

**COMMITTEE OF ADJUSTMENT
AGENDA
SCARBOROUGH PANEL****Hearing Date:** May 11, 2017**Time:** 9:30 a.m.**Location:** Council Chamber - Scarborough Civic Centre - 150 Borough Drive**1. OPENING REMARKS**

- **Declarations of Interest**
- **Confirmation of Minutes from Previous Hearing**

2. DEPUTATION ITEMS**The following applications will be heard at 9:30 a.m. or shortly thereafter:**

	File Number	Owner	Property	Community (Ward)
<u>COMBINED APPLICATIONS</u>				
1.	B017/15SC, A084/15SC, A085/15SC	JAMIE PAGNELLO	31 ANDREW AVE	Scarborough Southwest (36)
2.	B0061/16SC, A0345/16SC & A0346/16SC	MD AJAZ AHMED KHAN	116 POPLAR RD	Scarborough East (43)
3.	B0065/16SC, A0371/16SC, A0372/16SC & A0373/16SC	SURESHKUMAR RATNAM CHITRAKALA SURESHKUMAR	57 ORCHARD PARK DR	Scarborough East (44)
4.	B0069/16SC, B0068/16SC, A0073/17SC- A0076/17SC	LOVELY YESMIN	83 SANDOWN AVE & 85 SANDOWN AVE	Scarborough Southwest (36)

- | | | | | |
|----|---|---|-----------------|----------------------------|
| 5. | B0005/17SC,
A0052/17SC,
A0053/17SC | PETRU ALEXA
MESHELL ALEXA | 70 PARK ST | Scarborough Southwest (36) |
| 6. | B0006/17SC,
A0064/17SC &
A0065/17SC | LOUIS GOSSELIN | 237 MCINTOSH ST | Scarborough Southwest (36) |
| 7. | B0008/17SC,
A0083/17SC,
A0084/17SC | GREECIA
CONSTRUCTION
LIMITED
GREECIA
CONSTRUCTION | 44 LAUREL AVE | Scarborough Southwest (35) |

CONSENT APPLICATION

- | | | | | |
|----|------------|--------------------------|----------------------|-----------------------|
| 8. | B0007/17SC | PRASANNA
GANTHITHASAN | 563 MEADOWVALE
RD | Scarborough East (44) |
|----|------------|--------------------------|----------------------|-----------------------|

MINOR VARIANCE APPLICATIONS

- | | | | | |
|-----|---|--------------------------------------|---|---------------------------------|
| 9. | A130/14SC | J J V INVEST INC | 124 MANVILLE RD | Scarborough Southwest (35) |
| 10. | A0300/16SC | GENXS CORP | 26 EASTVILLE AVE | Scarborough Southwest (36) |
| 11. | A0027/17SC | FANG CHEN
FANG CHEN | 90 CASTLE HILL DR | Scarborough-Agincourt (39) |
| 12. | A0066/17SC | MANOLIS GAIDATSI | 2857 KINGSTON RD | Scarborough Southwest (36) |
| 13. | A0069/17SC,
A0070/17SC &
A0071/17SC | KARACA YILDIRIM
KAYRA HOLDING INC | 670 A BIRCHMOUNT
RD 670 B
BIRCHMOUNT RD
670 C BIRCHMOUNT
RD | Scarborough Southwest (35) |
| 14. | A0078/17SC | DANIEL MCKENNA | 288 WARDEN AVE | Scarborough Southwest (36) |
| 15. | A0079/17SC | TAPSCOTT BIRCH
PROPERTIES INC | 165 TAPSCOTT RD | Scarborough-Rouge River
(42) |
| 16. | A0080/17SC | MICHELE GOUW
ANDREW GOUW | 133 COURCELETTE
RD | Scarborough Southwest (36) |
| 17. | A0081/17SC | LORENZA RIVERA
FABI | 2 BEN DORAN BLVD | Scarborough Centre (38) |
| 18. | A0085/17SC | SUSAN ABRAHAM
MANOJ ABRAHAM | 494 ROUGE HILLS DR | Scarborough East (44) |

- | | | | | |
|-----|------------|---|--------------------------|----------------------------|
| 19. | A0086/17SC | CATHERINE MARTHA IOGNA
RAYMOND REMO IOGNA | 3 REDLAND CRES W | Scarborough Southwest (36) |
| 20. | A0087/17SC | RICHARD DAVIS | 16 ALRITA CRES | Scarborough-Agincourt (40) |
| 21. | A0088/17SC | RAGHAVAN RAMANATHAN | 30 CLONMORE DR | Scarborough Southwest (36) |
| 22. | A0089/17SC | 1390196 ONTARIO INC
BASSEM NASR | 106 BROOKLAWN AVE | Scarborough Southwest (36) |
| 23. | A0097/17SC | KARIN LANGE
ANDREW LANGE | 20 GRADWELL DR | Scarborough Southwest (36) |
| 24. | A0098/17SC | SOPHIA MASTROKOSTAS | 51 VERNON RD | Scarborough Centre (37) |
| 25. | A0103/17SC | SIVASUBRAMANIAM
KUGARAJH
SUGEETHA
KUGARAJH | 24 MINNACOTE AVE | Scarborough East (44) |
| 26. | A0105/17SC | TORONTO COMMUNITY HOUSING CORPORATION | 3939-3947 LAWRENCE AVE E | Scarborough East (43) |

3. OTHER BUSINESS

None.

4. ONTARIO MUNICIPAL BOARD

Appeals:

Appeals arising from April 13, 2017 Hearing:

- a. 3224 DANFORTH AVE & 2 WANSTEAD AVE –**
(Committee Refused – Applicant appealed to OMB)

File Number:	A0355/16SC	Zoning	Commercial Residential (CR) Zone [ZR]
Owner:	EKATERINI STAVROPOULOS GEORGE MOULATSIOTIS	Ward:	Scarborough Southwest (35)
Agent:	ARISTOTLE CHRISTOU	Heritage:	Not Applicable

Property Address: **3224 DANFORTH AVE &
2 WANSTEAD AVE**

Community: Oakridge Community

Legal Description: PLAN 808 PT LOT 6

* Website for OMB Orders: <http://www.omb.gov.on.ca/english/eDecisions/eDecisions.html>

5. DATE OF NEXT MEETING: June 1, 2017

6. ADJOURNMENT

* Website for City of Toronto, Committee of Adjustment Agendas and Decisions:
<http://www1.toronto.ca/wps/portal/contentonly?vgnextoid=ed2552cc66061410VgnVCM10000071d60f89RCRD>

Please Note: Looking for information regarding Case Manager on a file and/or hearing date prior to the agenda? Please use the following link:

* Website for City Planning "Application Information Centre" (AIC);

<http://app.toronto.ca/DevelopmentApplications/mapSearchSetup.do?action=init>

For Committee of Adjustment, please "select" "Committee of Adjustment" prior to entering your search information.

The following applications will be heard at 9:30 a.m. or shortly thereafter:

1. 31 ANDREW AVE

File Number:	B017/15SC, A084/15SC, A085/15SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	JAMIE PAGNELLO	Ward:	Scarborough Southwest (36)
Agent:	JAMIE PAGNELLO	Heritage:	Not Applicable
Property Address:	31 ANDREW AVE	Community:	Cliffcrest Community
Legal Description:	PLAN 2114 LOT 29 AND PT LOT 30		

THE CONSENT REQUESTED:

This application is for consent to sever the land into two lots, as shown on the attached Site Plan. Lot to be created, Part 1 would have a frontage of 12.19 metres and 501.75 square metres lot area. Lot to be created, Part 2 would have a frontage of 10.67 metres and a lot area of 439.18 square metres. The owner is proposing to demolish the existing house and build two new detached houses. In order to facilitate the proposed development, relief from the provision of the Zoning By-law was requested, as outlined in A084/15SC and A085/15SC.

Part 1 - A084/15SC
By-law No. 569-2013

1. To permit the proposed 38% lot coverage, whereas the Zoning By-law permits a maximum 33% lot coverage.
2. To permit the proposed building length of 19.71 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.
3. To permit the proposed building depth of 19.71 metres measured from the front yard setback requirement on a lot to the rear wall, whereas the Zoning By-law permits maximum building depth of 19 metres.
4. To permit the proposed second suite, whereas the Zoning By-law requires an entire building to have been constructed more than 5 years prior to the introduction of a secondary suite.
5. To permit the proposed 6.17 metres front yard setback, whereas the Zoning By-law requires a minimum 6.27 metres front yard setback.
6. To permit the proposed 12.19 metres lot frontage, whereas the Zoning By-law requires a minimum 22.86 metres lot frontage.
7. To permit the proposed 501.75 square metres lot area, whereas the Zoning By-law requires a minimum 940.92 square metres lot area.

By-law No. 9364

6. To permit the proposed 38% lot coverage, whereas the Zoning By-law permits a maximum 33% lot coverage.
7. To permit the proposed second suite, whereas the Zoning By-law requires an entire building to have been constructed more than 5 years prior to the introduction of a secondary suite.

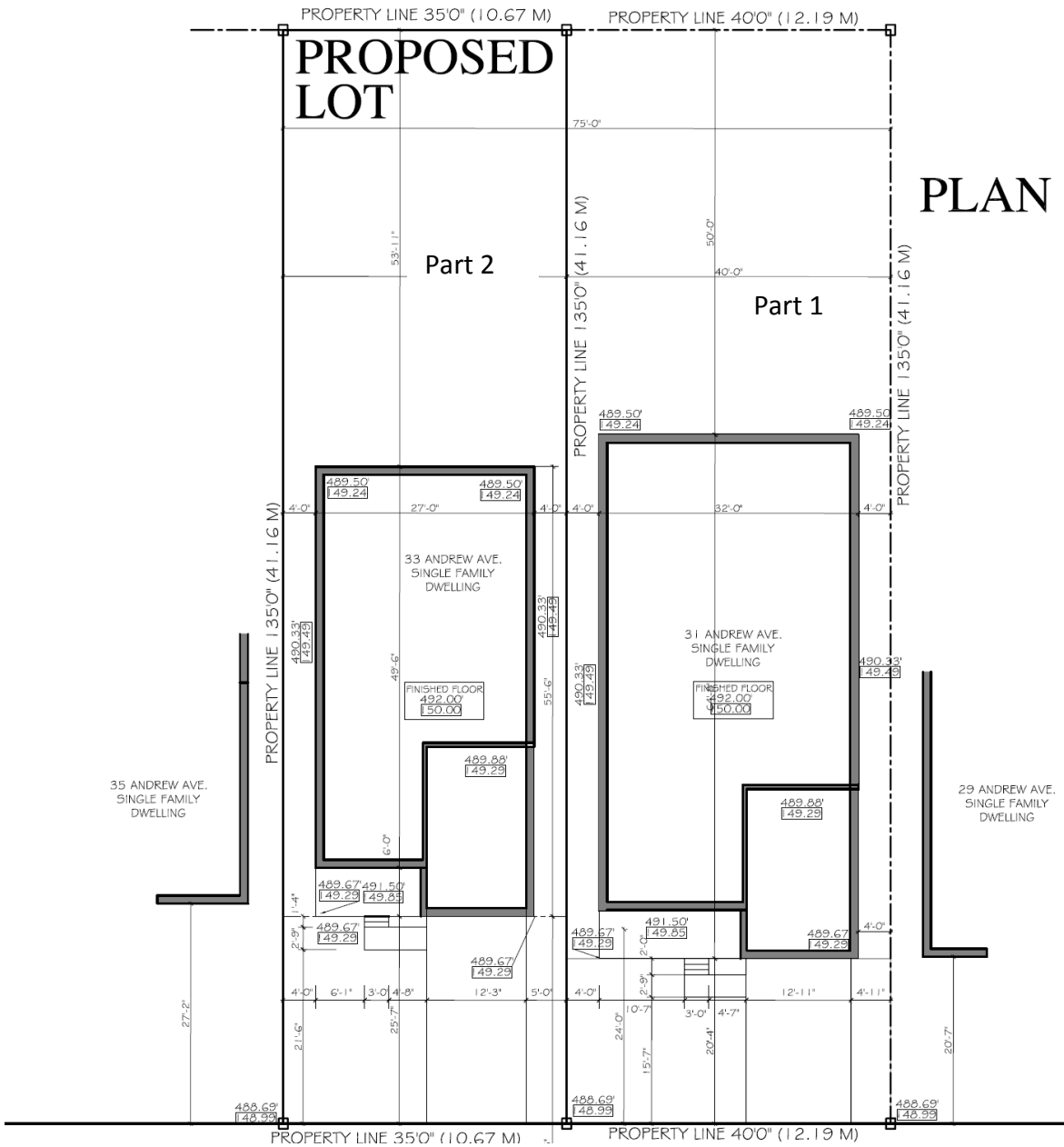
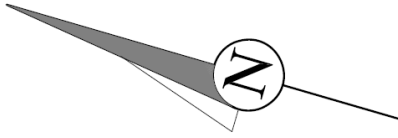
Part 2 - A085/15SC

By-law No. 569-2013

1. To permit the proposed 10.67 metres lot frontage, whereas the Zoning By-law requires a minimum 22.86 metres lot frontage.
2. To permit the proposed 439.18 square metres lot area, whereas the Zoning By-law requires a minimum 940.92 square metres lot area.

By-law No. 9364

3. To permit the proposed 10.67 metres lot frontage, whereas the Zoning By-law requires a minimum 12 metres lot frontage.



PLAN :

Lot Division Plan

Applicant's Submitted Drawing
 Not to Scale

04/18/2017 - PB

31 Andrew Ave

File # B017/15SC, A084/15SC, A085/15SC

Attachment 2

2. 116 POPLAR RD

File Number:	B0061/16SC, A0345/16SC & A0346/16SC	Zoning	Residential Detached (RD) & Single Family (S)
Owner(s):	MD AJAZ AHMED KHAN	Ward:	Scarborough East (43)
Agent:	CANTAM GROUP LTD.	Heritage:	Not Applicable
Property Address:	116 POPLAR RD	Community:	West Hill Community
Legal Description:	CON D PT LOT 12 RP R2160 PART 2		

THE CONSENT REQUESTED:

To obtain consent to sever the property into two (2) undersized residential lots.

This application was deferred at the January 19, 2017 meeting of the Committee of Adjustment for further consultation with the community.

Retained - Part 1

The lot will have a frontage of 8.305 m and an area of 409.1 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0346/16SC.

Conveyed - Part 2

The lot will have a frontage of 8.305 m and an area of 409.1 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0345/16SC.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Part 1 – Retained (A0346/16SC) & Part 2 – Conveyed (A0345/16SC)

By-law No. 569-2013 and No. 10327:

1. The proposed lot will have a frontage of 8.3 m;
Whereas the minimum required lot frontage is 12 m.
2. The proposed lot will have an area of 409.1 m²;
Whereas the minimum required lot area is 464 m².

By-law No. 569-2013:

3. The proposed dwelling will be located 0.82 m from the south side lot line on **Part 1**;
The proposed dwelling will be located 0.82 m from the north side lot line on **Part 2**;
Whereas the minimum required side yard setback is 1.2 m.
4. The proposed dwelling will have a length of 18.44 m;
Whereas the maximum permitted building length is 17 m.

By-law No. 10327:

5. The proposed dwelling will be located 0.82 m from the south side lot line and 1.22 m from the north side lot line on **Part 1**;
The proposed dwelling will be located 0.82 m from the north side lot line and 1.22 m from the south side lot line on **Part 2**;
Whereas the minimum required side yard setback is 1.2 m plus 0.6 m for each additional storey, for a total required side yard setback of 1.8 m.

