIS SEDLASEK	Ward:	Etobicoke-Lakeshore (06)
Agent:	FX DESIGN BUILD	Heritage:	Not Applicable
Property Address:	29 LAKE PROMENADE	Community:	
Legal Description:	PLAN 1581 PT LOT 4		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

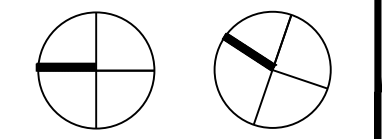
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PLAN NORTH TRUE NORTH



KEY MAP

DATE	REV	ISSUED
MAR 25, 16	1	TRCA CONCEPT APP
MAR 07, 17	2	COA APPLICATION

ARCHITECT SEAL:

ENGINEER SEAL:



SUSTAINABLE ICF HOME

PROPOSED RESIDENTIAL DETACHED DWELLING NEW CONSTRUCTION
29 LAKE PROMENADE ETOBICOKE, M8V 2G6

SITE PLAN

DRAWN BY:

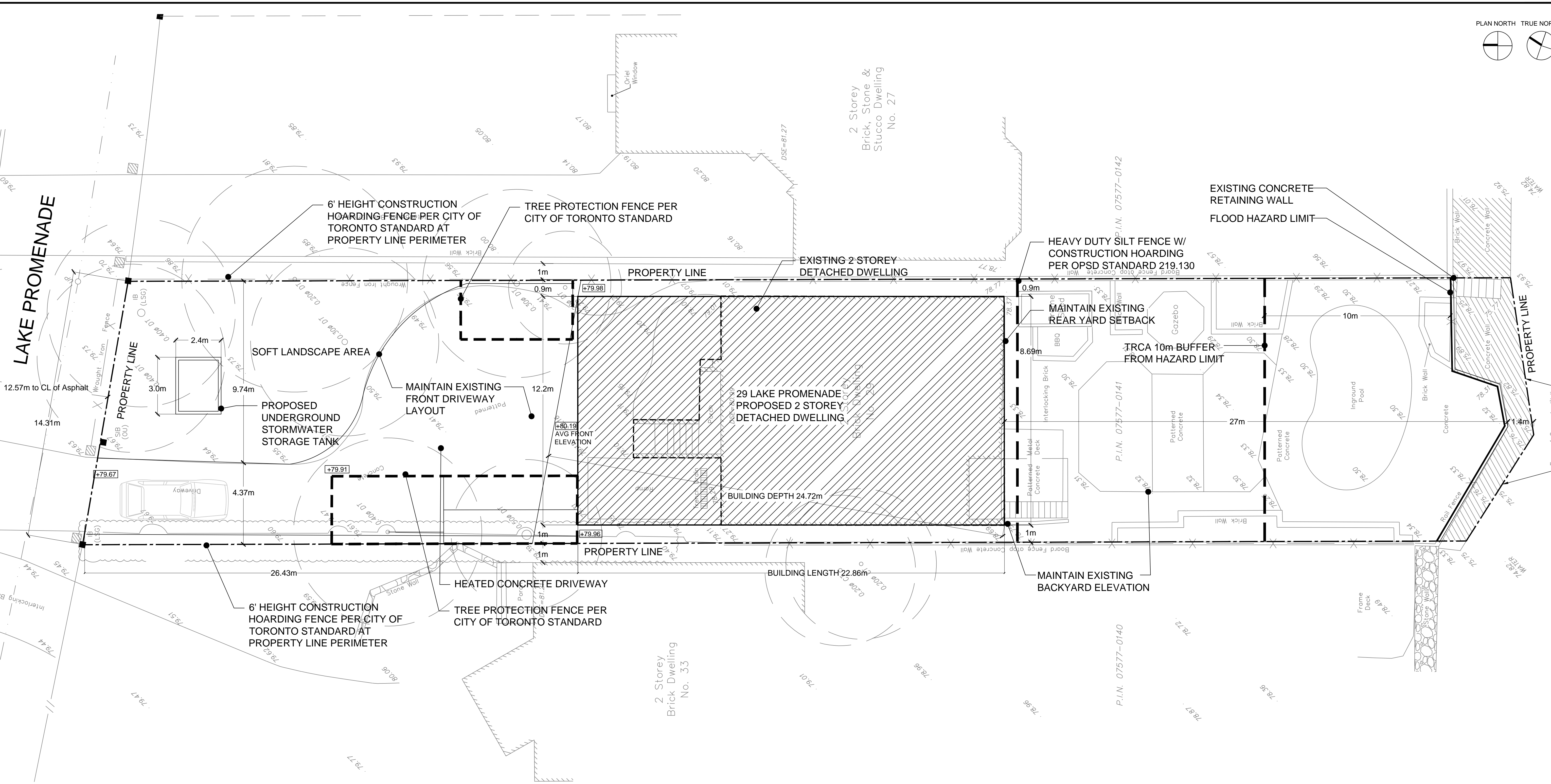
CHECKED BY:

SCALE

DATE

SHEET

S1



1 SITE PLAN
S1 1:100

LOT AREA
1064.1 sq.m

ZONING
RD (f=12.0, a=370, d=0.35)

LANDSCAPE AREAS

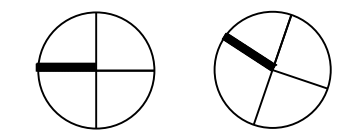
PROJECT DATA	
BASEMENT GFA (NOT INCLUDED)	119.57 sq.m
GROUND FLOOR GFA	184.6 sq.m
SECOND FLOOR GFA	187.68 sq.m
TOTAL GFA	372.28 sq.m
TOTAL GFA ALLOWED	372.44 sq.m
FLOOR SPACE INDEX	0.35
BUILDING HEIGHT	8.4m
AVERAGE GRADE	+1.78m ABOVE FINISHED GRADE

SITE DATA		
SETBACKS	PERMITTED AS PER BY-LAW	PROPOSED
FRONT YARD	25.12m	23.62m
REAR YARD	7.5m	41.05m
WEST YARD	1.2m	1.0m
EAST YARD	1.2m	0.9m
BUILDING HEIGHT	7.2m (FLAT ROOF)	8.4m (FLAT ROOF)

AREA	SOFT	HARD
FRONT YARD	165 sq.m	212.5 sq.m
REAR YARD	92.5 sq.m	165.85 sq.m
TOTAL	257.5 sq.m	378.35 sq.m
% OF SITE	24.2%	35.6%

CITY OF TORONTO
COMMITTEE OF ADJUSTMENT
ETOBICOKE YORK DISTRICT

REVISED
APR 27, 2017



DATE	REV	ISSUED

ARCHITECT SEAL:

ENGINEER SEAL:

FX DESIGN/BUILD
 416-887-5007
 INFO@FX-D.COM

SUSTAINABLE ICF HOME

**PROPOSED RESIDENTIAL
 DETACHED DWELLING
 NEW CONSTRUCTION**
 29 LAKE PROMENADE
 ETOBICOKE, M9V 2G6

GRADING PLAN

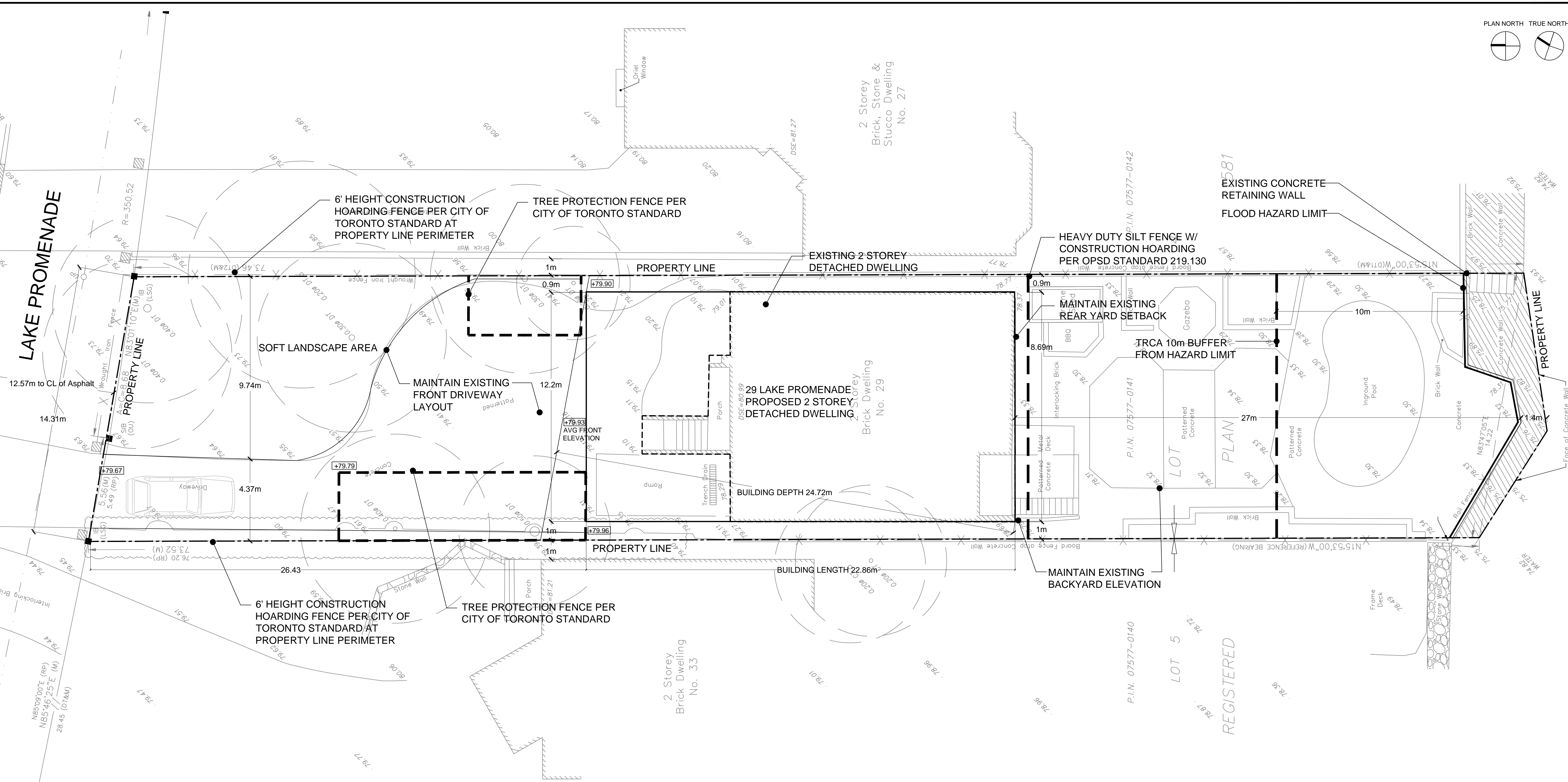
DRAWN BY:

CHECKED BY:

SCALE

DATE

SHEET



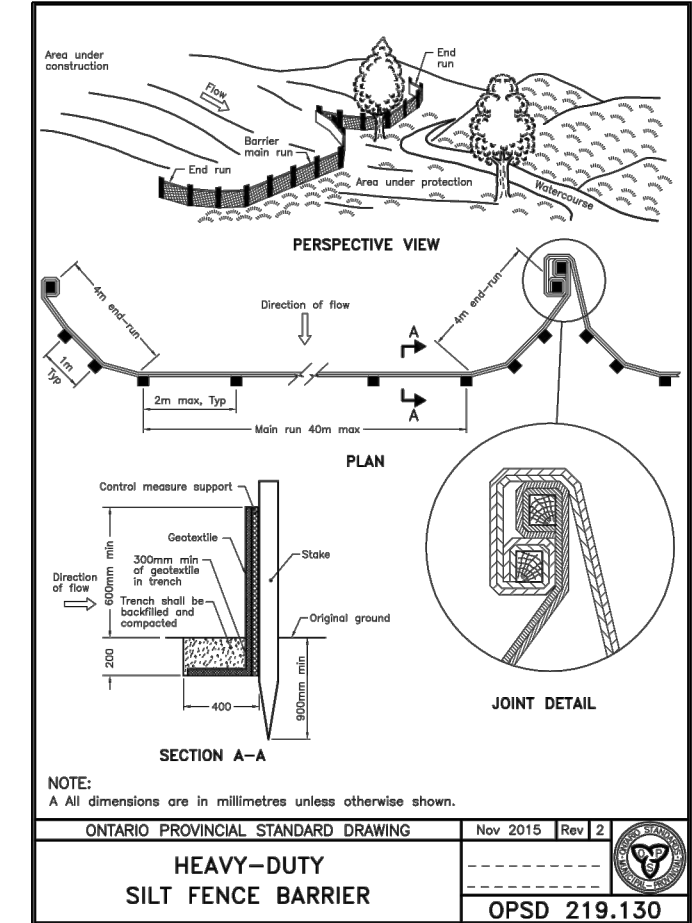
1 GRADING PLAN

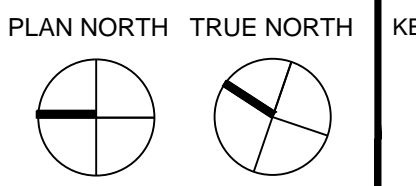
GRADING NOTES:

- CONTRACTOR TO MAINTAIN EXISTING GRADES AND DRAINAGE PATTERN WHERE UNLESS INDICATED ON GRADING PLAN.
- MINIMUM ALL SIDE YARD SLOPE AND SWALE TO BE 1.5%
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM FOUNDATION, NEIGHBORING PROPERTIES.
- CONTRACTOR TO ENSURE ALL DOWNSPOUTS SHALL NOT BE CONNECTED TO STORMSEWER.
- ALL ROOF LEADERS AND DOWNSPOUTS SHALL HAVE SPLASHPADS DIRECTED TOWARDS OPEN LANDSCAPE AREAS AND/OR TRENCH DRAINS.
- NO PROPOSED STORM SEWER CONNECTION TO EXISTING CITY STORM SEWER LINE.

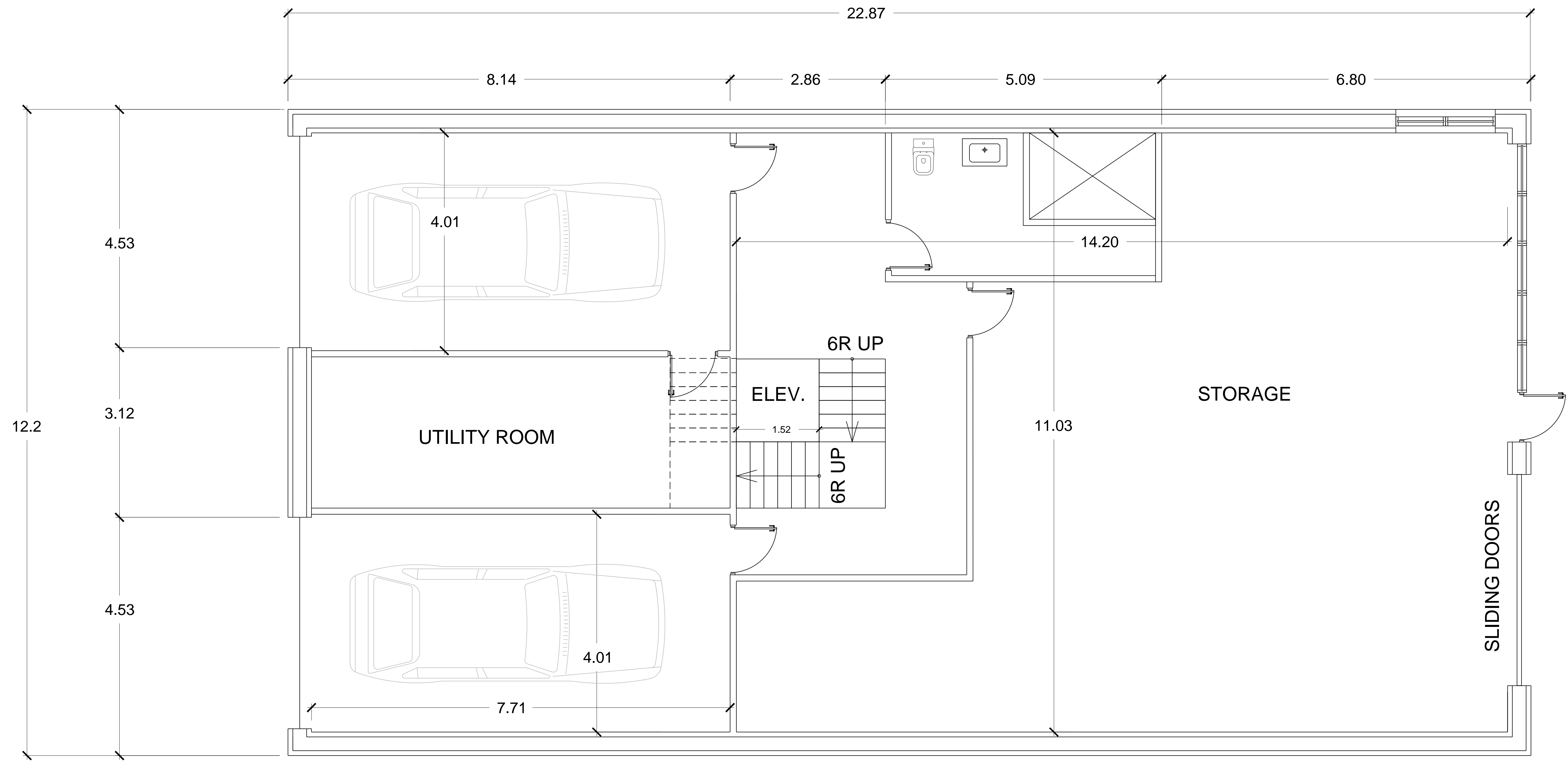
AVERAGE GRADE = +141.72
 MAX. FLAT ROOF/EAVES HEIGHT = 7.46m

2 HEAVY DUTY SILT FENCE





KEY MAP



DATE	REV	ISSUED

ARCHITECT SEAL:

ENGINEER SEAL:



SUSTAINABLE ICF HOME
PROPOSED RESIDENTIAL
DETACHED DWELLING
NEW CONSTRUCTION
 29 LAKE PROMENADE
 ETOBICOKE, M8V 2G6

BASEMENT PLAN

DRAWN BY:

CHECKED BY:

SCALE

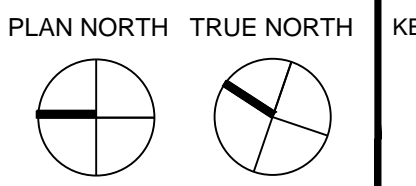
DATE

SHEET

A1

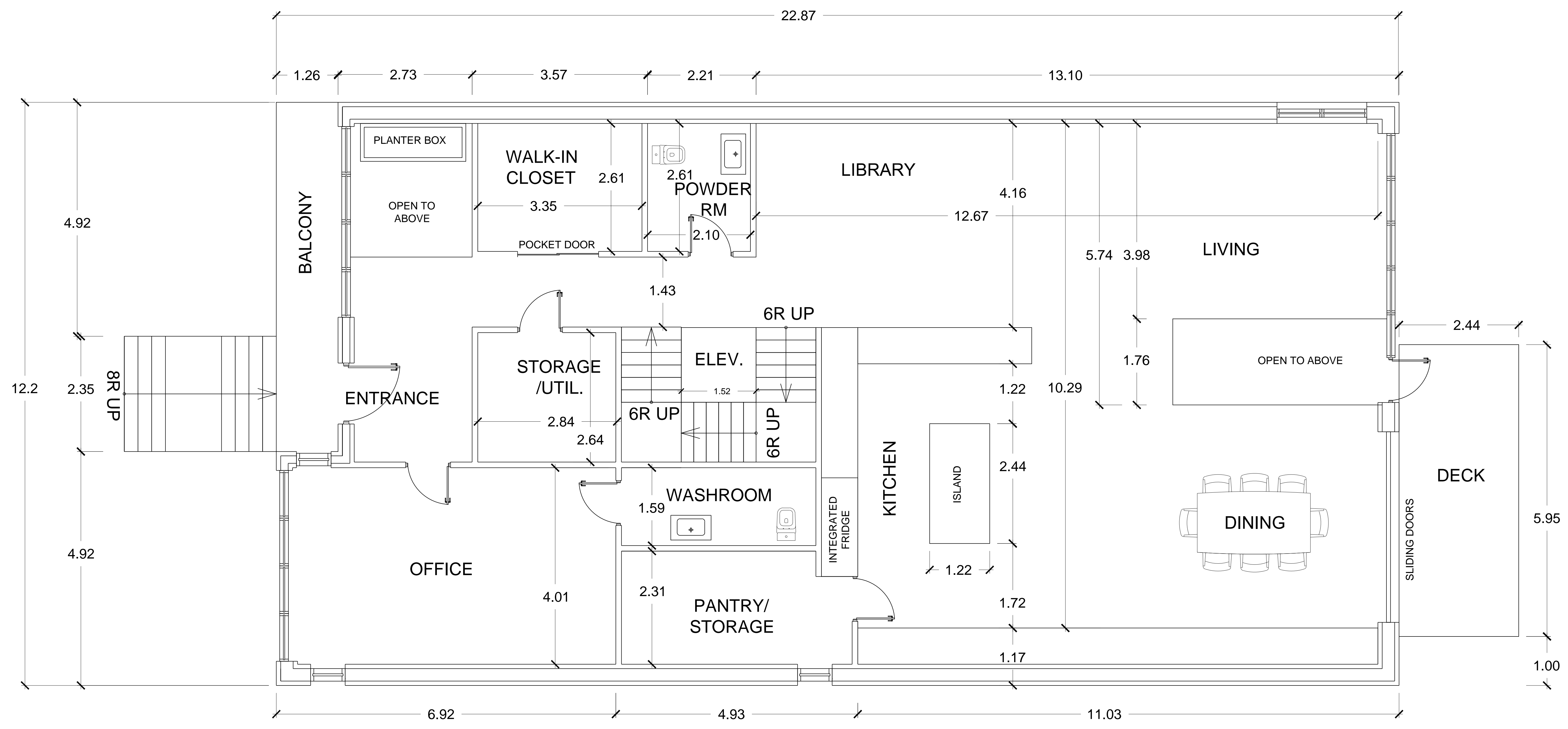
NOTES: ALL UNITS IN METERS

1 BASEMENT PLAN
 A1 1:40



KEY MAP

DATE	REV	ISSUED



ARCHITECT SEAL:

ENGINEER SEAL:



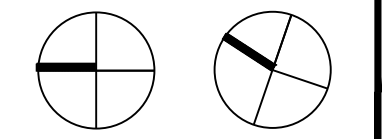
SUSTAINABLE ICF HOME
 PROPOSED RESIDENTIAL
 DETACHED DWELLING
 NEW CONSTRUCTION
 29 LAKE PROMENADE
 ETOBICOKE, M8V 2G6

GROUND FLOOR PLAN
 DRAWN BY:
 CHECKED BY:
 SCALE:
 DATE:
 SHEET:

1 GROUND FLOOR PLAN
 A2 1:40

NOTES: ALL UNITS IN METERS

PLAN NORTH TRUE NORTH



KEY MAP

DATE	REV	ISSUED

ARCHITECT SEAL:

ENGINEER SEAL:



SUSTAINABLE ICF HOME
PROPOSED RESIDENTIAL DETACHED DWELLING NEW CONSTRUCTION
 28 LAKE PROMENADE
 ETOBICOKE, M8V 2G6

SECOND FLOOR PLAN

DRAWN BY:

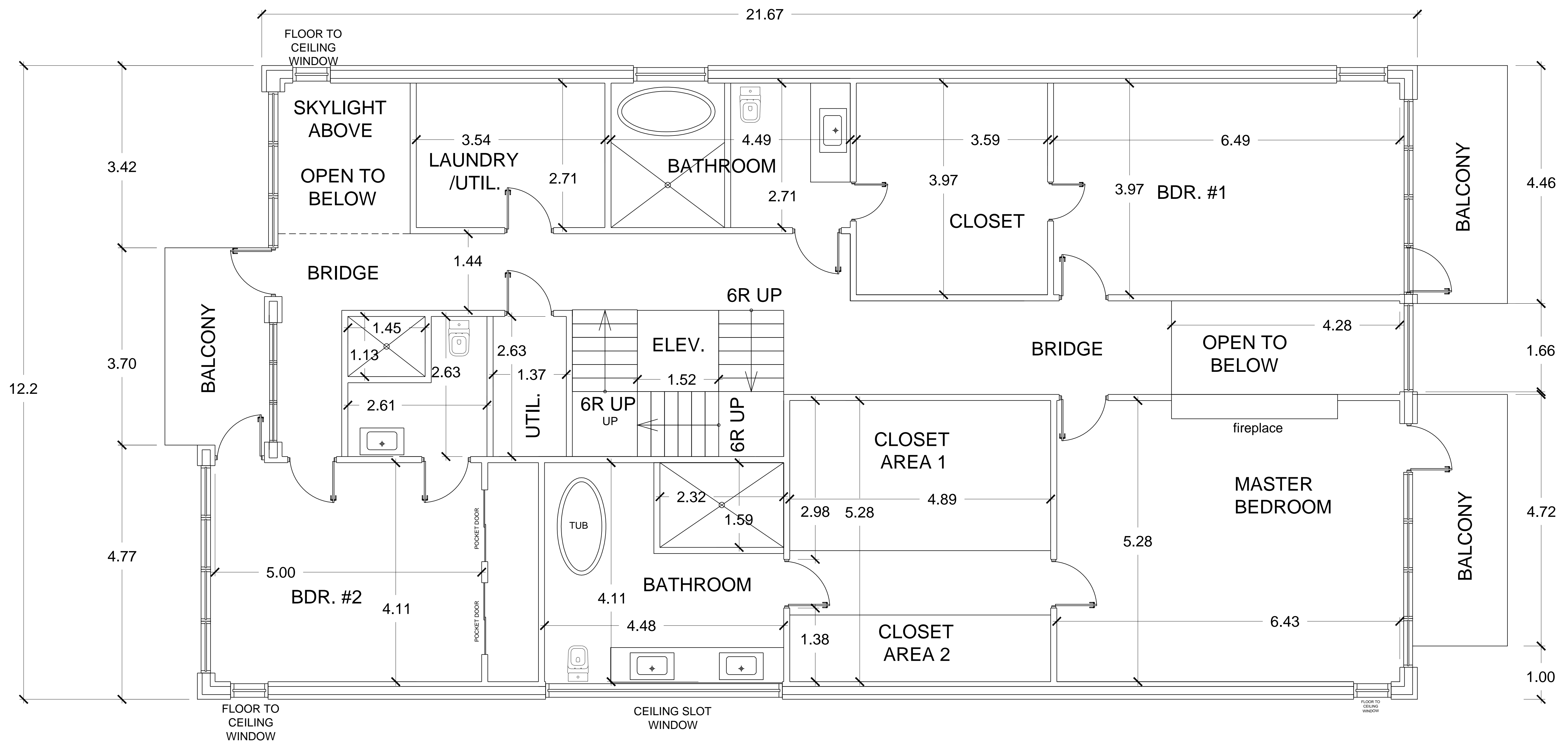
CHECKED BY:

SCALE

DATE

SHEET

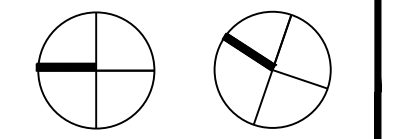
A3



NOTES: ALL UNITS IN METERS

1 SECOND FLOOR PLAN
A3 1:40

PLAN NORTH TRUE NORTH



KEY MAP

DATE	REV	ISSUED

ARCHITECT SEAL:

ENGINEER SEAL:



SUSTAINABLE ICF HOME
PROPOSED RESIDENTIAL DETACHED DWELLING NEW CONSTRUCTION
 28 LAKE PROMENADE
 ETOBICOKE, M8V 2G6

LONGITUDINAL SECTION

DRAWN BY:

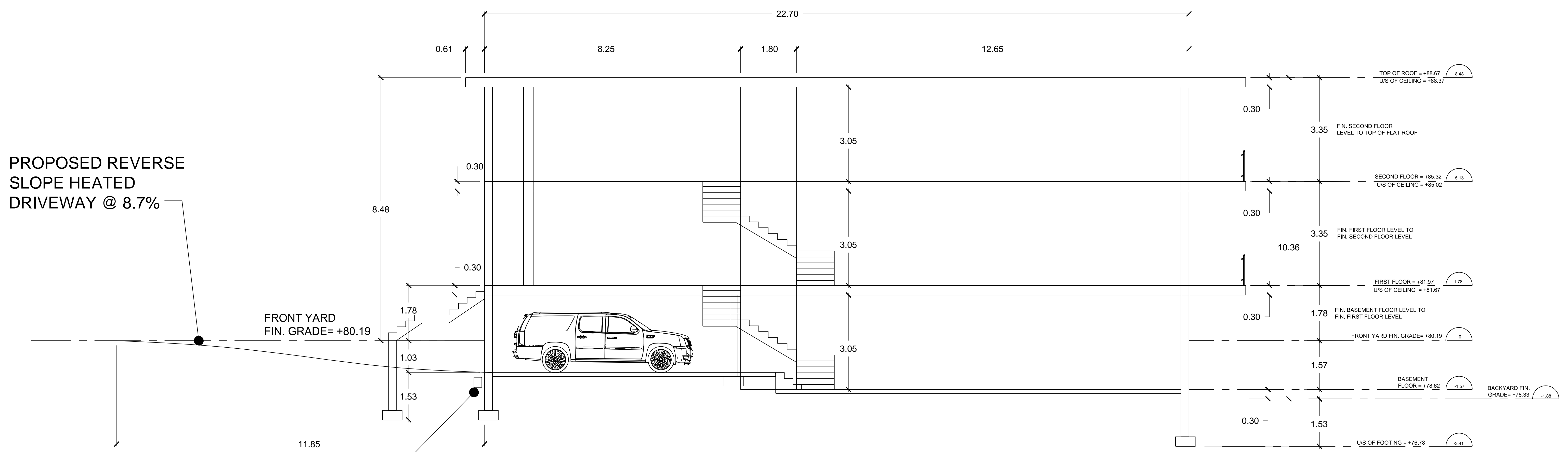
CHECKED BY:

SCALE

DATE

SHEET

A4



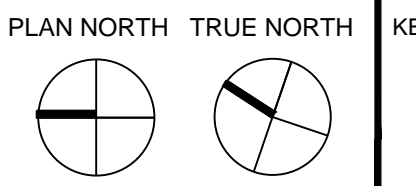
PROPOSED REVERSE
 SLOPE HEATED
 DRIVEWAY @ 8.7%

FRONT YARD
 FIN. GRADE= +80.19

PROPOSED TRENCH
 DRAIN CONNECTED TO
 PROPOSED STORMWATER
 STORAGE TANK AT FRONT YARD

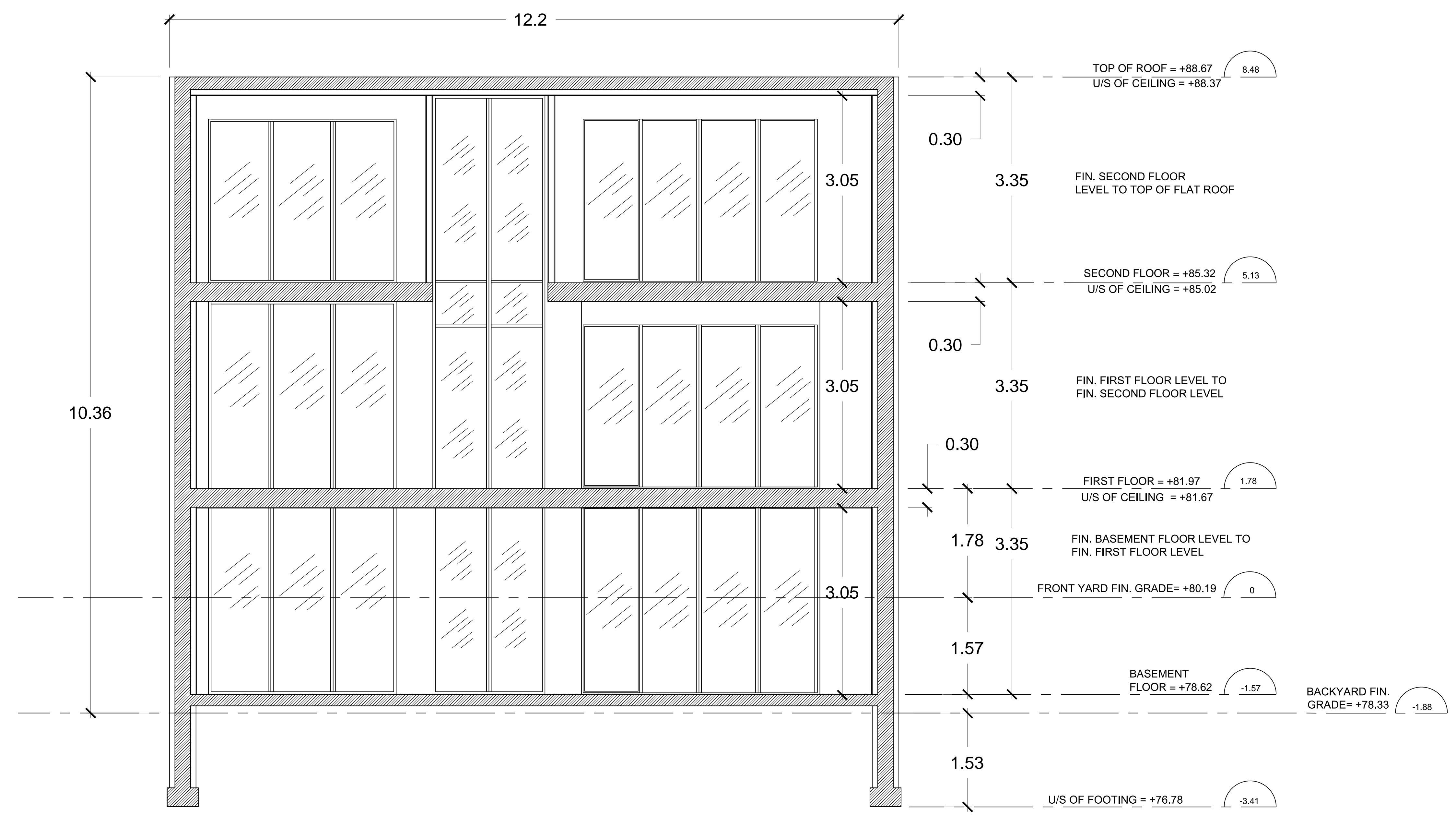
NOTES: ALL UNITS IN METERS

1 LONGITUDINAL SECTION
 A4 SCALE: NTS



KEY MAP

DATE	REV	ISSUED



NOTES: ALL UNITS IN METERS

1 CROSS SECTION
A5 1:40

ARCHITECT SEAL:

