

Wednesday, March 22, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0060/16NY	Zoning	R3/RD (f18.0; a690)(waiver)
Owner(s):	JANET MINAS VICTOR MINAS	Ward:	Eglinton-Lawrence (16)
Agent:	BRITTON CLARKSON PLANNING LIMITED	Heritage:	Not Applicable
Property Address:	20 SANDRINGHAM DR	Community:	North York
Legal Description:	PLAN 2395 BLK A RP 64R8503 PART 1		

Notice was given and the application considered on Wednesday, March 22, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the existing property to create a new residential building lot. The existing single detached residential dwelling will be maintained on the retained lot.

Conveyed - PARTS 2 and 4

Address to be assigned

Parts 2 and 4 have a frontage of 29.4m and lot area of 980.96m² (LOT 2). There are no current proposals to construct a residential dwelling on Lot 2, however the lot will occupy frontage and access from Sandringham Drive should an application be brought forward sometime in the future for a new dwelling.

An illustration of a site plan and building envelope that could be built on the conveyed lot shows compliance with the applicable by-laws however, for the purpose of this application, the conveyed lot is to remain vacant.

Retained - PARTS 1 and 3

20 Sandringham Drive

Parts 1 and 3 have a frontage of 19.6m and a lot area of 3,990.21m² (LOT 1). The existing single detached dwelling will be maintained and will continue to have access from Sandringham Drive.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.

- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

SIGNATURE PAGE

File Number:	B0060/16NY	Zoning	R3/RD (f18.0; a690)(waiver)
Owner(s):	JANET MINAS VICTOR MINAS	Ward:	Eglinton-Lawrence (16)
Agent:	BRITTON CLARKSON PLANNING LIMITED	Heritage:	Not Applicable
Property Address:	20 SANDRINGHAM DR	Community:	North York
Legal Description:	PLAN 2395 BLK A RP 64R8503 PART 1		

Bruce Mullock (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 18, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

NOTE: Only individuals, corporations and public agencies may appeal a decision to the Ontario Municipal Board. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Wednesday, March 22, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0086/16NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner(s):	CHUNG TONG LEE CHUNG TONG LEE	Ward:	Eglinton-Lawrence (15)
Agent:	ACTION PLANNING CONSULTANTS	Heritage:	Not Applicable
Property Address:	517 GLENCAIRN AVE	Community:	North York
Legal Description:	PLAN 1911 LOT 6		

Notice was given and the application considered on Wednesday, March 22, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Conveyed - Part 1

Address to be assigned

The frontage is 7.62m and the lot area is 309.8m². The property will be redeveloped as the site of a new detached two-storey dwelling requiring variances to the applicable zoning By-law(s) as outlined in file A0977/16NY.

Retained - Part 2

Address to be assigned

The frontage is 7.62m and the lot area is 309.4m². The property will be redeveloped as the site of a new detached two-storey dwelling requiring variances to the applicable zoning By-law(s) as outlined in A0978/16NY.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE _____, 2016

DATE _____, 2016

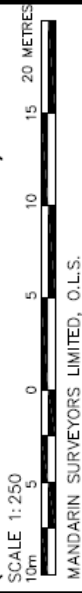
RECEIVED AND DEPOSITED

REPRESENTATIVE OF THE LAND REGISTRAR FOR THE LAND TITLES DIVISION OF THE TORONTO REGISTRY OFFICE (No. 66)

Z. ZENG
ONTARIO LAND SURVEYOR

SCHEDULE			
PART	LOT	REGISTERED PLAN	ALL OF PIN
1	6	1911	10219-0109(LT)
2			

PLAN OF SURVEY OF
LOT 6, REGISTERED PLAN 1911
CITY OF TORONTO
(FORMERLY CITY OF NORTH YORK)



MANDARIN SURVEYORS LIMITED, O.L.S.

METRIC

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

- LEGEND**
- DENOTES MONUMENT SET
 - DENOTES MONUMENT FOUND
 - IB DENOTES IRON BAR
 - SSIB DENOTES STANDARD IRON BAR
 - SSIB DENOTES SHORT STANDARD IRON BAR
 - WIT DENOTES WITNESS
 - RP DENOTES REGISTERED PLAN 1911
 - P1 DENOTES REGISTERED PLAN 1766
 - P2 DATED SEPTEMBER 1, 1953
 - P3 DATED SEPTEMBER 1, 1953
 - P4 DATED SEPTEMBER 1, 1953
 - P5 DATED SEPTEMBER 1, 1953
 - P6 DATED SEPTEMBER 1, 1953
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 - P99 DATED SEPTEMBER 1, 1953
 - P100 DATED SEPTEMBER 1, 1953

NOTES

BEARINGS ARE M.T.M. GRID DERIVED FROM SPECIFIED CONTROL POINTS 020080115 AND 020080117, M.T.M. ZONE 10, NAD83 (1997.0) DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99987218.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 16th DAY OF MAY, 2016

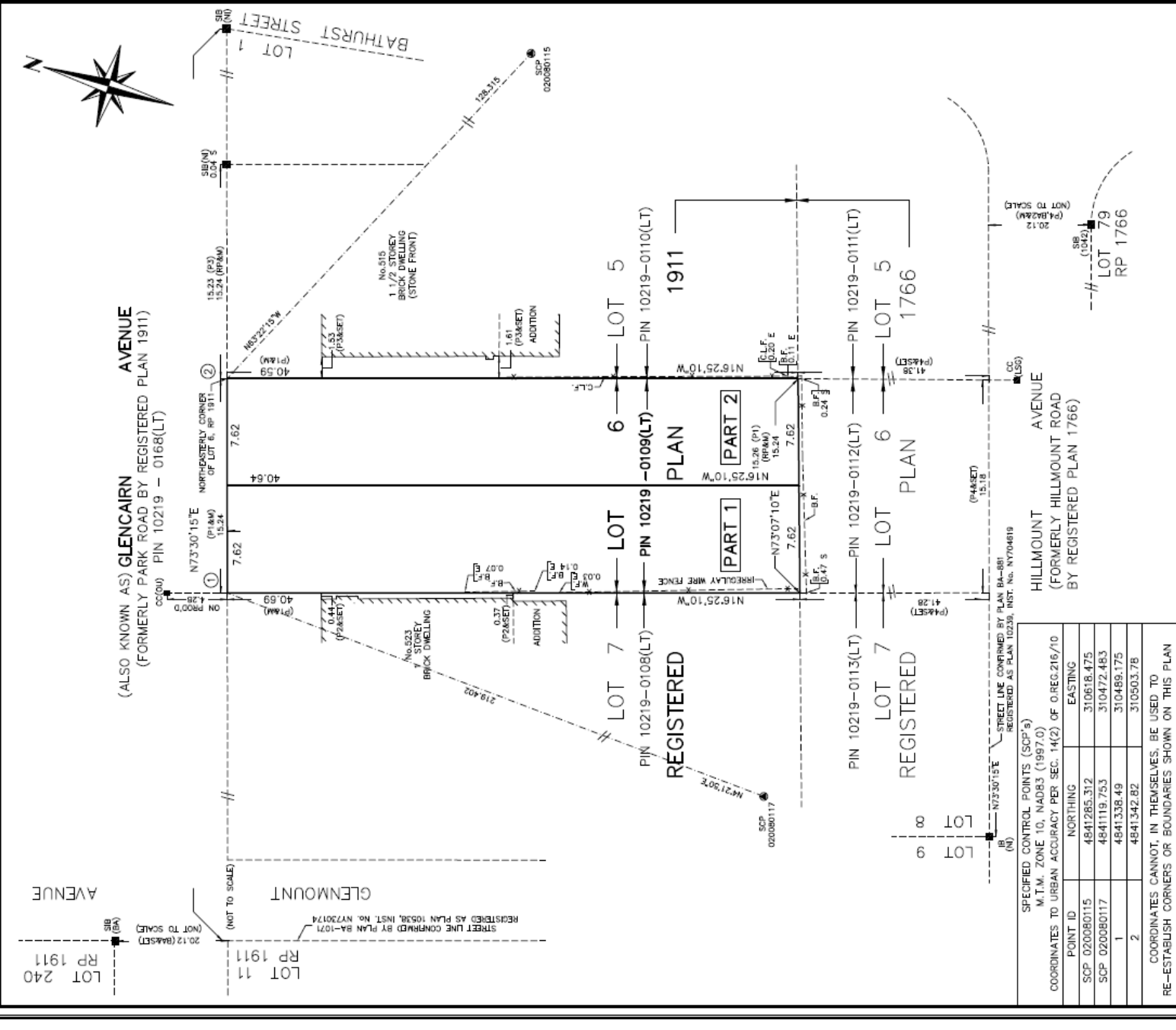
MAY 20 _____, 2016

DATE

Z. ZENG
ONTARIO LAND SURVEYOR

MANDARIN SURVEYORS LIMITED
ONTARIO LAND SURVEYOR
CANADA LANDS SURVEYOR
WWW.MANDARINSURVEYOR.COM
42 RAVENCLIFF CRESCENT PHONE: (647)430-1366 FAX: (647)799-4068
TORONTO, ONTARIO, M1T 1R8 E-MAIL: MANDARINSURVEYOR@GMAIL.COM

SURVEY BY: S.Z. CAD No: 16-0406PLAN JOB No: 2016-040



Wednesday, March 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0977/16NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner(s):	CHUNG TONG LEE CHUNG TONG LEE	Ward:	Eglinton-Lawrence (15)
Agent:	ACTION PLANNING CONSULTANTS	Heritage:	Not Applicable
Property Address:	517 GLENCAIRN AVE (PART 1)	Community:	North York
Legal Description:	PLAN 1911 LOT 6		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling. File Numbers B0086/16NY, A0977/16NY and A0978/16NY will be considered jointly.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.10.(5), Zoning By-law No. 569-2013

A minimum of 10 m² of the First Floor area must be within 4 m of the front wall.
There is 4.9 m² proposed within 4 m of the front wall.

2. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013

A) The required minimum lot area is 550 m².
The proposed lot area is 309.86 m².

3. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013

A) The required minimum lot frontage is 15 m.
The proposed lot frontage is 7.62 m.

4. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013

The permitted maximum height of the exterior portion of main walls for a detached house is 7.5m.
The proposed height of main walls is 7.81 m for the side main walls and 8.23 m for the front and rear main walls.

5. Chapter 10.20.40.20(1), Zoning By-law No. 569-2013

In the RD zone with a minimum required lot frontage of 18.0 m or less, the permitted maximum building length for a detached house is 17.0 m.
The proposed building length is 18.03 m.

6. Chapter 900.3.10(5), Zoning By-law No. 569-2013

The required minimum side yard setbacks are 1.8 m each side.
The proposed east side yard setback is 0.91 m.

7. Chapter 900.3.10(5), Zoning By-law No. 569-2013

The required minimum side yard setbacks are 1.8 m each side.
The proposed west side yard setback is 1.22 m.

8. Section 13.2.1, Zoning By-law No. 7625

The minimum required lot frontage is 15 m.
The proposed lot frontage is 7.62 m.

9. Section 13.2.2, Zoning By-law No. 7625

The minimum required lot area is 550m².
The proposed lot area is 309.86m²

10. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 0.91m.

11. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.22m.

12. Section 13.2.5A, Zoning By-law No. 7625

The maximum permitted building length is 16.8m.
The proposed building length is 18.03m.

13. Section 6(8), Zoning By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0977/16NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner:	CHUNG TONG LEE CHUNG TONG LEE	Ward:	Eglinton-Lawrence (15)
Agent:	ACTION PLANNING CONSULTANTS	Heritage:	Not Applicable
Property Address:	517 GLENCAIRN AVE (PART 1)	Community:	North York
Legal Description:	PLAN 1911 LOT 6		

Bruce Mullock (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Wednesday, March 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0978/16NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner(s):	CHUNG TONG LEE CHUNG TONG LEE	Ward:	Eglinton-Lawrence (15)
Agent:	ACTION PLANNING CONSULTANTS	Heritage:	Not Applicable
Property Address:	517 GLENCAIRN AVE (PART 2)	Community:	North York
Legal Description:	PLAN 1911 LOT 6		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling. File Numbers B0086/16NY, A0977/16NY and A0978/16NY will be considered jointly.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013

A) The required minimum lot area is 550 m².
The proposed lot area is 309.29m².

2. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013

A) The required minimum lot frontage is 15 m.
The proposed lot frontage is 7.62 m.

3. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013

The permitted maximum height of the exterior portion of main walls for a detached house is 7.5m.
The proposed height of side main walls is 7.91 m and the front and rear main wall is 8.66 m.

4. Chapter 10.20.40.20(1), Zoning By-law No. 569-2013

In the RD zone with a minimum required lot frontage of 18.0 m or less, the permitted maximum building length for a detached house is 17.0 m.
The proposed building length is 18.03 m.

5. Chapter 10.5.40.10.(5), Zoning By-law No. 569-2013

A minimum of 10 m² of the First Floor area must be within 4 m of the front wall.
There is 4.9 m² proposed within 4 m of the front wall.

6. Chapter 900.3.10(5), Zoning By-law No. 569-2013

The required minimum side yard setbacks are 1.8 m each side.
The proposed east side yard setback is 1.22 m.

7. Chapter 900.3.10(5), Zoning By-law No. 569-2013

The required minimum side yard setbacks are 1.8 m each side.
The proposed west side yard setback is 0.91 m.

8. Section 13.2.1, Zoning By-law No. 7625

The minimum required lot frontage is 15 m.
The proposed lot frontage is 7.62 m.

9. Section 13.2.2, Zoning By-law No. 7625

The minimum required lot area is 550m².
The proposed lot area is 309.29m².

10. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.22m.

11. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 0.91m.

12. Section 13.2.5A, Zoning By-law No. 7625

The maximum permitted building length is 16.8m.
The proposed building length is 18.03m.

13. Section 6(8), Zoning By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0978/16NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner:	CHUNG TONG LEE CHUNG TONG LEE	Ward:	Eglinton-Lawrence (15)
Agent:	ACTION PLANNING CONSULTANTS	Heritage:	Not Applicable
Property Address:	517 GLENCAIRN AVE (PART 2)	Community:	North York
Legal Description:	PLAN 1911 LOT 6		

Bruce Mullock (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Wednesday, March 22, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0087/16NY	Zoning	R6(20)/RD (f12.0; a370) (x1463)(waiver)
Owner(s):	ARKADI SHEINERMAN	Ward:	Eglinton-Lawrence (16)
Agent:	BOUSFIELDS INC	Heritage:	Not Applicable
Property Address:	647 WOBURN AVE	Community:	North York
Legal Description:	PLAN M109 LOTS 388 & 389 PT CLOSED LANEWAY RP 66R8453 PART 10		

Notice was given and the application considered on Wednesday, March 22, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Conveyed - Parts 1 and 2 (647B)

Address to be assigned

The frontage is 6.095m and the lot area is 247.1m². The property will be redeveloped as the site of a new detached residential dwelling requiring variances to the applicable zoning By-law(s) as outlined in file A0986/16NY.