3. 57 ORCHARD PARK DR

File Number:	B0065/16SC, A0371/16SC, A0372/16SC & A0373/16SC	Zoning:	Single Family (S) and Residential Detached (RD) [Waiver]
Owners:	SURESHKUMAR RATNAM CHITRAKALA SURESHKUMAR	Ward:	Scarborough East (44)
Agent:	FLEURY, COMERY LLP	Heritage:	Not Applicable
Property Address:	57 ORCHARD PARK DR	Community:	West Hill
Legal Description:	PLAN 3350 S PT LOT 1 RP 64R9022 PART 3		

THE CONSENT REQUESTED:

Proposal to sever the land into three lots for detached dwellings. The proposed lots would each have a frontage of approximately 14.5 m on Orchard Park Drive and a lot area of approximately 442 m². The lots are shown as PARTS 1, 2 and 3 on the attached Lot Division Plan.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

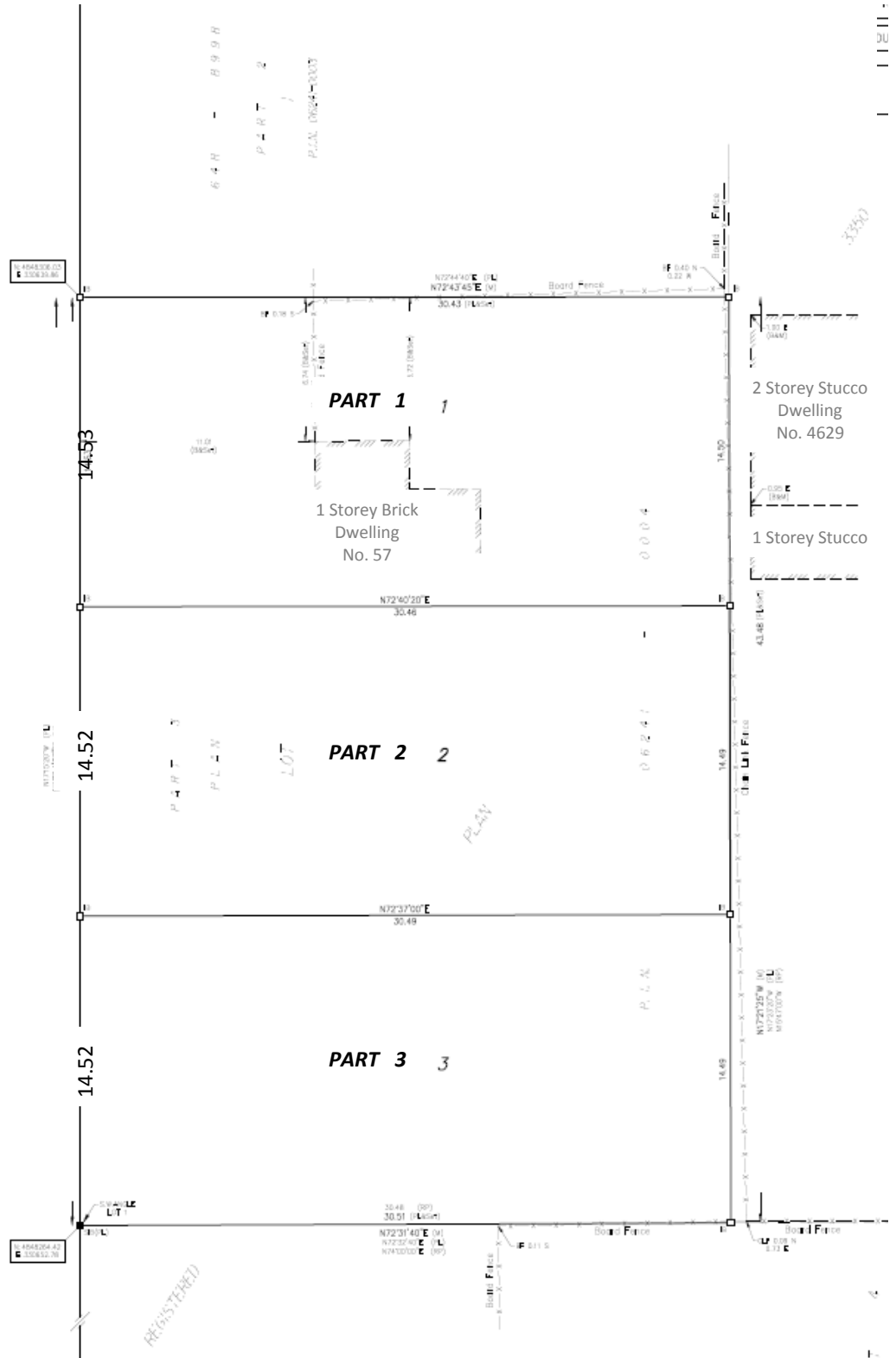
Part 1 (File A0371/16SC), Part 2 (File A0372/16SC) & Part 3 (File A0373/16SC):

By-law No. 569-2013 & By-law No. 10327:

1. The proposed lot frontage is 14.5 m
Whereas the minimum required lot frontage is 15 m
2. The proposed lot area is 441 m²
Whereas the minimum required lot area is 697 m²



ORCHARD PARK DRIVE



4. 83 SANDOWN AVE & 85 SANDOWN AVE

File Number:	B0069/16SC, B0068/16SC, A0073/17SC-A0076/17SC	Zoning	RS - Residential Semi- Detached/S - Single Family Residential [ZZC]
Owner(s):	LOVELY YESMIN	Ward:	Scarborough Southwest (36)
Agent:	CANTAM GROUP	Heritage:	Not Applicable
Property Address:	83 SANDOWN AVE & 85 SANDOWN AVE	Community:	Cliffside Community
Legal Description:	PLAN M388 S PT LOT 151, PLAN M388 N PT LOT 151 **GRID E3603		

THE CONSENT REQUESTED:

This application is for consent to sever the land into four lots, as shown on the attached Site Plan. Lot to be created Part 1 would have a frontage of 10.4 metres and a lot area of 285.2 square metres. Lots to be created Part 2, Part 3 and Part 4 would have a frontage of 9.2 metres and a lot area of 251.7 square metres. The owner is proposing to demolish the two existing houses and build four new detached houses. In order to facilitate the proposed development, relief from the provision of the Zoning By-law was requested, as outlined in A0073/17SC, A0074/17SC, A0075/17SC and A0076/17SC.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Part 1 - A0076/17SC

By-law No. 569-2013

1. To permit the proposed 35% lot coverage, whereas the Zoning By-law permits a maximum 33% lot coverage.
2. To permit the proposed 175 square metres floor area, whereas the Zoning By-law permits maximum 171.1 square metres floor area.
3. To permit the proposed 285.2 square metres lot area, whereas the Zoning By-law requires a minimum 325 square metres lot area.
4. To permit the proposed 0.61 metres east building setback from a side lot line, whereas the Zoning By-law requires a minimum 0.9 metres building setback from a side lot line.

By-law No. 9364

5. To permit the proposed 35% lot coverage, whereas the Zoning By-law permits a maximum 33% lot coverage.
6. To permit the proposed 173 square metres floor area, whereas the Zoning By-law permits maximum 171.1 square metres floor area.
7. To permit the proposed 285.2 square metres lot area, whereas the Zoning By-law requires a minimum 325 square metres lot area.

8. To permit the proposed 0.61 metres east building setback from a side lot line, whereas the Zoning By-law requires a minimum 1.5 metres building setback from a side lot line.
9. To permit the proposed 1.85 metres west building setback from a side lot line, whereas the Zoning By-law requires a minimum 3.6 metres building setback from a side lot line abutting a side street.

Part 2 - A0075/17SC, Part 3 - A0074/17SC & Part 4 - A0073/17SC

By-law No. 569-2013

1. To permit the proposed 39% lot coverage, whereas the Zoning By-law permits a maximum 33% lot coverage.
2. To permit the proposed 175 square metres floor area, whereas the Zoning By-law permits maximum 151 square metres floor area.
3. To permit the proposed 251.7 square metres lot area, whereas the Zoning By-law requires a minimum 325 square metres lot area.
4. To permit the proposed 0.61 metres building setback from a side lot line, whereas the Zoning By-law requires a minimum 0.9 metres building setback from a side lot line.

By-law No. 9364

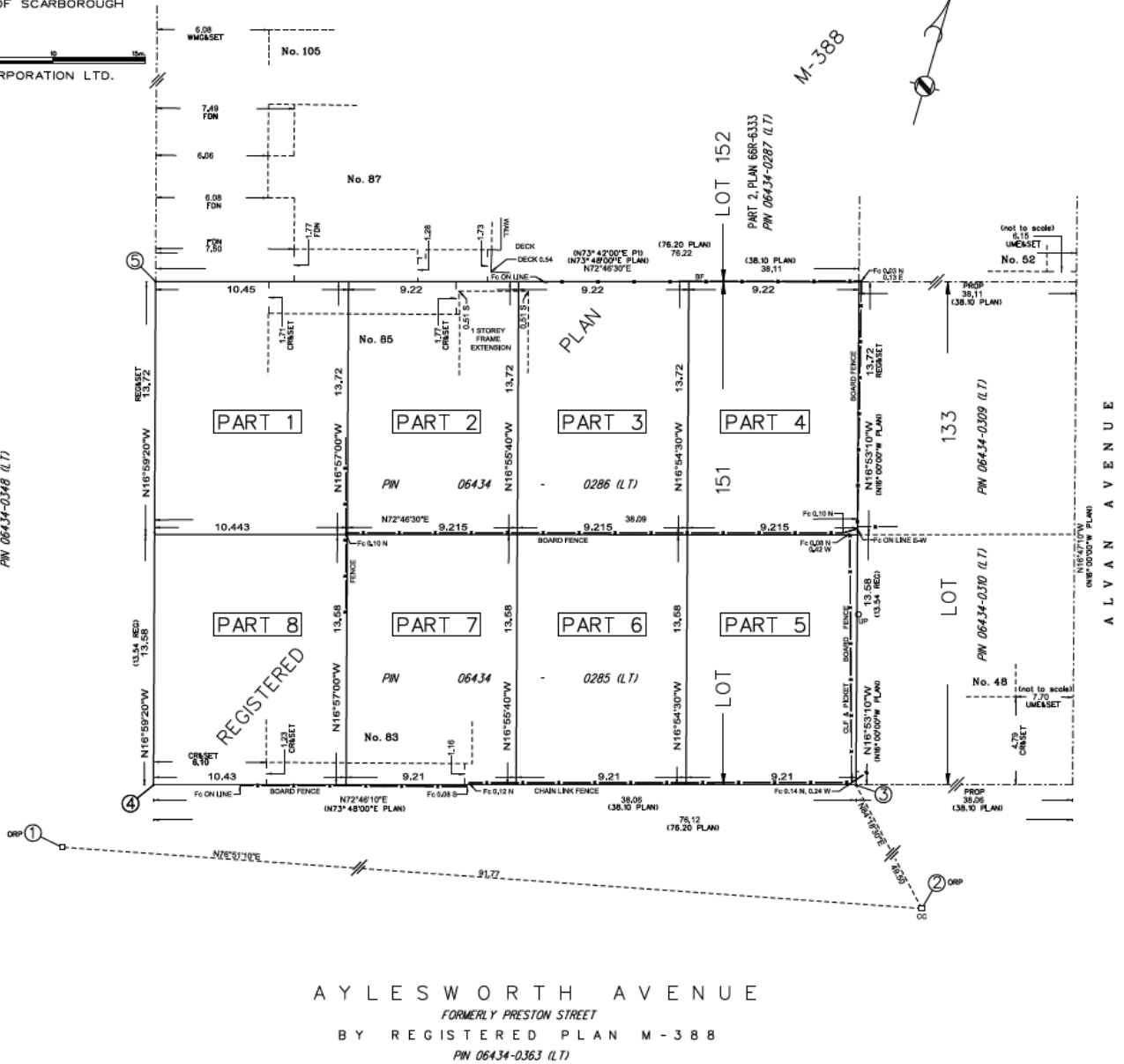
5. To permit the proposed 40% lot coverage, whereas the Zoning By-law permits a maximum 33% lot coverage.
6. To permit the proposed 176 square metres floor area, whereas the Zoning By-law permits maximum 151 square metres floor area.
7. To permit the proposed 251.7 square metres lot area, whereas the Zoning By-law requires a minimum 325 square metres lot area.
8. To permit the proposed 0.61 metres building setback from a side lot line, whereas the Zoning By-law requires a minimum 1.5 metres building setback from a side lot line.

CITY OF TORONTO
 FORMERLY CITY OF SCARBOROUGH

SCALE 1 : 150

BY REGISTERED PLAN M-388
 PIN 06434-0348 (LT)

SANDOWN AVENUE
 BY REGISTERED PLAN M-388
 PIN 06434-0348 (LT)



Lot Division Plan

83 & 85 Sandown Ave

Applicant's Submitted Drawing

File # B0068/16SC, B0069/16SC, A0073/17SC, A0074/17SC, A0075/17SC, A0076/17SC

Not to Scale

03/10/2017 - PB

Attachment 2

5. 70 PARK ST

File Number:	B0005/17SC, A0052/17SC, A0053/17SC	Zoning	RS - Residential Semi- Detached/S - Single Family Residential [ZZC]
Owner(s):	PETRU ALEXA MESHELL ALEXA	Ward:	Scarborough Southwest (36)
Agent:	NICK HATZIANTONIOU	Heritage:	Not Applicable
Property Address:	70 PARK ST	Community:	Cliffside Community
Legal Description:	PLAN M388 LOT 435		

THE CONSENT REQUESTED:

This application is for consent to sever the land into two lots, as shown on the attached Site Plan. Both lots to be created (Part 1) and (Part 2) would have a frontage of 7.62 metres. Part 1 would have a lot area of 338.5 square metres and Part 2 would have a lot area of 323.5 square metres. The owner is proposing to demolish the existing house and build two new detached houses. In order to facilitate the proposed development, relief from the provision of the Zoning By-law was requested, as outlined in A0052/17SC and A0053/17SC.

Part 1 - A0052/17SC

By-law No. 569-2013

1. To permit the proposed 7.62 metres lot frontage, whereas the Zoning By-law requires a minimum 9 metres lot frontage.
2. To permit the proposed 0.76 metres east and west building setback from the side lot line, whereas the Zoning By-law requires a minimum 0.9 metres building setback from a side lot line.
3. To permit the proposed 7.74 metres main wall height, whereas the Zoning By-law permits a maximum 7 metres main wall height.
4. To permit the proposed 9.3 square metres of the first floor to be within 4 metres from the front main wall, whereas the Zoning By-law requires a minimum 10 square metres to be within 4 metres from the front main wall.
5. To permit the proposed 3.1 metres wide parking space, whereas the Zoning By-law requires a minimum 3.2 metres wide parking space.

By-law No. 9364

6. To permit the proposed 3.1 metres wide parking space, whereas the Zoning By-law requires a minimum 3.3 metres wide parking space.
7. To permit the proposed 0.76 metres east and west building setback from the side lot line, whereas the Zoning By-law requires a minimum 2.4 metres building setback from a side lot line.

Part 2 - A0053/17SC

By-law No. 569-2013

1. To permit the proposed 7.62 metres lot frontage, whereas the Zoning By-law requires a minimum 9 metres lot frontage.
2. To permit the proposed 323.5 square metres lot area, whereas the Zoning By-law requires a minimum 325 square metres lot area.
3. To permit the proposed 0.76 metres east and west building setback from the side lot line, whereas the Zoning By-law requires a minimum 0.9 metres building setback from a side lot line.
4. To permit the proposed 200 square metres floor area or 0.62 times the lot area, whereas the Zoning By-law permits maximum 194 square metres floor area or 0.6 times the lot area.
5. To permit the proposed 7.74 metres main wall height, whereas the Zoning By-law permits a maximum 7 metres main wall height.
6. To permit the proposed 9.3 square metres of the first floor to be within 4 metres from the front main wall, whereas the Zoning By-law requires a minimum 10 square metres to be within 4 metres from the front main wall.
7. To permit the proposed 3.1 metres wide parking space, whereas the Zoning By-law requires a minimum 3.2 metres wide parking space.

By-law No. 9364

8. To permit the proposed 3.1 metres wide parking space, whereas the Zoning By-law requires a minimum 3.3 metres wide parking space.
9. To permit the proposed 0.76 metres east and west building setback from the side lot line, whereas the Zoning By-law requires a minimum 2.4 metres building setback from a side lot line.
10. To permit the proposed 200 square metres floor area or 0.62 times the lot area, whereas the Zoning By-law permits maximum 194 square metres floor area or 0.6 times the lot area.

6. 237 MCINTOSH ST

File Number:	B0006/17SC, A0064/17SC & A0065/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	LOUIS GOSSELIN	Ward:	Scarborough Southwest (36)
Agent:	LEMCAD CONSULTANTS	Heritage:	Not Applicable
Property Address:	237 MCINTOSH ST	Community:	Cliffside Community
Legal Description:	PLAN M388 LOT 269 PT LOT 270		

THE CONSENT REQUESTED:

To obtain consent to sever the property into two (2) residential lots.

Conveyed - Part 1

237B McIntosh Street

The proposed lot frontage is 9.14 m and the proposed lot area is 452.1 m². The existing detached dwelling will be demolished and the property will be redeveloped as the site of a new two-storey detached dwelling with an integral garage, requiring variances to the Zoning By-law, as outlined in Application A0065/17SC.

