
**COMMITTEE OF ADJUSTMENT
AGENDA
SCARBOROUGH PANEL**

Hearing Date: March 16, 2017
Time: 9:30 a.m.
Location: Council Chamber - Scarborough Civic Centre - 150 Borough Drive

1. **OPENING REMARKS**
Declarations of Interest
Confirmation of Minutes from Previous Hearing
2. **DEPUTATION ITEMS**

The following applications will be heard at 9:30 a.m. or shortly thereafter:

File Number	Owner	Property	Community (Ward)
<u>COMBINED APPLICATIONS</u>			
1. B0067/16SC, A0384/16SC & A0385/16SC	HAIFENG SUN	7 GAYLORD DR	Scarborough Centre (37)
2. B0071/16SC, A0402/16SC & A0403/16SC	TONI DUMBALOVSKI VERA DUMBALOVSKA	229 MCINTOSH ST	Scarborough Southwest (36)
3. B0001/17SC, A0009/17SC & A0010/17SC	SAHIDUZZAMAN BHUIYAN	6 NATAL AVE	Scarborough Southwest (36)
<u>MINOR VARIANCE APPLICATIONS</u>			
4. A124/13SC	SRI NAGAPOOSHANI AMBIKA NAGA LINGESWARA SPIRITUAL	1830 ELLESMERE RD	Scarborough Centre (38)

5.	A378/15SC	TISA MARLENE YOUNES	50 PRINCEWAY DR	Scarborough Centre (37)
6.	A0283/16SC	BRADLEY KEILL TAYLOR	132 AYLESWORTH AVE	Scarborough Southwest (36)
7.	A0325/16SC	NISHAMINI RATNALINGAM	43 BUENA VISTA AVE	Scarborough-Agincourt (39)
8.	A0343/16SC	DIAMOND CORP	5131 SHEPPARD AVE E	Scarborough-Rouge River (42)
9.	A0369/16SC	YASMIN ISMAIL MUSTAFIZUR RAHMAN BHUIYAN	43 GUILDCREST DR	Scarborough East (43)
10.	A0375/16SC	GREGORY YHAN	38 MINNACOTE AVE	Scarborough East (44)
11.	A0389/16SC	FRANK DIPIETRO ALEKSANDRA DIPETRO	17 SONNECK SQ	Scarborough East (43)
12.	A0391/16SC	ABUL MANJOOR RAHMAN FERDOUS ARA BEGUM	164 HEALE AVE	Scarborough Southwest (36)
13.	A0400/16SC	MICHAIL FOTOPOULOS	69 FISHLEIGH DR	Scarborough Southwest (36)
14.	A0006/17SC	SALEEMA WEEDA OSMANI BAKTASH OSMANI	95 HOLLIS AVE	Scarborough Southwest (36)
15.	A0007/17SC	TRANG THI THUY NGUYEN SIU MING TONG	48 LAURALYNN CRES	Scarborough-Rouge River (41)
16.	A0008/17SC	BALAKUMARAN THIRAVIAM	63 SCARBORO AVE	Scarborough East (44)
17.	A0026/17SC	ROZI LIAQAT KHADEEJA ALI	12 KILPATRICK PL	Scarborough Centre (37)

The following applications will be heard at 11:00 a.m. or shortly thereafter:

File Number	Owner	Property	Community (Ward)
<u>MINOR VARIANCE APPLICATIONS</u>			
18. A0286/16SC	XUE ZHI NA	1 NORCAP AVE	Scarborough-Agincourt (39)
19. A0397/16SC	JAN BLASKO	52 HOMESTEAD RD	Scarborough East (44)
20. A0011/17SC	RANDY BEHARRY RANIA KHUNAYSIR	16 HANCOCK CRES	Scarborough Centre (37)
21. A0013/17SC	GALLOWAY DEVELOPMENTS GALLOWAY DEVELOPMENTS	201 GALLOWAY RD	Scarborough East (43)
22. A0015/17SC	KRISTA PHILBRICK JEFF BLAST GRAHAM WRIGHT	20 NORTH DR	Scarborough Southwest (36)
23. A0016/17SC	ANGELO DRAGO GIUSEPPINA DRAGO	43 ST QUENTIN AVE	Scarborough Southwest (36)
24. A0022/17SC	JAMES THOMAS YOUNG RAMONA NADIA YOUNG	62 BELINDA SQ	Scarborough-Agincourt (39)
25. A0023/17SC	SUMATHY RAMANATHAN RAGHAVAN RAMANATHAN	14 PARKVIEW HTS	Scarborough Southwest (36)
26. A0024/17SC	PATEL FIROJABANU FAROOQUE PATEL	189 CONFEDERATION DR	Scarborough East (43)
27. A0028/17SC	RICHARD JOHN MONTGOMERY	55 FALLINGBROOK RD	Scarborough Southwest (36)
28. A0029/17SC	SOMMERWELL DEVELOPMENT CORPORATION	45 VALHALLA BLVD	Scarborough Southwest (36)

29.	A0030/17SC	YUFAN WANG	62 MARYDON CRES	Scarborough-Rouge River (41)
30.	A0031/17SC	JESSICA LYNNE COCKBURN JEFFERY JONATHAN P MOORE	179 HAREWOOD AVE	Scarborough Southwest (36)
31.	A0032/17SC	DIANA NEOS KONSTANTINOS NEOS	35 THATCHER AVE	Scarborough Southwest (36)
32.	A0047/17SC	MOKOL AKTER MOHD FOYEZ PAPON	18 ST QUENTIN AVE	Scarborough Southwest (36)
33.	A0048/17SC	MENEZES JOA MARGARET PAUL CYRIL QUITERIO	12 FAIRCROFT BLVD	Scarborough Southwest (36)
34.	A0049/17SC	JEANNE LAVEROCK	76 CHARLOTTETOWN BLVD	Scarborough East (44)
35.	A0051/17SC	HUGO MCINTOSH	20 IVORWOOD CRES	Scarborough Centre (37)

3. OTHER BUSINESS

None.

4. ONTARIO MUNICIPAL BOARD

Appeals:

Appeal arising from February 16, 2017 Hearing:

a. 198 RANDALL CRES – (Committee Refused – Applicant appealed to OMB)

File Number:	B0060/16SC	Zoning	Single Family (S) and Residential Detached (RD) Zone [ZR]
Owner:	AJIT PAUL	Ward:	Scarborough Southwest (36)
Agent:	PATRICK MCAULIFFE	Heritage:	Not Applicable
Property Address:	198 RANDALL CRES	Community:	Cliffcrest Community
Legal Description:	PLAN M420 PT LOT 20		

***ADDENDUM**

b. 8 LAMONT AVE – (Committee Refused – Applicant appealed to OMB)

File Number:	B0051/16SC, A0254/16SC, A0255/16SC	Zoning	RD - Residential Detached/ S- Single Family Residential [WAIVER]
Owner(s):	DONG MING LI LI MIN SHANG	Ward:	Scarborough-Rouge River (41)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	8 LAMONT AVE	Community:	Agincourt Community
Legal Description:	PLAN 3395 LOT 26		

c. 42 HEATHFIELD DR – (Committee refused two(2) Variances- Applicant appealed to OMB)

File Number:	A0393/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	COLEMAN BENT MATTHEW BENT	Ward:	Scarborough Southwest (36)
Agent:	COLEMAN BENT	Heritage:	Not Applicable
Property Address:	42 HEATHFIELD DR	Community:	Scarborough Village Community
Legal Description:	PLAN 4185 LOT 6		

* Website for OMB Orders: <http://www.omb.gov.on.ca/english/eDecisions/eDecisions.html>

5. DATE OF NEXT MEETING: April 13, 2017

6. ADJOURNMENT

* Website for City of Toronto, Committee of Adjustment Agendas and Decisions:
<http://www1.toronto.ca/wps/portal/contentonly?vnextoid=ed2552cc66061410VgnVCM10000071d60f89RCRD>

Please Note: Looking for information regarding Case Manager on a file and/or hearing date prior to the agenda? Please use the following link:

* Website for City Planning "**Application Information Centre**" (AIC);
<http://app.toronto.ca/DevelopmentApplications/mapSearchSetup.do?action=init>
For Committee of Adjustment, please "select" "Committee of Adjustment" prior to entering your search information.

The following applications will be heard at 9:30 a.m. or shortly thereafter:

1. 7 GAYLORD DR

File Number:	B0067/16SC, A0384/16SC & A0385/16SC	Zoning	Residential Detached (RD) & Single Family (S) [Waiver]
Owner(s):	HAIFENG SUN	Ward:	Scarborough Centre (37)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	7 GAYLORD DR	Community:	Wexford Community
Legal Description:	PLAN 4040 LOT 212 PT LOT 211		

THE CONSENT REQUESTED:

To obtain consent to sever the property into two (2) undersized residential lots.

**Conveyed - Parts 1 & 2
Address to be assigned**

The proposed lot frontage is 10.67 m and the proposed lot area is 406.9 m². The existing detached dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling with an integral garage and basement walkout, requiring variances to the Zoning By-law, as outlined in Application A0385/16SC.

All existing easements will be maintained.

**Retained - Parts 3 & 4
Address to be assigned**

The proposed lot frontage is 10.67 m and the proposed lot area is 406.9 m². The existing detached dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling with an integral garage and basement walkout, requiring variances to the Zoning By-law, as outlined in Application A0384/16SC.

All existing easements will be maintained.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Parts 1 & 2– Conveyed (A0385/16SC) & Parts 3 & 4 – Retained (A0384/16SC)

By-law No. 569-2013:

1. The proposed lot frontage is 10.67 m;
Whereas the minimum required lot frontage is the existing lot frontage of 21.34 m.
2. The proposed lot area is 406.9 m²;
Whereas the minimum required lot area is the existing lot area of 812.8 m².

3. The proposed dwelling will cover 33.8% of the lot area;
Whereas the maximum permitted coverage is 33% of the lot area.
4. The proposed dwelling will have a height of 9.67 m for **Part 1**;
The proposed dwelling will have a height of 9.98 m for **Part 2**;
Whereas the maximum permitted dwelling height is 9 m.

By-law No. 9511:

5. The proposed dwelling will cover 33.8% of the lot area;
Whereas the maximum permitted coverage is 33% of the lot area.
6. The proposed dwelling will have a height of 9.67 m for **Part 1**;
The proposed dwelling will have a height of 9.98 m for **Part 2**;
Whereas the maximum permitted dwelling height is 9 m.

2. 229 MCINTOSH ST

File Number:	B0071/16SC, A0402/16SC & A0403/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	TONI DUMBALOVSKI VERA DUMBALOVSKA	Ward:	Scarborough Southwest (36)
Agent:	VERA DUMBALOVSKA	Heritage:	Not Applicable
Property Address:	229 MCINTOSH ST	Community:	Cliffside Community
Legal Description:	PLAN M388 LOT 265		

THE CONSENT REQUESTED:

To obtain consent to sever the property into two (2) undersized residential lots.

Conveyed - Part 2 229 McIntosh Street

The proposed lot frontage is 7.615 m and the proposed lot area is 310.5 m². The existing detached dwelling will be demolished and the property will be redeveloped as the site of a new three-storey detached dwelling with an integral garage, requiring variances to the Zoning By-law, as outlined in Application A0402/16SC.