Retained - Parts 3 and 4 (647A)

Address to be assigned

The frontage is 6.095m and the lot area is 247.1m². The property will be redeveloped as the site of a new detached residential dwelling requiring variances to the applicable zoning By-law(s) as outlined in file A0985/16NY.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

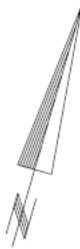
The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

PLAN OF SURVEY OF
LOTS 388 & 389
AND PART OF LANE
 (Closed By By-Law 12875)
REGISTERED PLAN M-109
CITY OF TORONTO
 Formerly In The City of North York
 SCALE 1 : 150
 GTA SURVEYING INC.

METRIC
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES
 AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



WO BURN AVENUE
 (BY REGISTERED PLAN M-109)
 P.L.N. 10195-0231

I REQUIRE THIS PLAN TO BE DEPOSITED
 UNDER THE LAND TITLES ACT

DATE : _____

JACEK WALCZAK
 ONTARIO LAND SURVEYOR

PLAN 66R-

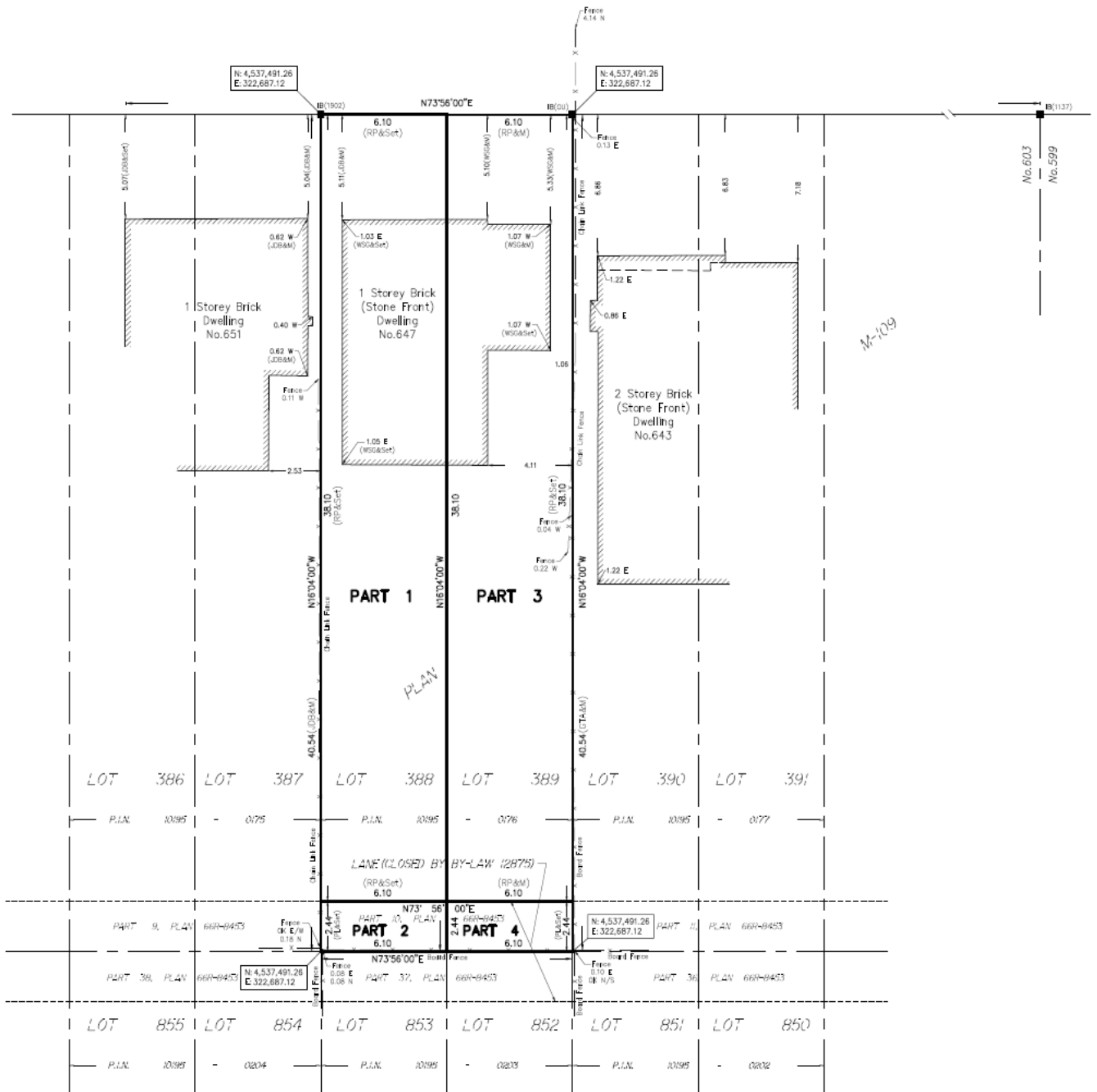
RECEIVED AND DEPOSITED

DATE : _____

REPRESENTATIVE FOR LAND REGISTRAR
 FOR THE LAND TITLES DIVISION OF THE
 TORONTO REGISTRY OFFICE (No.66)

SCHEDULE

PART	LOT	PLAN	ALL OF P.I.N.	AREA
1	ALL OF 388	M-109	10195-0176	232.22 sq.m.
2	PART OF LANE			14.87 sq.m.
3	ALL OF 389			232.22 sq.m.
4	PART OF LANE			14.87 sq.m.



SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON THE 15th DAY OF MAY, 2016.

MAY 13, 2016

DATE

JACEK WALCZAK
 ONTARIO LAND SURVEYOR

LEGEND

- DENOTES SURVEY MONUMENT SET
- SURVEY MONUMENT FOUND
- RP REGISTERED PLAN
- N.S.E.W. NORTH, SOUTH, EAST, WEST
- M MEASURED
- IB IRON BAR
- OU ORIGIN UNKNOWN
- (1137) RONALD GLADSTONE MCKIBBIN
- WSG PLAN BY W.S. GIBSON & SONS, O.L.S.
- JDB DATED JULY 22, 1948
- P.L.N. J.D. BARNES LIMITED, O.L.S.
- GTA(1902) PROPERTY IDENTIFIER NUMBER
- PLAN BY GREATER TORONTO ACRES SURVEYING INC., O.L.S.
- DATED MAY 11, 2016

DISTANCE NOTE

DISTANCES SHOWN HEREON ARE GROUND DISTANCES
 AND CAN BE CONVERTED TO GRID DISTANCES BY
 MULTIPLYING BY A CORRECTION SCALE FACTOR OF 0.999875.

COORDINATE SYSTEM AND BEARING NOTE

COORDINATE SYSTEM IS NORTH AMERICAN DATUM 1983
 (CANADIAN SPATIAL REFERENCE SYSTEM) (2010.0). COORDINATES
 AND BEARINGS SHOWN HEREON ARE GRID, EXPRESSED IN
 MODIFIED TRANSVERSE MERCATOR PROJECTION, PLANE ZONE
 10 CENTRE MERIDIAN 79°07' WEST LONGITUDE AND ARE
 DERIVED FROM GLOBAL POSITIONING SYSTEM

NOTE:

COORDINATES COMPLY WITH SUBSECTION 14(2)
 O. REG 216/10
 COORDINATES CANNOT IN THEMSELVES BE USED TO
 RE-ESTABLISH THE CORNERS OR BOUNDARIES
 SHOWN ON THIS PLAN

GTA
 Greater Toronto Acres
 SURVEYING INC.
 7003 Steeles Ave. West, Unit 12, Toronto ON M9W 0A2
 Tel: (416) 679-0572
 E-MAIL: jw@gtaurveying.ca

DRAWN: B.D. CHECKED: J.W. PROJECT 16219

Wednesday, March 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0985/16NY	Zoning	R6(20)/RD (f12.0; a370) (x1463)(waiver)
Owner(s):	ARKADI SHEINERMAN	Ward:	Eglinton-Lawrence (16)
Agent:	BOUSFIELDS INC	Heritage:	Not Applicable
Property Address:	647 WOBURN AVE (PARTS 3 & 4)	Community:	North York
Legal Description:	PLAN M109 LOTS 388 & 389 PT CLOSED LANEWAY RP 66R8453 PART 10		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.10.(5), Zoning By-law No. 569-2013

A minimum of 10 m² of the First Floor area must be within 4 m of the front wall.
There is 2.27 m² proposed within 4 m of the front wall.

2. Chapter 10.5.50.10.(1), Zoning By-law No. 569-2013

(D) On a lot with a detached house, semi-detached house, duplex, triplex, fourplex or townhouse, a minimum of 75 percent of the required front yard landscaping must be soft landscaping; 13.8m².
The proposed front yard soft landscaping area is 67.5 percent: 11.67 m².

3. Chapter 10.5.100.1.(1), Zoning By-law No. 569-2013

(C) The permitted maximum driveway width is 2.74 m wide.
The proposed driveway is 3.2 m wide.

4. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013

A) The required minimum lot area is 370 m².
The proposed lot area is 247.1m².

5. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013

A) The required minimum lot frontage is 12 m.
The proposed lot frontage is 6.095 m.

6. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013

A) The permitted maximum lot coverage is 30 percent of the lot area: 74.16 m².
The proposed lot coverage is 35.5 percent of the lot area: 87.7 m².

7. Chapter 10.20.40.10.(4), Zoning By-law No. 569-2013

A) The permitted maximum height is 7.2 m.
The proposed height is 9.19 m.

8. Chapter 10.20.40.10.(4), Zoning By-law No. 569-2013

C) The permitted maximum number of storeys is 2 (two).
The proposed number of storeys is 3.

9. Chapter 10.20.40.10.(6), Zoning By-law No. 569-2013

6) The permitted maximum height of the first floor above established grade is 1.2 m.
The proposed height of the first floor above established grade is 1.38 m.

10. Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013

C) The required minimum side yard setback is 1.2 m.
The proposed east side yard setback is 0.66 m.

11. Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013

C) The required minimum side yard setback is 1.2 m.
The proposed west side yard setback is 0.4 m.

12. Chapter 10.20.40.50.(1), Zoning By-law No. 569-2013

B) The permitted maximum area of each platform at or above the second storey of a detached house is 4.0 m².
The proposed area of each platform at or above the second storey is 6.26 m².

13. Section 14-A(3), Zoning By-law No. 7625

The minimum required lot area is 371m².
The proposed lot area is 247.1 m².

14. Section 14-A(4), Zoning By-law No. 7625

The minimum required lot frontage is 12m.
The proposed lot frontage is 6.095 m.

15. Section 14-A(5)c, Zoning By-law No. 7625

The minimum required side yard setback is 1.2m.
The proposed east side yard setback is 0.66m.

16. Section 14-A(5)c, Zoning By-law No. 7625

The minimum required side yard setback is 1.2m.
The proposed west side yard setback is 0.4m.

17. Section 14-A(6), Zoning By-law No. 7625

The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 35.5% of the lot area.

18. Section 14-A(8), Zoning By-law No. 7625

The maximum permitted building height is 8m.
The proposed building height is 9.49m.

19. Section 14-A(8), Zoning By-law No. 7625

The maximum permitted number of storeys is 2.

The proposed number of storeys is 3.

20. Section 14-A(9), Zoning By-law No. 7625

The maximum permitted building length is 15.3m.

The proposed building length is 17m.

21. Section 6(30)a, Zoning By-law No. 7625

The maximum finished first floor height is 1.5m.

The proposed finished first floor height is 1.75m.

22. Section 6(8), Zoning By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

23. Section 7.4A, Zoning By-law No. 7625

The minimum required soft landscaping is 75%.

The proposed landscaping is 67.5%.

24. Section 14-A(10), Zoning By-law No. 7625

The maximum permitted balcony area is 3.8m².

The proposed balcony area is 6.26 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0985/16NY	Zoning	R6(20)/RD (f12.0; a370) (x1463)(waiver)
Owner:	ARKADI SHEINERMAN	Ward:	Eglinton-Lawrence (16)
Agent:	BOUSFIELDS INC	Heritage:	Not Applicable
Property Address:	647 WOBURN AVE (PARTS 3 & 4)	Community:	North York
Legal Description:	PLAN M109 LOTS 388 & 389 PT CLOSED LANEWAY RP 66R8453 PART 10		

Bruce Mullock (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Wednesday, March 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0986/16NY	Zoning	R6(20)/RD (f12.0; a370) (x1463)(waiver)
Owner(s):	ARKADI SHEINERMAN	Ward:	Eglinton-Lawrence (16)
Agent:	BOUSFIELDS INC	Heritage:	Not Applicable
Property Address:	647 WOBURN AVE (PARTS 1 & 2)	Community:	North York
Legal Description:	PLAN M109 LOTS 388 & 389 PT CLOSED LANEWAY RP 66R8453 PART 10		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**1. Chapter 10.5.40.10.(5), Zoning By-law No. 569-2013**

A minimum of 10 m² of the First Floor area must be within 4 m of the front wall.
There is 2.27 m² proposed within 4 m the front wall.

2. Chapter 10.5.50.10.(1), Zoning By-law No. 569-2013

(D) a minimum of 75 percent of the required front yard landscaping must be soft landscaping; 13.8 m².
The proposed front yard soft landscaping area is 67.5 percent: 11.67 m².

3. Chapter 10.5.100.1.(1), Zoning By-law No. 569-2013

(C) The maximum permitted driveway width is 2.74 m.
The proposed driveway is 3.2 m wide.

4. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013

(A) The required minimum lot area is 370 m².
The proposed lot area is 247.1 m².

5. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013

(A) The required minimum lot frontage is 12.
The proposed lot frontage is 6.095 m.

6. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013

(A) The permitted maximum lot coverage is 30 percent of the lot area: 74.16 m².
The proposed lot coverage is 35.5 percent of the lot area: 87.7 m².

7. Chapter 10.20.40.10.(4), Zoning By-law No. 569-2013

A) The permitted maximum height is 7.2 m.
The proposed height is 9.27 m.

8. Chapter 10.20.40.10.(4), Zoning By-law No. 569-2013

C) The permitted maximum number of storeys is 2 (two).
The proposed number of storeys is 3.

9. Chapter 10.20.40.10.(6), Zoning By-law No. 569-2013

6) The permitted maximum height of the first floor above established grade is 1.2 m.
The proposed height of the first floor above established grade is 1.48 m.

10. Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013

C) The required minimum side yard setback is 1.2 m.
The proposed east side yard setback is 0.4 m.

11. Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013

C) The required minimum side yard setback is 1.2 m.
The proposed west side yard setback is 0.65 m.

12. Chapter 10.20.40.50.(1), Zoning By-law No. 569-2013

B) The permitted maximum area of each platform at or above the second storey of a detached house is 4.0 m².
The proposed area of each platform at or above the second storey is 6.26 m².

13. Section 14-A(3), Zoning By-law No. 7625

The minimum required lot area is 371m².
The proposed lot area is 247.1m².

14. Section 14-A(4), Zoning By-law No. 7625

The minimum required lot frontage is 12m.
The proposed lot frontage is 6.095m.

15. Section 14-A(5)c, Zoning By-law No. 7625

The minimum required east side yard setback is 1.2m.
The proposed east side yard setback is 0.4m.

16. Section 14-A(5)c, Zoning By-law No. 7625

The minimum required west side yard setback is 1.2m.
The proposed west side yard setback is 0.65.