Retained - Part 2

237A McIntosh Street

The proposed lot frontage is 9.14 m and the proposed lot area is 444.9 m². The existing detached dwelling will be demolished and the property will be redeveloped as the site of a new two-storey detached dwelling with an integral garage, requiring variances to the Zoning By-law, as outlined in Application A0064/17SC.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Part 1 – Conveyed (A0065/17SC) & Part 2– Retained (A0064/17SC)

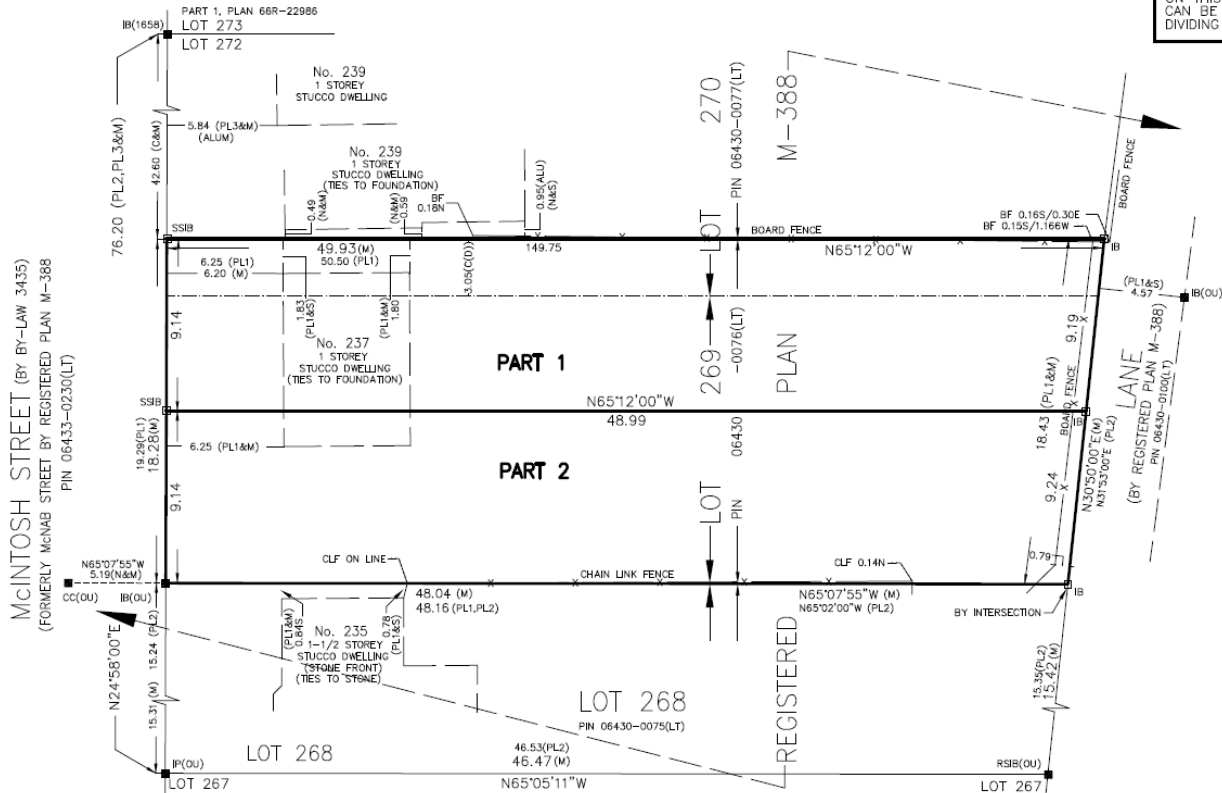
By-law No. 569-2013:

1. The proposed dwelling will have a height of 8.56 m;
Whereas the maximum permitted height of a dwelling with a flat roof is 7.2 m.
2. A total of 8 m² of the first floor is proposed to be within 4 m of the front main wall;
Whereas a minimum of 10 m² of the first floor must be located within 4 m of the front main wall.

**PLAN OF SURVEY OF
LOT 269 AND PART OF LOT 270
REGISTERED PLAN M-388
CITY OF TORONTO
(FORMERLY CITY OF SCARBOROUGH)
SCALE 1:250**

5m 0m 5m 10m 15m

VLADIMIR DOSEN SURVEYING, O.L.S.



PE:

I require this plan to be deposited under the Land Titles Act

Date _____

VLADIMIR DOSEN, B.Sc.
ONTARIO LAND SURVEYOR

PLAN 66R -

RECEIVED AND DEPOSITED

Date _____

METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

REPRESENTATIVE FOR LAND REGISTRAR FOR THE LAND TITLES DIVISION OF THE TORONTO REGISTRY OFFICE(No.66)

SCHEDULE

PART	PART OF LOT	REGISTERED PLAN	ALL OF PIN	AREA IN Sq.m.
1	269 AND 270	M-388	06430-0076(LT)	452.1
2	269			444.9

BEARING NOTE:

BEARINGS SHOWN HEREON ARE GRID BEARINGS AND ARE DERIVED FROM CONTROL MONUMENTS HCM 02019950006 AND HCM 02019720625 BASED ON THE N.T.M.T.M. COORDINATE SYSTEM, ZONE 10, CENTRAL MERIDIAN 79°30' WEST LONGITUDE, NAD-1983, CSRS:CBNV6-2010.

DISTANCES ARE GROUND AND CAN BE CONVERTED TO SEA BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99989124

SPECIFIED CONTROL POINTS (SPTS) 3' N.T.M. 2016 (SR 010(GRID))

COORDINATES TO URBAN ACCURACY (SR SEC-14 (2) OF O.REG.216/10)

POINTS ID	NORTHING	EASTING
02019950006	4828590.457	302446.103
02019720625	4828638.336	302305.232

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH THE CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

LIST OF COORDINATES

No.	NORTHING	EASTING
1	4828477.883	302485.095
2	4828466.297	302448.999

LEGEND

- DENOTES SURVEY MONUMENT PLANTED
- DENOTES SURVEY MONUMENT FOUND
- SIB DENOTES STANDARD IRON BAR
- IP DENOTES IRON BAR
- IP DENOTES IRON PIPE
- RSIB DENOTES ROUND STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- S DENOTES SET
- M DENOTES MEASURED
- C DENOTES CALCULATED
- PL1 DENOTES PLAN BY C. REUBEN, O.L.S. DATED OCTOBER 27, 1980
- PL2 DENOTES REGISTERED PLAN M-388
- PL3 DENOTES PLAN 66R-22986
- D DENOTES PIN 06430-0076(LT)
- (ALU) DENOTES TIES TO ALUMINUM
- BF DENOTES BOARD FENCE
- CB DENOTES CATCH BASIN
- CLF DENOTES CHAIN LINK FENCE
- (1658) DENOTES OMARI MWINYI SURVEYING LTD.
- OU DENOTES ORIGIN UNKNOWN

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY'S ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 4th, DAY OF MAY 2016

FEBRUARY 28, 2017

DATE _____ VLADIMIR DOSEN, B.Sc.
ONTARIO LAND SURVEYOR

**VLADIMIR DOSEN SURVEYING
ONTARIO LAND SURVEYORS**

555 DAVISVILLE AVENUE
TORONTO, ONTARIO M4S 1J2
PHONE:(416) 466-0440 EMAIL:vladdosen@rogers.com

CAD FILE: 237 MCINTOSH STREET-RPLAN

DRAWN BY: CL/NATHAN FIELD: PANCHA FILE: 11-002

CHECKED BY: VD JOB No:16155

7. 44 LAUREL AVE

File Number:	B0008/17SC, A0083/17SC, A0084/17SC	Zoning	RS - Residential Semi- Detached/S - Single Family Residential [ZZC]
Owner(s):	GREECIA CONSTRUCTION LIMITED GREECIA CONSTRUCTION	Ward:	Scarborough Southwest (35)
Agent:	ARBEN SHPATI	Heritage:	Not Applicable
Property Address:	44 LAUREL AVE	Community:	Kennedy Park Community
Legal Description:	PLAN 1093 BLK M LOT 15 LOT 16 PT LOT 17		

THE CONSENT REQUESTED:

This application is for consent to sever the land into two lots, as shown on the attached Site Plan. Lot to be created, Part 1 and Part 2 would have a frontage of 8.38 metres and a 278.3 square metres lot area. The owner is proposing to demolish the existing house and build two new detached houses. In order to facilitate the proposed development, relief from the provision of the Zoning By-law was requested, as outlined in A0083/17SC and A0084/17SC.

Part 1 - A0083/17SC

By-law No. 569-2013

1. To permit the proposed 37% lot coverage, whereas the Zoning By-law permits a maximum 33% lot coverage.

By-law No. 9276

1. To permit the proposed 39% lot coverage, whereas the Zoning By-law permits a maximum 33% lot coverage.

Part 2 - A0084/17SC

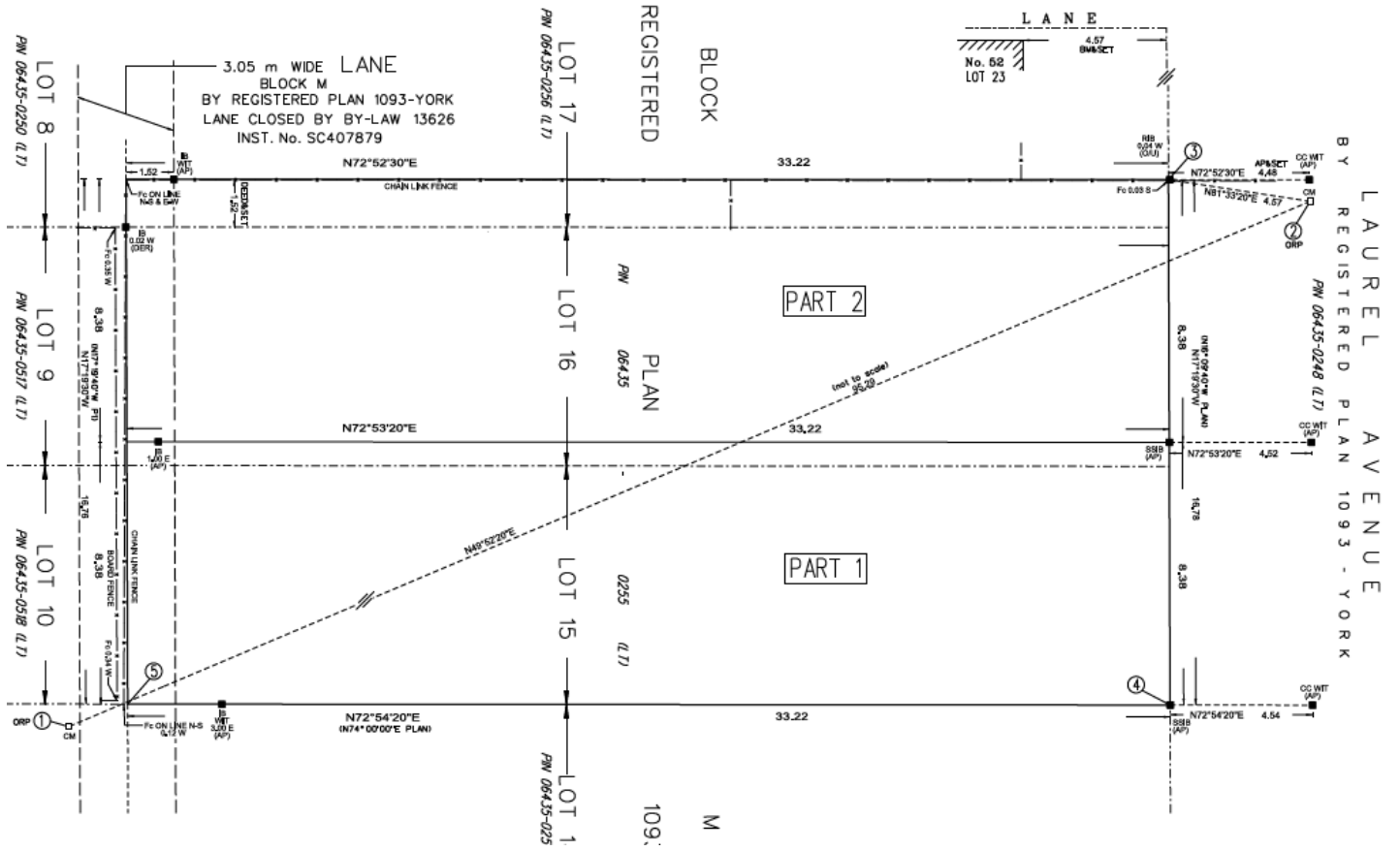
By-law No. 569-2013

1. To permit the proposed 37% lot coverage, whereas the Zoning By-law permits a maximum 33% lot coverage.

By-law No. 9276

1. To permit the proposed 39% lot coverage, whereas the Zoning By-law permits a maximum 33% lot coverage.

BLOCK M
 REGISTERED PLAN 1093
 CITY OF TORONTO
 NORTHERLY CITY OF SCARBOROUGH
 SCALE 1 : 100
 0 1 2 3 4 5 10m
 JOHN PILLER CORPORATION LTD.



Lot Division Plan

Applicant's Submitted Drawing

44 Laurel Avenue

File # B0008/17SC, A0083/17SC, A0084/17SC

Not to Scale

04/06/2017 - PB

Attachment

8. 563 MEADOWVALE RD

File Number:	B0007/17SC	Zoning	Residential Detached (RD) and Single Family (S) [ZR]
Owner(s):	PRASANNA GANTHITHASAN	Ward:	Scarborough East (44)
Agent:	CORDOBA CONSTRUCTION	Heritage:	Not Applicable
Property Address:	563 MEADOWVALE RD	Community:	Highland Creek Community
Legal Description:	CON 1 PT LOT 4		

THE CONSENT REQUESTED:

The applicant is proposing to sever the property into two residential lots identified as Part 1 and Part 2 on the attached lot division plan. Part 2 (563 Meadowvale Rd) would then be merged with land from the abutting property at 5 White Ave (Part 3) to form a new lot. The proposal was previously approved by the Committee of Adjustment in December 2015 (application B015/15SC), however the approval has lapsed.

Retained - Part 1

The retained lot would have a lot frontage of 15.24 m and a lot area of 465.05 m². The existing house and garage would be demolished.

Conveyed - Part 2

The conveyed land would have a frontage of 10.3 m and an area of 314.253 m². Part 2 would be merged with Part 3 to create a new lot with a combined lot frontage of 15.24 m and a lot area of 464.90 m² (refer to consent File B016/15SC for 5 White Ave).

Conveyed - Parts 5 and 6

Parts 5 and 6 will be conveyed to the City of Toronto for the purposes of a corner rounding and a road widening.

**PLAN OF SURVEY OF
PART OF LOT 4, CONCESSION 1
CITY OF TORONTO**
(FORMERLY THE CITY OF SCARBOROUGH)

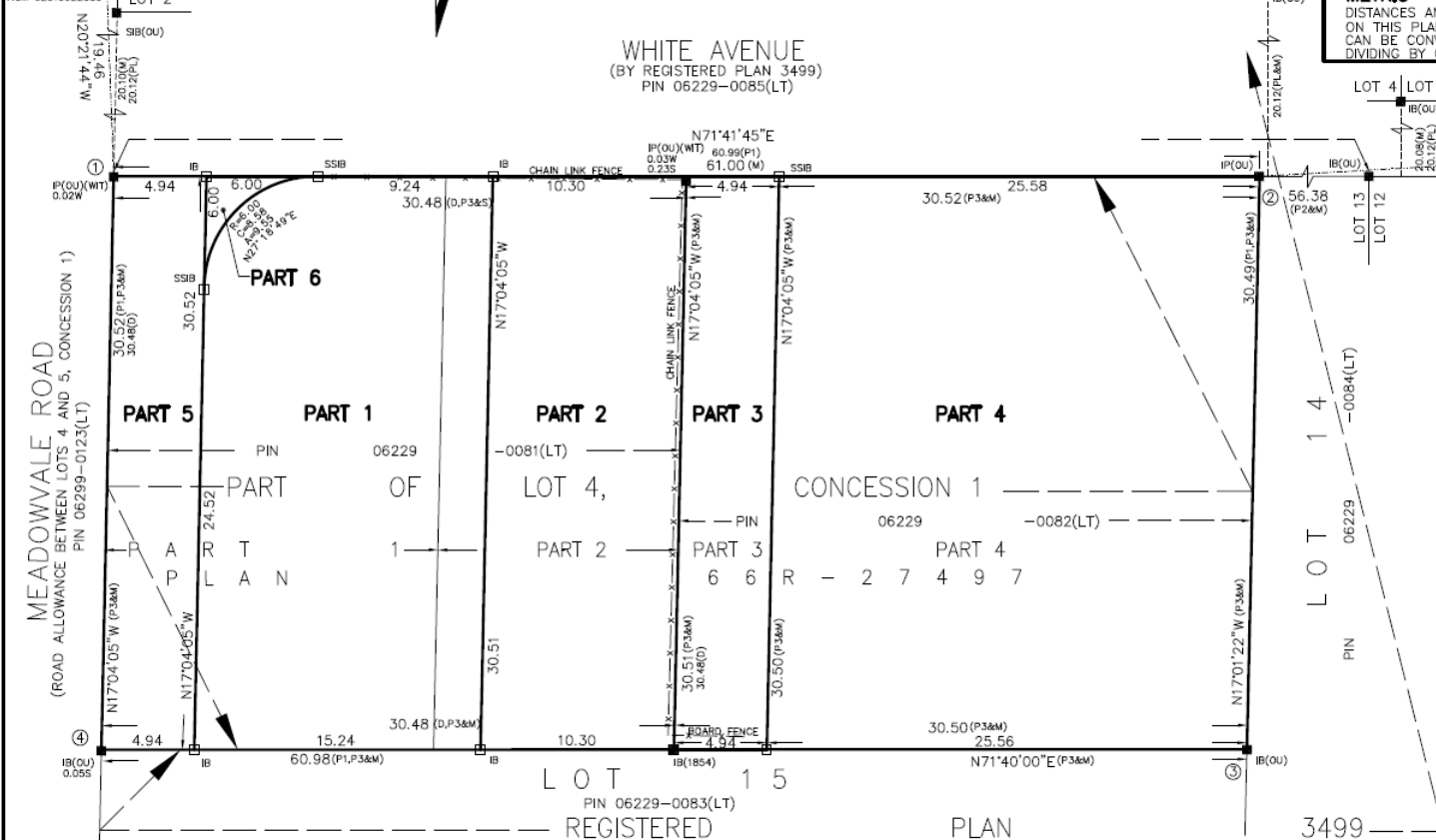
SCALE 1:250

2.5m 0 2.5 12.5metres

VLADIMIR DOSEN SURVEYING, O.L.S.