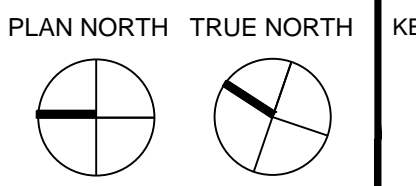
ENGINEER SEAL:



SUSTAINABLE ICF HOME
PROPOSED RESIDENTIAL
DETACHED DWELLING
NEW CONSTRUCTION
29 LAKE PROMENADE
ETOBICOKE, M8V 2G6

CROSS SECTION
DRAWN BY:
CHECKED BY:
SCALE:
DATE:
SHEET

A5



KEY MAP

DATE	REV	ISSUED

ARCHITECT SEAL:

ENGINEER SEAL:



SUSTAINABLE ICF HOME
PROPOSED RESIDENTIAL DETACHED DWELLING
NEW CONSTRUCTION
 23 LAKE PROMENADE
 ETOBICOKE, M8V 2G6

FRONT ELEVATION

DRAWN BY:

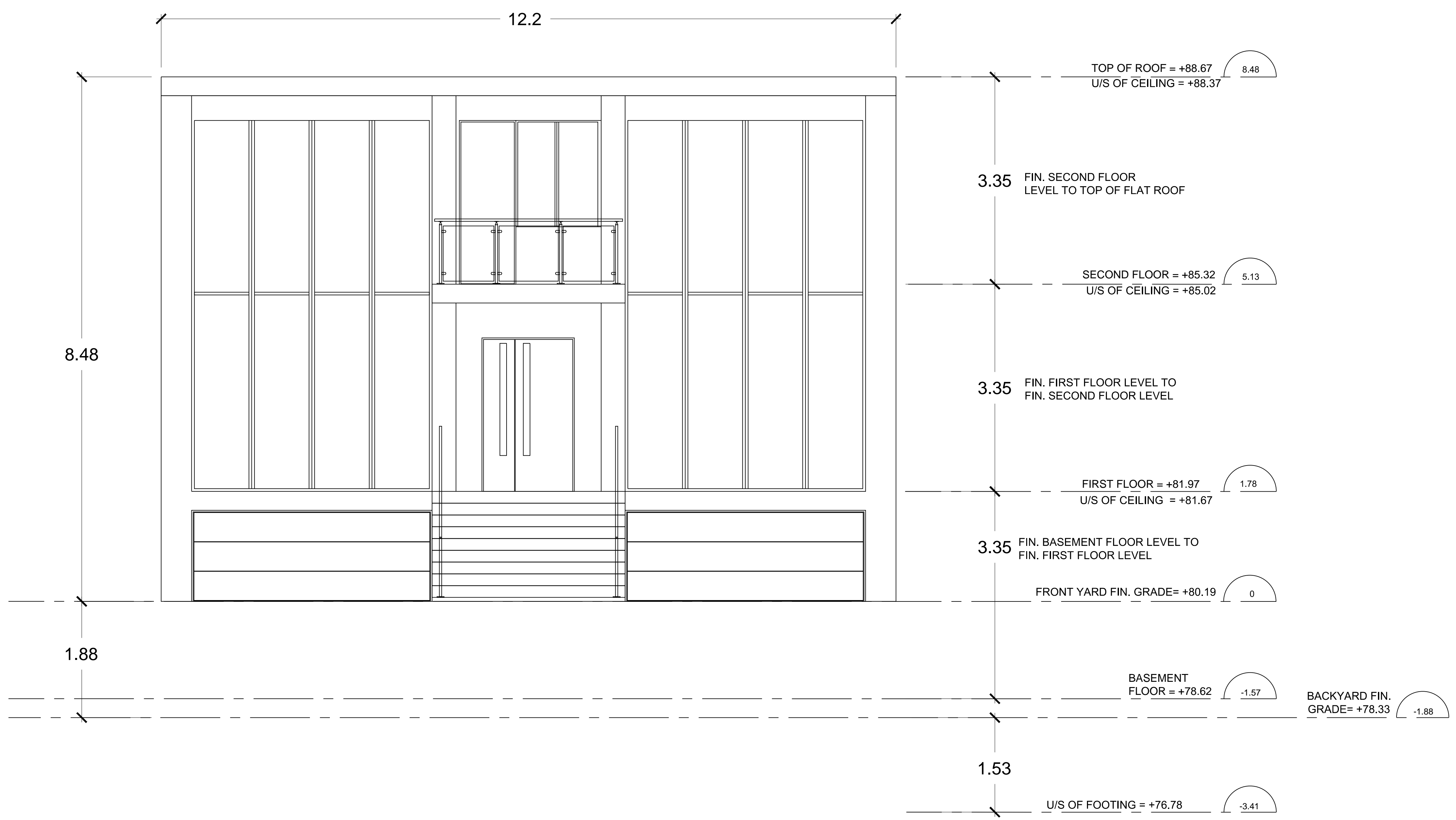
CHECKED BY:

SCALE

DATE

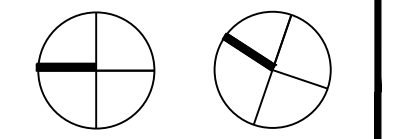
SHEET

A6



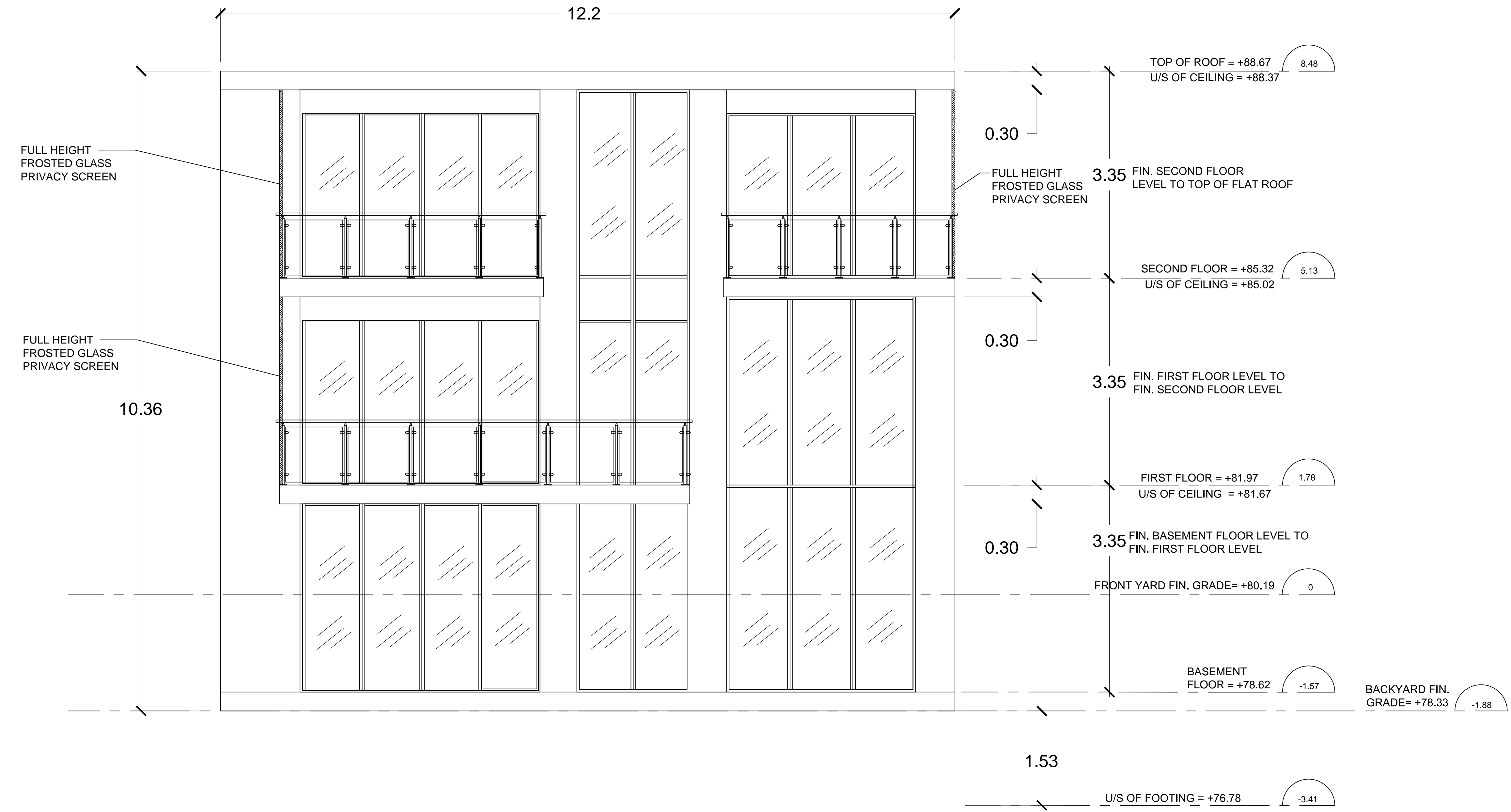
1 FRONT ELEVATION
 A6

PLAN NORTH TRUE NORTH



KEY MAP

DATE	REV	ISSUED



NOTES: ALL UNITS IN METERS

1 REAR ELEVATION
A7 1:40

ARCHITECT SEAL:

ENGINEER SEAL:



SUSTAINABLE ICF HOME
PROPOSED RESIDENTIAL
DETACHED DWELLING
NEW CONSTRUCTION
29 LAKE PROMENADE
ETOBICOKE, M9V 2G6

REAR ELEVATION

DRAWN BY:

CHECKED BY:

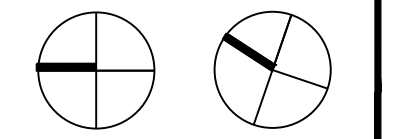
SCALE

DATE

SHEET

A7

PLAN NORTH TRUE NORTH



KEY MAP

DATE	REV	ISSUED

ARCHITECT SEAL:

ENGINEER SEAL:



SUSTAINABLE ICF HOME
PROPOSED RESIDENTIAL
DETACHED DWELLING
NEW CONSTRUCTION
28 LAKE PROMENADE
ETOBICOKE, M8V 2G6

WEST ELEVATION

DRAWN BY:

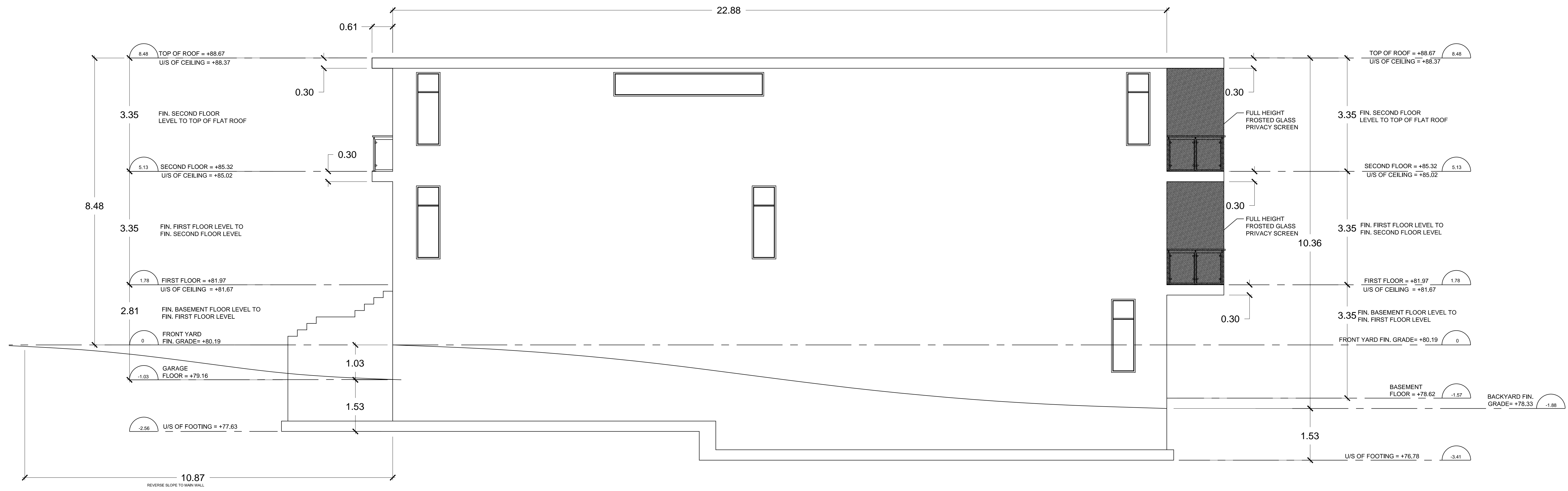
CHECKED BY:

SCALE

DATE

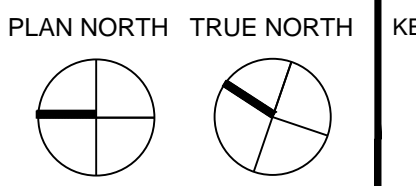
SHEET

A8



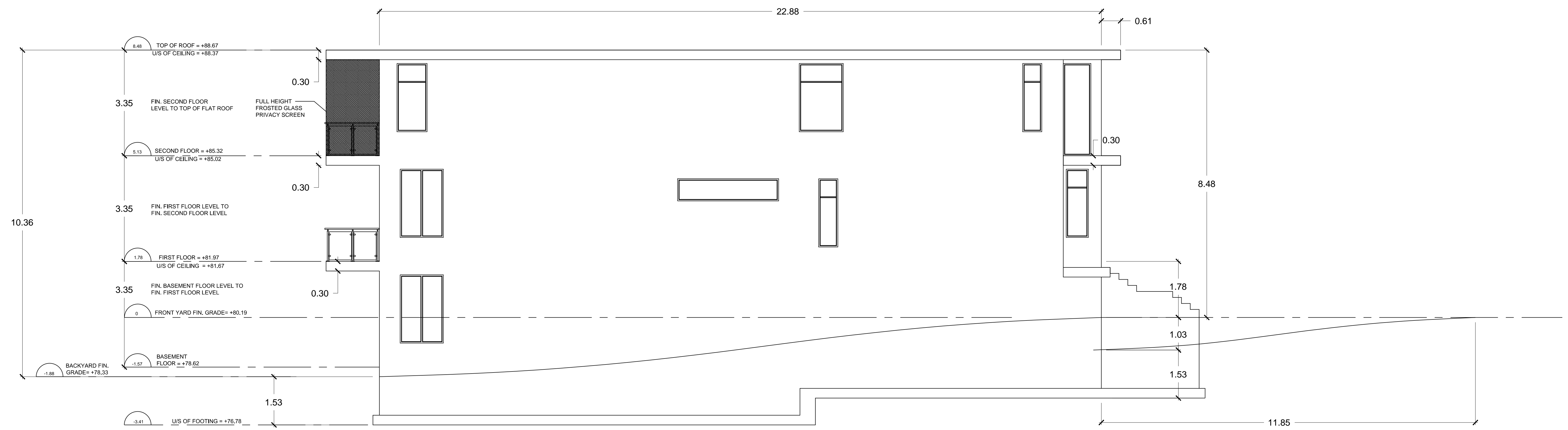
NOTES: ALL UNITS IN METERS

1
A8 WEST ELEVATION
 SCALE: NTS



KEY MAP

DATE	REV	ISSUED



ARCHITECT SEAL:

ENGINEER SEAL:



SUSTAINABLE ICF HOME
PROPOSED RESIDENTIAL
DETACHED DWELLING
NEW CONSTRUCTION
28 LAKE PROMENADE
ETOBICOKE, M8V 2G6

NOTES: ALL UNITS IN METERS

1
A9 EAST SIDE ELEVATION
SCALE: NTS

EAST ELEVATION
DRAWN BY:
CHECKED BY:
SCALE:
DATE:
SHEET:

A9

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0235/17EYK	Zoning:	RM & R2
Owner(s):	RONNIE ELBAZ	Ward:	Etobicoke-Lakeshore (06)
Agent:	SARA RASSEKH	Heritage:	Not Applicable
Property Address:	112 SIXTEENTH ST	Community:	

Legal Description: PLAN M362 PT LOT 96

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition with a new deck and a second storey addition above the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.40.40.(1)(A), By-law 569-2013 & Section 350-31.F.(2)**
The maximum permitted floor space index is 0.6 times the lot area (139.35 m²).
Section 10.80.40.40.(1)(A), By-law 569-2013
The altered dwelling will have a floor space index of 0.9 times the lot area (207.97 m²).
Section 350-31.F.(2)
The altered dwelling will have a floor space index of 1.28 times the lot area (298.26 m²).
- Section 900.6.10.(23)(D)(i), By-law 569-2013 & Section 350-3.A.(4)**
The minimum required side yard setback is 0.6 m.
The second floor of the altered dwelling will be located 0.3 m from the north side lot line.
- Section 10.5.40.60.(5)(A), By-law 56-2013**
The architectural features of a building may be located no closer to the lot line than of 0.3 m.
Section 350-13.B.
The minimum required side yard setback for eaves and other projections is 0.5 m.
Section 10.5.40.60.(5)(A), By-law 56-2013 & Section 350-13.B.
The proposed cornice trim will be located 0.2 m from the north side lot line.
- Section 10.5.40.10.(5), By-law 569-2013**
A minimum of 10 m² of the first floor must be within 4 m of the front main wall.
A total of 11.2 m² of the first floor will be located within 1.5 m of the front main wall.

5. **Section 10.80.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The altered dwelling will have a length of 17.7 m.
6. **Section 10.80.40.10.(2)(A), By-law 569-2013**
The maximum permitted height of the exterior portion of the main walls is 7 m.
The exterior portion of the main walls of the altered dwelling will have a height of 7.82 m.
7. **Section 350-13.C.**
The maximum permitted projection of a verandah, porch or stairs from the main rear wall is 3.38 m.
The proposed rear deck with stairs will project 4.2 m from the main rear wall.
8. **Section 350-31.A.(7)**
A minimum of 40% of the lot area shall be maintained as landscaped open space.
A total of 33.41% of the lot area will be maintained as landscaped open space.
9. **Section 10.5.50.10.(3)(A), By-law 569-2013**
A minimum of 50% of the rear yard shall be maintained as soft landscaping.
A total of 27.15% of the rear yard will be maintained as soft landscaping.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0235/17EYK	Zoning	RM & R2
Owner:	RONNIE ELBAZ	Ward:	Etobicoke-Lakeshore (06)
Agent:	SARA RASSEKH	Heritage:	Not Applicable
Property Address:	112 SIXTEENTH ST	Community:	
Legal Description:	PLAN M362 PT LOT 96		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD

- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0240/17EYK	Zoning	CR & CPR
Owner(s):	VILLAGE HOLDINGS CORPORATION	Ward:	Etobicoke North (01)
Agent:	SCOLER LEE ARCHITECT ASSOC	Heritage:	Not Applicable
Property Address:	6200 FINCH AVE W	Community:	

Legal Description: PLAN 2181 PT LOTS 19 21 23 AND 25 RP 64R9003 PARTS 1 TO 3 RP 66R12687 PARTS 8 TO 10 12 15 17 AND 36

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing commercial centre by: constructing an infill expansion between buildings B and C, constructing front and side additions to building A, and constructing a new building at the north-east corner of the site (Pad A).

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.11.10.(1129) (A) and Section 2(A), By-law 163-2006**
A maximum three separate buildings, with a total gross floor area not exceeding 2930 m², is permitted on this site.
A total of four buildings are proposed and they will have a combined gross floor area of 4083.7 m².
- Section 900.11.10.(1129) (A) and Section 2(B), By-law 163-2006**
The minimum required setback to Finch Avenue West is 11.5 m and the minimum required setback to Stevenson Road is 6 m.
The proposed setback to Finch Avenue West is 4.06 m and the proposed setback to Stevenson Road is 3 m.
- Section 900.11.10.(1129) (A) and Section 2(C), By-law 163-2006**
The minimum parking setback for Finch Avenue West is 4.5 m and this setback shall be used only for landscaping.
The proposed parking setback and landscaped strip is 3.33 m.
- Section 900.11.10.(1129) (A) and Section 3, By-law 163-2006**
A total of 216 parking spaces are required for the site.
A total of 133 parking spaces will be provided.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.
2. Submission of a complete application for permit to injure or destroy privately owned trees.
3. The proposal shall be constructed substantially in accordance with the site plan drawing (A100) submitted and held on file by the Committee of Adjustment office, as approved through Site Plan Control application No. 15 146142 WET 01 SA, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
4. The applicant shall comply with the requirements of the Toronto and Region Conservation Authority.

SIGNATURE PAGE

File Number:	A0240/17EYK	Zoning	CR & CPR
Owner:	VILLAGE HOLDINGS CORPORATION	Ward:	Etobicoke North (01)
Agent:	SCOLER LEE ARCHITECT ASSOC	Heritage:	Not Applicable
Property Address:	6200 FINCH AVE W	Community:	
Legal Description:	PLAN 2181 PT LOTS 19 21 23 AND 25 RP 64R9003 PARTS 1 TO 3 RP 66R12687 PARTS 8 TO 10 12 15 17 AND 36		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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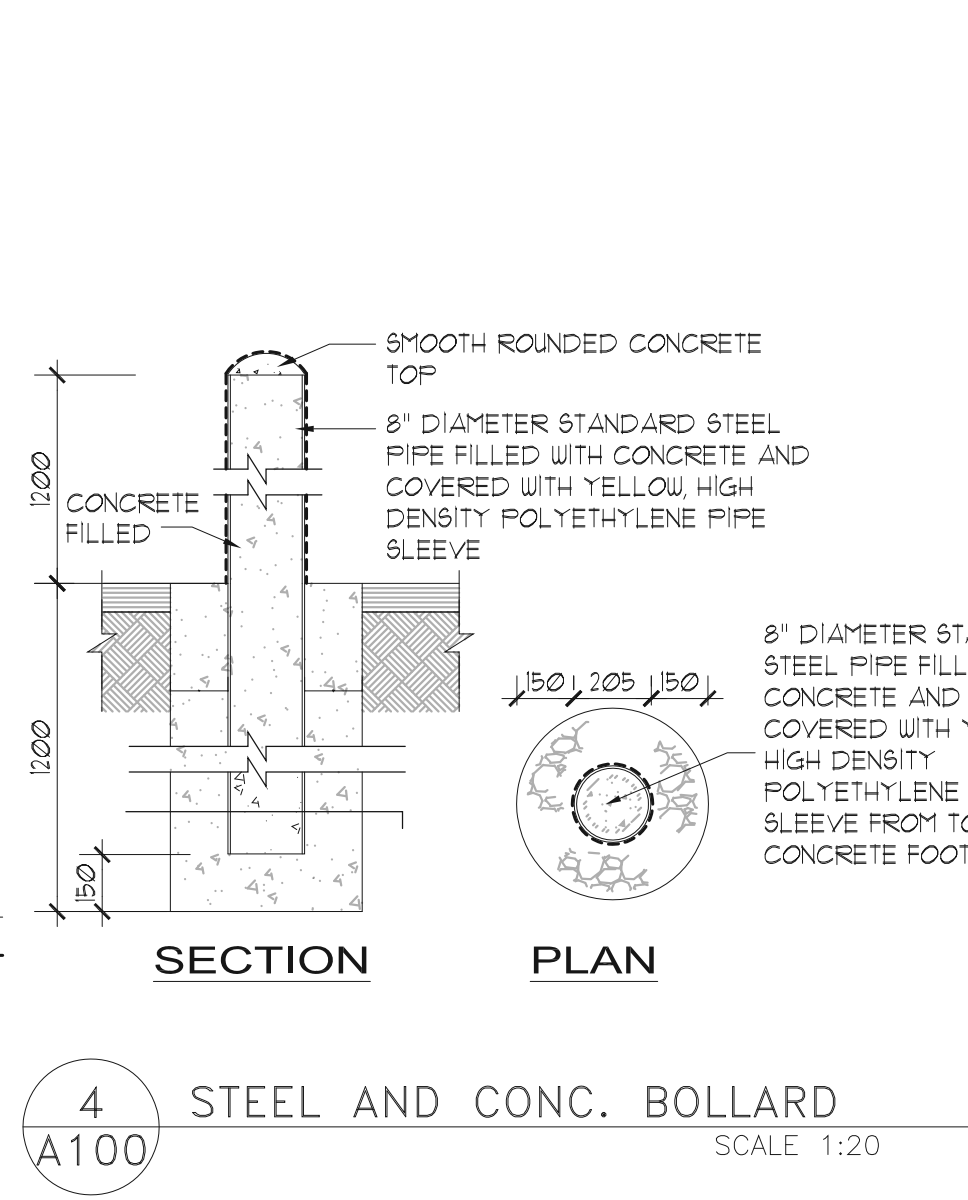
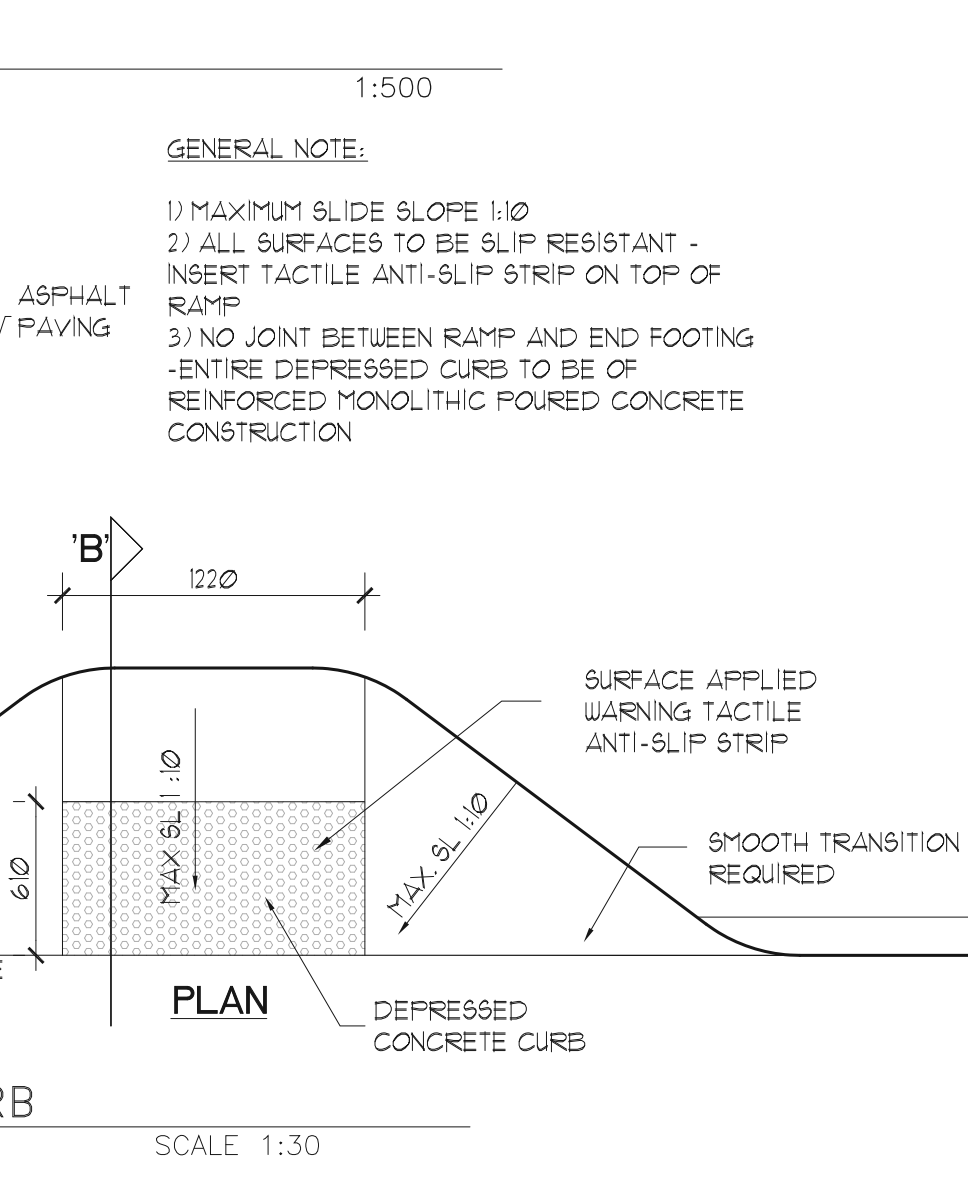
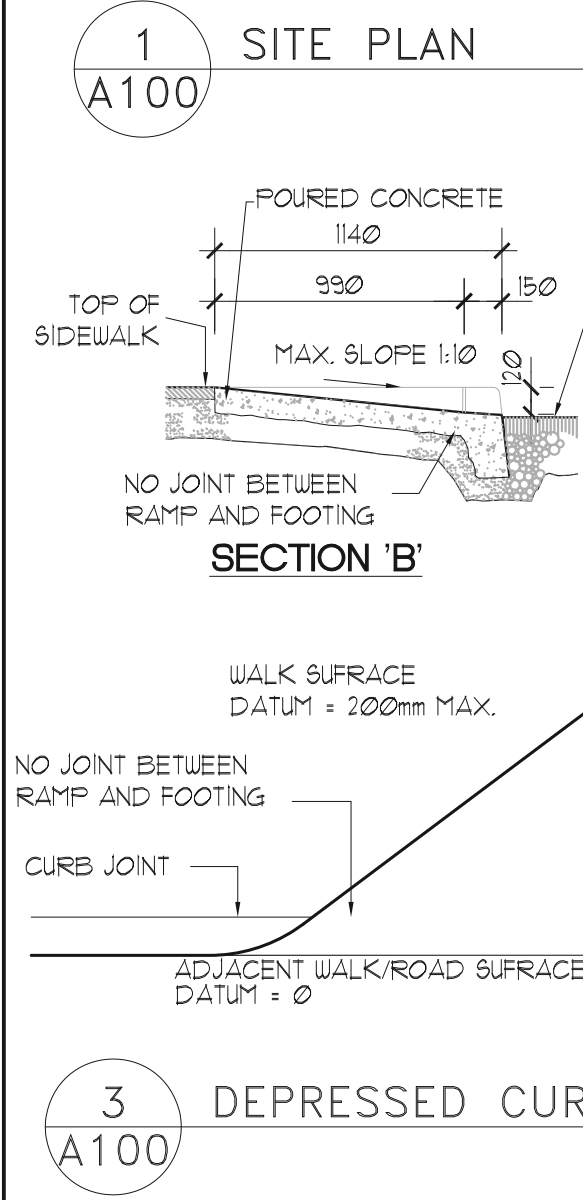
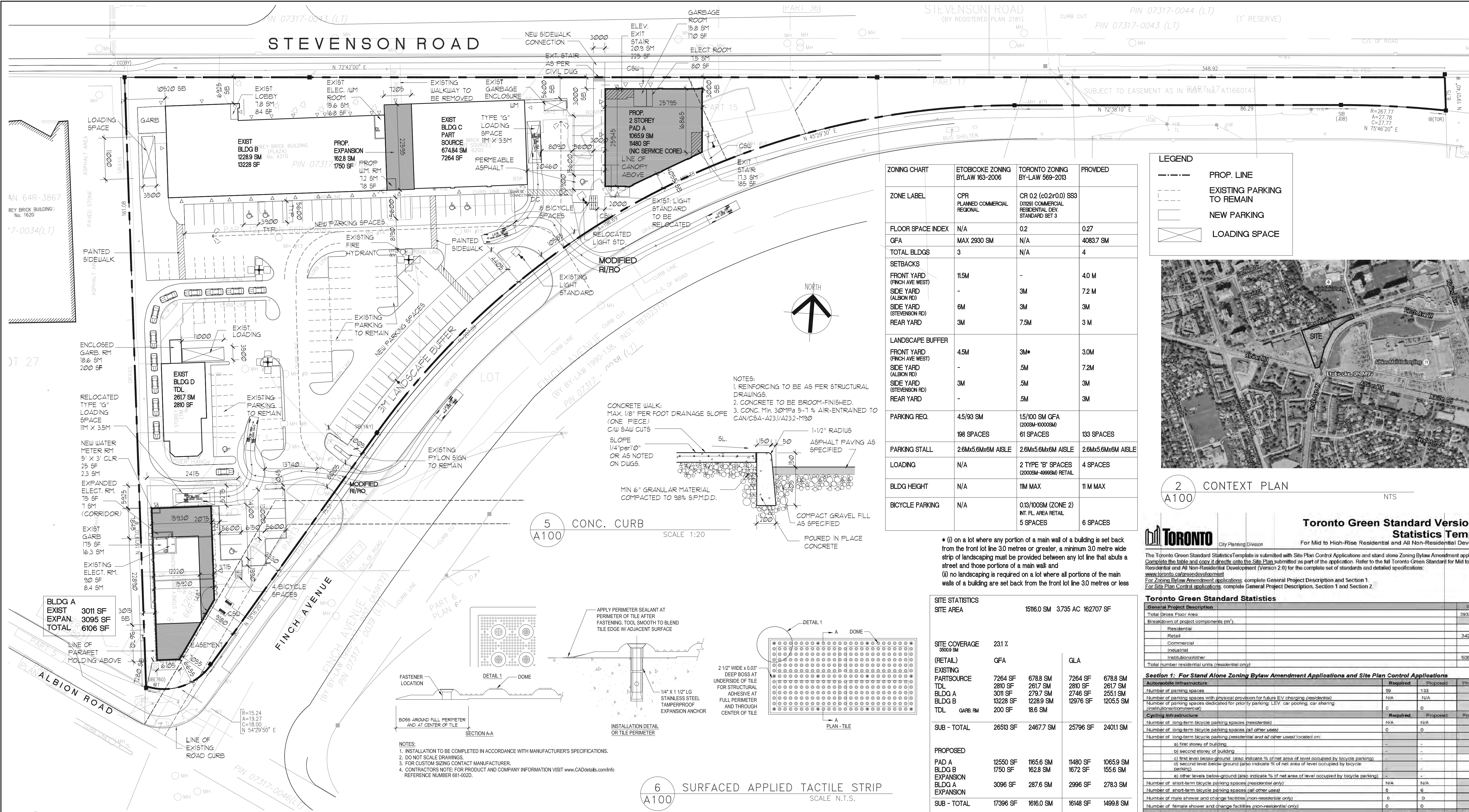
ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