17. Section 14-A(6), Zoning By-law No. 7625

The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 35.5% of the lot area.

18. Section 14-A(8), Zoning By-law No. 7625

The maximum permitted building height is 8m.
The proposed building height is 9.5m.

19. Section 14-A(8), Zoning By-law No. 7625

The maximum permitted number of storeys is 2.
The proposed number of storeys is 3.

20. Section 14-A(9), Zoning By-law No. 7625

The maximum permitted building length is 15.3m.

The proposed building length is 17m.

21. Section 6(30)a, Zoning By-law No. 7625

The maximum finished first floor height is 1.5m.

The proposed finished first floor height is 1.71m.

22. Section 6(8), Zoning By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

23. Section 7.4A, Zoning By-law No. 7625

The minimum required soft landscaping is 75%.

The proposed landscaping is 67.5%.

24. Section 14-A(10), Zoning By-law No. 7625

The maximum permitted balcony area is 3.8m².

The proposed balcony area is 6.26 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0986/16NY	Zoning	R6(20)/RD (f12.0; a370) (x1463)(waiver)
Owner:	ARKADI SHEINERMAN	Ward:	Eglinton-Lawrence (16)
Agent:	BOUSFIELDS INC	Heritage:	Not Applicable
Property Address:	647 WOBURN AVE (PARTS 1 & 2)	Community:	North York
Legal Description:	PLAN M109 LOTS 388 & 389 PT CLOSED LANEWAY RP 66R8453 PART 10		

Bruce Mullock (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, March 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0916/16NY	Zoning	R4/RD(waiver)
Owner(s):	VIOLETTE ABEDALMALAK GAMAL ABEDALMALAK	Ward:	Don Valley West (25)
Agent:	BATTAGLIA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	43 TOTTENHAM RD	Community:	North York
Legal Description:	PLAN 4761 LOT 961		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.70.(1) , Zoning By-law 569-2013**
The required minimum front yard setback is 9.55m.
The proposed front yard setback is **8.74m**.
- 2. Chapter 10.20.30.40.(1), Zoning By-law 569-2013**
The permitted maximum lot coverage is 25% of the lot area.
The proposed lot coverage is 29% of the lot area.
- 3. Chapter 10.20.40.10.(2)(B)(i), Zoning By-law 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of walls is 7.59m from established grade.
- 4. Section 13.2.5A, Zoning By-law 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 17.10m.
- 5. Section 13.2.6, Zoning By-law 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.13m.

6. **Section 6(30)a, Zoning By-law 7625**
The maximum permitted finished first floor height is 1.5m.
The proposed finished first floor height is 1.63m.
7. **Section 13.2.6A, Zoning By-law 7625**
The maximum permitted balcony area is 3.8m².
The proposed balcony area is 4.2m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.40.70.(1) , Zoning By-law 569-2013**
The required minimum front yard setback is 9.55m.
The proposed front yard setback is **8.74m**.
3. **Chapter 10.20.40.10.(2)(B)(i), Zoning By-law 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of walls is 7.59m from established grade.
4. **Section 13.2.5A, Zoning By-law 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 17.10m.
5. **Section 13.2.6, Zoning By-law 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.13m.
6. **Section 6(30)a, Zoning By-law 7625**
The maximum permitted finished first floor height is 1.5m.
The proposed finished first floor height is 1.63m.
7. **Section 13.2.6A, Zoning By-law 7625**
The maximum permitted balcony area is 3.8m².
The proposed balcony area is 4.2m².

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

2. Chapter 10.20.30.40.(1), Zoning By-law 569-2013

The permitted maximum lot coverage is 25% of the lot area.

The proposed lot coverage is 29% of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

- 1) The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

SIGNATURE PAGE

File Number:	A0916/16NY	Zoning	R4/RD(waiver)
Owner:	VIOLETTE ABEDALMALAK GAMAL ABEDALMALAK	Ward:	Don Valley West (25)
Agent:	BATTAGLIA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	43 TOTTENHAM RD	Community:	North York
Legal Description:	PLAN 4761 LOT 961		

Bruce Mullock (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, March 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1106/16NY	Zoning	R2/RD (f21.0; a975) (x70)(ZR)
Owner(s):	FARIDEH HELFOROUSH	Ward:	Willowdale (24)
Agent:	MANOUSH HAKIMI	Heritage:	Not Applicable
Property Address:	19 VIAMEDE CRES	Community:	North York
Legal Description:	PLAN 5482 LOT 18		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Chapter 900.3.10 (5) - Exceptions for RD Zone (x70), Zoning By-law No. 569-2013**
(A) The minimum front yard setback is 9 m;
The proposed front yard setback is 8.39 m
2. **Chapter 900.3.10 (5) - Exceptions for RD Zone (x70), Zoning By-law No. 569-2013**
(B) The minimum side yard setback is 1.8 m on each side for a one- storey building, plus 0.6 m for each additional storey or portion thereof (2.4 m);
The proposed north side yard setback is 1.84 m.
3. **Chapter 900.3.10 (5) - Exceptions for RD Zone (x70), Zoning By-law No. 569-2013**
B) The minimum side yard setback is 1.8 m on each side for a one- storey building, plus 0.6 m for each additional storey or portion thereof (2.4 m);
The proposed south side yard setback is 1.83 m.
4. **Section 11.2.4(a), Zoning By-law No. 7625**
The minimum required front yard setback is 9m.
The proposed front yard setback is 8.39m.
5. **Section 11.2.4(b), Zoning By-law No. 7625**
The minimum required side yard setback is 2.4 m.
The proposed north side yard setback is 1.84m.

6. **Section 11.2.4(b), Zoning By-law No. 7625**
The minimum required side yard setback is 2.4 m.
The proposed south side yard setback is 1.83m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 900.3.10 (5) - Exceptions for RD Zone (x70), Zoning By-law No. 569-2013**
(A) The minimum front yard setback is 9 m;
The proposed front yard setback is 8.39 m
4. **Section 11.2.4(a), Zoning By-law No. 7625**
The minimum required front yard setback is 9m.
The proposed front yard setback is 8.39m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

2. **Chapter 900.3.10 (5) - Exceptions for RD Zone (x70), Zoning By-law No. 569-2013**
(B) The minimum side yard setback is 1.8 m on each side for a one- storey building, plus 0.6 m for each additional storey or portion thereof (2.4 m);
The proposed north side yard setback is 1.84 m.
3. **Chapter 900.3.10 (5) - Exceptions for RD Zone (x70), Zoning By-law No. 569-2013**
B) The minimum side yard setback is 1.8 m on each side for a one- storey building, plus 0.6 m for each additional storey or portion thereof (2.4 m);
The proposed south side yard setback is 1.83 m.
5. **Section 11.2.4(b), Zoning By-law No. 7625**
The minimum required side yard setback is 2.4 m.
The proposed north side yard setback is 1.84m.
6. **Section 11.2.4(b), Zoning By-law No. 7625**
The minimum required side yard setback is 2.4 m.
The proposed south side yard setback is 1.83m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

- 1) Submission of a complete application for permit to injure or remove privately owned trees.
- 2) The dwelling be constructed with the proposed rear yard setback of 23.91 metres, to ensure the dwelling is constructed as shown on the plans submitted to the Committee of Adjustment.

SIGNATURE PAGE

File Number:	A1106/16NY	Zoning	R2/RD (f21.0; a975) (x70)(ZR)
Owner:	FARIDEH HELFOROUSH	Ward:	Willowdale (24)
Agent:	MANOUSH HAKIMI	Heritage:	Not Applicable
Property Address:	19 VIAMEDE CRES	Community:	North York
Legal Description:	PLAN 5482 LOT 18		

Bruce Mullock (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, March 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0001/17NY	Zoning	RD/R3 [ZZC]
Owner(s):	GRANDFIELD CUSTOM HOMES LIMITED	Ward:	Don Valley West (25)
Agent:	GRANDFIELD HOMES (KENTON) LTD	Heritage:	Not Applicable
Property Address:	14 BALDING CRT	Community:	North York
Legal Description:	PLAN M866 LOT 330		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 35.00% of the lot area.

The proposed lot coverage is 37.30% of the lot area.

2. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is 18.34m.

3. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013

The minimum required front yard setback is 11.99m.

The proposed front yard setback is **8.00m**.

4. Chapter 10.20.40.70.(2), By-law No. 569-2013

The minimum required rear yard setback is 8.96m.

The proposed rear yard setback is 6.80m.

5. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed north side yard setback is **1.50m**.

6. Section 12.4(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed north side yard setback is **1.50m**.

7. Section 12.4(c), By-law No. 7625

The minimum required rear yard setback is 9.50m.

The proposed rear yard setback is 6.80m.

8. Section 12.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length is 18.49m

9. Section 12.6, By-law No. 7625

The maximum permitted lot coverage is 35.00% of the lot area.

The proposed lot coverage is 37.30% of the lot area.

10. Section 12.7, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 9.34m.

11. Section 6A(5)(a)(ii)(C), By-law No. 7625

The maximum permitted driveway width is 6.00m.

The proposed driveway width is 6.24m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 35.00% of the lot area.

The proposed lot coverage is 37.30% of the lot area.

2. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is 18.34m.

3. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013

The minimum required front yard setback is 11.99m.

The proposed front yard setback is **8.00m**.

5. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed north side yard setback is **1.50m**.

6. Section 12.4(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed north side yard setback is **1.50m**.

8. Section 12.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length is 18.49m

9. Section 12.6, By-law No. 7625

The maximum permitted lot coverage is 35.00% of the lot area.

The proposed lot coverage is 37.30% of the lot area.

10. Section 12.7, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 9.34m.

11. Section 6A(5)(a)(ii)(C), By-law No. 7625

The maximum permitted driveway width is 6.00m.

The proposed driveway width is 6.24m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

4. Chapter 10.20.40.70.(2), By-law No. 569-2013

The minimum required rear yard setback is 8.96m.

The proposed rear yard setback is **7.50m**.

7. Section 12.4(c), By-law No. 7625

The minimum required rear yard setback is 9.50m.

The proposed rear yard setback is **7.50m**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0001/17NY	Zoning	RD/R3 [ZZC]
Owner:	GRANDFIELD CUSTOM HOMES LIMITED	Ward:	Don Valley West (25)
Agent:	GRANDFIELD HOMES (KENTON) LTD	Heritage:	Not Applicable
Property Address:	14 BALDING CRT	Community:	North York
Legal Description:	PLAN M866 LOT 330		

Bruce Mullock (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Wednesday, March 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0002/17NY	Zoning	RD (f9.0; a275)(waiver)
Owner(s):	ALIREZA KASHARAFIFARD	Ward:	Willowdale (23)
Agent:	AMIR RAHMANKHAH	Heritage:	Not Applicable
Property Address:	78 CAMERON AVE	Community:	North York
Legal Description:	PLAN M412 LOT 43 W PT LOT 44		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.10.(5), By-law No. 569-2013

A minimum of 10.0m² of the first floor must be within 4.0m of the front wall.
There is 8.75 m² proposed within 4.0m of the front wall.

2. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.0% of the lot area.
The proposed lot coverage is 31.96% of the lot area.

3. Chapter 10.20.40.10.(2)(A)(i), By-law No. 569-2013

The maximum permitted height of exterior front main walls is 7.5m.
The proposed height of front main walls for windows is 8.11m.

4. Chapter 10.20.40.10.(2)(A)(ii), By-law No. 569-2013

The maximum permitted height of exterior rear main walls is 7.5m.
The proposed height of rear main walls for window and door is 8.11m.

5. Chapter 10.20.40.70.(3)(B), By-law No. 569-2013

The minimum required east side yard setback is 0.90m.
The proposed east side yard setback is 0.61m **for the front 6.55m portion of the dwelling only.**

6. Section 6(9)(n), By-law No. 7625

A bay window may project 0.6m from the rear wall.
The proposed rear bay windows project 0.75m from the rear wall.

7. Section 6(24), By-law No. 7625

Decks greater than 1m in height may not project more than 2.1m from the wall.
The proposed deck projects 2.83m from the wall.

8. Section 6(30)a, By-law No. 7625

The maximum permitted finished first floor height is 1.5m.
The proposed finished first floor height is 1.67m.

9. Section 14-B(5)(c)(i)(A), By-law No. 7625

The minimum required east side yard setback is 1.20m.
The proposed east side yard setback is 0.61m **for the front 6.55m portion of the dwelling only.**

10. Section 14-B(5)(c)(i)(A), By-law No. 7625

The minimum required west side yard setback is 1.20m.
The proposed west side yard setback is **0.91m** only for garage portion.

11. Section 14-B(6)(a), By-law No. 7625

The maximum permitted lot coverage is 30.0% of the lot area.
The proposed lot coverage is 31.96% of the lot area.

12. Section 14-B(8)(b), By-law No. 7625

The maximum permitted building height is 8.8m.
The proposed building height is 9.25m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. Chapter 10.5.40.10.(5), By-law No. 569-2013

A minimum of 10.0m² of the first floor must be within 4.0m of the front wall.
There is 8.75 m² proposed within 4.0m of the front wall.

2. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.0% of the lot area.
The proposed lot coverage is 31.96% of the lot area.

3. Chapter 10.20.40.10.(2)(A)(i), By-law No. 569-2013

The maximum permitted height of exterior front main walls is 7.5m.
The proposed height of front main walls for windows is 8.11m.

4. Chapter 10.20.40.10.(2)(A)(ii), By-law No. 569-2013

The maximum permitted height of exterior rear main walls is 7.5m.
The proposed height of rear main walls for window and door is 8.11m.

5. Chapter 10.20.40.70.(3)(B), By-law No. 569-2013

The minimum required east side yard setback is 0.90m.
The proposed east side yard setback is 0.61m **for the front 6.55m portion of the dwelling only.**

6. Section 6(9)(n), By-law No. 7625

A bay window may project 0.6m from the rear wall.

The proposed rear bay windows project 0.75m from the rear wall.

7. Section 6(24), By-law No. 7625

Decks greater than 1m in height may not project more than 2.1m from the wall.

The proposed deck projects 2.83m from the wall.

8. Section 6(30)a, By-law No. 7625

The maximum permitted finished first floor height is 1.5m.

The proposed finished first floor height is 1.67m.

9. Section 14-B(5)(c)(i)(A), By-law No. 7625

The minimum required east side yard setback is 1.20m.

The proposed east side yard setback is 0.61m **for the front 6.55m portion of the dwelling only.**

10. Section 14-B(5)(c)(i)(A), By-law No. 7625

The minimum required west side yard setback is 1.20m.

The proposed west side yard setback is **0.91m** only for garage portion.

11. Section 14-B(6)(a), By-law No. 7625

The maximum permitted lot coverage is 30.0% of the lot area.

The proposed lot coverage is 31.96% of the lot area.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

12. Section 14-B(8)(b), By-law No. 7625

The maximum permitted building height is 8.8m.