Retained - Part 1 229A McIntosh Street

The proposed lot frontage is 7.615 m and the proposed lot area is 317.9 m². The existing detached dwelling will be demolished and the property will be redeveloped as the site of a new three-storey detached dwelling with an integral garage, requiring variances to the Zoning By-law, as outlined in Application A0403/16SC.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Part 1 – Retained (A0403/16SC) & Part 2– Conveyed (A0402/16SC)

By-law No. 569-2013 & No. 9364:

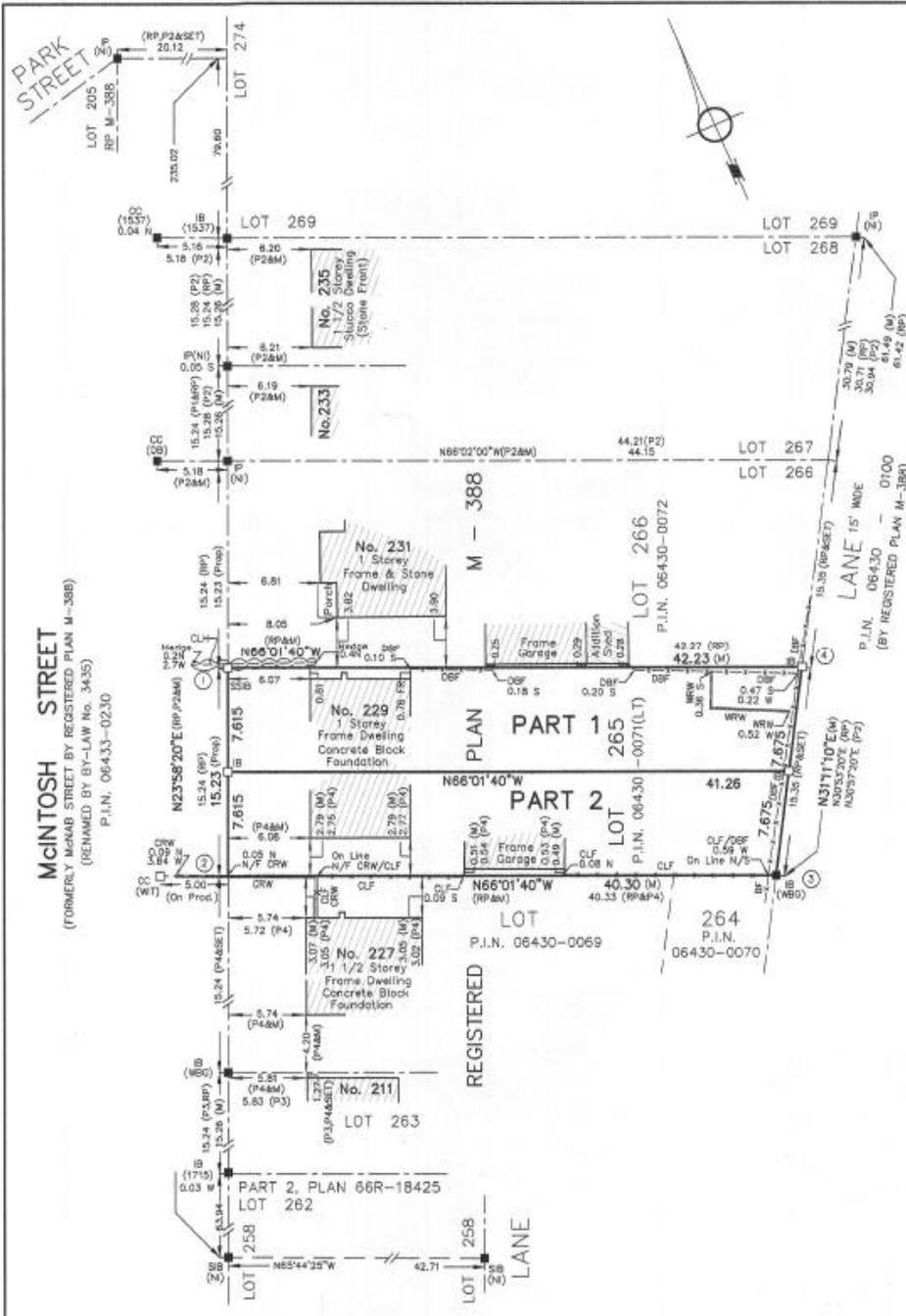
1. The proposed lot frontage is 7.61 m;
Whereas the minimum required lot frontage is 9 m.
2. The proposed lot area is 318.05 m² for **Part 1**;
The proposed lot area is 309.57 m² for **Part 2**;
Whereas the minimum required lot area is 325 m².
3. The proposed dwelling will have a floor space index equal to 0.67 times the lot area (213.32 m²) for **PT 1**;
The proposed dwelling will have a floor space index equal to 0.69 times the lot area (213.32 m²) for **PT 2**;
Whereas the maximum permitted floor space index/floor area is 0.6 times the lot area (190.83 m²).
4. The proposed dwelling will be three (3) storeys in height;
Whereas the maximum permitted number of storeys is two (2).

By-law No. 569-2013:

5. The proposed height of the exterior main walls is 7.76 m;
Whereas the maximum permitted height of pair of main walls is 7 m.
6. The proposed dwelling will have a first floor height of 2.48 m above established grade;
Whereas the maximum permitted height of the first floor above established grade is 1.2 m.
7. A total of 4.5 m² of the first floor is proposed to be within 4 m of the front main wall;
Whereas a minimum of 10 m² of the first floor must be within 4 m of the front main wall.

By-law No. 9364:

8. The proposed dwelling will have a basement height of 2.48 m, as measured from the average grade at the front main wall to the ceiling of the basement;
Whereas the maximum permitted basement height is 1 m.



I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.	PLAN 66R-
DATE	RECEIVED AND DEPOSITED
DATE	DATE
MICHELE PEARSON ONTARIO LAND SURVEYOR	REPRESENTATIVE OF THE LAND REGISTRAR FOR THE LAND TITLES DIVISION OF THE TORONTO LAND REGISTRY OFFICE (No. 66)

Schedule				
PART	LOT	REGISTERED PLAN	ALL OF PIN	AREA (m ²)
1				317.9
2	265	M-388	06430-0071	310.5

PLAN OF SURVEY OF
LOT 265
REGISTERED PLAN M-388
CITY OF TORONTO
FORMERLY CITY OF SCARBOROUGH
SCALE 1:300

ertl surveyors 2014
Ontario Land Surveyors

Metric
DISTANCES AND COORDINATES ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

- Legend**
- DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT SET
 - SB DENOTES STANDARD IRON BAR
 - SSIB DENOTES SHORT STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - IP DENOTES IRON PIPE
 - CC DENOTES CUT CROSS
 - RP DENOTES REGISTERED PLAN M-388
 - 66R DENOTES PLAN 66R-22988
 - P2 DENOTES SURVEY BY TOM CZERWINSKI SURVEYING LTD., O.L.S., DATED MARCH 4, 1987
 - P3 DENOTES PLAN 66R-18425
 - P4 DENOTES SURVEY BY BRODIE & GARDNER, O.L.S., DATED JUNE 8, 1962
 - DB DENOTES D. BLACK, O.L.S.
 - WBG DENOTES BRODIE & GARDNER, O.L.S.
 - 15J7 DENOTES TOM CZERWINSKI SURVEYING LTD., O.L.S.
 - 1715 DENOTES ROWAN-STANOLI LTD., O.L.S.
 - NI DENOTES NOT IDENTIFIABLE
 - M DENOTES MEASURED
 - Prod. DENOTES PRODUCTION
 - WRW DENOTES WOOD RETAINING WALL
 - CRW DENOTES CONCRETE RETAINING WALL
 - CLH DENOTES CENTERLINE OF HEDGE
 - CLF DENOTES CHAIN LINK FENCE
 - DBF DENOTES DOUBLE BOARD FENCE
 - FR DENOTES FENCE SHOWN TO FRAME
 - N/F DENOTES NORTH FACE
 - N,S,E,W DENOTES NORTH, SOUTH, EAST, WEST

Note
SSIB SET TO PREVENT DAMAGE OF UNDERGROUND UTILITIES.

Surveyor's Certificate
I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE XX DAY OF XXXXXX 20XX

DECEMBER 16, 2014
Date

Michele Pearson
Ontario Land Surveyor

ertl surveyors
Ontario Land Surveyors

1234 RED STREET, UNIT 10, RICHMOND HILL L4B 1C1
TELEPHONE (905) 731-7834 FAX (905) 731-7852 EMAIL info@ertl-s.com
DRAWING: MCINTOSH 229_RP.DWG PROJECT: 14605
CALC. BY D.L., DRAWN BY S.W., CHECKED BY C.L.

Integration

BEARINGS HEREON ARE GRID BEARINGS AND ARE DERIVED FROM OBSERVED REFERENCE POINTS (ORP) BY REAL-TIME NETWORK MEASUREMENTS (SOKKIA TOPNET) AND ARE REFERRED TO THE CENTRAL MERIDIAN OF ZONE 10 (LONGITUDE 79° 30' WEST), ONTARIO COORDINATE SYSTEM, 3° MTM NAD83 (CSRS). FOR BEARING COMPARISONS A ROTATION OF 00°59'40" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON PLANS RP & P2. DISTANCES SHOWN ON THIS PLAN ARE ADJUSTED GROUND DISTANCES AND CAN BE USED TO COMPUTE GRID DISTANCES BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.9999050. COORDINATES CANNOT IN THEMSELVES BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN. COORDINATE VALUES ARE TO URBAN ACCURACY IN ACCORDANCE WITH SEC. 14(2) OF O. REG. 216/10.

Coordinated Points (ORP)

POINT ID	NORTHING	EASTING
1	4841197.97	324933.69
2	4841184.05	324927.50
4	4841167.68	324964.32
	4841180.81	324972.27

3. 6 NATAL AVE

File Number:	B0001/17SC, A0009/17SC & A0010/17SC	Zoning	Residential Semi-Detached (RS) & Single Family (S) [ZR]
Owner(s):	SAHIDUZZAMAN BHUIYAN	Ward:	Scarborough Southwest (36)
Agent:	NIA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	6 NATAL AVE	Community:	Cliffside Community
Legal Description:	PLAN M388 S PT LOT 298		

THE CONSENT REQUESTED:

To obtain consent to sever the property into two (2) undersized residential lots.

Conveyed - Part 2

Address to be assigned

The proposed lot frontage is 7.62 m and the proposed lot area is 282.4 m². The existing detached dwelling will be demolished and the property will be redeveloped as the site of a new two-storey detached dwelling with an integral garage, requiring variances to the Zoning By-law, as outlined in Application A0009/17SC.

Retained - Part 1

Address to be assigned

The proposed lot frontage is 7.62 m and the proposed lot area is 282.4 m². The existing detached dwelling will be demolished and the property will be redeveloped as the site of a new two-storey detached dwelling with an integral garage, requiring variances to the Zoning By-law, as outlined in Application A0010/17SC.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Part 1 – Retained (A0010/17SC) & Part 2– Conveyed (A0009/17SC)

By-law No. 569-2013 & No. 9364:

1. The proposed lot frontage is 7.62 m;
Whereas the minimum required lot frontage is 9 m.
2. The proposed lot area is 282.4 m²;
Whereas the minimum required lot area is 325 m².
3. The proposed dwelling will cover 35.4% of the lot area (99.84 m²);
Whereas the maximum permitted coverage is 33% of the lot area (93.2 m²).

By-law No. 569-2013:

4. The proposed dwelling will have a floor space index equal to 0.631 times the lot area (178.47 m²);
Whereas the maximum permitted floor space index is 0.6 times the lot area (169.44 m²).

5. The proposed dwelling will be located 0.6 m from the north side lot line for **Part 1**;
The proposed dwelling will be located 0.6 m from the south side lot line for **Part 2**;
Whereas the minimum required side yard setback is 0.9 m.
6. The proposed eaves overhang, including the eavestrough, will be located 0.19 m from the north side lot line for **Part 1**;
The proposed eaves overhang, including the eavestrough, will be located 0.19 m from the south side lot line for **Part 2**;
Whereas the minimum required side yard setback for an eaves overhang is 0.3 m.
7. The parking space within the proposed integral garage will have dimensions of 2.9 m wide by 5.6 m long.
Whereas the minimum required dimensions of a parking space are 3.2 m wide by 5.6 m long.