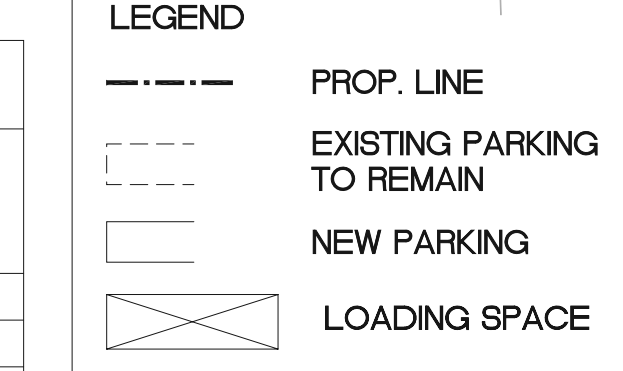
- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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ZONING CHART	ETOBICOKE ZONING BYLAW 163-2006	TORONTO ZONING BY-LAW 569-2013	PROVIDED
ZONE LABEL	CPR PLANNED COMMERCIAL REGIONAL	CR 0.2 (C02R0.0) S33 (M28) COMMERCIAL RESIDENTIAL DEV. STANDARD SET 3	
FLOOR SPACE INDEX	N/A	0.2	0.27
GFA	MAX 2830 SM	N/A	4083.7 SM
TOTAL BLDGS	3	N/A	4
SETBACKS			
FRONT YARD (FINCH AVE WEST)	11.5M	-	40 M
SIDE YARD (ALBION RD)	-	3M	7.2 M
SIDE YARD (STEVENSON RD)	6M	3M	3M
REAR YARD	3M	7.5M	3 M
LANDSCAPE BUFFER			
FRONT YARD (FINCH AVE WEST)	4.5M	3M*	3.0M
SIDE YARD (ALBION RD)	-	5M	7.2M
SIDE YARD (STEVENSON RD)	3M	5M	3M
REAR YARD	-	5M	3M
PARKING REQ.	45/93 SM 198 SPACES	15/100 SM GFA (2005M-10000SM) 61 SPACES	133 SPACES
PARKING STALL	2.6Mx5.6Mx6M AISLE	2.6Mx5.6Mx6M AISLE 2000SM-4999SM RETAIL	2.6Mx5.6Mx6M AISLE
LOADING	N/A	2 TYPE "B" SPACES (2000SM-4999SM) RETAIL	4 SPACES
BLDG HEIGHT	N/A	11M MAX	11 M MAX
BICYCLE PARKING	N/A	0.13/100SM (ZONE 2) MT. FL. AREA RETAIL 5 SPACES	6 SPACES



2 CONTEXT PLAN: A100, NTS

• (i) on a lot where any portion of a main wall of a building is set back from the front lot line 30 metres or greater, a minimum 30 metre wide strip of landscaping must be provided between any lot line that abuts a street and those portions of a main wall and
 (ii) no landscaping is required on a lot where all portions of the main walls of a building are set back from the front lot line 30 metres or less

SITE STATISTICS	1516.0 SM	3.795 AC	16270.7 SF
SITE AREA			
SITE COVERAGE (RETAIL)	231 %		
EXISTING PARTS/SOURCE			
TDL	7264 SF	6788 SM	7264 SF
BLDG A	280 SF	2617 SM	280 SF
BLDG B	301 SF	2797 SM	2746 SF
TDL	13228 SF	12289 SM	12376 SF
TDL	200 SF	18.6 SM	200 SF
SUB - TOTAL	2653 SF	2467.7 SM	25796 SF
PROPOSED			
PAD A	1255 SF	1165.6 SM	1148 SF
BLDG B	1750 SF	1628 SM	1672 SF
EXPANSION	3096 SF	287.6 SM	2996 SF
BLDG A			
EXPANSION			
SUB - TOTAL	17396 SF	1616.0 SM	16148 SF
TOTAL	43909 SF	4083.7 SM	41944 SF
PARKING	56m x 26m W/ 60m DRIVE AISLE MIN (56m x 30m BARRIER FREE)		
REQUIRED	15/100 SM GFA (2005M-10000SM)	61 CARS	
PROVIDED		133 CARS (7 HANDICAP)	
RATIO		3.03/1000SF	3.26/1000SM
LOADING	35m x 7m W/ 44m VERTICAL CLEARANCE		
REQUIRED	(2000SM-4999SM)	2 SPACES	
PROVIDED		4 SPACES	
BICYCLE PARKING	18m x 0.6m W/ 19m VERTICAL CLEARANCE		
REQUIRED	0.13/100SM (2000SM-4999SM)	5 SPACES	
PROVIDED		12 SPACES	
BLDG HEIGHT			11 M MAX

NOTE: GLA AND GFA SITE STATISTICS TAKEN FROM AREA CERTIFICATES, BY PETROFF PARTNERSHIP ARCHITECTS, DATED MAY 30TH, 2007, AND OWNER RENT ROLL.

Toronto Green Standard Version 2.0 Statistics Template
 For Mid to High-Rise Residential and All Non-Residential Development

The Toronto Green Standard Statistics Template is submitted with Site Plan Control Applications and stand alone Zoning Bylaw Amendment Applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application. Refer to the full Toronto Green Standard for Mid to High-Rise Residential and All Non-Residential Development (Version 2.0) for the complete set of standards and detailed specifications. www.toronto.ca/greendevdevelopment
 For Zoning Bylaw Amendment applications, complete General Project Description and Section 1.
 For Site Plan Control applications, complete General Project Description, Section 1 and Section 2.

Toronto Green Standard Statistics	Required	Proposed	Proposed (%)
General Project Description			
Total Gross Floor Area		3933.3 M2	
Breakdown of project components (m ²)			
Residential			
Retail		3425.3 M2	
Commercial			
Industrial			
Industrial/Other		508.3 M2	
Total number residential units (residential only)			
Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications			
Automobile Infrastructure			
Number of parking spaces	99	133	
Number of parking spaces with physical provision for future EV charging (residential)	N/A	N/A	
Number of parking spaces dedicated for priority parking, LEV, car pooling, car sharing (commercial/commercial)	0	0	
Cycling Infrastructure			
Number of long-term bicycle parking spaces (residential)	N/A	N/A	
Number of long-term bicycle parking spaces (residential and all other uses) located on:			
a) first storey of building	-	-	
b) second storey of building	-	-	
c) first level below-ground (also indicate % of net area of level occupied by bicycle parking)	-	-	
d) second level below-ground (also indicate % of net area of level occupied by bicycle parking)	-	-	
e) other levels below-ground (also indicate % of net area of level occupied by bicycle parking)	-	-	
Number of short-term bicycle parking spaces (residential only)	N/A	N/A	
Number of short-term bicycle parking spaces (all other uses)	6	16	100
Number of male shower and change facilities (non-residential only)	0	0	
Number of female shower and change facilities (non-residential only)	0	0	
Storage and Collection of Recycling and Organic Waste	Required	Proposed	Proposed (%)
Waste storage room area (residential only) (m ²)			
Urban Heat Island Reduction: At Grade	Required	Proposed	Proposed (%)
Total non-roof hardscape area (m ²)	-	2119	
Total non-roof hardscape area treated for Urban Heat Island (minimum 50%) (m ² and %)	50%+1060	526	25%
Area of non-roof hardscape treated with: (indicate m ² and %)			
a) high-albedo surface material		509	24%
b) open-grid pavement			
c) shade from tree canopy		16	1%
d) shade from structures covered by solar panels			
Percentage of required car parking spaces under cover (minimum 50%)(non-residential only)	50%+24	3	6%
Urban Heat Island Reduction: Roof	Required	Proposed	Proposed (%)
Available Roof Space (m ²)	Required	3461.97 M2	
Available Roof Space provided as Green Roof (m ² and %)	0	0	
Available Roof Space provided as Cool Roof (m ² and % for new building)	100%	549.6 M2	100
Water Efficiency	Required	Proposed	Proposed (%)
Total landscaped site area (m ²)	Required	1505	
Landscaped site area planted with drought-tolerant plants (minimum 50%) (m ² and %)	50%+752	734	49%
Urban Forest: Increase Tree Canopy	Required	Proposed	Proposed (%)
Total site area (m ²)	-	4740	
Total number of trees planted (site area x 40% + 66)	28	21	75%
Number of surface parking spaces (if applicable)	10	11	20%
Number of shade trees located in surface parking area interior (minimum 1 tree for 5 parking spaces)	10	2	20%
Natural Heritage: Site	Required	Proposed	Proposed (%)
Total number of species planted	Required	14	
Total number of native species planted and % of total species planted (minimum 50%)	50%+7	9	78%
Bird Friendly Glazing	Required	Proposed	Proposed (%)
Total area of glazing of all elevations within 12m above grade (including glass balcony railings)	Required	542.6 m2	
Total area of treated glazing (minimum 85% of total area of glazing within 12m above grade) (m ² and %)			
Percentage of glazing within 12m above grade treated with:			
a) Low reflectance opaque materials		100	
b) Visual markers			
c) Shading			
Storage and Collection of Recycling and Organic Waste	Required	Proposed	Proposed (%)
Waste storage area for bulky items and other (minimum 10m ²) (residential only)	N/A	N/A	

SURVEY INFORMATION TAKEN FROM:
 SURVEYOR'S REAL PROPERTY REPORT
 PART 1 - PLAN SHOWING
 PART OF LOTS 19, 21, 23 AND 25
 REGISTERED PLAN 2181
 CITY OF TORONTO
 (FORMERLY IN THE CITY OF ETOBICOKE)

PREPARED BY:
 J.D. BARNES LTD.
 330-550 QUEEN STREET EAST, TORONTO, ON M5A 1V2
 T: (416) 368-3137
 F: (416) 368-5308
 www.jdbarnes.com

NO.	BY	DATE	ISSUED
1	AB	APR 20/15	FOR SPA
2	AB	JUNE 1/15	FOR SPA
3	AB	DEC 12/16	FOR SPA
4	AB	MAR 8/17	COA APPLICATION

VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB. DO NOT SCALE PRINTS.
 PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT COMPLETION OF THE WORK OR UPON REQUEST.

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 TORONTO, ONTARIO M4T 1M9 FAX: (416) 362-8519

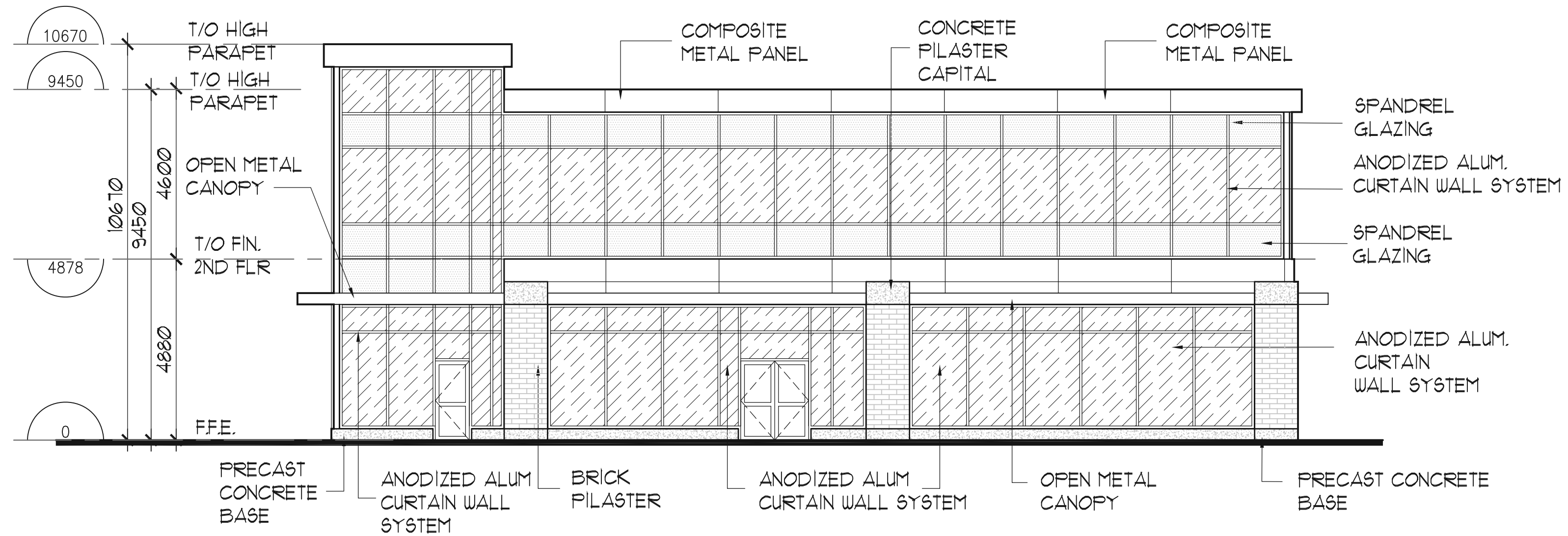
PROJECT: ALBION & FINCH PLAZA
 6200 FINCH AVE. W. TORONTO, ONTARIO

DRAWING TITLE: SITE PLAN

DRAWN	AB	FOID	
CHECKED			14038
DATE	10/2014	DWG. NO.	A100
SCALE	AS NOTED		

X-REFS: _____

DRAWINGS REVISED: _____ LAST UPDATED: _____



1 WEST ELEVATION
A200 SCALE: 1:100

NOTE:
ALL VISION GLAZING WITHIN THE FIRST 12M FROM GRADE TO CONFORM TO BIRD FRIENDLY GLAZING/ VISUAL MARKER REQUIREMENTS OF TGS STANDARD EC 4.1.

NO.	BY	DATE	ISSUED
1	AB	APR 10/15	FOR SPA
2	AB	DEC 12/16	FOR SPA
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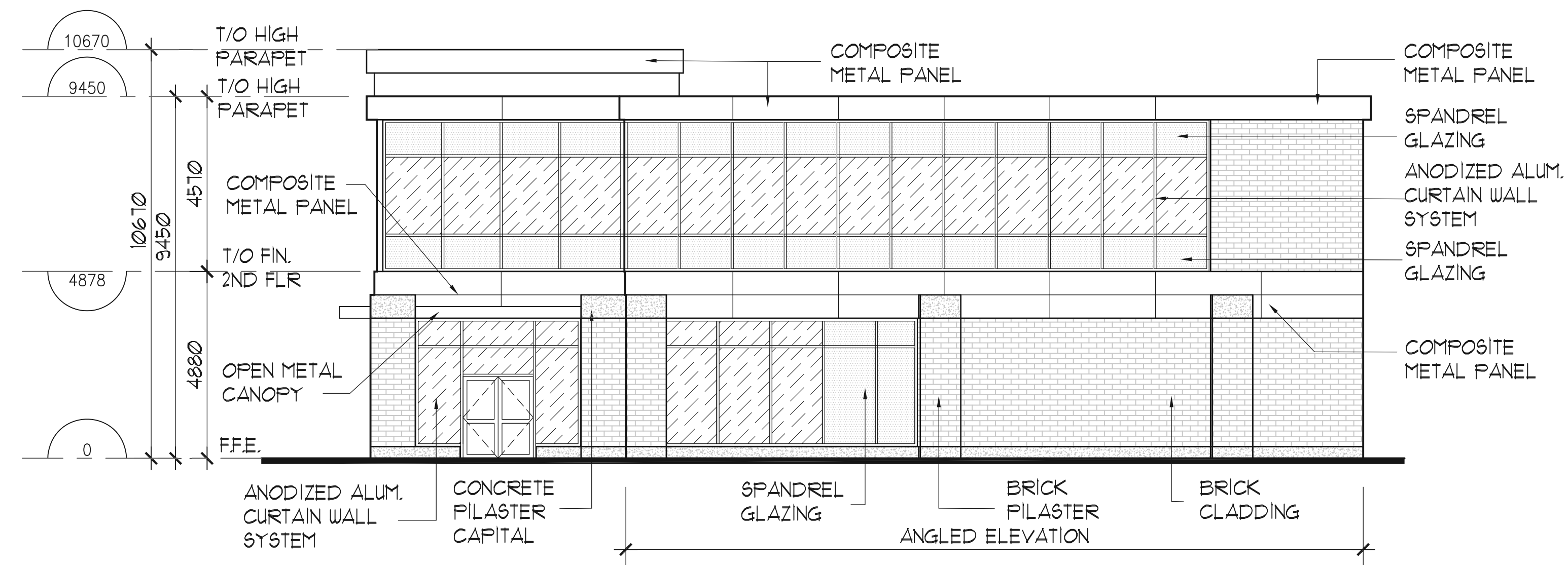
PROJECT
ALBION & FINCH PLAZA
6200 FINCH AVE. W.
TORONTO, ONTARIO

DRAWING TITLE
PAD A
ELEVATION

	DRAWN	SB DY	FOLIO
	CHECKED		14038
	DATE	02/2015	DWG. NO.
	SCALE	AS NOTED	A200

X-REFS: _____

DRAWINGS REVISED: _____ LAST UPDATED: _____



1 SOUTH ELEVATION
A201 SCALE: 1:100

NOTE:
ALL VISION GLAZING WITHIN THE FIRST 12M FROM GRADE TO CONFORM TO BIRD FRIENDLY GLAZING / VISUAL MARKER REQUIREMENTS OF TGS STANDARD EC 4.1.

NO.	BY	DATE	ISSUED
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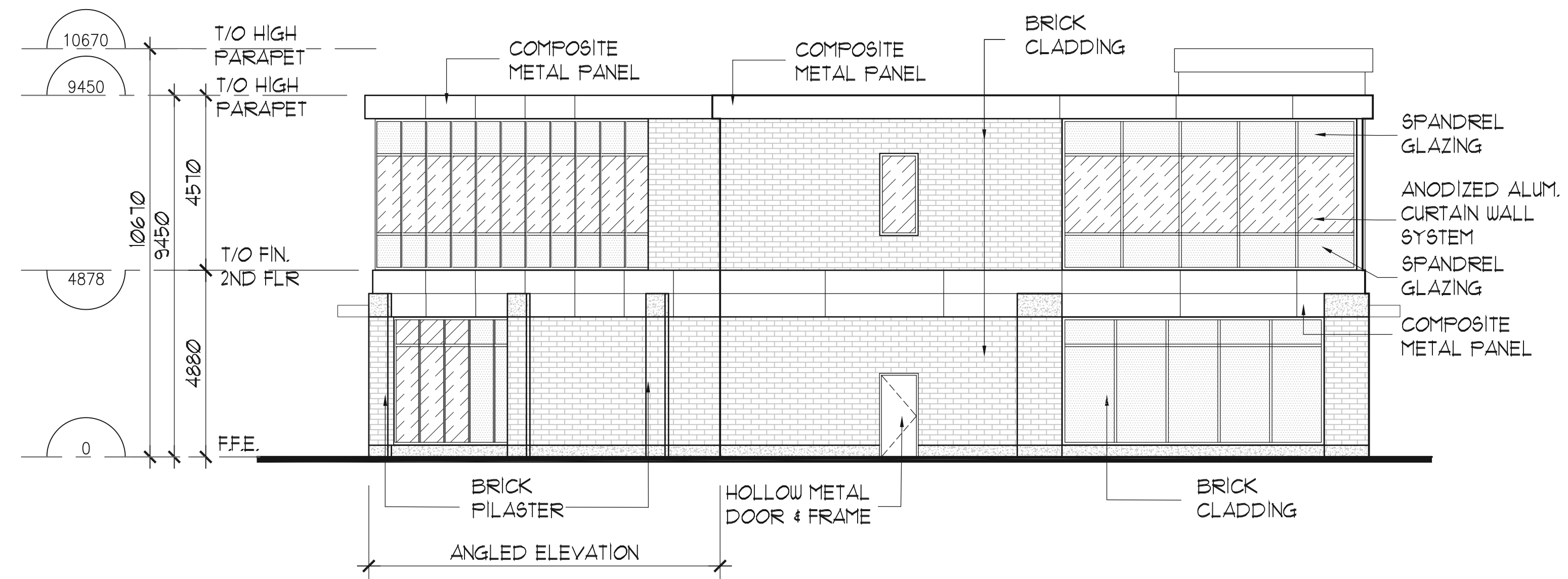
PROJECT
ALBION & FINCH PLAZA
6200 FINCH AVE. W.
TORONTO, ONTARIO

DRAWING TITLE
PAD A
ELEVATION

	DRAWN	SB DY	FOLIO
	CHECKED		14038
	DATE	02/2015	DWG. NO.
	SCALE	AS NOTED	A201

X-REFS:

DRAWINGS REVISED: _____ LAST UPDATED: _____



1 EAST ELEVATION
A202 SCALE: 1:100

NOTE:
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DATE: _____

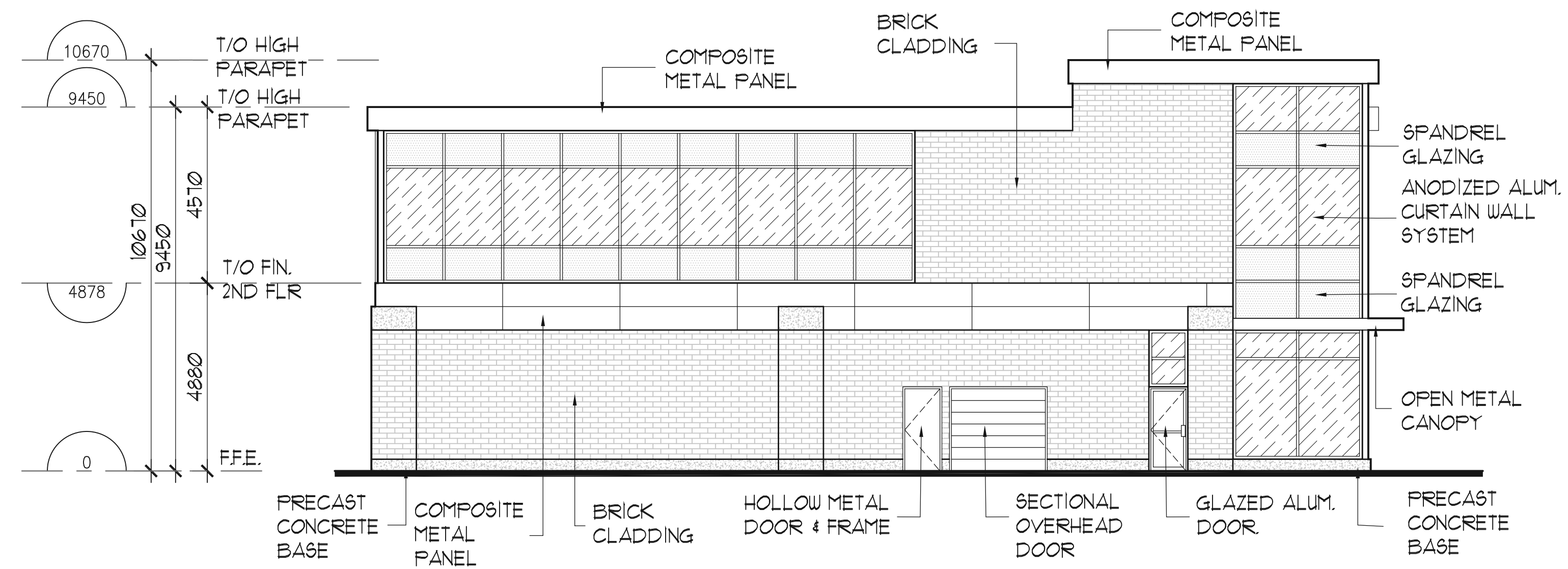
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PROJECT
ALBION & FINCH PLAZA
6200 FINCH AVE. W.
TORONTO, ONTARIO

DRAWING TITLE
PAD A ELEVATION

	DRAWN	SB DY	FOLIO
	CHECKED		14038
	DATE	02/2015	DWG. NO.
	SCALE	AS NOTED	A202

X-REFS:
DRAWINGS REVISED: _____ LAST UPDATED: _____



1 NORTH ELEVATION
A203 SCALE: 1:100

NOTE:
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3	AB	MAR 8/17	COA APPLICATION

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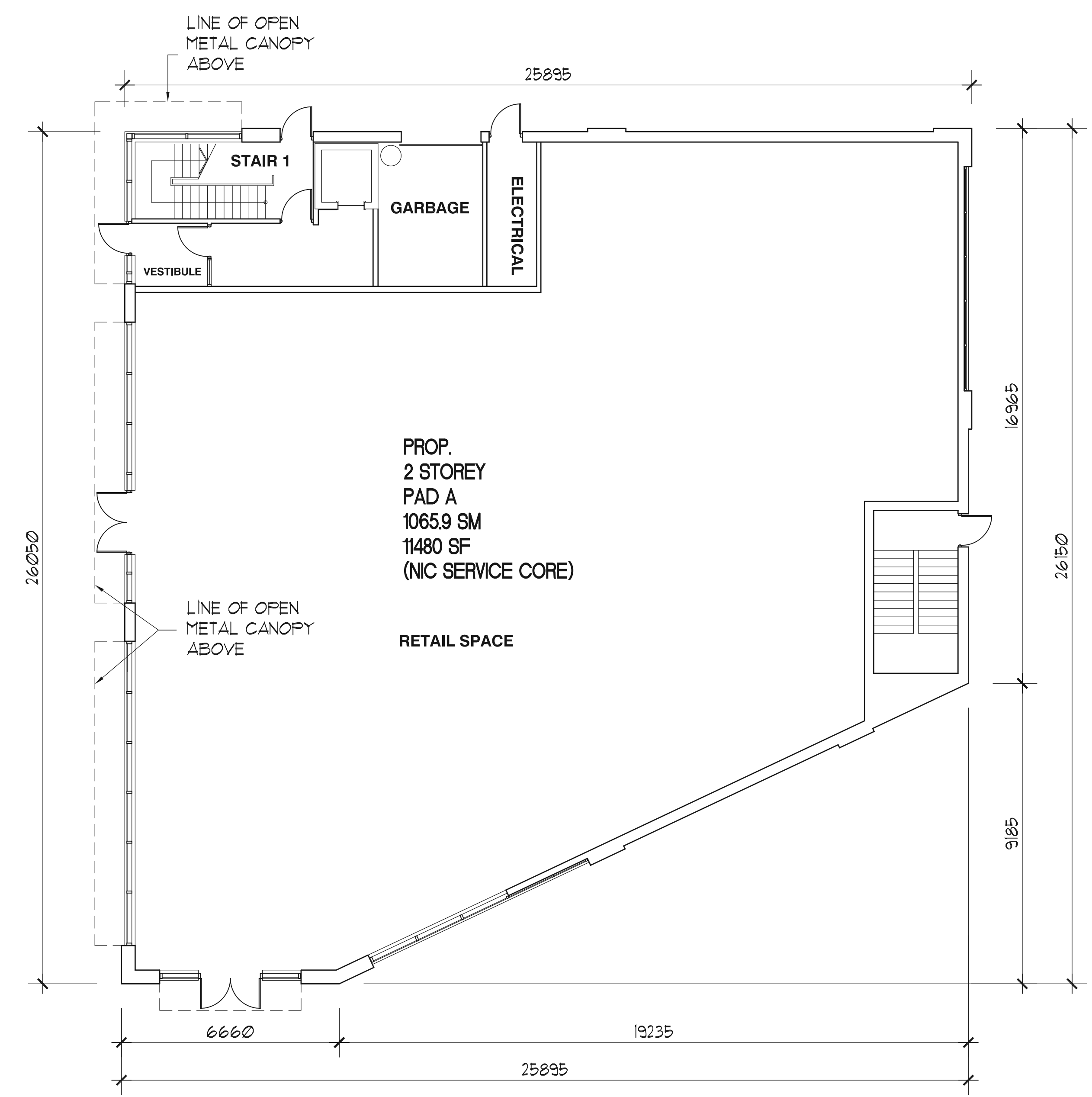
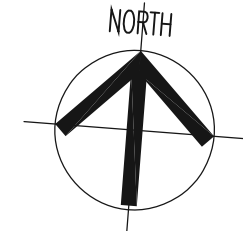
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PROJECT
ALBION & FINCH PLAZA
6200 FINCH AVE. W.
TORONTO, ONTARIO

DRAWING TITLE
PAD A
ELEVATION

	DRAWN	SB DY	FOLIO
	CHECKED		14038
	DATE	02/2015	DWG. NO.
	SCALE	AS NOTED	A203

X-REFS:
DRAWINGS REVISED: _____ LAST UPDATED: _____



1
A204 GROUND FLOOR PLAN SCALE: 1:100

NO.	BY	DATE	ISSUED
1	AB	APR 10/15	FOR SPA
2	AB	DEC 12/16	FOR SPA
3	AB	MAR 8/17	COA APPLICATION

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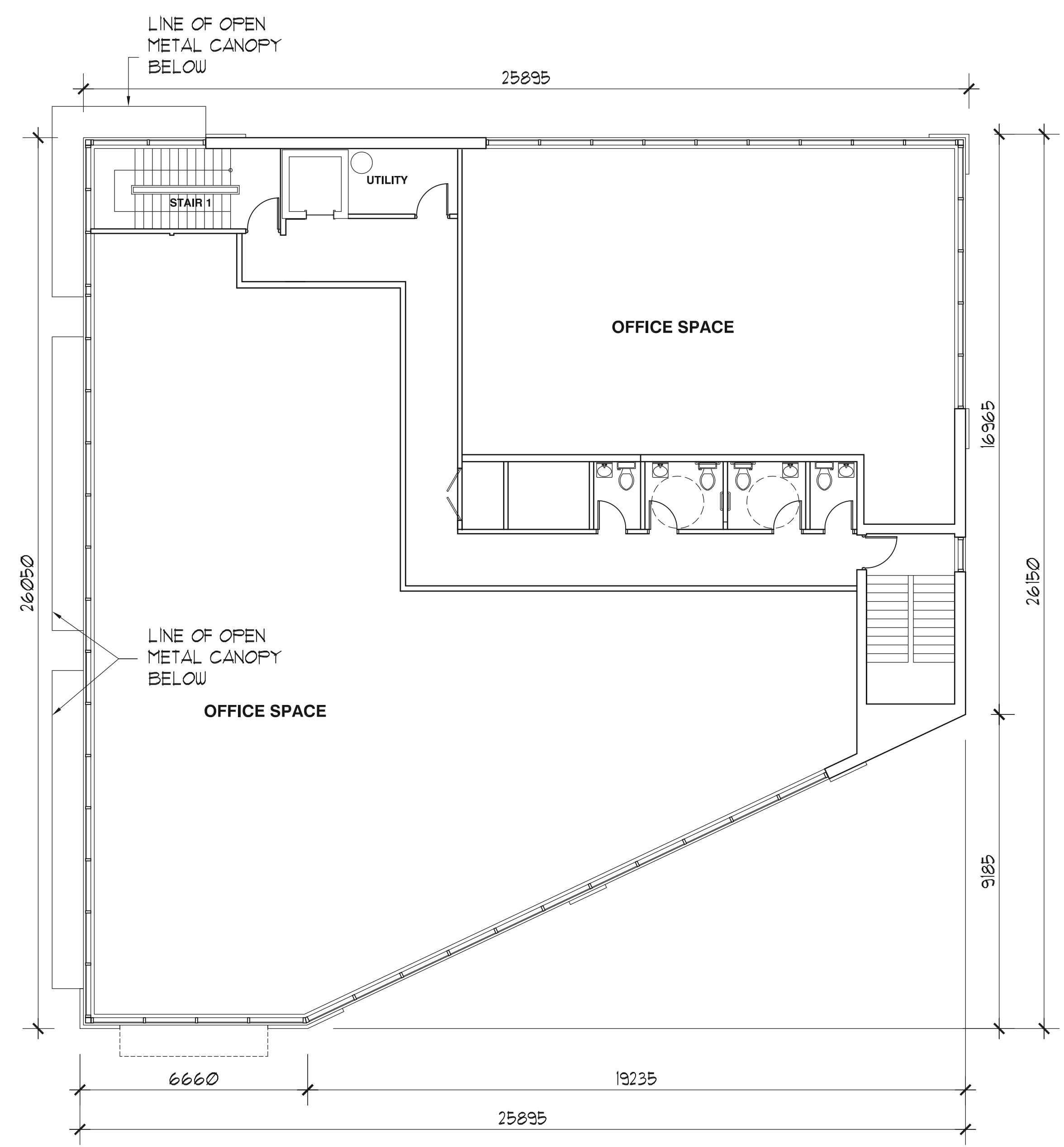
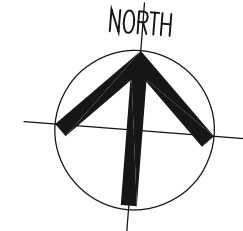
PROJECT
ALBION & FINCH PLAZA
 6200 FINCH AVE. W.
 TORONTO, ONTARIO

DRAWING TITLE
PAD A PLAN

	DRAWN	SB	DY	FOLIO
	CHECKED			14038
	DATE	02/2015		DWG. NO.
	SCALE	AS NOTED		A204

X-REFS: _____

DRAWINGS REVISED: _____ LAST UPDATED: _____



1 SECOND FLOOR PLAN SCALE: 1:100
A205

NOTE:
ALL VISION GLAZING WITHIN THE FIRST 12M FROM GRADE TO CONFORM TO BIRD FRIENDLY GLAZING / VISUAL MARKER REQUIREMENTS OF TGS STANDARD EC 4.1.