The proposed building height is **9.10m.**

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0002/17NY	Zoning	RD (f9.0; a275)(waiver)
Owner:	ALIREZA KASHARAFIFARD	Ward:	Willowdale (23)
Agent:	AMIR RAHMANKHAH	Heritage:	Not Applicable
Property Address:	78 CAMERON AVE	Community:	North York
Legal Description:	PLAN M412 LOT 43 W PT LOT 44		

Isaac Lallouz (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Wednesday, March 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0003/17NY	Zoning	RD & R4 (ZR)
Owner(s):	JAVAD SHIRVANI GHOMI ATEFEH YADOLLAHI	Ward:	Willowdale (24)
Agent:	HAMID BEHESHT	Heritage:	Not Applicable
Property Address:	52 DRYSDALE CRES	Community:	North York
Legal Description:	PLAN M947 LOT 104		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Chapter 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
2. **Chapter 10.10.40.10.(2)(B)(ii), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 8.79m.
3. **Section 13.2.4, By-Law 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
3. **Section 6(30)a, By-law 7625**
The maximum permitted finished first floor height is 1.5m.
The proposed dwelling will have a finished first floor height of 1.6m.
4. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.19m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

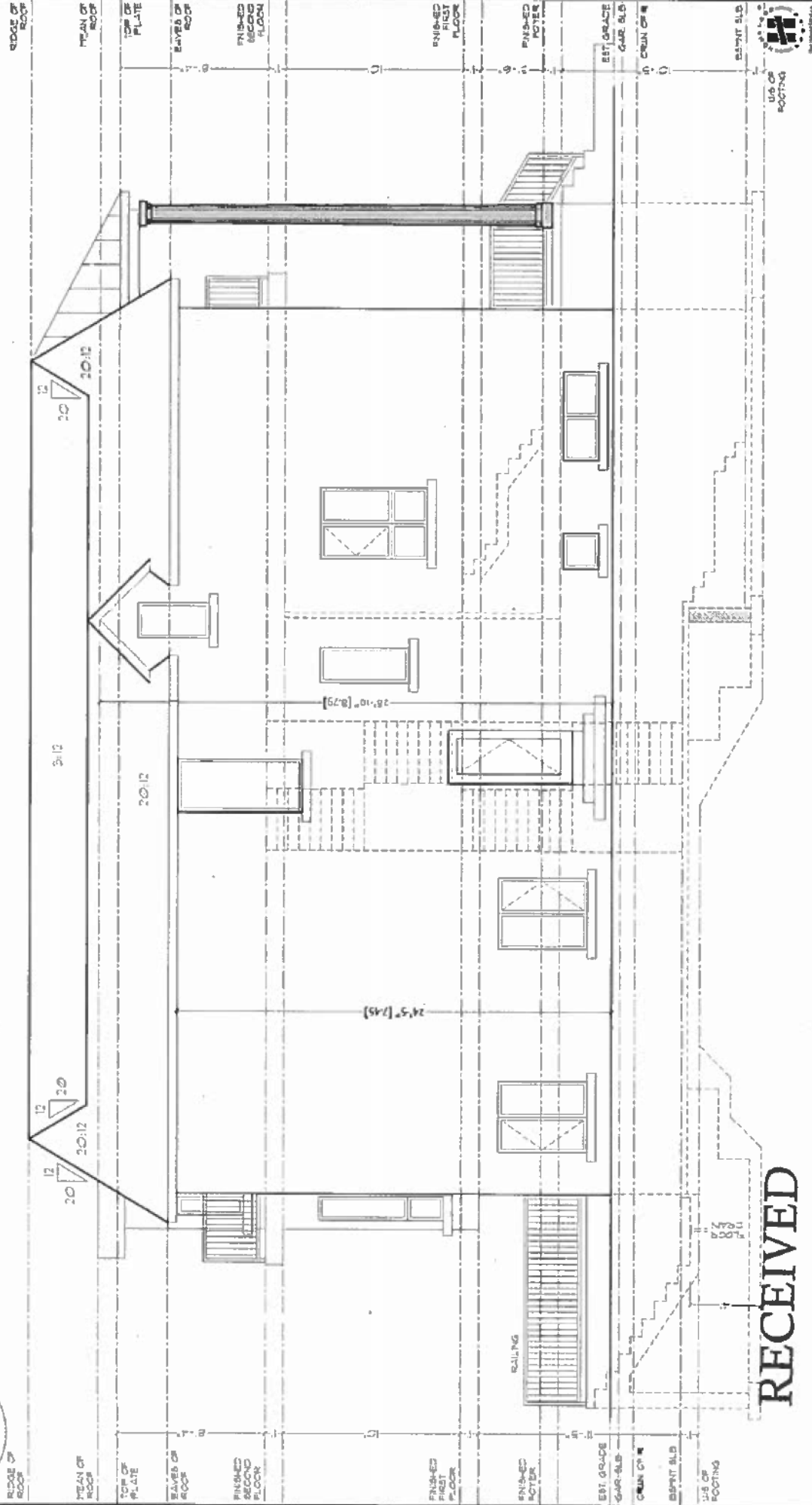
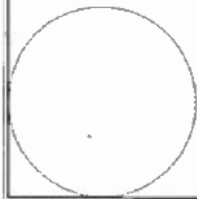
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) Submission of a complete application for permit to injure or remove privately owned trees.
- 2) The proposal be developed in accordance with the East Elevation (Right Elevation) and West Elevation (Left Elevation) drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, March 14, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



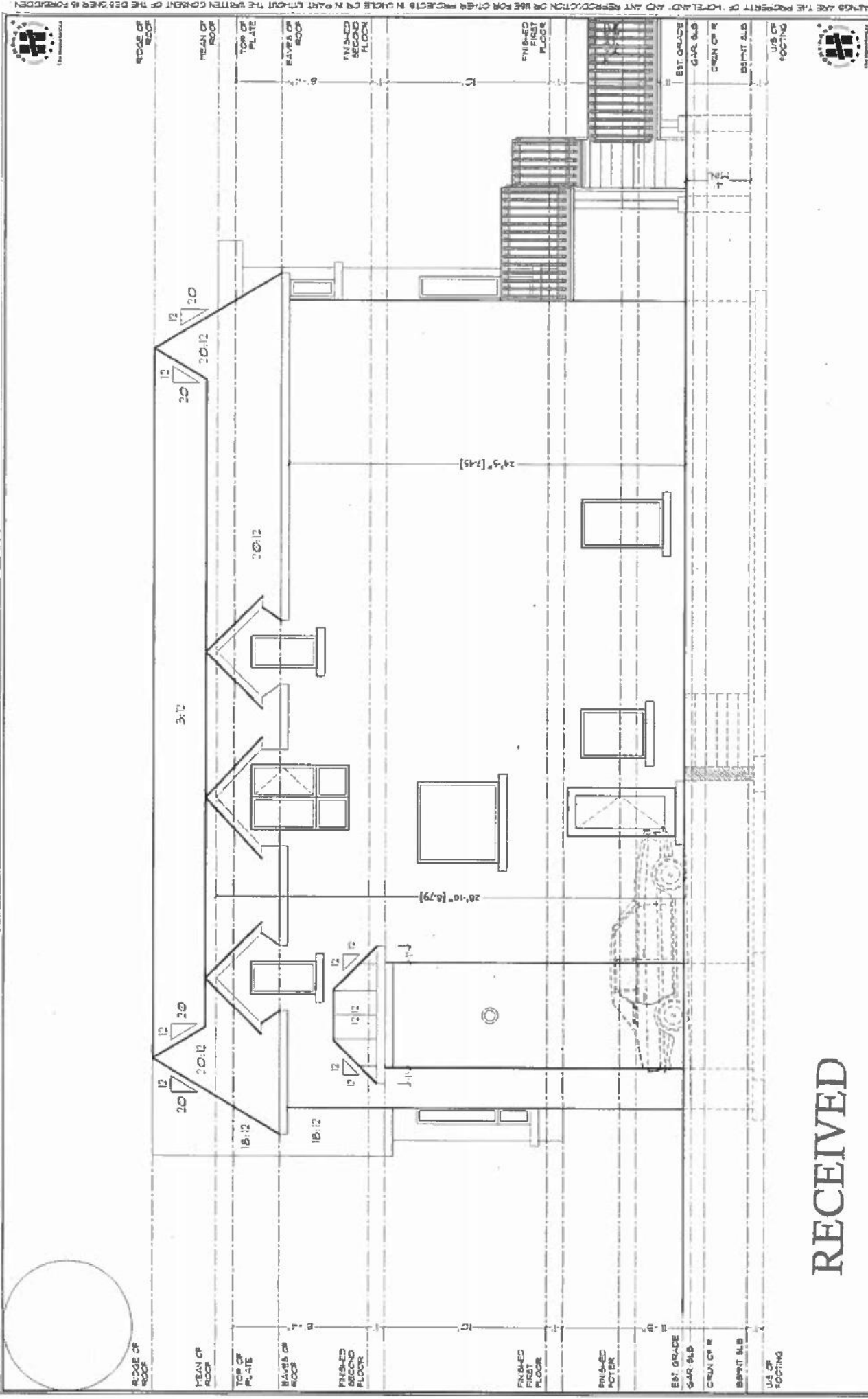
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JAVAD AND PARTNERS ARCHITECTS INC. 16-319-6020 HONOLAND 106 DEC 1 2017 07

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

RECEIVED

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE



SIGNATURE PAGE

File Number:	A0003/17NY	Zoning	RD & R4 (ZR)
Owner:	JAVAD SHIRVANI GHOMI ATEFEH YADOLLAHI	Ward:	Willowdale (24)
Agent:	HAMID BEHESHT	Heritage:	Not Applicable
Property Address:	52 DRYSDALE CRES	Community:	North York
Legal Description:	PLAN M947 LOT 104		

Bruce Mullock (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, March 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0005/17NY	Zoning	R5/RD (x5)(ZR)
Owner(s):	ADOLFO LUCAS	Ward:	York Centre (09)
Agent:	QBS ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	18 PLEASANT HOME BLVD	Community:	North York
Legal Description:	PLAN 3868 LOT 12		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and maintain a secondary suite within an existing dwelling. Also proposed are interior renovations.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 150.10.40.1.(1), By-law No. 569-2013

A secondary suite is a permitted use provided that the entire building was constructed more than 5 years prior to the introduction of a secondary suite.

The entire building was not constructed more than 5 years prior to the proposed introduction of the secondary suite.

2. Chapter 150.10.40.1.(4), By-law No. 569-2013

A secondary suite is a permitted use provided that if a building in the Residential Zone category is not subject to a maximum floor space index, a secondary suite may not be divided vertically from the dwelling unit, unless the entire secondary suite occupies only part of one original storey or only part of the original basement.

The proposed secondary occupies a part of the main floor and part of the basement; and is divided vertically from the dwelling unit.

3. Section 6(2)(i), Zoning By-law No. 7625

One Second Suite shall be permitted in any one family detached dwelling or single family dwelling the whole of which, prior to the introduction of the second suite is more than five (5) years old. The proposed second suite is not permitted as the whole dwelling is not more than five (5) years old.

4. Section 6(2)(i)(iii), Zoning By-law No. 7625

A Second Suite must only be separated to the other dwelling unit horizontally. The proposed suite is separated vertically.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0005/17NY	Zoning	R5/RD (x5)(ZR)
Owner:	ADOLFO LUCAS	Ward:	York Centre (09)
Agent:	QBS ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	18 PLEASANT HOME BLVD	Community:	North York
Legal Description:	PLAN 3868 LOT 12		

Bruce Mullock (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, March 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0006/17NY	Zoning	CR 1.0 (c1.0; r1.0) SS2 (x12)/C1 [ZZC]
Owner(s):	MURRAY DRENTH HOLDINGS INC	Ward:	Eglinton-Lawrence (16)
Agent:	WESTON CONSULTING	Heritage:	Not Applicable
Property Address:	378 FAIRLAWN AVE	Community:	North York
Legal Description:	PLAN 2247 PT LOT 99		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a third storey addition over the existing two-storey mixed use building. The applicant is also proposing a front second storey addition, a second storey and third storey addition to the west portion in conjunction with other interior and exterior alterations.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 40.10.40.10(2), By-law No. 569-2013

The maximum height of a building or structure on a lot subject to Development Standard Set 2 (SS2) is 10.50m. The proposed height of the building is 12.00m.

2. Chapter 40.10.40.60.(2)(A), By-law No. 569-2013

A platform or similar structure, attached to or less than 0.30m from a building with a floor level no higher than the floor level of the first floor of the building and if it is no closer to a lot line than 0.30m and is not located between the building and a lot line that abuts a street, may encroach into the required building setback 2.50m. The proposed platform encroaches 3.50m into the required side setback.

3. Chapter 40.10.40.60.(C)(i), By-law No. 569-2013

A platform or similar structure, attached to or less than 0.30m from a building subject to Development Standard Set 2 (SS2), and attached to the front main wall with a floor level higher than the floor level of the first floor of the building must be located above the three storeys closest to established grade. The proposed platform is located at the third storey above grade.

4. Chapter 40.10.40.60.(C)(ii), By-law No. 569-2013

A platform or similar structure, attached to or less than 0.30m from a building subject to Development Standard Set 2 (SS2), and attached to the front main wall with a floor level higher than the floor level of the first floor of the building must be located entirely behind the front main wall of the three storeys closest to established grade.

The proposed platform is not entirely located behind the main front wall.

5. Chapter 40.10.40.60.(C)(iii), By-law No. 569-2013

A platform or similar structure, attached to or less than 0.30m from a building subject to Development Standard Set 2 (SS2), and attached to the front main wall with a floor level higher than the floor level of the first floor of the building must not project more than 1.50m from the main wall to which it is attached.

The proposed platform projects 2.59m from the main wall to which it is attached.

6. Chapter 40.10.40.70.(2)(c), By-law No. 569-2013

Where the main wall of a building has windows or openings, the main wall must be set back at least 5.50m from a lot line that is not adjacent to a street or lane.

The proposed main wall is setback 0.88m from the east lot line and 0.24m from the west lot line.

7. Section 23.2.2, By-law No. 7625

The minimum required side yard setback is 4.50m.

The proposed east side yard setback is 0.88m and west side setback is 0.24m.

8. Section 23.2.4.3, By-law No. 7625

The maximum permitted building height is 9.20m.

The proposed building height is 12.00m.

9. Section 6(9)(k), By-law No. 7625

The maximum permitted projection of a balcony is 1.60m from the wall.

The front balcony projects 2.59m.

10. Section 6(9)(c), By-law No. 7625

Exterior stairways, wheelchair ramps, and porches and decks shall be permitted to project into a minimum side yard setback not more than 1.60m.

The proposed deck projects 3.50m into the side yard setback.

11. Chapter 40.10.50.10.(3). By-law No. 569-2013

If a lot abuts a lot in the Residential Zone category or Residential Apartment Zone category, a minimum 1.50m wide strip of land used only for soft landscaping must be provided along the part of the lot line abutting the lot in the Residential Zone category or Residential Apartment Zone category.

The proposal does not include a soft landscaping strip.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The applicant is to provide permanent opaque screening or fencing along the western edge of each of the proposed platforms with a minimum height of 1.5 metres from the floor of the platforms.
- 2) The two commercial boulevard parking spaces located in the front yard be removed when the current permit expires.
- 3) A landscape plan illustrating the replacement of the commercial boulevard parking with useable residential amenity area and soft landscaping in the front yard be submitted by December 31, 2017, that is to the satisfaction of the Director of Community Planning, North York District.