By-law No. 9364:

8. The proposed dwelling will have a total floor area equal to 0.623 times the lot area (176.04 m²);
Whereas the maximum permitted floor area is 0.6 times the lot area (169.44 m²).
9. The proposed dwelling will be located 0.6 m from the north side lot line and 1.2 m from the south side lot line for **Part 1**;
The proposed dwelling will be located 0.6 m from the south side lot line and 1.2 m from the north side lot line for **Part 2**;
Whereas the minimum required side yard setback is 0.9 m plus 0.6 m for each additional storey, for a total required side yard setback of 1.5 m.
10. The parking space within the proposed integral garage will have dimensions of 2.9 m wide by 5.6 m long.
Whereas the minimum required dimensions of a parking space are 3.3 m wide by 5.6 m long.

**PLAN OF SURVEY OF
PART OF LOT 298
REGISTERED PLAN M-388
CITY OF TORONTO**

(FORMERLY CITY OF SCARBOROUGH)

SCALE 1:200

2.0m 0 2.0 10.0metres

VLADIMIR DOSEN SURVEYING, O.L.S.



I require this plan to be deposited under the Land Titles Act

Date _____

VLADIMIR DOSEN B.Sc., O.L.S.

PLAN 66R-

RECEIVED AND DEPOSITED

Date _____

Representative for Land Registrar for the Land Titles division of TORONTO REGISTRY OFFICE (No.66)

LIST OF CO-ORDINATES:

POINTS ID	NORTHING	EASTING
1	482854.322	303097.789
2	482856.730	303102.194
3	482860.086	303067.670
4	482862.667	303063.235

BEARING NOTE:

BEARINGS SHOWN HEREIN ARE GRID BEARINGS AND ARE DERIVED FROM CONTROL MONUMENTS HM 0201980045 AND HM 0201971057 BASED ON THE M.T.M. COORDINATE SYSTEM, ZONE 10, CENTRAL MERIDIAN, 1984, WEST LIGHTHOUSE. DISTANCES ARE GROUND AND CAN BE CONVERTED TO FEET BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999855.

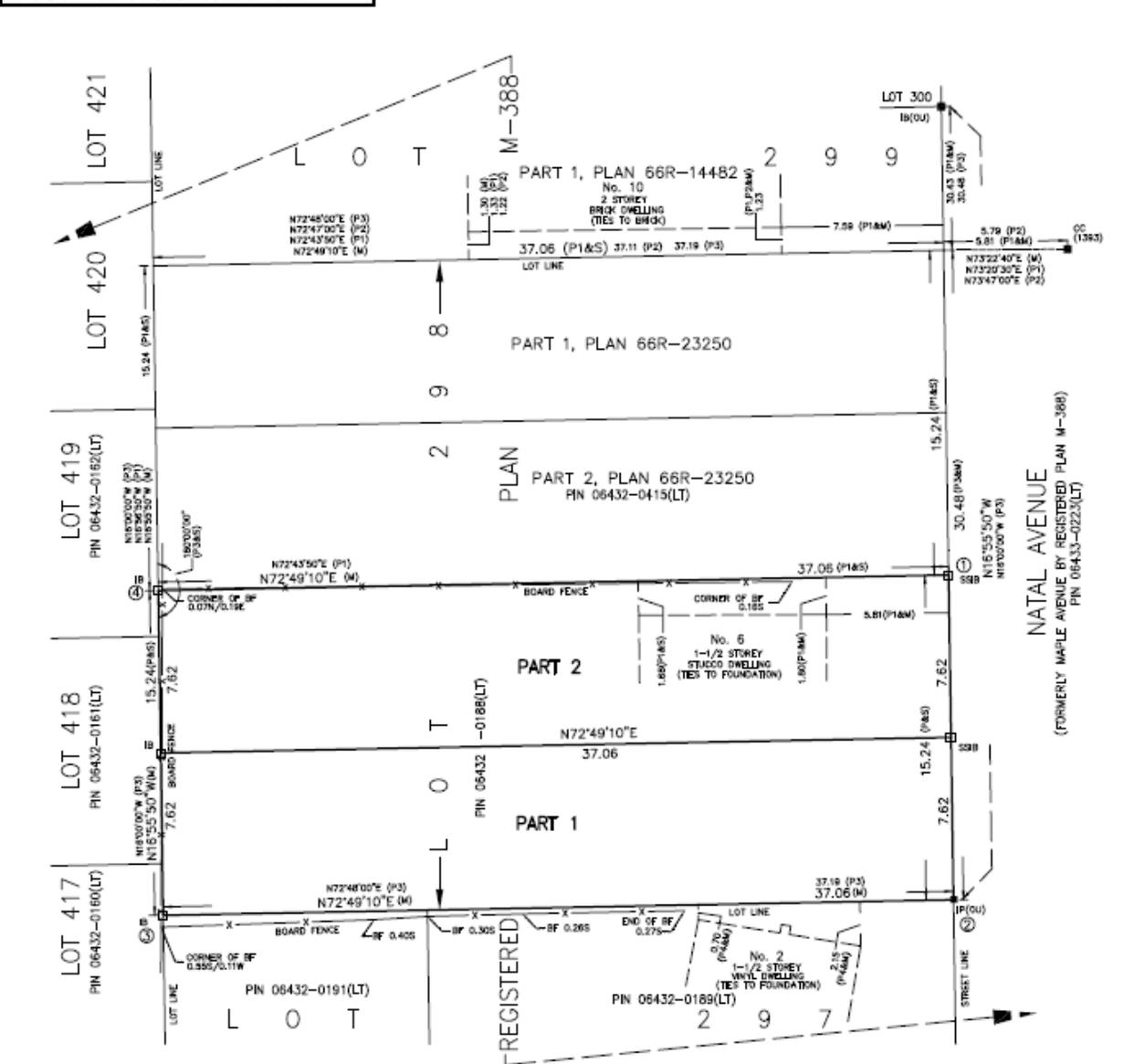
SPECIFIED CONTROL POINTS (SPCS) M.T.M. ZONE 10, TORONTO (TORONTO) COORDINATES TO URBAN ADJACENT, P.L.S. 14 (2) OF 0.992, 216/10

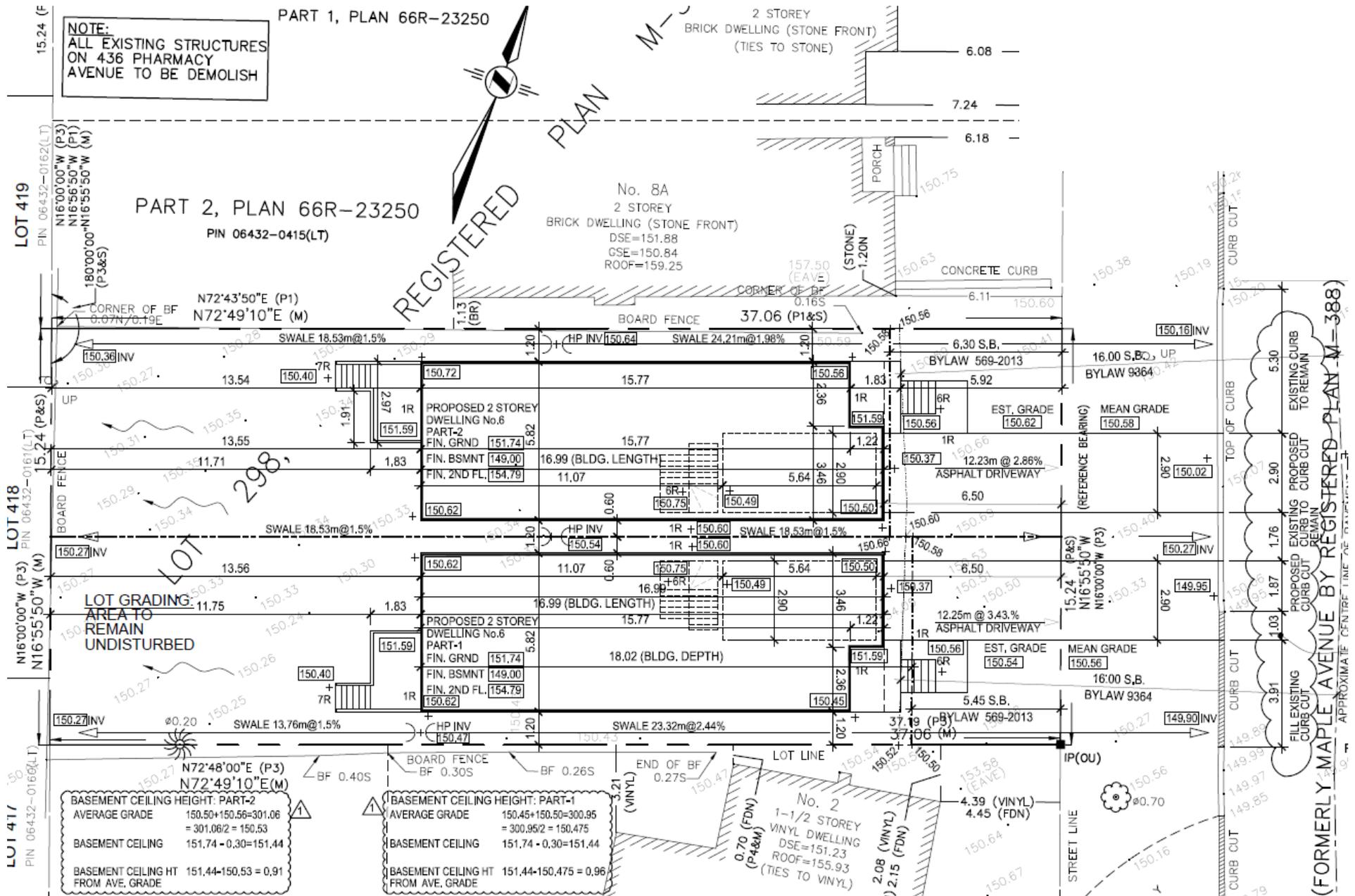
	NORTHING	EASTING
HM 0201980045	482867.188	303150.843
HM 0201971057	482873.641	303323.388

COORDINATES CANNOT IN THEMSELVES BE USED TO RE-ESTABLISH THE CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

SCHEDULE

PART	PART OF LOT	REGISTERED PLAN	ALL OF PIN	AREA IN Sq.m.
1	298	M-388	06432-0188(LT)	282.4
2				282.4





4. 1830 ELLESMERE RD

File Number:	A124/13SC	Zoning	Industrial (M) Zone [ZR]
Owners:	SRI NAGAPOOSHANI AMBIKA NAGA LINGESWARA SPIRITUAL	Ward:	Scarborough Centre (38)
Agent:	MARILYN YPES		
Property Address:	1830 ELLESMERE RD	Employment District:	Progress Employment District
Legal Description:	CON 2 PT LOT 21 RP 66R11439 PART 1,2 & 5		

PURPOSE OF THE APPLICATION:

This application is for a variance to reduce the parking requirement for a proposal to convert the existing industrial building into a Place of Worship.