HCM 02019922059



PE-

I require this plan to be deposited under the Land Titles Act

PLAN 66R-

RECEIVED AND DEPOSITED

Date _____

Date _____

VLADIMIR DOSEN B.Sc., O.L.S.

METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Representative for Land Registrar for the Land Titles division of TORONTO REGISTRY OFFICE (No.66)

SCHEDULE

PART	PART OF LOT	CONCESSION	ALL/PART OF PIN
1	LOT 4	1	PART OF 06229-0081(LT)
2			ALL OF 6229-0082(LT)
3			PART OF 06229-0081(LT)
4			
5			
6			

PARTS 1, 2, 5 AND 6 ARE COMPRISES ALL OF PIN 06229-0081(LT)

BEARING NOTE:

BEARINGS SHOWN HEREON ARE GRID BEARINGS AND ARE DERIVED FROM CONTROL MONUMENTS HCM 02019922059 AND HCM 02019922062 BASED ON THE M.T.M. COORDINATE SYSTEM, ZONE 10, CENTRAL MERIDIAN 79°30' WEST LONGITUDE.

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.9998815

SPECIFIED CONTROL POINTS (SPC'S)
M.T.M. ZONE 10, TOR-J-1974(GRID)

POINTS ID	NORTHING	EASTING
02019922059	4849980.222	331898.660
02019922062	4850017.957	332056.489

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH THE CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

LIST OF COORDINATES

	NORTHING	EASTING
①	4849961.977	331905.432
②	4849981.129	331963.351
③	4849951.981	331972.275
④	4849932.800	331914.390

NOTES AND LEGEND

- DENOTES SURVEY MONUMENT PLANTED
- DENOTES SURVEY MONUMENT FOUND
- SI B DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- SSI B DENOTES SHORT STANDARD IRON BAR (PLANTED DUE TO EXISTENCE OF UNDERGROUND SERVICES)
- WIT DENOTES WITNESS
- OU DENOTES ORIGIN UNKNOWN
- S DENOTES SET
- M DENOTES MEASURED

- PL DENOTES REGISTERED PLAN 3499
- P1 DENOTES EXPROPRIATION PLAN 11747 DATED JUNE 28, 2012
- P2 DENOTES REGISTERED PLAN 4243
- P3 DENOTES PLAN 66R-27497
- D DENOTES INST. No.TB396568

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 18th DAY OF JULY, 2015

JULY 23, 2015

DATE VLADIMIR DOSEN, B.Sc.
ONTARIO LAND SURVEYOR

**VLADIMIR DOSEN SURVEYING
ONTARIO LAND SURVEYORS**

555 DAVISVILLE AVENUE
TORONTO, ONTARIO M4S 1J2
PHONE: (416) 527-0408 EMAIL: vladdosen@rogers.com

CAD FILE: 563 MEADOWVALE ROAD-RPLAN-NEW

DRAWN BY: VD/NATHAN	FIELD: VD	FILE: 13-231
CHECKED BY: VD		JOB No: 13348

9. 124 MANVILLE RD

File Number:	A130/14SC	Zoning	General Industrial (MG), Vehicle Service (VS), Employment Industrial (E) Zone
Owner(s):	J J V INVEST INC	Ward:	Scarborough Southwest (35)
Agent:	MATRIX PLANNING & BUILDING	Heritage:	Not Applicable
Property Address:	124 MANVILLE RD	Community:	Toronto
Legal Description:	PLAN 3759 PT LOT 12 AND 13 64R1647 PARTS 1 2 AND 3		

PURPOSE OF THE APPLICATION:

To permit vehicle sales on the site.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 24982:

1. The proposed use is a Vehicle Sales Operation for the display, sale or lease of a maximum of 20 vehicles at any time
WHEREAS a Vehicle Sales Operation is not a permitted use

By-law No. 569-2013:

2. The proposed use is a Vehicle Dealership for the sale, rental or lease of a maximum of 20 vehicles displayed or stored on site
Whereas a Vehicle Dealership is not a permitted use.

10. 26 EASTVILLE AVE

File Number:	A0300/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	GENXS CORP	Ward:	Scarborough Southwest (36)
Agent:	VANLE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	26 EASTVILLE AVE	Community:	Cliffcrest Community
Legal Description:	PLAN M475 PT LOT 103 PT LOT 102		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to permit the already constructed second storey addition with a two storey rear addition. Please note that in January 2014, the Committee of Adjustment approved variances for floor area and front porch projection.

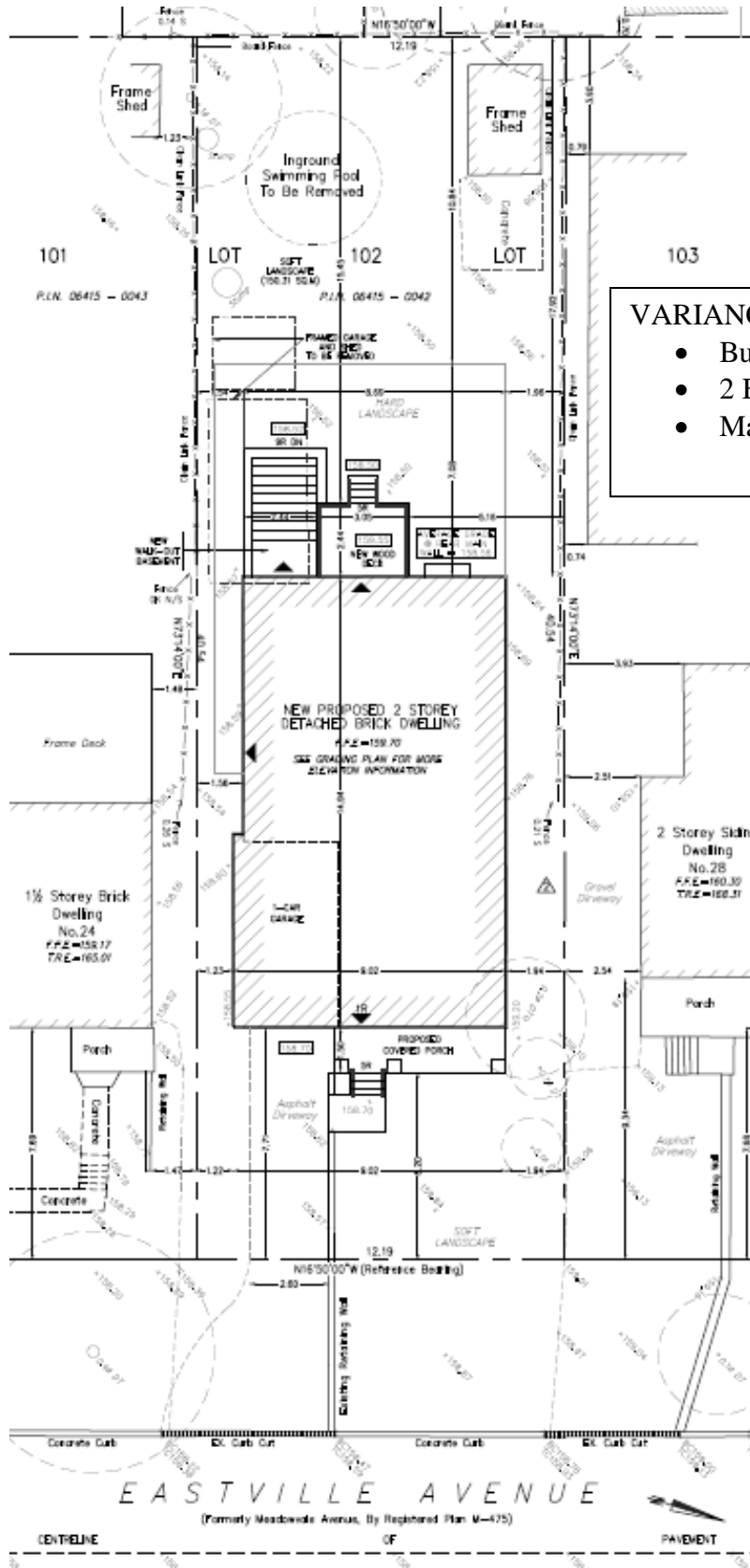
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the 9.32 metres building height, whereas the Zoning By-law permits a maximum 9 metres building height.
2. To permit the 2 balconies on the front elevation, whereas the Zoning By-law permits a maximum 1 balcony per elevation.
3. To permit the 7.26 metres height for 100% of the side main walls, whereas the Zoning By-law requires 100% of the side main wall height to be under 7 metres.

By-law No. 9396

4. To permit the 9.42 metres building height, whereas the Zoning By-law permits a maximum 9 metres building height.



11. 90 CASTLE HILL DR

File Number:	A0027/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner(s):	FANG CHEN FANG CHEN	Ward:	Scarborough-Agincourt (39)
Agent:	CHAUN LIANG	Heritage:	Not Applicable
Property Address:	90 CASTLE HILL DR	Community:	L'Amoreaux Community
Legal Description:	PLAN 4827 LOT 20		

PURPOSE OF THE APPLICATION:

Proposal to construct a new two storey single family dwelling.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed combined width of all vehicle entrances through the front main wall is 7.62 metres
Whereas the maximum permitted combined width of all vehicle entrances through the front main wall is 6.0 metres.
2. The proposed vehicle access to the garage would be from is from Castle Hill Drive
Whereas vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street (from Andes Road, in this case).
3. No floor area is proposed within 4.0 metres of the front main wall
Whereas a minimum of 10.0 square metres of the first floor must be within 4.0 metres of the front main wall.
4. The proposed floor area is 0.55 x the area of the lot (389 m²)
Whereas the maximum permitted floor area is 0.4 x the area of the lot (281 m²)

By-law No. 12466:

5. The proposed floor area is 0.53 x the area of the lot (374 m²)
Whereas the maximum permitted floor area is 0.4 x the area of the lot (281 m²)\
6. The proposed house would have a three-car garage
Whereas a single family dwelling may not have a three-car garage
7. The proposed garage dimensions are 6.7 m x 8.8 m
Whereas the maximum permitted garage dimensions are 7.6 m x 7.6 m

By-law No. 569-2013 & By-law No. 12466:

8. The proposed lot coverage is 35% of the lot area
Whereas the maximum permitted lot coverage is 33 percent of the lot area.
9. The proposed building setback from the side lot line adjacent to Andes Road is 4.1 m
Whereas the minimum required building setback from a side lot line that abuts a street is 5.7 metres
10. The proposed porch on the north side of the house would encroach 3.4 metres into the required side yard setback adjacent to Andes Road
Whereas an unenclosed porch may project into a front yard, rear yard or side yard abutting a street a maximum of 1.55 metres.

12. 2857 KINGSTON RD

File Number:	A0066/17SC	Zoning	Commercial Residential (CR) & Neighbourhood Commercial (NC) [Waiver]
Owner(s):	MANOLIS GAIDATSI	Ward:	Scarborough Southwest (36)
Agent:	C AND PARTNERS ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	2857 KINGSTON RD	Community:	Cliffcrest Community
Legal Description:	PLAN 2347 PT LOT 4		

PURPOSE OF THE APPLICATION:

To convert the existing vacant two-storey brick building to a Montessori and Daycare facility.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed parking space will have a 0 m setback from the south-side lot line;
Whereas a parking space that is not in a building must have be setback at least 0.5 m from a lot line.

By-law No. 9396:

2. The proposed basement level will contain storage, mechanical space, a sleep room, food prep, staff lounge, washroom and a janitor closet;
Whereas the by-law limits the use of a basement space to storage purposes only.
3. A total of two (2) parking spaces will be provided on the site;
Whereas a minimum of three (3) parking spaces are required.

**13. 670 A BIRCHMOUNT RD
670 B BIRCHMOUNT RD
670 C BIRCHMOUNT RD**

File Number:	A0069/17SC, A0070/17SC & A0071/17SC	Zoning	Residential Semi-Detached (RS) & Two-Family (T) Zone [Waiver]
Owner(s):	KARACA YILDIRIM KAYRA HOLDING INC	Ward:	Scarborough Southwest (35)
Agent:	SOL ARCH	Heritage:	Not Applicable
Property Address:	670 A BIRCHMOUNT RD 670 B BIRCHMOUNT RD 670 C BIRCHMOUNT RD	Community:	Birchmount Park Community
Legal Description:	TORONTO CON C PT LOT 31 RP 66R26649 PART 5		

PURPOSE OF THE APPLICATION:

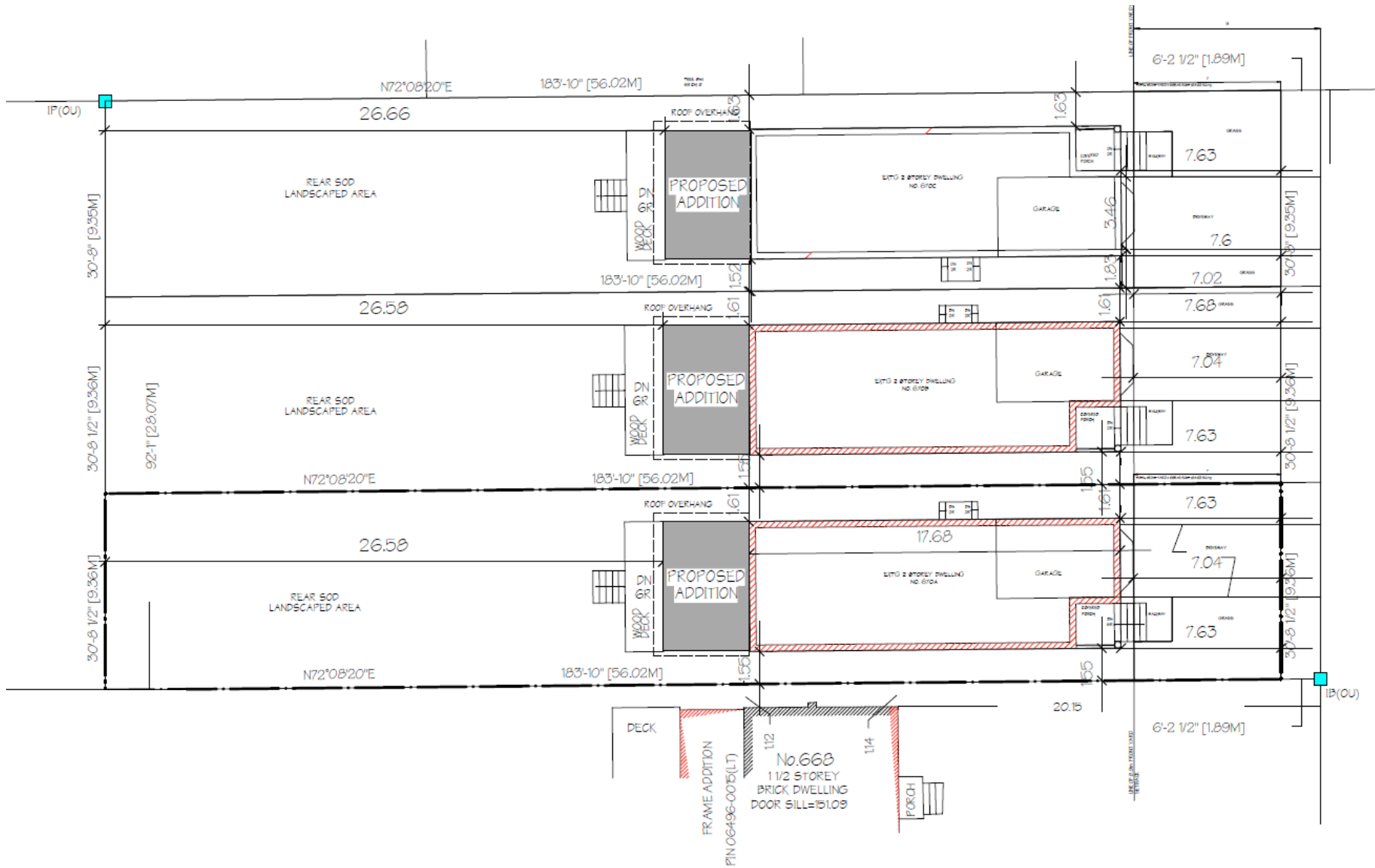
To construct a one-storey rear addition on each of the detached dwellings at 670A, 670B and 670C Birchmount Road.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Note: The variances identified below are identical for all three (3) lots in this proposal.

