

Thursday, June 15, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0332/17EYK	Zoning	RD & R5
Owner(s):	LUCIANA LOMBARDO MARIO LOMBARDO	Ward:	York West (07)
Agent:	FAUSTO CORTESE ARCHITECT	Heritage:	Not Applicable
Property Address:	12 STRATHBURN BLVD	Community:	
Legal Description:	PLAN 3803 LOT 108		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 30% of the lot area (168.6 m²).
The new dwelling will cover 41.36% of the lot area (232.5 m²).
- Section 900.3.10.(5)(A), By-law 569-2013 and Section 14.2.3.(b), By-law 7625**
The minimum required side yard setback is 1.8 m.
The new dwelling will be located 1.2 m from the north side lot line and 1.39 m from the south side lot line.
- Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The new dwelling will have a length of 18.76 m.
- Section 10.20.40.30.(1), By-law 569-2013**
The maximum permitted building depth is 19 m.
The new dwelling will have a depth of 19.94 m.
- Section 10.5.100.1.(1), By-law 569-2013**
The maximum permitted driveway width is 3.75 m for a driveway that is located in or passes through the front yard.
The proposed front yard driveway will have a width of 5.19 m.
- Section 10.5.50.10.(1)(C), By-law 569-2013**
A minimum of 60% of the front yard shall be maintained as landscaping (66.96 m²).
A total of 42.95% of the front yard will be maintained as landscaping (47.7 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:

1. Provide the new driveway for a proposed integral single-car garage to have a maximum width of 3.0m, as measured from the Strathburn Boulevard right-of-way limit;
2. Illustrate the proposed pedestrian walkway orientation that connects to a proposed 3.0m wide driveway;
3. Illustrate the redundant portion of the existing unused driveway and associated depressed curb cuts that are being removed within the Strathburn Boulevard road allowance as being restored with sod and poured raised concrete curb according to City of Toronto Design Standard No. T-600.11-1;
4. Illustrate the following notations on a revised site plan:
 - a. "The applicant must obtain all required permits from the City's Right-of-Way Management Section of Transportation Services before excavating and encroaching into the municipal road allowance;" and
 - b. "The applicant shall provide a Municipal Road Damage Deposit (MRDD) prior to obtaining a Building Permit." The applicant is advised to contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at (416) 338-1045 regarding municipal road damage deposit requirements; and
5. The applicant shall submit a revised site plan (1:200 or 1:250 in metric scale) illustrating the above-noted Condition No.'s 1 through 4, no later than July 31, 2018.

SIGNATURE PAGE

File Number:	A0332/17EYK	Zoning	RD & R5
Owner:	LUCIANA LOMBARDO	Ward:	York West (07)
	MARIO LOMBARDO		
Agent:	FAUSTO CORTESE	Heritage:	Not Applicable
	ARCHITECT		
Property Address:	12 STRATHBURN BLVD	Community:	
Legal Description:	PLAN 3803 LOT 108		

Allan Smithies (signed) _____
Dominic Gulli (signed) _____
Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
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Thursday, June 15, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0398/17EYK	Zoning	RD & R5
Owner(s):	VITO COLACCI	Ward:	York West (07)
Agent:	ANGELO COLACCI	Heritage:	Not Applicable
Property Address:	32 YORKDALE CRES	Community:	
Legal Description:	PLAN 3803 LOT 171		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 30% of the lot area (184.92 m²).
The proposed dwelling will have a lot coverage of 32.62% of the lot area (201.07 m²).
- Section 900.3.10.(5)(A), By-law 569-2013 & Section 14.2.3(b), By-law 7625**
The minimum required side yard setback is 1.8 m.
The proposed dwelling will be located 1.55 m from the east side lot line and 1.6 m from the west side lot line.
- Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The proposed dwelling will have a length of 17.07 m.
Section 14.2.5A, By-law 7625
The maximum permitted dwelling length is 16.8 m.
The proposed dwelling will have a length of 17.37 m.
- Section 10.5.40.10.(5), By-law 569-2013**
A minimum of 10 m² of the first floor must be within 4 m of the front main wall.
A total of 8.75 m² of the first floor will be located within 5.27 m of the front main wall.
- Section 200.5.1.10.(2)(A)(i), By-law 569-2013**
The minimum required width of 2 parking spaces is 5.8 m.
The proposed width of the parking spaces within the proposed garage is 5.63 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
2. The site plan must include the following notations, to the satisfaction of Traffic Planning / Right of Way Management:
 - a. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - b. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services";

SIGNATURE PAGE

File Number:	A0398/17EYK	Zoning	RD & R5
Owner:	VITO COLACCI	Ward:	York West (07)
Agent:	ANGELO COLACCI	Heritage:	Not Applicable
Property Address:	32 YORKDALE CRES	Community:	
Legal Description:	PLAN 3803 LOT 171		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, June 15, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0068/17EYK	Zoning	RD & R4
Owner(s):	N MANTIS CHRISTINA MANTIS	Ward:	York South-Weston (12)
Agent:	GEORGE MANTIS	Heritage:	Not Applicable
Property Address:	94 WYNDALE DR	Community:	
Legal Description:	PLAN 4044 LOT 133		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To extend the existing detached garage in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.5.60.70.(1), By-law 569-2013**
The maximum permitted lot coverage for an ancillary building is 10% of the lot area (65.21 m).

Section 6(23)(ii)(B), By-law 7625
The maximum permitted lot coverage for an accessory building is 56 m².

Section 10.5.60.70.(1), By-law 569-2013 and Section 6(23)(ii)(B), By-law 7625
The altered detached garage will cover 15.72% of the lot area (102.56 m²).
- Section 10.5.60.50.(2)(A), By-law 569-2013**
The maximum permitted gross floor area for an ancillary building is 60 m².
The altered detached garage will have a gross floor area of 102.56 m².
- Section 10.5.50.10.(3)(A), By-law 569-2013**
A minimum of 50% of the rear yard shall be maintained as soft landscaping (201.89 m²).
A total of 49.7% of the rear yard is being maintained as soft landscaping (200.66 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0068/17EYK	Zoning	RD & R4
Owner:	N MANTIS	Ward:	York South-Weston (12)
	CHRISTINA MANTIS		
Agent:	GEORGE MANTIS	Heritage:	Not Applicable
Property Address:	94 WYNDALE DR	Community:	
Legal Description:	PLAN 4044 LOT 133		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, June 15, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0140/17EYK	Zoning:	R & R2 Z0.6
Owner(s):	DEANNA DJOS RAQUEL GRAND	Ward:	Davenport (17)
Agent:	DEANNA DJOS	Heritage:	Not Applicable
Property Address:	4 GILBERT AVE	Community:	
Legal Description:	PLAN 1338 PT LOT 33		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey rear addition and a rear yard deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.10.40.40.(2)(A), By-law 569-2013 and Section 6(3) Part VI 1(I), By-law 438-86**
The maximum permitted floor space index is 0.69 times the area of the lot (65.12 m²).
The altered dwelling will have a floor space index of 0.99 times the area of the lot (92.97 m²).
- Section 10.10.40.70.(2), By-law 569-2013**
The minimum required rear yard setback is 2.9 m.
Section 6(3) Part VI 1(III), By-law 438-86
The minimum required rear yard setback is 7.5 m.
Section 10.10.40.70.(2), By-law 569-2013 and Section 6(3) Part VI 1(III), By-law 438-86
The altered dwelling will be located 1.2 m from the rear lot line.
- Section 10.5.40.60.(1)(C), By-law 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade, may encroach into the required rear yard setback 1.45 m.
The proposed platform will encroach 1.99 m into the required rear yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

SIGNATURE PAGE

File Number:	A0140/17EYK	Zoning	R & R2 Z0.6
Owner:	DEANNA DJOS RAQUEL GRAND	Ward:	Davenport (17)
Agent:	DEANNA DJOS	Heritage:	Not Applicable
Property Address:	4 GILBERT AVE	Community:	
Legal Description:	PLAN 1338 PT LOT 33		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

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Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, June 15, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0288/17EYK	Zoning	RM & R2
Owner(s):	RAMADBANI M W PONDA RHOBI ALANA CHACHA	Ward:	York South-Weston (12)
Agent:	VASILY GUNBIN	Heritage:	Not Applicable
Property Address:	82 DUNRAVEN DR	Community:	
Legal Description:	PLAN 1896 EPT WPT PT LOT 387		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a three-storey rear addition and a new rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.80.40.40.(1)(A); By-law 569-2013 and Section 8.3.(a) By-law 1-83**
The maximum permitted floor space index is 0.8 times the area of the lot.
The altered dwelling will have a floor space index of 0.83 of the lot area.
- 2. Section 8.3.(a) By-law 1-83**
The minimum required side yard setback is 0.5 m on one side and 1.2 m on the other side.
The altered dwelling will be located 0.33 m from the west side lot line and 0.49 m from the east side lot line.
- 3. Section 10.80.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 8.5 m.
The proposed height of the side exterior main walls facing a side lot line is 8.68 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for permit to injure or destroy privately owned trees.

SIGNATURE PAGE

File Number:	A0288/17EYK	Zoning	RM & R2
Owner:	RAMADBANI M W PONDA RHOBI ALANA CHACHA	Ward:	York South-Weston (12)
Agent:	VASILY GUNBIN	Heritage:	Not Applicable
Property Address:	82 DUNRAVEN DR	Community:	
Legal Description:	PLAN 1896 EPT WPT PT LOT 387		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

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Manager & Deputy Secretary Treasurer
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NOTICE OF DECISION
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(Section 45 of the Planning Act)

File Number:	A0335/17EYK	Zoning	RM & R2
Owner(s):	DARINKA JOKANOVIC	Ward:	York South-Weston (11)
Agent:	BRANKO MLADENOV	Heritage:	Not Applicable
Property Address:	24 SYNDICATE AVE	Community:	
Legal Description:	PLAN 1013 N PT LOT 34 N PT LOT 35 PT LOT 36		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To convert the existing basement into a second suite and to construct a new basement walk-out.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 3.3.1.(a), By-law 1-83

Unenclosed steps may encroach into the front yard from the ground to the ground floor.
The proposed steps will encroach into the front yard from the ground to the basement floor which is not permitted.

2. Section 150.10.40.1.(3)(A), By-law 569-2013

A secondary suite is a permitted use provided that an addition or exterior alteration to a building to accommodate a secondary suite does not alter or add to a main wall or roof that faces a street.
The proposed basement walk-out will alter the front wall that faces a street.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

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- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0335/17EYK	Zoning	RM & R2
Owner:	DARINKA JOKANOVIC	Ward:	York South-Weston (11)
Agent:	BRANKO MLADENOV	Heritage:	Not Applicable
Property Address:	24 SYNDICATE AVE	Community:	
Legal Description:	PLAN 1013 N PT LOT 34 N PT LOT 35 PT LOT 36		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

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Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 15, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0353/17EYK	Zoning	R & R2 Z0.6
Owner(s):	MELISA VELIC MIRALEM VELIC	Ward:	Parkdale-High Park (13)
Agent:	MIRALEM VELIC	Heritage:	Not Applicable
Property Address:	327 RUNNYMEDE RD	Community:	
Legal Description:	PLAN M135 PT LOTS 48 & 49		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a rear second storey addition with a rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 6(3) Part VI 1(I), By-law 438-86

The maximum permitted floor space index is 0.69 times the area of the lot (268.82 m²).
The altered dwelling will have a floor space index of 0.7 times the area of the lot (271.25 m²).

2. Section 6(2)1(iii)A, By-law 438-86

A converted house is a permitted use provided an addition to a part of the exterior does not increase the gross floor area by more than 0.15 times the area of the lot with for greater certainty only one addition may be erected either at the time of the conversion or thereafter.
The altered dwelling will have a second addition.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0353/17EYK	Zoning	R & R2 Z0.6
Owner:	MELISA VELIC MIRALEM VELIC	Ward:	Parkdale-High Park (13)
Agent:	MIRALEM VELIC	Heritage:	Not Applicable
Property Address:	327 RUNNYMEDE RD	Community:	
Legal Description:	PLAN M135 PT LOTS 48 & 49		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 15, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0354/17EYK	Zoning	RD & R4
Owner(s):	MASSIMINO GRANDE MELENA GRANDE	Ward:	York South-Weston (12)
Agent:	ARCHITECTURE UNFOLDED	Heritage:	Not Applicable
Property Address:	11 CORNELIUS PKWY	Community:	
Legal Description:	PLAN 3244 E PT LOT 132 WPT 133		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10.(5)(A), By-law 569-2013 & Section 13.2.3(b), By-law 7625**
The minimum required side yard setback is 1.8 m.
The proposed dwelling will be located 1.23 m from the west side lot line.
- Section 10.20.40.10.(6), By-law 569-2013**
The maximum permitted height of the first floor is 1.2 m above established grade.
The proposed dwelling will have a first floor height of 1.29 m above established grade.
- Section 10.5.50.10.(1)(C), By-law 569-2013 & Section 7.4A, By-law 7625**
A minimum of 60% of the front yard shall be maintained as landscaping (77.4 m²).
A total of 47.7% of the front yard will be maintained as landscaping (61.5 m²).
- Section 10.5.100.1.(1)(C), By-law 569-2013 & Section 6A(5)a, By-law 7625**
The maximum permitted driveway width is 6 m.
The proposed driveway will have a width of 7.42 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
2. The proposed driveway will be constructed of permeable materials, to the satisfaction of the Director, Community Planning, Etobicoke York District.
3. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 3.1 Illustrate the following notations on a revised site plan:
 - a. "The applicant shall obtain the necessary authorizations and permits from the City's Right-of-Way Management Unit before excavating within or encroaching into the municipal road allowance."; and
 - b. "The applicant shall also submit a Municipal Road Damage Deposit (MRDD) prior to obtaining a Building Permit." The applicant is required to contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 regarding municipal road damage deposit requirements;
 - 3.2 The applicant shall submit a revised site plan (1:200 or 1:250 in metric scale) illustrating the above-noted Condition (No. 3), no later than July 31, 2018.

SIGNATURE PAGE

File Number:	A0354/17EYK	Zoning	RD & R4
Owner:	MASSIMINO GRANDE MELENA GRANDE	Ward:	York South-Weston (12)
Agent:	ARCHITECTURE UNFOLDED	Heritage:	Not Applicable
Property Address:	11 CORNELIUS PKWY	Community:	
Legal Description:	PLAN 3244 E PT LOT 132 WPT 133		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, June 15, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0376/17EYK	Zoning	RD & R4
Owner(s):	MAGDALENA MARIA FURMANSKI WILLIAM JOSEPH ADAMS	Ward:	York South-Weston (12)
Agent:	WILLIAM JOSEPH ADAMS	Heritage:	Not Applicable
Property Address:	37 PARKCHESTER RD	Community:	
Legal Description:	PLAN 3578 LOT 101		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling and a new covered front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.5.40.70.(1)(B), By-law 569-2013**
The minimum required front yard setback is 6.68 m.
Section 13.2.3(a), By-law 7625
The minimum required front yard setback is 6.5 m.
Section 10.5.40.70.(1)(B), By-law 569-2013 & Section 13.2.3(a), By-law 7625
The altered dwelling will be located 4.95 m from the front lot line.
- Section 90.3.10.(5)(A), By-law 569-2013**
The minimum required side yard setback is 1.8 m.
The altered dwelling will be located 1.23 m from the east side lot line.
- Section 6(9)(f), By-law 7625**
Porches, decks and canopies are not permitted to project more than 2.1 m into a required front yard setback.
The proposed porch will project 2.27 m into the required front yard setback.
- Section 10.5.50.10.(1)(C), By-law 569-2013**
A minimum of 60% of the front yard shall be maintained as landscaping (55.68 m²).
A total of 55.3% of the front yard will be maintained as landscaping (41.48 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The proposal shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment office, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0376/17EYK	Zoning	RD & R4
Owner:	MAGDALENA MARIA FURMANSKI WILLIAM JOSEPH ADAMS	Ward:	York South-Weston (12)
Agent:	WILLIAM JOSEPH ADAMS	Heritage:	Not Applicable
Property Address:	37 PARKCHESTER RD	Community:	
Legal Description:	PLAN 3578 LOT 101		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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SITE STATISTICS

SITE AREA TOTAL AREA = 6,000 sq.ft (557.40 sq.m)

GROSS FLOOR AREA CALCULATIONS

EXISTING GROSS FLOOR AREA CALCULATIONS

EXISTING MAIN FLOOR = 805.80 sq.ft (74.86 sq.m)

EXISTING SECOND FLOOR = 523.10 sq.ft (48.59 sq.m)

TOTAL EXISTING GROSS FLOOR AREA = 1,328.90 sq.ft (123.45 sq.m)

PROPOSED GROSS FLOOR AREA CALCULATIONS

PROPOSED SECOND FLOOR = 845.80 sq.ft (78.57 sq.m)

PROPOSED TOTAL GROSS FLOOR AREA = 1,651.60 sq.ft (153.43 sq.m)

GROSS FLOOR AREA (GFA) FLOOR SPACE INDEX CALCULATIONS

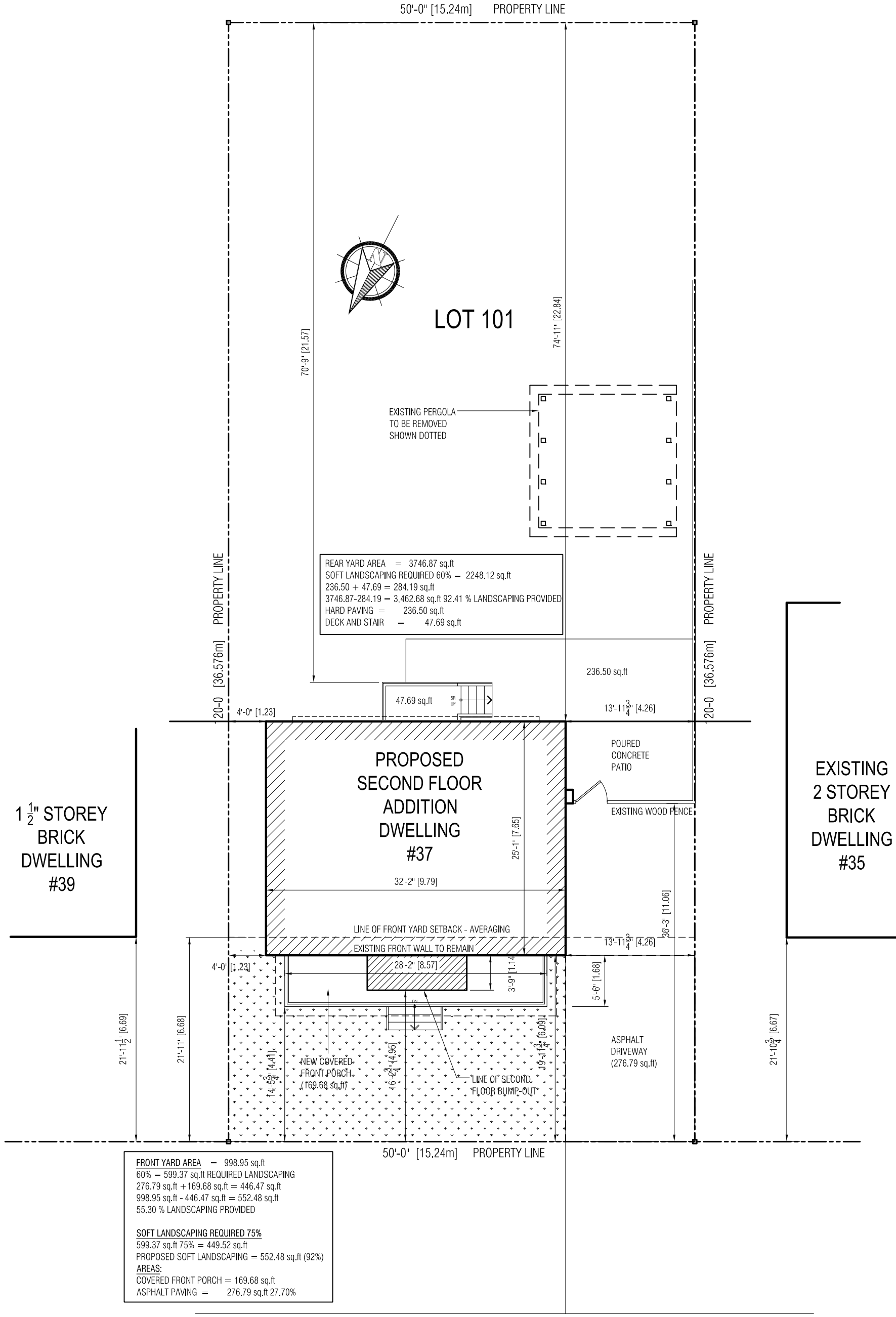
PROPOSED FLOOR SPACE INDEX (0.275) = 1,651.60 SQ.FT (153.43 sq.m)

MAX. BUILDING LENGTH

ALLOWABLE BUILDING DEPTH = 17m (55.76')

PROPOSED BUILDING DEPTH = 13.35m (43.10')

50'-0" [15.24m] PROPERTY LINE



PARKCHESTER ROAD

Studio Salazar

T 416 624 6003 F 416 946 1982
 E carlos@studiosalazar.ca

The Contractor is to verify all dimensions on site before building and report any error, omissions, or discrepancies to the designer. Drawings are instruments of service and remain the property of the designer. Copyright of the drawings and the work executed therefrom are reserved by the designer. Drawings are not to be scaled.

SITE PLAN

37 PARKCHESTER ROAD TORONTO, ON.

Scale:
 Project No. :
 CAD File:

1:125

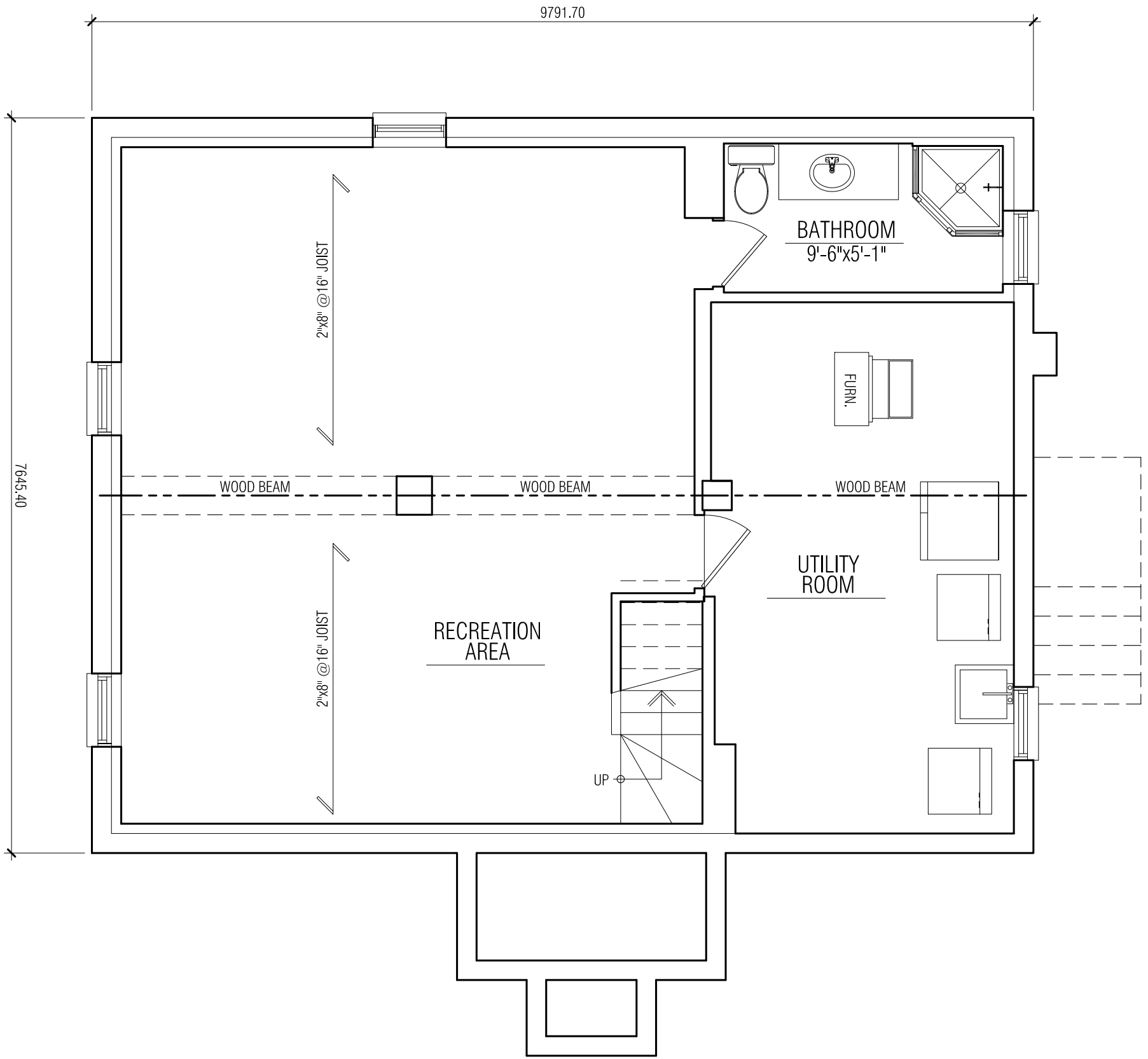
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 Plot Date:
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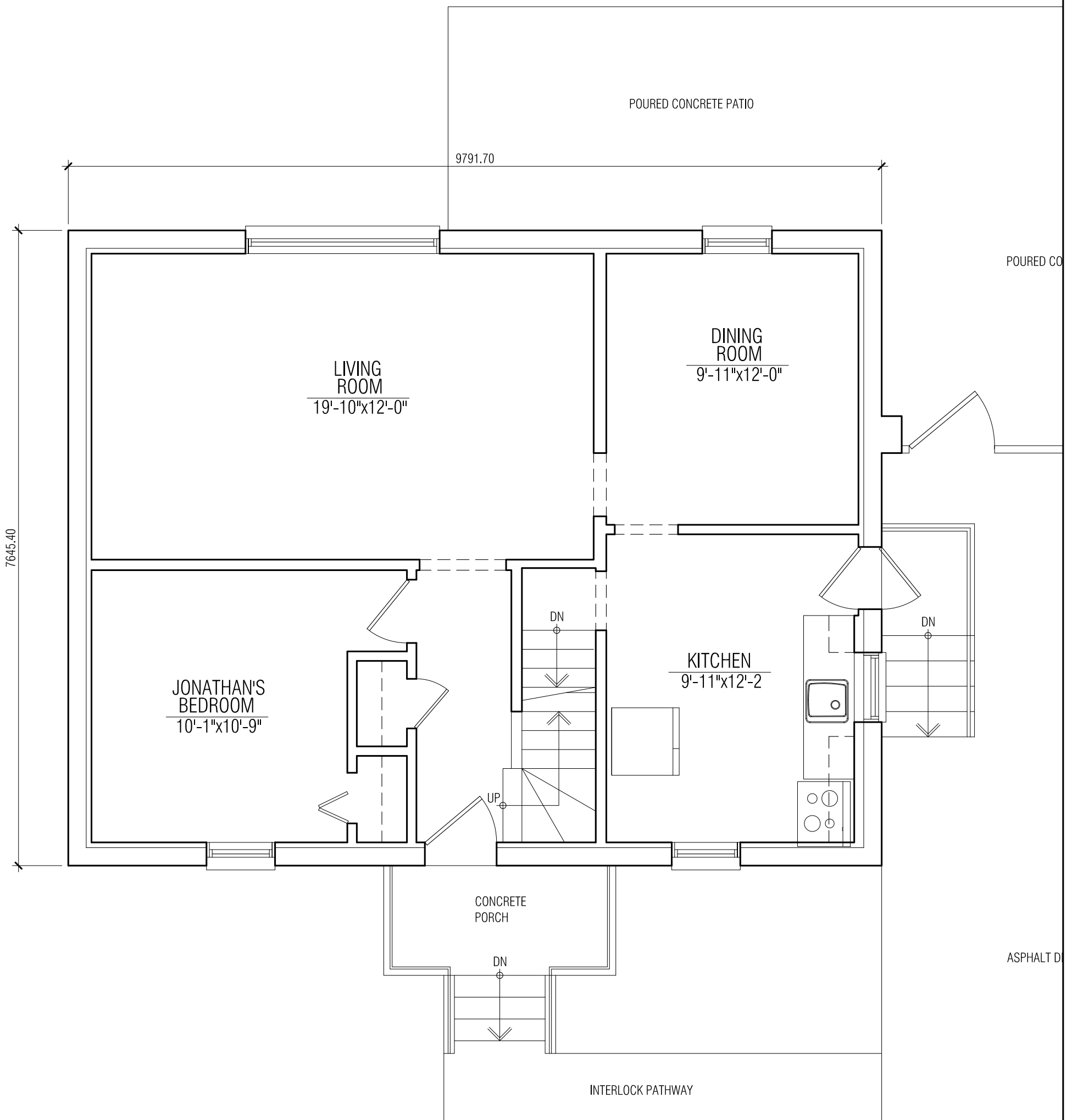
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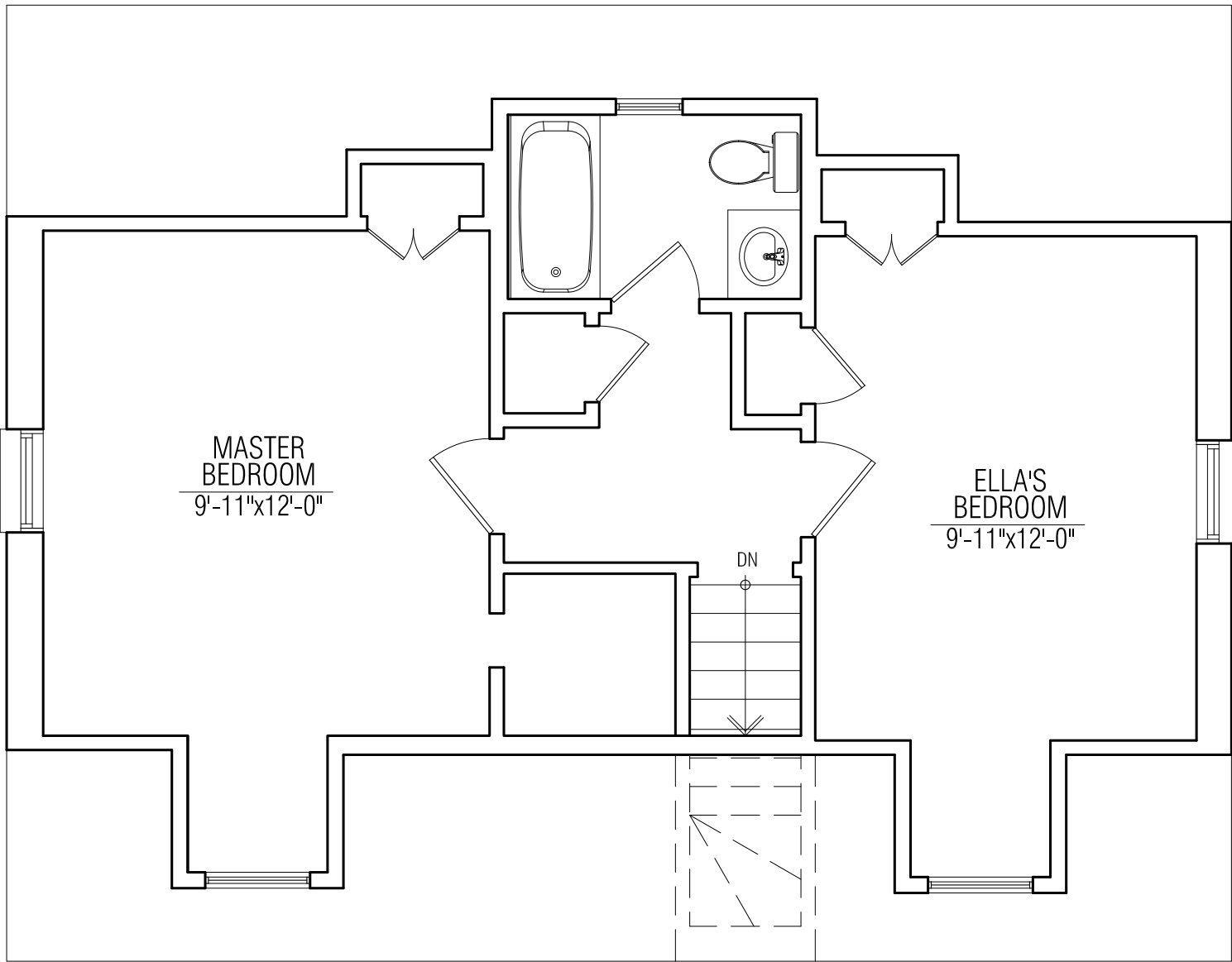
A2

APR.11.17

C of A







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Salazar**

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EXISTING SECOND FLOOR

37 PARKCHESTER ROAD TORONTO, ON.

Scale:
Project No. :
CAD File:

1:50 | Last Revised:
Plot Date:
Issued for:

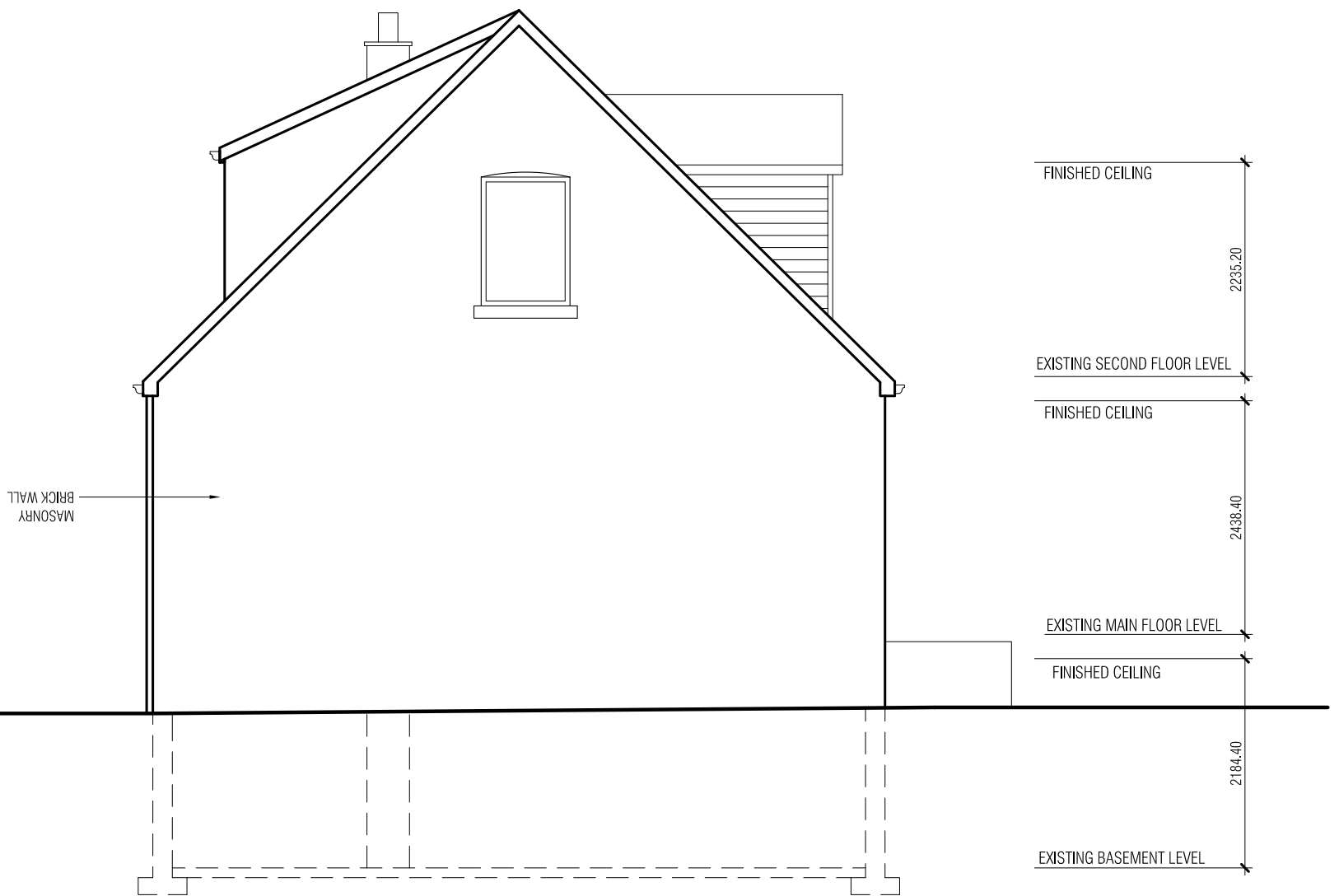
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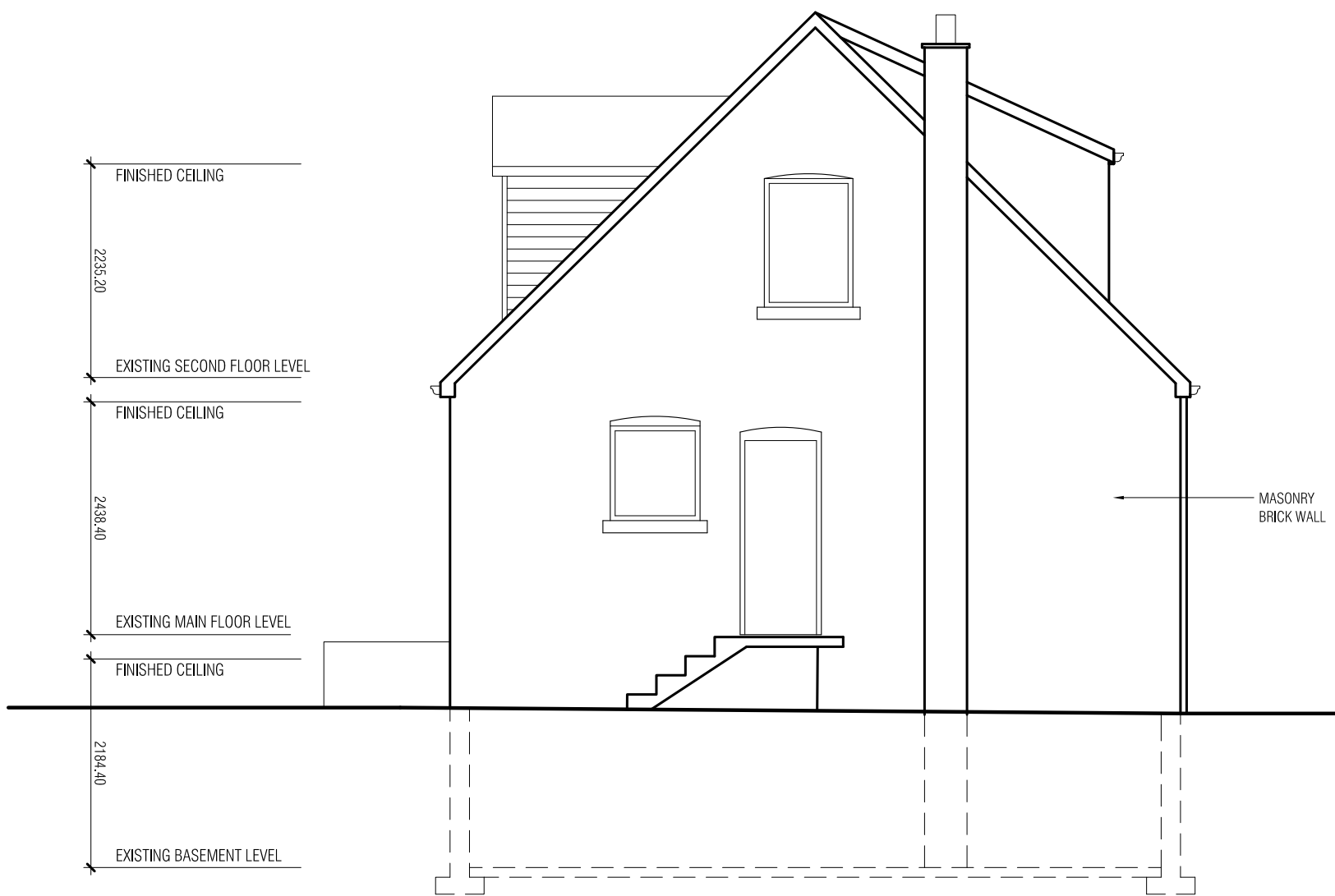
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APR.11.17

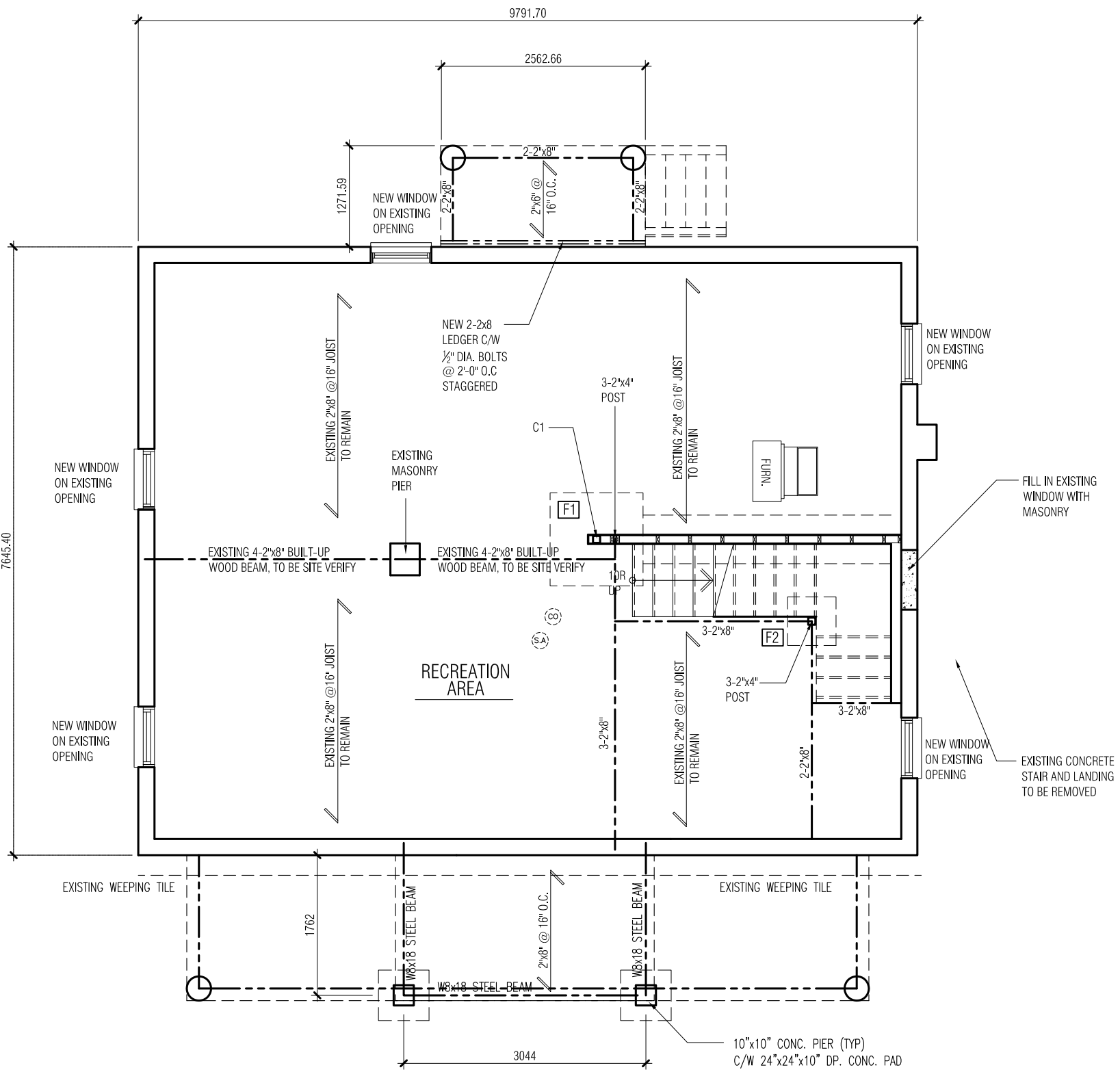
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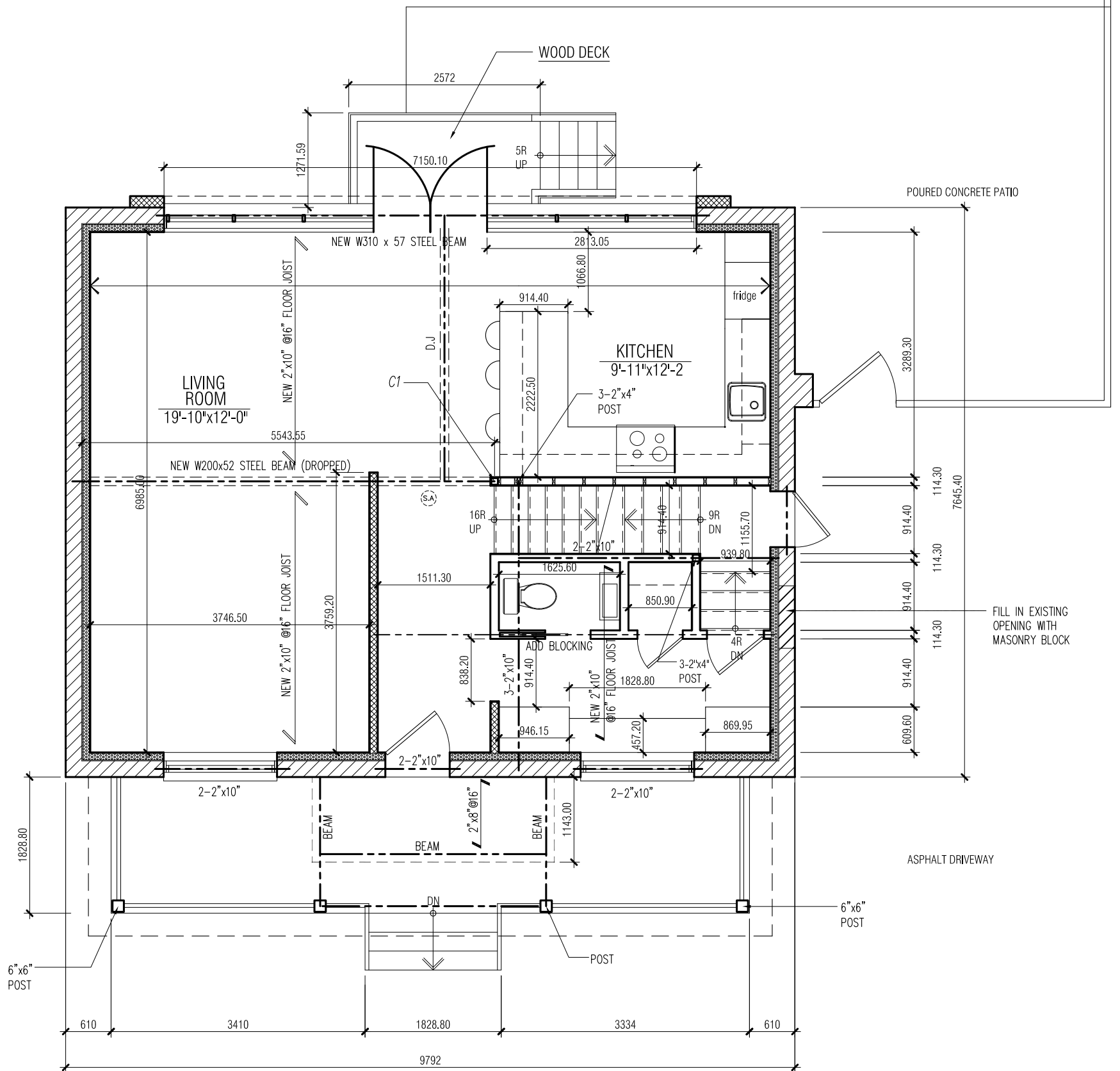












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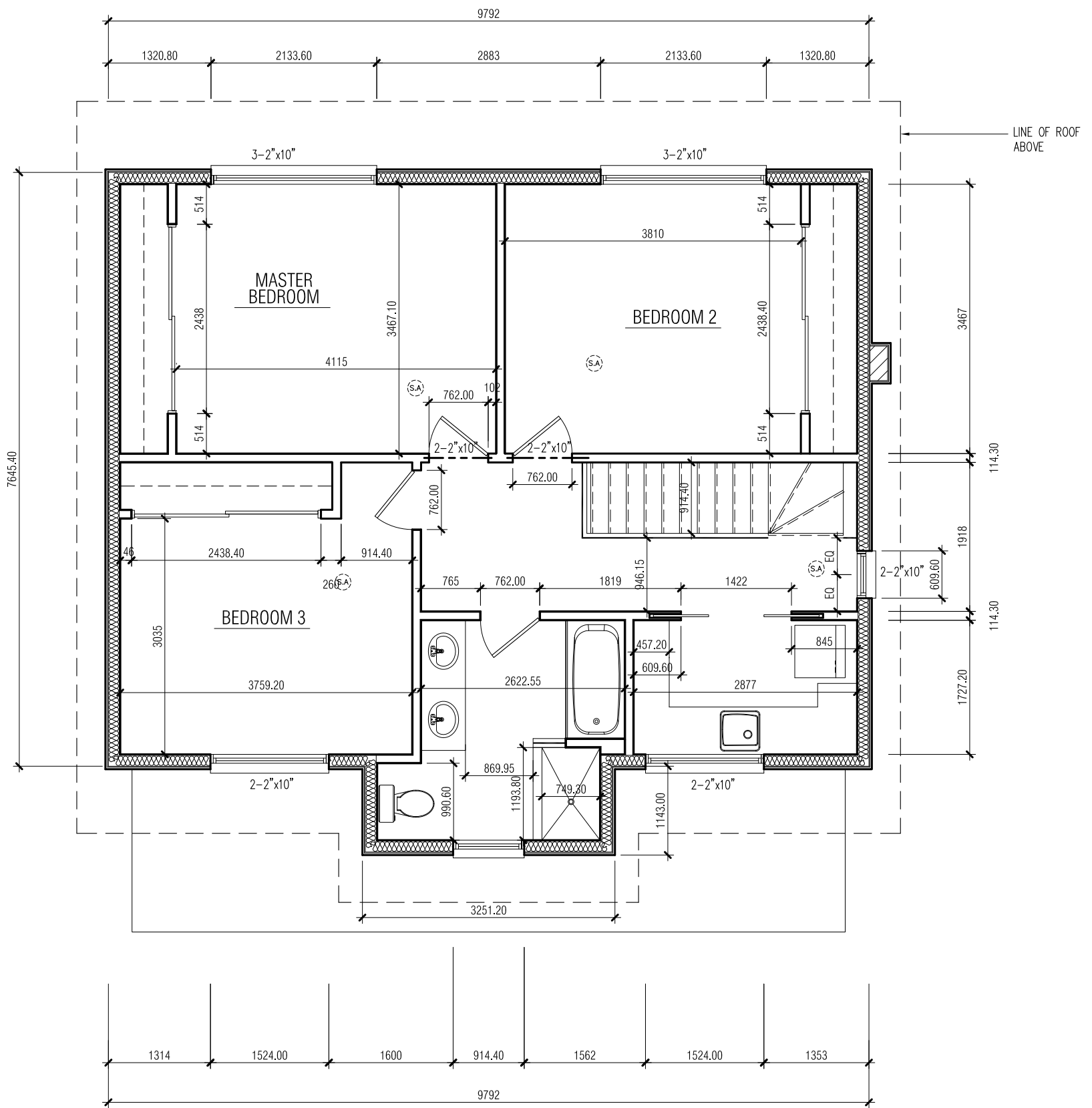
PROPOSED MAIN FLOOR PLAN
37 PARKCHESTER ROAD TORONTO, ON.