At the February 16, 2017 Committee of Adjustment, hearing, the Committee deferred consideration of the application to give the applicants an opportunity to address the concerns of their neighbours through mediation.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 24982:

1. Proposed 2.9 parking spaces per 100 m² of gross floor area for a Place of Worship (73 parking spaces) WHEREAS the zoning by-law requires a minimum of 7.7 parking spaces per 100 m² of gross floor area for a Place of Worship (192 parking spaces)

5. 50 PRINCEWAY DR

File Number:	A378/15SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	TISA MARLENE YOUNES	Ward:	Scarborough Centre (37)
Agent:	HSK DESIGN	Heritage:	Not Applicable
Property Address:	50 PRINCEWAY DR	Community:	Maryvale Community
Legal Description:	PLAN M646 LOT 121		

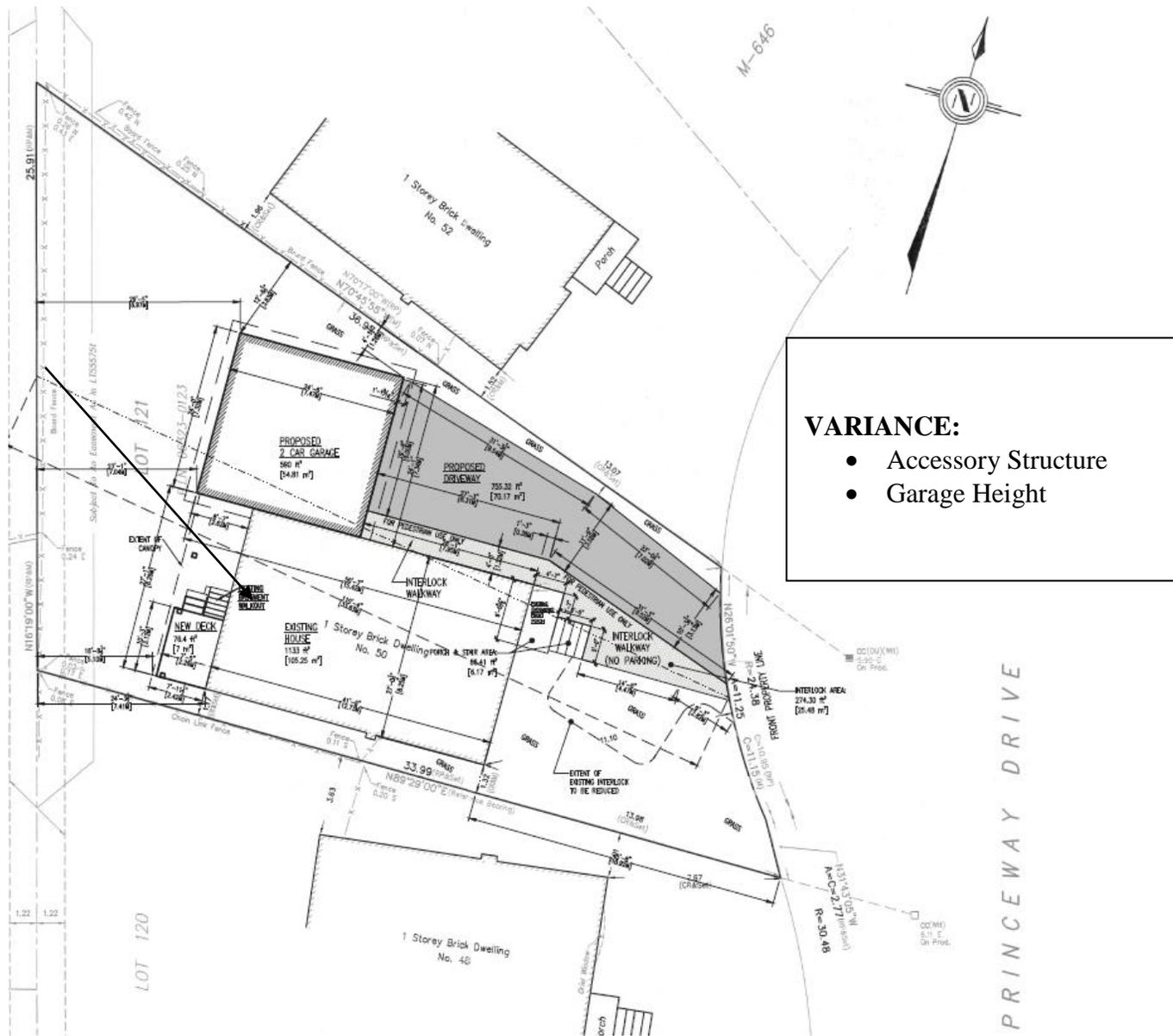
PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a rear deck with a canopy, and a revised double car garage. Please note that the Committee of Adjustment approved the 7.04 metres rear side yard setback for the garage in December 2014. The application was deferred at the April 2016 hearing to allow the applicant to meet with the Councillor. Revised drawings and zoning review have been submitted.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 9366

1. To permit the proposed 8.26 metres by 2.42 metres accessory structure (rear canopy), whereas the Zoning By-law permits maximum 7.6 metres by 7.6 metres accessory structure.
2. To permit the proposed 4.34 metres garage height, whereas the Zoning By-law permits maximum 3.7 metres garage height.



VARIANCE:

- Accessory Structure
- Garage Height

6. 132 AYLESWORTH AVE

File Number:	A0283/16SC	Zoning	RS - Residential Semi-Detached/S - Single Family Residential, T - Two Family Residential [ZZC]
Owner(s):	BRADLEY KEILL TAYLOR	Ward:	Scarborough Southwest (36)
Agent:	DAVID R SMITH	Heritage:	Not Applicable
Property Address:	132 AYLESWORTH AVE	Community:	Cliffside Community
Legal Description:	PLAN 2194 LOT 16		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a second floor addition to the existing dwelling, with a two-storey rear addition. Two living units are proposed.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit 0 parking spaces, whereas the Zoning By-law requires a minimum of 2 parking spaces.
2. To permit the proposed parking space to be located in the front yard and to not lead to a compliant parking space, whereas the Zoning By-law requires a parking space must lead to a compliant parking space.
3. To permit the proposed 39% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
4. To permit the proposed 3 storey dwelling (note: the basement is considered the first storey), whereas the Zoning By-law permits maximum 2 storey dwelling.
5. To permit the proposed 9.7 square metres platform (second floor front balcony), whereas the Zoning By-law permits maximum 4 square metres platform.
6. To permit the proposed 1.5 metres height of the first floor above the established grade, whereas the Zoning By-law permits maximum 1.2 metres height of the first floor above the established grade.
7. To permit the proposed 8.6 metres height for a maximum of 100% of the front main wall and 7.63 metres height for a maximum of 100% of the rear main wall, whereas the Zoning By-law permits maximum 7 metres height above the established grade for no less than 60% of the total width of the front and rear main walls.
8. To permit the proposed 2.6 metres by 4.27 metres parking space, whereas the Zoning By-law requires a minimum 3.2 metres by 5.6 metres parking space.

9. To permit the proposed 290 square metres floor area or 1.04 times the lot area (please note this includes the basement), whereas the Zoning By-law permits maximum 167.2 square metres or 0.6 times the lot area.

By-law No. 9364

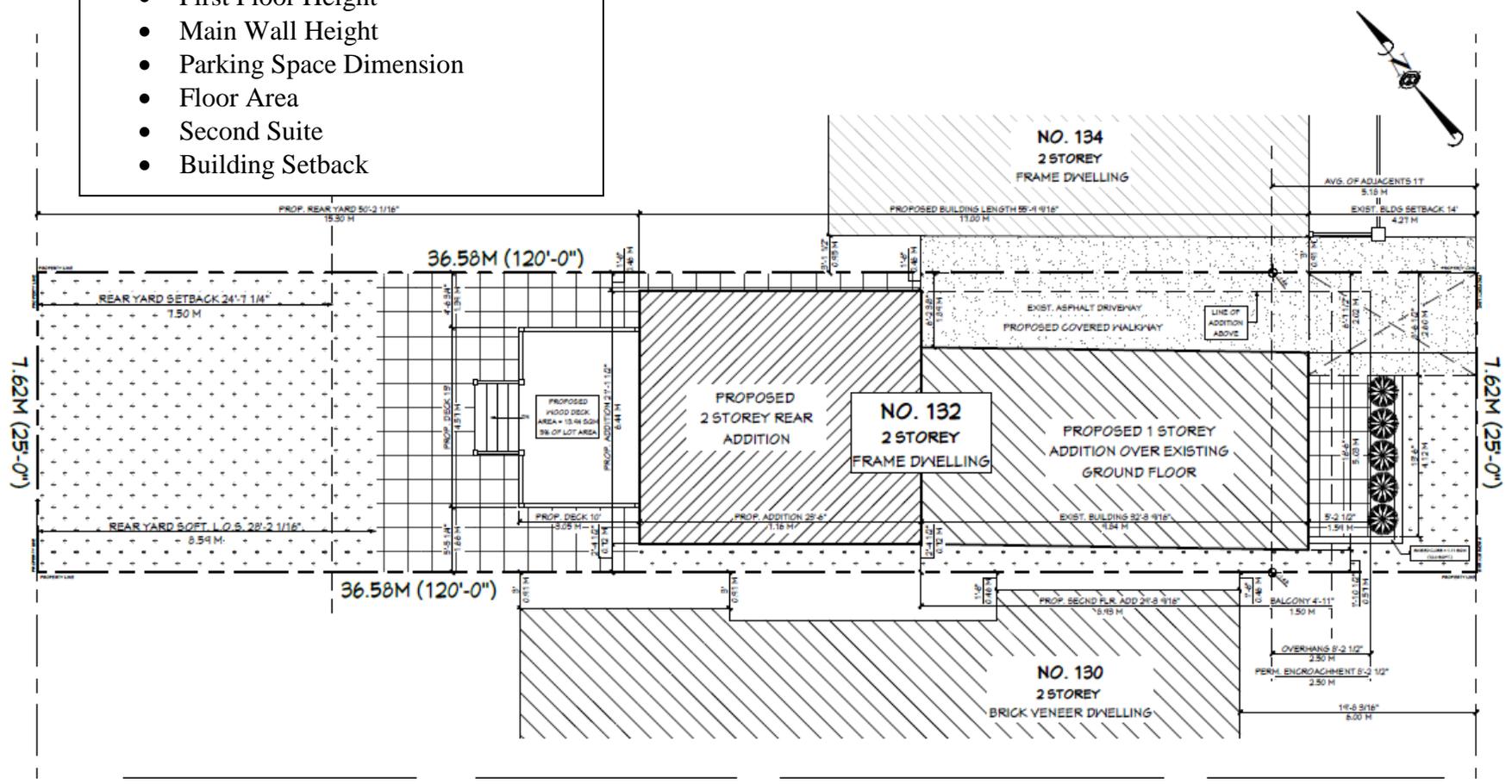
10. To permit the proposed second suite, whereas the Zoning By-law does not permit a second suite in new construction dwellings (entire building must be at least 5 years old).
11. To permit the proposed 15.27 metres building setback, whereas the Zoning By-law requires a minimum 16 metres building setback.
12. To permit the proposed 43% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
13. To permit the proposed 3 storey dwelling (note: the basement is considered the first storey), whereas the Zoning By-law permits maximum 2 storey dwelling.
14. To permit the proposed 195 square metres floor area or 0.7 times the lot area, whereas the Zoning By-law permits maximum 167.2 square metres or 0.6 times the lot area.
15. To permit the proposed 2.6 metres by 4.27 metres parking space, whereas the Zoning By-law requires a minimum 3.2 metres by 5.6 metres parking space.
16. To permit 0 parking spaces, whereas the Zoning By-law requires a minimum of 2 parking spaces.

GRAND TRUNK RAIL

AYLESWORTH AVE

VARIANCE:

- Parking Space
- Parking Space Location
- Coverage
- 3 Storey Dwelling
- Platform Area
- First Floor Height
- Main Wall Height
- Parking Space Dimension
- Floor Area
- Second Suite
- Building Setback



7. 43 BUENA VISTA AVE

File Number:	A0325/16SC pbrozek	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	NISHAMINI RATNALINGAM	Ward:	Scarborough-Agincourt (39)
Agent:	MEMAR ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	43 BUENA VISTA AVE	Community:	Tam O'Shanter Community
Legal Description:	PLAN 4401 LOT 110		

THE CONSENT REQUESTED:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey single family dwelling. The existing dwelling will be demolished. This application was deferred at the February 16, 2017 hearing to allow the applicant time to post the required sign on the property.