SIGNATURE PAGE

File Number:	A0006/17NY	Zoning	CR 1.0 (c1.0; r1.0) SS2 (x12)/C1 [ZZC]
Owner:	MURRAY DRENTH HOLDINGS INC	Ward:	Eglinton-Lawrence (16)
Agent:	WESTON CONSULTING	Heritage:	Not Applicable
Property Address:	378 FAIRLAWN AVE	Community:	North York
Legal Description:	PLAN 2247 PT LOT 99		

Bruce Mullock (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, March 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0007/17NY	Zoning	RM6(192) [WAV]
Owner(s):	2365746 ONTARIO LTD.	Ward:	Eglinton-Lawrence (15)
Agent:	KLM PLANNING PARTNERS INC	Heritage:	Not Applicable
Property Address:	16 MCADAM AVE	Community:	North York
Legal Description:	PLAN 3155 PT LOTS 57 TO 59 RP 66R27025 PARTS 1 AND 3		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and maintain "Building A", as constructed.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 64.20(192), Section (p), By-law No. 1129-2011

The height above established grade of any portion of the building or structure within the envelope identified on Schedule "RM(192)" as "Building A" shall not exceed the horizontal distance between the building and the west property line.

The stairwell parapet and mechanical penthouse of "Building A" exceeds the 45 degree angular plane by 3.24m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0007/17NY	Zoning	RM6(192) [WAV]
Owner:	2365746 ONTARIO LTD.	Ward:	Eglinton-Lawrence (15)
Agent:	KLM PLANNING PARTNERS INC	Heritage:	Not Applicable
Property Address:	16 MCADAM AVE	Community:	North York
Legal Description:	PLAN 3155 PT LOTS 57 TO 59 RP 66R27025 PARTS 1 AND 3		

Bruce Mullock (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, March 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0010/17NY	Zoning	R/R2 (ZR)
Owner(s):	STEPHEN ANDERSONS CLARE ANDERSONS	Ward:	Eglinton-Lawrence (16)
Agent:	QUMMUNICATE INC	Heritage:	Not Applicable
Property Address:	117 DOUGLAS AVE	Community:	North York
Legal Description:	PLAN 1645 PT LOTS 708 & 709		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a third storey addition above a portion of the existing dwelling and a rear addition above the existing rear one-storey.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.40.40 (1) By-Law No. 569-2013**
The permitted maximum floor space index is 0.6 times the area of the lot.
The altered dwelling will have a floor space index of **0.94** times the area of the lot.
- Chapter 10.10.40.40.(2)(B), By-law No. 569-2013**
The maximum permitted height of the side exterior main walls is 7.50m for no less than 100% of the total width of the walls.
The proposed front and rear main walls are 9.74m in height
- Section 6(3) Part I, By-Law 438-86**
The permitted maximum floor space index is 0.6 times the area of the lot.
The altered dwelling will have a floor space index of **0.94** times the area of the lot.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. Chapter 10.10.40.40.(2)(B), By-law No. 569-2013

The maximum permitted height of the side exterior main walls is 7.50m for no less than 100% of the total width of the walls.

The proposed front and rear main walls are 9.74m in height

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

1. Chapter 10.10.40.40 (1) By-Law No. 569-2013

The permitted maximum floor space index is 0.6 times the area of the lot.

The altered dwelling will have a floor space index of **0.84** times the area of the lot.

3. Section 6(3) Part I, By-Law 438-86

The permitted maximum floor space index is 0.6 times the area of the lot.

The altered dwelling will have a floor space index of **0.84** times the area of the lot.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0010/17NY	Zoning	R/R2 (ZR)
Owner:	STEPHEN ANDERSONS CLARE ANDERSONS	Ward:	Eglinton-Lawrence (16)
Agent:	QUMMUNICATE INC	Heritage:	Not Applicable
Property Address:	117 DOUGLAS AVE	Community:	North York
Legal Description:	PLAN 1645 PT LOTS 708 & 709		

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

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Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, March 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0011/17NY	Zoning	R/R2 [ZZC]
Owner(s):	JAMIE LEWIS HEIDI SCHWARTZ LEWIS	Ward:	Eglinton-Lawrence (16)
Agent:	QUMMUNICATE INC	Heritage:	Not Applicable
Property Address:	119 DOUGLAS AVE	Community:	Toronto
Legal Description:	PLAN 1645 PT LOT 708		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a three-storey addition to the rear of the dwelling, in conjunction with a third storey addition over the existing two-storey semi-detached dwelling. The existing one-storey rear addition would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.60 times the lot area.
The proposed floor space index is 1.02 times the lot area.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all exterior main walls is 7.50m.
The proposed height of the front and rear exterior main walls is 9.50m.
- 3. Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted gross floor area is 0.60 times the lot area.
The proposed gross floor area is 0.95 times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all exterior main walls is 7.50m.

The proposed height of the front and rear exterior main walls is 9.50m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

1. Chapter 10.20.40.40.(1), By-law No. 569-2013

The maximum permitted floor space index is 0.60 times the lot area.

The proposed floor space index is **0.84** times the lot area.

3. Section 6(3) Part I 1, By-law No. 438-86

The maximum permitted gross floor area is 0.60 times the lot area.

The proposed gross floor area is **0.84** times the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0011/17NY	Zoning	R/R2 [ZZC]
Owner:	JAMIE LEWIS HEIDI SCHWARTZ LEWIS	Ward:	Eglinton-Lawrence (16)
Agent:	QUMMUNICATE INC	Heritage:	Not Applicable
Property Address:	119 DOUGLAS AVE	Community:	Toronto
Legal Description:	PLAN 1645 PT LOT 708		

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

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Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, March 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0012/17NY	Zoning	RD/R1B (ZR)
Owner(s):	CONNIE UETRECHT JACK UETRECHT	Ward:	Don Valley West (26)
Agent:	DAVID LANG	Heritage:	Not Applicable
Property Address:	20 MALLORY CRES	Community:	North York
Legal Description:	PLAN M570 PT LOT 47		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To renovate first floor and attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 200.5.1.10 (2), By-law No. 569-2013

The minimum a parking space must have is a minimum width of 3.2m and length of 5.6m.
The parking garage has an existing width of 2.82m and a proposed length of 4.23m.

2. Section 5.40, By-law 6752

The minimum a parking space must have is a minimum width of 3.3m and length of 5.6m.
The parking garage has an existing width of 2.82m and a proposed length of 4.23m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0012/17NY	Zoning	RD/R1B (ZR)
Owner:	CONNIE UETRECHT JACK UETRECHT	Ward:	Don Valley West (26)
Agent:	DAVID LANG	Heritage:	Not Applicable
Property Address:	20 MALLORY CRES	Community:	North York
Legal Description:	PLAN M570 PT LOT 47		

Bruce Mullock (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

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North York Panel

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Wednesday, March 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0014/17NY	Zoning	RD/R6 [ZZC]
Owner(s):	DANIELLE ROSE	Ward:	Eglinton-Lawrence (15)
Agent:	SARAH IFRAH ARCHITECT INC	Heritage:	Not Applicable
Property Address:	80 BRUCEWOOD CRES	Community:	North York
Legal Description:	PLAN 3826 LOT 237		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.10.(5), By-law No. 569-2013

A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.
The proposed first floor area is not within 4.00m of the main front wall and is less than 10.00m².

2. Chapter 10.20.40.10.(1), By-law No. 569-2013

The maximum permitted building height is 10.00m.
The proposed building height is **10.19m**.

3. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.
The proposed building length is **18.23m**.

4. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013

The minimum required front yard setback is 7.87m.
The proposed front yard setback is 6.60m.

5. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is **37.68%** of the lot area.

6. Chapter 10.20.40.50.(1), By-law No. 569-2013

The maximum permitted area of each platform at or above the second storey is 4.00m².
The proposed platform at or above the second storey is 5.20m².

7. Section 14-A(10), By-law No. 7625

The maximum permitted balcony area is 3.80m².

The proposed balcony area is 5.20m².

8. Section 6(24), By-law No. 7625

The maximum permitted rear deck projection is 2.10m from the wall.

The proposed rear deck projects 4.80m from the rear wall.

9. Section 14-A(8), By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is **9.31m**.

10. Section 14-A(9), By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length is **18.23m**.

11. Section 14-A(6), By-law No. 7625

The maximum permitted lot coverage is 35.00% of the lot area.

The proposed lot coverage is **37.68%** of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0014/17NY	Zoning	RD/R6 [ZZC]
Owner:	DANIELLE ROSE	Ward:	Eglinton-Lawrence (15)
Agent:	SARAH IFRAH ARCHITECT INC	Heritage:	Not Applicable
Property Address:	80 BRUCEWOOD CRES	Community:	North York
Legal Description:	PLAN 3826 LOT 237		

Bruce Mullock (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

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Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, March 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0016/17NY	Zoning	R3/RD(BLD)
Owner(s):	DAWEN TANG	Ward:	Don Valley West (25)
Agent:	MEHRAN HEYDARI	Heritage:	Not Applicable
Property Address:	99 BAYVIEW RIDGE	Community:	North York
Legal Description:	PLAN 3681 LOT 6		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey residential dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.20(1), By-law No. 569-2013**
In the RD zone with a minimum required lot frontage of 18.0 m or less, the permitted maximum building length for a detached house is 17.0 m.
The proposed building length is 21.8 m.
- Chapter 10.20.40.30.(1)], By-law No. 569-2013**
The permitted maximum building depth for a detached house is 19.0 m.
The proposed building depth is 27.33 m.
- Section 12.5A, Zoning By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 27.33m.
- Section 12.7, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 8.92m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0016/17NY	Zoning	R3/RD(BLD)
Owner:	DAWEN TANG	Ward:	Don Valley West (25)
Agent:	MEHRAN HEYDARI	Heritage:	Not Applicable
Property Address:	99 BAYVIEW RIDGE	Community:	North York
Legal Description:	PLAN 3681 LOT 6		

Bruce Mullock (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, March 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0017/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	AMIR KOUCHAKIMOGHADAM	Ward:	Willowdale (23)
Agent:	IDA EVANGELISTA	Heritage:	Not Applicable
Property Address:	321 BYNG AVE	Community:	North York
Legal Description:	PLAN 3691 W PT LOT 129		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is **17.98m**.

2. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013

The minimum required front yard setback is 10.55m.

The proposed front yard setback is **10.50m**.

3. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.52m.

4. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.52m.

5. Chapter 10.5.50.10.(2), By-law No. 569-2013

A corner lot must have a minimum of 75.00% of the side yard, soft landscaping.

The proposed side yard soft landscaping area is **60.00%**.

6. Section 13.2.1, By-law No. 7625

The minimum required lot frontage is 15.00m.

The existing lot frontage is 14.33m.

7. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.73m.

The proposed east side yard setback is 1.52m.

8. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length is **17.98m**.

9. Section 6(8), By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed; 15.00m.

The existing lot width is 14.33m.

10. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is **9.38m**.

11. Section 6(30), By-law No. 7625

The maximum permitted finished first floor height is 1.50m.

The proposed finished first floor height is **1.86m**.

12. Section 13.2.3(b), By-law No. 7625

The minimum required west side yard setback is 3.00m.

The proposed west side yard setback is 1.52m.

13. Section 6(9)(c), By-law No. 7625

Porches 2.30m² or less in area, shall be permitted to project into one minimum side yard setback only, no more than 1.60m, and no closer than 0.60m from any side lot line.

The proposed side porch is 4.34m² in area.

14. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.

The proposed height of the side exterior main wall walls is **7.89m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposed driveway be constructed of permeable pavers.

SIGNATURE PAGE

File Number:	A0017/17NY	Zoning	RD/R4 [ZZC]
Owner:	AMIR KOUCHAKIMOGHADAM	Ward:	Willowdale (23)
Agent:	IDA EVANGELISTA	Heritage:	Not Applicable
Property Address:	321 BYNG AVE	Community:	North York
Legal Description:	PLAN 3691 W PT LOT 129		

Bruce Mullock (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, March 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0018/17NY	Zoning	R6/RD(f12.0;a370)(x1463)(waiver)
Owner(s):	KEIKO KOGA TSE DEREK KUEN KIN TSE	Ward:	Eglinton-Lawrence (15)
Agent:	PROBUILT	Heritage:	Not Applicable
Property Address:	95 LYNNHAVEN RD	Community:	North York
Legal Description:	PLAN 3864 L 514		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached one-storey residential building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.70(1)(B), Zoning By-law No. 569-2013**
The minimum required front yard setback is 7.03 m.
The proposed front yard setback is **5.82m**.
- Section 14-A(9), Zoning By-law No. 7625**
The maximum permitted building length is 15.3 m.
The proposed building length is **17.00m**.
- Section 6A(2)a , Zoning By-law No. 7625**
The minimum required number of parking spaces is 2.
The proposed number of parking spaces is **1space**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. **Section 14-A(9), Zoning By-law No. 7625**
The maximum permitted building length is 15.3 m.
The proposed building length is **17.00m**.

3. **Section 6A(2)a , Zoning By-law No. 7625**
The minimum required number of parking spaces is 2.
The proposed number of parking spaces is **1 space**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

1. **Chapter 10.5.40.70(1)(B), Zoning By-law No. 569-2013**
The minimum required front yard setback is 7.03 m.
The proposed front yard setback is **5.82m**.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0018/17NY	Zoning	R6/RD(f12.0;a370)(x1463)(waiver)
Owner:	KEIKO KOGA TSE DEREK KUEN KIN TSE	Ward:	Eglinton-Lawrence (15)
Agent:	PROBUILT	Heritage:	Not Applicable
Property Address:	95 LYNNHAVEN RD	Community:	North York
Legal Description:	PLAN 3864 L 514		

Bruce Mullock (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Wednesday, March 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0020/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	ARSALAN SADAT-DARBANDI	Ward:	Willowdale (23)
Agent:	AGA ENGINEERING INC	Heritage:	Not Applicable
Property Address:	393 PARKVIEW AVE	Community:	North York
Legal Description:	PLAN 1790 PT LOT 689 LOT 690 RP 64R7378 PART 3		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 32.00% of the lot area.

2. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.

The proposed height of the side exterior main walls facing a side lot line is 8.56m.

3. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed south side yard setback is 1.50m.

4. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed north side yard setback is 1.50m.

5. Section 13.2.2, By-law No. 7625

The minimum required lot area is 550.00m².

The existing lot area is 487.58m².

6. Section 13.2.1, By-law No. 7625

The minimum required lot frontage is 15.00m.

The existing lot frontage is 13.11m.

7. Section 6(8), By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

8. Section 13.2.4, By-law No. 7625

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 32.00% of the lot area.

9. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.61m.

The proposed south side yard setback is 1.50m.

10. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.61m.

The proposed north side yard setback is 1.50m.

11. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 9.02m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

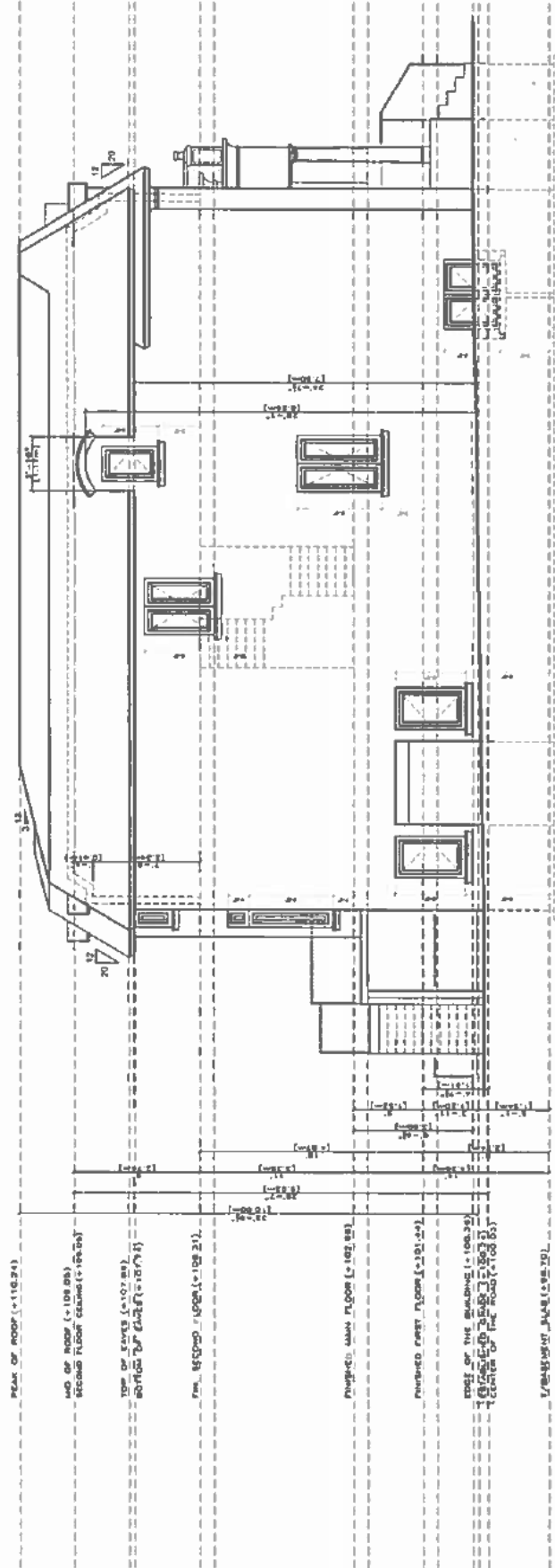
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the side elevation drawings (A8 and A9) submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, March 13, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



RECEIVED

MAP 13 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

SIGNATURE PAGE

File Number:	A0020/17NY	Zoning	RD/R4 [ZZC]
Owner:	ARSALAN SADAT-DARBANDI	Ward:	Willowdale (23)
Agent:	AGA ENGINEERING INC	Heritage:	Not Applicable
Property Address:	393 PARKVIEW AVE	Community:	North York
Legal Description:	PLAN 1790 PT LOT 689 LOT 690 RP 64R7378 PART 3		

Isaac Lallouz (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, March 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0021/17NY	Zoning	R6/RD(f12;a370)(waiver)
Owner(s):	MEHRDAD MESHKATI	Ward:	Willowdale (23)
Agent:	F&A ASSOCIATES	Heritage:	Not Applicable
Property Address:	130 POYNTZ AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 818 PT LOTS 817 & 819		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey residential dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40, By-law 569-2013**
The maximum permitted coverage is 30%.
The proposed coverage is 32%.
- 2. Chapter 10.20.40.10, By-law 569-2013**
The maximum permitted wall height is 7.5.
The proposed wall height of 7.8m for the pair of side walls.
- 3. Section 14-A(6), By-law 7625**
The maximum permitted coverage is 30%
The proposed coverage is 32%.
- 4. Section 14-A(8), By-law 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.1m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

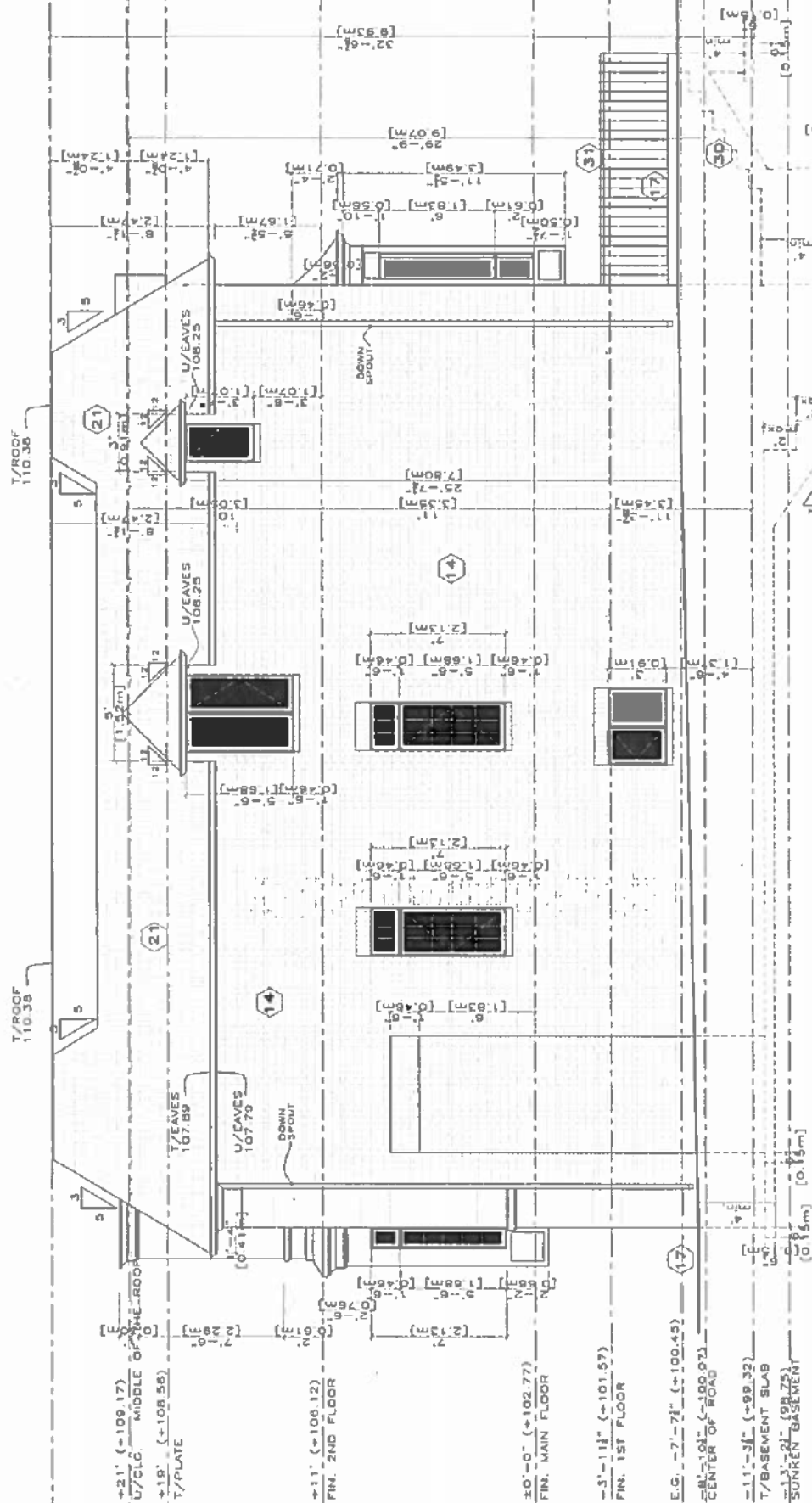
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the east and west elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, March 13, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

GLAZED AREAS:

1. AREA OF EXPOSED BUILDING FACE: 1265.2 SQ. FT. (768.50)
2. PROPOSED GLAZED AREA: 53.4 SQ. FT. (768.50)



SIDE ELEVATION (EAST)



RECEIVED

MAR 13 2017

Toronto City Planning
North York District

ARCICA INC.
1415 BIRCHMOUNT RD. #100
TORONTO, ONTARIO, CANADA M6P 1G4

A8

3/16"=1'

SIDE ELEVATION

130 POYNITZ AVENUE

THIS UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, & HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE O.R.C. TO BE A DESIGNER.
ALL SHARED
RCIN#24574
F.A. Associates Ltd.
BCIN#30995
JULY 2017 - ISSUED FOR CDA
1. ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE O.R.C.
2. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
3. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
4. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
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9. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
10. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.

SIGNATURE PAGE

File Number:	A0021/17NY	Zoning	R6/RD(f12;a370)(waiver)
Owner:	MEHRDAD MESHKATI	Ward:	Willowdale (23)
Agent:	F&A ASSOCIATES	Heritage:	Not Applicable
Property Address:	130 POYNTZ AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 818 PT LOTS 817 & 819		

Bruce Mullock (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, March 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0022/17NY	Zoning	RD/R3 [WAV]
Owner(s):	HAMID GHAZANFARY	Ward:	Eglinton-Lawrence (16)
Agent:	HAMID GHAZANFARY	Heritage:	Not Applicable
Property Address:	170 ROE AVE	Community:	North York
Legal Description:	PLAN 1892 W PT LOT 68		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 35.00% of the lot area.

The proposed lot coverage is 38.23% of the lot area.

2. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.20m.

3. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 0.60m.

4. Chapter 10.5.40.10.(5), By-law No. 569-2013

A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.

The proposed first floor area is 2.80m² within 4.00m of the main front wall.

5. Chapter 10.20.40.10.(1), By-law No. 569-2013

The maximum permitted building height is 7.20m for a flat or shallow roof.

The proposed building height is 8.59m.

6. Chapter 10.5.40.60.(1), By-law No. 569-2013

The minimum required side yard setback for a front porch is not to be less than the required side yard setback; 1.80m.

The proposed front porch is 0.60m from the west lot line.

7. Section 14-B(4) & 6(8), By-law No. 7625

The minimum required lot frontage and width is 18.00m.

The existing lot frontage and width is 7.62m.

8. Section 14-B(3), By-law No. 7625

The minimum required lot area is 690.00m².

The existing lot area is 242.39m².

9. Section 14-B(6), By-law No. 7625

The maximum permitted lot coverage is 35.00% of the lot area.

The proposed lot coverage is 38.23% of the lot area.

10. Section 14-B(8), By-law No. 7625

The maximum permitted building height is 8.00m for flat roof.

The proposed building height is 8.77m.

11. Section 14.4 & 14.4(a), By-law No. 7625

The minimum required side yard setback is 1.50m.

The proposed west side yard setback is 0.60m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number: A0022/17NY
Owner: HAMID GHAZANFARY
Agent: HAMID GHAZANFARY
Property Address: **170 ROE AVE**
Legal Description: PLAN 1892 W PT LOT 68

Zoning: RD/R3 [WAV]
Ward: Eglinton-Lawrence (16)
Heritage: Not Applicable
Community: North York

Bruce Mullock (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, March 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0023/17NY	Zoning	RD/R4 [WAV]
Owner(s):	ROBERT RENSCH MYRNA RENSCH	Ward:	Willowdale (23)
Agent:	F&A ASSOCIATES	Heritage:	Not Applicable
Property Address:	261 POYNTZ AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 722 PT LOT 721		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is **31.00%** of the lot area.

2. Chapter 10.20.40.70.(3)& Exception RD5, By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is **1.50m**.

3. Chapter 10.20.40.70.(3)& Exception RD5, By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is **1.37m**.

4. Chapter 10.5.40.60.(1), By-law No. 569-2013

The minimum required side yard setback for a front porch is not to be less than the required side yard setback; 1.80m.

The proposed front porch is 1.37m from the west lot line.

5. Chapter 10.20.40.10, By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.

The proposed height of the side exterior main walls facing a side lot line is 7.80m.

6. Section 13.2.1 & 6(8), By-law No. 7625

The minimum required lot frontage and width is 15.00m.

The existing lot frontage and width is 11.43m.

7. Section 13.2.2, By-law No. 7625

The minimum required lot area is 550.00m².

The existing lot area is 383.00m².

8. Section 13.2.4, By-law No. 7625

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is **31.00%** of the lot area.

9. Section 13.2.3 & 13.2.3(a), By-law No. 7625

The minimum required side yard setback is 1.50m.

The proposed east side yard setback is **1.37m**.

10. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 8.95m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

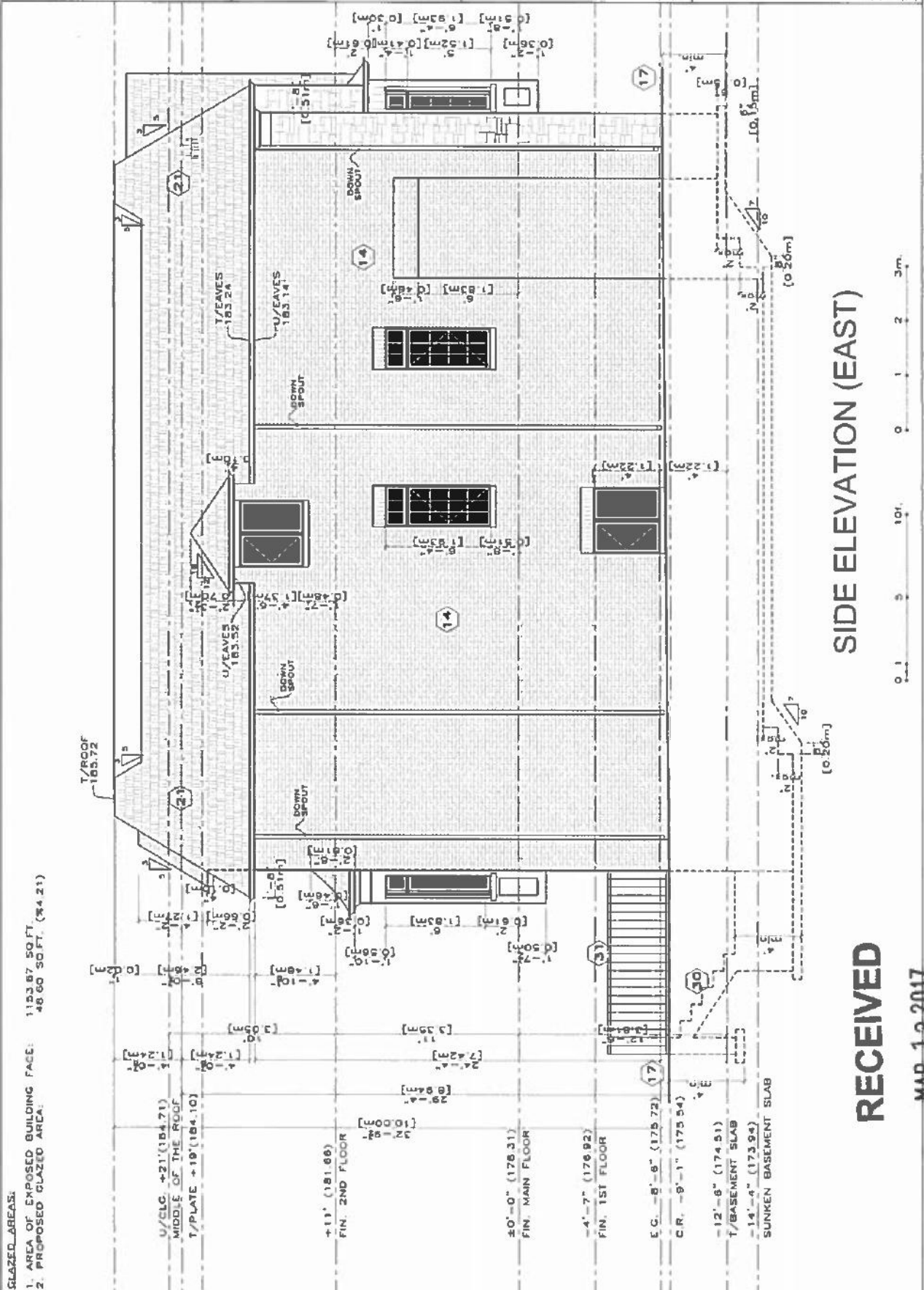
This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the side elevation (east) and side elevation (west) drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, March 13, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