NO.	BY	DATE	ISSUED
1	AB	APR 10/15	FOR SPA
2	AB	DEC 12/16	FOR SPA
3	AB	MAR 8/17	COA APPLICATION

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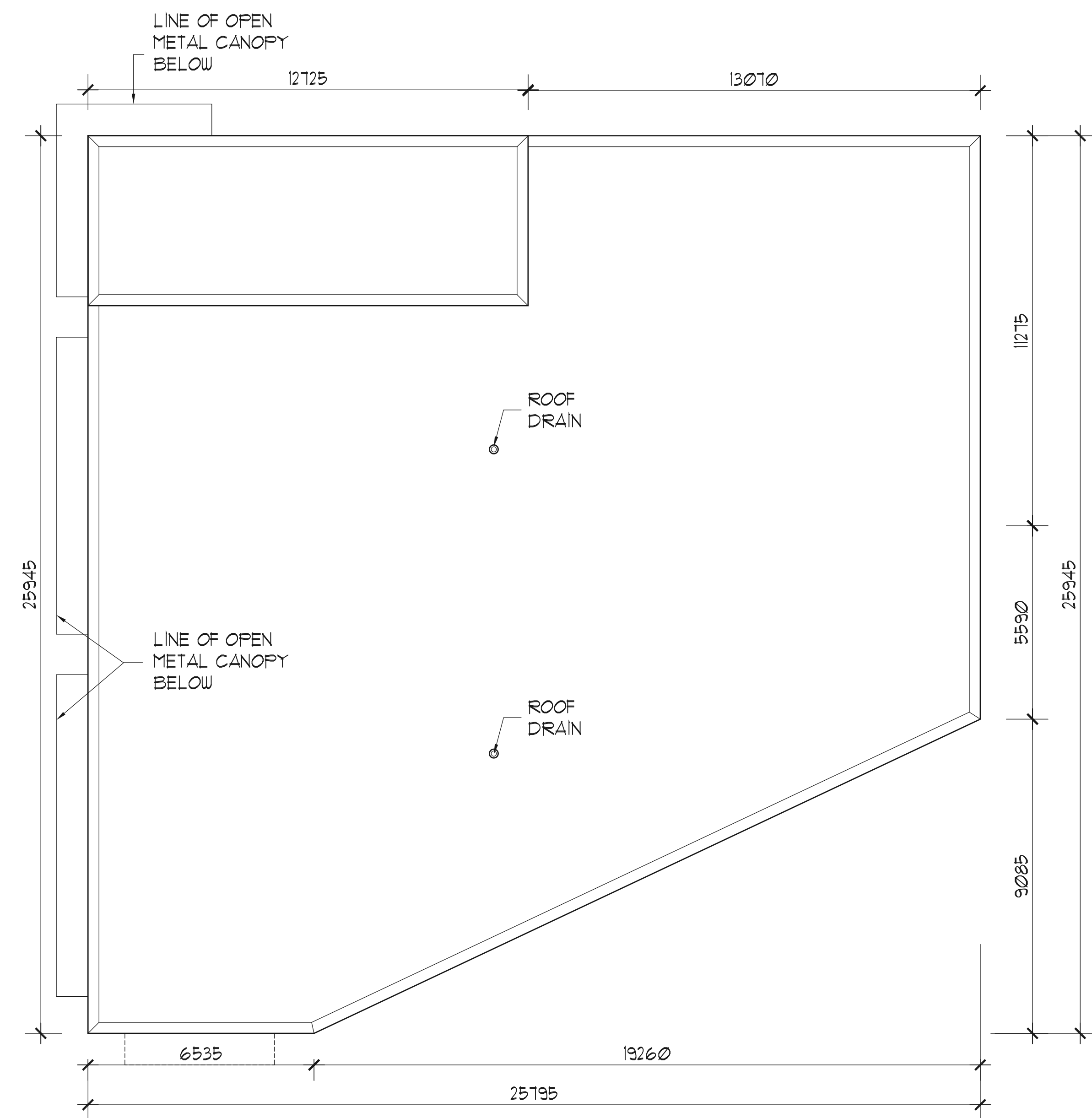
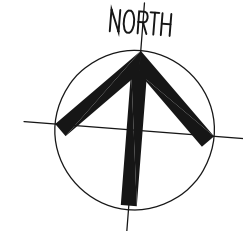
PROJECT
ALBION & FINCH PLAZA
6200 FINCH AVE. W.
TORONTO, ONTARIO

DRAWING TITLE
PAD A
PLANS

	DRAWN	SB DY	FOLIO
	CHECKED		14038
	DATE	02/2015	DWG. NO.
	SCALE	AS NOTED	A205

X-REFS: _____

DRAWINGS REVISED: _____ LAST UPDATED: _____



1 ROOF PLAN
A206 SCALE: 1:100

NOTE:
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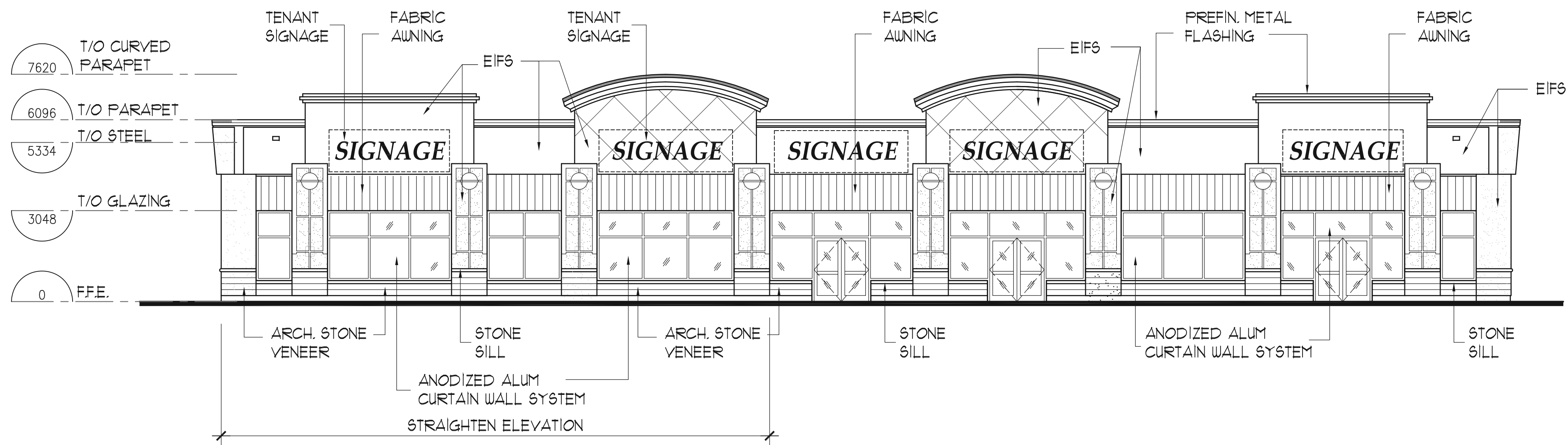
PROJECT
 ALBION & FINCH PLAZA
 6200 FINCH AVE. W.
 TORONTO, ONTARIO

DRAWING TITLE
 PAD A
 PLAN

	DRAWN	SB	DY	FOLIO
	CHECKED			14038
	DATE	02/2015		DWG. NO.
	SCALE	AS NOTED		A206

X-REFS: _____

DRAWINGS REVISED: _____ LAST UPDATED: _____



1 EAST ELEVATION
A300 SCALE: 1:100

NOTE:
ALL VISION GLAZING WITHIN THE FIRST 12M FROM GRADE TO CONFORM TO BIRD FRIENDLY GLAZING/ VISUAL MARKER REQUIREMENTS OF TGS STANDARD EC 4.1.

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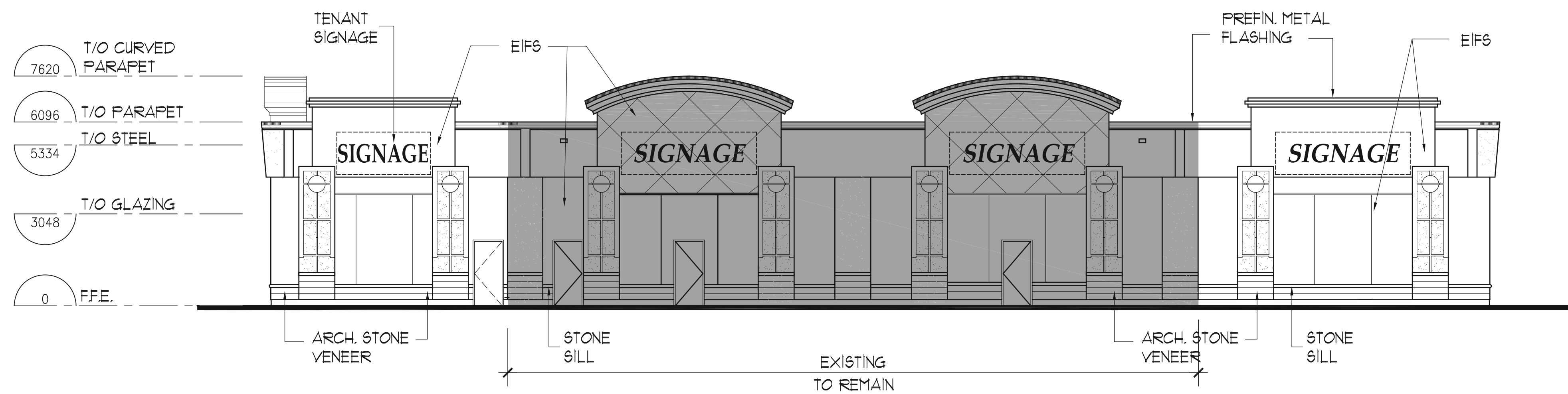
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60 ST. CLAIR AVE. E. TORONTO, ONTARIO M4T 1M9
TEL: (416) 362-7753 FAX: (416) 362-8519

PROJECT
ALBION & FINCH PLAZA
6200 FINCH AVE. W.
TORONTO, ONTARIO

DRAWING TITLE
BUILDING A ELEVATION

	DRAWN	SB DY	FOLIO
	CHECKED		14038
	DATE	02/2015	DWG. NO.
	SCALE	AS NOTED	A300

X-REFS:	
DRAWINGS REVISED:	LAST UPDATED:



1 WEST ELEVATION
A301 SCALE: 1:100

NOTE:
ALL VISION GLAZING WITHIN THE FIRST 12M FROM GRADE TO CONFORM TO BIRD FRIENDLY GLAZING/ VISUAL MARKER REQUIREMENTS OF TGS STANDARD EC 4.1.

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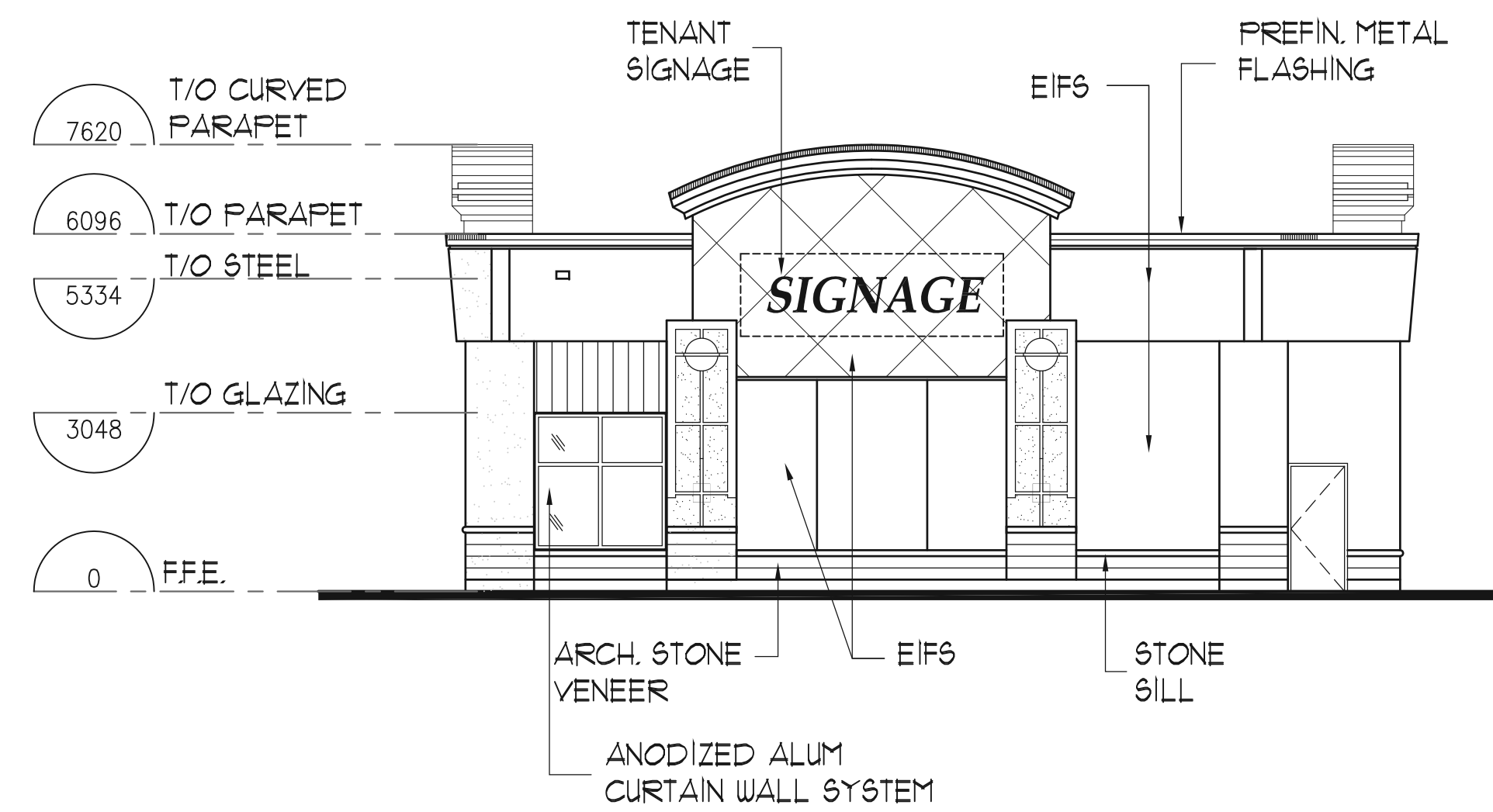
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60 ST. CLAIR AVE. E. TEL: (416) 362-7753
TORONTO, ONTARIO M4T 1M9 FAX: (416) 362-8519

PROJECT
ALBION & FINCH PLAZA
6200 FINCH AVE. W.
TORONTO, ONTARIO

DRAWING TITLE
BUILDING A ELEVATION

	DRAWN	SB DY	FOLIO
	CHECKED		14038
	DATE	02/2015	DWG. NO.
	SCALE	AS NOTED	A301

X-REFS:
DRAWINGS REVISED: _____ LAST UPDATED: _____



1 NORTH ELEVATION
A302 SCALE: 1:150

NOTE:
ALL VISION GLAZING WITHIN THE FIRST 12M FROM GRADE TO CONFORM TO BIRD FRIENDLY GLAZING/ VISUAL MARKER REQUIREMENTS OF TGS STANDARD EC 4.1.

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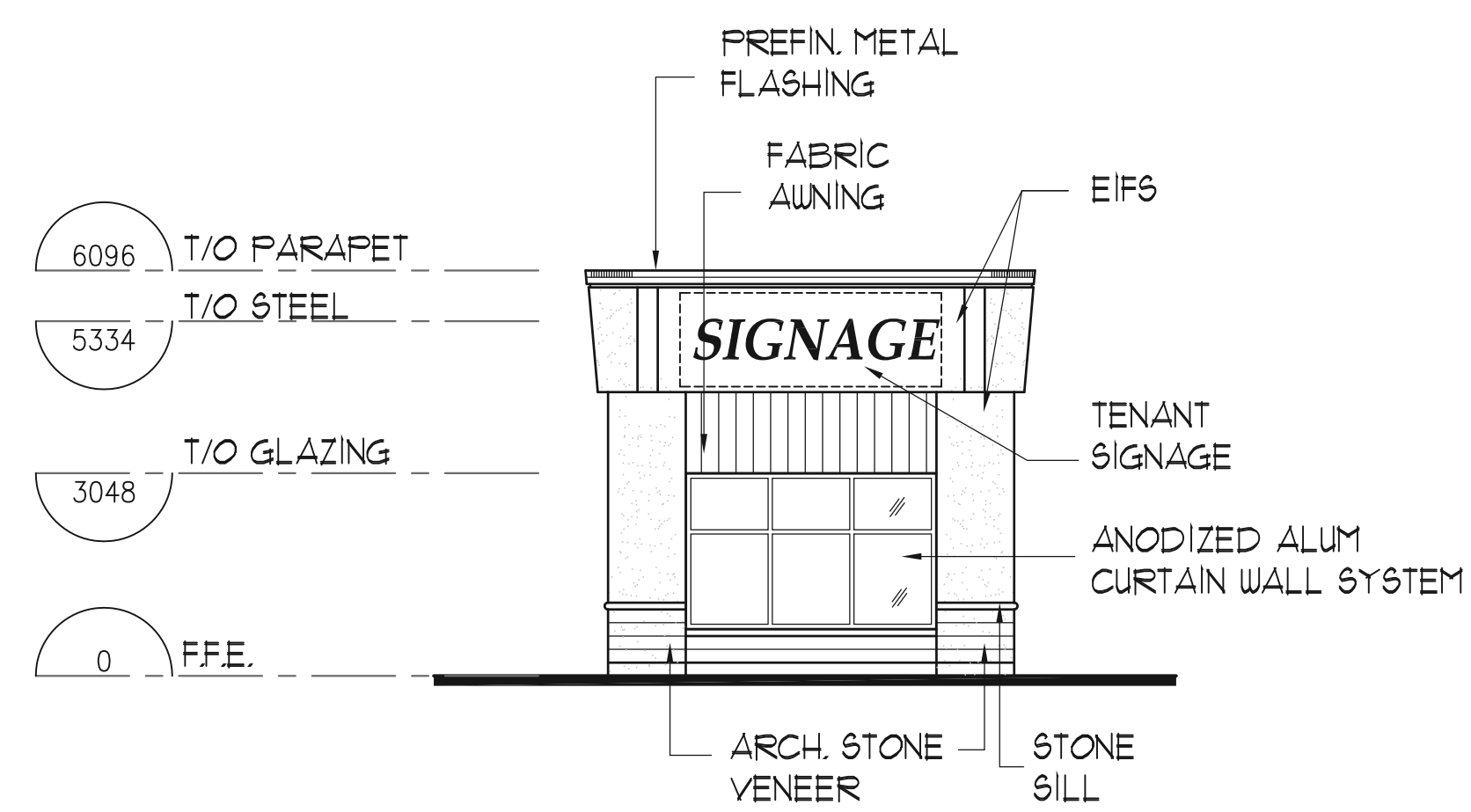
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PROJECT
ALBION & FINCH PLAZA
6200 FINCH AVE. W.
TORONTO, ONTARIO

DRAWING TITLE
BUILDING A ELEVATION

	DRAWN	SB DY	FOLIO
	CHECKED		14038
	DATE	02/2015	DWG. NO.
	SCALE	AS NOTED	A302

X-REFS:
DRAWINGS REVISED: _____ LAST UPDATED: _____



1 SOUTH ELEVATION
A303 SCALE: 1:100

NOTE:
ALL VISION GLAZING WITHIN THE FIRST 12M FROM GRADE TO CONFORM TO BIRD FRIENDLY GLAZING/ VISUAL MARKER REQUIREMENTS OF TGS STANDARD EC 4.1.

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THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS APPROVED AT RIGHT.
APPROVED: _____
DATE: _____

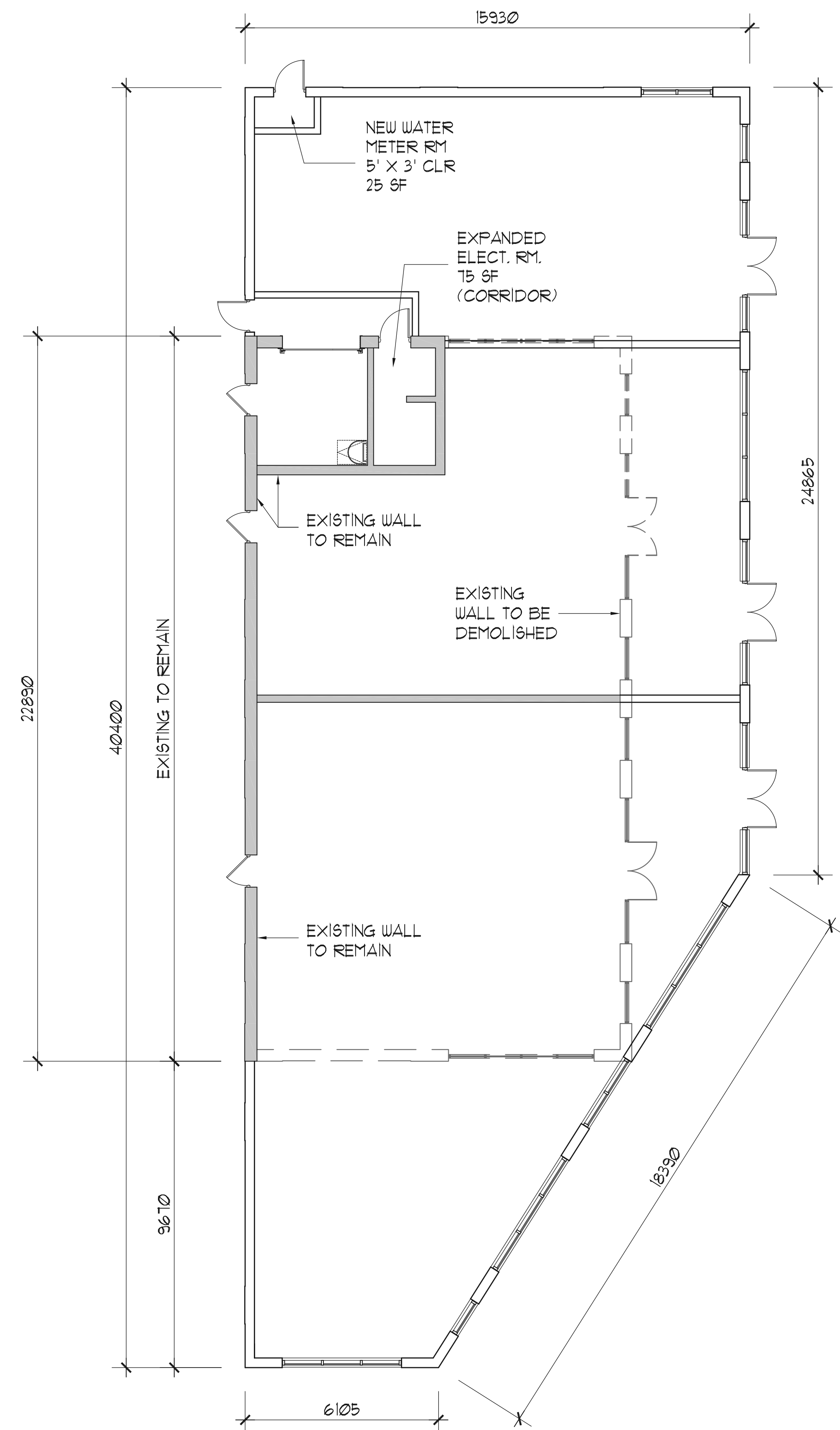
SCOLER LEE + ASSOCIATES ARCHITECTS INC.
60 ST. CLAIR AVE. E. TORONTO, ONTARIO M4T 1M9
TEL: (416) 362-7753 FAX: (416) 362-8519

PROJECT
ALBION & FINCH PLAZA
6200 FINCH AVE. W.
TORONTO, ONTARIO

DRAWING TITLE
BUILDING A ELEVATION

	DRAWN	SB DY	FOLIO
	CHECKED		14038
	DATE	02/2015	DWG. NO.
	SCALE	AS NOTED	A303

X-REFS:
DRAWINGS REVISED: _____ LAST UPDATED: _____



1 FLOOR PLAN
A304 SCALE: 1:100

NOTE:
ALL VISION GLAZING WITHIN THE FIRST 12M FROM GRADE TO CONFORM TO BIRD FRIENDLY GLAZING/ VISUAL MARKER REQUIREMENTS OF TGS STANDARD EC 4.1.

NO.	BY	DATE	ISSUED
1	AB	APR 10/15	FOR SPA
2	AB	DEC 12/16	FOR SPA

VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB. DO NOT SCALE PRINTS.
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APPROVED: _____
DATE: _____

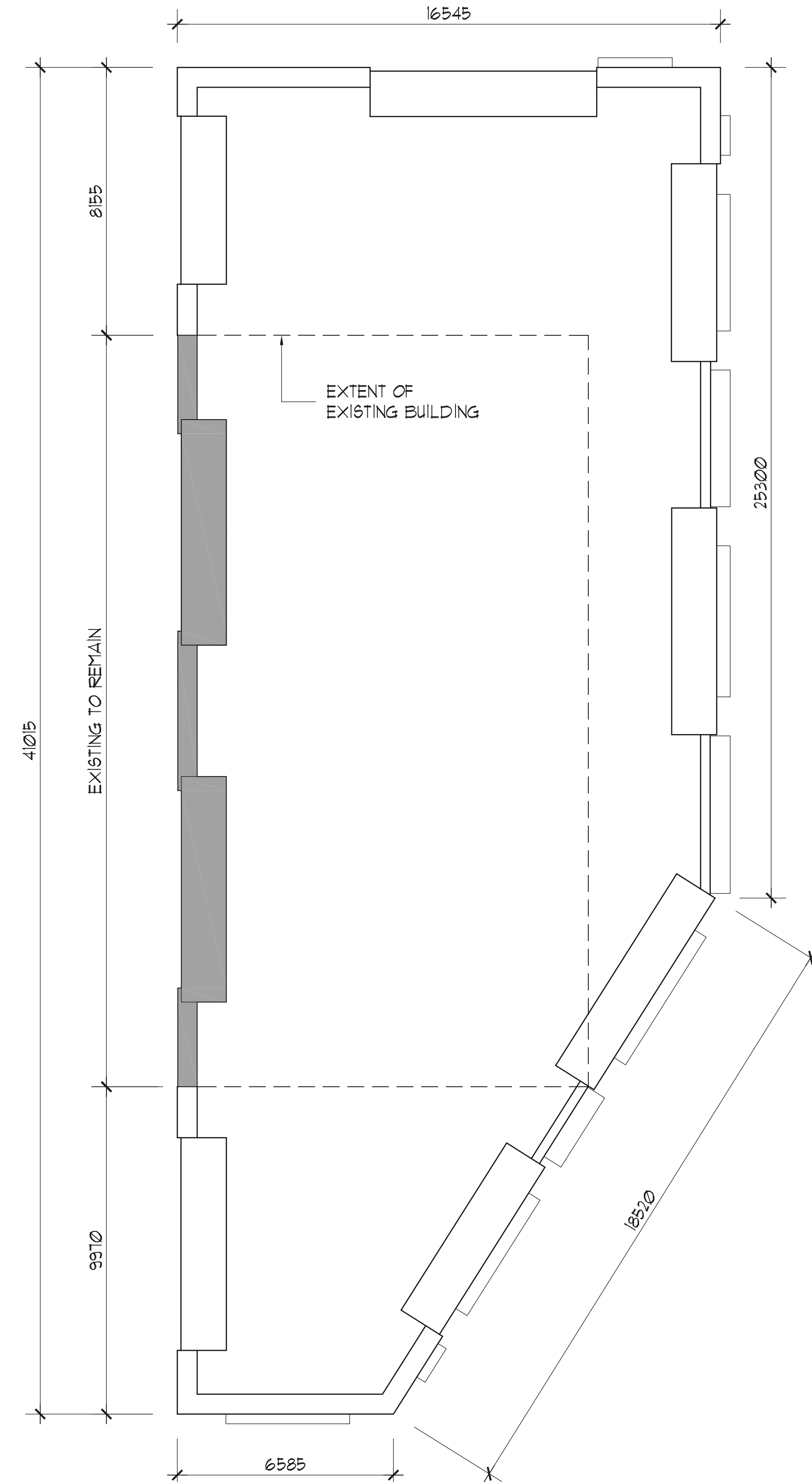
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60 ST. CLAIR AVE. E. TORONTO, ONTARIO M4T 1M9
TEL: (416) 362-7753 FAX: (416) 362-8519

PROJECT
ALBION & FINCH PLAZA
6200 FINCH AVE. W.
TORONTO, ONTARIO

DRAWING TITLE
BUILDING A
FLOOR PLAN

	DRAWN	SB DY	FOLIO
	CHECKED		14038
	DATE	02/2015	DWG. NO.
	SCALE	AS NOTED	A304

X-REFS:	
DRAWINGS REVISED:	LAST UPDATED:



1 ROOF PLAN
A305 SCALE: 1:100

NOTE:
ALL VISION GLAZING WITHIN THE FIRST 12M FROM GRADE TO CONFORM TO BIRD FRIENDLY GLAZING / VISUAL MARKER REQUIREMENTS OF TGS STANDARD EC 4.1.

NO.	BY	DATE	ISSUED
1	AB	APR 10/15	FOR SPA
2	AB	DEC 12/16	FOR SPA

VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB. DO NOT SCALE PRINTS.
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DATE: _____

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 TORONTO, ONTARIO M4T 1M9 FAX: (416) 362-8519

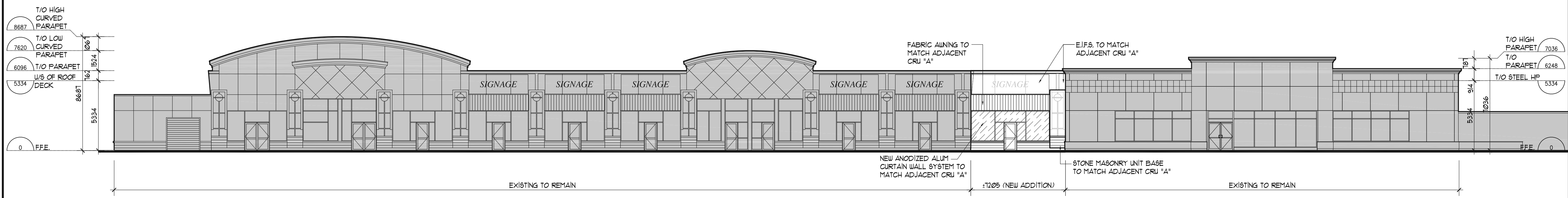
PROJECT
ALBION & FINCH PLAZA
 6200 FINCH AVE. W.
 TORONTO, ONTARIO

DRAWING TITLE
BUILDING A ROOF PLAN

	DRAWN	SB DY	FOLIO
	CHECKED		14038
	DATE	02/2015	DWG. NO.
	SCALE	AS NOTED	A305

X-REFS:

DRAWINGS REVISED:	LAST UPDATED:
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1 SOUTH ELEVATION
A400 1:150

NO.	BY	DATE	ISSUED
1	AB	APR 10/15	FOR SPA
2	AB	DEC 12/16	FOR SPA
3	AB	MAR 8/17	COA APPLICATION

VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB. DO NOT SCALE PRINTS.
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APPROVED: _____
DATE: _____

SCOLER LEE + ASSOCIATES ARCHITECTS INC.
 80 ST. CLAIR AVE. E. TEL: (416) 362-7753
 TORONTO, ONTARIO M4T 1M9 FAX: (416) 362-8519

PROJECT
ALBION & FINCH PLAZA
 6200 FINCH AVE. W.
 ETOBICOKE, ONTARIO

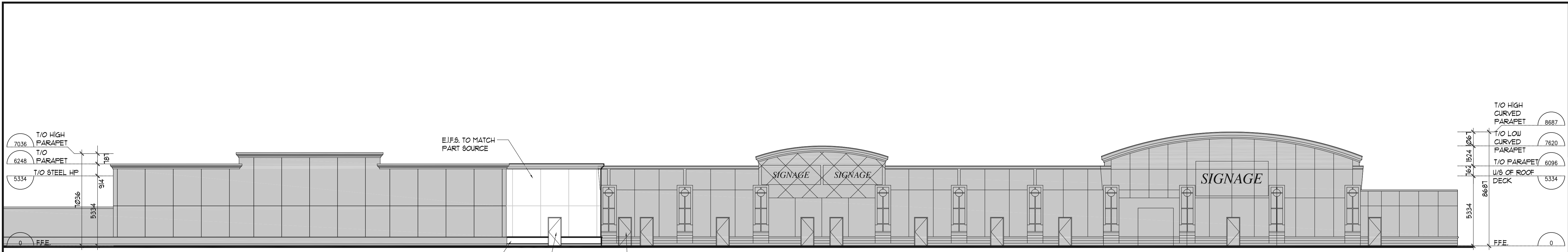
DRAWING TITLE
**BUILDING B
 ELEVATION**

	DRAWN	KP	FOLIO
	CHECKED	AB	14038
	DATE	10/2014	DWG. NO.
	SCALE	AS NOTED	A400

NOTE:
 ALL VISION GLAZING WITHIN THE FIRST 12M FROM GRADE TO CONFORM TO BIRD FRIENDLY GLAZING/ VISUAL MARKER REQUIREMENTS OF TGS STANDARD EC 4.1.