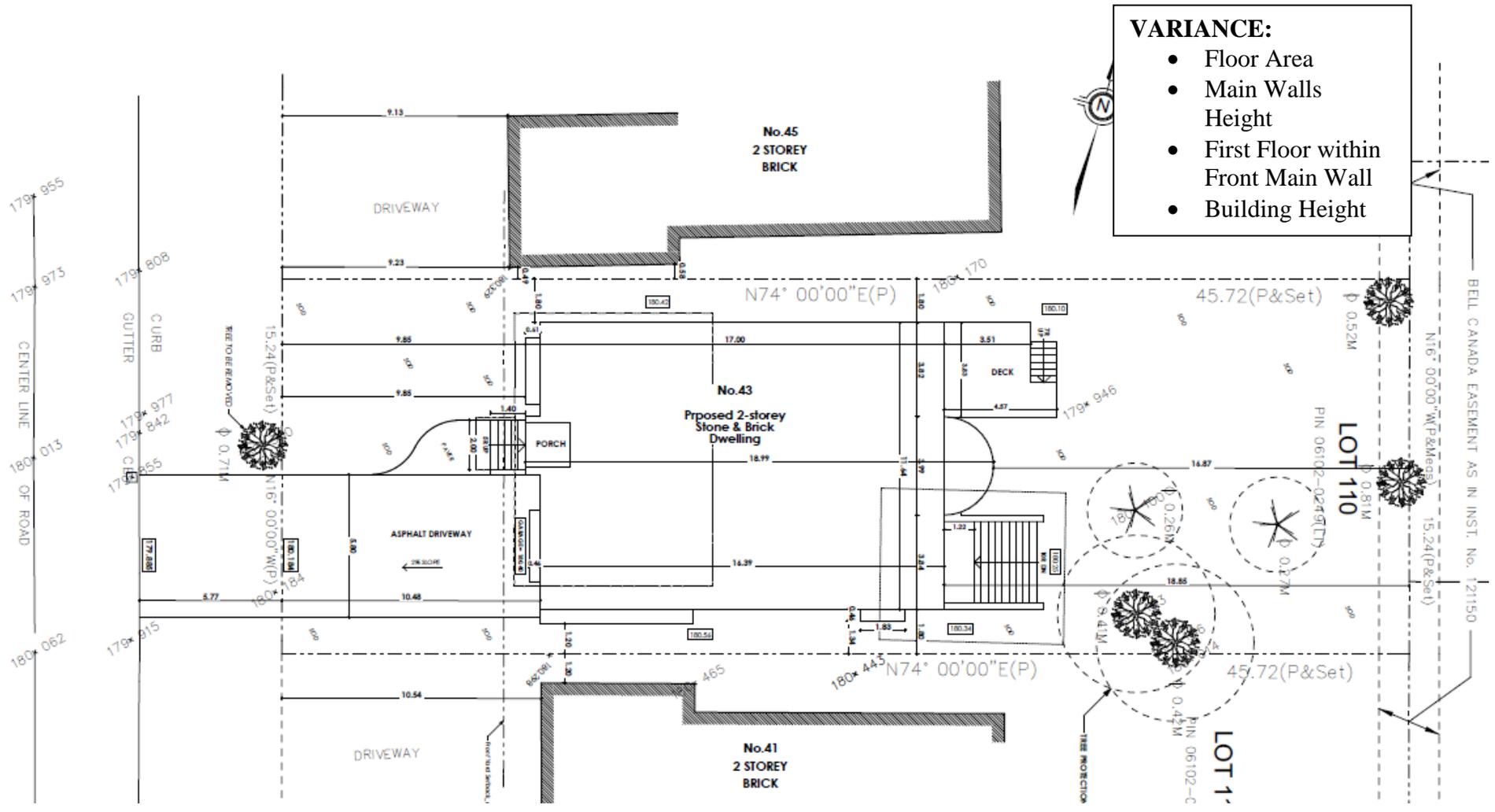
By-law No. 569-2013

1. To permit the proposed 336.3 square metres floor area, whereas the Zoning By-law permits maximum 279 square metres floor area.
2. To permit the proposed 7.3 metres side main walls height, whereas the Zoning By-law permits maximum 7 metres side main walls height.
3. To permit 0 square metres of the first floor to be within 4 metres of the front main wall, whereas the Zoning By-law requires a minimum of 10 square metres of the first floor to be within 4 metres of the front main wall.
4. To permit the proposed 9.2 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.

By-law No. 12360

5. To permit the proposed 336.3 square metres floor area, whereas the Zoning By-law permits maximum 279 square metres floor area.

BUENA VISTA AVENUE
 BY REGISTERED PLAN 4401
 PIN 06102-0356(LT)



8. 5131 SHEPPARD AVE E

File Number:	A0343/16SC	Zoning	Office Uses (OU), Apartment residential (A) & Commercial Residential (CR) Zone [Waiver]
Owners:	CITY OF TORONTO	Ward:	Scarborough-Rouge River (42)
Agent:	DIAMOND CORP	Heritage:	Not Applicable
Property Address:	5131 SHEPPARD AVE E	Community:	Malvern Community
Legal Description:	PLAN 66M2300 BLK 1		

PURPOSE OF THE APPLICATION:

This application is for variances for a proposed residential development with four 3-storey stacked townhouse buildings and three 6-storey apartment buildings, connected by one level of underground parking on vacant land on the east side of Markham Road, between Sheppard Avenue E. and Orchid Place Drive. The proposed development would include a range of unit sizes, including family-sized units.

This proposed development is also subject to Site Plan Approval by the City of Toronto (File No. 16 153771 ESC 42 SA).

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013:

- Chapter 5.10.40.70 (1) and (2)**
No building setback will be provided for the below-grade portions of buildings.
Whereas the minimum building setback from a lot line abutting a street is 3.0 metres and the minimum building setback to a side lot line that abuts a lot in a Residential Zone category or Residential Apartment Zone category that does not have operable windows is 3.0 m
- Chapter 40.10.40.70(3)(C)**
No building setback will be provided for the below-grade portions of buildings.
Whereas the main wall of a building without windows or openings must be set back at least 3.0 m from a side lot line abutting a lot in the R or RA zone category.
- Chapter 900.11.10 (487)(D)**
No building setback will be provided for the below-grade portions of buildings.
Whereas the minimum required building setback from a lot line abutting a street is 3.0 m
- Chapter 40.10.40.70(3)(D)(ii)**
Buildings A and B will penetrate the 45 degree angular plane along the rear yard setback facing Sheppard Avenue East.
Whereas a 45 degree angular plane is required along the required rear yard setback, at a height of 7.5 m above the average elevation of the ground or more.

5. **Chapter 40.10.40.80(2)(A)**
A minimum separation distance of 8.6 m is proposed between the facing walls of Buildings D and E and Buildings F and G (facing pairs of stacked townhouses), at the north and south ends of the buildings, up to a length of 7.2 m
Whereas a minimum above-ground distance of 11.0 m is required between the main wall of a building with windows and another main wall with windows facing it at a 90 degree angle, for the portions of the building with a height equal to or less than the right of way of the abutting street
6. **Chapter 40.10.40.10(5)**
A minimum first-storey height of 3.2 m will be provided.
Whereas a minimum first storey height of 4.5 m is required.
7. **Chapter 40.10.50.10(3)**
No soft landscaping is proposed adjacent to the eastern property line, a common property line shared with the lands to the east.
Whereas a minimum 1.5 m wide strip of soft landscaping is required along the part of the lot line abutting a lot in the Residential Zone category or Residential Apartment Zone category.
8. **Chapter 900.11.10(487)**
A total of 42.0 m² of enclosed recreation floor space will be provided for Phase 1 of the development and at final build-out there will be a minimum of 328 m² of enclosed recreation floor space provided.
Whereas a minimum of 1.0 m² of enclosed recreation floor space is required per dwelling unit, or a total minimum of 328 m² of enclosed recreation floor space is required at total build out and 121 m² of enclosed recreation floor space is required for Phase 1.
9. **Chapter 40.10.100.10(C)**
Two vehicle accesses are proposed.
Whereas only one vehicle access is permitted in the CR zone.
10. **Chapter 900.11.10(487)**
Parking is proposed on the basis of Policy Area 4 in By-law No. 569-2013:
 - i. at a minimum rate of :
 - a. 0.7 for each bachelor dwelling unit up to 45 square metres and 1.0 for each bachelor dwelling unit greater than 45 square metres;
 - b. 0.8 for each one bedroom dwelling unit;
 - c. 0.9 for each two bedroom dwelling unit; and
 - d. 1.1 for each three or more bedroom dwelling unit; and
 - ii. at a maximum rate of:
 - a. 1.0 for each bachelor dwelling unit up to 45 square metres and 1.3 for each bachelor dwelling unit greater than 45 square metres;

- b. 1.2 for each one bedroom dwelling unit;
- c. 1.3 for each two bedroom dwelling unit; and
- d. 1.6 for each three or more bedroom dwelling unit; and
 For a dwelling unit in an Apartment Building, parking spaces for visitors must be provided at a minimum rate of 0.15 for each dwelling unit;
 Whereas a minimum of 1.2 residential parking spaces and 0.2 visitor parking spaces per dwelling unit is required (total 1.4 parking spaces per dwelling unit).

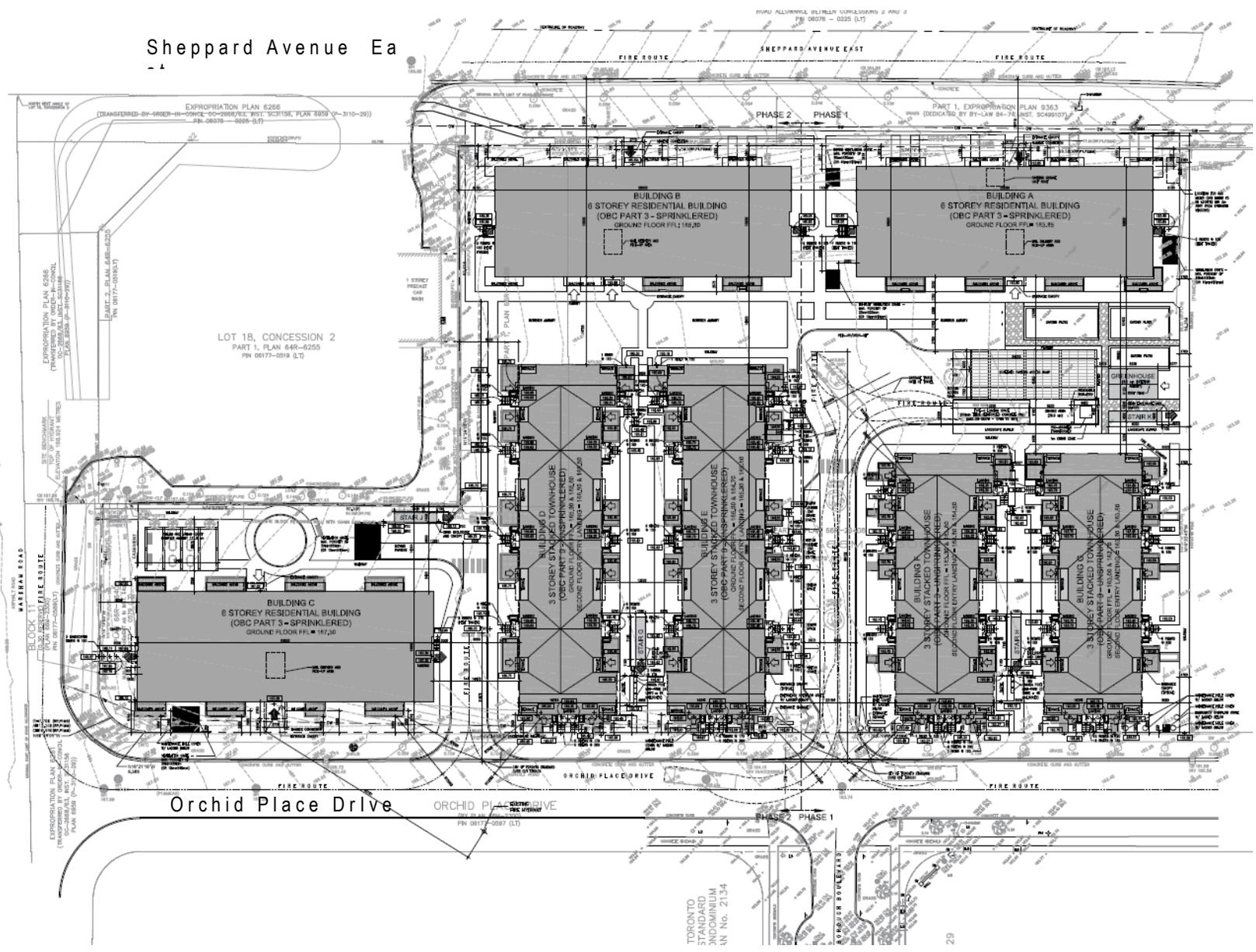
By-law No. 14402:

- 11. **CLAUSE VIII – ZONE PROVISIONS, Section 6(a) and CLAUSE V – INTERPRETATION (f)**
 For the purposes of this site, the definition of Apartment Building shall be the same as the definition in By-law No. 569-2013:
"Apartment Building means a building that has five or more dwelling units, with at least one dwelling unit entirely or partially above another, and each dwelling unit has a separate entrance directly from outside or through a common inside area. A building that was originally constructed as a detached house, semi-detached house or townhouse and has one or more secondary suites is not an apartment building."
 Whereas in the Malvern Community Zoning By-law No. 14402, the definition of Apartment Building is:
"Apartment Building means dwelling units arranged in a building so that five (5) or more dwelling units shall have common external access at grade level to the building."
- 12. **Performance Standard Chart – Schedule “B” – Item No. 132**
 No building setback is proposed for the below-grade portions of buildings.
 Whereas a minimum building setback of 3.0 m from streets applies to underground structures on the property.
- 13. **Performance Standard Chart – Schedule “B” – Item No. 432**
 A total of 42.0 m² of enclosed recreation floor space will be provided for Phase 1 of the development and at final build-out there will be a minimum of 328 m² of enclosed recreation floor space provided.
 Whereas a minimum of 1.0 m² of enclosed recreation floor space is required per dwelling unit, or a total minimum of 328 m² of enclosed recreation floor space is required at total build out and 121 m² of enclosed recreation floor space is required for Phase 1.
- 14. **Chapter 900.11.10(487)**
 Parking is proposed on the basis of Policy Area 4 in By-law No. 569-2013:
 - i. at a minimum rate of :
 - a. 0.7 for each bachelor dwelling unit up to 45 m² and 1.0 for each bachelor dwelling unit greater than 45 m²;
 - b. 0.8 for each one bedroom dwelling unit;
 - c. 0.9 for each two bedroom dwelling unit; and
 - d. 1.1 for each three or more bedroom dwelling unit; and

- ii. at a maximum rate of:
 - a. 1.0 for each bachelor dwelling unit up to 45 m² and 1.3 for each bachelor dwelling unit greater than 45 m²;
 - b. 1.2 for each one bedroom dwelling unit;
 - c. 1.3 for each two bedroom dwelling unit; and
 - d. 1.6 for each three or more bedroom dwelling unit; and
For a dwelling unit in an Apartment Building, parking spaces for visitors must be provided at a minimum rate of 0.15 for each dwelling unit;
Whereas a minimum of 1.2 residential parking spaces and 0.2 visitor parking spaces per dwelling unit is required (total 1.4 parking spaces per dwelling unit).

Sheppard Avenue Ea

Markham Road



MARKHAM ROAD
 ROAD ALLOWANCE BETWEEN LOTS 18 AND 19
 LIMIT CONFIRMED BY PLAN 84-809, REGISTERED AS PLAN 10348
 PLAN 08177 - 0225 (LT)

MARKHAM ROAD
 ROAD ALLOWANCE BETWEEN LOTS 18 AND 19
 LIMIT CONFIRMED BY PLAN 84-809, REGISTERED AS PLAN 10348
 PLAN 08177 - 0225 (LT)

ORCHID PLACE DRIVE
 ORCHID PLACE DRIVE
 PLAN 08177 - 0225 (LT)

TORONTO
 STANDARD
 ZONING BY-LAW
 471, 2012

9. 43 GUILDCREST DR

File Number:	A0369/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	YASMIN ISMAIL MUSTAFIZUR RAHMAN BHUIYAN	Ward:	Scarborough East (43)
Agent:	MUSTAFIZUR RAHMAN BHUIYAN	Heritage:	Not Applicable
Property Address:	43 GUILDCREST DR	Community:	Guildwood Community
Legal Description:	TORONTO CON D PT LOT 15 PLAN 3136 PT BLK A RP 66R649 PART 1		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a second storey addition to the existing one storey dwelling. This application was deferred at the February 16, 2017 hearing to allow the applicant time to post the required sign on the property.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & By-law No. 9676

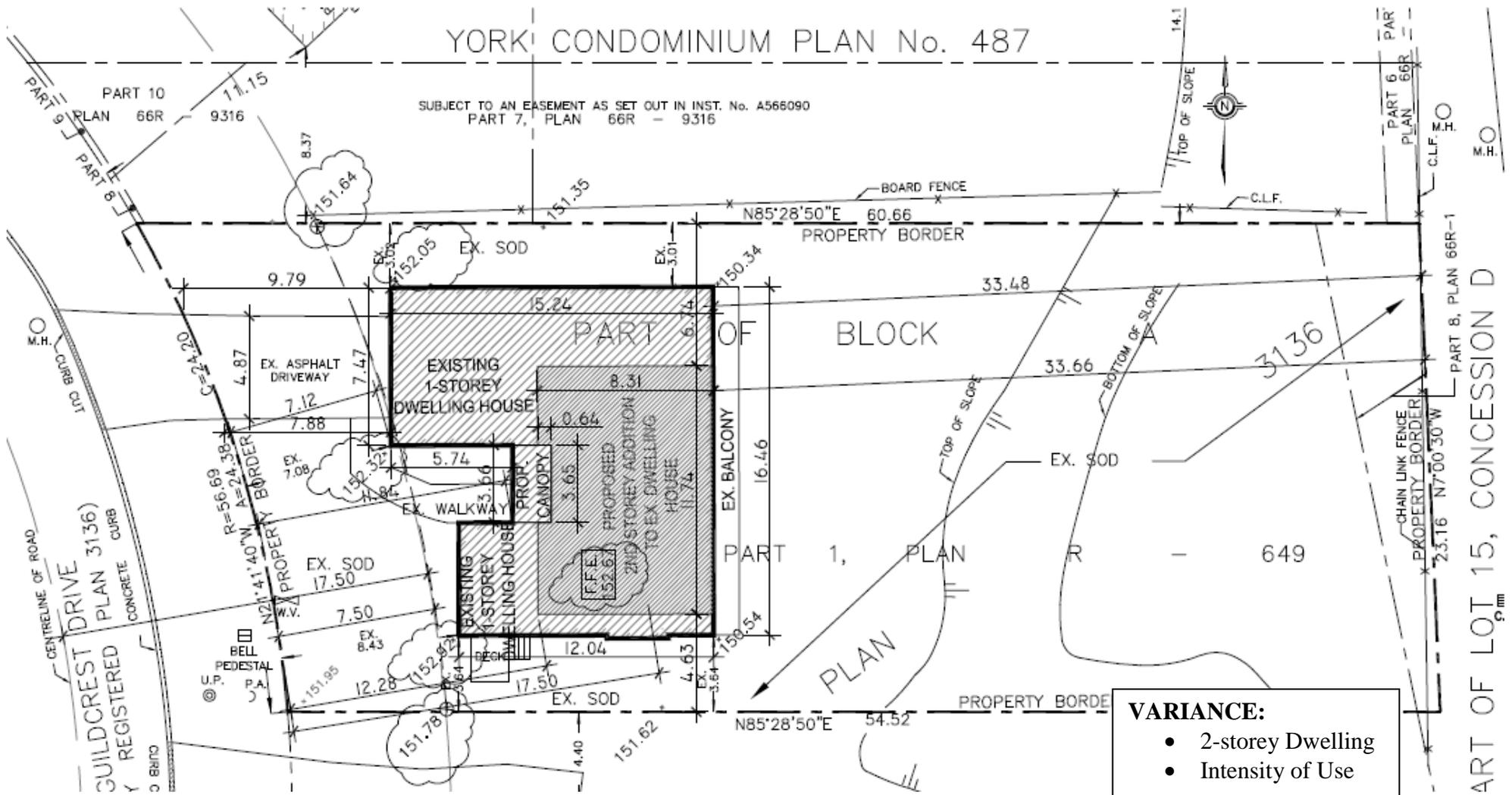
1. To permit the proposed two storey dwelling, whereas the Zoning By-law permits maximum one storey dwelling.

By-law No. 9676

2. To permit the existing single family dwelling on a part of a lot of the Registered Plan 3136, whereas the Zoning By-law permits maximum one single family dwelling per lot as show on a Registered Plan.

YORK CONDOMINIUM PLAN No. 487

SUBJECT TO AN EASEMENT AS SET OUT IN INST. No. A566090
PART 7, PLAN 66R - 9316



10. 38 MINNACOTE AVE

File Number:	A0375/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [WAIVER]
Owner(s):	GREGORY YHAN	Ward:	Scarborough East (44)
Agent:	JR CONTRACTING	Heritage:	Not Applicable
Property Address:	38 MINNACOTE AVE	Community:	West Hill Community
Legal Description:	PLAN 2441 PT LOT 53		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new roof over the existing side deck. This application was deferred at the February 16, 2017 hearing to allow the applicant time to post the required sign on the property.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