By-law No. 569-2013:

1. The altered dwelling will have a total length of 22.39 m;
Whereas the maximum permitted dwelling length is 17 m.
2. The altered dwelling will have a total depth of 22.43 m;
Whereas the maximum permitted building depth, as measured from the minimum front yard setback line, is 19 m.



BIRCHMOUNT ROAD



14. 288 WARDEN AVE

File Number:	A0078/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	DANIEL MCKENNA	Ward:	Scarborough Southwest (36)
Agent:	WILL HUDSON	Heritage:	Not Applicable
Property Address:	288 WARDEN AVE	Community:	Birchcliff Community
Legal Description:	PLAN 2597 LOT 13 PT LOT 14		

PURPOSE OF THE APPLICATION:

To construct a two storey rear addition, a second storey addition over the existing dwelling, new side and rear decks and interior and exterior alterations.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The altered dwelling will cover 39.2% of the lot area (109.2 m²);
Whereas the maximum permitted lot coverage is 33% of the lot area (91.93 m²).
2. The altered dwelling will have a floor space index equal to 0.62 times the lot area (174 m²);
Whereas the maximum permitted floor space index is 0.6 times the lot area (167.15 m²).
3. The existing/altered dwelling will be located 17.84 m from the original centreline of Warden Avenue;
Whereas the minimum required front yard setback is 20.5 m from the original centreline of the road.
4. The altered dwelling will be located 1.89 m from the side lot line abutting Kenny Avenue;
Whereas the minimum required side yard setback is 3.6 m from a side lot line that abuts a street.
5. The proposed side entrance deck will encroach into the required side yard setback by 3.07 m;
Whereas the maximum permitted encroachment into a required side yard setback is 1.5 m.
6. The proposed parking pad is located in the rear yard;
Whereas for a property on a corner lot, the parking space must be in a building or structure.

By-law No. 8786:

7. The altered dwelling will have a total floor area equal to 0.62 times the lot area (174 m²);
Whereas the maximum permitted floor area is 0.6 times the lot area (167.15 m²).
8. The existing/altered dwelling will be located 17.84 m from the centreline of the original road allowance;
Whereas the minimum required front yard setback is 20.5 m from the centreline of the original road allowance.
9. The altered dwelling will be located 1.89 m from the side lot line abutting Kenny Avenue;
Whereas the minimum required side yard setback is 3.6 m from a lot line that abuts a side street.

15. 165 TAPSCOTT RD

File Number:	A0079/17SC	Zoning	Residential Apartment (RA & A) Zone [ZR]
Owner(s):	TAPSCOTT BIRCH PROPERTIES INC	Ward:	Scarborough-Rouge River (42)
Agent:	INSOHO DEVELOPMENTS INC	Heritage:	Not Applicable
Property Address:	165 TAPSCOTT RD	Community:	Malvern West Community
Legal Description:	PLAN 66M1965 PT BLK 1 NOW RP 66R16695 PART 1,2		

PURPOSE OF THE APPLICATION:

To construct ten (10) blocks of townhouse buildings. The proposal includes 223 townhouses in total, consisting of 78 back-to-back units and 145 stacked units, a shared parkette and a shared underground parking level.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed lot coverage for the entire development is 46.14% of the lot area (6,759 m²); Whereas the maximum permitted lot coverage is 33% of the lot area (4,834 m²).
2. The proposed townhouse blocks will be located at least 3 m from all lot lines and 1.4 m from the north lot line at Block 1 (north west corner of the building); Whereas the minimum required front yard setback is 6 m.
3. The proposed townhouse blocks will be located at least 3 m from all lot lines and 2 m from the north lot line at Block 1 (north east corner of the building); Whereas the minimum required rear yard and side yard setback is 11.5 m.
4. The proposed townhouse blocks will have a minimum separation distance of 1.4 m at the closest distance separation between buildings; Whereas the minimum required separation distance between buildings is 15.9 m.
5. The proposed platforms at the first storey will encroach into the required side yard setback by 10 m; Whereas the maximum permitted setback encroachment of a first level platform is 5.75 m.
6. The proposed platforms higher than the first storey will encroach into the required front yard setback by 4.5 m and into the required side and rear setbacks by 10 m; Whereas the maximum permitted encroachment of a platform above the first storey is 2.5 m.
7. The exterior access stairs to the proposed townhouses will be located 0 m from the lot line at its closest point; Whereas the minimum required setback for a set of exterior stairs providing access to a building is 0.6 m from a lot line.

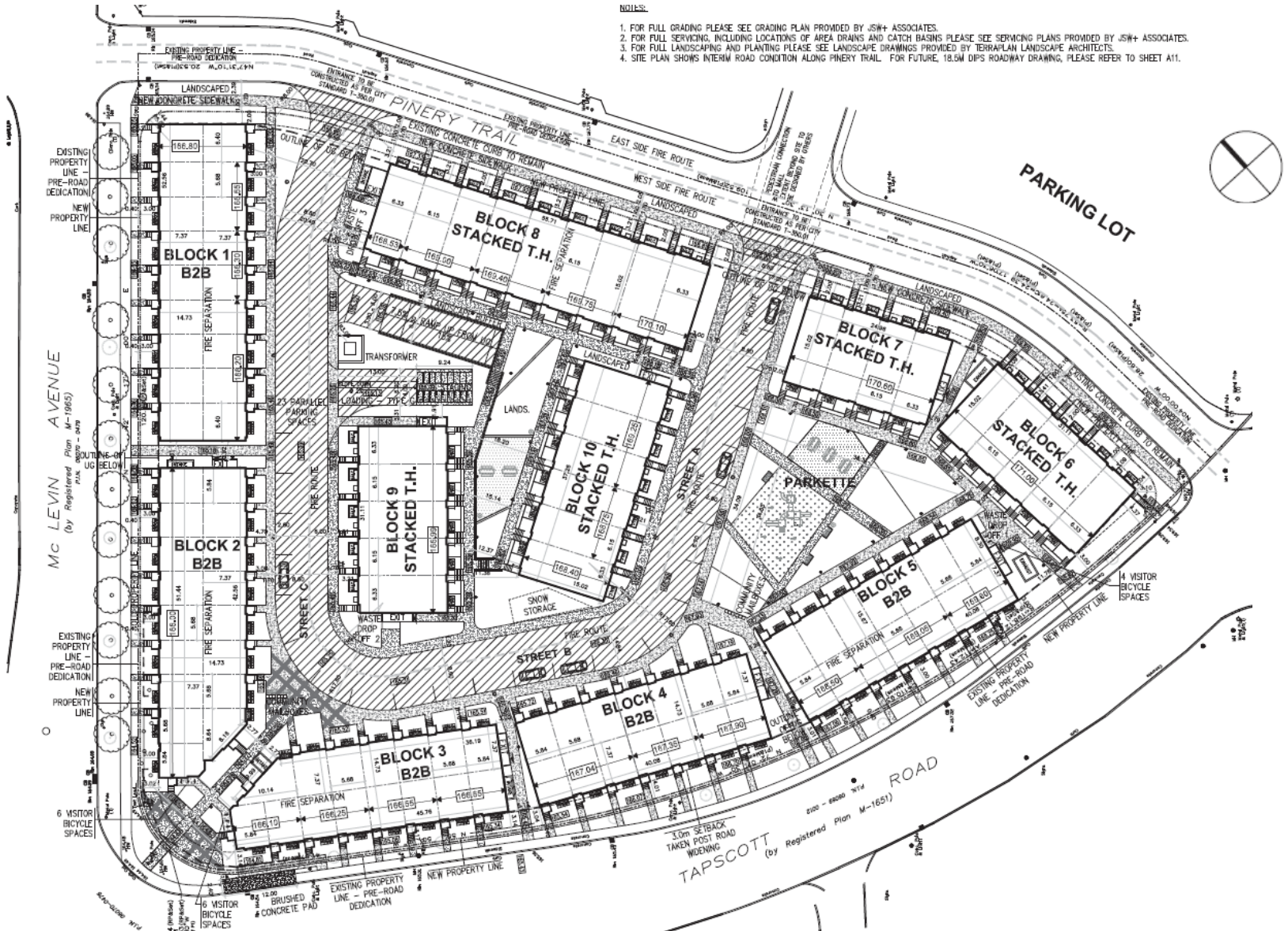
8. A total of 41% of the lot will be maintained as landscaping (5,988 m²);
Whereas a minimum of 50% of the lot area shall be maintained as landscaping (7,324 m²).
9. A total of 42% of the required landscaping will be maintained as soft landscaping (3,090 m²);
Whereas a minimum of 50% of the required landscaping shall be maintained as soft landscaping (3,662 m²).
10. The proposed accessible parking spaces will be located in the underground parking garage;
Whereas the Zoning By-law requires that accessible parking spaces must be located at the same level as the pedestrian entrance to the building.

By-law No. 14402:

11. The proposed lot coverage for the entire development is 41.58% of the lot area (6,090 m²);
Whereas the maximum permitted lot coverage is 33% of the lot area (4,834 m²).
12. The proposed development will provide no enclosed recreational areas;
Whereas a minimum required area of enclosed recreational space is 290 m² (1.3 m² per unit).

NOTES:

1. FOR FULL GRADING PLEASE SEE GRADING PLAN PROVIDED BY JSW+ ASSOCIATES.
2. FOR FULL SERVICING, INCLUDING LOCATIONS OF AREA DRAINS AND CATCH BASINS PLEASE SEE SERVICING PLANS PROVIDED BY JSW+ ASSOCIATES.
3. FOR FULL LANDSCAPING AND PLANTING PLEASE SEE LANDSCAPE DRAWINGS PROVIDED BY TERRAPLAN LANDSCAPE ARCHITECTS.
4. SITE PLAN SHOWS INTERIM ROAD CONDITION ALONG PINERY TRAIL. FOR FUTURE, 18.0M DIPS ROADWAY DRAWING, PLEASE REFER TO SHEET A11.



01 CONCEPT SITE PLAN
A01 1:300

16. 133 COURCELETTE RD

File Number:	A0080/17SC	Zoning	RS - Residential Semi-Detached/T - Two Family Residential [ZZC]
Owner(s):	MICHELE GOUW ANDREW GOUW	Ward:	Scarborough Southwest (36)
Agent:	MOOTE ARCHITECT	Heritage:	Not Applicable
Property Address:	133 COURCELETTE RD	Community:	Birchcliff Community
Legal Description:	PLAN 958 S PT LOT 106		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a two storey rear addition to the existing two storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

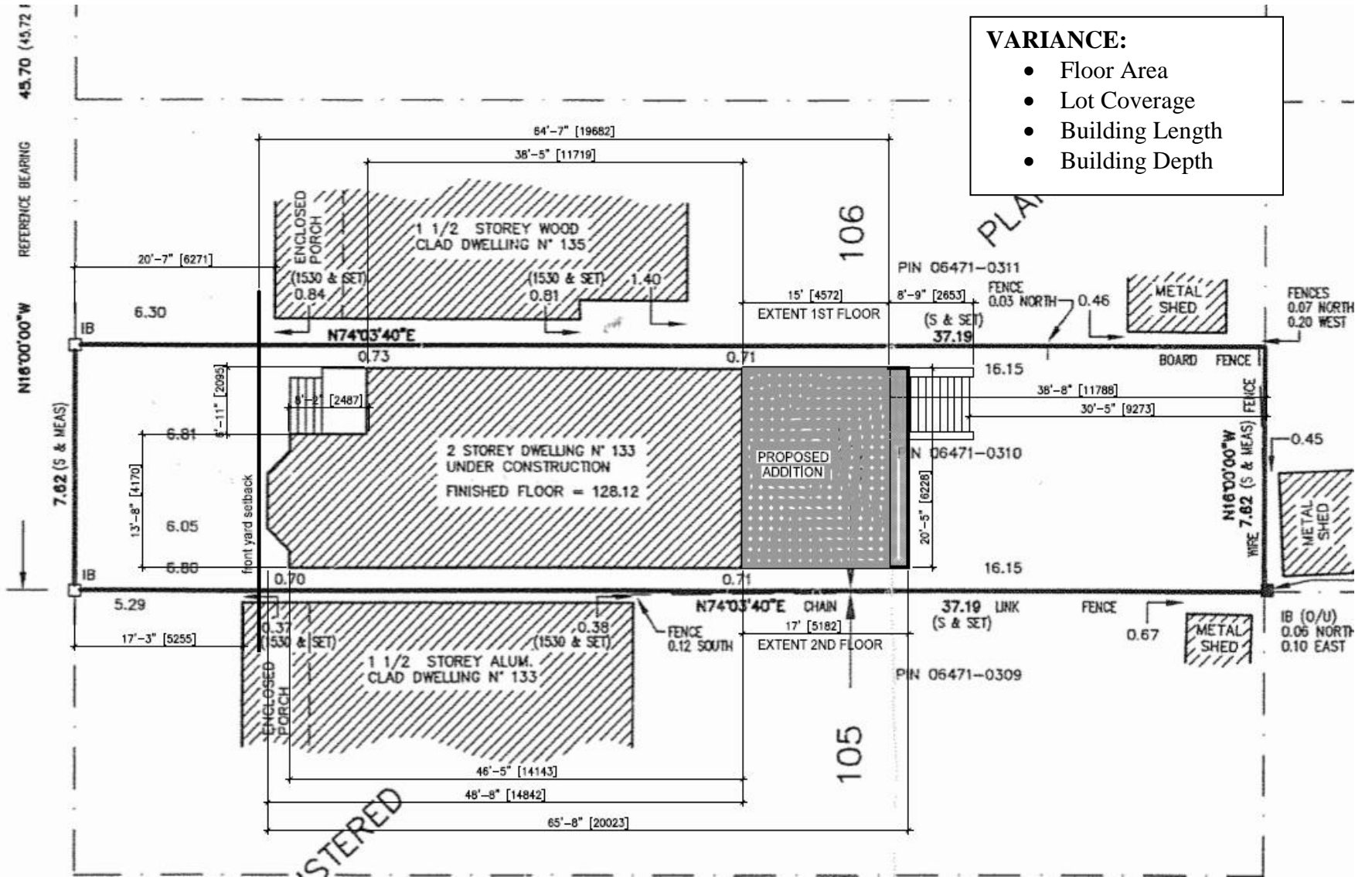
1. To permit the proposed 225.1 square metres floor area or 0.8 times the lot area, whereas the Zoning By-law permits maximum 170 square metres or 0.6 times the lot area.
2. To permit 40% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
3. To permit the proposed building length of 19.4 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.
4. To permit the proposed building depth of 20.3 metres measured from the front yard setback requirement on a lot to the rear wall, whereas the Zoning By-law permits maximum building depth of 19 metres.

By-law No. 8786

5. To permit 40% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
6. To permit the proposed 225.1 square metres floor area or 0.8 times the lot area, whereas the Zoning By-law permits maximum 170 square metres or 0.6 times the lot area.