X-REFS:

DRAWINGS REVISED:	LAST UPDATED:
CADFILE: 14038\ALBION CENTRE\SPA	



NO.	BY	DATE	ISSUED
1	AB	APR 10/15	FOR SPA
2	AB	DEC 12/16	FOR SPA
3	AB	MAR 8/17	COA APPLICATION



1 NORTH ELEVATION
A401 1:150

NO.	BY	DATE	ISSUED
1	AB	APR 10/15	FOR SPA
2	AB	DEC 12/16	FOR SPA
3	AB	MAR 8/17	COA APPLICATION

VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB. DO NOT SCALE PRINTS.
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THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS APPROVED AT RIGHT.
APPROVED: _____
DATE: _____

SCOLER LEE + ASSOCIATES ARCHITECTS INC.
60 ST. CLAIR AVE. E. TORONTO, ONTARIO M4T 1M9
TEL: (416) 362-7753 FAX: (416) 362-8519

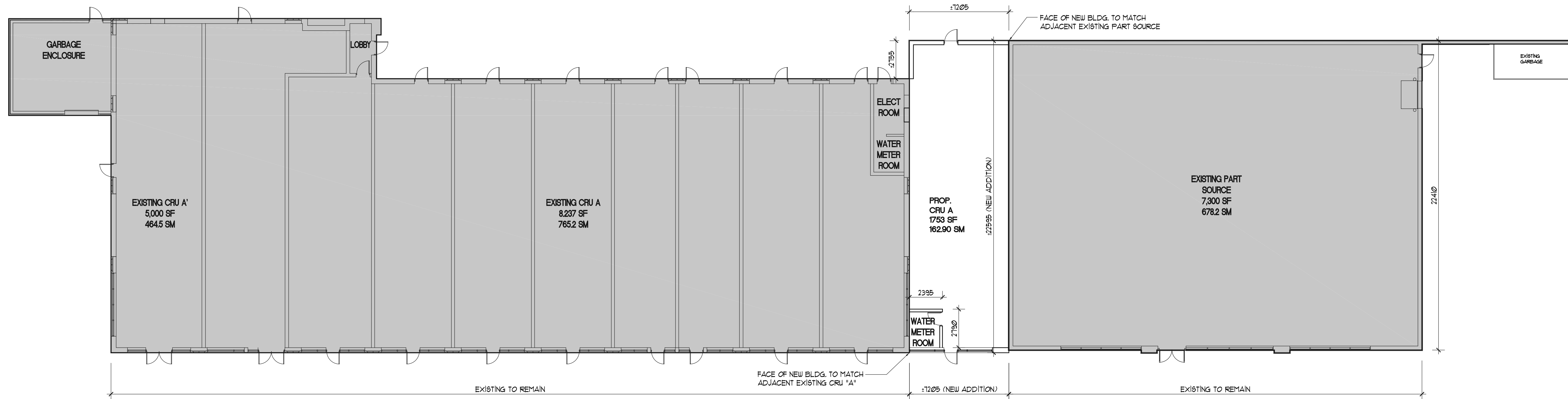
PROJECT
ALBION & FINCH PLAZA
6200 FINCH AVE. W.
ETOBICOKE, ONTARIO

DRAWING TITLE
BUILDING B
ELEVATION

	DRAWN	KP	FOLIO
	CHECKED	AB	14038
	DATE	10/2014	DWG. NO.
	SCALE	AS NOTED	A401

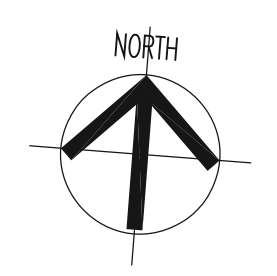
NOTE:
ALL VISION GLAZING WITHIN THE FIRST 12M FROM GRADE TO CONFORM TO BIRD FRIENDLY GLAZING/ VISUAL MARKER REQUIREMENTS OF TGS STANDARD EC 4.1.

X-REFS:
DRAWINGS REVISED: _____ LAST UPDATED: _____
CADFILE: 14038\ALBION CENTRE\SPA



1 FLOOR PLAN
A402

1:150



NO.	BY	DATE	ISSUED
1	AB	APR 10/15	FOR SPA
2	AB	DEC 12/16	FOR SPA
3	AB	MAR 8/17	COA APPLICATION

VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB. DO NOT SCALE PRINTS.
PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT COMPLETION OF THE WORK OR UPON REQUEST.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS APPROVED AT RIGHT.

APPROVED: _____
DATE: _____

SCOLER LEE + ASSOCIATES ARCHITECTS INC.

80 ST. CLAIR AVE. E. TEL: (416) 362-7753
TORONTO, ONTARIO M4T 1M9 FAX: (416) 362-8519

PROJECT

ALBION & FINCH PLAZA
6200 FINCH AVE. W.
ETOBICOKE, ONTARIO

DRAWING TITLE

BUILDING B
FLOOR PLAN

	DRAWN	KP	FOLIO
	CHECKED	AB	14038
	DATE	10/2014	DWG. NO.
	SCALE	AS NOTED	A402

X-REFS:

DRAWINGS REVISED: _____ LAST UPDATED: _____
CADFILE: 14038\ALBION CENTRE\SPA

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0248/17EYK	Zoning	RD & R1
Owner(s):	KASIA RYBA-GORECKI JAROSLAW GORECKI	Ward:	Etobicoke Centre (03)
Agent:	KRZYSZTOF OLAK ARCHITECT INC	Heritage:	Not Applicable
Property Address:	22 JEFF DR	Community:	

Legal Description: PLAN M853 LOT 24

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear and east side addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 320-42.1.A.(1)**
The maximum permitted floor space index is 0.45 times the area of the lot (253.17 m²).
The altered dwelling will have a floor space index of 0.48 times the area of the lot (267.97 m²).
- Section 10.20.40.70.(1), By-law 569-2013 & Section 320-40.C.(1)**
The minimum required front yard setback is 11.83 m.
The altered dwelling will be located 10.63 m from the front lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for permit to injure or destroy privately owned trees.

SIGNATURE PAGE

File Number:	A0248/17EYK	Zoning	RD & R1
Owner:	KASIA RYBA-GORECKI JAROSLAW GORECKI	Ward:	Etobicoke Centre (03)
Agent:	KRZYSZTOF OLAK ARCHITECT INC	Heritage:	Not Applicable
Property Address:	22 JEFF DR	Community:	
Legal Description:	PLAN M853 LOT 24		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0258/17EYK	Zoning:	RD & R2
Owner(s):	KATHERINE FIDANI JAMES FIDANI	Ward:	Etobicoke Centre (04)
Agent:	ADRIAN DI DOMENICO	Heritage:	Not Applicable
Property Address:	24 BALEBERRY CRES	Community:	

Legal Description: PLAN M705 LOT 109

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing dwelling by constructing the following: a two-storey north side addition, a second storey addition above the existing dwelling, a new covered front porch and a new covered rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1), By-law 569-2013 & Section 320-59.C.**
The maximum permitted lot coverage is 33% of the lot area (203.8 m²).
The altered dwelling will have a lot coverage of 40.18% of the lot area (248.13 m²).
- Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 320-42.1.A.(1)**
The maximum permitted floor space index is 0.45 times the lot area (277.91 m²).
The altered dwelling will have a floor space index of 0.48 times the lot area (298.91 m²).
- Section 10.5.40.70.(1)(B), By-law 569-2013 & Section 320-40.C.(3)**
The minimum required front yard setback is 7.86 m.
The altered dwelling will be located 7.42 m from the front lot line.
- Section 10.5.40.60.(2)(A), By-law 569-2013**
A canopy, awning or similar structure above a platform may encroach into a required minimum setback 2.5 m.
The proposed roof will encroach 3.67 m into the required rear yard setback and 2.31 m into the required front yard setback.
- Section 320-42.E.**
An uncovered terrace, veranda, porch, chimney-breast or steps are permitted to project 1.6 m from the rear main wall.
The proposed deck and steps will project 3.67 m from the rear main wall.

6. Section 320-40.D.(2)

The maximum permitted projection into the required front yard is 1.6 m.

The proposed roof of the covered front porch will project 2.31 m into the required front yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0258/17EYK	Zoning	RD & R2
Owner:	KATHERINE FIDANI JAMES FIDANI	Ward:	Etobicoke Centre (04)
Agent:	ADRIAN DI DOMENICO	Heritage:	Not Applicable
Property Address:	24 BALEBERRY CRES	Community:	
Legal Description:	PLAN M705 LOT 109		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0263/17EYK	Zoning	EC3
Owner(s):	2299100 ONTARIO LIMITED	Ward:	Etobicoke-Lakeshore (05)
Agent:	BOUSFIELDS INC	Heritage:	Not Applicable
Property Address:	64-70 CORDOVA AVE	Community:	

Legal Description: ETOBICOKE CON A CLERGY BLK PT LOT 7 RP 66R26151 PART 1

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To modify the gross floor area and height requirements of the site specific By-law 110-2016.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 4.(c), By-law 110-2016**
The maximum permitted gross floor area for phase 3 is 29 000 m².
The altered mixed use building (phase 3) will have a gross floor area of 32 700 m².
- 2. Section 4, By-law 110-2016**
The maximum permitted gross floor area for the entirety of the lands is 90 000 m².
The proposed gross floor area for the entirety of the lands will be 92 175 m².
- 3. Schedule 'B', By-law 110-2016**
The maximum permitted height is 123 m for Phase 3.
The proposed development for Phase 3 will have a height of 132 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Pursuant to Section 45(9) of the *Planning Act*, a contribution be made as a community benefit in the amount of \$100,00.00, to the satisfaction of the Director, Community Planning, Etobicoke York District, to be used toward local park improvements at the future Westwood Park in the Six Points Area, payable prior to issuance of an above-grade building permit. This amount is to be indexed upwardly in accordance with the Statistics Canada Non-Residential Construction Price index for Toronto, calculated from the date of the hearing to the date of payment, with the funds to be used solely for the future Westwood Park.

SIGNATURE PAGE

File Number:	A0263/17EYK	Zoning	EC3
Owner:	2299100 ONTARIO LIMITED	Ward:	Etobicoke-Lakeshore (05)
Agent:	BOUSFIELDS INC	Heritage:	Not Applicable
Property Address:	64-70 CORDOVA AVE	Community:	
Legal Description:	ETOBICOKE CON A CLERGY BLK PT LOT 7 RP 66R26151 PART 1		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0265/17EYK	Zoning	RM & R2
Owner(s):	CATALINA MARIA FIERRO DAVID AARON AYRES	Ward:	Etobicoke-Lakeshore (06)
Agent:	SANDRA SISERA	Heritage:	Not Applicable
Property Address:	47 ALBANI ST	Community:	

Legal Description: PLAN M76 PT LOT 499

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.40.40.(1)(A), By-law 569-2013 & Section 340-30.(L).**
The maximum permitted floor space index is 0.6 times the lot area (230 m²).
The new dwelling will have a floor space index of 0.73 times the lot area (282.1 m²).
- Section 340-16(B)**
The maximum permitted setback for eaves is 0.4 m.
The eaves of the new dwelling will be located 0.32 m from both the east and west side lot lines.
- Section 10.80.40.50.(1)(B), By-law 569-2016**
The maximum permitted area of a platform at or above the second storey is 4 m².
The proposed platform at or above the second storey will be 7.5 m².
- Section 340-31.(A)(4)**
A minimum of 6 m of access shall be provided in front of the parking space.
A total of 4.66 m will be provided in front of the parking space.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or destroy privately owned trees.
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
3. The applicant is to provide permanent opaque screening or fencing along the eastern edge of the proposed rear platform, located on the loft level, with a minimum height of 1.5 metres from the floor of the platform, to the satisfaction of the Director, Community Planning, Etobicoke York District.
4. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 4.1 The site plan must be revised to illustrate the proposed new driveway and curb cut within the abutting Albani Street municipal boulevard, the removal of the redundant portions of the existing driveway and restoration of the redundant curb cut with raised concrete curb in accordance to City of Toronto Design Standard No. T-310.050-1 and T-310.010-4.
 - 4.2 The site plan must be revised to include a notation on the drawing stating: "The proposed new driveway shall be constructed to the applicable City of Toronto Design Standard(s)";
 - 4.3 The site plan must be revised to include a notation on the drawing stating: "The applicant must provide a Municipal Road Damage Deposit (MRDD) for the proposed driveway construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at 416-338-1045 in this regard;
 - 4.4 The site plan must be revised to include a notation on the drawing stating: "The applicant must obtain all required permits for work within the public road allowance from the Right-of-Way Management Section of Transportation Services";

SIGNATURE PAGE

File Number:	A0265/17EYK	Zoning	RM & R2
Owner:	CATALINA MARIA FIERRO DAVID AARON AYRES	Ward:	Etobicoke-Lakeshore (06)
Agent:	SANDRA SISERA	Heritage:	Not Applicable
Property Address:	47 ALBANI ST	Community:	
Legal Description:	PLAN M76 PT LOT 499		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0153/17EYK	Zoning	E & IC2
Owner(s):	515476 ONTARIO LIMITED	Ward:	Etobicoke North (02)
Agent:	ROD ADAMS	Heritage:	Not Applicable
Property Address:	15 BETHRIDGE RD	Community:	

Legal Description: CON 1 FTH PT LOTS 25 & 26

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit a waste recycling/recovery operation in conjunction with the existing construction related business.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 320-24.3.A.(2)**
The proposed Waste Recycling/Recovery Operation is not a permitted use in an IC3 zone.
- 2. Section 60.20.20.100.(8)(A)(i) and (ii), By-law 569-2013**
A recovery facility is conditionally permitted so long as it does not include the recovery of asphalt and concrete.
The proposed Waste Recycling/Recovery Operation will include the recovery of asphalt and concrete, it is therefore not a permitted use.
- 3. Section 60.20.20.100.(8)(C), By-law 569-2013**
The Waste Recycling/Recovery Operation is a permitted use provided the separating or sorting of materials are within a wholly enclosed building.
The proposed Waste Recycling/Recovery Operation will separate and sort materials in a Quonset hut which is not an enclosed building.
- 4. Section 320-24.3.D.**
A building used or maintained as a waste disposal/recycling facility shall have no other permitted uses within the same building or structure and the building or structure shall be fully enclosed.
The proposed Waste Recycling/Recovery Operation will operate within a Quonset hut which is not an enclosed building.

5. Section 320-24.3.E.

No outside storage, including storage in parked trucks or enclosed containers are permitted. The proposed Waste Recycling/Recovery Operation will have outside storage of materials in open block bunkers located on the east side of the property.

6. Section 320-24.3.F.

Yards abutting a street where trucks manoeuvre, weigh-in, load/unload and where waste and/or recycled materials are handled shall be enclosed by a two-and-four-tenths metre high solid metal, wood or masonry fence. If constructed of wood or metal, the fence is to be painted and maintained. The existing fence, which does not comply with the height and material requirements of the by-law, is to be maintained.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The existing waste recycling/recovery use be permitted for a period of six years, expiring May 25, 2023, and subject to the use receiving the applicable environmental approvals from the Ministry of the Environment and Climate Change, to the satisfaction of the Director, Community Planning, Etobicoke York District.

SIGNATURE PAGE

File Number:	A0153/17EYK	Zoning	E & IC2
Owner:	515476 ONTARIO LIMITED	Ward:	Etobicoke North (02)
Agent:	ROD ADAMS	Heritage:	Not Applicable
Property Address:	15 BETHRIDGE RD	Community:	
Legal Description:	CON 1 FTH PT LOTS 25 & 26		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0203/17EYK	Zoning	RD & R2
Owner(s):	SASHA SOLUNAC	Ward:	Etobicoke-Lakeshore (05)
Agent:	JERZY RABIANSKI	Heritage:	Not Applicable
Property Address:	18 DARLINGTON DR	Community:	

Legal Description: PLAN 4693 LOT 13

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling and to construct a new attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.50 (1)(A), By-law 569-2013 & Section 320-42.1.A.(1)**
The maximum permitted floor space index is 0.45 times the lot area (221.74 m²).
The altered dwelling will have a floor space index of 0.53 times the lot area (263.28 m²).
- Section 320-42.1.C.(2)**
The minimum required aggregate side yard setback is 3.17 m.
The altered dwelling will have an aggregate side yard setback of 2.45 m.
- Section 10.20.40.10.(4)(A), By-law 569-2013**
The maximum permitted flat roof height is 7.2 m.
Section 320-42.1.B.(2)
The maximum permitted flat roof height is 6.5 m.
Section 10.20.40.10.(4)(A), By-law 569-2013 & Section 320-42.1.B.(2)
The altered dwelling will have a height of 7.82 m.
- Section 10.20.40.10.(6), By-law 549-2013**
The maximum permitted height of the first floor above established garage is 1.2 m.
The altered dwelling will have a first floor height of 1.48 m, above established grade.
- Section 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above the second storey is 4 m².
The proposed second storey front platform will have an area 6.7 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0203/17EYK	Zoning	RD & R2
Owner:	SASHA SOLUNAC	Ward:	Etobicoke-Lakeshore (05)
Agent:	JERZY RABIANSKI	Heritage:	Not Applicable
Property Address:	18 DARLINGTON DR	Community:	
Legal Description:	PLAN 4693 LOT 13		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0224/17EYK	Zoning	RD & R2
Owner(s):	MOHAMMAD ARABSALMANY	Ward:	Etobicoke-Lakeshore (05)
Agent:	ELMIRA ZARRABI	Heritage:	Not Applicable
Property Address:	32 SUNNYLEA AVE E	Community:	

Legal Description: PLAN 1978 PT LOTS 18 AND 19 RANGE 2 PT LOT 5

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 & Section 320-59(C)**
The maximum permitted lot coverage is 33% of the lot area (165.8 m²)
The proposed dwelling will have a lot coverage of 34% of the lot area (170.2 m²).
- Section 900.3.10(42)(A)(1), By-law 569-2013 & Section (1)(a), By-law 1993-109**
The maximum permitted gross floor area is 118 m² plus 25% of the lot area (243.5 m²).
The proposed dwelling will have a gross floor area of 118 m² plus 47% of the lot area (351.4 m²).
- Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
The proposed dwelling will be located 0.91 m from the west side lot line.
- Section 10.20.40.10.(1)(A), By-law 569-2013 & Section 320-42.1(B)(1)**
The maximum permitted dwelling height is 9.5 m.
The proposed dwelling will have a height of 10.01 m.
- Section 10.20.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7 m.
The proposed dwelling will have a front exterior main wall height of 7.6 m.
- Section 320-42.1(B)(2)**
The maximum permitted soffit height is 6.5 m.
The proposed dwelling will have a soffit height of 7.5 m.

7. Section 200.5.1.10(2)(A), By-law 569-2013 & Section 320-18(A)

The minimum required width of a parking space is 3.2 m.

The proposed parking space within the proposed garage will have a width of 3 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
2. The site plan must include the following notations, to the satisfaction of Traffic Planning / Right of Way Management:
 - a. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - b. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services";

SIGNATURE PAGE

File Number:	A0224/17EYK	Zoning	RD & R2
Owner:	MOHAMMAD ARABSALMANY	Ward:	Etobicoke-Lakeshore (05)
Agent:	ELMIRA ZARRABI	Heritage:	Not Applicable
Property Address:	32 SUNNYLEA AVE E	Community:	
Legal Description:	PLAN 1978 PT LOTS 18 AND 19 RANGE 2 PT LOT 5		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0246/17EYK	Zoning	RD & R2
Owner(s):	MALGORZATA STARSKY ROMAN STARSKI-HANUSEK	Ward:	Etobicoke Centre (04)
Agent:	ROMAN STARSKI-HANUSEK	Heritage:	Not Applicable
Property Address:	14 HOBDEN PL	Community:	

Legal Description: PLAN 5737 LOT 90

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey front addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.70.(1), By-law 569-2013 & Section 320-40(3)**
The minimum required front yard setback is 8.05 m.
The altered dwelling will be located 6.24 m from the front lot line.
- Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The altered dwelling will have a length of 18.85 m.
- Section 10.5.50.10.(1)(B), By-law 569-2013**
A minimum of 50% of the front yard shall be maintained as landscaping (67.8 m²).
A total of 48.2% of the front yard will be maintained as landscaping (65.4 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The proposal shall be constructed substantially in accordance with the site plan drawing and elevations submitted and held on file by the Committee of Adjustment office and date stamped as received on March 14, 2017, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0246/17EYK	Zoning	RD & R2
Owner:	MALGORZATA STARSKY ROMAN STARSKI-HANUSEK	Ward:	Etobicoke Centre (04)
Agent:	ROMAN STARSKI-HANUSEK	Heritage:	Not Applicable
Property Address:	14 HOBDEN PL	Community:	
Legal Description:	PLAN 5737 LOT 90		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

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Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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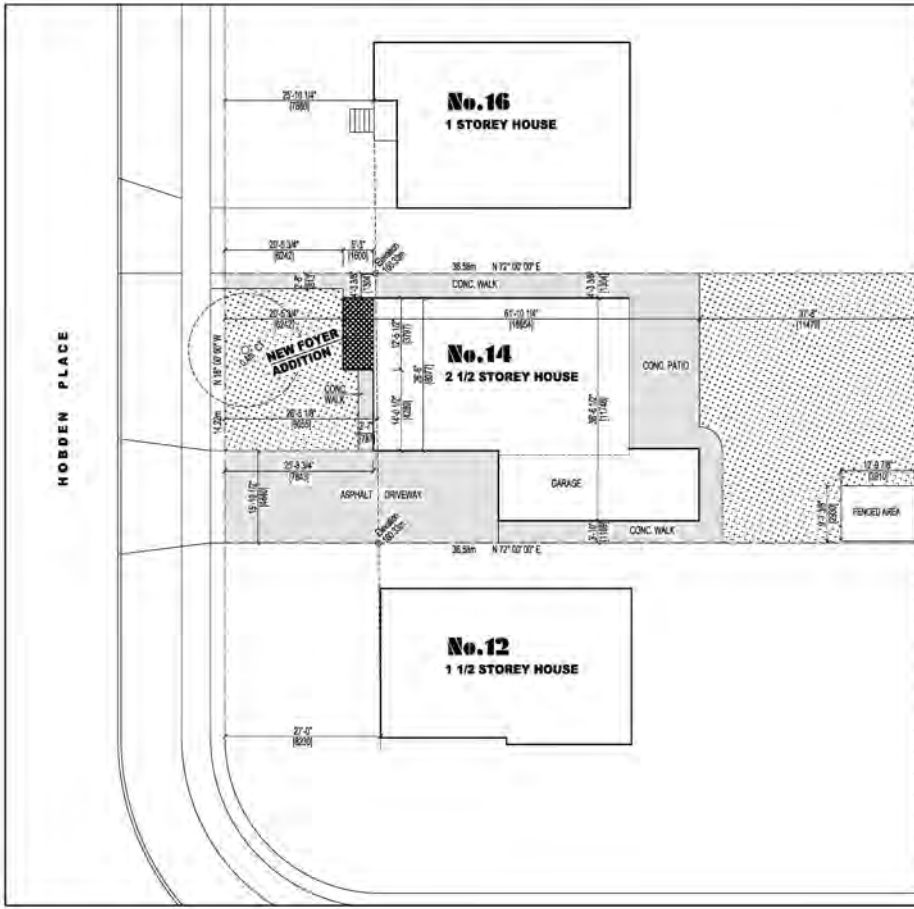
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SURVEY INFORMATION
 SURVEY INFORMATION SHOWN HERE WAS TAKEN FROM
 PLAN of LOT 96, REGISTERED PLAN 5737 CITY OF TORONTO
 AS PREPARED BY GTA SURVEYING INC. ON APRIL 5, 2016.

SCOPE OF WORK
 PROVIDE A NEW ENTRANCE FOYER AND CLOSET BY
 ENCLOSING THE EXISTING 'OPEN-SIDED' ROOFED PORCH.
 PROVIDE NEW WINDOW ON NORTH ELEVATION.

LOT DESCRIPTION
 ZONING RD 113.5 w 510 0.045
 AREA 500.17 m² = 5699 sf
 FRONTAGE 14.22 m = 46.65 ft
 DEPTH 36.58 m = 120.00 ft

ZONING COMPLIANCE

ITEM	PERMITTED	PROPOSED
FRONT YARD SETBACK (AVER.)	8.05m MIN.	5.24m
NORTH SIDE YARD SETBACK	0.3m MIN.	1.30m
HEIGHT OF ADDITION	9.5m MAX.	6.05m
1ST FLOOR HEIGHT	1.2m MAX.	4.32m
BUILDING LENGTH	17m MAX.	16.88m
FLOOR AREA	45% MAX.	34%
LOT COVERAGE	45% MAX.	30%
FRONT HARD LANDSCAPING	50% MAX.	52%
FRONT SOFT LANDSCAPING	75% MAX.	87%

LANDSCAPING CALCULATION

FRONT YARD AREA	= 1113 sf = 103.40 sm
MINUS DRIVEWAY	= 402 sf = 37.35 sm
FRONT YARD LANDSCAPING	= 704 sf = 65.41 sm
FRONT HARD LANDSCAPING	= 51 sf = 4.74 sm
FRONT SOFT LANDSCAPING	= 515 sf = 47.87 sm

AREA CALCULATIONS

LOT AREA	= 5387 sf = 500.17 sm
2ND FLOOR AREA	= 648 sf = 60.30 sm
1ST FLOOR AREA	= 1256 sf = 117.00 sm
TOTAL FLOOR AREA	= 1904 sf = 177.30 sm
LOT COVERAGE	= 1865 sf = 173.80 sm

DON BIELESCH
 A. S. C. M. P. E. C. T.
 77 DUNDAS ST. W. SUITE 200
 TORONTO, ONTARIO M5G 1C6
 TEL: 416-593-1111
 FAX: 416-593-1112
 EMAIL: don@donbielesch.com



The Architect does not assume the
 architect's responsibility for the
 work shown on this drawing. The
 architect's liability is limited to the
 scope of the contract. The architect
 does not warrant the accuracy of the
 information shown on this drawing.
 The architect's liability is limited to
 the scope of the contract.



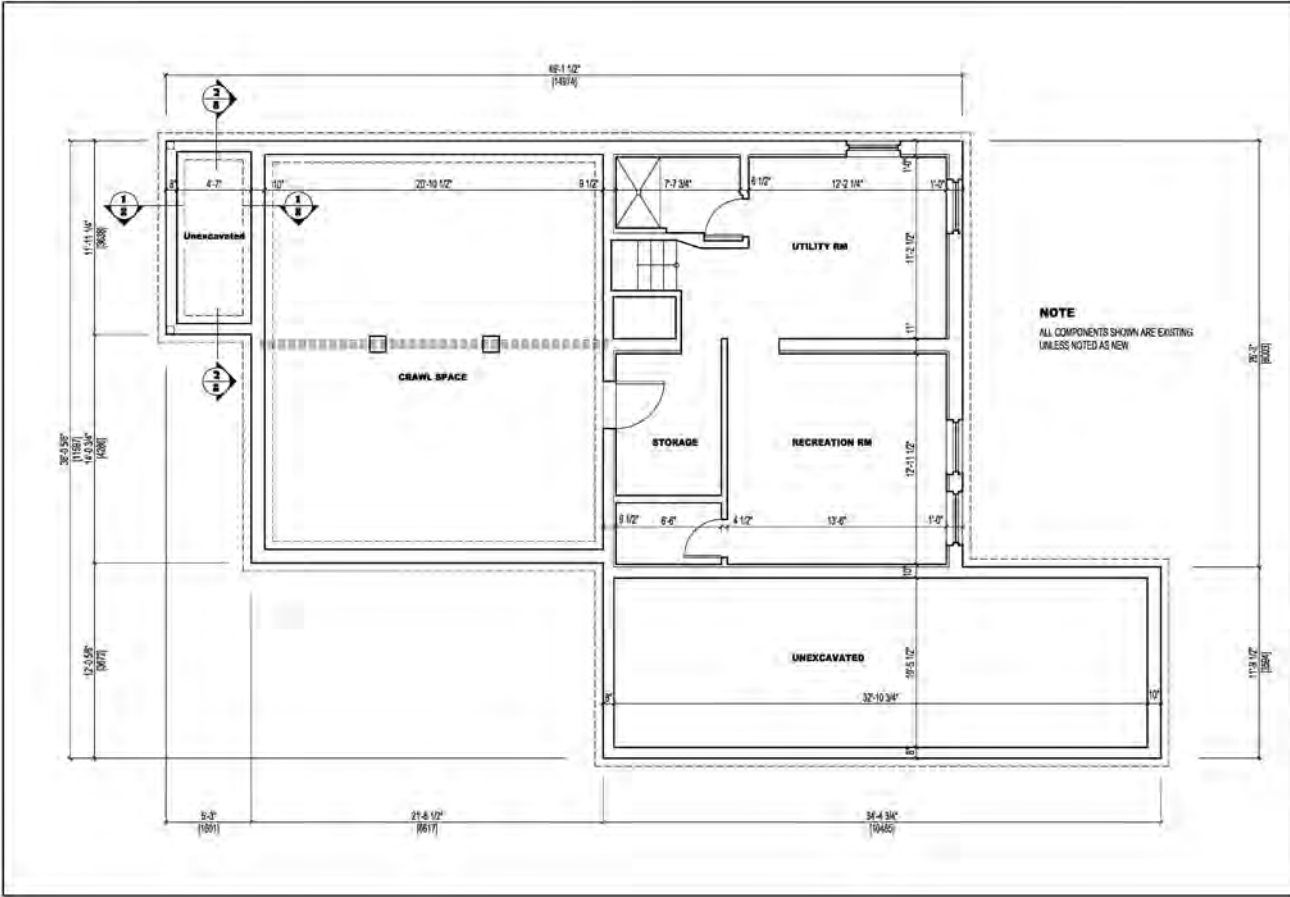
NOTE:
 OBC DATA MATRIX
 IS SHOWN ON DRAWING

**FOYER ADDITION
 at
 14 Hobden Place**

SITE PLAN

DATE: OCT 25/16
 SCALE: 3/16" = 1'-0"

1



NOTE
ALL COMPONENTS SHOWN ARE EXISTING
UNLESS NOTED AS NEW

BOB GIBLSON
ARCHITECT
17 HARBOR LA. AVE. SUITE 200
DUBLIN, CALIF. 94568
PHONE: 925-831-1234
FAX: 925-831-1235
WWW: www.gibson.com



The Architect shall remain the licensed responsible parties with respect to design activities. The Architect's seal and signature is required for all drawings. The Architect shall check all work in accordance with the applicable Building Code and all other applicable laws and regulations. The Architect shall not be responsible for any construction or other activities not shown on these drawings.