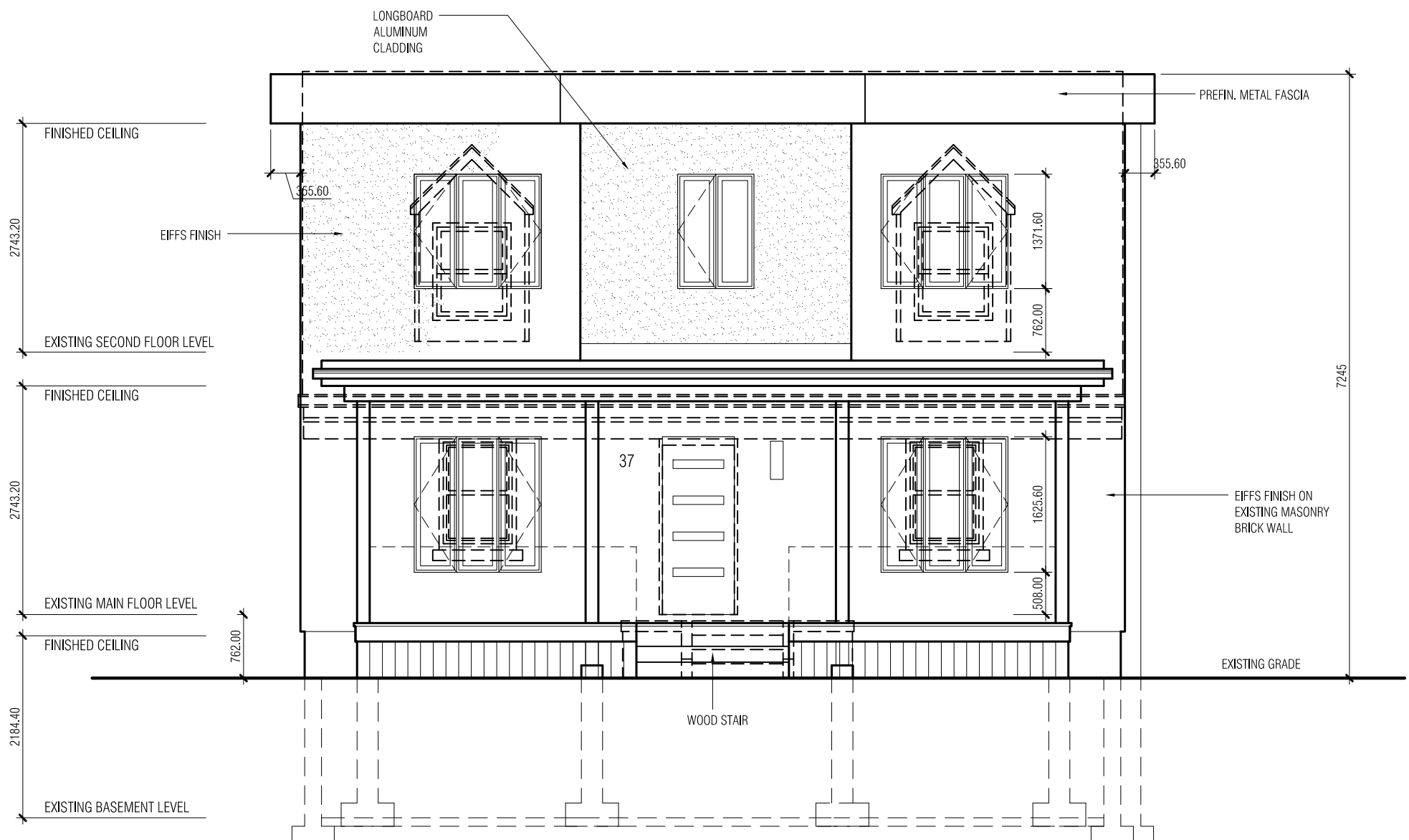
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Project No. :
CAD File:

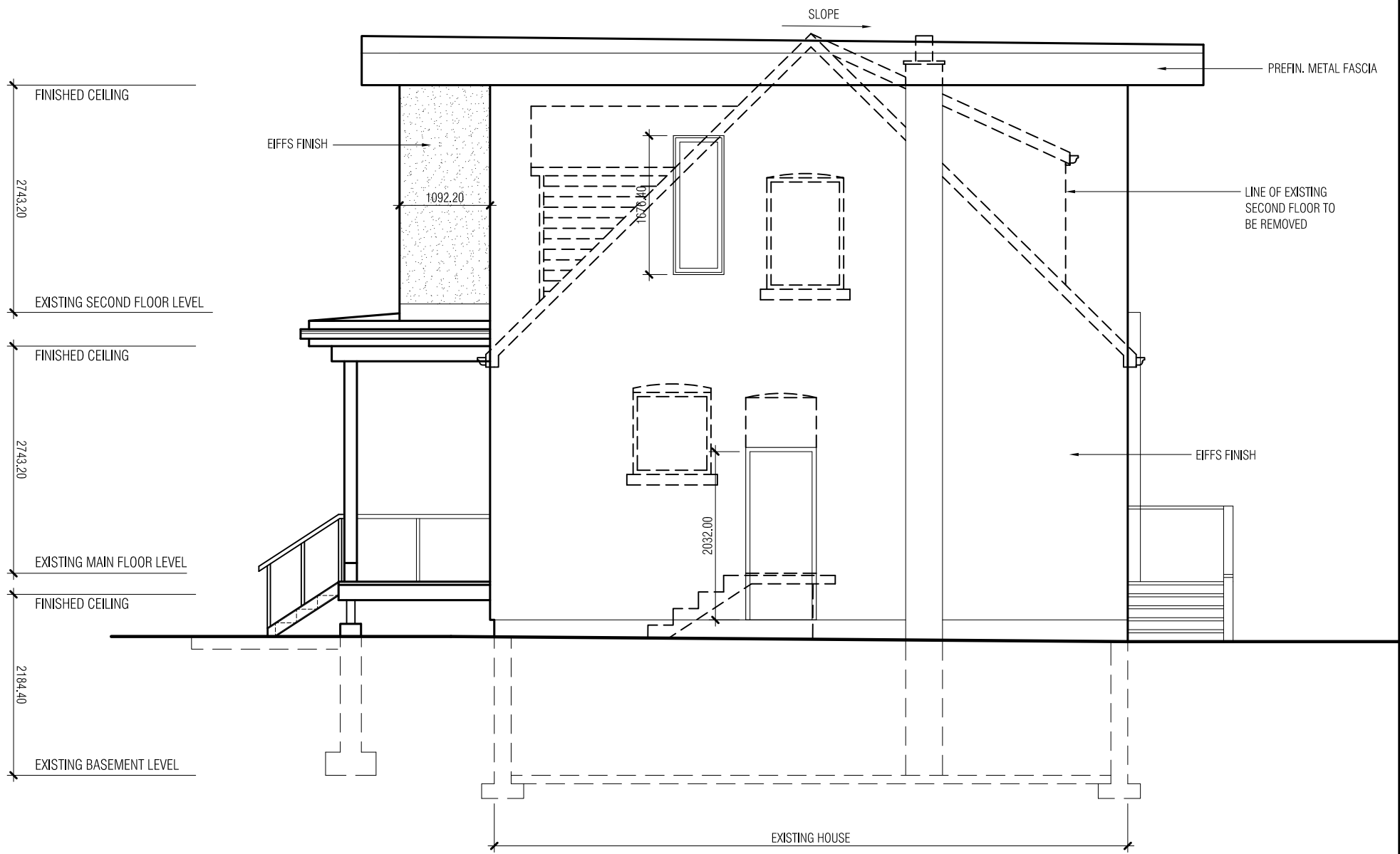
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Plot Date:
Issued for:

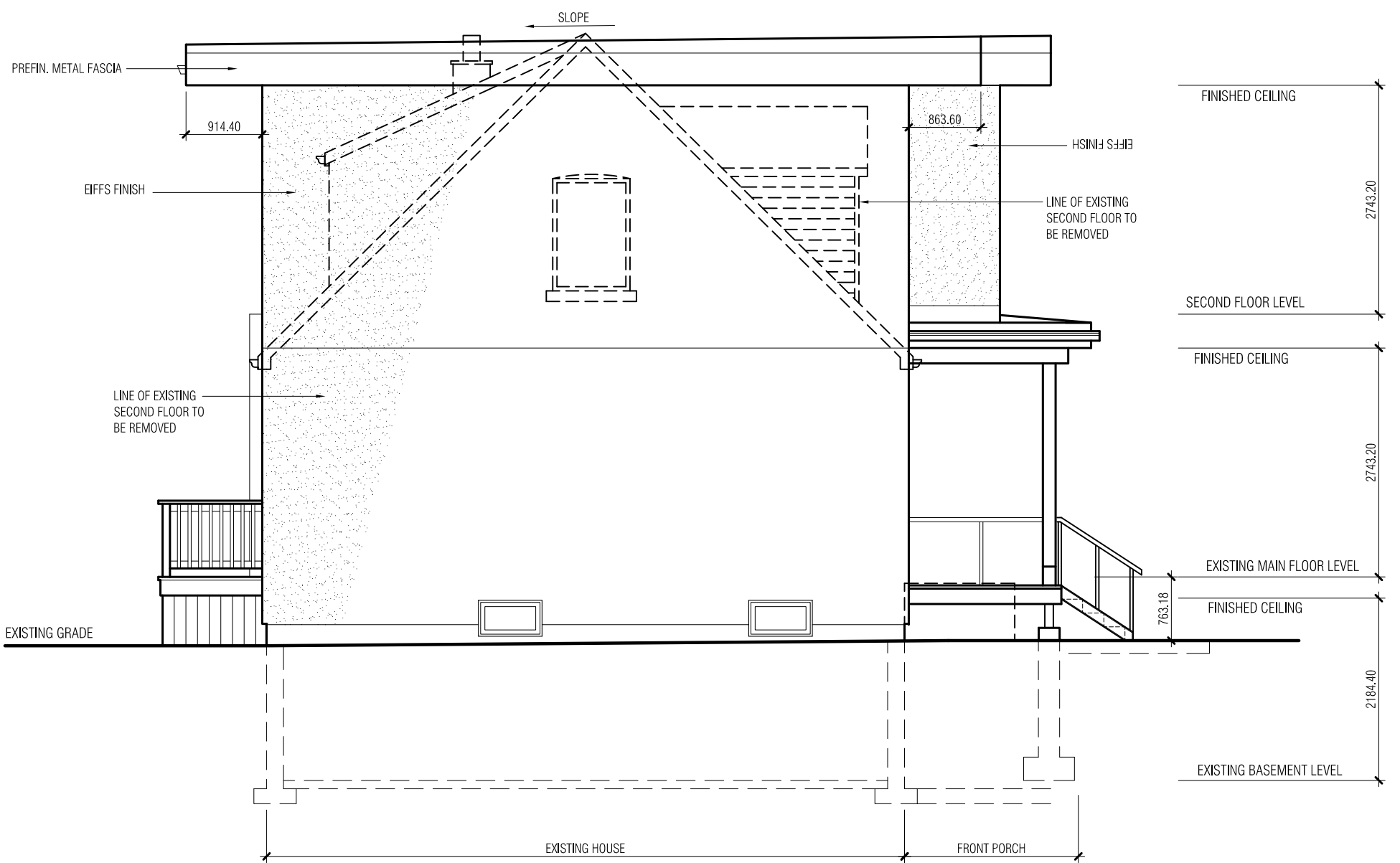
Drawing No.
A11

APR.11.17
C of A









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Salazar**

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PROPOSED LEFT (EAST) ELEVATION
37 PARKCHESTER ROAD TORONTO, ON.

Scale:
Project No. :
CAD File:

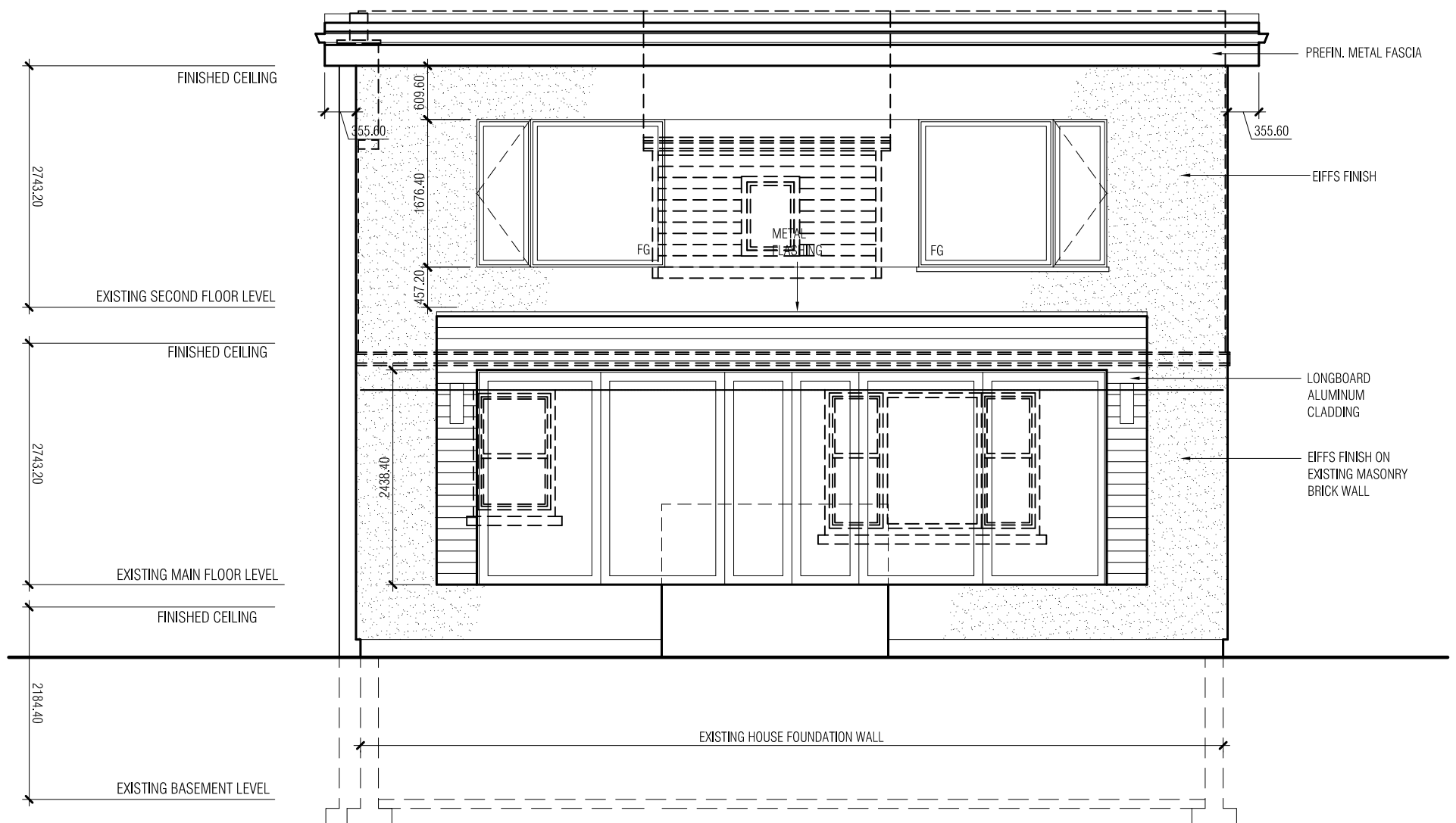
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Last Revised:
Plot Date:
Issued for:

Drawing No.
A15

APR.11.17

C of A



Studio Salazar

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E carlos@studiosalazar.ca

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PROPOSED REAR (SOUTH) ELEVATION
37 PARKCHESTER ROAD TORONTO, ON.

Scale:
Project No. :
CAD File:

1:65
Last Revised:
Plot Date:
Issued for:

Drawing No.
A16

APR.11.17
C of A

Thursday, June 15, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0378/17EYK	Zoning:	RM & R2
Owner(s):	NICHOLAS EDDY MELANIE JACOBSON	Ward:	Parkdale-High Park (13)
Agent:	SOL ARCH	Heritage:	Not Applicable
Property Address:	138 VARSITY RD	Community:	
Legal Description:	PLAN 1915 LOT 109		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey cantilevered addition and to create a secondary suite in the basement.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.40.40.(1)(A), By-law 569-2013 and Section 8.(3)(1), By-law 1-83**
The maximum permitted floor space index is 0.6 times the area of the lot.
The altered dwelling will have a floor space index of 0.78 times the area of the lot.
- Section 10.5.40.71.(3), By-law 569-2013**
The minimum required side yard setback is 0.88 m
Section 8.(3)(a), By-law 1-83
The minimum required side yard setback is 0.5 m on one side and 1.2 m on the other side
Section 8.(3)(g), By-law 3623-97
The minimum required side yard setback is 1.2 m.
Section 10.5.40.71.(3), By-law 569-2013 and Section 8.(3)(a), By-law 1-83 and Section 8.(3)(g), By-law 3623-97
The altered dwelling will be located 0.56 m from the north side lot line and 0.22 m from the south side lot line.
- Section 10.80.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The altered dwelling will have a length of 17.8 m.
- Section 200.5.10.1.(1), By-law 569-2013 and Section 3.2.1.D.1, By-law 1-83 and By-law 3623-97**
A total of 2 on-site parking spaces are required.
No parking spaces will be provided.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The proposal shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0378/17EYK	Zoning	RM & R2
Owner:	NICHOLAS EDDY MELANIE JACOBSON	Ward:	Parkdale-High Park (13)
Agent:	SOL ARCH	Heritage:	Not Applicable
Property Address:	138 VARSITY RD	Community:	
Legal Description:	PLAN 1915 LOT 109		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

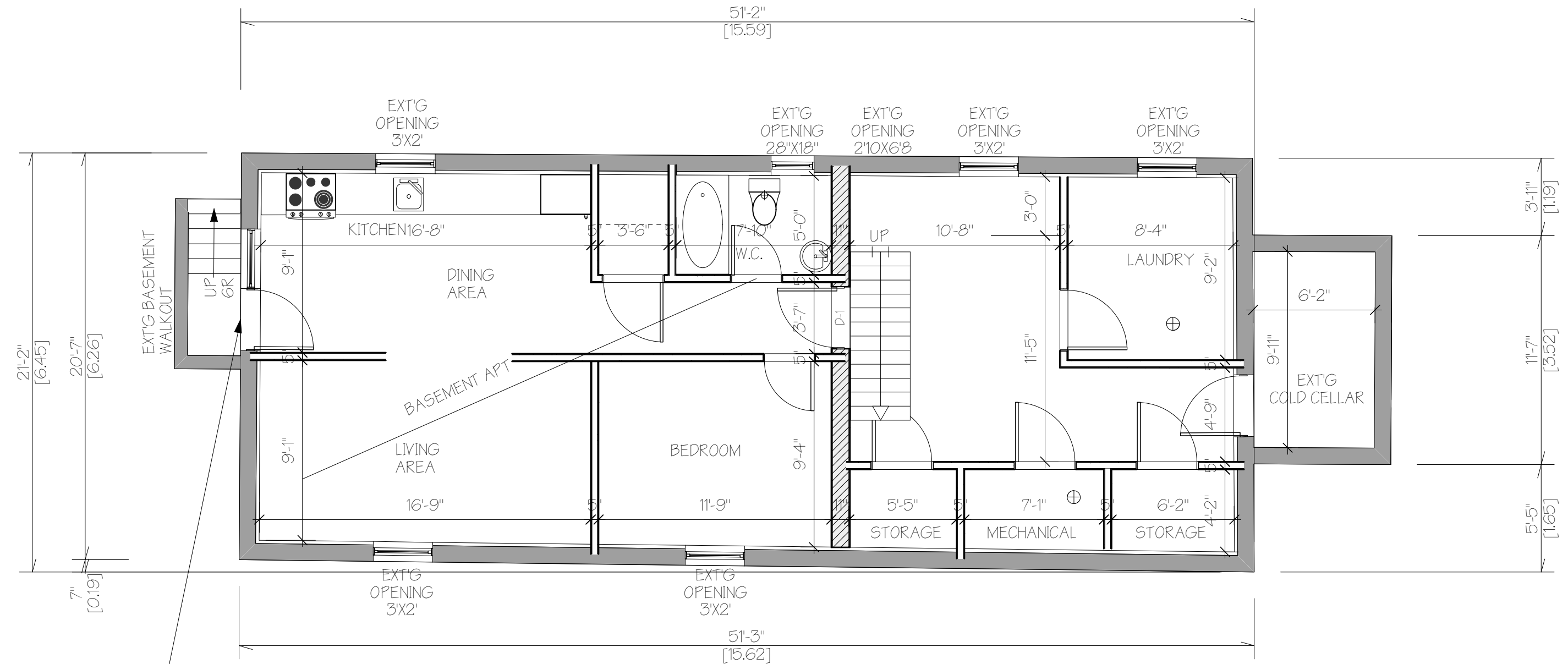
To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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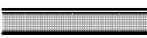
NOTE:
ALL EXTERIOR WALLS AND OPENINGS AS PER EXISTING



EXT'G OPENING
3'X6'8"

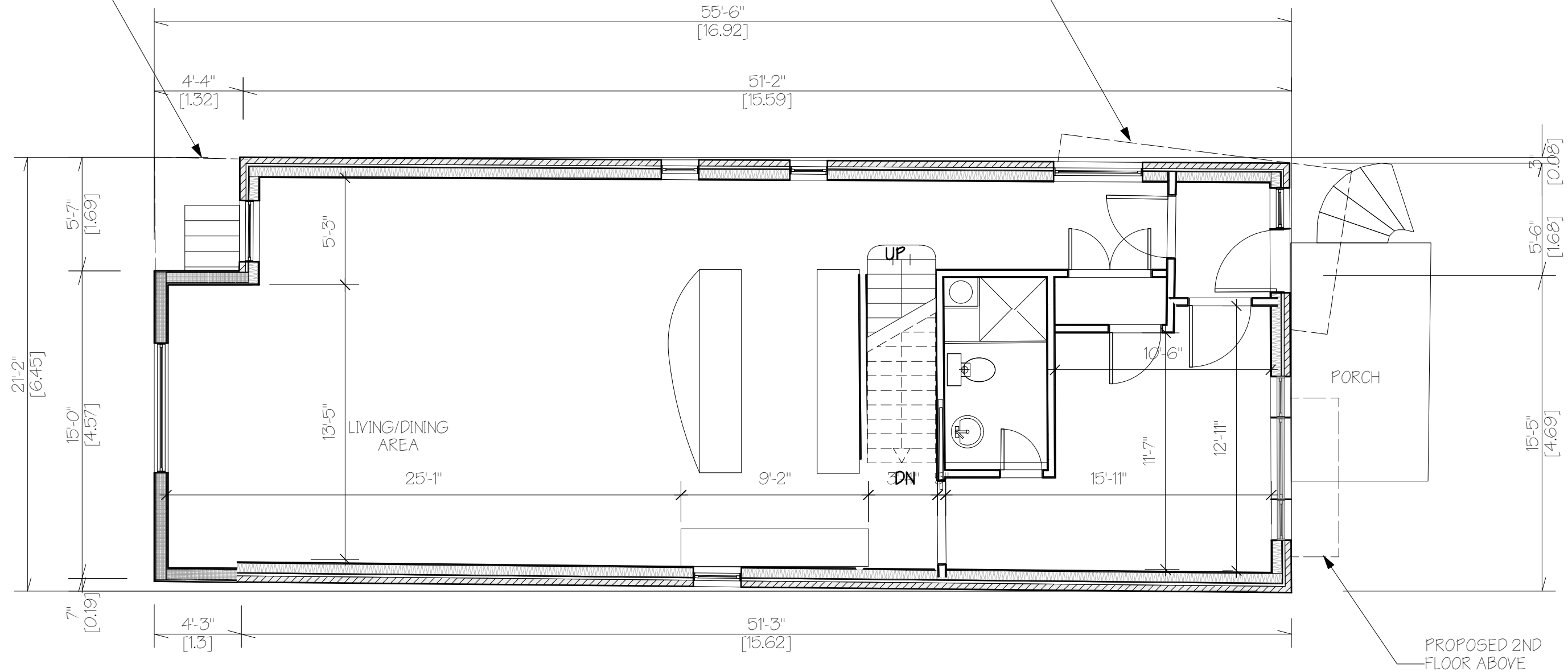
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						Reviewed By John	Sheet No. 1 of _____
						Date JANUARY 17/2017	
						CAD File Name	