COURCELLETTE AVENUE

FORMERLY CHESTER AVENUE BY REGISTERED PLAN 958, PIN 06471-0368



- VARIANCE:**
- Floor Area
 - Lot Coverage
 - Building Length
 - Building Depth

17. 2 BEN DORAN BLVD

File Number:	A0081/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	LORENZA RIVERA FABI	Ward:	Scarborough Centre (38)
Agent:	KEN VARATHA	Heritage:	Not Applicable
Property Address:	2 BEN DORAN BLVD	Community:	Woburn Community
Legal Description:	PLAN M674 LOT 331		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a one storey addition to the existing one storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

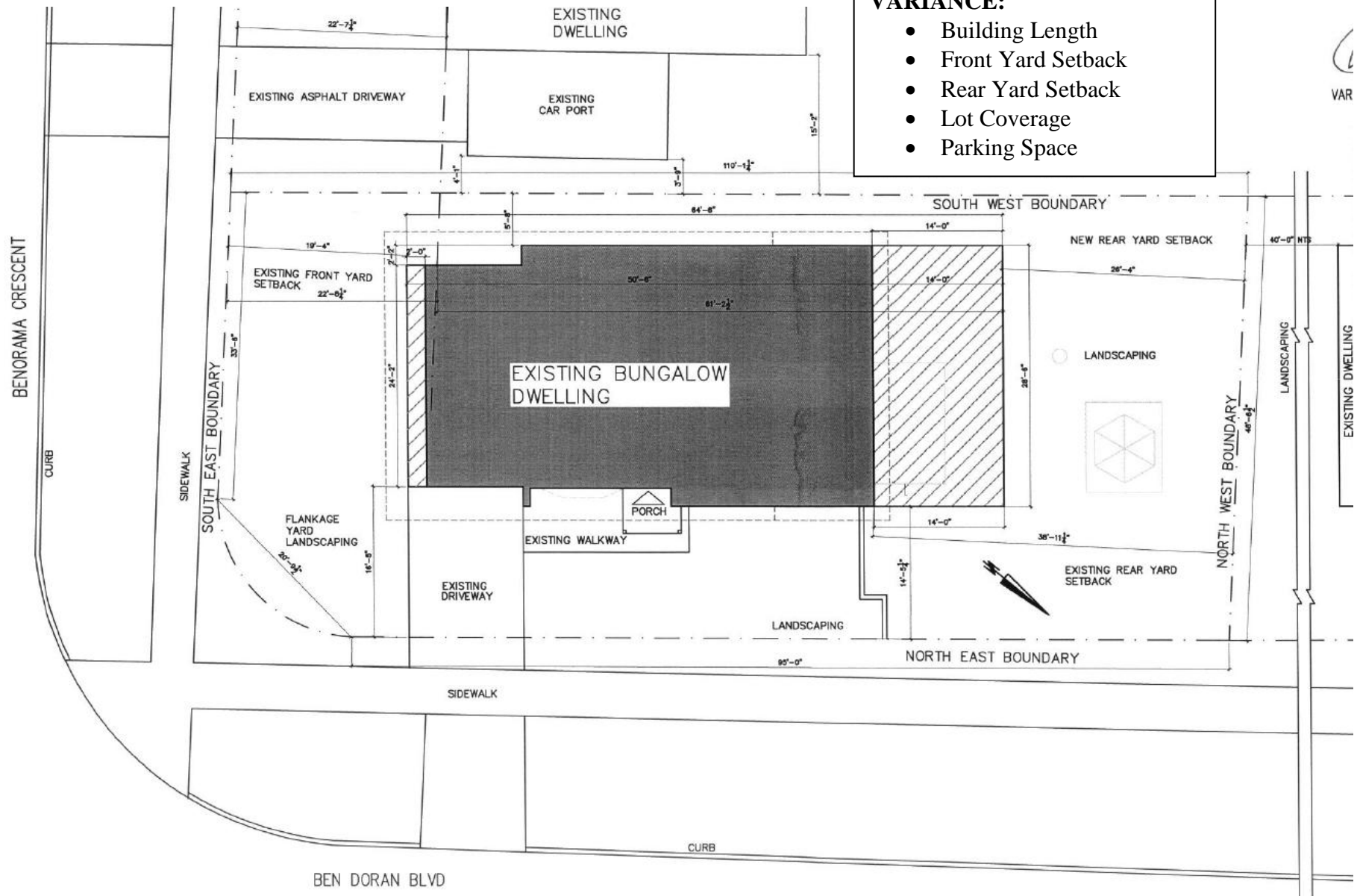
1. To permit the proposed building length of 19.6 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.
2. To permit the proposed 5.8 metres front yard setback, whereas the Zoning By-law requires a minimum 6.9 metres front yard setback.
3. To permit the proposed 7.5 metres rear yard setback, whereas the Zoning By-law requires a minimum 8.4 metres rear yard setback.
4. To permit 35% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.

By-law No. 9510

5. To permit 35% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
6. To permit the proposed 5.8 metres front yard setback, whereas the Zoning By-law requires a minimum 6 metres front yard setback.

- VARIANCE:**
- Building Length
 - Front Yard Setback
 - Rear Yard Setback
 - Lot Coverage
 - Parking Space

VAR



18. 494 ROUGE HILLS DR

File Number:	A0085/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	SUSAN ABRAHAM MANOJ ABRAHAM	Ward:	Scarborough East (44)
Agent:	MANOJ ABRAHAM	Heritage:	Not Applicable
Property Address:	494 ROUGE HILLS DR	Community:	Centennial Community
Legal Description:	PLAN 320 LOT 118		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey single family dwelling with a detached garage. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 0 square metres of the first floor to be within 4 metres of the front main wall (please note that the side entrance mud room is determined as the first floor), whereas the Zoning By-law requires a minimum 10 square metres of the first floor to be within 4 metres of the front main wall.
2. To permit the proposed 9.63 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
3. To permit the proposed 7.56 metres height of the side exterior main walls facing a side lot line, whereas the Zoning By-law permits maximum 7 metres height of the side exterior main walls facing a side lot line.
4. To permit the proposed building depth of 19.3 metres measured from the front yard setback requirement on a lot to the rear wall, whereas the Zoning By-law permits maximum building depth of 19 metres.
5. To permit the proposed 5.7 metres wide driveway, whereas the Zoning By-law permits maximum 2.6 meters wide driveway.
6. To permit the proposed eaves of the ancillary building (detached garage) to encroach 0.27 metres into a building setback, and are 0.3 metres from the side lot line, whereas the Zoning By-law permits the eaves of a roof on an ancillary building to encroach into a building setback a maximum of 0.3 metres, if the eaves are no closer to a lot line than 0.15 metres.
7. To permit the proposed 4.06 metres ancillary structure (detached garage) height, whereas the Zoning By-law permits maximum 4 metres ancillary structure height.
8. To permit the proposed 5.2 square metres area of the platform, whereas the Zoning By-law permits maximum 4 square metres area of a platform at or above the second storey of a house.

By-law No. 12077

9. To permit the proposed 10.34 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
10. To permit the proposed 5.7 metres wide driveway, whereas the Zoning By-law permits maximum 2.6 meters wide driveway.
11. To permit the proposed 9.8 metres by 6.7 metres garage dimensions, whereas the Zoning By-law permits maximum 7.6 metres by 7.6 metres garage dimensions.

19. 3 REDLAND CRES W

File Number:	A0086/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	CATHERINE MARTHA IOGNA RAYMOND REMO IOGNA	Ward:	Scarborough Southwest (36)
Agent:	RAYMOND REMO IOGNA	Heritage:	Not Applicable
Property Address:	3 REDLAND CRES W	Community:	Cliffcrest Community
Legal Description:	SCARBOROUGH CON B PT RD ALLOWANCE BTN LOTS 24 AND 25 CLSD AND PLAN M350 PT BLK M RP 64R3746 PART 2 AND RP 66R18712 PART 3		

PURPOSE OF THE APPLICATION:

To demolish and reconstruct the detached garage located on the property.

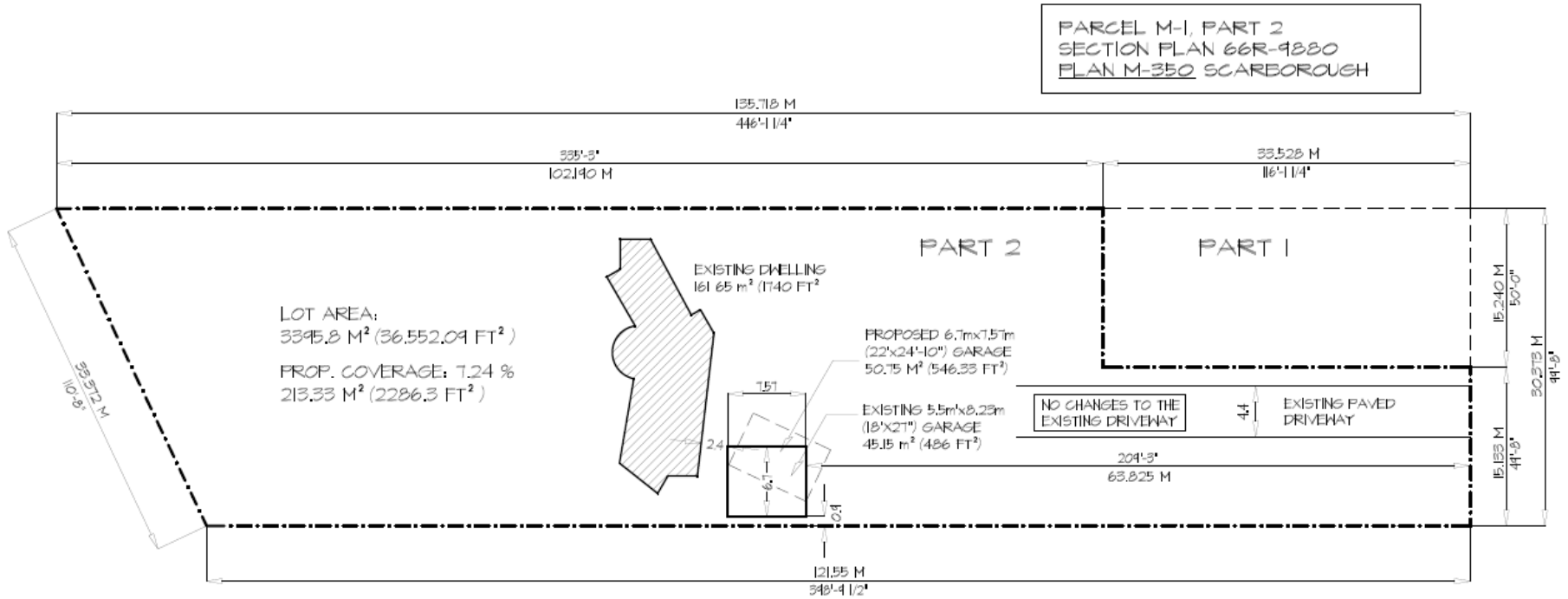
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed detached garage will be located in the front yard;
Whereas an ancillary building or structure may not be located in a front yard.
2. The proposed detached garage will have a height of 4.71 m;
Whereas the maximum permitted height of an ancillary dwelling is 4 m.
3. The parking space for the dwelling will be located in the proposed detached garage;
Whereas the required parking space must be located in the residential building.

1
SITE PLAN

1:400 (1/32" = 1'-0")



OBJECT OF WORK:
 REPLACE OLD FRAME GARAGE DUE TO STRUCTURAL INTEGRITY.
 THE EXISTING FRAME GARAGE IS DECAYED AND UNSAFE TO USE.

20. 16 ALRITA CRES

File Number:	A0087/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	RICHARD DAVIS	Ward:	Scarborough-Agincourt (40)
Agent:	DAN HUTCHINSON INTERIOR DESIGN	Heritage:	Not Applicable
Property Address:	16 ALRITA CRES	Community:	Maryvale Community
Legal Description:	PLAN 4440 LOT 89		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a second storey over the rear of the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

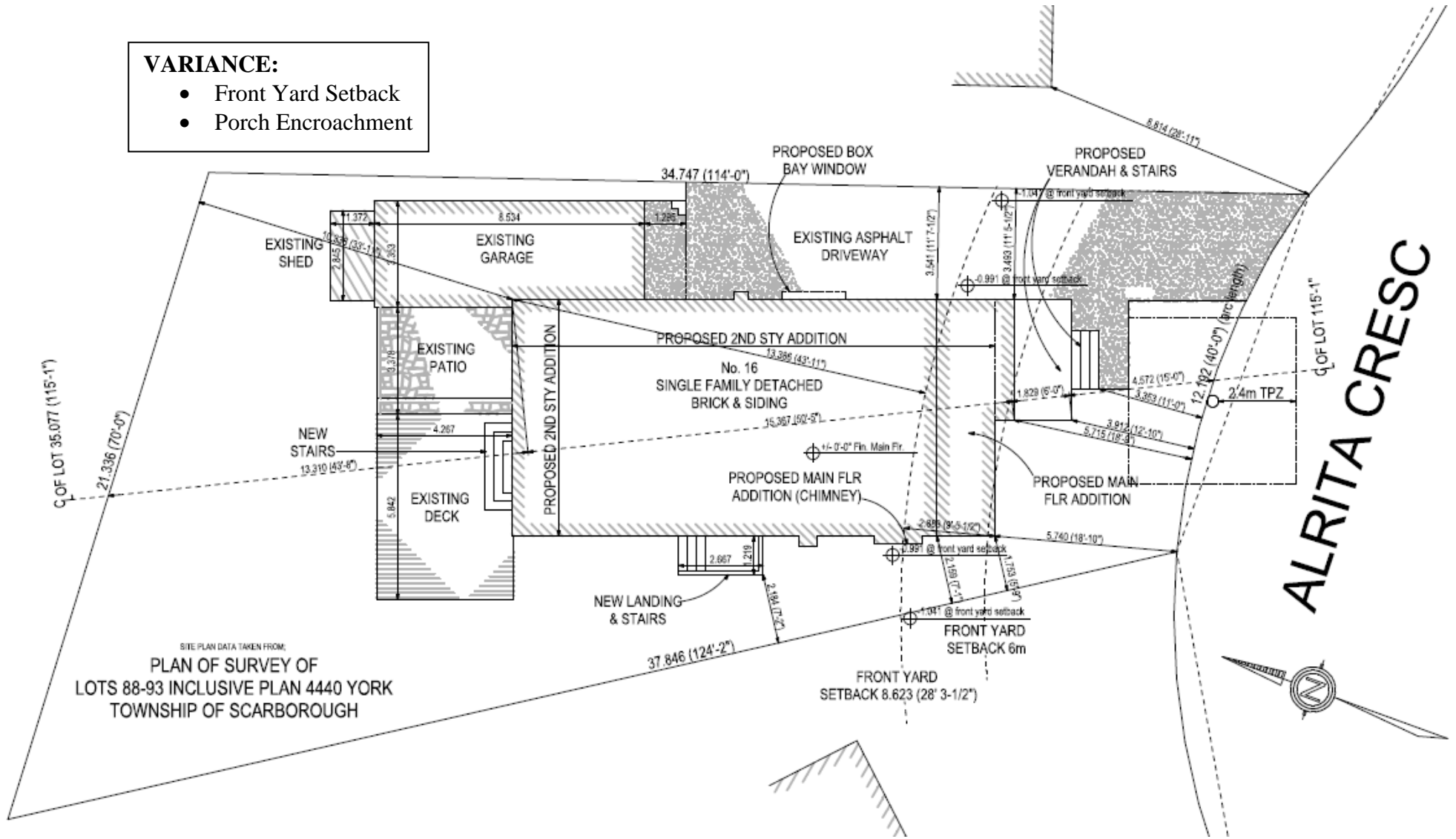
1. To permit the proposed 5.7 metres front yard setback, whereas the Zoning By-law requires a minimum 8.6 metres front yard setback.
2. To permit the proposed porch to encroach 4.72 metres into the required front yard setback, whereas the Zoning By-law permits a maximum 2.5 metres porch encroachment into the required front yard setback.

By-law No. 9366

3. To permit the proposed 5.7 metres front yard setback, whereas the Zoning By-law requires a minimum 6 metres front yard setback.
4. To permit the proposed porch to encroach 2.1 metres into the required front yard setback, whereas the Zoning By-law permits a maximum 1.55 metres porch encroachment into the required front yard setback.