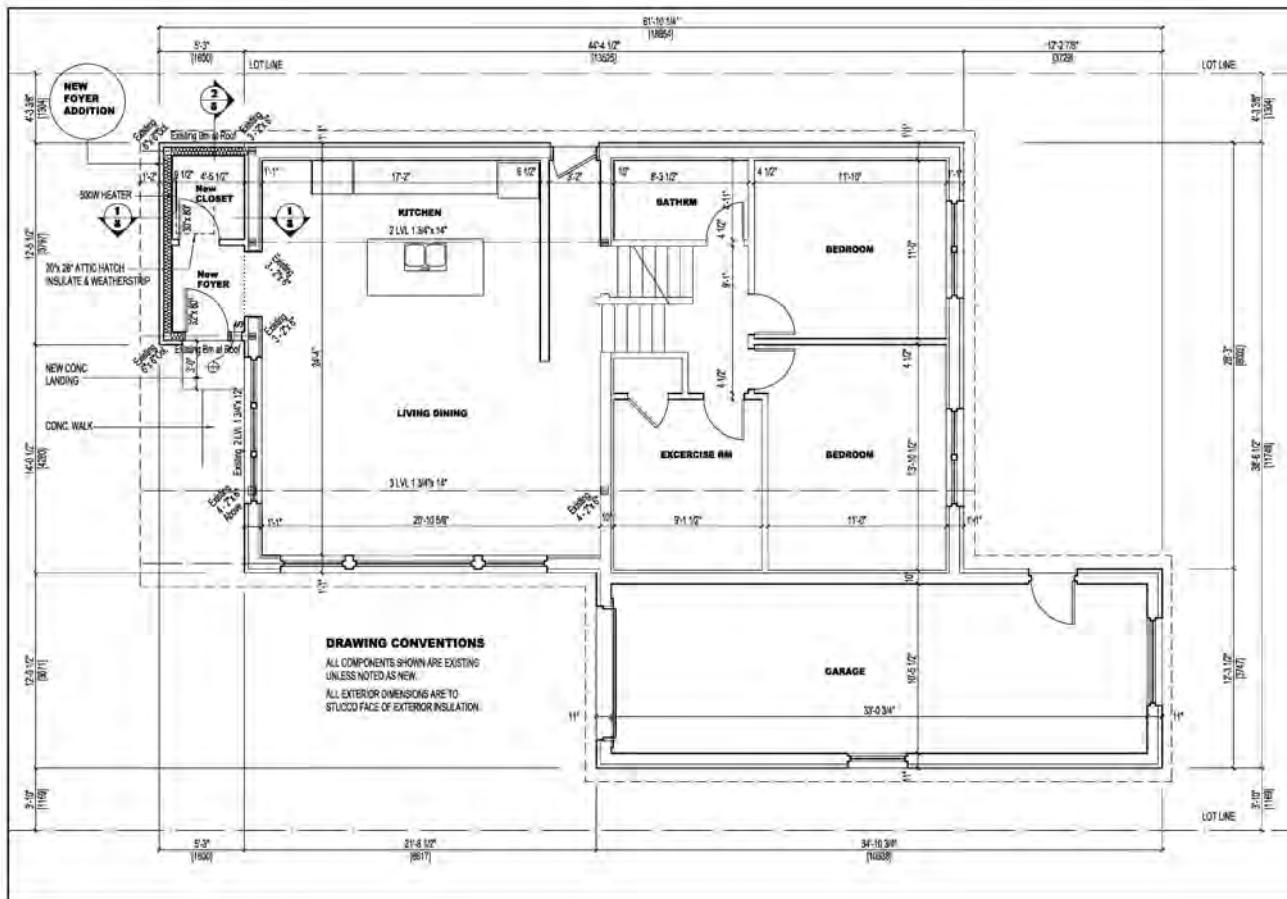


**NEW FOYER
ADDITION
at
14 Holden Place**

BASEMENT PLAN

DATE: OCT 2016
SCALE: 3/16" = 1'-0"

1



DRAWING CONVENTIONS
 ALL COMPONENTS SHOWN ARE EXISTING
 UNLESS NOTED AS NEW.
 ALL EXTERIOR DIMENSIONS ARE TO
 STUCCO FACE OF EXTERIOR INSULATION.

RON GIBLESCH
 ARCHITECT
 7 HANOVER AVE. SUITE 200
 CHICAGO, ILLINOIS 60611
 (773) 462-1000
 www.rongiblesch.com

CHICAGO ASSOCIATION
 OF ARCHITECTS
 MEMBER SINCE 1982

The Architect shall retain the
 complete, responsible control
 of all project files and drawings.
 The architect's seal is required
 for all drawings. The architect
 shall not be held responsible for
 any errors or omissions on the
 drawings unless they are
 specifically noted as such.



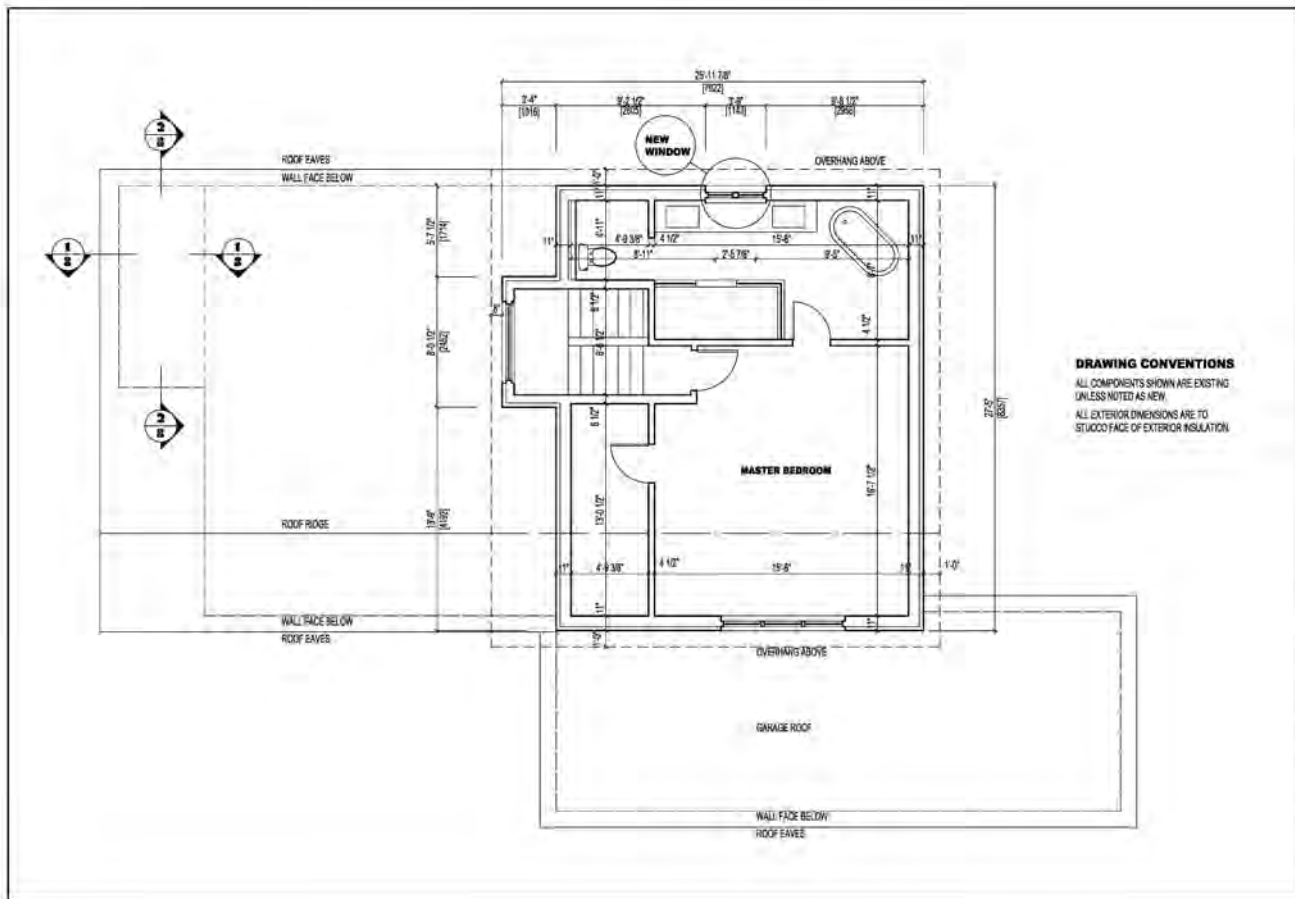
LOT COVERAGE
 1665 SF = 154 BM
1ST FLOOR AREA
 1250 SF = 117 BM

**NEW FOYER
 ADDITION**
 at
 14 Holden Place

1ST FLOOR PLAN

DATE: OCT 2016
 SCALE: 3/8" = 1'-0"

3



DRAWING CONVENTIONS
 ALL COMPONENTS SHOWN ARE EXISTING
 UNLESS NOTED AS NEW
 ALL EXTERIOR DIMENSIONS ARE TO
 STUCCO FACE OF EXTERIOR INSULATION

BOB GIBLSON
 ARCHITECT
 7 HARBOR LA. AVE. SUITE 200
 ROCKLEDGE, CALIFORNIA 94966
 PHONE: 415-461-1234
 FAX: 415-461-1235
 WWW: www.gibson.com



The Architect shall remain the conceptual, responsible architect of all aspects of design activities. The architect's seal number is for Project 1928 as required under the State Seal Statute. Contractors shall check the seal number and project any discrepancies prior to proceeding with construction.



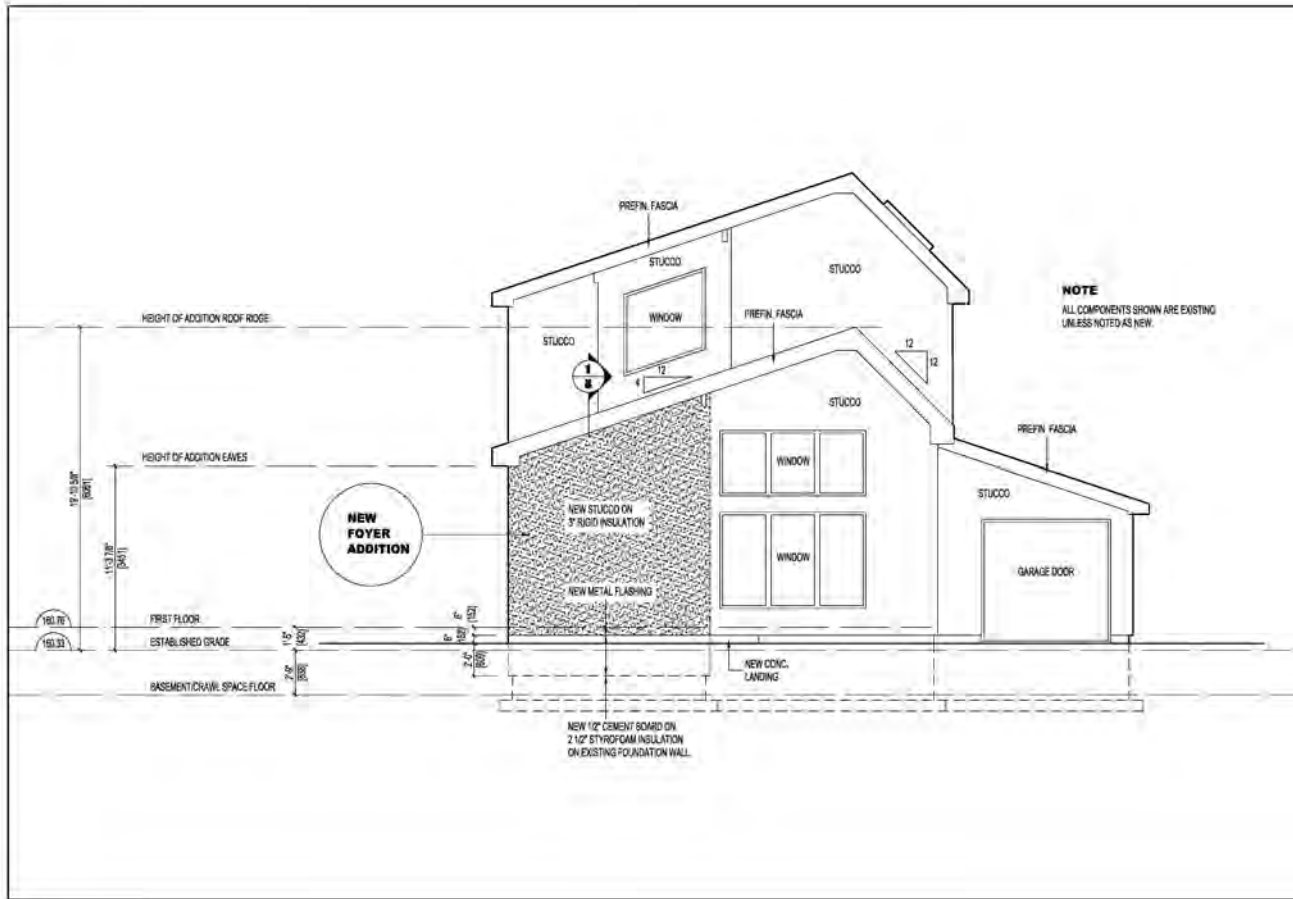
2ND FLOOR AREA
 848 SF ± 60 SM

NEW FOYER ADDITION
 at
 14 Holden Place

2ND FLOOR PLAN

DATE: OCT 2016
 SCALE: 3/16" = 1'-0"





BOB BIRLESCH
 ARCHITECT
 7 HAMBURG AVE. SUITE 208
 ROCKLEDGE LAKE, IL 60087
 PHONE: 630-467-1234
 FAX: 630-467-1234



No. 011-011-011
 ARCHITECT
 BOB BIRLESCH
 1984

NOTE
 ALL COMPONENTS SHOWN ARE EXISTING
 UNLESS NOTED AS NEW.

**NEW FOYER
 ADDITION**
 at
 14 Hobden Place

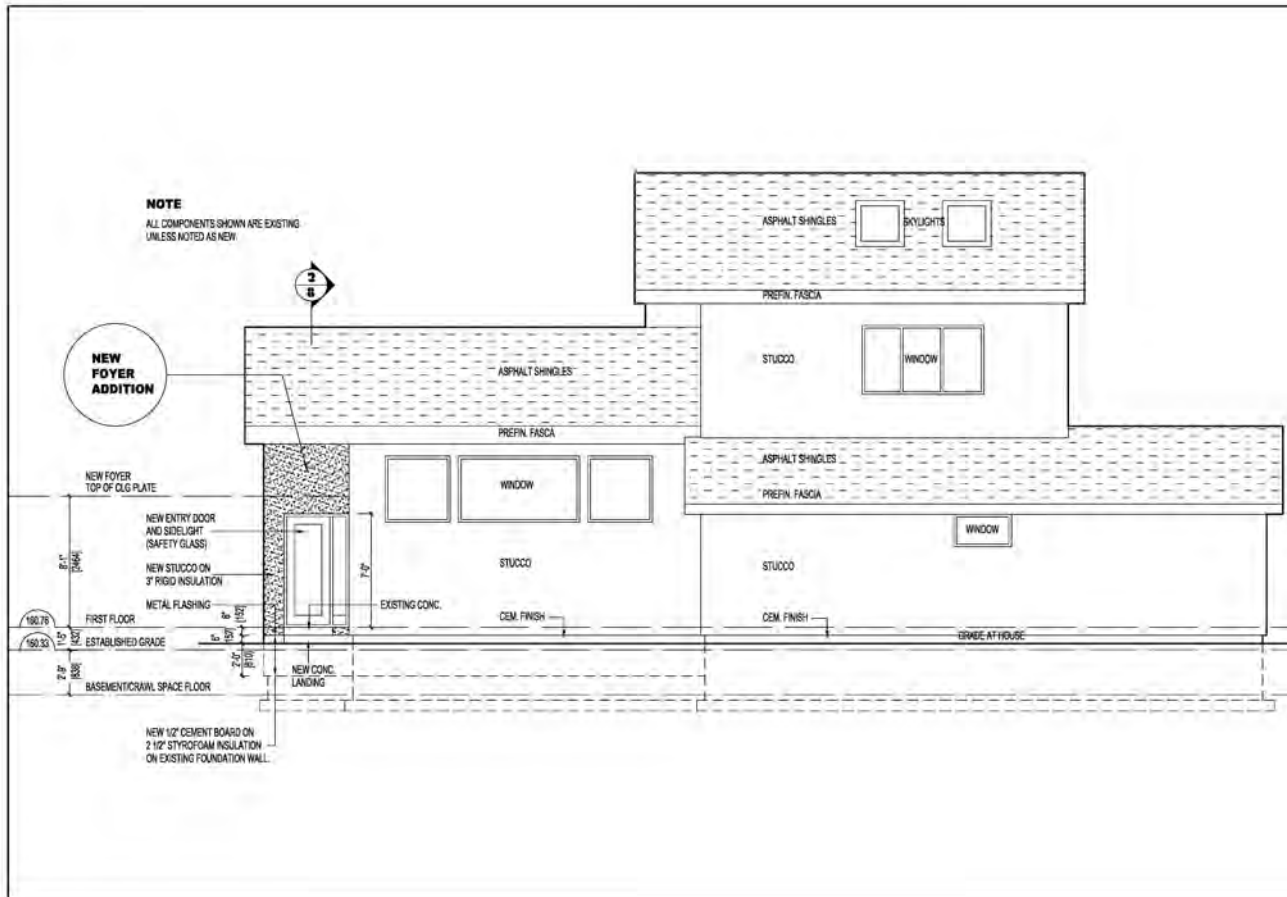
**FRONT
 ELEVATION**

DATE: OCT 25/16
 SCALE: 3/16" = 1'-0"

5

NOTE
ALL COMPONENTS SHOWN ARE EXISTING
UNLESS NOTED AS NEW

NEW FOYER ADDITION



DOH HIRLESCH
ARCHITECTS
71 HOLDEN PLACE, SUITE 200
SCARBOROUGH, ONTARIO M1H 2C9
PHONE: (416) 491-1234
FAX: (416) 491-1235
WWW.DOHARCHITECTS.COM



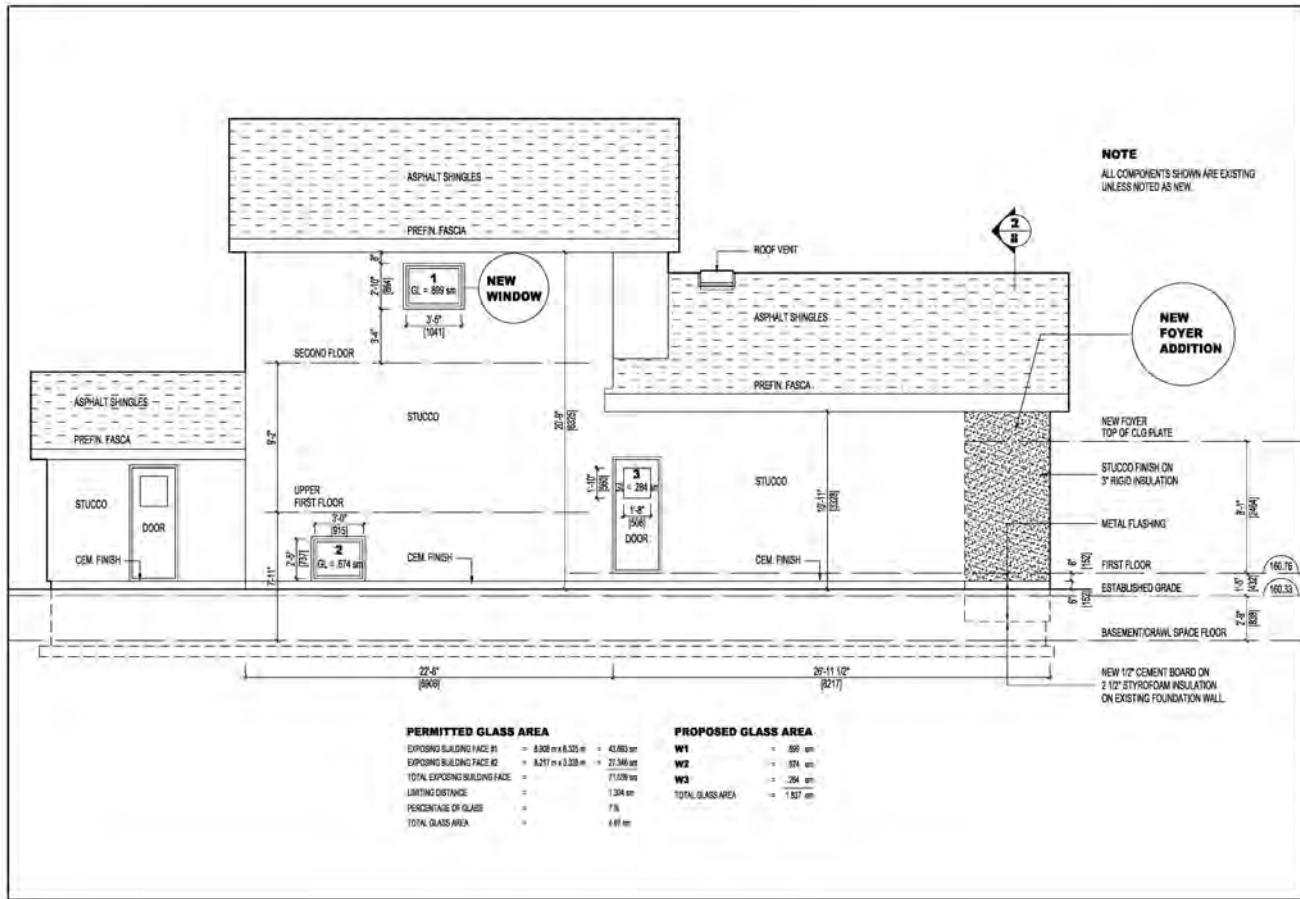
The Architect shall remain his
contractual, professional, civil and
criminal responsibility for the
design and construction of the
work. The Architect's seal number is
104 10412. The O.A.A. is required
under the Building Code Regulation.
Seal: Contractors will check
the seal of the Architect and
accept any discrepancies prior
to proceeding with construction.

**NEW FOYER
ADDITION**
at
14 Holden Place

**SOUTH
ELEVATION**

DATE: OCT 25/16
SCALE: 3/16" = 1'-0"





NOTE
ALL COMPONENTS SHOWN ARE EXISTING UNLESS NOTED AS NEW.

BOB BIRLESCH
ARCHITECT
27 HARBORVIEW AVE. SUITE 200
ROCKVILLE, MD 20850
PHONE: 301-461-1228
FAX: 301-461-1229



The Architect shall remain the overall responsible control of all aspects of design activities. The Architect's seal number is for Article 1-902B as required under the Building Code Regulatory System. Contractors shall check the seal of the Architect and report any discrepancies prior to proceeding with construction.

PERMITTED GLASS AREA

EXPOSING BUILDING FACE #1	=	8308 m x 0.325 m	=	43,880 sqm
EXPOSING BUILDING FACE #2	=	8217 m x 0.328 m	=	27,346 sqm
TOTAL EXPOSING BUILDING FACE	=		=	71,226 sqm
LIMITING DISTANCE	=		=	1.304 m
PERCENTAGE OF GLASS	=		=	7%
TOTAL GLASS AREA	=		=	4.69 m

PROPOSED GLASS AREA

W1	=	859 sqm
W2	=	574 sqm
W3	=	264 sqm
TOTAL GLASS AREA	=	1,527 sqm

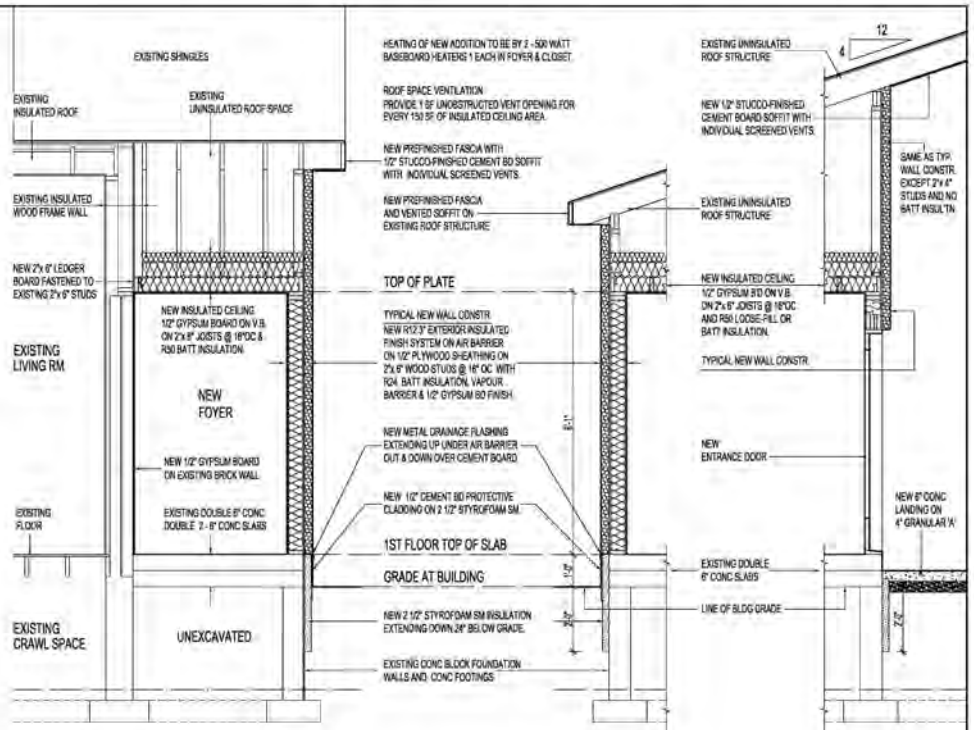
NEW FOYER ADDITION
at
14 Holden Place

NORTH ELEVATION

DATE: OCT 25/16
SCALE: 3/16" = 1'-0"

ONTARIO BUILDING CODE DATA MATRIX

1. PROJECT DESCRIPTION	NEW FOYER ADDITION	1.1.2 (A) & 9.10.1.3
2. MAJOR OCCUPANCY	GROUP C	9.10.2
3. BUILDING AREA	1,885 SF = 195 SM	1.4.1.2 (A)
4. GROSS FLOOR AREA	1,924 SF = 177 SM	1.4.1.2 (A)
5. NUMBER OF STOREYS	Above Grade 2/12	1.4.1.2 (A)
6. NUMBER OF STREETS	ONE	9.10.20
7. BUILDING CLASSIFICATION	GROUP C, UP TO 3 STOREYS	9.10.2
8. SPRINKLER SYSTEM	NA	9.10.6
9. STANDPIPE REQUIRED	NA	NA
10. FIRE ALARM	NA	9.10.10
11. WATER SERVICE ADEQUATE	NA	NA
12. HIGH BUILDING	NO	NA
13. PERMITTED CONSTRUCTION	COMBUSTIBLE	9.10.6
PROPOSED CONSTRUCTION	COMBUSTIBLE	
14. MEZZANINE AREA	NA	NA
15. OCCUPANT LOAD	5	9.9.1.3
16. BARRIER-FREE DESIGN	NO	9.5.2
17. HAZARDOUS SUBSTANCES	NO	9.10.1.3(A)
18. REQUIRED FLOOR FIRE RATING	3 HR	NA
REQUIRED ROOF FIRE RATING	3 HR	NA
REQUIRED MEZZ FIRE RATING	NA	NA
REQUIRED COLUMN FIRE RATING	NA	NA



DON BIELESCH
ARCHITECT
 77 DAVENPORT AVE. SUITE 2008
 TORONTO, ONTARIO M4M 1G4
 PHONE: 416-461-1234
 FAX: 416-461-4700
 E-MAIL: don@donbielesch.com



The Architect noted herein has exercised responsible control with respect to design activities. The Architect's seal and number is the Architect's BCDA as required under the Building Code Designer System. The Contractor shall verify all dimensions and report any discrepancies to the Architect.

FOYER ADDITION at 14 HOBDEN PLACE

OBC DATA MATRIX and WALL SECTIONS
 SCALE: 3/8" = 1'-0" DATE: OCT 25/19



Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0259/17EYK	Zoning	RD & R3
Owner(s):	NAVNEET KAUR THANDI DEVINDER SINGH THANDI	Ward:	Etobicoke North (01)
Agent:	VIVEK GUPTA	Heritage:	Not Applicable
Property Address:	6 COLLANUS CRT	Community:	

Legal Description: PLAN M1998 LOT 66

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a basement entrance through the garage, which will result in reduced garage dimensions.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**Section 200.5.1.10.(2)(A)(i), By-law 569-2013 and Section 320-18(A)(1) & By-law 1978-184**

The minimum required length of a parking space is 5.6 m.

The proposed length of the parking space within the altered garage is 4.98 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:

1. The length of the existing driveway measured from the property line to the front of the garage shall be indicated on the revised site plan;
2. The site plan must be revised to include a notation on the drawing stating: "The proposed new driveway shall be constructed to the applicable City of Toronto Design Standard(s)";
3. The site plan must be revised to include a notation on the drawing stating: "The applicant must provide a Municipal Road Damage Deposit (MRDD) for the proposed driveway construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at 416-338-1045 in this regard;
4. The site plan must be revised to include a notation on the drawing stating: "The applicant must obtain all required permits for work within the public road allowance from the Right-of-Way Management Section of Transportation Services";

SIGNATURE PAGE

File Number:	A0259/17EYK	Zoning	RD & R3
Owner:	NAVNEET KAUR THANDI DEVINDER SINGH THANDI	Ward:	Etobicoke North (01)
Agent:	VIVEK GUPTA	Heritage:	Not Applicable
Property Address:	6 COLLANUS CRT	Community:	
Legal Description:	PLAN M1998 LOT 66		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0267/17EYK	Zoning	RD & R2
Owner(s):	AFROOZ KIAMARZ-MILANI BEHZAD AZIZI	Ward:	Etobicoke-Lakeshore (05)
Agent:	BEHZAD AZIZI	Heritage:	Not Applicable
Property Address:	16 LEAMINGTON AVE	Community:	

Legal Description: PLAN 4320 LOT 30

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey front addition which will include an attached garage, the existing attached garage will be converted into habitable space.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 & Section 320-59.C.**
The maximum permitted lot coverage is 33% of the lot area (168.63 m²).
Section 10.20.30.40.(1)(A), By-law 569-2013
The altered dwelling will have a lot coverage of 33.47% of the lot area (171.04 m²).
Section 320-59.C.
The altered dwelling will have a lot coverage of 34.13% of the lot area (174.42 m²).
- Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 320-42.1.A.(1)**
The maximum permitted floor space index is 0.45 times the lot area (229.95 m²).
The altered dwelling will have a floor space index of 0.61 times the lot area (313.87 m²).
- Section 320-42.1.B.(2)**
The maximum permitted soffit height is 6.5 m.
The altered dwelling will have a soffit height of 6.99 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.

SIGNATURE PAGE

File Number:	A0267/17EYK	Zoning	RD & R2
Owner:	AFROOZ KIAMARZ-MILANI BEHZAD AZIZI	Ward:	Etobicoke-Lakeshore (05)
Agent:	BEHZAD AZIZI	Heritage:	Not Applicable
Property Address:	16 LEAMINGTON AVE	Community:	
Legal Description:	PLAN 4320 LOT 30		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

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Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0272/17EYK	Zoning	RM& R2
Owner(s):	1965111 ONTARIO LIMITED 1965111 ONTARIO LIMITED	Ward:	Etobicoke-Lakeshore (06)
Agent:	AJT DESIGN	Heritage:	Not Applicable
Property Address:	76 SUPERIOR AVE	Community:	

Legal Description: PLAN M77 PT LOT 185

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the dwelling by constructing: second and third storey additions, a rear addition, a new north side attached garage, a front porch and a rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.40.40.(1)(A), By-law 569-2013 and Section 340-30.(L)**
The maximum permitted floor space index is 0.6 times the area of the lot (159.89 m²).
The altered dwelling will have a floor space index equal to 0.96 times the area of the lot (254.88 m²).
- Section 10.5.40.70.(1)(B), By-law 569-2013 and Section 340-30.N**
The minimum required front yard setback is 3.93 m.
The altered dwelling will be located 3.83 m from the front lot line.
- Section 900.6.10.(22)(D), By-law 569-2013 and Section 340-30.(A)(4)**
The minimum required side yard setback is 0.9 m.
The altered dwelling will be located 0.25 m from the north side lot line and 0.56 m from the south side lot line.