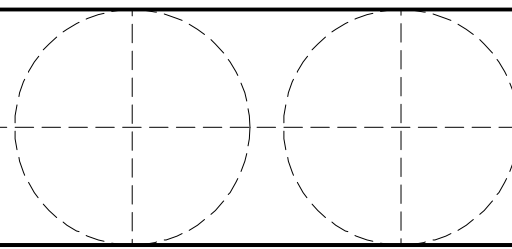
WALL LEGEND

-  EXISTING EXTERIOR WALL
-  PROPOSED EXTERIOR WALL

PROPOSED 2ND FLOOR ABOVE

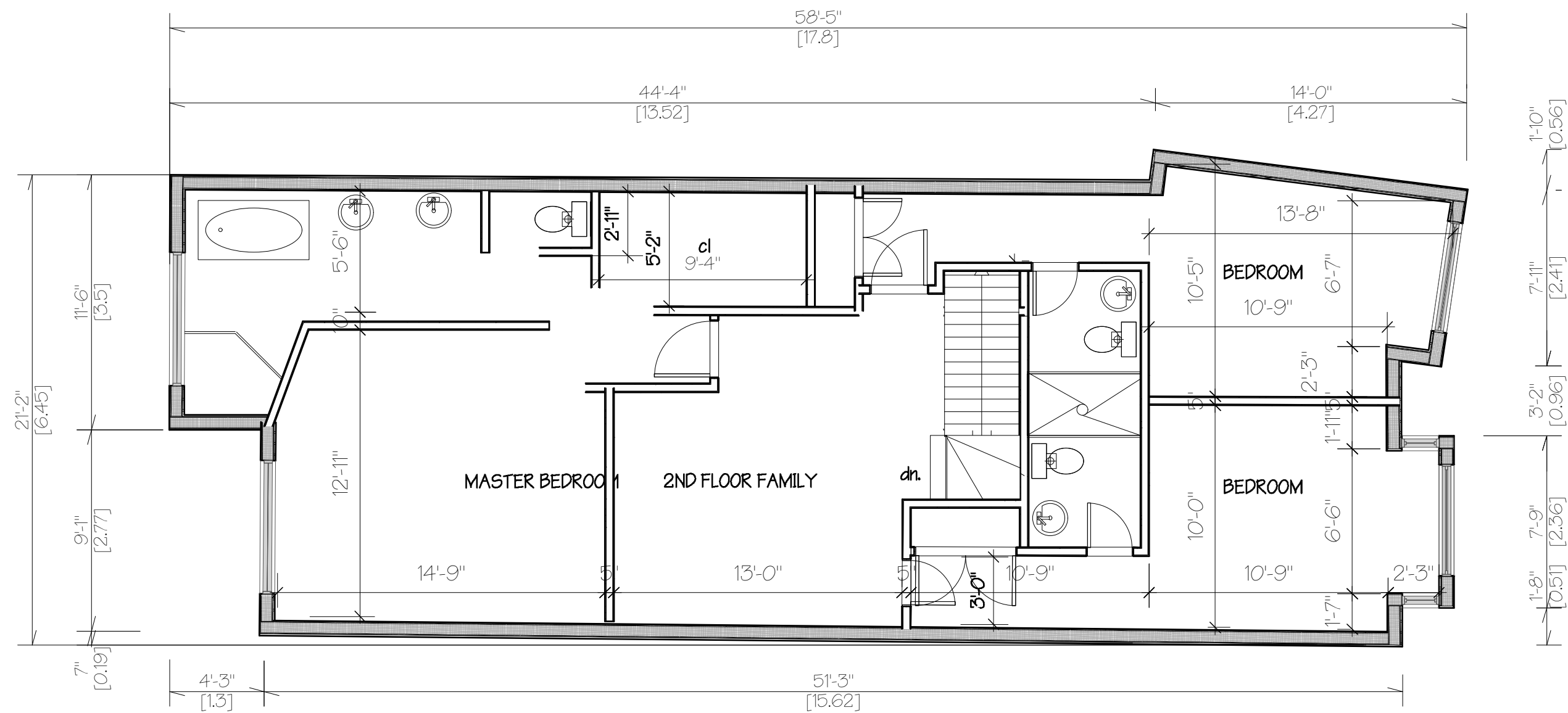
PROPOSED 2ND FLOOR ABOVE

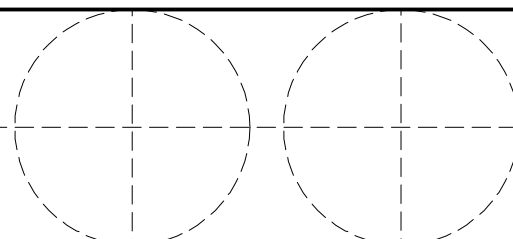


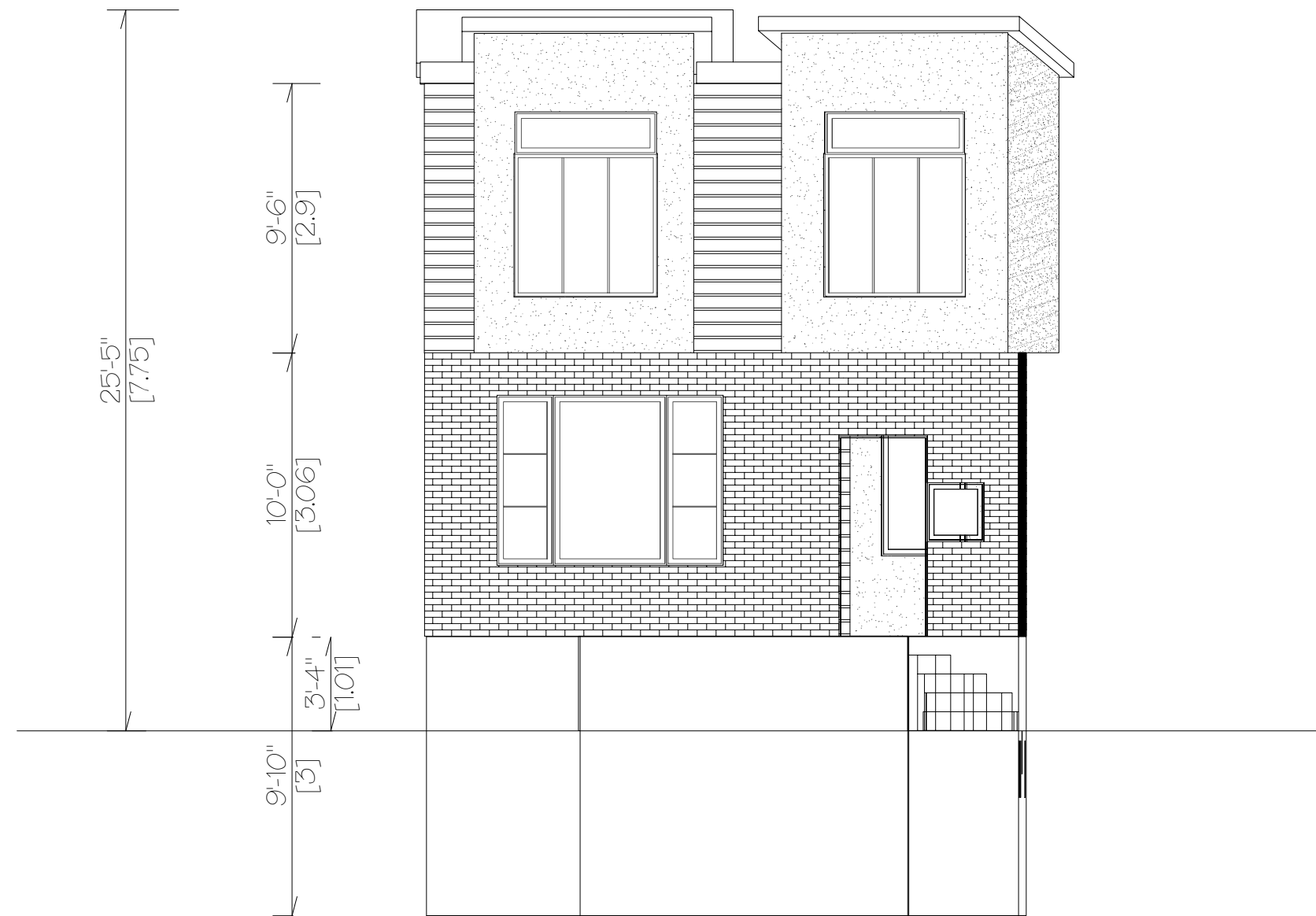
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				Consultant	Sheet Title GROUND FLOOR PLAN	Drawn By Jonathan	Scale 3/16"=1'-0"
						Reviewed By Jo'n	Sheet No. 2 of
						Date JANUARY 17/2017	
						CAD File Name	

WALL LEGEND

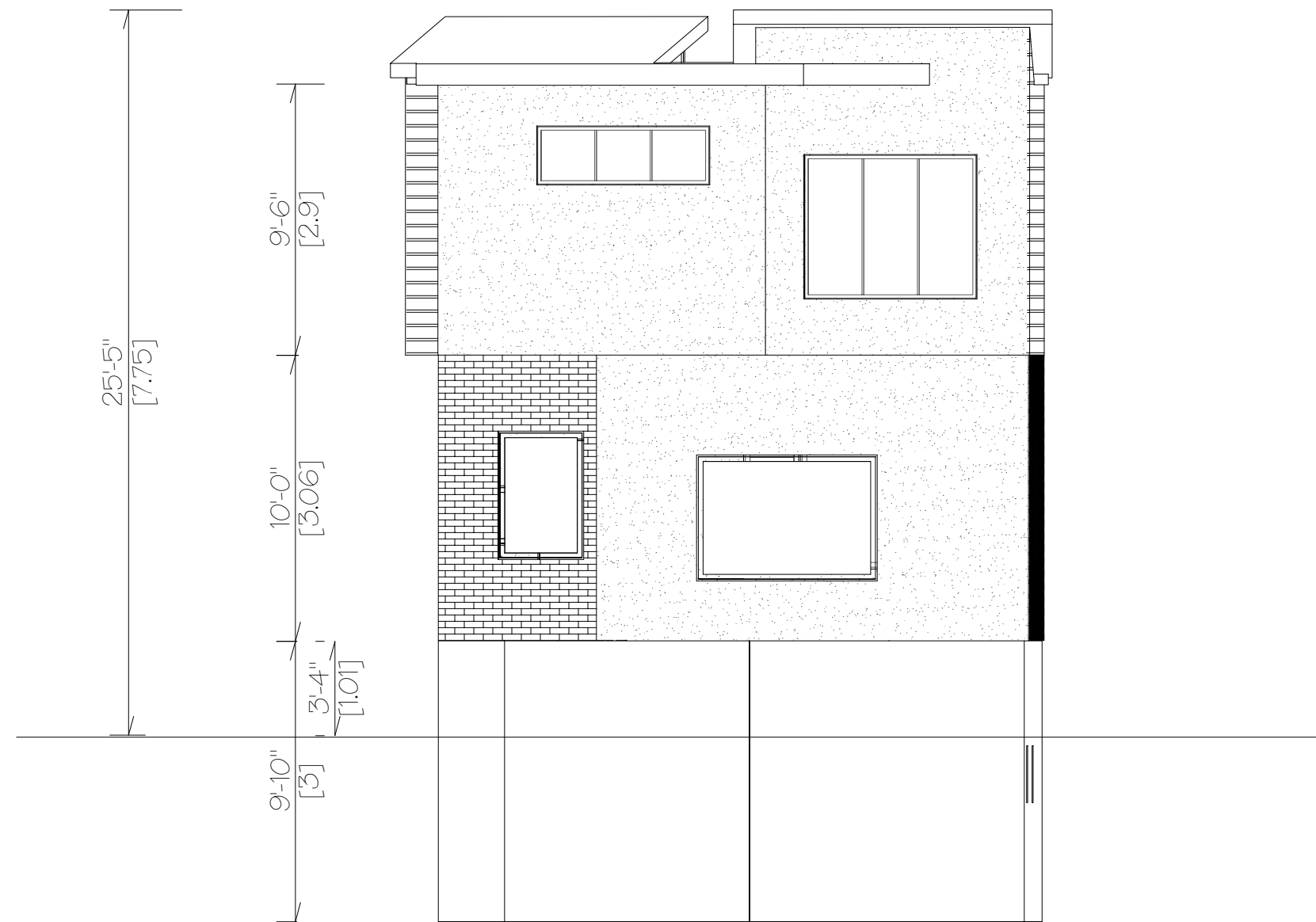
 PROPOSED EXTERIOR WALL



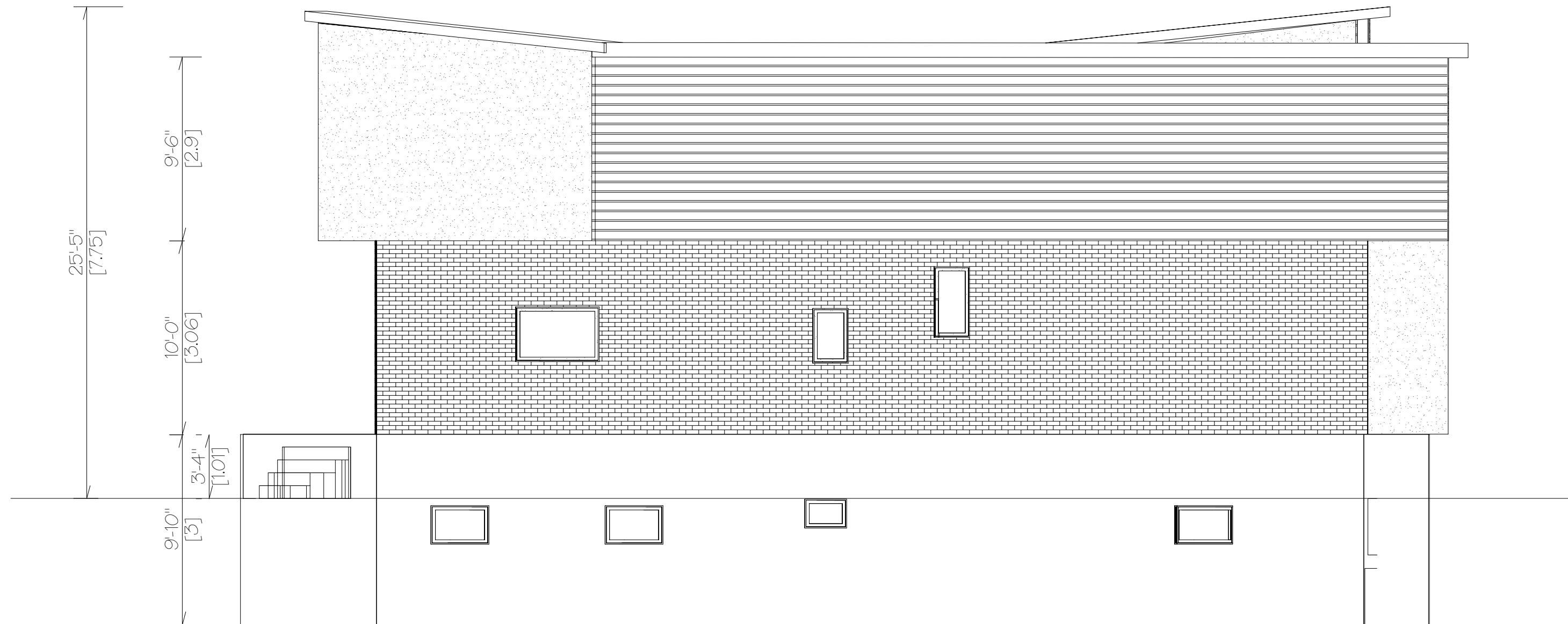
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						Reviewed By Jo'n	Sheet No. 3 of
						Date JANUARY 17/2017	
						CAD File Name	



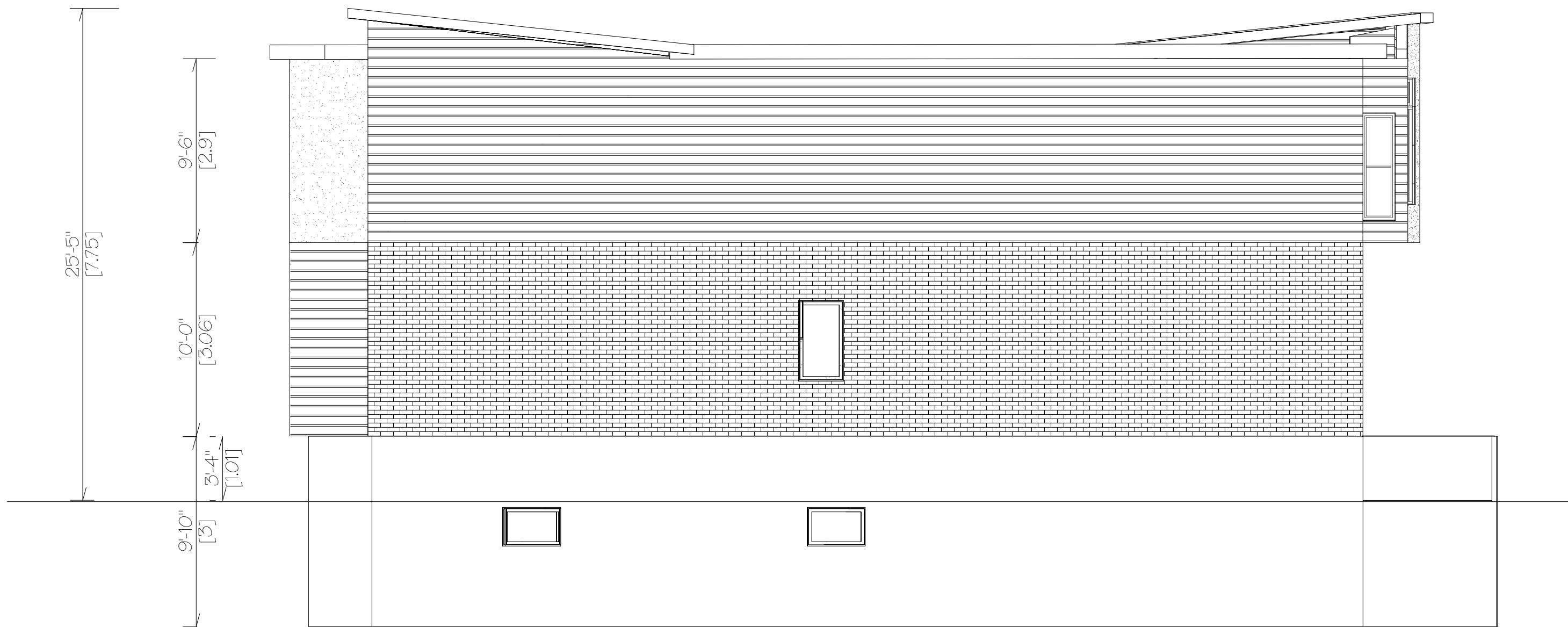
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						Reviewed By John	Sheet No. 4
						Date JANUARY 17/2017	of
						CAD File Name	

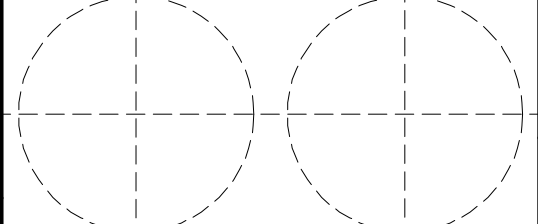


No.	Date	Issue Notes		Design Firm Sol-Arch (ARCHITECTURE + PLANNING) 416-884-3446	Project Title 138 Varsity Avenue City of Toronto West District	Project Manager Jonathan	Project ID
				Consultant	Sheet Title REAR ELEVATION	Drawn By Jonathan	Scale 3/16"=1'-0"
						Reviewed By John	Sheet No. 5 _____ of _____
						Date JANUARY 17/2017	
						CAD File Name	



No.	Date	Issue Notes		Design Firm Sol-Arch (ARCHITECTURE + PLANNING) 416-884-3446	Project Title 138 Varsity Avenue City of Toronto West District	Project Manager Jonathan	Project ID
				Consultant	Sheet Title NORTH ELEVATION	Drawn By Jonathan	Scale 3/16"=1'-0"
						Reviewed By John	Sheet No. 6 of
						Date JANUARY 17/2017	
						CAD File Name	



No.	Date	Issue Notes		Design Firm Sol-Arch (ARCHITECTURE + PLANNING) 416-884-3446	Project Title 138 Varsity Avenue City of Toronto West District	Project Manager Jonathan	Project ID
				Consultant	Sheet Title SOUTH ELEVATION	Drawn By Jonathan	Scale 3/16"=1'-0"
						Reviewed By John	Sheet No. 7 of
						Date JANUARY 17/2017	
						CAD File Name	

Thursday, June 15, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0380/17EYK	Zoning	RD & R6
Owner(s):	NELSON DUARTE JACKLYN BALJIT	Ward:	York South-Weston (12)
Agent:	THE ADACAD GROUP	Heritage:	Not Applicable
Property Address:	28 MONARCHDALE AVE	Community:	
Legal Description:	PLAN 3578 LOT 173		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling and a rear two-storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.20.30.40.1(A), By-law 569-2013**
The maximum permitted coverage is 30% of the lot area (122.62 m²).
The altered dwelling will cover 34.09% of the lot area (139.37 m²).
- 2. Section 10.20.40.10.(6), By-law 569-2013**
The maximum permitted first floor height above established grade is 1.2 m.
The altered dwelling will have a first floor height of 1.4 m above established grade.
- 3. Section 6(30)a, By-law 7625**
The maximum finished first floor height is 1.5 m.
The altered dwelling will have a finished first floor height of 1.77 m.
- 4. Section 6(9), By-law 7625**
Porches, decks and canopies shall be permitted to project into the minimum required front yard setback not more than 2.1 m.
The proposed canopy will encroach 2.23 m into the required front yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for permit to injure or destroy privately owned trees.

SIGNATURE PAGE

File Number:	A0380/17EYK	Zoning	RD & R6
Owner:	NELSON DUARTE JACKLYN BALJIT	Ward:	York South-Weston (12)
Agent:	THE ADACAD GROUP	Heritage:	Not Applicable
Property Address:	28 MONARCHDALE AVE	Community:	
Legal Description:	PLAN 3578 LOT 173		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, June 15, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0394/17EYK	Zoning	RM & R2
Owner(s):	2552716 ONTARIO INC	Ward:	Parkdale-High Park (13)
Agent:	CHRIS A MONTGOMERY ARCHITECT	Heritage:	Not Applicable
Property Address:	127 HUMBERCREST BLVD	Community:	
Legal Description:	PLAN 878 S PT LOT 55 W PT LOT 88 W PT LOT 89		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above a portion of the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 8.3(a), By-law 1-83

The minimum required side yard setback is 0.5 m on one side and 1.2 m on the opposite side.

Section 8(3)(g), By-law 3623-97

The minimum required side yard setback is 1.2 m.

Section 8.3(a), By-law 1-83 and Section 8(3)(g), By-law 3623-97

The altered dwelling will be located 0.22 m from the south side lot line and 1.18 m from the north side lot line.

2. Section 10.5.40.60.(7), By-law 569-2013

The minimum required side yard setback for eaves is 0.3 m.

The eaves of the altered dwelling will be located 0 m from the south side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0394/17EYK	Zoning	RM & R2
Owner:	2552716 ONTARIO INC	Ward:	Parkdale-High Park (13)
Agent:	CHRIS A MONTGOMERY ARCHITECT	Heritage:	Not Applicable
Property Address:	127 HUMBERCREST BLVD	Community:	
Legal Description:	PLAN 878 S PT LOT 55 W PT LOT 88 W PT LOT 89		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, June 15, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0400/17EYK	Zoning:	RS & R2
Owner(s):	KRISTINE BORENSTEIN ALLAN BORENSTEIN	Ward:	Parkdale-High Park (13)
Agent:	ALLAN BORENSTEIN	Heritage:	Not Applicable
Property Address:	17 SIDFORD CRT	Community:	
Legal Description:	PLAN 4655 W PT LOT 66		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey front addition, a new front porch and a rear yard deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.40.40.40.(1)(A), By-law 569-2013 & Section 8.(3)(i), By-law 3623-97**
The maximum permitted floor space index is 0.6 times the lot area (167.34 m²).
Section 8.(3)(a), By-law 1-83
The maximum permitted floor space index is 0.8 times the lot area (232.12 m²).
Section 10.40.40.40.(1)(A), By-law 569-2013, Section 8.(3)(i), By-law 3623-97 & Section 8.(3)(a), By-law 1-83
The altered dwelling will have a floor space index of 0.84 times the lot area (234.3 m²).
- Section 10.50.40.70.(1)(A), By-law 569-2013**
The minimum required front yard setback is 6.69 m.
Section 8.3(B), By-law 3623-97
The minimum required front yard setback is 7.69 m.
Section 10.50.40.70.(1)(A), By-law 569-2013 & Section 8.3(B), By-law 3623-97
The altered dwelling will be located 5.5 m from the front lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or destroy privately owned trees.
2. The proposed front addition shall be constructed substantially in accordance with the front elevation submitted and held on file by the Committee of Adjustment office, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0400/17EYK	Zoning	RS & R2
Owner:	KRISTINE BORENSTEIN ALLAN BORENSTEIN	Ward:	Parkdale-High Park (13)
Agent:	ALLAN BORENSTEIN	Heritage:	Not Applicable
Property Address:	17 SIDFORD CRT	Community:	
Legal Description:	PLAN 4655 W PT LOT 66		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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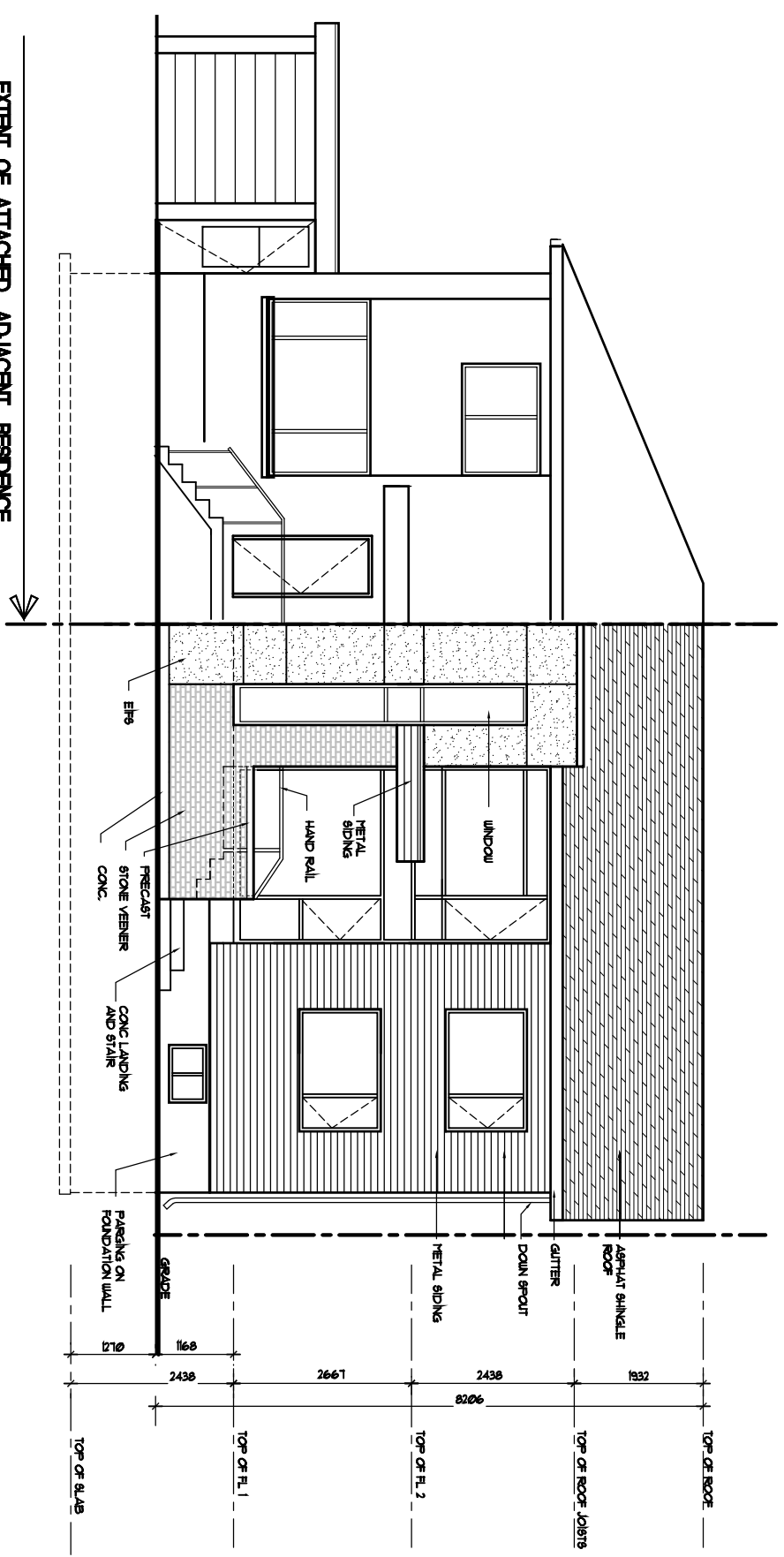
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NO.	BY	DATE	ISSUED
1	AB	05.11.17	COA

NO.	BY	DATE	REVISED
1			

VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE AND SPECIFICATIONS AT THE PROJECT'S COMPLETION OF THE WORK OR UPON REALITY CONSTRUCTION UNLESS APPROVED AT REAR.