VARIANCE:

- Front Yard Setback
- Porch Encroachment



SITE PLAN DATA TAKEN FROM:
**PLAN OF SURVEY OF
 LOTS 88-93 INCLUSIVE PLAN 4440 YORK
 TOWNSHIP OF SCARBOROUGH**

21. 30 CLONMORE DR

File Number:	A0088/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	RAGHAVAN RAMANATHAN	Ward:	Scarborough Southwest (36)
Agent:	REXFORD DESIGNS	Heritage:	Not Applicable
Property Address:	30 CLONMORE DR	Community:	Birchcliff Community
Legal Description:	PLAN 3288 LOT 62		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a second storey over the existing dwelling with a two-storey rear and side addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

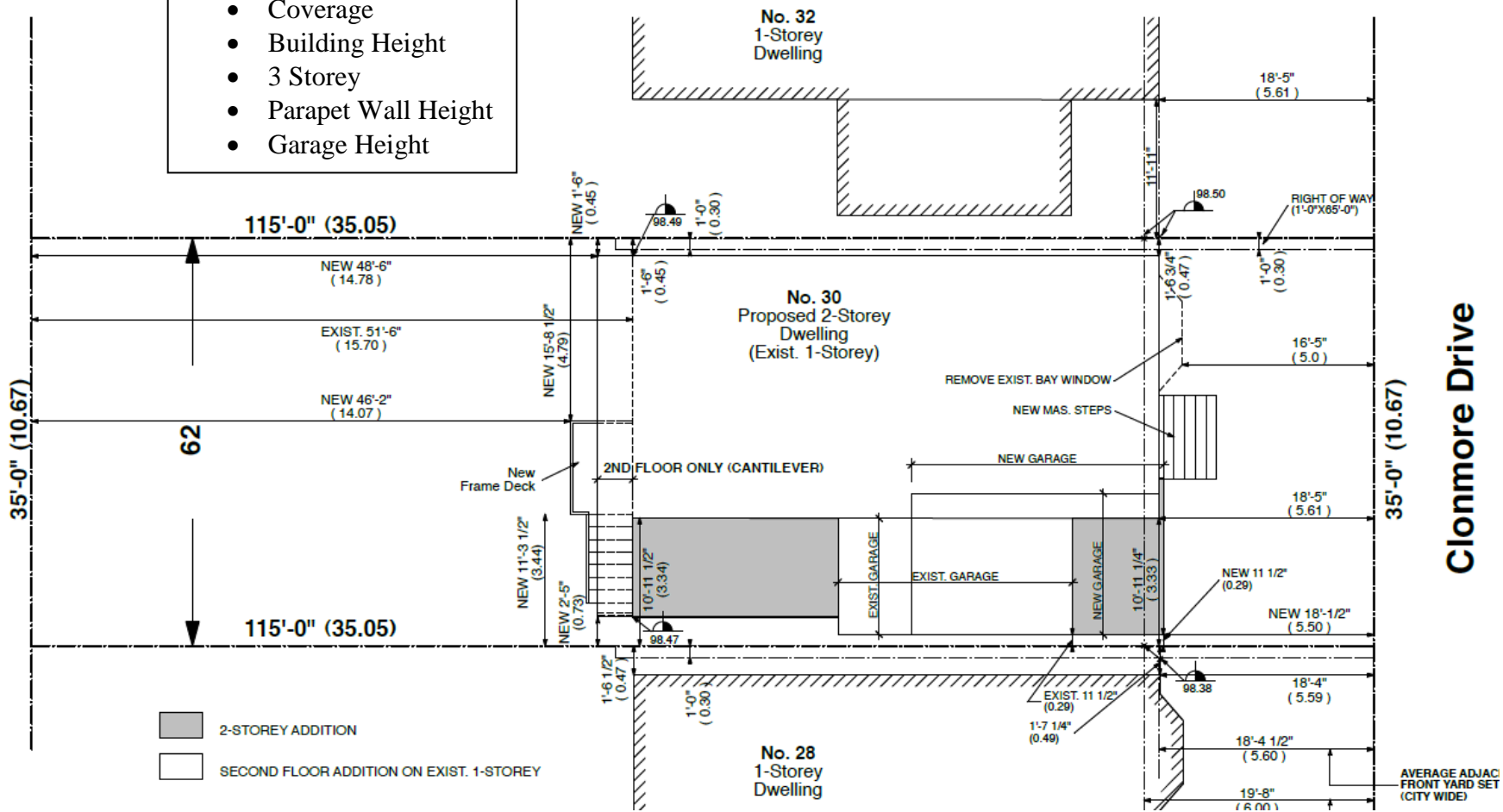
1. To permit the proposed 0.29 metres south and 0.3 metres north side yard setback, whereas the Zoning By-law requires a minimum 0.45 metres side yard setback.
2. To permit the proposed 358 square metres floor area (note: this includes the basement), whereas the Zoning By-law permits maximum 204 square metres floor area.
3. To permit the proposed 5.5 metres front yard setback, whereas the Zoning By-law requires a minimum 5.6 metres front yard setback.
4. To permit the proposed 72% front yard soft landscaping, whereas the Zoning By-law requires a minimum of 75% front yard soft landscaping.
5. To permit the proposed 38.2% lot coverage, whereas the Zoning By-law permits a maximum of 33% lot coverage.
6. To permit the proposed 7.6 metres building height, whereas the Zoning By-law permits maximum 7.2 metres building height for a dwelling with a flat roof.
7. To permit the proposed 3 storey dwelling (basement is closer to the established grade than the ground floor and is considered the first floor), whereas the Zoning By-law permits maximum 2 storey dwelling.
8. To permit the proposed 7.8 metres parapet wall height, whereas the Zoning By-law permits maximum 7.5 metres parapet wall height.

By-law No. 8786

9. To permit the proposed 5.5 metres front yard setback, whereas the Zoning By-law requires a minimum 6 metres front yard setback.

10. To permit the proposed 0.29 metres south and 0.3 metres north side yard setback, whereas the Zoning By-law requires a minimum 0.45 metres side yard setback.
11. To permit the proposed 241.8 square metres floor area, whereas the Zoning By-law permits maximum 204 square metres floor area.
12. To permit the proposed 39% lot coverage, whereas the Zoning By-law permits a maximum of 33% lot coverage.
13. To permit the proposed 72% front yard soft landscaping, whereas the Zoning By-law requires a minimum of 75% front yard soft landscaping.
14. To permit the proposed 4.4 metres garage height, whereas the Zoning By-law permits maximum 3.7 metres garage height.

- VARIANCE:**
- Side Yard Setbacks
 - Floor Area
 - Front Yard Setback
 - Front Yard Soft Landscaping
 - Coverage
 - Building Height
 - 3 Storey
 - Parapet Wall Height
 - Garage Height



22. 106 BROOKLAWN AVE

File Number:	A0089/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	1390196 ONTARIO INC BASSEM NASR	Ward:	Scarborough Southwest (36)
Agent:	BASSEM NASR	Heritage:	Not Applicable
Property Address:	106 BROOKLAWN AVE	Community:	Cliffcrest Community
Legal Description:	PLAN 2347 LOT 413		

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

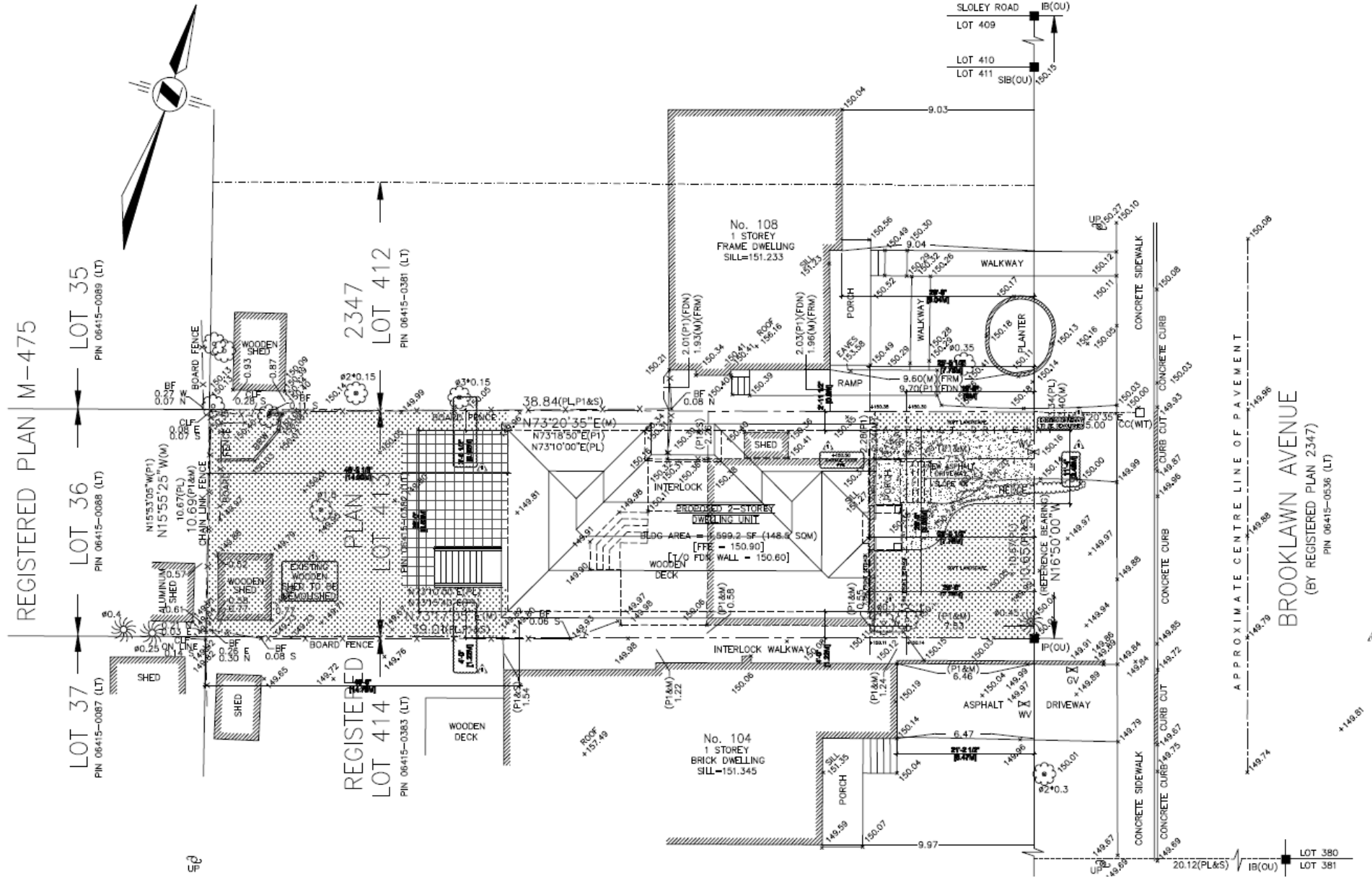
By-law No. 569-2013:

1. The proposed dwelling will cover 35% of the lot area (144 m²).
Whereas the maximum permitted lot coverage is 33% of the lot area (137.1 m²).
2. The proposed dwelling will have a floor space index equal to 0.64 times the lot area (265.28 m²);
Whereas the maximum permitted floor space index is 0.5 times the lot area (207.66 m²).

By-law No. 9396:

3. The proposed dwelling will cover 36% of the lot area (147.7 m²).
Whereas the maximum permitted lot coverage is 33% of the lot area (137.1 m²).
4. The proposed dwelling will have a total floor area equal to 0.62 times the lot area (258.71 m²);
Whereas the maximum permitted floor space index is 0.4 times the lot area (166.13 m²).

REGISTERED PLAN M-475



23. 20 GRADWELL DR

File Number:	A0097/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	KARIN LANGE ANDREW LANGE	Ward:	Scarborough Southwest (36)
Agent:	ANDREW LANGE	Heritage:	Not Applicable
Property Address:	20 GRADWELL DR	Community:	Cliffcrest Community
Legal Description:	PLAN M475 PT LOT 263		

PURPOSE OF THE APPLICATION:

To maintain the two-storey detached dwelling currently under construction. As a result of the addition of a cold storage space under the rear deck, variances to Zoning By-law are now required. A previous Committee of Adjustment application was not required.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

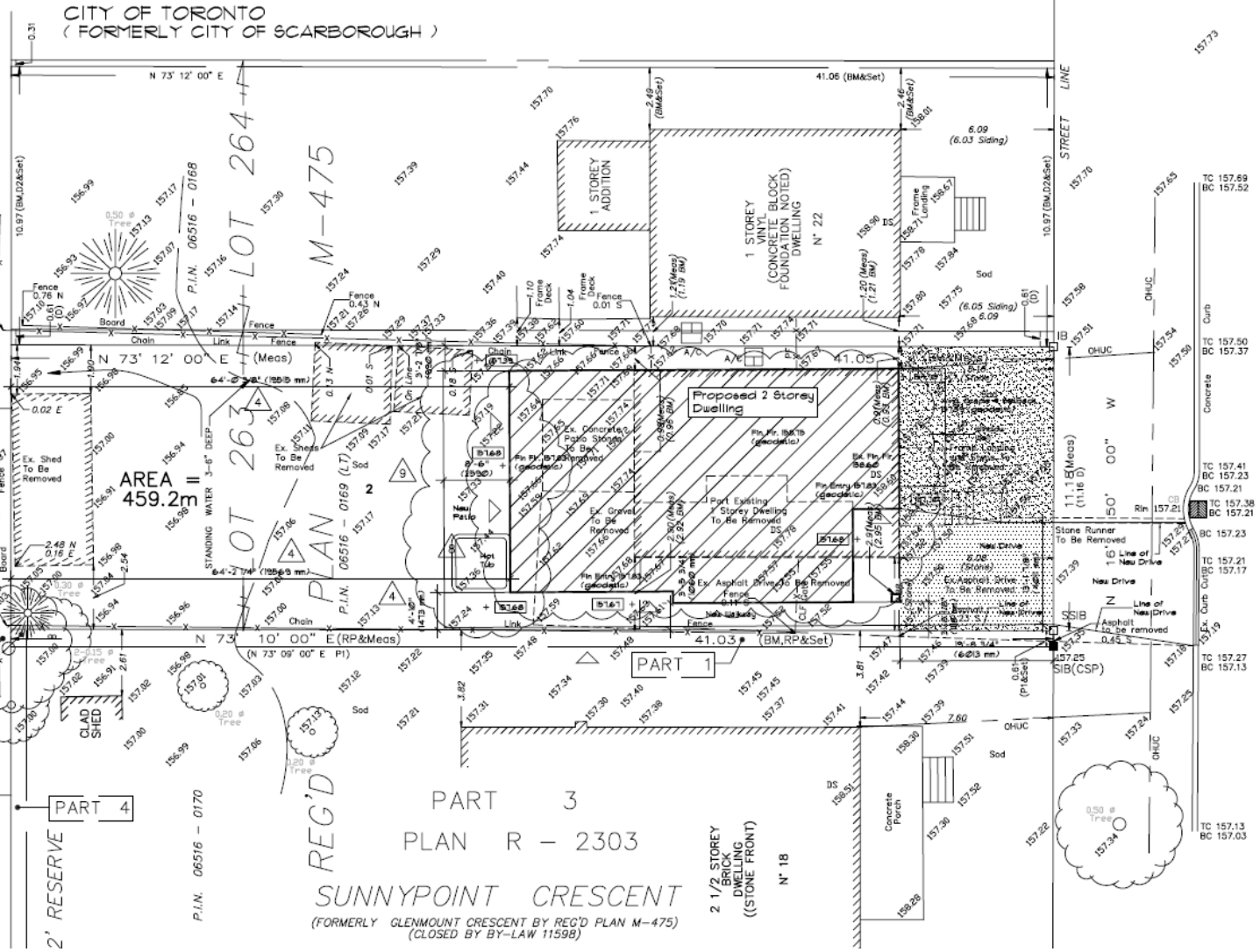
1. The altered dwelling will cover 36% of the lot area (164.46 m²);
Whereas the maximum permitted lot coverage is 33% of the lot area (151.54 m²).
2. The altered dwelling will have a total length of 17.8 m;
Whereas the maximum permitted dwelling length is 17 m.
3. The proposed front balcony will have an area of 6.8 m²;
Whereas the maximum permitted area of a platform at or above the second storey is 4 m².

SURVEYOR'S REAL PROPERTY REPORT
 PLAN AND TOPOGRAPHY OF
PART OF LOT 263
REGISTERED PLAN M-475
 CITY OF TORONTO
 (FORMERLY CITY OF SCARBOROUGH)



P.L.N. 06516 - 0126
M-350
PLAN
 P.L.N. 06516 - 0125

LOT 119
LOT 118



AREA = 459.2m²

PART 3
PLAN R - 2303

SUNNYPOINT CRESCENT
 (FORMERLY GLENMOUNT CRESCENT BY REG'D PLAN M-475)
 (CLOSED BY BY-LAW 11598)

GRADWELL DRIVE

Approximate Centreline of
WOODSIDE AVENUE by Registered Plan M-475
 (formerly WOODSIDE AVENUE by Registered Plan M-475)

P.L.N. 06415 - 0199

24. 51 VERNON RD

File Number:	A0098/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	SOPHIA MASTROKOSTAS	Ward:	Scarborough Centre (37)
Agent:	STAMBUK HOMES	Heritage:	Not Applicable
Property Address:	51 VERNON RD	Community:	Wexford Community
Legal Description:	PLAN 4368 LOT 28		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two-storey single family dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

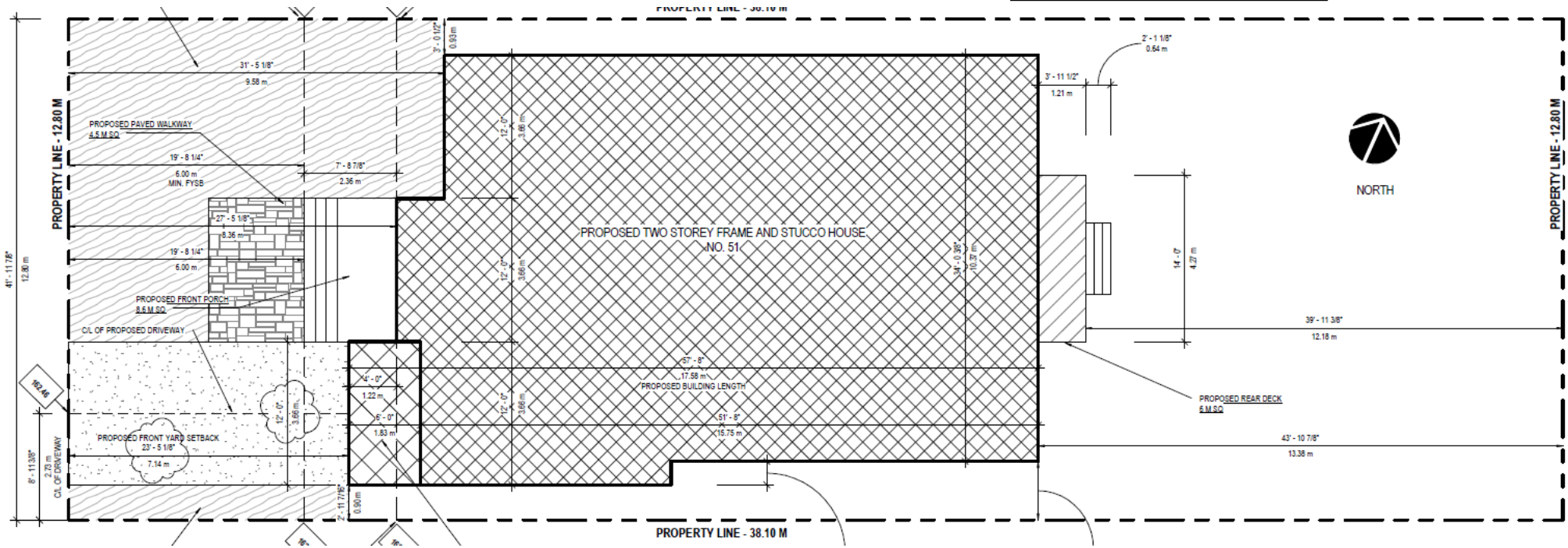
1. To permit the proposed 35.6% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
2. To permit the proposed 7.14 metres front yard setback, whereas the Zoning By-law requires a minimum 8.36 metres front yard setback.
3. To permit the proposed 9.2 metres building height, whereas the Zoning By-law permits a maximum 9 metres building height.
4. To permit the proposed building length of 17.6 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.
5. To permit the proposed 3.66 metres driveway width, whereas the Zoning By-law permits maximum 3.25 metres driveway width.
6. To permit the proposed 3.1 metres by 5.7 metres parking space, whereas the Zoning By-law requires a minimum 3.2 metres by 5.6 metres parking space.