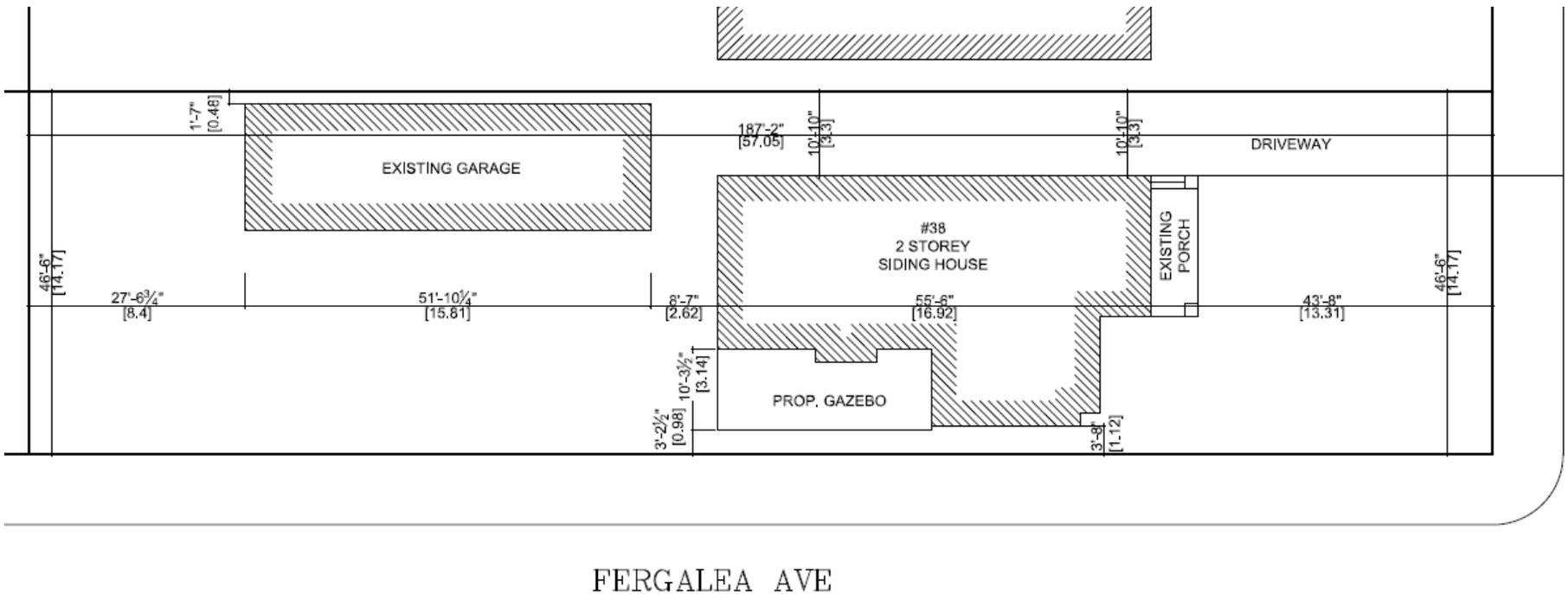
1. To permit the proposed 0.98 metres south side yard deck setback, whereas the Zoning By-law requires a minimum 2.1 metres side yard deck setback.

By-law No. 10327

2. To permit the proposed 0.98 metres south side yard deck setback, whereas the Zoning By-law requires a minimum 2.05 metres side yard deck setback.
3. To permit the proposed 3.8 metres by 8.3 metres side deck dimensions, whereas the Zoning By-law permits maximum 7.6 metres by 7.6 metres deck dimensions.

VARIANCE:

- Side Yard Setbacks
- Deck Dimensions



MINNACOTE AVE.

FERGALEA AVE

11. 17 SONNECK SQ

File Number:	A0389/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	FRANK DIPIETRO ALEKSANDRA DIPETRO	Ward:	Scarborough East (43)
Agent:	DAVID SMITH	Heritage:	Not Applicable
Property Address:	17 SONNECK SQ	Community:	Guildwood Community
Legal Description:	PLAN M943 LOT 168		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a second floor addition, a two storey rear addition, and a covered front porch. This application was deferred at the February 16, 2017 hearing because variance number 2 was omitted.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

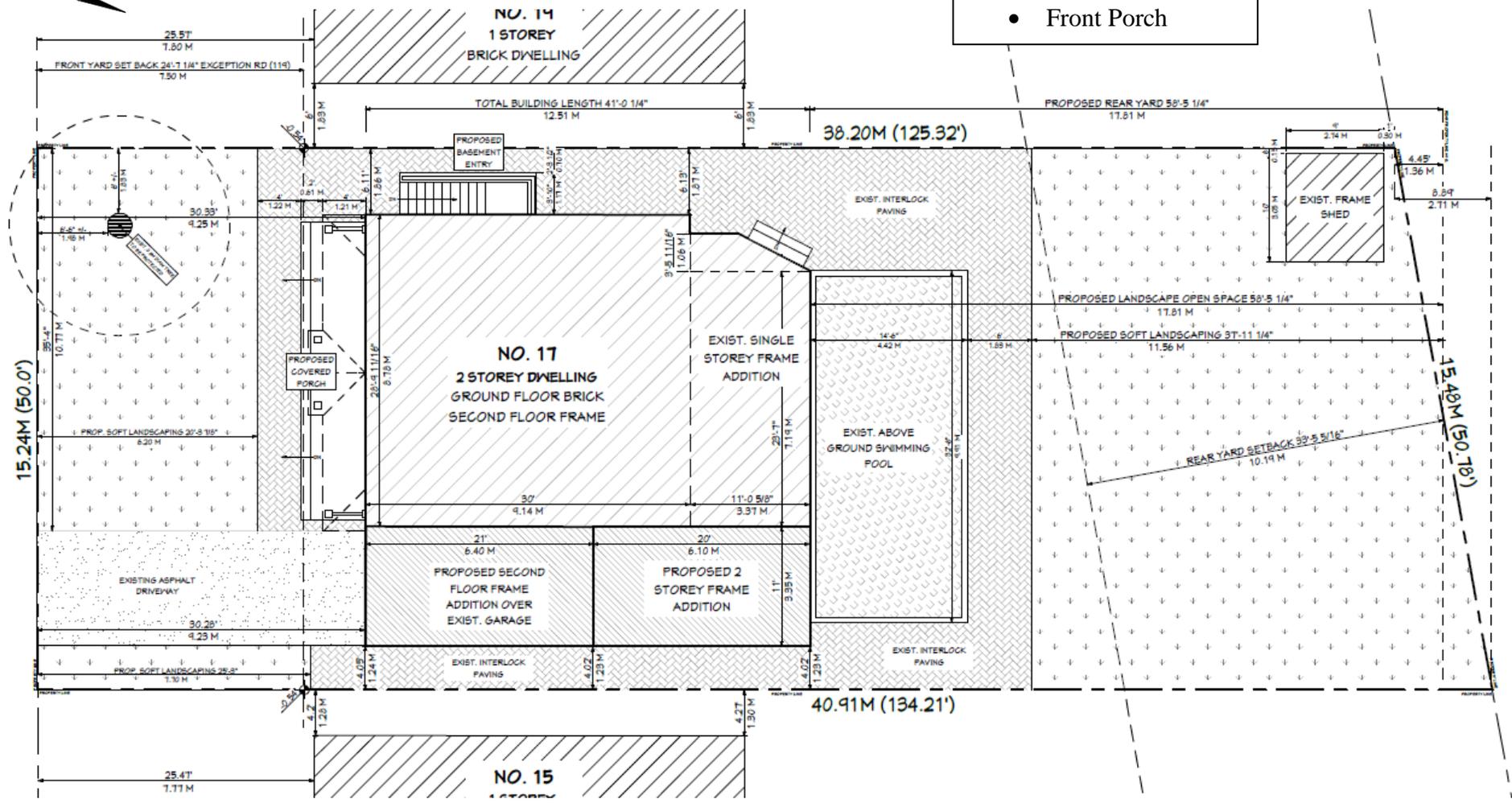
1. To permit the proposed 8.4 metres wide exterior stairs, whereas the Zoning By-law permits maximum 2 metres wide exterior stairs.
2. To permit the proposed 8.4 metres wide accessory building (front porch), whereas the Zoning By-law permits maximum 7.6 metres width for an accessory building.

SONNECK SQUARE



VARIANCE:

- Exterior Stairs
- Front Porch



12. 164 HEALE AVE

File Number:	A0391/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	ABUL MANJOOR RAHMAN FERDOUS ARA BEGUM	Ward:	Scarborough Southwest (36)
Agent:	KUOZUO	Heritage:	Not Applicable
Property Address:	164 HEALE AVE	Community:	Cliffside Community
Legal Description:	PLAN 66M2215 LOT 10		

PURPOSE OF THE APPLICATION:

To construct a two storey west and south side addition and a second storey addition over the existing dwelling and integral garage. The proposal also includes alterations to the interior and exterior facade.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & No. 9364:

1. The altered dwelling will have a height of 9.46 m;
Whereas the maximum permitted dwelling height is 9 m.
2. The altered dwelling will be three (3) storeys in height;
Whereas the maximum permitted number of storeys is two (2).

By-law No. 569-2013:

3. The altered dwelling will be located 5.2 m from the rear lot line;
Whereas the minimum required rear yard setback is 8.67 m.
4. The altered dwelling will have a total length of 21.4 m;
Whereas the maximum permitted dwelling length is 17 m.
5. The proposed rear deck will project into the required rear yard setback by 5.48 m;
Whereas the maximum permitted projection into a required rear yard setback is 2.5 m.

By-law No. 9364:

6. The altered dwelling will have a total floor area equal to 0.7 times the lot area (350.7 m²);
Whereas the maximum permitted floor area is 0.5 times the lot area (251.59 m²).
7. The altered dwelling will be located 5.2 m from the rear lot line;
Whereas the minimum required rear yard setback is 7.5 m.
8. The proposed rear deck will project into the required rear yard setback by 4.3 m;
Whereas the maximum permitted projection into a required rear yard setback is 1.55 m.

13. 69 FISHLEIGH DR

File Number:	A0400/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	MICHAIL FOTOPOULOS	Ward:	Scarborough Southwest (36)
Agent:	GRANT MORRIS ASSOCIATES LTD.	Heritage:	Not Applicable
Property Address:	69 FISHLEIGH DR	Community:	Cliffside Community
Legal Description:	PLAN 4072 LOT 9		

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage and rear deck.

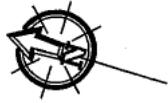
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed second storey rear balcony will have an area of 33.35 m²;
Whereas the maximum permitted area of a platform at or above the second storey is 4 m².

By-law No. 9364:

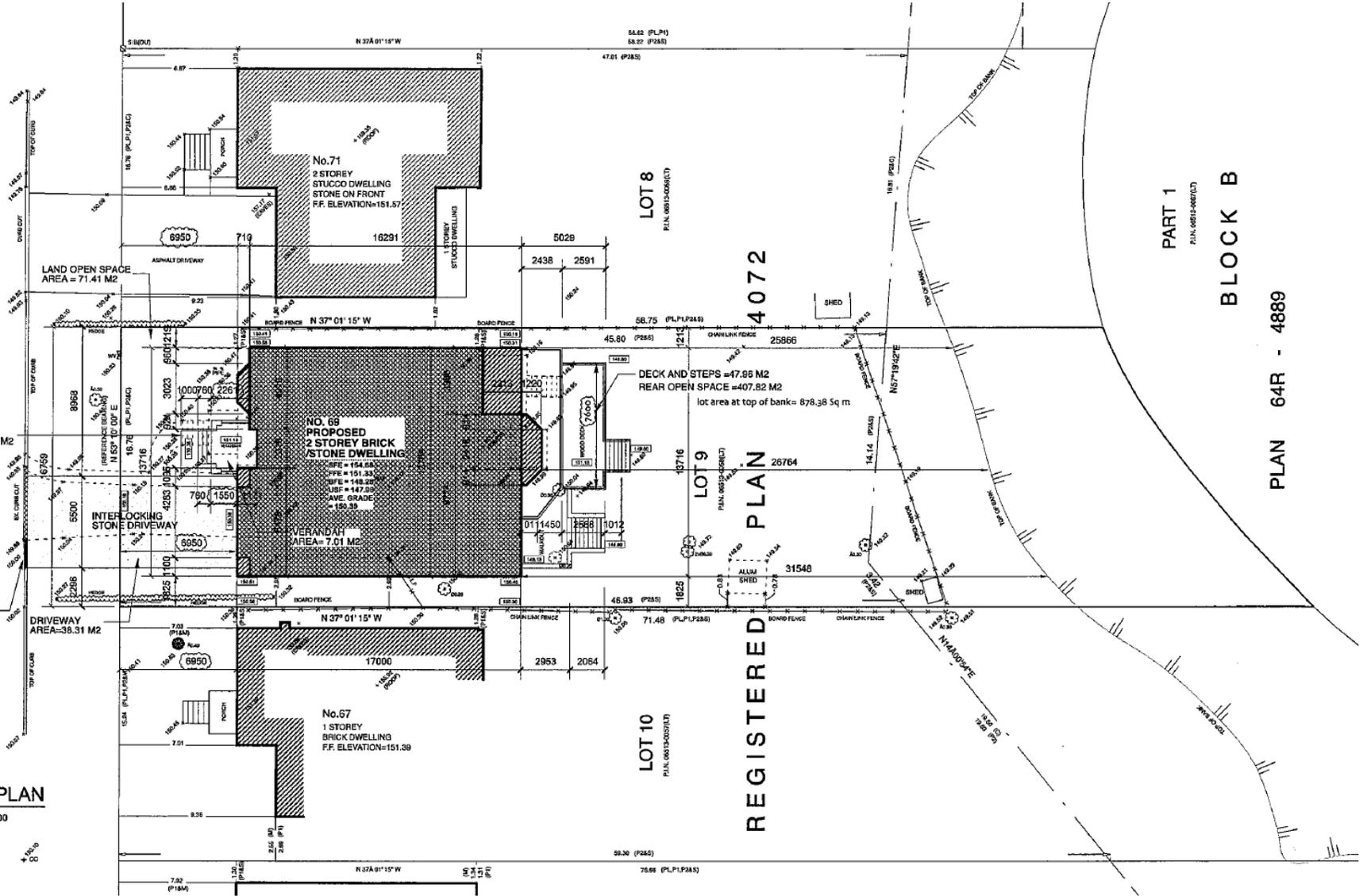
2. The proposed dwelling will be located 1.21 m from the east side lot line;
Whereas the minimum required side yard setback is 1.2 m plus 0.6 m for each additional storey, for a total required side yard setback of 1.8 m.