APPROVED: _____
DATE: _____

ARCHITECT
ALLAN BORENSTEIN

PROJECT
**PROPOSED ADDITION
17 SIDFORD COURT
TORONTO ONTARIO**

DRAWING TITLE
**NORTH
ELEVATION**

DESIGN	FOUD
CHECKED	
DATE	DWG. NO.
MAY 2017	A9
SCALE	
1:100	

DRAWINGS REVISIONS: _____ LAST UPDATED: _____
COURTESY: _____

Thursday, June 15, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0402/17EYK	Zoning	RD & R4
Owner(s):	ANTONIO NEVES DOS SANTOS MARIA FERREIRA DOS SANTOS	Ward:	York South-Weston (12)
Agent:	VICTOR ROSA	Heritage:	Not Applicable
Property Address:	12 WICKFORD DR	Community:	
Legal Description:	PLAN 4044 S PT LOT 50 N PT LOT 51		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To maintain a rear detached garage with an attached deck. A previous Committee of Adjustment Decision (File Number: A0833/16EYK) approved the rear detached garage with an attached deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**1. Section 10.5.60.20.(11), By-law 569-2013**

The minimum required rear and side yard setback for a deck is 0.91 m.

A previous Committee of Adjustment Decision (File Number: A0833/16EYK) approved a 0.54 m setback.

The existing garage deck is located 0.49 m from the north side lot line.

2. Section 6(23)(a), By-law 7625

Accessory buildings must be located 3 m away from the dwelling.

A previous Committee of Adjustment Decision (File Number: A0833/16EYK) approved the accessory building (garage) located 2.32 m from the dwelling.

The existing accessory building (garage) is located 1.29 m from the dwelling.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The existing garage shall not be attached to the carport or dwelling, to the satisfaction of the Director, Community Planning, Etobicoke York District.

SIGNATURE PAGE

File Number:	A0402/17EYK	Zoning	RD & R4
Owner:	ANTONIO NEVES DOS SANTOS MARIA FERREIRA DOS SANTOS	Ward:	York South-Weston (12)
Agent:	VICTOR ROSA	Heritage:	Not Applicable
Property Address:	12 WICKFORD DR	Community:	
Legal Description:	PLAN 4044 S PT LOT 50 N PT LOT 51		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, June 15, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0403/17EYK	Zoning	RD & R1
Owner(s):	JOAQUIM ANDRADE	Ward:	York South-Weston (11)
Agent:	EKP DESIGNS INC	Heritage:	Not Applicable
Property Address:	163 CHURCH ST	Community:	
Legal Description:	PLAN M140 W PT LOT 239 EPT 238		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a detached garage in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 10.5.60.70.(1), By-law 569-2013

The maximum permitted lot coverage for an ancillary building is 10% of the lot area (35.88 m²).
The proposed garage will cover 12.8% of the lot area (46 m²).

2. Section 3.4.11.(c), By-law 1-83

The maximum permitted flat roof height for an accessory structure is 3.1 m.
The proposed detached garage will have a height of 4 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0403/17EYK	Zoning	RD & R1
Owner:	JOAQUIM ANDRADE	Ward:	York South-Weston (11)
Agent:	EKP DESIGNS INC	Heritage:	Not Applicable
Property Address:	163 CHURCH ST	Community:	
Legal Description:	PLAN M140 W PT LOT 239 EPT 238		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, June 15, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0407/17EYK	Zoning	RD & R6
Owner(s):	MARIA SARAIVA MICHAEL TOMAS	Ward:	York South-Weston (12)
Agent:	EPIC DESIGNS INC	Heritage:	Not Applicable
Property Address:	23 MONARCHDALE AVE	Community:	
Legal Description:	PLAN 3578 LOT 30		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 30% of the lot area (121.31 m²).
The proposed dwelling will have a lot coverage of 40.66% of the lot area (164.42 m²).
- 2. Section 10.20.40.70.(4), By-law 569-2013**
The minimum required side yard setback is 0.9 m.
Section 14.A(5)c, By-law 7625
The minimum required side yard setback is 1.2 m.
Section 10.20.40.70.(4), By-law 569-2013 & Section 14.A(5)c, By-law 7625
The proposed dwelling will be located 0.61 m from east side lot line.
- 3. Section 14.A(9), By-law 7625**
The maximum permitted dwelling length is 15.3 m.
The proposed dwelling will have a length is 15.45 m.
- 4. Section 10.20.40.10.(6), By-law 569-2013**
The maximum permitted height of the first floor is 1.2 m above established grade.
The proposed dwelling will have a height of 1.24 m, above established grade.
- 5. Section 10.20.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls is 7.5 m, facing a side lot line.
The side exterior main walls of the proposed dwelling will have a height of 7.7 m facing a side lot line.

6. Section 6(24), By-law 7625

The maximum permitted height of unexcavated porches or deck is 1 m.
The proposed rear deck will have a height of 1.07 m.

7. Section 10.20.40.50.(1)(B), By-law 569-2013

The maximum permitted area of a platform at or above the second storey is 4 m².
The proposed second storey rear platform will have an area of 5.86 m².

8. Section 10.5.50.10.(1)(D), By-law 569-2013

A minimum of 75% of the front yard, not covered by a permitted driveway, shall be maintained as soft landscaping (28.2 m²).
A total of 72.98% of the front yard, not covered by a permitted driveway, will be maintained as soft landscaping (27.44 m²).

9. Section 10.5.100.1.(1)(C), By-law 569-2013

The maximum permitted driveway width is 3.35 m.
The proposed driveway will have a width of 4.13 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
2. The proposal shall be constructed substantially in accordance with the revised plans submitted and held on file by the Committee of Adjustment, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
3. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 3.1 The site plan must be revised to illustrate the proposed new driveway and curb cut within the abutting Monarchdale Avenue Boulevard municipal boulevard, the removal of the redundant portions of the existing driveway and restoration of the redundant curb cut with raised concrete curb in accordance to City of Toronto Design Standard No. T-310.050-1 and T-310.010-4.

- 3.2 The site plan must be revised to include a notation on the drawing stating: "The proposed new driveway shall be constructed to the applicable City of Toronto Design Standard(s)";
- 3.3 The site plan must be revised to include a notation on the drawing stating: "The applicant must provide a Municipal Road Damage Deposit (MRDD) for the proposed driveway construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at 416-338-1045 in this regard;
- 3.4 The site plan must be revised to include a notation on the drawing stating: "The applicant must obtain all required permits for work within the public road allowance from the Right-of-Way Management Section of Transportation Services".

SIGNATURE PAGE

File Number:	A0407/17EYK	Zoning	RD & R6
Owner:	MARIA SARAIVA MICHAEL TOMAS	Ward:	York South-Weston (12)
Agent:	EPIC DESIGNS INC	Heritage:	Not Applicable
Property Address:	23 MONARCHDALE AVE	Community:	
Legal Description:	PLAN 3578 LOT 30		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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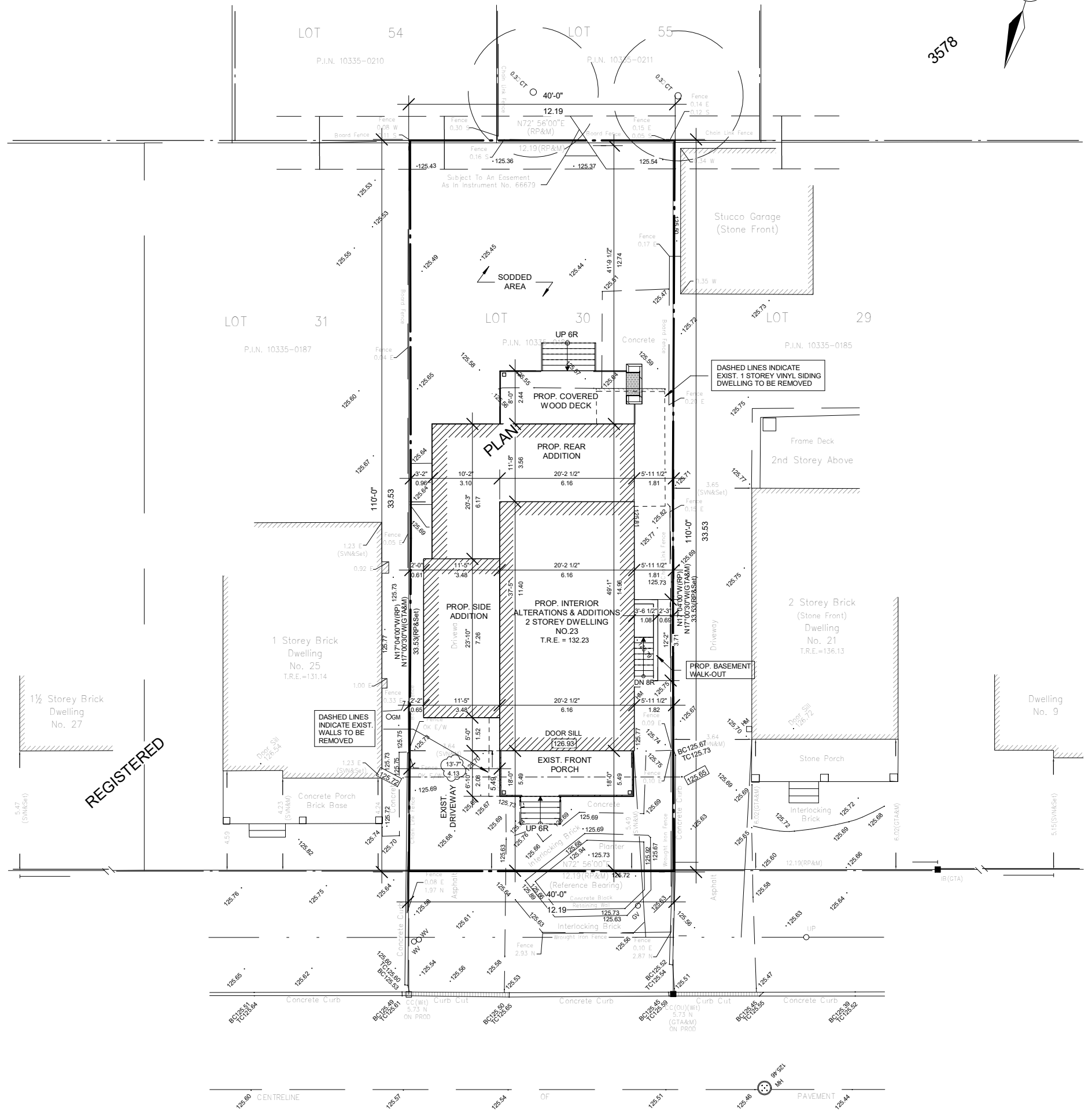
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INFORMATION TAKEN FROM:
 ONTARIO LAND SURVEYORS
 PART OF LOT 30
 REGISTERED PLAN 3578
 CITY OF TORONTO

CREATED BY: DONALD E. ROBERTS

DATE: 2013

3578



REGISTERED

MONARCHDALE AVENUE

(By Registered Plan 3578)

P.I.N. 10335-0175

1
A1

SITE PLAN
 SCALE: 1:200



MARCO VIEIRA
 Base 257 DUNRAVEN DRIVE Tech.
 TORONTO, ONTARIO. M6M - 1H8
 TORO TEL: (416) 564 - 2435 IH8
 WWW.EPICDESIGNSINC.CA
 FAX: (647) 35 - 3742

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the

QUALIFICATION INFORMATION

Required unless design is exemp under 3.2.4.7.(5) Division C of the building code

MARCO VIEIRA 25562
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION

Required unless design is exemp under 3.2.4.7.(5) Division C of the building code

EPIC DESIGNS INC. 30718
 FIRM NAME BCIN

DO NOT SCALE DRAWINGS
 CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT OMISSIONS OR DISCREPANCIES TO EPIC DESIGNS INC. BEFORE PROCEEDING WITH WORK.

ALL PRINTS SPECIFICATIONS ARE THE PROPERTY OF EPIC INC. AND SHALL NOT BE COPIED, IN PART OR WHOLE PRIOR WRITTEN PERMISSION

PROJECT

PROPOSED INTERIOR ALTERATIONS & SECOND STOREY ADDITION

No. 23 MONARCHDALE AVE.
 CITY OF TORONTO

DRAWING SITE PLAN	
SCALE AS SHOWN	DRAWN BY PEDRO TORRES
DATE DECEMBER 19, 2016	APPROVED BY M.V.
PROJECT No. 2016 - 88	DRAWING No. A1

SITE STATISTICS:

ZONED AS RD (f12.0; a370)

	m2	(SQ. FT.)
LOT AREA=	404.395	4,352.87
LOT FRONTAGE @ STREET LINE=	12.19 m	40.0 ft.

PROPOSED G.F.A.:

	m2	(SQ. FT.)
FIRST FLOOR AREA=	109.97	1,183.71
SECOND FLOOR AREA=	115.46	1,242.80
TOTAL PROP. G.F.A.=	<u>225.43</u>	<u>2,426.51</u>
		55.75%

PROPOSED LOT COVERAGE:

FIRST FLOOR AREA=	109.97	1,183.71
EXIST. COVERED FRONT PORCH=	13.69	147.36
PROP. COVERED WD. DECK=	15.11	162.64
PROP. GARAGE	25.65	276.09
TOTAL PROPOSED COVERAGE =	<u>164.42</u>	<u>1,769.80</u>
		40.66%
MAX. ALLOWED LOT COVERAGE=	121.32	1,305.86
LOT AREA X 0.30		30%

FRONT YARD LANDSCAPE:

FRONT YARD AREA=	75.21	809.57
EXIST. COVERED FRONT PORCH=	13.69	147.36
EXIST. DRIVEWAY=	34.08	366.82
REQUIRED FRONT YARD SOFT=	56.41	607.18
LANDSCAPING AREA (75%)		
PROPOSED FRONT YARD LANDSCAPE=	27.44	295.39
LANDSCAPING AREA		36.49%

REAR YARD LANDSCAPE:

REAR YARD AREA=	157.43	1,694.54
PROP. WOOD DECK	15.11	162.64
REQUIRED REAR YARD SOFT=	78.71	847.27
LANDSPACE AREA (25%)		
PROPOSED REAR YARD SOFT=	142.32	1,531.90
LANDSPACE		90.40%

SIDE YARD LANDSCAPE:

SIDE YARD AREA=	38.90	418.72
PROP. BASEMENT WALK-OUT=	4.15	44.67
REQUIRED SIDE YARD SOFT=	29.18	314.04
LANDSCAPING AREA (75%)		
PROPOSED FRONT YARD LANDSCAPE=	34.75	374.05
LANDSCAPING AREA		89.33%



MARCO VIEIRA
 Basec 257 DUNRAVEN DRIVE Tech.
 TORONTO, ONTARIO. M6M - 1H8
 TORO TEL: (416) 564 - 2435 1H8
 WWW.EPICDESIGNSINC.CA
 FAX: (647) 35 - 3742

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MARCO VIEIRA 25562
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION

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EPIC DESIGNS INC. 30718
 FIRM NAME BCIN

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PROJECT
 PROPOSED INTERIOR ALTERATIONS & SECOND STOREY ADDITION

No. 23 MONARCHDALE AVE.
 CITY OF TORONTO

DRAWING

SITE STATISTICS

SCALE
 AS SHOWN

DRAWN BY
 PEDRO TORRES

DATE
 DECEMBER 19, 2016

APPROVED BY
 M.V.

PROJECT No.
 2016 - 88

DRAWING No.
 A1

WALL SCHEDULE

EXISTING WALLS TO REMAIN

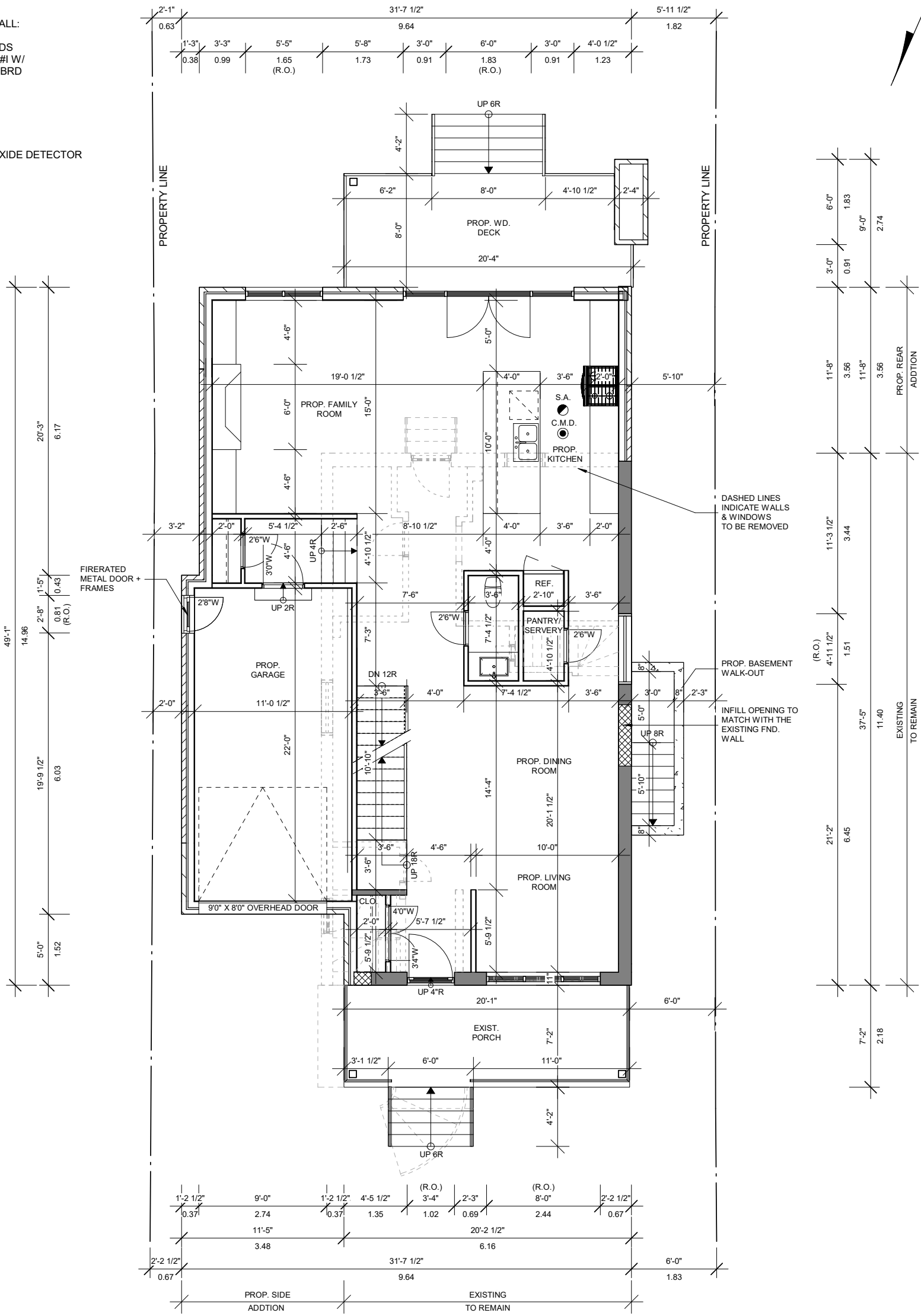
WALLS TO BE REMOVED

NEW TYPICAL INTERIOR WALL:

2" X 4" WD. STUDS @ 16" O.C. SPR #1 W/ 1/2" GYP. WALL BRD ON EA. SIDE

LEGEND

- S.A. SMOKE ALARM
- C.M.D. CARBON MONOXIDE DETECTOR
- F.D. FLOOR DRAIN



1
A3 **1ST FLOOR PLAN**
SCALE: 1 / 8" = 1' - 0"



257 DUNRAVEN DRIVE
TORONTO, ONTARIO. M6M - 1H8
TEL: (416) 564 - 2435
WWW.EPICDESIGNSINC.CA

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.4.7.(5) Division C of the building code

MARCO VIEIRA 25562
NAME SIGNATURE BCIN

REGISTRATION INFORMATION

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EPIC DESIGNS INC. 30718
FIRM NAME BCIN

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
PROJECT

PROPOSED INTERIOR ALTERATIONS & SECOND STOREY ADDITION


No. 23 MONARCHDALE AVE.
CITY OF TORONTO

DRAWING	
1ST FLOOR PLAN	
SCALE AS SHOWN	DRAWN BY PEDRO TORRES
DATE DECEMBER 19, 2016	APPROVED BY M.V.
PROJECT No. 2016 - 88	DRAWING No. A3




WALL SCHEDULE

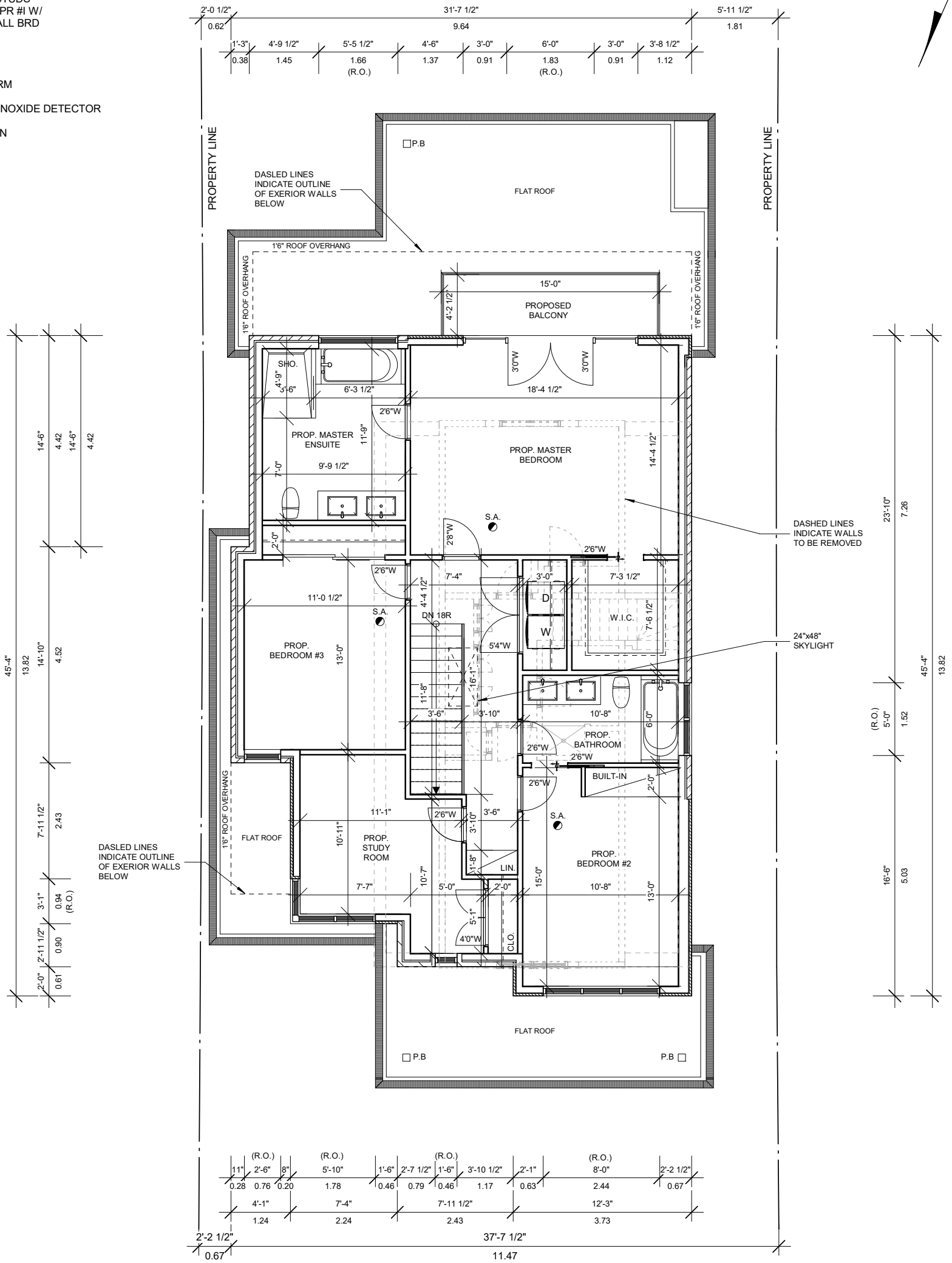
-  EXISTING WALLS TO REMAIN
-  WALLS TO BE REMOVED

NEW TYPICAL INTERIOR WALL:

-  2" X 4" WD. STUDS @ 16" O.C. SPR #1 W/ 1/2" GYP. WALL BRD ON EA. SIDE

LEGEND

-  SMOKE ALARM
-  CARBON MONOXIDE DETECTOR
-  FLOOR DRAIN



1
A4 **2ND FLOOR PLAN**
SCALE: 1 / 8" = 1' - 0"

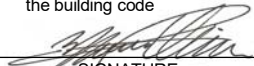


257 DUNRAVEN DRIVE
TORONTO, ONTARIO. M6M - 1H8
TEL: (416) 564 - 2435
WWW.EPICDESIGNSINC.CA

The undersigned has qualified and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.4.7.(5) Division C of the building code