4. **Section 10.5.40.60.(7)(B), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m.
Section 340-16.(B)
The minimum required side yard setback for eaves is 0.4 m.
Section 10.5.40.60.(7), By-law 569-2013 and Section 340-16.(B)
The eaves of the altered dwelling will be located 0.03 m from the north side lot line and 0.27 m from the south side lot line.
5. **Section 900.6.10.(22)(C), By-law 569-2013 and Section 340-30.(A)(7)**
The maximum permitted dwelling height is 9.5 m.
The altered dwelling will have a height of 9.77 m.
6. **Section 10.80.40.10.(2)(A), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7 m.
The altered dwelling will have a front exterior main wall height of 9.47 m.
7. **Section 200.5.1.10.(2)(A)(iv), By-law 569-2013 & Section 340-31.A.(1)(c)**
The minimum required parking space width is 3.2 m.
The proposed parking space within the attached garage will have a width of 3 m.
8. **Section 200.5.1(3)(A), By-law 569-2013 and 340-31.A.(4)**
The minimum required driveway width from the lot line to the garage is 6 m.
The proposed driveway width from the lot line to the garage is 3.83 m.
9. **Section 10.5.100.1.(1)(C)(iii), By-law 569-2013**
The maximum permitted driveway width of a single parking space behind the front main walls is 3 m.
The driveway will have a width of 3.46 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

2. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 2.1 Illustrate the proposed driveway for the proposed integral garage to a maximum of 3.0m wide, as measured from the Superior Avenue right-of-way limit;
 - 2.2 The applicant is required to illustrate the proposed resurfacing on the new driveway that will maintain a positive slope of 2% to 4% within the Superior Avenue municipal boulevard;
 - 2.3 Redesign the proposed pedestrian walkway orientation that connects to a proposed 3.0m wide driveway, instead of connecting to the curb line of Superior Avenue;
 - 2.4 Illustrate the redundant portion of the existing unused driveway and depressed curb that as being removed will be restored with sod and poured raised concrete curb according to City of Toronto Design Standard No. T-600.11-1;
 - 2.5 Illustrate the existing unused walkway connection that as being removed within the Superior Avenue municipal boulevard will be restored with sod;
 - 2.6 Illustrate the following notations on a revised site plan:
 - a. "The applicant must obtain all required permits from the City's Right-of-Way Management Section of Transportation Services before excavating and encroaching into the municipal road allowance;" and
 - b. "The applicant shall provide a Municipal Road Damage Deposit (MRDD) prior to obtaining a Building Permit." The applicant is advised to contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at (416) 338-1045 regarding municipal road damage deposit requirements.
3. The proposal shall be constructed substantially in accordance with the building envelope shown on the site plan (AS) date stamped April 27, 2017 and held on file by the Committee of Adjustment office. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0272/17EYK	Zoning	RM& R2
Owner:	1965111 ONTARIO LIMITED 1965111 ONTARIO LIMITED	Ward:	Etobicoke-Lakeshore (06)
Agent:	AJT DESIGN	Heritage:	Not Applicable
Property Address:	76 SUPERIOR AVE	Community:	
Legal Description:	PLAN M77 PT LOT 185		

Michael Clark (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, May 4, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0273/17EYK	Zoning	RD & R2
Owner(s):	DUJE BOBETA	Ward:	Etobicoke-Lakeshore (05)
Agent:	SRECKO BOBETA	Heritage:	Not Applicable
Property Address:	23 BIRCHVIEW BLVD	Community:	

Legal Description: PLAN 2412 E PT LOT 34 W PT LOT 35

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10.(38)(A), By-law 569-2013**
The maximum permitted gross floor area is 0.5 times the lot area (221.2 m²).
The altered dwelling will have a gross floor area of 0.52 times the lot area (231.3 m²).
- Section 320-42.1(C)(1)**
The minimum required aggregate side yard setback is 2.1 m.
The aggregate side yard setback of the altered dwelling will be 1.84 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

SIGNATURE PAGE

File Number:	A0273/17EYK	Zoning	RD & R2
Owner:	DUJE BOBETA	Ward:	Etobicoke-Lakeshore (05)
Agent:	SRECKO BOBETA	Heritage:	Not Applicable
Property Address:	23 BIRCHVIEW BLVD	Community:	
Legal Description:	PLAN 2412 E PT LOT 34 W PT LOT 35		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, May 4, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0297/17EYK	Zoning	RD & R2
Owner(s):	LUCIA FARAONE CARLO FARAONE	Ward:	Etobicoke Centre (04)
Agent:	CULMONE AND ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	10 ROBINHOOD RD	Community:	

Legal Description: PLAN 4114 LOT 11

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 & Section 320-59(C)**
The maximum permitted lot coverage is 33% of the lot area (152.9 m²).
The new dwelling will have a lot coverage of 43.73% of the lot area (202.64 m²).
- Section 900.3.10(28)(C), By-law 569-2013 & Section 1.(b)(1), By-law 1992-24**
The maximum permitted gross floor area is 0.5 times the lot area (231.7 m²).
The new dwelling will have a gross floor area of 0.75 times the lot area (346.4 m²).
- Section 10.20.40.70.(6)(B), By-law 569-2013**
The minimum required side yard setback is 3 m for a corner lot where there is an adjacent lot fronting on the street abutting the side lot line.
Section 320-41.B
The minimum required side yard setback abutting a street is 3 m.
Section 10.20.40.70.(6)(B), By-law 569-2013 & Section 320-41.B
The new dwelling will be located 2.38 m from the west side lot line abutting a street (Cudworth Place).
- Section 10.20.40.70.(2)(B), By-law 569-2013 & Section 320-42(B)**
The minimum required rear yard setback is 8.42 m.
The new dwelling will be located 4.02 m from the rear lot line.

5. **Section 320-41(D)**
The minimum required side yard setback for eaves is 0.4 m.
The eaves of the new dwelling will be located 0.37 m from the east side lot line.
6. **Section 320-41.E.**
The maximum permitted porch projection is 1.6 m from the main side wall.
The proposed porch along the Cudworth Place side lot line will project 1.88 m from the main side wall.
7. **Section 10.5.40.60.(1)(E), By-law 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required side yard setback a maximum of 1.5 m, if it is no closer to the side lot line than 0.3 m.
The proposed platform will encroach 2.65 m into the required side yard setback.
8. **Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The new dwelling will have a length of 21.34 m.
9. **Section 10.20.40.30.(1), By-law 569-2013**
The maximum permitted dwelling depth is 19 m.
Section 1.(d)(1), By-law 1992-24
The maximum permitted dwelling depth is 16.5 m.
Section 10.20.40.30.(1), By-law 569-2013 & Section 1.(d)(1), By-law 1992-24
The new dwelling will have a depth of 21.34 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
2. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.

SIGNATURE PAGE

File Number:	A0297/17EYK	Zoning	RD & R2
Owner:	LUCIA FARAONE CARLO FARAONE	Ward:	Etobicoke Centre (04)
Agent:	CULMONE AND ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	10 ROBINHOOD RD	Community:	
Legal Description:	PLAN 4114 LOT 11		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, May 4, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0298/17EYK	Zoning	RD & R2
Owner(s):	CHARMAINE WHITELEY ANDREW WHITELEY	Ward:	Etobicoke Centre (03)
Agent:	JANSEN CONSULTING	Heritage:	Not Applicable
Property Address:	79 ANTIOCH DR	Community:	

Legal Description: PLAN 5071 LOT 94

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey west side addition, a two-storey east side addition, a second storey addition over the existing dwelling, and to extend the existing attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.5.40.70.(1)(A), By-law 569-2013 and Section 320-40.A.(1)**
The minimum required front yard setback is 8.41 m.
The altered dwelling will be located 7.56 m from the front lot line.
- Section 320-41.B.**
The minimum required side yard setback abutting a street is 4.17 m.
The altered dwelling will be located 3.88 m from the west side lot line abutting a street (Antioch Drive).
- Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The altered dwelling will have a length of 17.11 m.
- Section 10.20.40.10.(1)(A), By-law 569-2013 and Section 320-42.1.B.(1)**
The maximum permitted dwelling height is 9.5 m.
The altered dwelling will have a height of 9.68 m.
- Section 10.20.40.10.(2), By-law 569-2013**
The maximum permitted exterior main wall height is 7 m.
The altered dwelling will have an exterior main wall height of 7.27 m.
- Section 320-42.1.B.(2)**
The maximum permitted soffit height is 6.5 m.
The altered dwelling will have a soffit height of 7.27 m.

7. **Section 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above the second storey of a detached house is 4 m².
The proposed second storey west side balcony will have an area of 10.8 m².
8. **Section 200.5.1.10.(2)(A)(iv), By-law 569-2013 and Section 320-18.A.(1)(c)**
The minimum required parking space width for a parking space where both sides are obstructed is 3.2 m.
The proposed parking space, within the proposed extended garage, will have a width of 3.05 m.
9. **Section 10.5.60.30.(1), By-law 569-2013 and Section 320-43.A.(1)**
The minimum required setback for an ancillary building or structure from a residential building on the same lot is 1.8 m.
The altered dwelling will be located 0.61 m from the existing pool located along the north side.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0298/17EYK	Zoning	RD & R2
Owner:	CHARMAINE WHITELEY ANDREW WHITELEY	Ward:	Etobicoke Centre (03)
Agent:	JANSEN CONSULTING	Heritage:	Not Applicable
Property Address:	79 ANTIOCH DR	Community:	
Legal Description:	PLAN 5071 LOT 94		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, May 4, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0007/17EYK	Zoning	RD & RS
Owner(s):	WLODIMIERZ BOZYM URSULA MARCZAK	Ward:	Etobicoke-Lakeshore (06)
Agent:	PETER VOONG	Heritage:	Not Applicable
Property Address:	99 TWENTY SEVENTH ST	Community:	
Legal Description:	PLAN 1545 PT LOT 78		

Notice was given and the application considered on Thursday, May 4, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Retained - Part 1

Address to be assigned

The lot frontage is 7.62 m and the lot area is 246.2 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling with an attached garage, requiring variances to the Zoning By-law, as outlined in Application A0063/17EYK.

Conveyed - Part 2

Address to be assigned

The lot frontage is 7.62 m and the lot area is 246.2 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling with an attached garage, requiring variances to the Zoning By-law, as outlined in Application A0064/17EYK.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division is premature.
- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

SIGNATURE PAGE

File Number:	B0007/17EYK	Zoning	RD & RS
Owner(s):	WLODIMIERZ BOZYM URSULA MARCZAK	Ward:	Etobicoke-Lakeshore (06)
Agent:	PETER VOONG	Heritage:	Not Applicable
Property Address:	99 TWENTY SEVENTH ST	Community:	
Legal Description:	PLAN 1545 PT LOT 78		

Allan Smithies (signed)

Michael Clark (signed)

Edwin (Ted) Shepherd (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Thursday, June 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0063/17EYK	Zoning	RD & RS
Owner(s):	WLODIMIERZ BOZYM URSULA MARCZAK	Ward:	Etobicoke-Lakeshore (06)
Agent:	PETER VOONG	Heritage:	Not Applicable
Property Address:	99 TWENTY SEVENTH ST PART 1	Community:	

Legal Description: PLAN 1545 PT LOT 78

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.20.(1)(A), By-law 569-2013 & Section 330-23.A.(2)**
The minimum required lot frontage is 12 m.
The lot frontage will be 7.62 m.
- Section 10.20.30.10.(1)(A), By-law 569-2013**
The minimum required lot area is 370 m².
Section 330-23.A.(1)
The minimum required lot area is 371 m².
Section 10.20.30.10.(1)(A), By-law 569-2013 & Section 330-23.A.(1)
The lot area will be 246.2 m².
- Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 330-23.A.(9)**
The maximum permitted floor space index is 0.35 times the lot area (86.2 m²).
The proposed dwelling will have a floor space index of 1.18 times the lot area (291.7 m²).
- Section 10.20.40.70.(1), By-law 569-2013 & Section 330-23.A.(6)**
The minimum required front yard setback is 8.11 m.
The proposed dwelling will be located 6.05 m from the front lot line.

5. **Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 330-23.A.(7)
The minimum required side yard setback is 0.9 m.
Section 10.20.40.70.(3)(C), By-law 569-2013 & Section 330-23.A.(7)
The proposed dwelling will be located 0.91 m from the north side line and 0.6 m from the south side lot line.
6. **Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The proposed dwelling will have a length of 17.75 m.
7. **Section 10.20.40.10.(6), By-law 569-2013**
The maximum permitted first floor height is 1.2 m above established grade.
The proposed dwelling will have a first floor height of 2.6 m above established grade.
8. **Section 10.20.40.10.(4)(A), By-law 569-2013**
The maximum permitted height for a flat roof is 7.2 m.
The proposed flat roof will have height of 10.14 m.
9. **Section 330-23(A)(10)(a)**
The maximum permitted height is 9.5 m.
The proposed dwelling will have a height of 10.14 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0063/17EYK	Zoning	RD & RS
Owner:	WLODIMIERZ BOZYM URSULA MARCZAK	Ward:	Etobicoke-Lakeshore (06)
Agent:	PETER VOONG	Heritage:	Not Applicable
Property Address:	99 TWENTY SEVENTH ST PART 1	Community:	
Legal Description:	PLAN 1545 PT LOT 78		

Allan Smithies (signed)

Michael Clark (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

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Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0064/17EYK	Zoning	RD & RS
Owner(s):	WLODIMIERZ BOZYM URSULA MARCZAK	Ward:	Etobicoke-Lakeshore (06)
Agent:	PETER VOONG	Heritage:	Not Applicable
Property Address:	99 TWENTY SEVENTH ST PART 2	Community:	

Legal Description: PLAN 1545 PT LOT 78

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.20.(1)(A), By-law 569-2013 & Section 330-23.A.(2)**
The minimum required lot frontage is 12 m.
The lot frontage will be 7.62 m.
- Section 10.20.30.10.(1)(A), By-law 569-2013**
The minimum required lot area is 370 m².
Section 330-23.A.(1)
The minimum required lot area is 371 m².
Section 10.20.30.10.(1)(A), By-law 569-2013 & Section 330-23.A.(1)
The lot area will be 246.2 m².
- Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 330-23.A.(9)**
The maximum permitted floor space index is 0.35 times the lot area (86.2 m²).
The proposed dwelling will have a floor space index of 1.18 times the lot area (291.7 m²).
- Section 10.20.40.70.(1), By-law 569-2013 & Section 330-23.A.(6)**
The minimum required front yard setback is 8.11 m.
The proposed dwelling will be located 6.05 m from the front lot line.

5. **Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 330-23.A.(7)
The minimum required side yard setback is 0.9 m.
Section 10.20.40.70.(3)(C), By-law 569-2013 & Section 330-23.A.(7)
The proposed dwelling will be located 0.63 m from the north side line and 0.9 m from the south side lot line.
6. **Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The proposed dwelling will have a length of 17.75 m.
7. **Section 10.20.40.10.(6), By-law 569-2013**
The maximum permitted first floor height is 1.2 m above established grade.
The proposed dwelling will have a first floor height of 2.87 m above established grade.
8. **Section 10.20.40.10.(4)(A), By-law 569-2013**
The maximum permitted height for a flat roof is 7.2 m.
The proposed flat roof will have height of 10.05 m.
9. **Section 330-23(A)(10)(a)**
The maximum permitted height is 9.5 m.
The proposed dwelling will have a height of 10.05 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0064/17EYK	Zoning	RD & RS
Owner:	WLODIMIERZ BOZYM URSULA MARCZAK	Ward:	Etobicoke-Lakeshore (06)
Agent:	PETER VOONG	Heritage:	Not Applicable
Property Address:	99 TWENTY SEVENTH ST PART 2	Community:	
Legal Description:	PLAN 1545 PT LOT 78		

Allan Smithies (signed)

Michael Clark (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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Friday, May 12, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0012/17EYK	Zoning	RD & R1
Owner(s):	DOROTHY GORNIK	Ward:	Etobicoke Centre (04)
Agent:	ANTHONY GORNIK	Heritage:	Not Applicable
Property Address:	405 THE KINGSWAY	Community:	
Legal Description:	PLAN 2581 PT BLK A		

Notice was given and the application considered on Thursday, May 4, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the lot into three residential lots.

Retained - Part 1

Address to be assigned

The lot frontage is 23.13 m and the lot area is 1215.4 m². The existing dwelling will be maintained and will require variances to the Zoning By-law, as outlined in Application A0110/17EYK.

Conveyed - Part 2

Address to be assigned

The lot frontage, measured along the front lot line, is 22.9 m and the lot area is 728.6 m². The property will be redeveloped as the site of a new detached dwelling with an integral garage, requiring variances to the Zoning By-law, as outlined in Application A0109/17EYK.

Conveyed - Parts 3

Address to be assigned

The lot frontage, measured along the front lot line, is 22.5 m and the lot area is 826.3 m². The property will be redeveloped as the site of a new detached dwelling with an integral garage, requiring variances to the Zoning By-law, as outlined in Application A0111/17EYK.

File Numbers: B0012/17EYK, A0109/17EYK, A0110/17EYK and A0111/17EYK are considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the attached plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of Survey and Mapping Services, Engineering Services, Engineering and Construction Services. Contact: John Fligg @ (416) 338-5031 or Elizabeth Machynia @ (416) 338-5029.
3. The applicant shall satisfy all conditions concerning City/Private owned trees, to the satisfaction of Urban Forestry Services.
4. Where no street trees exist, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting each new lot created, to the satisfaction of Urban Forestry Services.
5. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, of Property Records, at 416 392-8338; jhouse@toronto.ca
6. **An electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services, shall be filed with the Committee of Adjustment.
7. The applicant shall submit a Natural Heritage Impact Study to the satisfaction of the Director, Community Planning, Etobicoke York District.
8. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare and submit for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0012/17EYK	Zoning	RD & R1 (ZR)
Owner(s):	DOROTHY GORNIK	Ward:	Etobicoke Centre (04)
Agent:	ANTHONY GORNIK	Heritage:	Not Applicable
Property Address:	405 THE KINGSWAY	Community:	
Legal Description:	PLAN 2581 PT BLK A		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Thursday, June 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0109/17EYK	Zoning	RD & R1 (ZR)
Owner:	DOROTHY GORNIK	Ward:	Etobicoke Centre (04)
Agent:	ANTHONY GORNIK	Heritage:	Not Applicable
Property Address:	405 THE KINGSWAY PART 2	Community:	
Legal Description:	PLAN 2581 PT BLK A		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.20.(1)(A), By-law 569-2013**
The minimum, required lot frontage is 22.5 m.
The lot frontage will be 19.3 m.

Section 1.(a), By-law 3314
The minimum, required lot frontage is 22.86 m.
The lot frontage will be 19.9 m.
- Section 10.20.30.10.(1)(A), By-law 569-2013**
The minimum required lot area is 1045 m².

Section 1.(b), By-law 3314
The minimum required lot area is 1045.16 m².

Section 10.20.30.10.(1)(A), By-law 569-2013 & Section 1.(b), By-law 3314
The lot area will be 728.6 m².
- Section 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.45 times the lot area (327.87 m²).
The new dwelling will have a floor space index of 0.52 times the lot area (378.34 m²).

Section 1.(b).(1), By-law 1992-24
The maximum permitted gross floor area, including an attached, is 165 m² plus 25% of the lot area (347.15 m²).
The new dwelling, including the attached garage, will have a gross floor area equal to 165 m² plus 31.74% of the lot area (396.26 m²).

4. **Section 1.(e), By-law 3314**
The minimum required front yard setback is 12.65 m.
The new dwelling will be located 9 m from the front lot line.
5. **Section 900.3.10.(47)(C), By-law 569-2013**
The minimum required side yard setback is 1.8 m.
Section 1.(c).(3), By-law 1992-24
The minimum required aggregate side yard setback is 3.98 m.
Section 900.3.10.(47)(C), By-law 569-2013 and Section 1.(c).(3), By-law 1992-24
The new dwelling will be located 1.5 m from the north side lot line and 1.54 m from the south side lot line, and will have a minimum required aggregate side yard setback of 3.04 m.
6. **Section 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above a second storey is 4 m².
The proposed second storey balcony will have an area of 9.75 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0012/17EYK**.
2. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.
3. Submission of a complete application, to the satisfaction of Urban Forestry Ravine and Natural Feature Protection, for permit to injure or remove privately owned trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 658.
4. The applicant shall submit one revised site plan (scale of 1:200 or 1:250) illustrating the requirements specified in the following points to the satisfaction of Engineering and Construction Services and Transportation Services, at no cost to the City:

- a. Illustrate a positive slope from the roadway to the garage and have a minimum driveway slope of 2% and maximum driveway slope of 8%. Driveway slopes should be identified on all proposed lots; and,
- b. Illustrated existing structures (i.e. driveway, etc.) to be demolished; and,
- c. Illustrate distance of proposed building from all lot lines; and,
- d. The portions of the respective driveways for each lot, along with the associated curb cut, must be explicitly dimensioned and illustrated; and,
- e. The portions of any existing driveways and associated curb cuts that are to be closed as a result of the proposal must be explicitly dimensioned and illustrated; and,
- f. Include the following notation: "All existing redundant curb cuts that are no longer required will be restored to the satisfaction of the City of Toronto at no cost to the municipality"; and,
- g. Include the following notation: "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards and requirements, and must be constructed at no cost to the municipality"; and,
- h. Include the following notation: "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveway and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and,
- i. Include the following notation: "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services".

SIGNATURE PAGE

File Number:	A0109/17EYK	Zoning	RD & R1 (ZR)
Owner:	DOROTHY GORNIK	Ward:	Etobicoke Centre (04)
Agent:	ANTHONY GORNIK	Heritage:	Not Applicable
Property Address:	405 THE KINGSWAY PART 2	Community:	
Legal Description:	PLAN 2581 PT BLK A		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, May 4, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0110/17EYK	Zoning	RD & R1 (ZR)
Owner:	DOROTHY GORNIK	Ward:	Etobicoke Centre (04)
Agent:	ANTHONY GORNIK	Heritage:	Not Applicable
Property Address:	405 THE KINGSWAY PART 1	Community:	
Legal Description:	PLAN 2581 PT BLK A		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To maintain the existing dwelling on a reduced lot (as a result of the associated consent application B0012/17EYK).

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10.(47)(C), By-law 569-2013 and Section 1.c(3), By-law 1992-24**
The minimum required side yard setback is 1.8 m.
The maintained dwelling will be located 1.5 m from the north side lot line.
- Section 10.20.40.70.(2)(B), By-law 569-2013 & Section 320-42.A**
The minimum required rear yard setback is 12.66 m.
The maintained dwelling will be located 5.89 m from the rear lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0012/17EYK**.
2. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.
3. Submission of a complete application, to the satisfaction of Urban Forestry Ravine and Natural Feature Protection, for permit to injure or remove privately owned trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 658.
4. The applicant shall submit one revised site plan (scale of 1:200 or 1:250) illustrating the requirements specified in the following points to the satisfaction of Engineering and Construction Services and Transportation Services, at no cost to the City:
 - a. Illustrate a positive slope from the roadway to the garage and have a minimum driveway slope of 2% and maximum driveway slope of 8%. Driveway slopes should be identified on all proposed lots; and,
 - b. Illustrated existing structures (i.e. driveway, etc.) to be demolished; and,
 - c. Illustrate distance of proposed building from all lot lines; and,
 - d. The portions of the respective driveways for each lot, along with the associated curb cut, must be explicitly dimensioned and illustrated; and,
 - e. The portions of any existing driveways and associated curb cuts that are to be closed as a result of the proposal must be explicitly dimensioned and illustrated; and,
 - f. Include the following notation: "All existing redundant curb cuts that are no longer required will be restored to the satisfaction of the City of Toronto at no cost to the municipality"; and,
 - g. Include the following notation: "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards and requirements, and must be constructed at no cost to the municipality"; and,
 - h. Include the following notation: "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveway and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and,
 - i. Include the following notation: "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services".

SIGNATURE PAGE

File Number:	A0110/17EYK	Zoning	RD & R1 (ZR)
Owner:	DOROTHY GORNIK	Ward:	Etobicoke Centre (04)
Agent:	ANTHONY GORNIK	Heritage:	Not Applicable
Property Address:	405 THE KINGSWAY PART 1	Community:	
Legal Description:	PLAN 2581 PT BLK A		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0111/17EYK	Zoning	RD & R1
Owner:	DOROTHY GORNIK	Ward:	Etobicoke Centre (04)
Agent:	ANTHONY GORNIK	Heritage:	Not Applicable
Property Address:	405 THE KINGSWAY PART 3	Community:	
Legal Description:	PLAN 2581 PT BLK A		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.20.(1)(A), By-law 569-2013**
The minimum, required lot frontage is 22.5 m.
The lot frontage will be 19.8 m.
Section 1.(a), By-law 3314
The minimum, required lot frontage is 22.86 m.
The lot frontage will be 20.2 m.
- Section 10.20.30.10.(1)(A), By-law 569-2013**
The minimum required lot area is 1045 m².
Section 1.(b), By-law 3314
The minimum required lot area is 1045.16 m².
Section 10.20.30.10.(1)(A), By-law 569-2013 & Section 1.(b), By-law 3314
The lot area will be 826.3 m².
- Section 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.45 times the lot area (371.84 m²).
The new dwelling will have a floor space index of 0.47 times the lot area (387.66 m²).
Section 1.(b).(1), By-law 1992-24
The maximum permitted gross floor area, including an attached, is 165 m² plus 25% of the lot area (371.58 m²).
The new dwelling, including the attached garage, will have a gross floor area equal to 165 m² plus 29.11% of the lot area (405.58 m²).

4. Section 1.(e), By-law 3314

The minimum required front yard setback is 12.65 m.

The new dwelling will be located 11.55 m from the front lot line.

5. Section 900.3.10.(47)(C), By-law 569-2013

The minimum required side yard setback is 1.8 m.

Section 1.(c).(3), By-law 1992-24

The minimum required aggregate side yard setback is 4.04 m.

Section 900.3.10.(47)(C), By-law 569-2013 and Section 1.(c).(3), By-law 1992-24

The new dwelling will be located 1.54 m from the north side lot line and 1.5 m from the south side lot line, and will have a minimum required aggregate side yard setback of 3.04 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0012/17EYK**.
2. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

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3. Submission of a complete application, to the satisfaction of Urban Forestry Ravine and Natural Feature Protection, for permit to injure or remove privately owned trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 658.
4. The applicant shall submit one revised site plan (scale of 1:200 or 1:250) illustrating the requirements specified in the following points to the satisfaction of Engineering and Construction Services and Transportation Services, at no cost to the City:
 - a. Illustrate a positive slope from the roadway to the garage and have a minimum driveway slope of 2% and maximum driveway slope of 8%. Driveway slopes should be identified on all proposed lots; and,

- b. Illustrated existing structures (i.e. driveway, etc.) to be demolished; and,
- c. Illustrate distance of proposed building from all lot lines; and,
- d. The portions of the respective driveways for each lot, along with the associated curb cut, must be explicitly dimensioned and illustrated; and,
- e. The portions of any existing driveways and associated curb cuts that are to be closed as a result of the proposal must be explicitly dimensioned and illustrated; and,
- f. Include the following notation: "All existing redundant curb cuts that are no longer required will be restored to the satisfaction of the City of Toronto at no cost to the municipality"; and,
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- h. Include the following notation: "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveway and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and,
- i. Include the following notation: "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services".

SIGNATURE PAGE

File Number:	A0111/17EYK	Zoning	RD & R1
Owner:	DOROTHY GORNIK	Ward:	Etobicoke Centre (04)
Agent:	ANTHONY GORNIK	Heritage:	Not Applicable
Property Address:	405 THE KINGSWAY PART 3	Community:	
Legal Description:	PLAN 2581 PT BLK A		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0916/16EYK	Zoning	RD & R2
Owner(s):	JOHN TAYLOR PETER OUDEJANS	Ward:	Etobicoke-Lakeshore (05)
Agent:	JOHN TAYLOR	Heritage:	Not Applicable
Property Address:	46 REID MANOR	Community:	

Legal Description: PLAN 5253 LOT 6

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 & Section 320-59.C**
The maximum permitted lot coverage is 33% of the lot area (149.78 m²).
The new dwelling will have a lot coverage of 41.93% of the lot area (190.31 m²).
- Section 900.3.10.(42)(A)(i), By-law 569-2013 & Section 1(a), By-law 1993-109**
The maximum permitted gross floor area, including an attached garage, is 118 m² plus 25% of the lot area (231.5 m²), up to a maximum floor space index of 0.5 (226.93 m²).
The new dwelling will have a gross floor area of 118 m² plus 48.63% of the lot area (338.7 m²), with a floor space index of 0.75 (338.7 m²).
- Section 10.20.40.70.(1), By-law 569-2013 & Section 320-40.B**
The minimum required front yard setback is 7.72 m.
The new dwelling will be located 6.34 m from the front lot line.
- Section 320-42.1.C.(2)**
The minimum required side yard setback is 1.2 m per side, provided the aggregate side yard setback is not less than 20% of the lot frontage (3.09 m).
The new dwelling will be located 1.22 m from the north side lot line and 1.22 m from the south side lot line and the aggregate side yard setback of the proposed dwelling will be 15.8% of the lot frontage (2.44 m).

5. **Section 10.20.40.70.(2)(A), By-law 569-2013 and Section 320-42.A**
The minimum required rear yard setback is 7.5 m.
The new dwelling will be located 6.12 m from the rear lot line.
6. **Section 10.20.40.10.(4)(A), By-law 569-2013**
The maximum permitted dwelling height is 7.2 m.
Section 320-42.1.B.(2)
The maximum permitted dwelling height for a flat roofed dwelling is 6.5 m.
Section 10.20.40.10.(4)(A), By-law 569-2013 & Section 320-42.1.B.(2)
The new flat roofed dwelling will have a height of 9.11 m.
7. **Section 10.5.40.60.(1)(C), By-law 569-2013**
A rear yard platform located no higher than the first floor may encroach into the required rear yard setback a maximum of 2.5 m.
Section 320-42.E
The maximum permitted encroachment for a platform into the required rear yard setback is 1.6 m.
Section 10.5.40.60.(1)(C), By-law 569-2013 & Section 320-42.E
The proposed platform will be located 4.55 m into the required rear yard setback.
8. **Section 320-40.D(2)**
The maximum permitted projection for a porch into the required front yard is 1.6 m.
The proposed front patio will project 2.47 m into the required front yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0916/16EYK	Zoning	RD & R2
Owner:	JOHN TAYLOR PETER OUDEJANS	Ward:	Etobicoke-Lakeshore (05)
Agent:	JOHN TAYLOR	Heritage:	Not Applicable
Property Address:	46 REID MANOR	Community:	
Legal Description:	PLAN 5253 LOT 6		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, May 4, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B11/16EYK	Zoning	RD & RS
Owner(s):	ROOZBUILT LTD	Ward:	Etobicoke-Lakeshore (06)
Agent:	ATA ARCHIECTS INC	Heritage:	Not Applicable
Property Address:	9 THIRTY EIGHTH ST	Community:	
Legal Description:	PLAN 2155 LOT 120		

Notice was given and the application considered on Thursday, May 4, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Retained - Part 2

Address to be assigned

The lot frontage is 7.62 m and the lot area is 304 m². The existing dwelling will be demolished and the property will be redeveloped as the site of the a new detached dwelling with an attached garage, requiring variances to the Zoning By-law, as outlined in Application A96/16EYK.

Conveyed - Part 1

Address to be assigned

The lot frontage is 7.62 m and the lot area is 304 m². The existing dwelling will be demolished and the property will be redeveloped as the site of the a new detached dwelling with an attached garage, requiring variances to the Zoning By-law, as outlined in Application A95/16EYK.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the attached plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of Survey and Mapping Services, Engineering Services, Engineering and Construction Services. Contact: John Fligg @ (416) 338-5031 or Elizabeth Machynia @ (416) 338-5029.
3. The applicant shall satisfy all conditions concerning City/Private owned trees, to the satisfaction of Urban Forestry Services.
4. Where no street trees exist, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting each new lot created, to the satisfaction of Urban Forestry Services.
5. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, of Property Records, at 416 392-8338; jhouse@toronto.ca
6. **An electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services, shall be filed with the Committee of Adjustment.
7. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare and submit for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act* , as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B11/16EYK	Zoning	RD & RS
Owner(s):	ROOZBUILT LTD	Ward:	Etobicoke-Lakeshore (06)
Agent:	ATA ARCHIECTS INC	Heritage:	Not Applicable
Property Address:	9 THIRTY EIGHTH ST	Community:	
Legal Description:	PLAN 2155 LOT 120		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Thursday, June 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A95/16EYK	Zoning	RD & RS
Owner(s):	ROOZBUILT LTD	Ward:	Etobicoke-Lakeshore (06)
Agent:	ATA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	9 THIRTY EIGHTH ST PART 1	Community:	

Legal Description: PLAN 2155 LOT 120

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.20.(1)(A), By-law 569-2013 & Section 330-23.A.(2)**
The minimum required lot frontage is 12 m.
The lot frontage will be 7.62 m.
- Section 10.20.30.10.(1)(A), By-law 569-2013**
The minimum required lot area is 370 m².
Section 330-23.A.(1)
The minimum required lot area is 371 m².
Section 10.20.30.10.(1)(A), By-law 569-2013 & Section 330-23.A.(1)
The lot area will be 304.11 m².
- Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 330-23.A.(9)**
The maximum permitted floor space index is 0.35 times the lot area (106.4 m²).
The proposed dwelling will have a floor space index of 0.56 times the lot area (170.5 m²).
- Section 10.20.40.70.(1), By-law 569-2013 & Section 330-23.A.(6)**
The minimum required front yard setback is 14.36 m.
The proposed dwelling will be located 11.06 m from the front lot line.
- Section 10.20.40.70.(3)(c), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 330-23.A.(7)
The minimum required side yard setback is 0.9 m.
Section 10.20.40.70.(3)(c), By-law 569-2013 & Section 330-23.A.(7)
The proposed dwelling will be located 0.6 m from the south side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B11/16EYK**.
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
3. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
4. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
5. The applicant shall submit one revised site plan (scale of 1:200 or 1:250) illustrating the requirements specified in following points to the satisfaction of the Engineering and Construction Services Division and Transportation Services, at no cost to the City;
 - 5.1 Illustrate the proposed driveway for each detached dwelling as having a positive slope of 2% to 5% within the Thirty Eighth Street municipal boulevard;
 - 5.2 Illustrate the City of Toronto Design Standard Drawing No. T-600.11-1 for the existing depressed curb that will be reinstated with raised concrete curb along the curb line of Thirty Eighth Street on the Part 1 lot; and,
 - 5.3 Insert an advisory notation on the site plan stating that, "The applicant shall obtain the necessary authorizations and permits from the City's Right-of-Way Management Unit before excavating within or encroaching into the municipal road allowance. The applicant shall also submit a Municipal Road Damage Deposit prior to obtaining a Building Permit." The applicant is advised to contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at (416) 338-1045 regarding municipal road damage deposit requirements.