GLAZED AREAS:

1. AREA OF EXPOSED BUILDING FACE: 1153.87 SQ. FT.
2. PROPOSED GLAZED AREA: 48.60 SQ. FT. (4.21)

ARCICA INC. 1116 BROADVIEW AVE. #100 TORONTO, ONTARIO, CANADA		3/16"=1' SIDE ELEVATION 261 POYNITZ AVENUE	A8 ALL SHAKERI BORN 24/5/74 BORN 24/5/74 BORN 24/5/74
DESIGNED BY:		PROJECT:	DRAWING:
261 POYNITZ AVENUE SIDE ELEVATION 3/16"=1'		A8 ALL SHAKERI BORN 24/5/74 BORN 24/5/74 BORN 24/5/74	DEC 28 2016 - ISSUED FOR COA



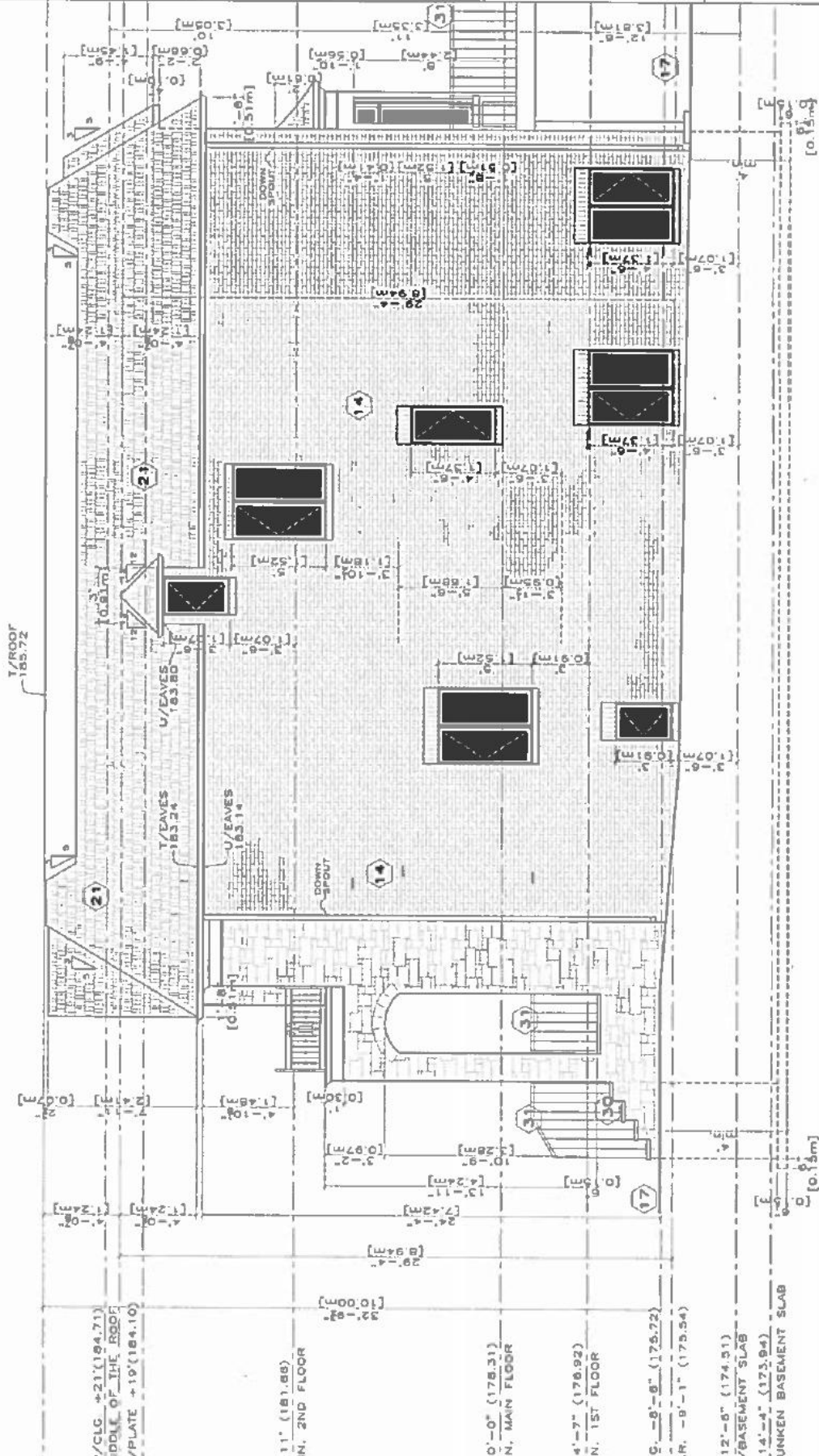
RECEIVED

MAR 13 2017

Toronto City Planning
North York District

GLAZED AREAS:

1. AREA OF EXPOSED BUILDING FACE: 1170.80 SQ.FT. (%8.99)
2. PROPOSED GLAZED AREA: 81.90 SQ.FT. (%8.99)



SIDE ELEVATION (WEST)

RECEIVED

MAR 13 2017

Toronto City Planning
North York District

designed by:

ALI SHAKERI

7-16 816851 F-16 2508800

ARCICA INC.

328 S. GERRARD AVENUE EAST W2N 3M2
TORONTO, ONTARIO, CANADA

Project:

261 POYNITZ AVENUE

Scale:

3/16"=1'

Sheet:

A9

THIS UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THE REQUIREMENTS SET OUT IN THE O.B.C. TO BE A DISPOSABLE CONSTRUCTION. ALL SHAKERSI ASSOCIATES LTD. 2016-2017-2018-2019-2020-2021-2022-2023-2024-2025-2026-2027-2028-2029-2030-2031-2032-2033-2034-2035-2036-2037-2038-2039-2040-2041-2042-2043-2044-2045-2046-2047-2048-2049-2050-2051-2052-2053-2054-2055-2056-2057-2058-2059-2060-2061-2062-2063-2064-2065-2066-2067-2068-2069-2070-2071-2072-2073-2074-2075-2076-2077-2078-2079-2080-2081-2082-2083-2084-2085-2086-2087-2088-2089-2090-2091-2092-2093-2094-2095-2096-2097-2098-2099-2100-2101-2102-2103-2104-2105-2106-2107-2108-2109-2110-2111-2112-2113-2114-2115-2116-2117-2118-2119-2120-2121-2122-2123-2124-2125-2126-2127-2128-2129-2130-2131-2132-2133-2134-2135-2136-2137-2138-2139-2140-2141-2142-2143-2144-2145-2146-2147-2148-2149-2150-2151-2152-2153-2154-2155-2156-2157-2158-2159-2160-2161-2162-2163-2164-2165-2166-2167-2168-2169-2170-2171-2172-2173-2174-2175-2176-2177-2178-2179-2180-2181-2182-2183-2184-2185-2186-2187-2188-2189-2190-2191-2192-2193-2194-2195-2196-2197-2198-2199-2200-2201-2202-2203-2204-2205-2206-2207-2208-2209-2210-2211-2212-2213-2214-2215-2216-2217-2218-2219-2220-2221-2222-2223-2224-2225-2226-2227-2228-2229-2230-2231-2232-2233-2234-2235-2236-2237-2238-2239-2240-2241-2242-2243-2244-2245-2246-2247-2248-2249-2250-2251-2252-2253-2254-2255-2256-2257-2258-2259-2260-2261-2262-2263-2264-2265-2266-2267-2268-2269-2270-2271-2272-2273-2274-2275-2276-2277-2278-2279-2280-2281-2282-2283-2284-2285-2286-2287-2288-2289-2290-2291-2292-2293-2294-2295-2296-2297-2298-2299-2300-2301-2302-2303-2304-2305-2306-2307-2308-2309-2310-2311-2312-2313-2314-2315-2316-2317-2318-2319-2320-2321-2322-2323-2324-2325-2326-2327-2328-2329-2330-2331-2332-2333-2334-2335-2336-2337-2338-2339-2340-2341-2342-2343-2344-2345-2346-2347-2348-2349-2350-2351-2352-2353-2354-2355-2356-2357-2358-2359-2360-2361-2362-2363-2364-2365-2366-2367-2368-2369-2370-2371-2372-2373-2374-2375-2376-2377-2378-2379-2380-2381-2382-2383-2384-2385-2386-2387-2388-2389-2390-2391-2392-2393-2394-2395-2396-2397-2398-2399-2400-2401-2402-2403-2404-2405-2406-2407-2408-2409-2410-2411-2412-2413-2414-2415-2416-2417-2418-2419-2420-2421-2422-2423-2424-2425-2426-2427-2428-2429-2430-2431-2432-2433-2434-2435-2436-2437-2438-2439-2440-2441-2442-2443-2444-2445-2446-2447-2448-2449-2450-2451-2452-2453-2454-2455-2456-2457-2458-2459-2460-2461-2462-2463-2464-2465-2466-2467-2468-2469-2470-2471-2472-2473-2474-2475-2476-2477-2478-2479-2480-2481-2482-2483-2484-2485-2486-2487-2488-2489-2490-2491-2492-2493-2494-2495-2496-2497-2498-2499-2500-2501-2502-2503-2504-2505-2506-2507-2508-2509-2510-2511-2512-2513-2514-2515-2516-2517-2518-2519-2520-2521-2522-2523-2524-2525-2526-2527-2528-2529-2530-2531-2532-2533-2534-2535-2536-2537-2538-2539-2540-2541-2542-2543-2544-2545-2546-2547-2548-2549-2550-2551-2552-2553-2554-2555-2556-2557-2558-2559-2560-2561-2562-2563-2564-2565-2566-2567-2568-2569-2570-2571-2572-2573-2574-2575-2576-2577-2578-2579-2580-2581-2582-2583-2584-2585-2586-2587-2588-2589-2590-2591-2592-2593-2594-2595-2596-2597-2598-2599-2600-2601-2602-2603-2604-2605-2606-2607-2608-2609-2610-2611-2612-2613-2614-2615-2616-2617-2618-2619-2620-2621-2622-2623-2624-2625-2626-2627-2628-2629-2630-2631-2632-2633-2634-2635-2636-2637-2638-2639-2640-2641-2642-2643-2644-2645-2646-2647-2648-2649-2650-2651-2652-2653-2654-2655-2656-2657-2658-2659-2660-2661-2662-2663-2664-2665-2666-2667-2668-2669-2670-2671-2672-2673-2674-2675-2676-2677-2678-2679-2680-2681-2682-2683-2684-2685-2686-2687-2688-2689-2690-2691-2692-2693-2694-2695-2696-2697-2698-2699-2700-2701-2702-2703-2704-2705-2706-2707-2708-2709-2710-2711-2712-2713-2714-2715-2716-2717-2718-2719-2720-2721-2722-2723-2724-2725-2726-2727-2728-2729-2730-2731-2732-2733-2734-2735-2736-2737-2738-2739-2740-2741-2742-2743-2744-2745-2746-2747-2748-2749-2750-2751-2752-2753-2754-2755-2756-2757-2758-2759-2760-2761-2762-2763-2764-2765-2766-2767-2768-2769-2770-2771-2772-2773-2774-2775-2776-2777-2778-2779-2780-2781-2782-2783-2784-2785-2786-2787-2788-2789-2790-2791-2792-2793-2794-2795-2796-2797-2798-2799-2800-2801-2802-2803-2804-2805-2806-2807-2808-2809-2810-2811-2812-2813-2814-2815-2816-2817-2818-2819-2820-2821-2822-2823-2824-2825-2826-2827-2828-2829-2830-2831-2832-2833-2834-2835-2836-2837-2838-2839-2840-2841-2842-2843-2844-2845-2846-2847-2848-2849-2850-2851-2852-2853-2854-2855-2856-2857-2858-2859-2860-2861-2862-2863-2864-2865-2866-2867-2868-2869-2870-2871-2872-2873-2874-2875-2876-2877-2878-2879-2880-2881-2882-2883-2884-2885-2886-2887-2888-2889-2890-2891-2892-2893-2894-2895-2896-2897-2898-2899-2900-2901-2902-2903-2904-2905-2906-2907-2908-2909-2910-2911-2912-2913-2914-2915-2916-2917-2918-2919-2920-2921-2922-2923-2924-2925-2926-2927-2928-2929-2930-2931-2932-2933-2934-2935-2936-2937-2938-2939-2940-2941-2942-2943-2944-2945-2946-2947-2948-2949-2950-2951-2952-2953-2954-2955-2956-2957-2958-2959-2960-2961-2962-2963-2964-2965-2966-2967-2968-2969-2970-2971-2972-2973-2974-2975-2976-2977-2978-2979-2980-2981-2982-2983-2984-2985-2986-2987-2988-2989-2990-2991-2992-2993-2994-2995-2996-2997-2998-2999-3000-3001-3002-3003-3004-3005-3006-3007-3008-3009-3010-3011-3012-3013-3014-3015-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SIGNATURE PAGE

File Number:	A0023/17NY	Zoning	RD/R4 [WAV]
Owner:	ROBERT RENSCH MYRNA RENSCH	Ward:	Willowdale (23)
Agent:	F&A ASSOCIATES	Heritage:	Not Applicable
Property Address:	261 POYNTZ AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 722 PT LOT 721		

Bruce Mullock (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Wednesday, March 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0024/17NY	Zoning	R1 Z0.35/RD (f15.0; d0.35)(x1409)(ZR)
Owner(s):	ELIAHU M BARR	Ward:	Eglinton-Lawrence (16)
Agent:	GH3 INC	Heritage:	Not Applicable
Property Address:	153 LYTTON BLVD	Community:	Toronto
Legal Description:	PLAN 1532 LOT 165		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct additions to the ground floor and second floor, along with the reconstruction of the garage. Also proposed are interior renovations.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.40.(1)(A), Zoning By-law No. 569-2013**
The permitted maximum floor space index is 0.35 times the area of the lot: 217.84 m², including 50 percent of the floor area of the basement.
The proposed floor space index is 0.675 times the area of the lot: 420.0 m².
- 2. Chapter 10.20.40.70.(3)(D), Zoning By-law No. 569-2013**
The required minimum side yard setback is 1.5 m where the required minimum lot frontage is 15.0 m to less than 18.0 m.
The proposed setback to the east side lot line is 0.6 m to the main wall and 0.0 m to a deck and stairs on the east side of the house.
- 3. Chapter 10.20.40.70.(3)(D), Zoning By-law No. 569-2013**
The required minimum side yard setback is 1.5 m where the required minimum lot frontage is 15.0 m to less than 18.0 m.
The setback from the proposed addition to the west side lot line is 1.07 m.
- 4. Section 6(3) Part I, Zoning By-law No. 438-86**
By-law 438-86 limits the residential gross floor area in an area zoned R1 Z0.35 to 0.35 times the area of the lot: 217.84 m.
The proposed residential gross floor area is 0.675 times the area of the lot: 420.0 m².