MARCO VIEIRA  25562
NAME SIGNATURE BCIN

REGISTRATION INFORMATION

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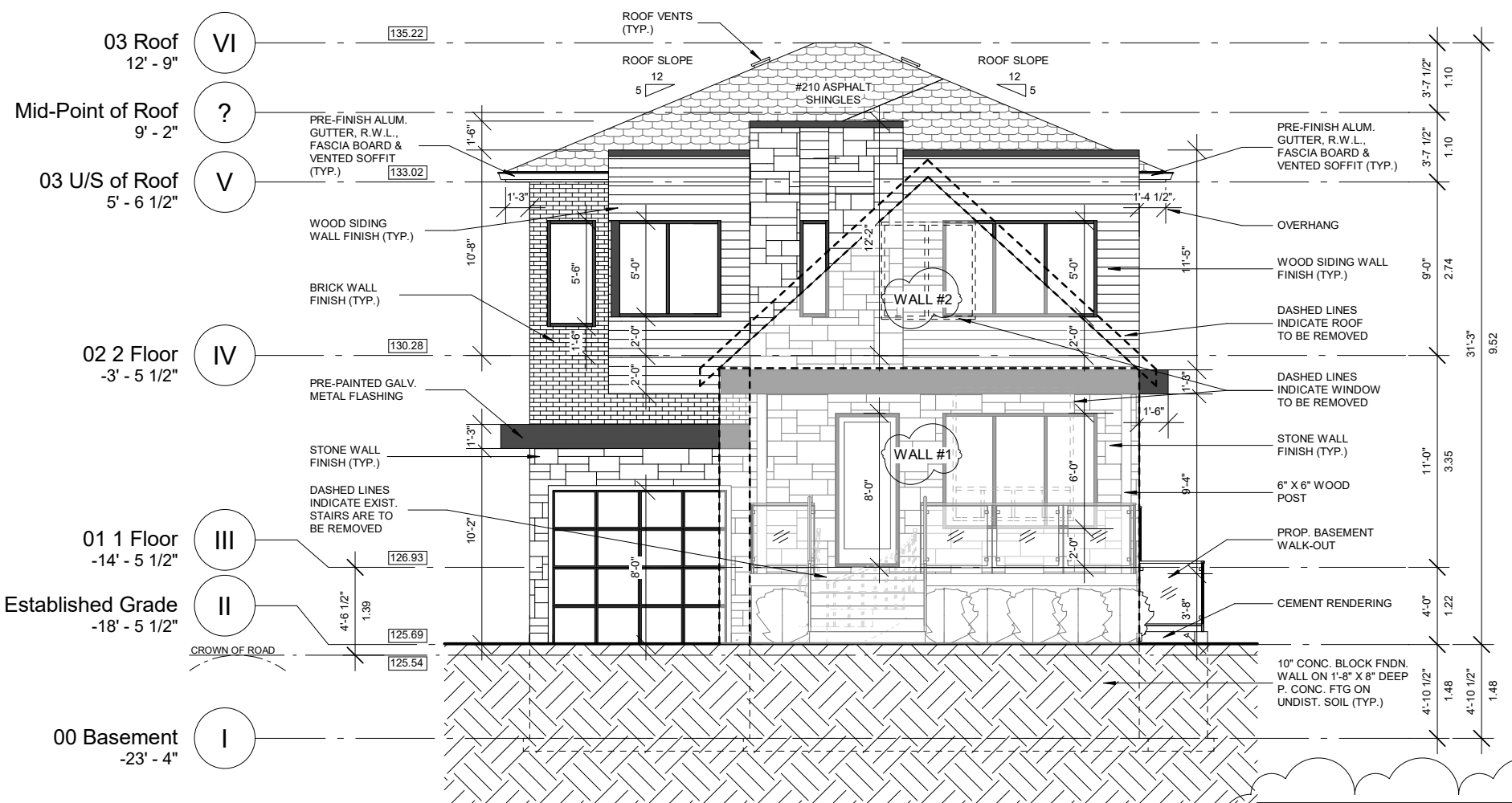
EPIC DESIGNS INC. 30718
FIRM NAME BCIN

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PROJECT
PROPOSED INTERIOR ALTERATIONS & SECOND STOREY ADDITION
No. 23 MONARCHDALE AVE.
CITY OF TORONTO

DRAWING 2ND FLOOR PLAN	
SCALE AS SHOWN	DRAWN BY PEDRO TORRES
DATE DECEMBER 19, 2016	APPROVED BY M.V.
PROJECT No. 2016 - 88	DRAWING No. A4



1
A5 **NORTH (FRONT) ELEVATION**
Scale: 1 / 8" = 1' - 0"

WALL PERCENTAGE
 EXIST. WALL TOTAL = 171.44 m² (100%)
 EXIST WALLS TO REMAIN TOTAL:
 WALLS #1 = 73.62 m² (43%)
 EXIST WALLS TO BE DEMOLISHED TOTAL:
 WALLS #2 = 97.82 m² (57%)



257 DUNRAVEN DRIVE
 TORONTO, ONTARIO. M6M - 1H8
 TEL: (416) 564 - 2435
 WWW.EPICDESIGNSINC.CA

The undersigned had reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the

Required unless design is exemp under 3.2.4.7.(5) Division C of the building code

MARCO VIEIRA
 NAME SIGNATURE 25562 BCIN

REGISTRATION INFORMATION
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EPIC DESIGNS INC. 30718 BCIN
 FIRM NAME

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PROJECT
 PROPOSED INTERIOR ALTERATIONS & SECOND STOREY ADDITION

No. 23 MONARCHDALE AVE.
 CITY OF TORONTO

DRAWING

NORTH (FRONT) ELEVATION PLAN

SCALE
 AS SHOWN

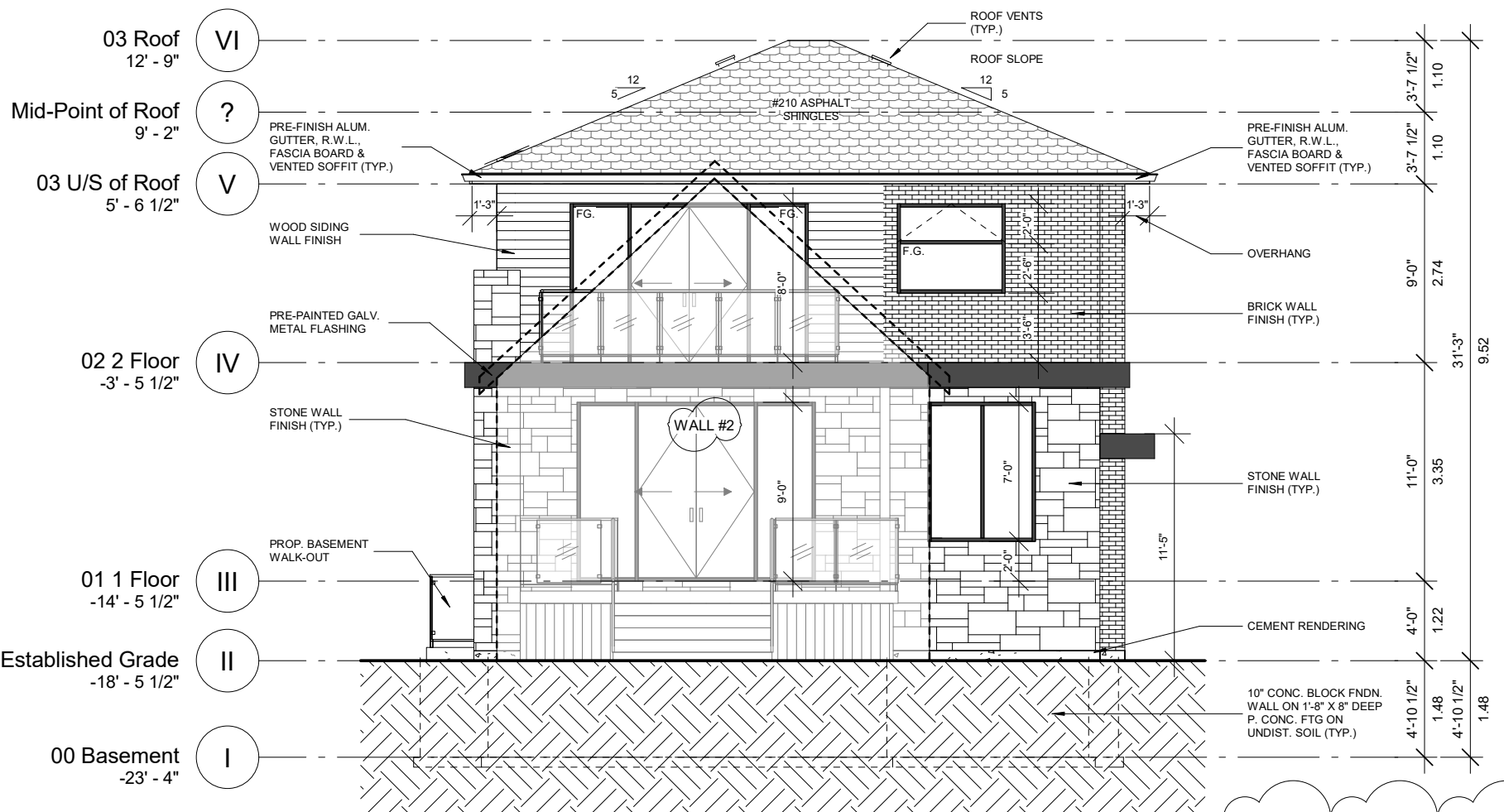
DRAWN BY
 PEDRO TORRES

DATE
 DECEMBER 19, 2016

APPROVED BY
 M.V.

PROJECT No.
 2016 - 88

DRAWING No.
 A5



1
A6 **SOUTH (BACK) ELEVATION**
Scale: 1 / 8" = 1' - 0"

WALL PERCENTAGE
 EXIST. WALL TOTAL = 171.44 m2 (100%)
 EXIST WALLS TO REMAIN TOTAL:
 WALLS #1 = 73.62 m2 (43%)
 EXIST WALLS TO BE DEMOLISHED TOTAL:
 WALLS #2 = 97.82 m2 (57%)



257 DUNRAVEN DRIVE
 TORONTO, ONTARIO. M6M - 1H8
 TEL: (416) 564 - 2435
 WWW.EPICDESIGNSINC.CA

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the

QUALIFICATION INFORMATION
 Required unless design is exempt under 3.2.4.7.(5) Division C of the building code

MARCO VIEIRA 25562
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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EPIC DESIGNS INC. 30718
 FIRM NAME BCIN

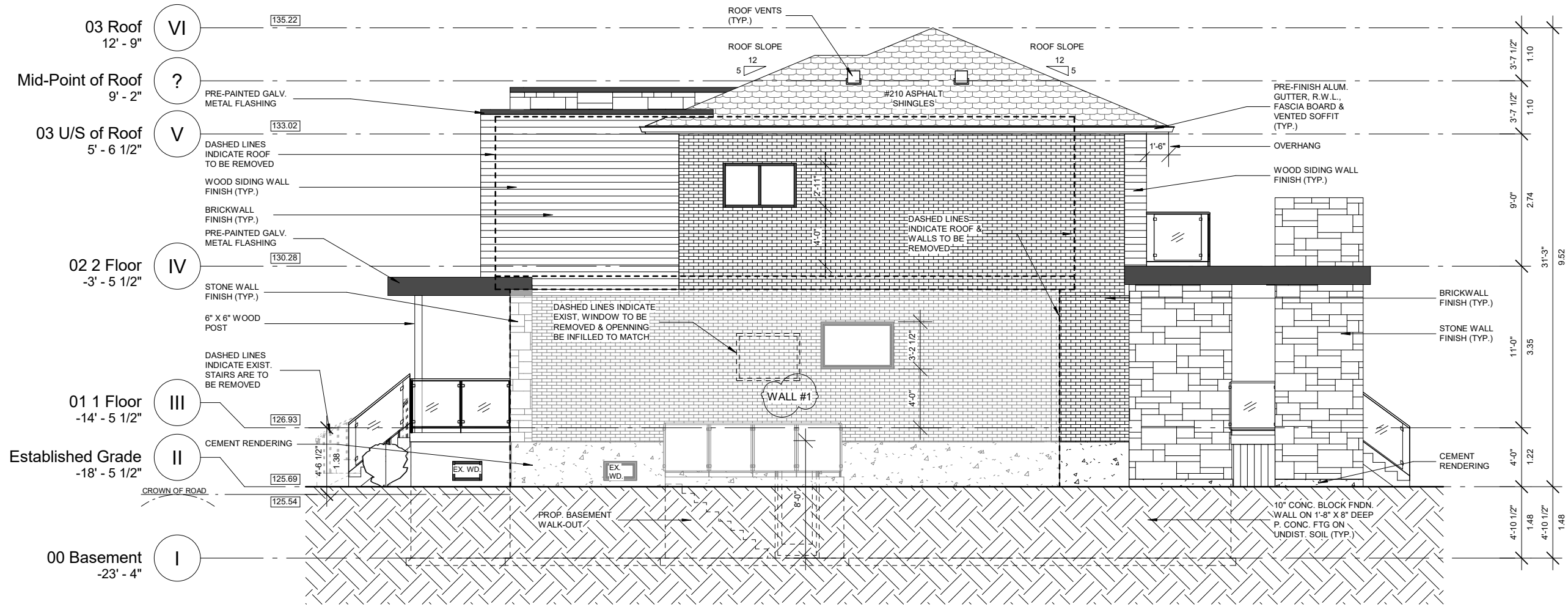
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PROJECT
 PROPOSED INTERIOR ALTERATIONS & SECOND STOREY ADDITION

No. 23 MONARCHDALE AVE.
 CITY OF TORONTO

DRAWING SOUTH (BACK) ELEVATION PLAN	
SCALE AS SHOWN	DRAWN BY PEDRO TORRES
DATE DECEMBER 19, 2016	APPROVED BY M.V.
PROJECT No. 2016 - 88	DRAWING No. A6



WALL PERCENTAGE
 EXIST. WALL TOTAL = 171.44 m² (100%)
 EXIST WALLS TO REMAIN TOTAL:
 WALLS #1 = 73.62 m² (43%)
 EXIST WALLS TO BE DEMOLISHED TOTAL:
 WALLS #2 = 97.82 m² (57%)

1
A7

WEST (RIGHT) ELEVATION
 Scale: 1/8" = 1' - 0"

DRAWING SOUTH ELEVATION PLAN	SCALE AS SHOWN	DRAWN BY PEDRO TORRES
	DATE DECEMBER 19, 2016	APPROVED BY M.V.
PROJECT No. 2016 - 88		DRAWING No. A7

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PROJECT
 PROPOSED INTERIOR ALTERATIONS & SECOND STOREY ADDITION
 No. 23 MONARCHDALE AVE.
 CITY OF TORONTO

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QUALIFICATION INFORMATION
 Required unless design is exempt under 3.2.4.7.(5) Division C of the building code

MARCO VIEIRA
 NAME
 25562 BCIN
 SIGNATURE

REGISTRATION INFORMATION
 Required unless design is exempt under 3.2.4.7.(5) Division C of the building code

EPIC DESIGNS INC.
 FIRM NAME
 30718 BCIN

epic designs inc.

257 DUNRAVEN DRIVE
 TORONTO, ONTARIO, M6M - 1H8
 TEL: (416) 564 - 2435
 WWW.EPICDESIGNSINC.CA

Thursday, June 15, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0415/17EYK	Zoning	RM & R2
Owner(s):	JOHANNA WAGNER JOHN BRADY	Ward:	Davenport (17)
Agent:	JOHN BRADY	Heritage:	Not Applicable
Property Address:	80 A ROBINA AVE	Community:	
Legal Description:	PLAN 927 S PT LOT 43		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.80.40.50.(2)(B), By-law 569-2013

The maximum permitted area of a platform at or above the second storey is 4 m².

The proposed front platform (porch) at or above the second storey will have an area of 7.7 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0415/17EYK	Zoning	RM & R2
Owner:	JOHANNA WAGNER JOHN BRADY	Ward:	Davenport (17)
Agent:	JOHN BRADY	Heritage:	Not Applicable
Property Address:	80 A ROBINA AVE	Community:	
Legal Description:	PLAN 927 S PT LOT 43		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, June 15, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0419/17EYK	Zoning	RD & R4
Owner(s):	MARCO DI NARDO	Ward:	York West (07)
Agent:	RE PLACEMENT DESIGN	Heritage:	Not Applicable
Property Address:	57 STORER DR	Community:	
Legal Description:	PLAN M928 LOT 23		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a partial second storey addition above the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 900.3.10.(5)(A), By-law 569-2013 and Section 13.2.3(b), By-law 7625

The minimum required side yard setback is 1.8 m.

The altered dwelling will be located 1.22 m from the west side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0419/17EYK	Zoning	RD & R4
Owner:	MARCO DI NARDO	Ward:	York West (07)
Agent:	RE PLACEMENT DESIGN	Heritage:	Not Applicable
Property Address:	57 STORER DR	Community:	
Legal Description:	PLAN M928 LOT 23		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, June 15, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0386/17EYK	Zoning	RD
Owner(s):	WESLEY STEVENS	Ward:	York South-Weston (11)
Agent:	MICHAEL SHIRZADFAR	Heritage:	Not Applicable
Property Address:	123 CHURCH ST	Community:	
Legal Description:	PLAN M140 LOT 222		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.20.40.40.(1), By-law 569-2013

The maximum permitted floor space index is 0.4 times the lot area.

The altered dwelling will have a floor space index 0.46 times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0386/17EYK	Zoning	RD
Owner:	WESLEY STEVENS	Ward:	York South-Weston (11)
Agent:	MICHAEL SHIRZADFAR	Heritage:	Not Applicable
Property Address:	123 CHURCH ST	Community:	
Legal Description:	PLAN M140 LOT 222		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, June 15, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0404/17EYK	Zoning	R & R2 Z0.6
Owner(s):	LAURIE ANN KEPRON MARK CHRISTOPHER KOPYTEK	Ward:	Parkdale-High Park (13)
Agent:	ANDREW PETER PILACINSKI	Heritage:	Not Applicable
Property Address:	315 BERESFORD AVE	Community:	
Legal Description:	PLAN 714 PT LOT 101		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.10.40.40.(1)(A), By-law 569-2013 and Section 6(3) Part I 1, By-law 438-86**
The maximum permitted floor space index is 0.6 times the area of the lot (222.42 m²).
The new dwelling will have a floor space index equal to 1.11 times the area of the lot 413.02 m².
- Section 6(3) Part II 3.B(I), By-law 438-86 and Section 10.10.40.70(4), By-law 569-2013**
The minimum required side yard setback for the portion of the dwelling not exceeding 17 m in depth, where the side wall contains no openings is 0.45 m.
The new dwelling will be located 0.15 m from the north side lot line.
- Section 6(3) Part II 3.B(II), By-law 438-86**
The minimum required side yard setback for the portion of the building exceeding 17 m in depth is 7.5 m.
The portion of the new dwelling exceeding 17 m in depth will be located 0.15 m from the north side lot line and 1.21 m from the south side lot line.
- Section 10.5.40.60.(1)(D), By-law 569-2013**
A rear yard platform without main walls, attached to or less than 0.3 m from a building, with a floor higher than the first floor of the building above established grade may encroach into the required rear yard setback 1.5 m, provided it is no closer to a required side lot line than 7.5 m.
The proposed second floor platform will project 3.66 m into the rear yard, 0.78 m into the north side yard and 1.21 m into the south side yard.

5. **Section 10.10.40.30.(1).(A), By-law 569-2013 and Section 6(3) Part VI 1(V), By-law 438-86**
The maximum permitted building depth is 17 m.
The new dwelling will have a depth of 19.51 m.
6. **Section 10.10.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7.5 m.
The new dwelling will have a front exterior main wall height of 8.36 m.
7. **Section 10.5.40.60.(7), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m.
The eaves of the new dwelling will be located 0 m from the north side lot line.
8. **Section 6(3) Part II 8 D, By-law 438-86**
The maximum permitted projection of an uncovered platform from the rear wall is 2.5 m.
The uncovered platform will project 3.66 m from the rear wall.
9. **Section 10.10.40.10.(1)(A), By-law 569-2013 and Section 4(2)A, By-law 438-86**
The maximum permitted building height from established grade is 10 m.
The new dwelling will have a height of 10.97 m from established grade.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.

SIGNATURE PAGE

File Number:	A0404/17EYK	Zoning	R & R2 Z0.6
Owner:	LAURIE ANN KEPRON MARK CHRISTOPHER KOPYTEK	Ward:	Parkdale-High Park (13)
Agent:	ANDREW PETER PILACINSKI	Heritage:	Not Applicable
Property Address:	315 BERESFORD AVE	Community:	
Legal Description:	PLAN 714 PT LOT 101		

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, June 15, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0418/17EYK	Zoning:	R & R2
Owner(s):	SUSAN CONWAY SCOTT STEWART	Ward:	Parkdale-High Park (13)
Agent:	VICTOR ROSA	Heritage:	Not Applicable
Property Address:	51 MAHER AVE	Community:	
Legal Description:	PLAN 852 PT LOT 2		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey rear deck, a new basement walk-out and a secondary suite in the basement.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.6 times the lot area (87.42 m²).
The altered dwelling will have a floor space index of 1.19 times the lot area (173.9 m²).
- Section 10.10.40.10.(1)(A), By-law 569-2013**
The maximum permitted dwelling height is 10 m.
The altered dwelling will have a height of 10.3 m.
- Section 10.5.50.10.(1)(D), By-law 569-2013**
A minimum of 75% of the front yard, not covered by a permitted driveway, shall be maintained as soft landscaping (13.39 m²).
A total of 27% of the front yard, not covered by a permitted driveway, will be maintained as soft landscaping (4.82 m²).
- Section 150.10.40.1.(3)(B), By-law 569-2013**
A secondary suite is a permitted use provided that an addition or exterior alteration of a dormer to a building to accommodate a secondary suite is not more than 2.3 m² and the total interior floor area of all dormers is not more than 9.3 m².
The proposed interior floor area of the dormer is 3.79 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.

SIGNATURE PAGE

File Number:	A0418/17EYK	Zoning	R & R2
Owner:	SUSAN CONWAY SCOTT STEWART	Ward:	Parkdale-High Park (13)
Agent:	VICTOR ROSA	Heritage:	Not Applicable
Property Address:	51 MAHER AVE	Community:	
Legal Description:	PLAN 852 PT LOT 2		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

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Thursday, June 15, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0421/17EYK	Zoning	RT & RM2
Owner(s):	DOMENICO IERULLO MARIA GRAZIA IERULLO	Ward:	York South-Weston (11)
Agent:	MILENOV ASSOC. ARCHITECTS	Heritage:	Not Applicable
Property Address:	0 LIPPINCOTT ST E S/S	Community:	
Legal Description:	PLAN 500 PT LOT P RP 64R15348 PART 39		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 900.5.10.(253), By-law 569-2013 and Section 16(365), By-law 1-83

The proposed single family detached dwelling is not a permitted use in a RT and RM2 zone.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0421/17EYK	Zoning	RT & RM2
Owner:	DOMENICO IERULLO	Ward:	York South-Weston (11)
	MARIA GRAZIA IERULLO		
Agent:	MILENOV ASSOC.	Heritage:	Not Applicable
	ARCHITECTS		
Property Address:	0 LIPPINCOTT ST E S/S	Community:	
Legal Description:	PLAN 500 PT LOT P RP 64R15348 PART 39		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

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Thursday, June 15, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0424/17EYK	Zoning	RD & R1
Owner(s):	NORMA MCMULLEN	Ward:	Parkdale-High Park (13)
Agent:	DTECHLINE INTERNATIONAL	Heritage:	Not Applicable
Property Address:	67 HARSHAW AVE	Community:	
Legal Description:	PLAN 1352 PT LOT 71		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey west side addition, a second storey addition above the existing dwelling, a new rear deck and a new front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 7.(3)(I), By-law 1-83**
The maximum permitted floor space index is 0.4 times the lot area (92.9 m²).
The altered dwelling will have a floor space index of 0.82 times the lot area (191.49 m²).
- 2. Section 7(3)(a), By-law 1-83**
The minimum required front yard setback is 6.95 m.
The altered dwelling will be located 2.84 m from the front lot line.
- 3. Section 7(3).(a), By-law 1-83**
The minimum required side yard setback is 1.2 m.
The altered dwelling will be located 1.04 m from the east side lot line and 0.24 m from the west side lot line.
- 4. Section 7(3).(a), By-law 1-83**
The minimum required side yard setback is 1.2 m.
The proposed rear deck will be located 1.04 m from the east side lot line and 0.66 m from the west side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0424/17EYK	Zoning	RD & R1
Owner:	NORMA MCMULLEN	Ward:	Parkdale-High Park (13)
Agent:	DTECHLINE INTERNATIONAL	Heritage:	Not Applicable
Property Address:	67 HARSHAW AVE	Community:	
Legal Description:	PLAN 1352 PT LOT 71		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 15, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0426/17EYK	Zoning	RM & R2
Owner(s):	GEORGINA BLANAS	Ward:	Davenport (17)
Agent:	ANGELLA BLANAS	Heritage:	Not Applicable
Property Address:	158 NORTHCLIFFE BLVD	Community:	
Legal Description:	PLAN 1583 LOT 47		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing dwelling by constructing the following: a two-storey front addition, a third floor addition, a fourth floor front addition, a rear roof top terrace, and to create a secondary suite in the basement.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.80.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.8 times the area of the lot (225.6 m²).
The altered dwelling will have a floor space index of 0.92 times the area of the lot (259.32 m²).
- 2. Section 10.80.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 5.12 m.
The altered dwelling will be located 2.3 m from the front lot line.
- 3. Section 10.80.40.70.(3)(A), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
The altered dwelling will be located 0.1 m from the north side lot line and 1.13 m from the south side lot line.
- 4. Section 10.5.40.60.(5)(A), By-law 569-2013**
An architectural feature on a building may encroach into a required building setback a maximum of 0.6 m, if it is no closer to a lot line than 0.3 m.
The proposed architectural feature along the north side will be located 0 m from the north side lot line.
- 5. Section 10.80.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above the second storey is 4 m².
The proposed third storey balcony will have an area of 9.5 m².

6. Section 10.5.50.10.(3)(A), By-law 569-2013

A minimum of 50% of the rear yard shall be maintained as soft landscaping (78 m²).

A total of 17.3% of the rear yard is being maintained as soft landscaping (27 m²).

7. Section 150.10.40.1.(1), By-law 569-2013

A secondary suite is a permitted use provided that the entire building was constructed more than 5 years prior to the introduction of the secondary suite.

The altered dwelling will not be constructed more than 5 years prior to the introduction of the secondary suite.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

SIGNATURE PAGE

File Number:	A0426/17EYK	Zoning	RM & R2
Owner:	GEORGINA BLANAS	Ward:	Davenport (17)
Agent:	ANGELLA BLANAS	Heritage:	Not Applicable
Property Address:	158 NORTHCLIFFE BLVD	Community:	
Legal Description:	PLAN 1583 LOT 47		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, June 15, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0438/17EYK	Zoning:	RM
Owner(s):	ANTONIO M DA ROCHA	Ward:	York South-Weston (12)
Agent:	PAUL DA CUNHA ARCHITECT	Heritage:	Not Applicable
Property Address:	109 THURODALE AVE	Community:	
Legal Description:	PLAN 5597 W PT LOT 9		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey rear addition with a rear yard deck. A previous Committee of Adjustment application (A0611/16EYK) approved variances related to lot coverage, side yard setbacks and rear yard setbacks.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.80.30.40.(1)(A), By-law 569-2013

The maximum permitted lot coverage is 30% of the lot area (104.59 m²).