SIGNATURE PAGE

File Number:	A95/16EYK	Zoning	RD & RS
Owner:	ROOZBUILT LTD	Ward:	Etobicoke-Lakeshore (06)
Agent:	ATA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	9 THIRTY EIGHTH ST PART 1	Community:	
Legal Description:	PLAN 2155 LOT 120		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A96/16EYK	Zoning	RD & RS
Owner(s):	ROOZBUILT LTD	Ward:	Etobicoke-Lakeshore (06)
Agent:	ATA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	9 THIRTY EIGHTH ST PART 2	Community:	

Legal Description: PLAN 2155 LOT 120

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.20.(1)(A), By-law 569-2013 & Section 330-23.A.(2)**
The minimum required lot frontage is 12 m.
The lot frontage will be 7.62 m.
- Section 10.20.30.10.(1)(A), By-law 569-2013**
The minimum required lot area is 370 m².
Section 330-23.A.(1)
The minimum required lot area is 371 m².
Section 10.20.30.10.(1)(A), By-law 569-2013 & Section 330-23.A.(1)
The lot area will be 304.11 m².
- Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 330-23.A.(9)**
The maximum permitted floor space index is 0.35 times the lot area (106.4 m²).
The proposed dwelling will have a floor space index of 0.56 times the lot area (170.5 m²).
- Section 10.20.40.70.(1), By-law 569-2013 & Section 330-23.A.(6)**
The minimum required front yard setback is 14.36 m.
The proposed dwelling will be located 11.06 m from the front lot line.
- Section 10.20.40.70.(3)(c), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 330-23.A.(7)
The minimum required side yard setback is 0.9 m.
Section 10.20.40.70.(3)(c), By-law 569-2013 & Section 330-23.A.(7)
The proposed dwelling will be located 0.6 m from the north side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B11/16EYK**.
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
3. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
4. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
5. The applicant shall submit one revised site plan (scale of 1:200 or 1:250) illustrating the requirements specified in following points to the satisfaction of the Engineering and Construction Services Division and Transportation Services, at no cost to the City;
 - 5.1 Illustrate the proposed driveway for each detached dwelling as having a positive slope of 2% to 5% within the Thirty Eighth Street municipal boulevard;
 - 5.2 Illustrate the City of Toronto Design Standard Drawing No. T-600.11-1 for the existing depressed curb that will be reinstated with raised concrete curb along the curb line of Thirty Eighth Street on the Part 1 lot; and,
 - 5.3 Insert an advisory notation on the site plan stating that, "The applicant shall obtain the necessary authorizations and permits from the City's Right-of-Way Management Unit before excavating within or encroaching into the municipal road allowance. The applicant shall also submit a Municipal Road Damage Deposit prior to obtaining a Building Permit." The applicant is advised to contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at (416) 338-1045 regarding municipal road damage deposit requirements.

SIGNATURE PAGE

File Number:	A96/16EYK	Zoning	RD & RS
Owner:	ROOZBUILT LTD	Ward:	Etobicoke-Lakeshore (06)
Agent:	ATA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	9 THIRTY EIGHTH ST PART 2	Community:	
Legal Description:	PLAN 2155 LOT 120		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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To appeal this decision to the OMB you need the following:

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Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0145/17EYK	Zoning	RD & R2
Owner(s):	KUL BHUSHAN BHARDWAJ	Ward:	Etobicoke North (01)
Agent:	KUL BHUSHAN BHARDWAJ	Heritage:	Not Applicable
Property Address:	68 HARLOW CRES	Community:	

Legal Description: PLAN 3763 S PT LOT 55

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10.(1299)(A), By-law 569-2013 and Section 1.(c), By-law 1981-360**
The maximum permitted floor space index, including an attached garage, is 38% of the lot area (264.83 m²).
The new dwelling, including the attached garage, will have a floor space index equal to 46.99% of the lot area (327.46 m²).
- Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The new dwelling will have a length of 21.24 m.
- Section 10.20.40.30.(1), By-law 569-2013**
The maximum permitted building depth is 19 m.
Section 320-42.1.D.(1)
The maximum permitted building depth is 16.5 m.
Section 10.20.40.30.(1), By-law 569-2013 and Section 320-42.1.D.(1)
The new dwelling will have a depth of 21.27 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
2. The following conditions shall be fulfilled to the satisfaction of the Director, Community Planning, Etobicoke York District:
 - 2.1 That the proposed rear veranda not be used as habitable space.
 - 2.2 That the proposed dwelling shall be constructed substantially in accordance with the with the site and elevation plans submitted and held on file by the Committee of Adjustment office and date stamped as received on March 28, 2017. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0145/17EYK	Zoning	RD & R2
Owner:	KUL BHUSHAN BHARDWAJ	Ward:	Etobicoke North (01)
Agent:	KUL BHUSHAN BHARDWAJ	Heritage:	Not Applicable
Property Address:	68 HARLOW CRES	Community:	
Legal Description:	PLAN 3763 S PT LOT 55		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Friday, May 12, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

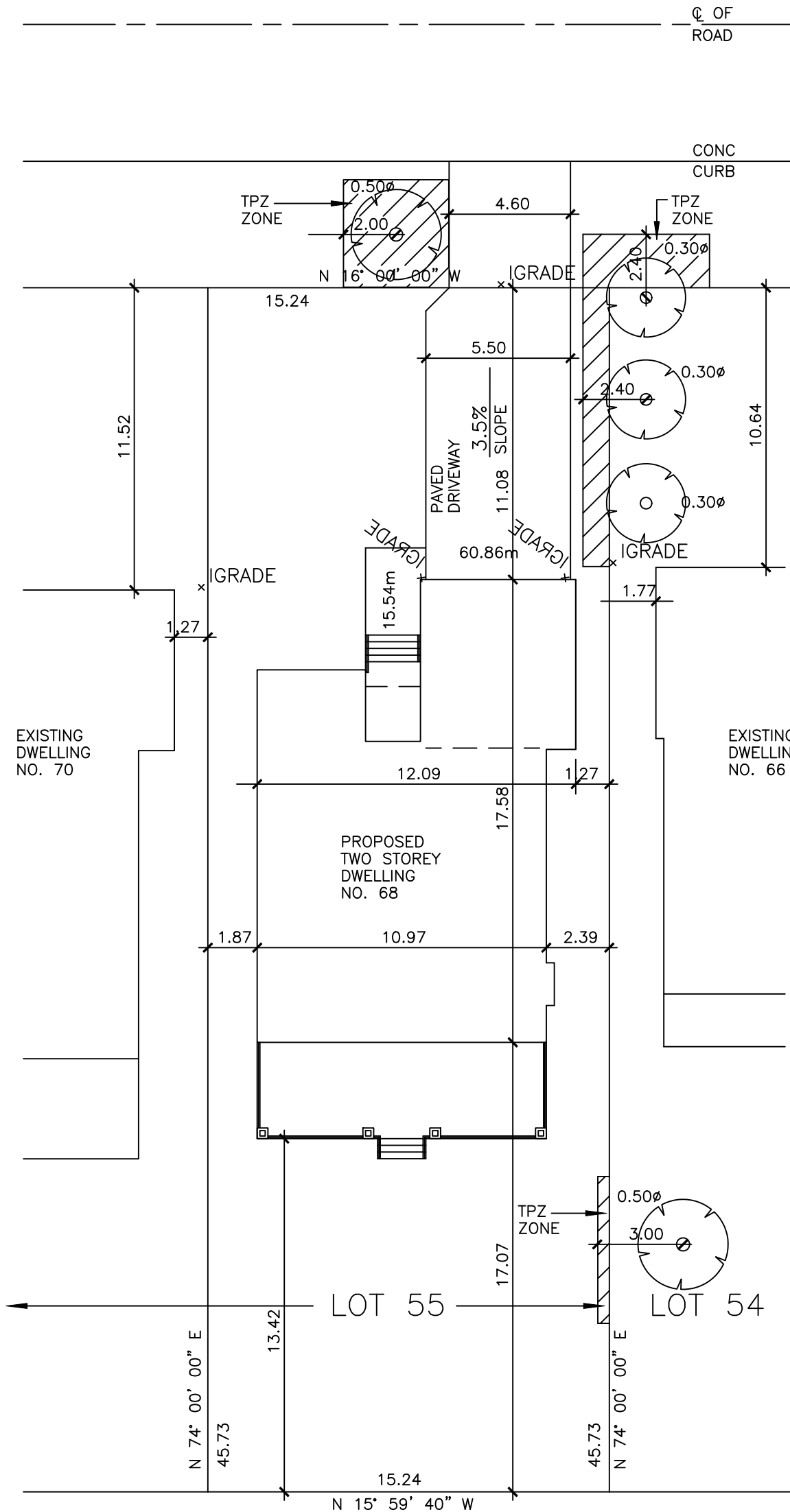
To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

HARLOW CRESCENT



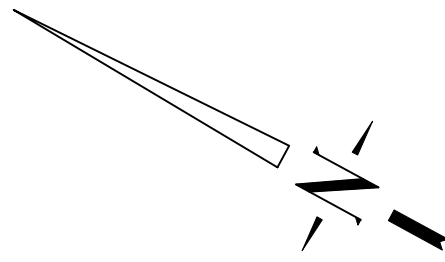
SITE INFO

LOT AREA	=	696.93m ²
33% COVERAGE	=	230.00m ²
ACTUAL COVERAGE	=	177.50m ² (24.47%)
MAX GFA (38%)	=	264.83m ²
1ST FLOOR (INCL GARAGE)	=	174.10m ²
2ND FLOOR	=	155.08m ²
VOID AREA	=	1.72m ²
TOTAL GFA	=	327.46m ² (46.99%)
MAX. HEIGHT	=	9.50m
ACTUAL HEIGHT	=	9.50m
FRONT YARD HARD SURFACE	=	60.86m ² (30.25%)
LANDSCAPE AREA	=	140.30m ²
HARDSCAPE AREA	=	15.54m ²
SOFTSCAPE AREA	=	124.76m ² (88.92%)

SITE PLAN 1:200

THIS SITE PLAN IS BASED ON PLAN OF PART OF LOT 55, R. PLAN 3763 CITY OF TORONTO (FORMERLY CITY OF ETOBICOKE)

SURVEY PREPARED BY:
 GUIDO PAPA SURVEYING
 A DIVISION OF J.D. BARNES LIMITED
 ONTARIO LAND SUEVEYOR
 DATED: FEB. 5, 2016



NO.	REVISIONS	DATE
-	-	-

CITY OF TORONTO
 COMMITTEE OF ADJUSTMENT
 ETOBICOKE YORK DISTRICT

REVISED

MAR 28, 2017

THE UNDERSIGNED HAS REVIEWED & TAKEN RESPONSIBILITY FOR THE DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1 OF THE BUILDING CODE

M. PERGER		25117
NAME	SIGNATURE	BCIN#

MP DESIGN & ASSOCIATES	31263
COMPANY	BCIN#

PRIOR TO PERMIT APPLICATION OWNER/APPLICANT SHOULD HAVE PPR (PRELIMINARY PROJECT REVIEW) AND BE RESPONSIBLE FOR SAME.

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS ON THE SITE, REPORTING ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER AND MAY NOT BE USED OR REPRODUCED WITHOUT HIS WRITTEN PERMISSION.

ONLY FINAL APPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION.

DO NOT SCALE DRAWINGS.

MP DESIGN & ASSOCIATES

44 GOODMARK PL. UNIT #1 TEL (416) 675-2997
 TORONTO, ONT. M9W 6N8 FAX (416) 675-4574

PROJECT

PROPOSED
 TWO STOREY DWELLING
 FOR: MR. KUL BHUSHAN
 BHARDWAJ
 AT: 68 HARLOW CRESCENT
 CITY OF TORONTO

DRAWING

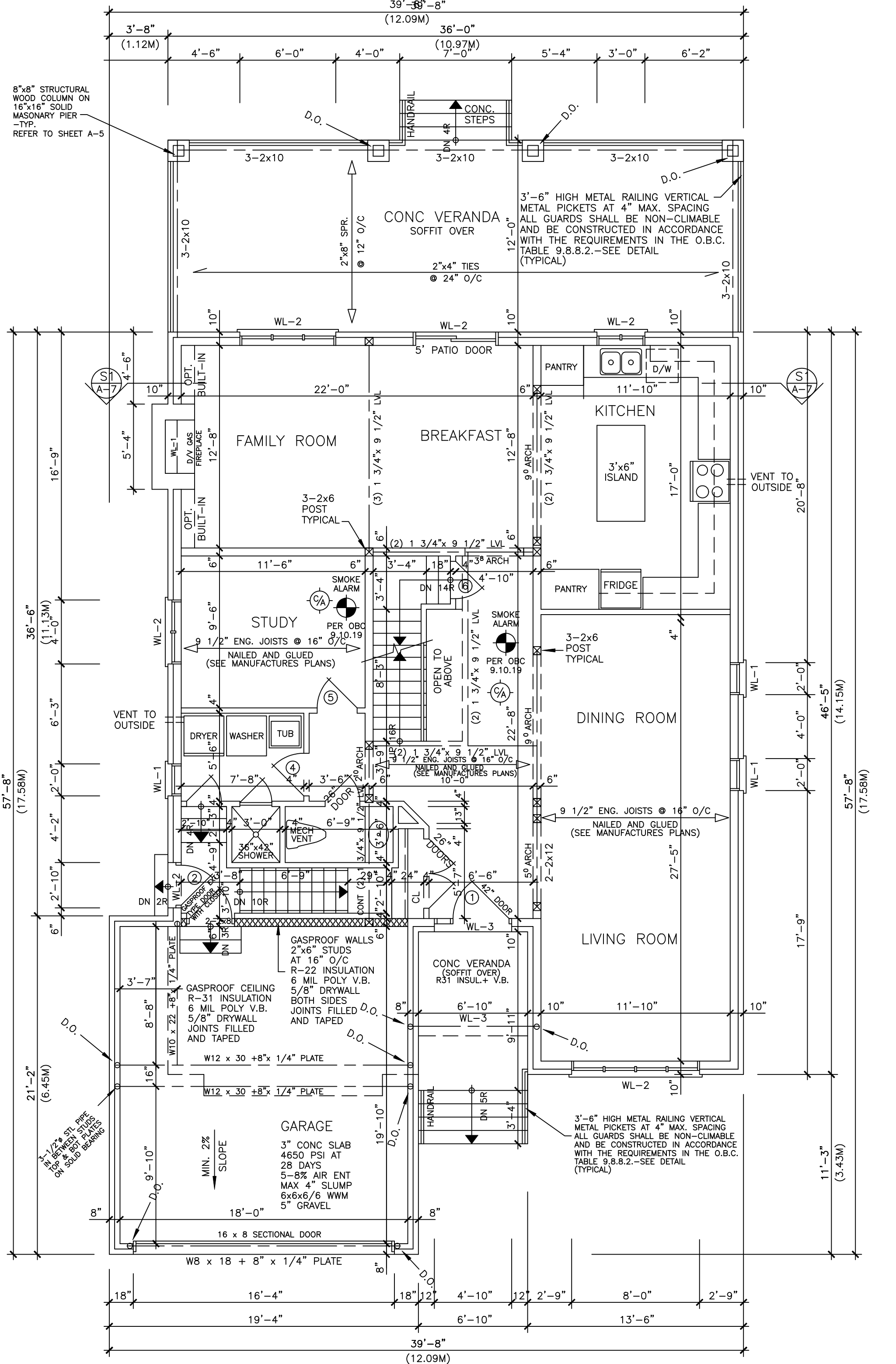
SITE PLAN

DRAWN	MSP	DATE	NOV 2016
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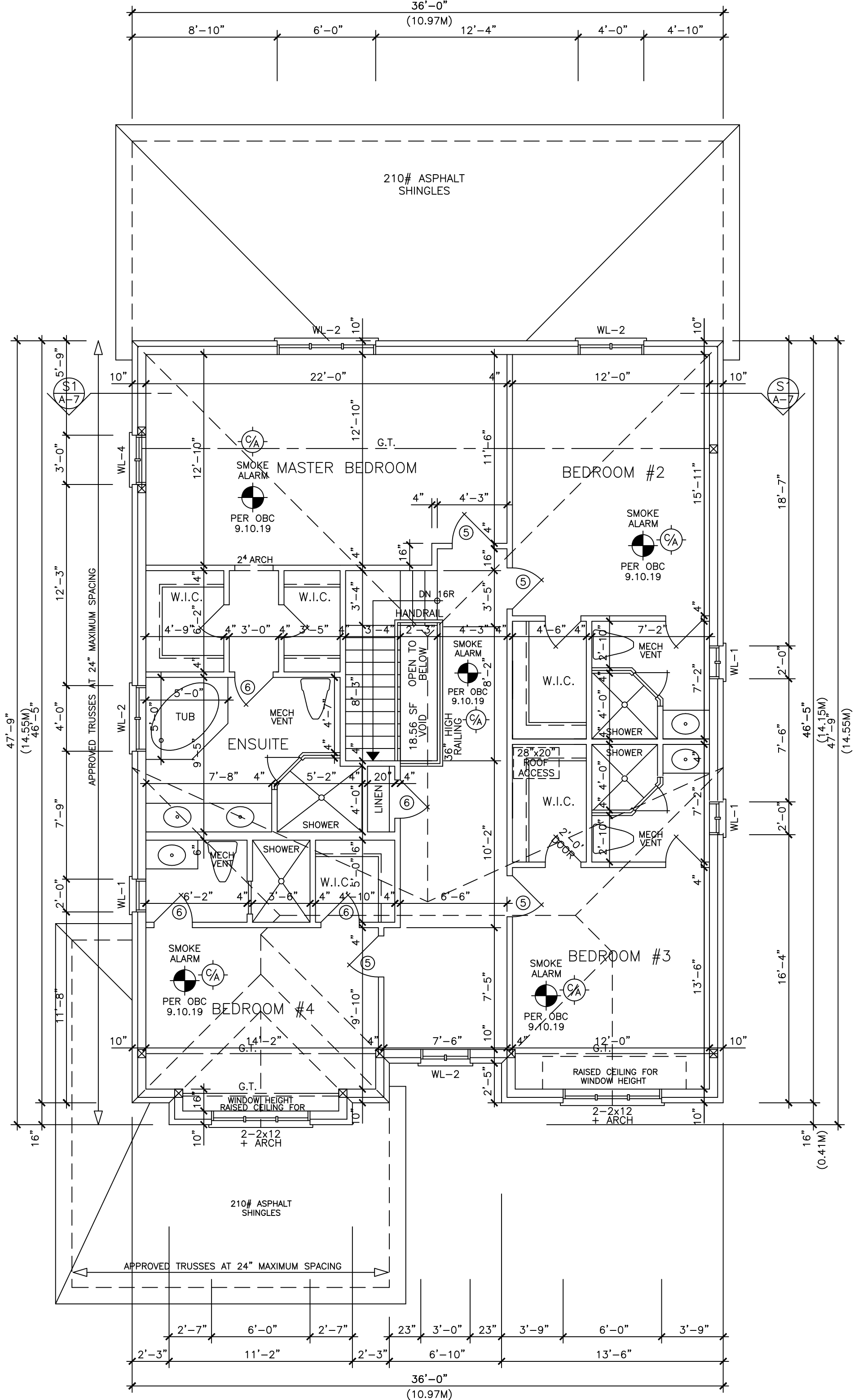
CHECKED	---	SCALE	1:200
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PROJECT NO	DRAWING NO
16-166	SP

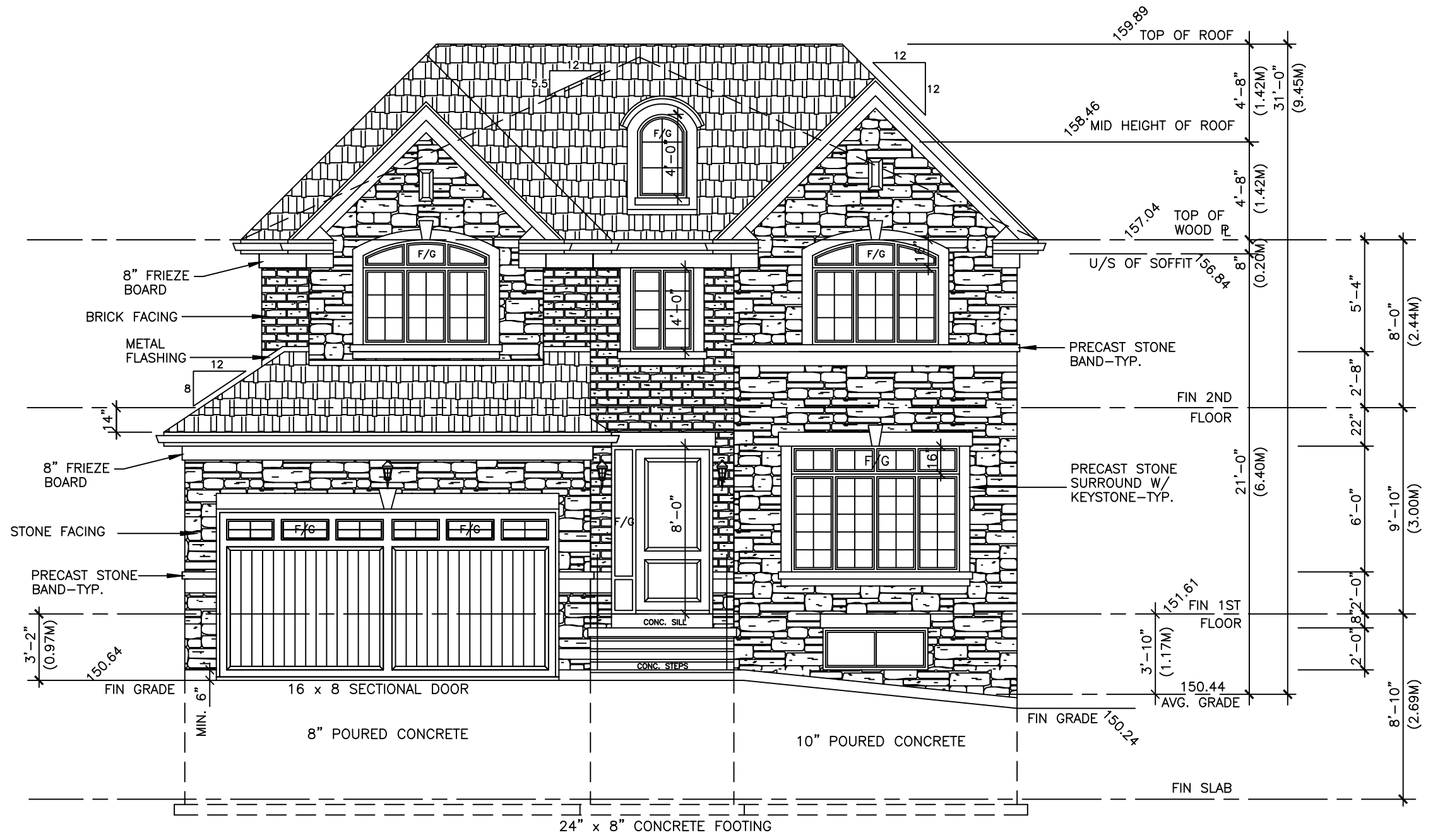
8"x8" STRUCTURAL WOOD COLUMN ON 16"x16" SOLID MASONRY PIER -TYP. REFER TO SHEET A-5



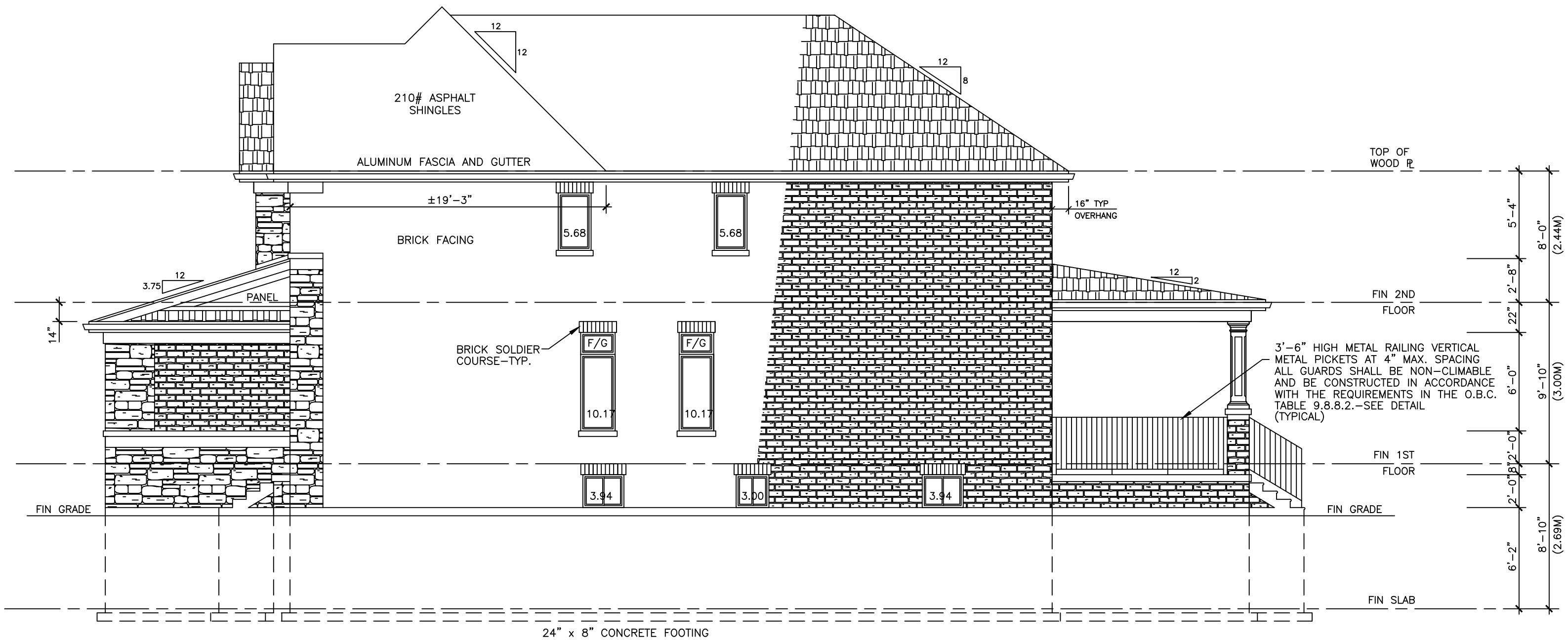
FIRST FLOOR PLAN



SECOND FLOOR PLAN



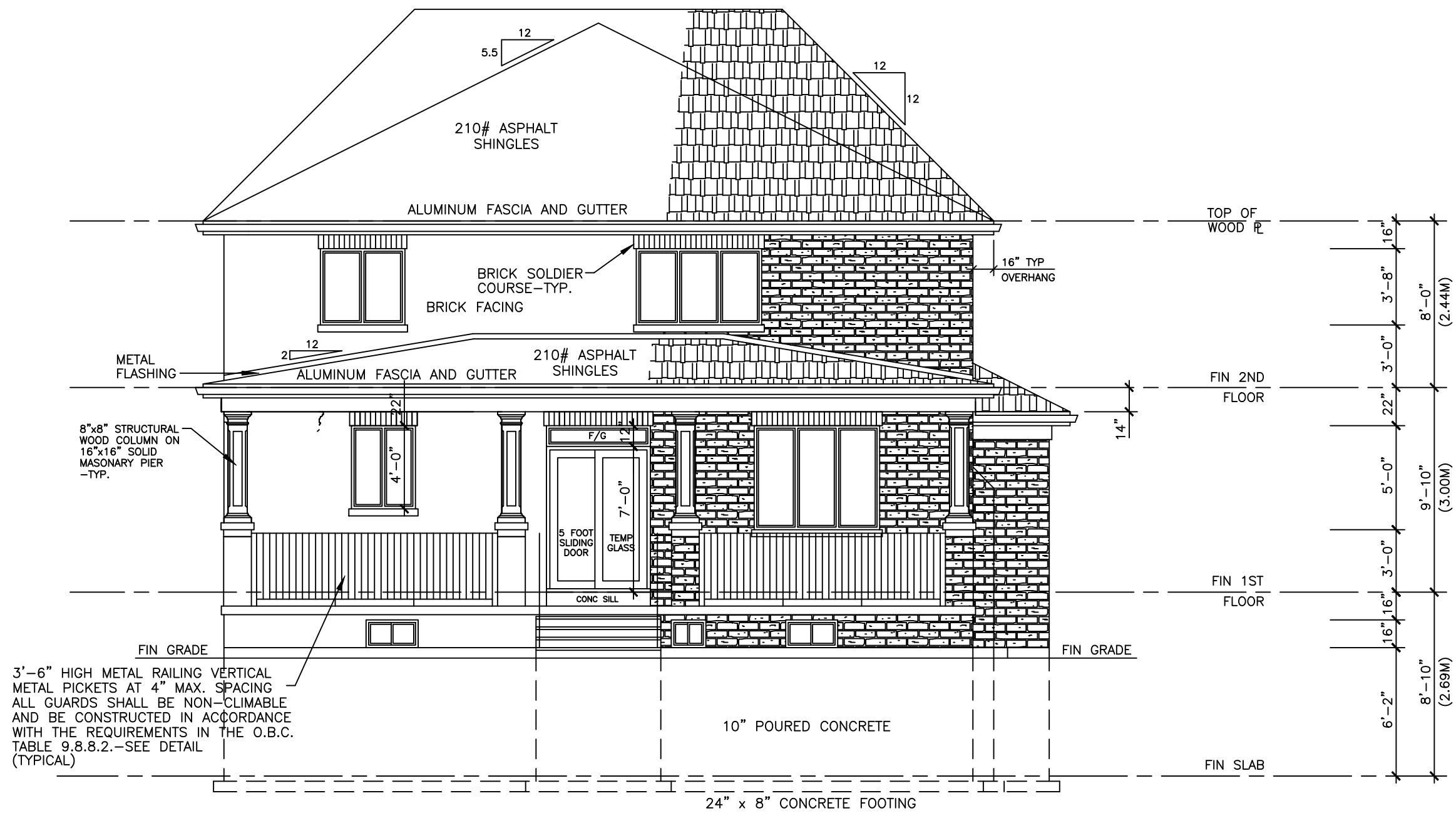
FRONT ELEVATION
(East Side)



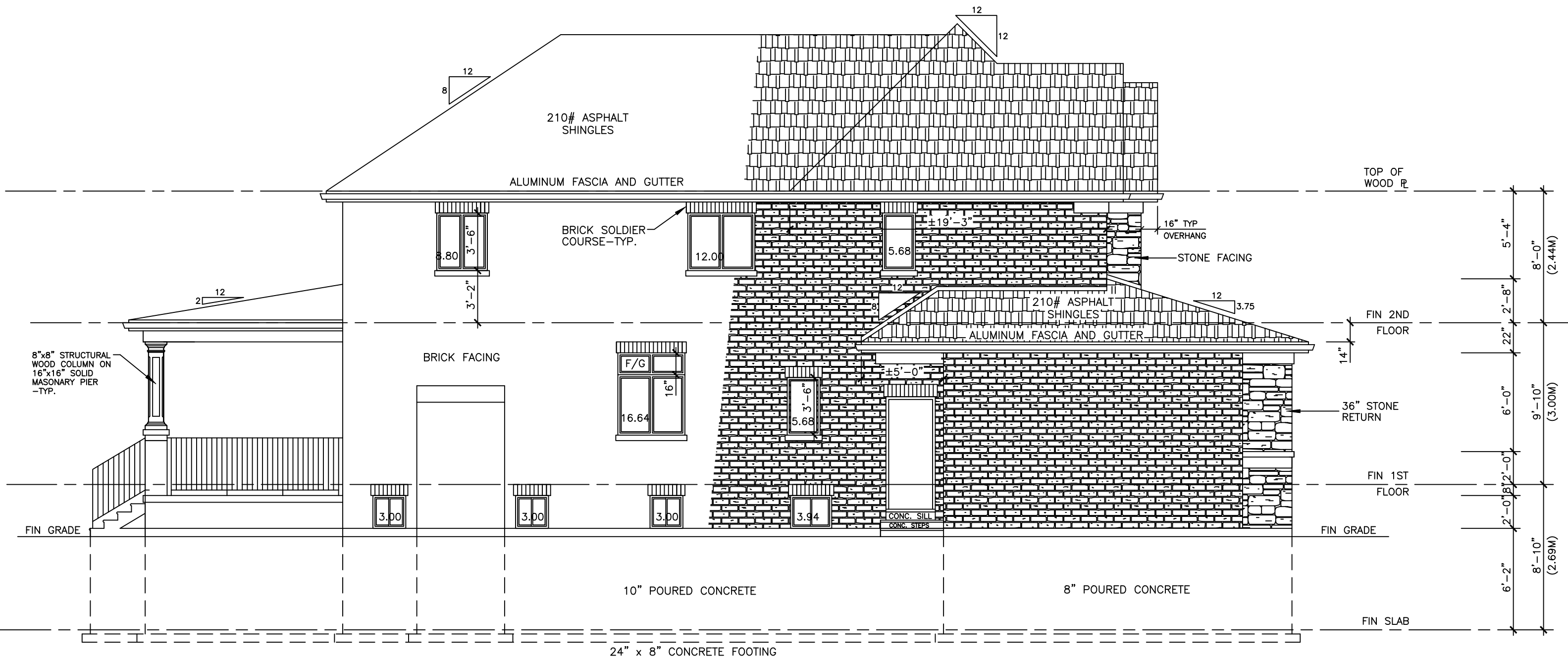
RIGHT ELEVATION
(North Side)

WALL AREA = 1004.75 S.F. x 7% = 70.33 S.F.
WINDOW OPENINGS = 42.70 S.F.

24" x 8" CONCRETE FOOTING



REAR ELEVATION
(West Side)



LEFT ELEVATION
(South Side)

WALL AREA = 1137.37 S.F. x 7% = 79.62 S.F.
WINDOW GLAZING = 61.74 S.F.