By-law No. 9511

7. To permit the proposed 36.6% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
8. To permit the proposed 9.2 metres building height, whereas the Zoning By-law permits a maximum 9 metres building height.
9. To permit the proposed 3.66 metres driveway width, whereas the Zoning By-law permits maximum 3.25 metres driveway width.

10. To permit the proposed 3.7 metres height measured from the floor of the garage to the eaves, whereas the Zoning By-law permits maximum 3.6 metres height measured from the floor of the garage to the eaves.
11. To permit the proposed 3.1 metres by 5.7 metres parking space, whereas the Zoning By-law requires a minimum 3.3 metres by 5.6 metres parking space.

- VARIANCE:**
- Coverage
 - Front Yard Setback
 - Building Height
 - Building Length
 - Driveway Width
 - Parking Space
 - Garage Height



25. 24 MINNACOTE AVE

File Number:	A0103/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	SIVASUBRAMANIAM KUGARAJH SUGEETHA KUGARAJH	Ward:	Scarborough East (44)
Agent:	ANDREW MARSHALL DESIGNS	Heritage:	Not Applicable
Property Address:	24 MINNACOTE AVE	Community:	West Hill Community
Legal Description:	PLAN 2441 PT LOT 72		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey rear addition to the existing two storey single family dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

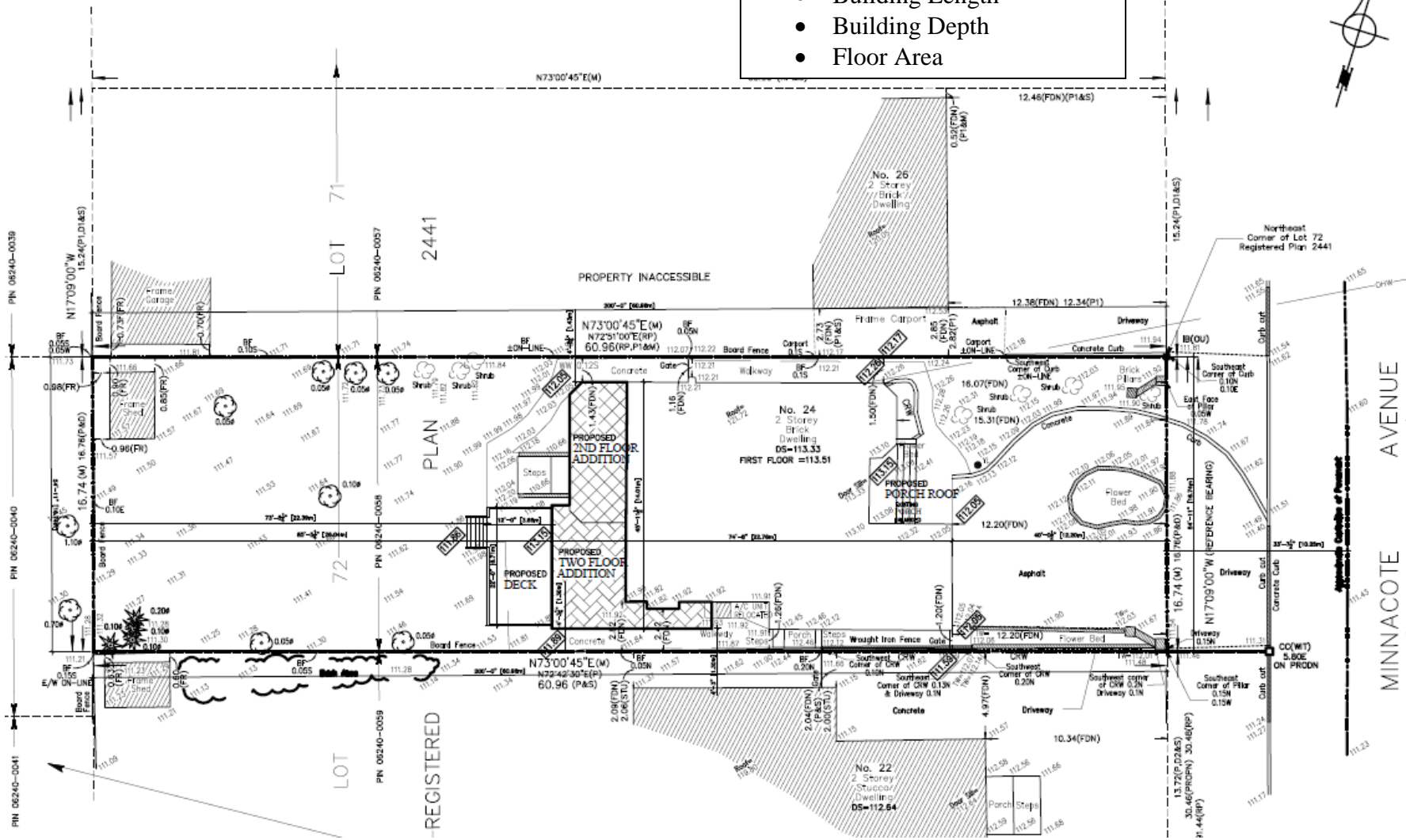
1. To permit the proposed 9.91 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
2. To permit the proposed building length of 22.8 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.
3. To permit the proposed building depth of 23.7 metres measured from the front yard setback requirement on a lot to the rear wall, whereas the Zoning By-law permits maximum building depth of 19 metres.
4. To permit the proposed 473 square metres floor area or 0.47 times the lot area, whereas the Zoning By-law permits maximum 408 square metres floor area or 0.4 times the lot area.

By-law No. 10327

5. To permit the proposed 10.01 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
6. To permit the proposed 451 square metres floor area or 0.45 times the lot area, whereas the Zoning By-law permits maximum 408 square metres floor area or 0.4 times the lot area.

VARIANCE:

- Building Height
- Building Length
- Building Depth
- Floor Area



26. 3939-3947 LAWRENCE AVE E

File Number:	A0105/17SC	Zoning	Residential Apartment (RA) & Apartment (A) Zone [ZR]
Owner(s):	TORONTO COMMUNITY HOUSING CORPORATION	Ward:	Scarborough East (43)
Agent:	SVN ARCHITECTS AND PLANNERS	Heritage:	Not Applicable
Property Address:	3939-3947 LAWRENCE AVE E	Community:	Woburn Community
Legal Description:	CON D PT LOT 14		

PURPOSE OF THE APPLICATION:

To construct a one-storey addition to the existing 19-storey residential tower at 3947 Lawrence Avenue East. The proposed addition will be used for a daycare facility and dedicated outdoor play area.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013, No. 572-2014 & No. 9510

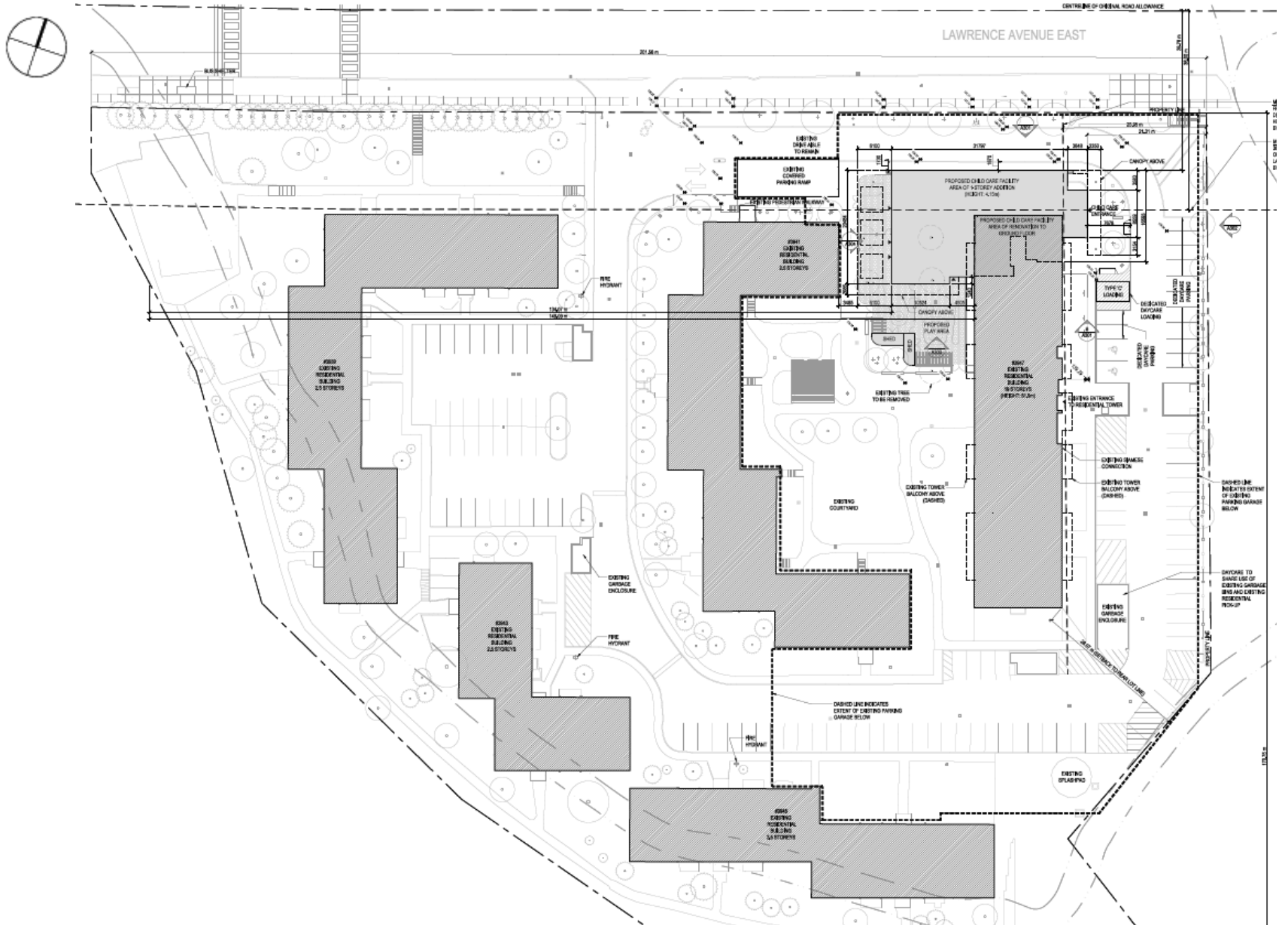
1. The proposed addition will have a setback of 28.76 m from the centreline of Lawrence Ave E; Whereas the minimum required setback is 36 m from the centreline of the original road allowance.
2. The proposed addition will have a setback of 21.31 m from the east side lot line; Whereas the minimum required setback from a side lot line is 25.95 m (one-half of the height of the building).

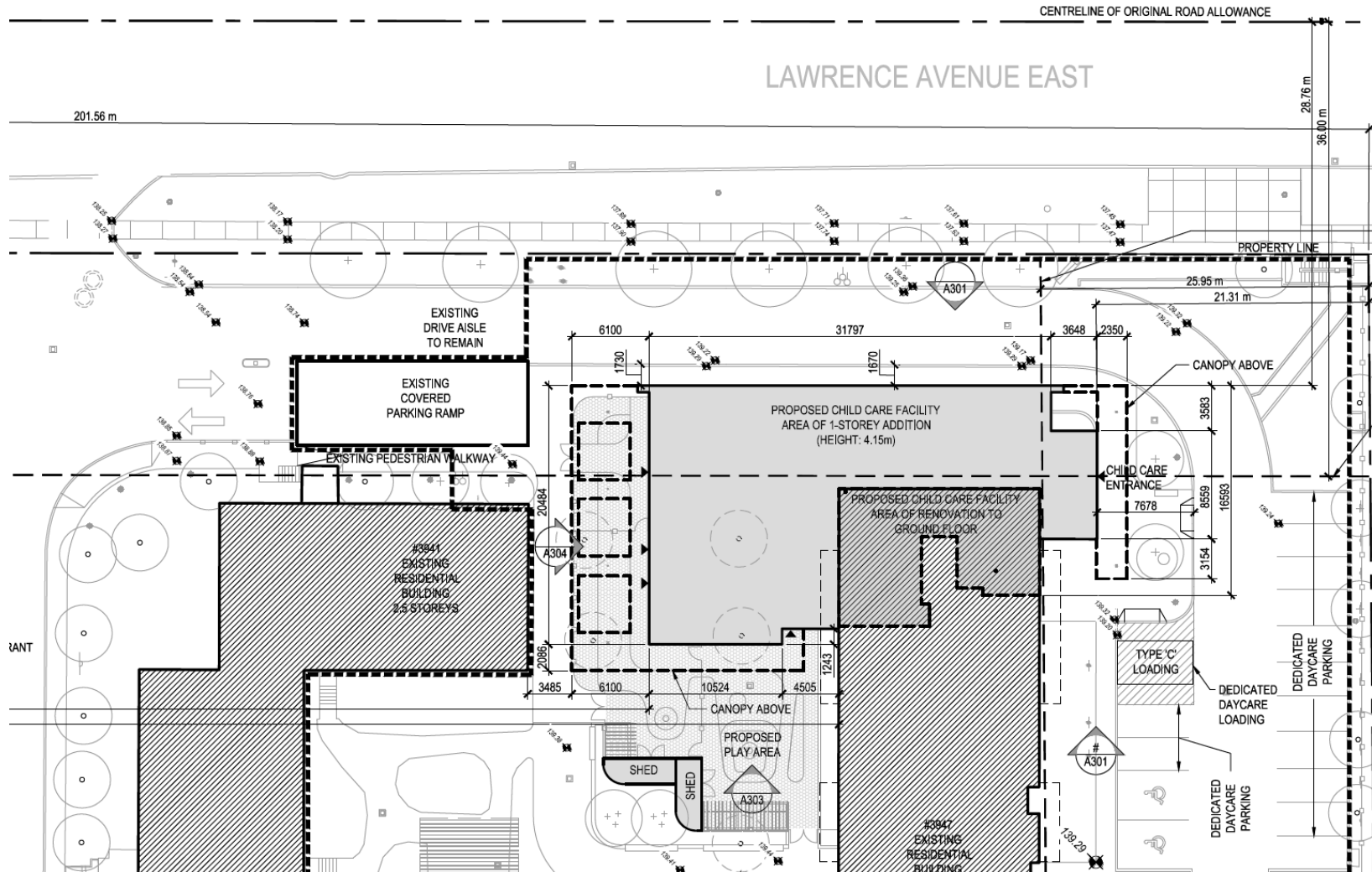
By-law No. 569-2013 & No. 572-2014:

3. A total of 304 parking spaces are provided on the site; Whereas a minimum of 343 parking spaces are required for the site, including 6 spaces for the daycare facility.

By-law No. 9510:

4. A total of 304 parking spaces are provided on the site; Whereas a minimum of 347 parking spaces are required for the site, including 10 spaces for the daycare facility.





Enlarged Site Plan

Applicant's Submitted Drawing

Not to Scale 04/07/2017 - BC

3939-3947 Lawrence Avenue E

File # A0105/17SC

Attachment 3