5. Section 6(3) Part II 3.B(II), Zoning By-law No. 438-86

By-law 438-86 requires a detached house in an R1 district to have a minimum side lot line setback of 0.9 m for that portion of the building not exceeding 17.0 m in depth. The proposed setback to the east side lot line is 0.6 m to the main wall and 0.0 m to a deck and stairs on the east side of the house.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0024/17NY	Zoning	R1 Z0.35/RD (f15.0; d0.35)(x1409)(ZR)
Owner:	ELIAHU M BARR	Ward:	Eglinton-Lawrence (16)
Agent:	GH3 INC	Heritage:	Not Applicable
Property Address:	153 LYTTON BLVD	Community:	Toronto
Legal Description:	PLAN 1532 LOT 165		

Isaac Lallouz (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, March 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0025/17NY	Zoning	R (d1.0) x941(ZR)
Owner(s):	1944498 ONTARIO LIMITED	Ward:	Don Valley West (25)
Agent:	UNIT A ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	9 ELVINA GDNS	Community:	Toronto
Legal Description:	PLAN 647E PT LOTS 35 TO 37		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

Proposed conversion of an existing dwelling into a day nursery. The variance requested is parking related.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 200.5.10.1.(1), Zoning By-law No. 569-2013

The required minimum number of parking space(s) for the Day Nursery is 2 spaces.
The proposal will have 0 spaces.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The applicant to satisfy the requirements of the Transportation Services Division;

- i) Successfully obtain a Commercial Boulevard Parking Licence for the two spaces overhanging the Public Right-of-Way;

- ii) Revise the site plan to illustrate the proposed curb located a minimum of 0.5 m from the edge of sidewalk; and
 - iii) Revise the site plan to indicate the relocated sign and pay for all costs associated with relocating the sign.
- 2) Submission of a complete application for permit to injure or remove privately owned trees.

SIGNATURE PAGE

File Number:	A0025/17NY	Zoning	R (d1.0) x941(ZR)
Owner:	1944498 ONTARIO LIMITED	Ward:	Don Valley West (25)
Agent:	UNIT A ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	9 ELVINA GDNS	Community:	Toronto
Legal Description:	PLAN 647E PT LOTS 35 TO 37		

Bruce Mullock (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

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Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, March 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0029/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	ZABIHULLAH TAASH MOHMMAD	Ward:	Don Valley East (34)
Agent:	HSK DESIGN	Heritage:	Not Applicable
Property Address:	22 DUKINFELD CRES	Community:	North York
Legal Description:	PLAN M812 LOT 367		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new one-storey addition to the rear south west portion of the existing one-storey dwelling, in conjunction with a new front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 35.20% of the lot area.
- Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 35.20% of the lot area.
- Section 13.2.3(c), By-law No. 7625**
The minimum required rear yard setback is 9.50m.
The proposed rear yard setback is 8.16m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0029/17NY	Zoning	RD/R4 [ZZC]
Owner:	ZABIHULLAH TAASH MOHMMAD	Ward:	Don Valley East (34)
Agent:	HSK DESIGN	Heritage:	Not Applicable
Property Address:	22 DUKINFIELD CRES	Community:	North York
Legal Description:	PLAN M812 LOT 367		

Bruce Mullock (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

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Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, March 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0030/17NY	Zoning	R4/RD (f15.0; a550) (x5)(waiver)
Owner(s):	MITRA GHAHRAMAN	Ward:	Don Valley West (25)
Agent:	MANOUSH HAKIMI	Heritage:	Not Applicable
Property Address:	9 CICADA CRT	Community:	North York
Legal Description:	PLAN 4758 LOT 63		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 13.3.6, Zoning By-law 7625**
The maximum building height shall be 8.80m to the mid point of the roof.
The proposed building height of 9.03 m.
- 2. Section 13.2.3.(b), Zoning By-law 7625**
The minimum side yard setback shall be 1.8m on each side.
The proposed south side yard setback is 1.50m.
- 3. Section 13.2.3.(b), Zoning By-law 7625**
The minimum side yard setback shall be 1.8m on each side.
The proposed north side yard setback is 1.51m.
- 4. Section 6.(9).(n), Zoning By-law 7625**
Window may project up to 0.3m from the front or rear wall if glazed on only one side.
The proposed bay windows in the front wall projects 0.61m and do not have glazed on the sides.
- 5. Chapter 10.20.40.70.(3), Zoning By-law 569-2013**
The minimum side yard setback shall be 1.80m on each side.
The proposed south side yard setback of 1.50m.
- 6. Chapter 10.20.40.70.(3), Zoning By-law 569-2013**
The minimum side yard setback shall be 1.80m on each side.
The proposed north side yard setback of 1.51m.

7. Chapter 10.20.40.10.(2), Zoning By-law 569-2013

The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 8.36m in both sides (north and south sides).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the Site Plan, South Elevation and North Elevation drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, March 14, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

RECEIVED
 SITE PLAN
 SCALE 1:100
 THE INFORMATION ON THIS SITE PLAN HAS BEEN TAKEN
 IN LOT 63, REGISTERED PLAN 4758,
 CITY OF TORONTO, FORMER CITY OF NORTH YORK
 BY MAJID FATHI, BARICH GRENNIE SURVEYING LTD.,
 DATED NOVEMBER 11, 2018.

THE INFORMATION ON THIS SITE PLAN HAS BEEN TAKEN
IN LOT 63, REGISTERED PLAN 4758,
CITY OF TORONTO, BARICH GRENKIE SURVEYING LTD.,
BY MAJID FATHI, DATED NOVEMBER 11 2018.

SITE PLAN
SCALE: 1"=100'

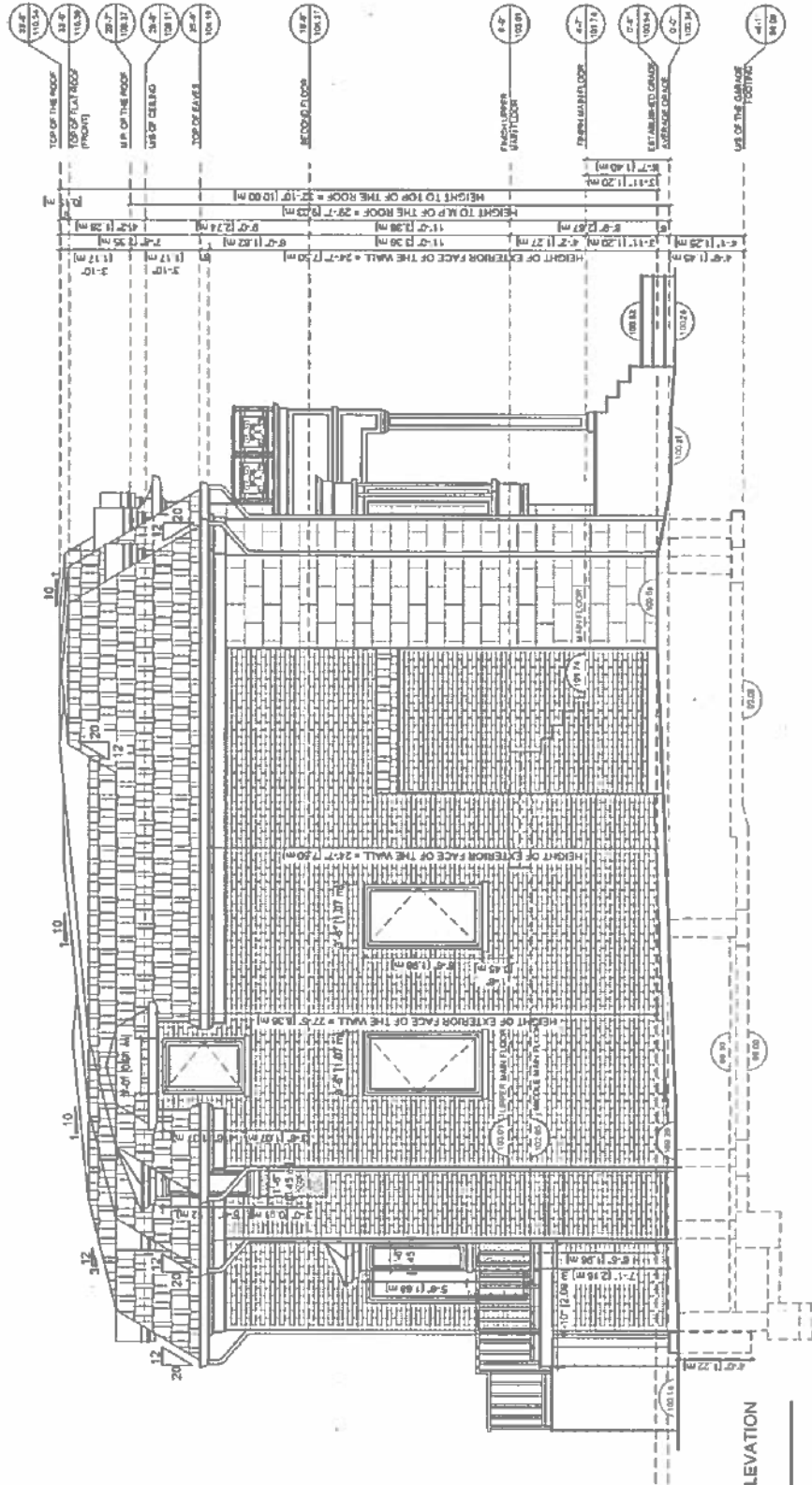
RECEIVED

MAR 14 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

DATE		NO	DESCRIPTION	BY
REVISIONS				
<small>Architectural drawings are not to be used for construction without the written approval of the architect. The architect is not responsible for errors or omissions in the drawings or for any consequences arising from the use of the drawings for any purpose other than that for which they were prepared.</small>				

ADDRESS	
8 CECILIA COURT TORONTO, ONTARIO	
DRAWING TITLE	
ELEVATION	
SCALE	AS NOTED
DESIGN	CHECKED
DATE	DEC 2010
PROJECT NO	
FILE NO	A8



NORTH ELEVATION
SCALE: 1/8"

RECEIVED

MAR 14 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

4. The first two questions are answered by the following theorem:

Age Group	Percentage of Respondents
18-24	10
25-34	35
35-44	25
45-54	15
55-64	10
65-74	5
75-84	2
85-94	1
95+	0



MAR 14 2017

**CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE**

SIGNATURE PAGE

File Number:	A0030/17NY	Zoning	R4/RD (f15.0; a550) (x5)(waiver)
Owner:	MITRA GHAHRAMAN	Ward:	Don Valley West (25)
Agent:	MANOUSH HAKIMI	Heritage:	Not Applicable
Property Address:	9 CICADA CRT	Community:	North York
Legal Description:	PLAN 4758 LOT 63		

Bruce Mullock (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, March 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0031/17NY	Zoning	RD/R5 [ZZC]
Owner(s):	SAM ROSHDI	Ward:	Don Valley West (25)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	325 BROADWAY AVE	Community:	North York
Legal Description:	PLAN M374 W PT LOT 190 E PT LOT 191		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.
The proposed first floor area is 5.30m² within 4.00m of the main front wall.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 40.00% of the lot area.
- 3. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 10.00m.
The proposed building height is **10.30m**.
- 4. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the east side exterior main wall facing a side lot line is 9.39m.
- 5. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the west side exterior main wall facing a side lot line is **8.16m**.
- 6. Section 14-B(5)(b), By-law No. 7625**
The minimum required side yard setback is 1.20m.
The proposed west side yard setback is 0.90m.

7. **Section 14-B(6), By-law No. 7625**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 40.00% of the lot area.
8. **Section 14-B(8), By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is **9.10m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.
The proposed first floor area is 5.30m² within 4.00m of the main front wall.
3. **Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 10.00m.
The proposed building height is **10.30m**.
4. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the east side exterior main wall facing a side lot line is 9.39m.
5. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the west side exterior main wall facing a side lot line is **8.16m**.
6. **Section 14-B(5)(b), By-law No. 7625**
The minimum required side yard setback is 1.20m.
The proposed west side yard setback is 0.90m.
8. **Section 14-B(8), By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is **9.10m**.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

2. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is **37.00%** of the lot area.
7. **Section 14-B(6), By-law No. 7625**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is **37.00%** of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0031/17NY	Zoning	RD/R5 [ZZC]
Owner:	SAM ROSHDI	Ward:	Don Valley West (25)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	325 BROADWAY AVE	Community:	North York
Legal Description:	PLAN M374 W PT LOT 190 E PT LOT 191		

Bruce Mullock (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

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Wednesday, March 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0032/17NY	Zoning	RD/R5 [ZZC]
Owner(s):	FEI JIA	Ward:	Don Valley West (25)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	11 FORDHAM PL	Community:	North York
Legal Description:	PLAN 4332 L 424		

Notice was given and a Public Hearing was held on Wednesday, March 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To demolish an existing one-storey dwelling and replace it with a new two-storey dwelling with internal garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10m² of the first floor area must be within 4m of the main front wall.
The new dwelling will have 4.95m² of the first floor within 4m of the main front wall.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 25% of the lot area: 140.72m².
The proposed lot coverage is **28%** of the lot area: 168.9m².
- 3. Chapter 10.20.40.10.(2)(A)(i), By-law No. 569-2013**
The maximum permitted height of front exterior main walls is 7.5m.
The proposed height of front exterior main walls for windows is 9.45m.
- 4. Chapter 10.20.40.10.(2)(A)(ii), By-law No. 569-2013**
The maximum permitted height of rear exterior main walls is 7.5m.
The proposed height of rear exterior main walls is 8.14m.
- 5. Chapter 10.20.40.10.(2)(B)(ii), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the east side exterior main walls is 8.95m.
- 6. Chapter 10.20.40.10.(2)(B)(ii), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the west side exterior main walls is 7.8m.

7. Section 14.2.4, By-Law No. 7625

The maximum permitted lot coverage is 25% of the lot area.

The proposed lot coverage is **28%** of the lot area.

8. Section 14.2.6, By-Law No. 7625

The maximum permitted building height is 8.8m.

The proposed building height is **9.14m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) Submission of a complete application for permit to injure or remove privately owned trees.
- 2) The proposal be developed in accordance with the East Elevation and West Elevation drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, March 14, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0032/17NY	Zoning	RD/R5 [ZZC]
Owner:	FEI JIA	Ward:	Don Valley West (25)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	11 FORDHAM PL	Community:	North York
Legal Description:	PLAN 4332 L 424		

Bruce Mullock (signed)

Derek Lett (signed)

Giacomo Tonon (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, March 29, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, April 11, 2017

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Manager & Deputy Secretary Treasurer
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