A previous Committee of Adjustment application (A0611/16EYK) approved a lot coverage of 30.6% of the lot area (106.68 m²).

The altered dwelling will cover 31.8% of the lot area (110.99 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0438/17EYK	Zoning	RM
Owner:	ANTONIO M DA ROCHA	Ward:	York South-Weston (12)
Agent:	PAUL DA CUNHA ARCHITECT	Heritage:	Not Applicable
Property Address:	109 THURODALE AVE	Community:	
Legal Description:	PLAN 5597 W PT LOT 9		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, June 15, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0439/17EYK	Zoning:	RM & R2
Owner(s):	NATASHA ECK GRAEME LOVATT	Ward:	York South-Weston (12)
Agent:	MS HOME DESIGNS	Heritage:	Not Applicable
Property Address:	193 KANE AVE	Community:	
Legal Description:	PLAN 2245 LOT 856		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey rear addition and a second storey cantilevered addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.80.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.8 times the area of the lot.
The altered dwelling will have a floor space index equal to 0.96 times the area of the lot.
- 2. Section 10.5.40.71(4)(A), By-law 569-2013**
The minimum required side yard setback is 0.32 m.
Section 8.3.(a), By-law 1-83
The minimum required side yard setback is 0.5 m on one side and 1.2 m on the opposite side.
Section 10.5.40.71(4)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83
The altered dwelling will be located 0.3 m from the north side lot line and 0.87 m from the south side lot line.
- 3. Section 10.80.40.10.(4), By-law 569-2013**
The maximum permitted first floor height above established grade is 1.2 m.
The altered dwelling will have a first floor height of 1.3 m above established grade.
- 4. Section 10.5.50.10.(1)(D), By-law 569-2013**
A minimum of 75% of the required front yard landscaping shall be maintained as soft landscaping.
A total of 49.9% of the required front yard landscaping will be maintained as soft landscaping.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0439/17EYK	Zoning	RM & R2
Owner:	NATASHA ECK GRAEME LOVATT	Ward:	York South-Weston (12)
Agent:	MS HOME DESIGNS	Heritage:	Not Applicable
Property Address:	193 KANE AVE	Community:	
Legal Description:	PLAN 2245 LOT 856		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, June 15, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0714/16EYK	Zoning	RD & R5
Owner(s):	ELISE LAURENA FURFARO JAMAL V. ELAMAD	Ward:	York West (07)
Agent:	IDA EVANGELISTA	Heritage:	Not Applicable
Property Address:	42 YORKDALE CRES	Community:	
Legal Description:	PLAN 3803 LOT 176		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 14.2.4, By-law 7625**
The maximum permitted coverage is 30% of the lot area.
The proposed dwelling will cover 31.85% of the lot area.
- Section 14.2.3(a), By-law 7625**
The minimum required front yard setback is 6.5 m.
The proposed dwelling will be located 5.94 m from the front lot line.
- Section 900.3.10(5)(A), By-law 569-2013 and Section 14.2.3(b), By-law 7625**
The minimum required side yard setback is 1.8 m.
The proposed dwelling will be located 1.22 m from the east side lot line and 1.24 m from the west side lot line.
- Section 14.2.6, by-law 7625**
The maximum permitted building height is 8.8 m.
The proposed dwelling will have a height of 9.02 m.
- Section 6(30)a, By-law 7625**
The maximum permitted finished floor height is 1.5 m.
The proposed dwelling will have a finished floor height of 1.78 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

2. Submission of a complete application for permit to injure or destroy privately owned trees.
3. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

SIGNATURE PAGE

File Number:	A0714/16EYK	Zoning	RD & R5
Owner:	ELISE LAURENA FURFARO JAMAL V. ELAMAD	Ward:	York West (07)
Agent:	IDA EVANGELISTA	Heritage:	Not Applicable
Property Address:	42 YORKDALE CRES	Community:	
Legal Description:	PLAN 3803 LOT 176		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

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Thursday, June 15, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A169/16EYK	Zoning	RD & R4
Owner(s):	TERESA MARIA TORRES CARLOS ALBERTO AREIAS	Ward:	York South-Weston (12)
Agent:	AMBIENT DESIGNS LTD	Heritage:	Not Applicable
Property Address:	393 MAPLE LEAF DR	Community:	
Legal Description:	PLAN 905 PT LOTS 16 AND 17 RP 64R5393 PART 2		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a cabana with an attached deck in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.5.60.20.(2)(B), By-law 569-2013**
The minimum required rear yard setback for an ancillary building or structure is 2.38 m.
The proposed structure will be located 1.03 m from the rear lot line.
- Section 10.5.60.40.(2)(B), By-law 569-2013**
The maximum permitted height of an ancillary building or structure is 4 m.
The proposed structure will have a height of 4.76 m.
- Section 6(23)(a)(iv), By-law 7625**
The maximum permitted height of an accessory building is 3.7 m, measured to the mean height level between the eaves and ridge of the roof.
The proposed structure will have a height of 4.02 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The following conditions shall be fulfilled to the satisfaction of Urban Forestry Ravine and Natural Feature Protection:

1. The applicant shall obtain a ravine permit or clearance from RNFP. The permit or clearance may be subject to conditions.
2. The applicant shall protect all ravine protected trees on the property and adjacent properties, not approved for removal or injury, to the satisfaction of RNFP.
3. The applicant shall plant native trees to the satisfaction of RNFP as compensation for any ravine protected trees removed or injured and for loss of protected area to permanent hard surface features.

SIGNATURE PAGE

File Number:	A169/16EYK	Zoning	RD & R4
Owner:	TERESA MARIA TORRES CARLOS ALBERTO AREIAS	Ward:	York South-Weston (12)
Agent:	AMBIENT DESIGNS LTD	Heritage:	Not Applicable
Property Address:	393 MAPLE LEAF DR	Community:	
Legal Description:	PLAN 905 PT LOTS 16 AND 17 RP 64R5393 PART 2		

Allan Smithies (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, June 15, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0134/17EYK	Zoning:	RD & R1
Owner(s):	STEVEN FRASER MELANIE FRASER	Ward:	Parkdale-High Park (13)
Agent:	REXFORD DESIGNS	Heritage:	Not Applicable
Property Address:	71 RAYMOND AVE	Community:	
Legal Description:	PLAN 1582 LOT 116NWPT LOT 117NEPT		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing dwelling by constructing the following: a two-storey front addition, a second storey addition above the existing dwelling, a front porch, a rear deck with a basement walkout, to rebuild the existing rear detached garage, and a new front yard parking pad.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 7.(3)(i), By-law 1-83**
The maximum permitted floor space index is 0.4 times the area of the lot (123.87 m²).
Section 7.3.(b), By-law 3623-97
The maximum permitted floor space index is 0.6 times the area of the lot (185.8 m²).
Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 7.(3)(i), By-law 1-83 and Section 7.3.(b), By-law 3623-97
The altered dwelling will have a floor space index of 0.75 times the area of the lot (232.8 m²).
- Section 10.20.40.70.(1), By-law 569-2013 and Section 7.(3)(f), By-law 1-83**
The minimum required front yard setback is 6.4 m.
The altered dwelling will be located 5.65 m from the front lot line.
- Section 10.5.50.10.(1)(D), By-law 569-2013 and Section 320-24.10.A**
A minimum of 75% of the front yard, not covered by a permitted driveway, shall be maintained as soft landscaping (36.6 m²).
A total of 54.9% of the front yard, not covered by a permitted driveway, will be maintained as soft landscaping (26.8 m²).
- Section 10.5.100.1.(1)(A), By-law 569-2013**
The minimum required driveway width is 2 m.
Section 1.A.(c)(iii), By-law 972-2006
The minimum required driveway width is 2.6 m.
Section 10.5.100.1.(1)(A), By-law 569-2013 and Section 1.A.(c)(iii), By-law 972-2006
The existing driveway has a width of 1.5 m.

5. **Section 10.5.80.10.(3), By-law 569-2013**
A parking space may not be located in a front yard or a side yard abutting a street.
Section 4, By-law 1-83
A parking space may be provided as a front yard parking space which is not wholly on the lot, provided that the parking space meets the front yard parking regulations in Section 4 of the By-law.
Section 10.5.80.10.(3), By-law 569-2013 and Section 4, By-law 1-83
The proposed parking spot is located in the front yard.
6. **Section 10.5.60.60.(1), By-law 569-2013**
The eaves of a roof on an ancillary building may encroach into a building setback a maximum of 0.3 m, if the eaves are no closer to a lot line than 0.15 m.
The eaves of the proposed detached garage will project 0 m into the west side yard setback.
7. **Section 200.5.1.10.(2)(A), By-law 569-2013 and Section 1.(1), By-law 496-2007**
The minimum required width of a parking space is 3.2 m and the minimum required length of a parking space is 5.6 m.
The proposed parking space, within the detached garage, will have a width of 2.89 m and a length of 4.7 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.
2. The proposal shall be constructed substantially in accordance with the revised plans submitted and held on file by the Committee of Adjustment office and date stamped as received on May 4, 2017, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
3. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:

- 3.1 The applicant is required to obtain authorisation (i.e., a front yard parking license) for the proposed front yard parking pad to the satisfaction of the Off-Street Parking Sub-Unit of Transportation Services; the applicant shall contact Mr. Nino Pellegrini, Supervisor of Off-Street Parking at 416-392-7564 in this regard. The applicant is advised that the front yard parking pad must be approved by City Council *and* constructed to the satisfaction of Transportation Services;
- 3.2 The site plan must be revised to include a notation on the drawing stating: "The proposed new/widened driveway shall be constructed to the applicable City of Toronto Design Standard(s)";
- 3.3 The site plan must be revised to include a notation on the drawing stating: "The applicant must provide a Municipal Road Damage Deposit (MRDD) for the proposed new/widened driveway construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at 416-338-1045 in this regard;
- 3.4 The site plan must be revised to include a notation on the drawing stating: "The applicant must obtain all required permits to construct any proposed new/widened driveway from the Right-of-Way Management Section of Transportation Services (i.e. curb cut permits, etc.)".

SIGNATURE PAGE

File Number:	A0134/17EYK	Zoning	RD & R1
Owner:	STEVEN FRASER MELANIE FRASER	Ward:	Parkdale-High Park (13)
Agent:	REXFORD DESIGNS	Heritage:	Not Applicable
Property Address:	71 RAYMOND AVE	Community:	
Legal Description:	PLAN 1582 LOT 116NWPT LOT 117NEPT		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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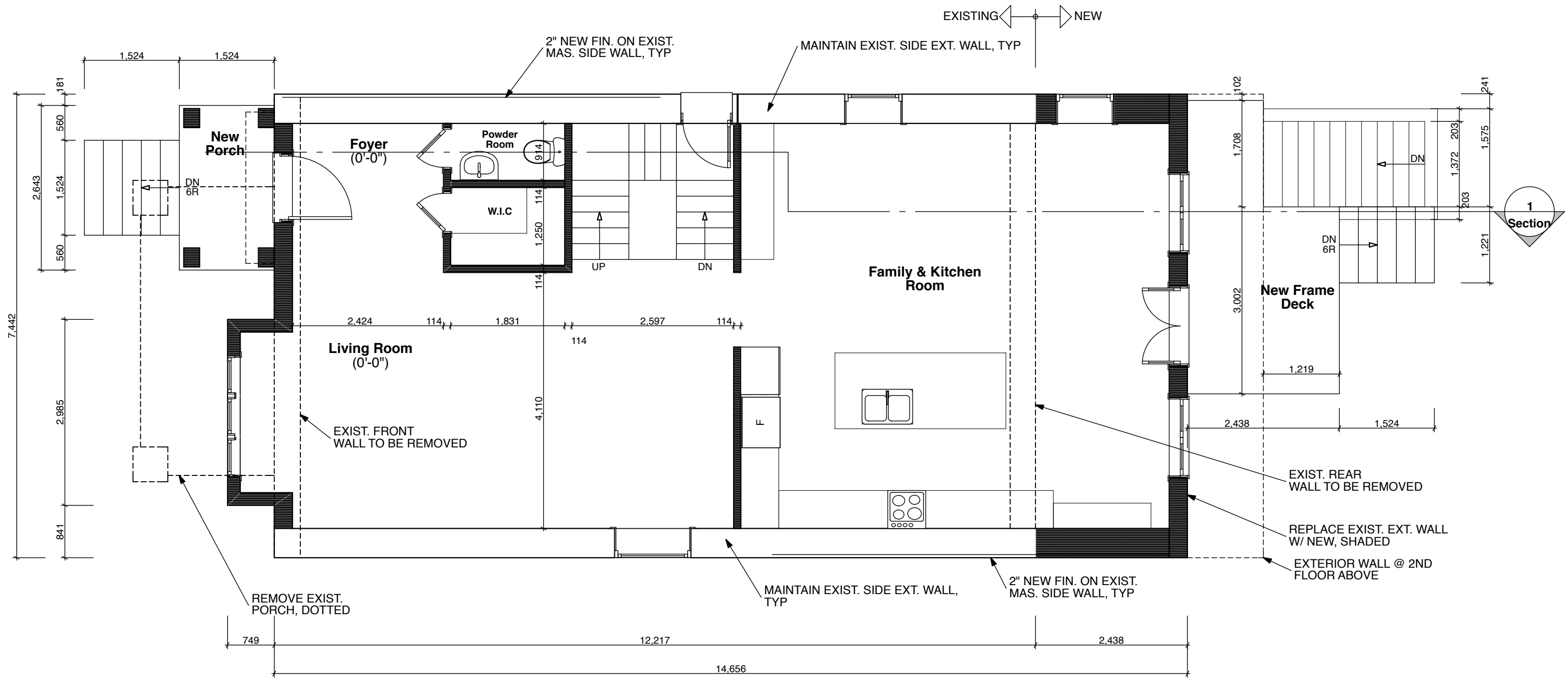
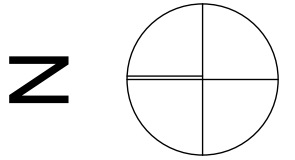
To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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REVISED
9:30 am, May 04, 2017

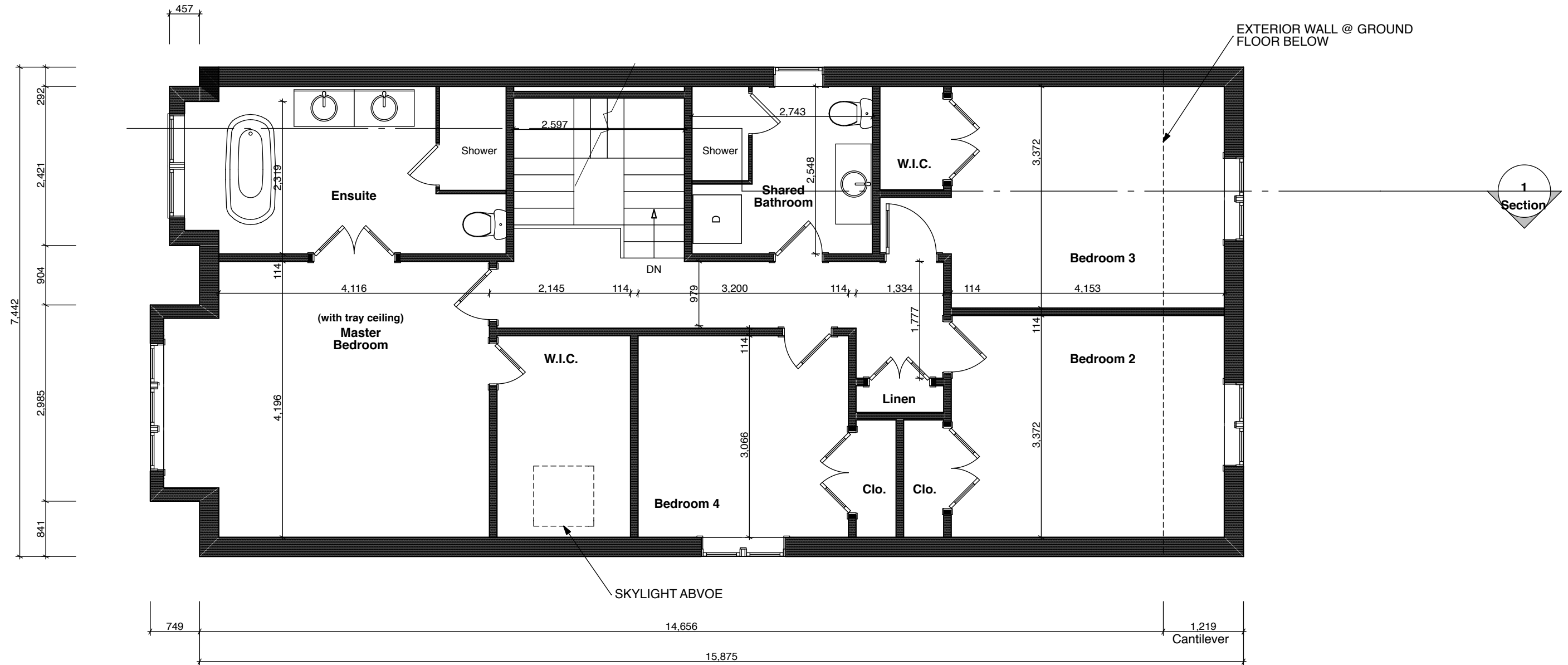
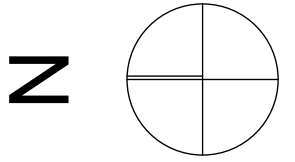


3D Views

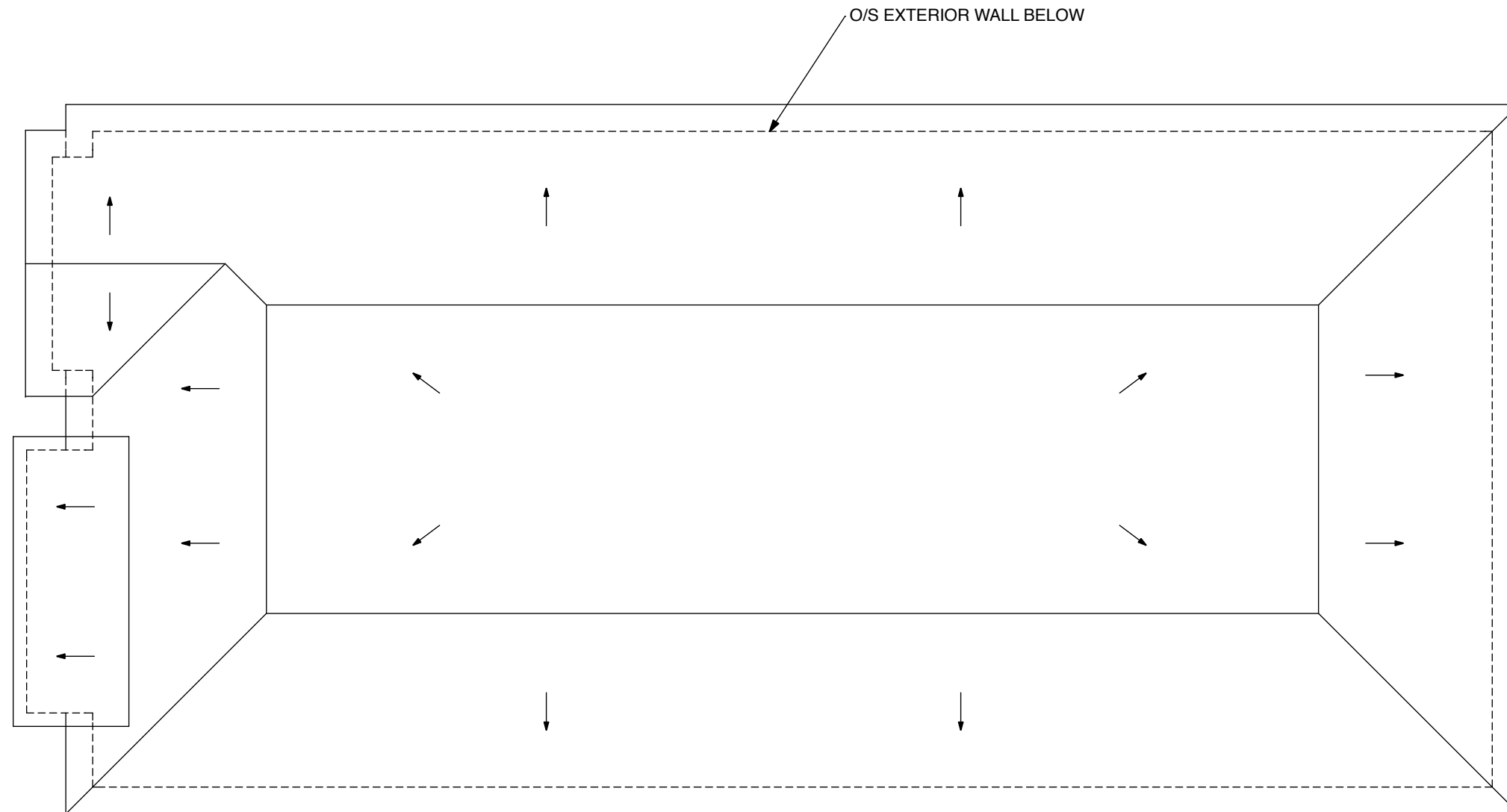


- LEGEND:**
- NEW WALL
 - EXIST. WALL TO BE MAINTAINED
 - EXIST. WALL TO BE REMOVED

Ground Floor Plan



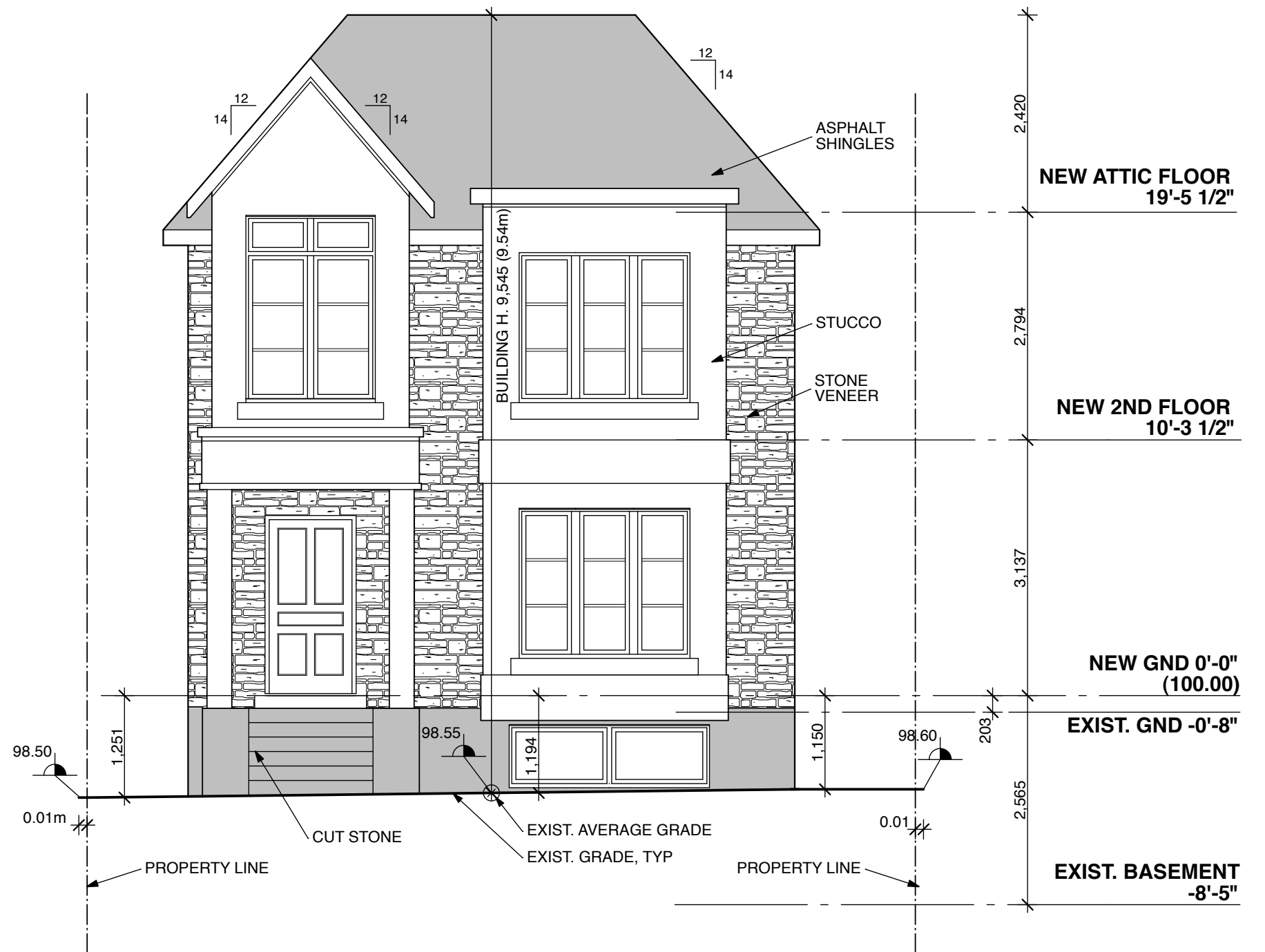
New Second Floor Plan



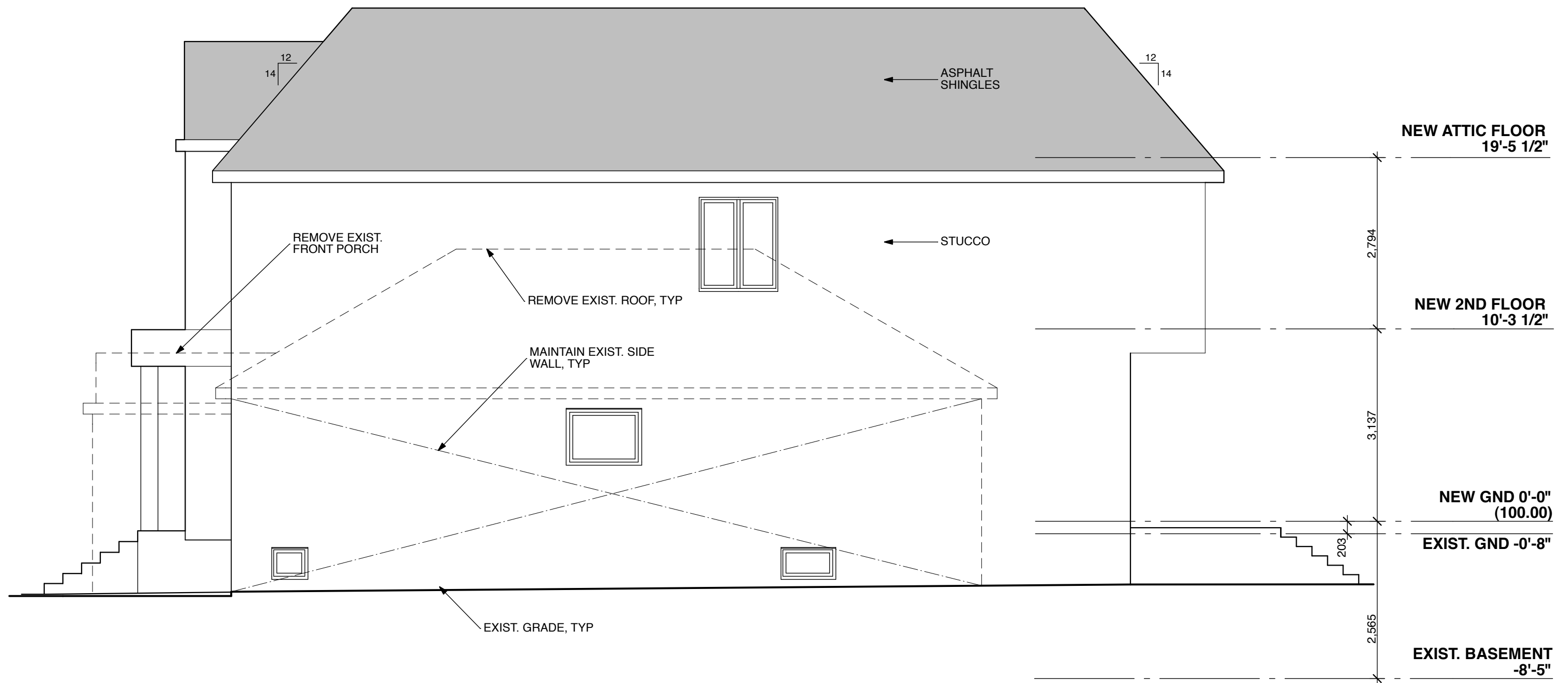
O/S EXTERIOR WALL BELOW

ROOF NOTE:
 1. ROOF AREA: 1464.4 SQFT
 2. FLAT ROOF AREA: 454 SQFT (31%) < 33%

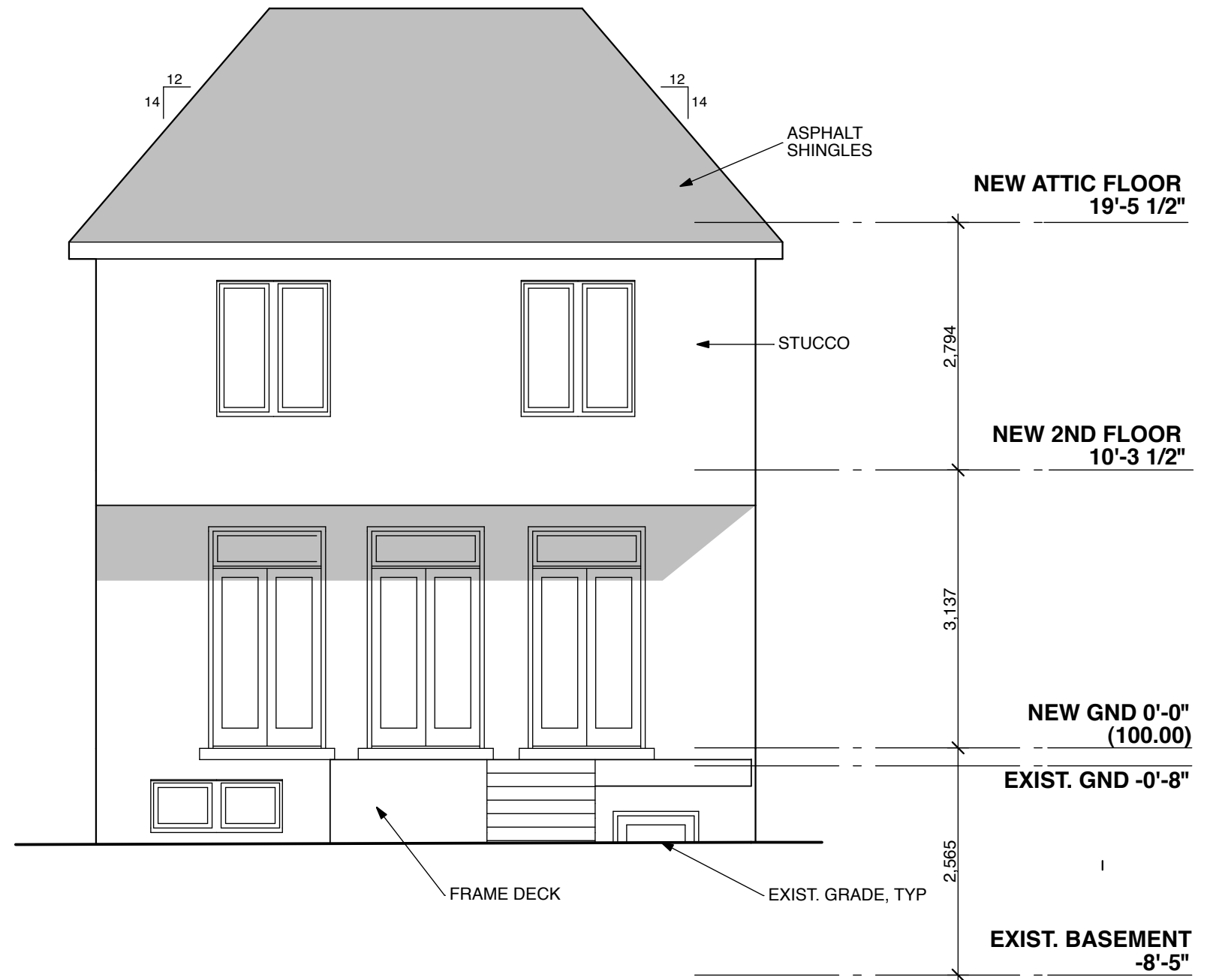
New Roof Plan



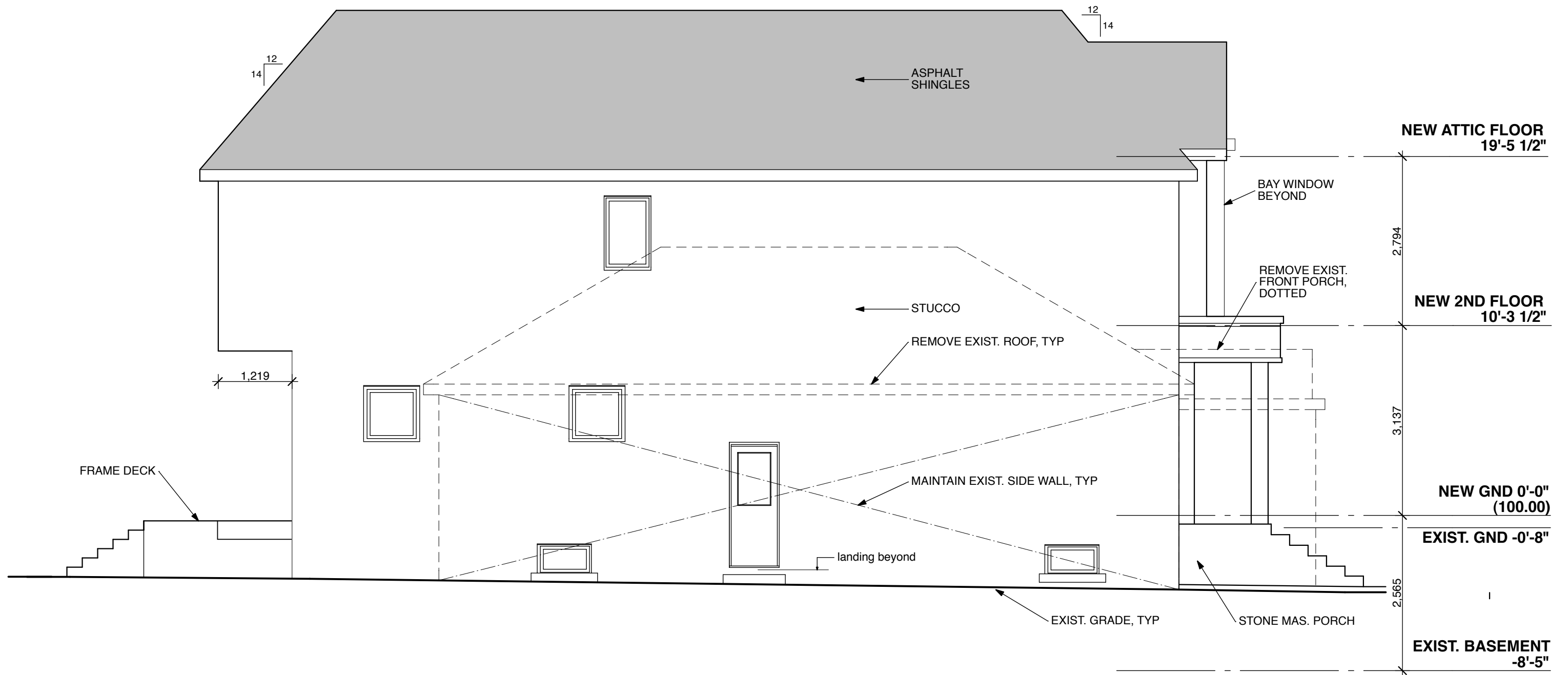
North Elevation



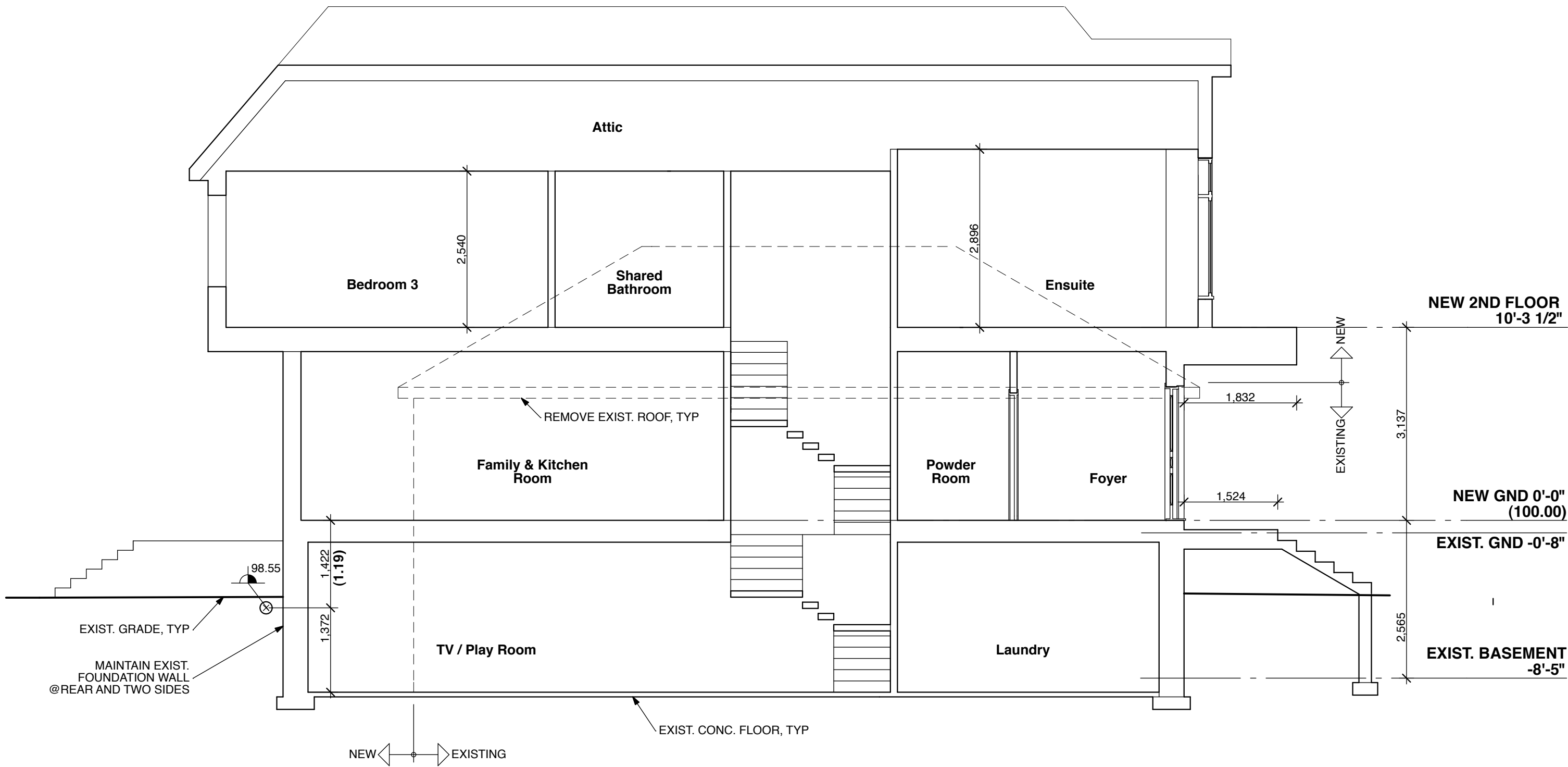
West Elevation



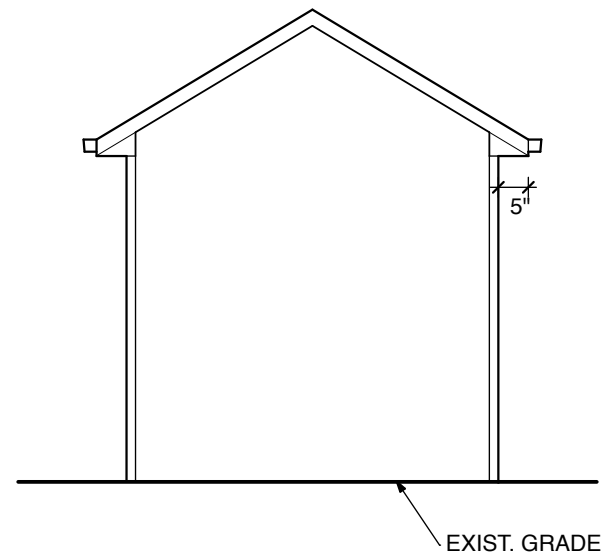
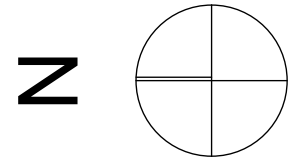
South Elevation



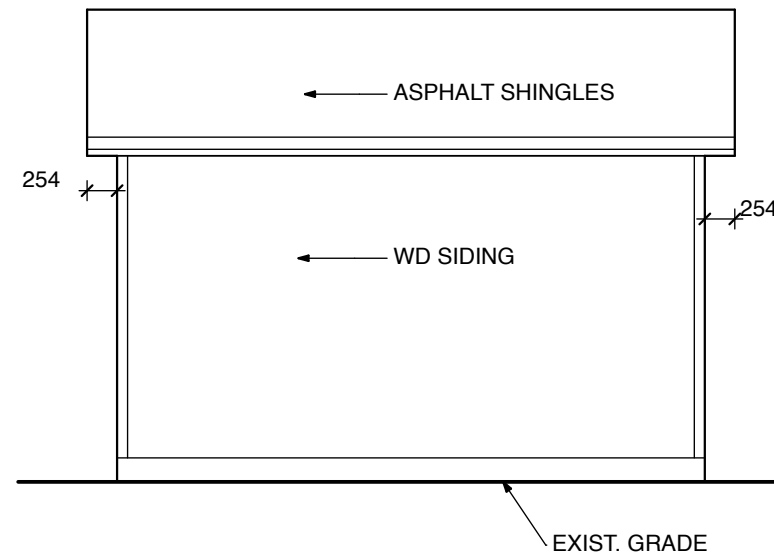
East Elevation



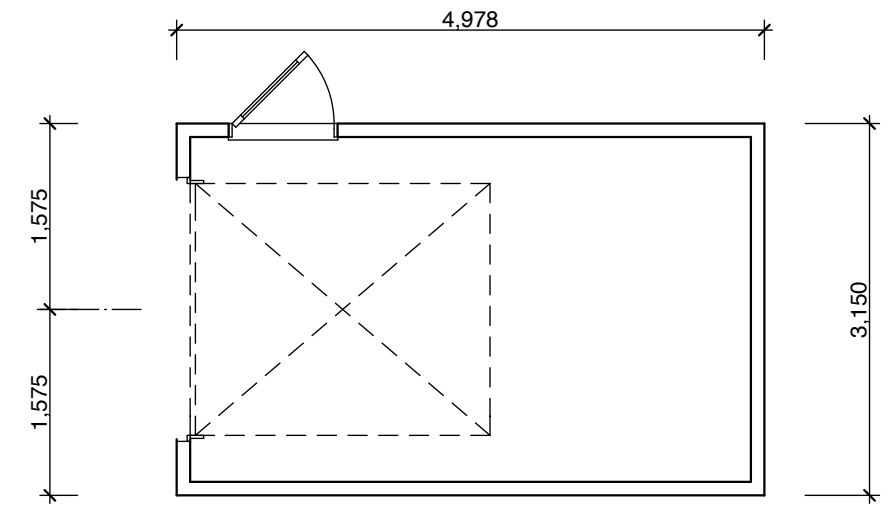
Section 1



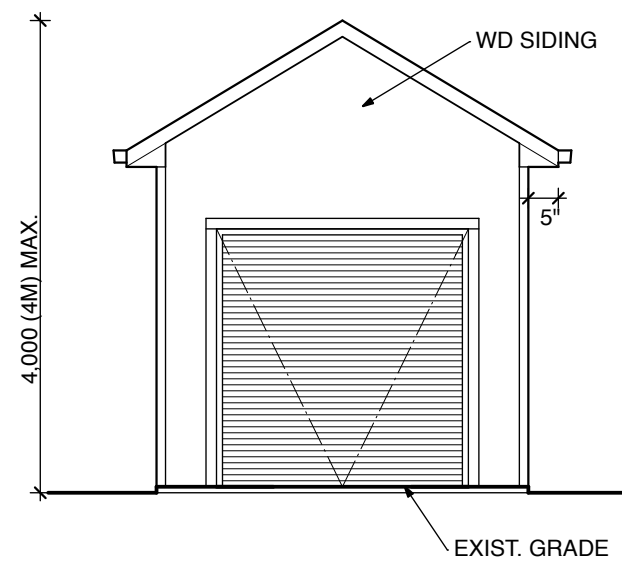
South Elevation



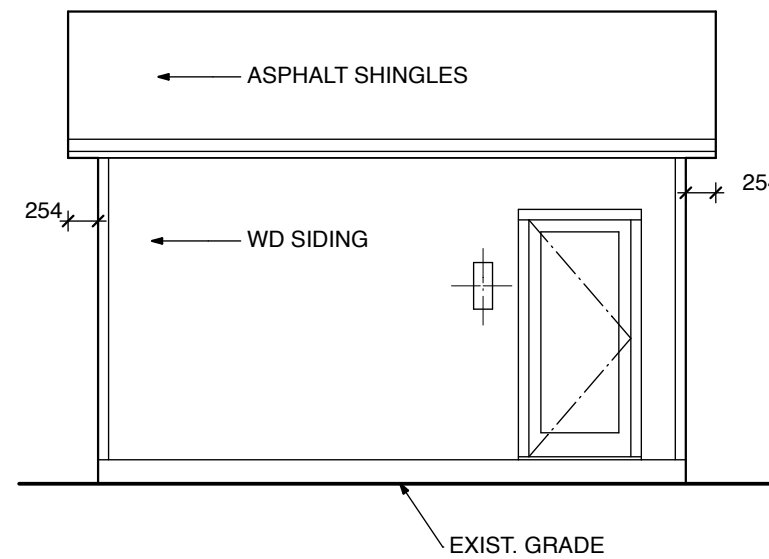
West Elevation



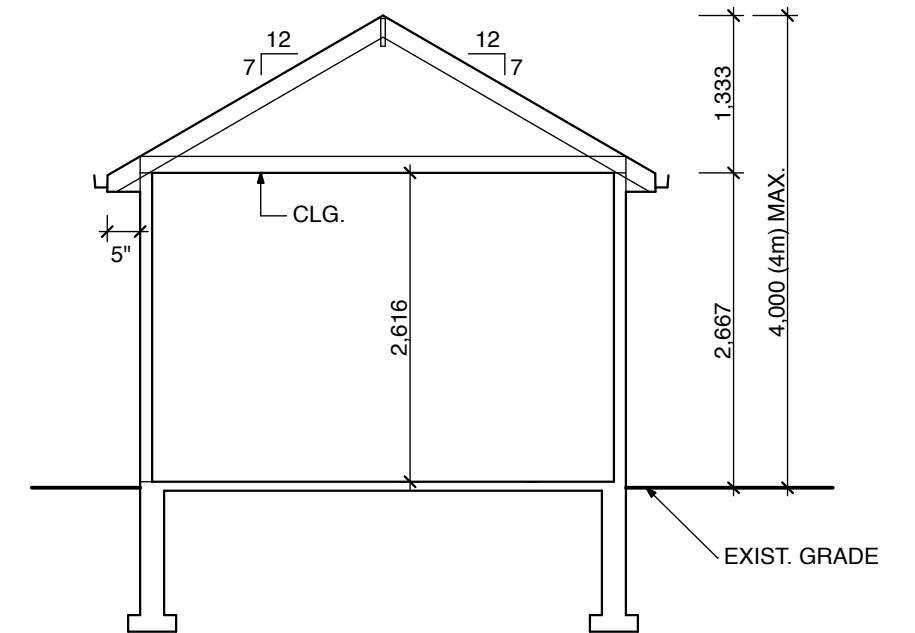
Plan



North Elevation



East Elevation



Section 2

Garage Plan, Elevation & Section 2 (Rebuilt Existing Garage)

Thursday, June 15, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0251/17EYK	Zoning	RM & R2
Owner(s):	ALEXANDRA PEREIRA	Ward:	Parkdale-High Park (13)
Agent:	DENEGRI BESSAI STUDIO	Heritage:	Not Applicable
Property Address:	64 WATSON AVE	Community:	
Legal Description:	PLAN 878 N PT LOT 122 PLAN 1001 PT LOT 20		

Notice was given and a Public Hearing was held on Thursday, June 15, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new semi-detached dwelling. The existing rear detached garage will be maintained.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.40.40.(1)(A); By-Law 569-2013 and Section 8.3.(i) By-Law 3623-97.**
The maximum permitted floor space index is 0.6 times the area of the lot.
The proposed semi-detached dwelling will have a floor space index of 0.79 of the lot area.
- Section 10.80.40.10.(2)(B)(ii); By-Law 569-2013.**
The maximum permitted side exterior main wall height is 8.5 m facing a side lot line.
The proposed semi-detached dwelling will have a side exterior main wall height of 9.7 m facing a side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

SIGNATURE PAGE

File Number:	A0251/17EYK	Zoning	RM & R2
Owner:	ALEXANDRA PEREIRA	Ward:	Parkdale-High Park (13)
Agent:	DENEGRI BESSAI STUDIO	Heritage:	Not Applicable
Property Address:	64 WATSON AVE	Community:	
Legal Description:	PLAN 878 N PT LOT 122 PLAN 1001 PT LOT 20		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Wednesday, June 21, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0026/17EYK	Zoning:	RD
Owner(s):	MURAD UDDIN CARLOS VEGA	Ward:	Davenport (17)
Agent:	DAVID FORGIONE	Heritage:	Not Applicable
Property Address:	163 & 165 ROSETHORN AVE	Community:	
Legal Description:	PLAN 1647 PT LOT 98		

Notice was given and the application considered on Thursday, June 15, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to the technical severance of the property for the purpose of re-establishing two separate lots.

Retained - Part 2

163 Rosethorn Avenue

Part 2 has a lot frontage of 5.49 m and a lot area of 150.4 m². The existing detached dwelling will be maintained.

Conveyed - Part 1

165 Rosethorn Avenue

Part 1 has a lot frontage of 5.79 m and a lot area of 90.2 m². The existing detached dwelling will be maintained.

The Deputy Secretary-Treasurer, considered the written submissions relating to the application prior to making the decision. In so doing, **IT WAS THE DECISION OF THE SECRETARY TREASURER THAT:**

The Consent Application is Approved on Condition

The Deputy Secretary-Treasurer has considered the provisions of Section 51(24) of the Planning Act, is satisfied that a plan of subdivision is not necessary for the proper and orderly development of the municipality and therefore consents to the requested transaction, pursuant to subsection 53(42) of the Planning Act, **subject to the following conditions:**

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.

- (2) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, of Property Records, at 416 392-8338; jhouse@toronto.ca
- (3) **An electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services, shall be filed with the Committee of Adjustment.
- (4) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes, to the satisfaction of Urban Forestry Ravine and Natural Feature Protection
- (5) The following conditions shall be fulfilled to the satisfaction of the Engineering and Construction Services Division:
 - (5.1) Certification from the applicant's engineer/solicitor/surveyor that the 2 newly created lots will be separately serviced for sanitary and water;
 - (5.2) If the lots are not separately serviced, the applicant shall make satisfactory arrangements with Toronto Water District Operations – Contract Services, for the removal of the single municipal water service and sanitary service which both currently service both 163 and 165 Rosethorn Ave, and the installation of a separate individual water service and sanitary service for each of the newly created severed lots, within the City's right-of-way, abutting the subject site, as required at no cost to the City. The applicant is required to contact Toronto Water District Operations – Contract Services, at 416-395-6082, to arrange for the installation of these services.
- (6) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare and submit for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act* , as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0026/17EYK	Zoning:	RD
Owner(s):	MURAD UDDIN CARLOS VEGA	Ward:	Davenport (17)
Agent:	DAVID FORGIONE	Heritage:	Not Applicable
Property Address:	163 & 165 ROSETHORN AVE	Community:	
Legal Description:	PLAN 1647 PT LOT 98		

DATE DECISION MAILED ON: Friday, June 23, 2017

LAST DATE OF APPEAL : Thursday, July 13, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

This day of, 2017

Appeal Information

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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.