FISBLEIGH DRIVE

(BY REGISTERED PLAN 4072)
P.L. 06/13/00(M/L)

1 SITE PLAN
A1 SCALE: 1:200



PART 1
P.L. 06/13/00(M/L)

BLOCK B

PLAN 64R - 4889

REGISTERED PLAN 4072

14. 95 HOLLIS AVE

File Number:	A0006/17SC	Zoning	Residential Detached (RD) & Single Family (S) Zone
Owner(s):	SALEEMA WEEDA OSMANI BAKTASH OSMANI	Ward:	Scarborough Southwest (36)
Agent:	SALEEMA WEEDA OSMANI	Heritage:	Not Applicable
Property Address:	95 HOLLIS AVE	Community:	Birchcliff Community
Legal Description:	PLAN 3585 LOT 84		

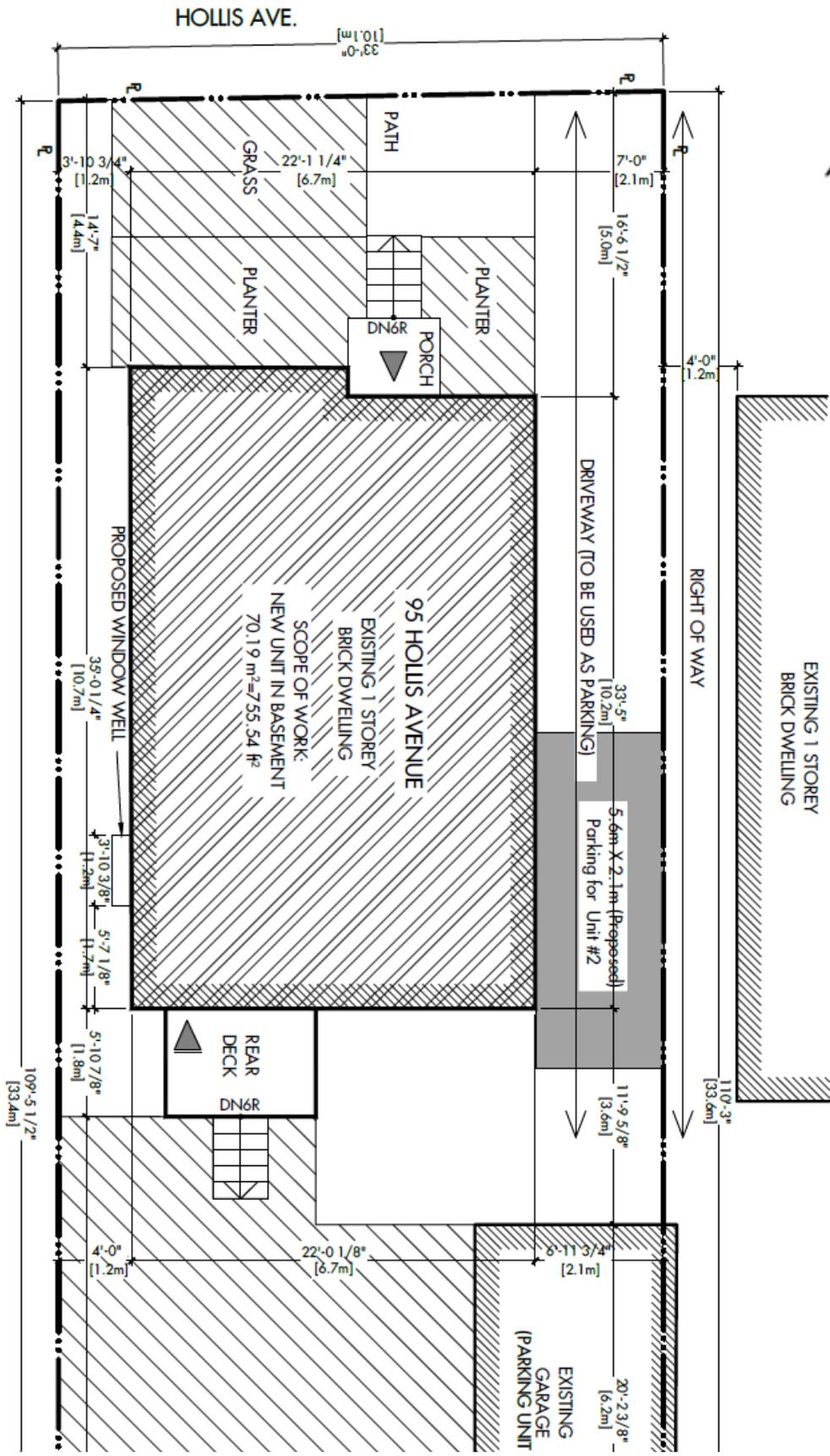
PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to permit a reduction in the size of the parking space for a second suite in the basement of the existing detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 8786:

1. The proposed parking space will have dimensions of 2.1 m wide by 5.6 m long;
Whereas the minimum required dimensions of a parking space is 3.3 m wide by 5.6 m long.



15. 48 LAURALYNN CRES

File Number:	A0007/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	TRANG THI THUY NGUYEN SIU MING TONG	Ward:	Scarborough-Rouge River (41)
Agent:	SUTHAR KAUSHIK	Heritage:	Not Applicable
Property Address:	48 LAURALYNN CRES	Community:	Agincourt Community
Legal Description:	PLAN 4382 LOT 245		

PURPOSE OF THE APPLICATION:

This application is for variances for a proposed new two storey house.

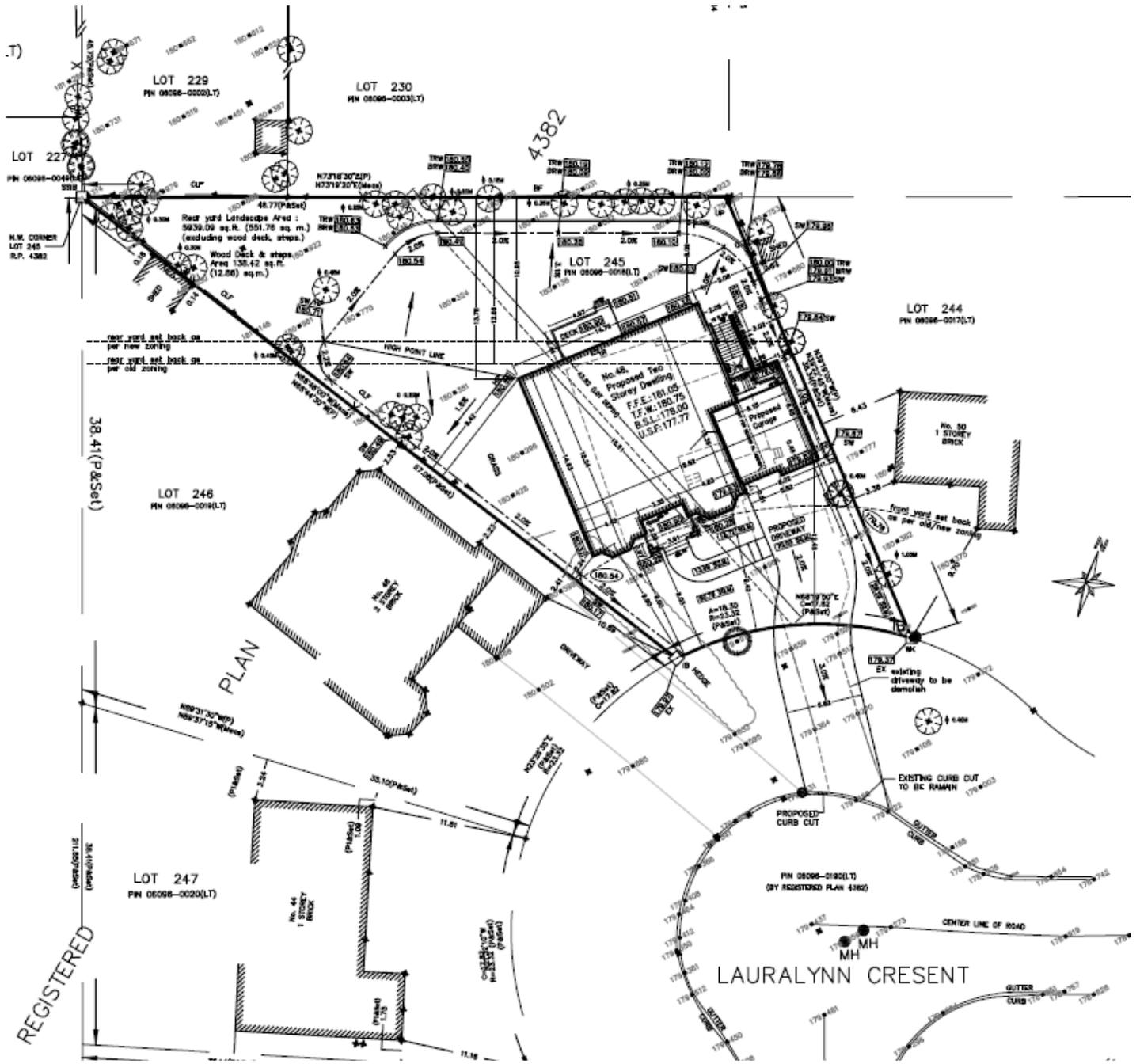
REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed rear yard setback is 8.0 metres
Whereas the minimum required rear yard setback is 10.95 metres.
2. The proposed building height is 9.8 m
Whereas the maximum permitted building height is 9 m

By-law No. 10076:

3. The proposed building height is 9.8 m
Whereas the maximum permitted building height is 9 m
4. The proposed rear yard setback is 8.0 metres
Whereas the minimum required rear yard setback is 12.7 metres.



16. 63 SCARBORO AVE

File Number:	A0008/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [WAIVER]
Owner(s):	BALAKUMARAN THIRAVIAM	Ward:	Scarborough East (44)
Agent:	CANTAM GROUP	Heritage:	Not Applicable
Property Address:	63 SCARBORO AVE	Community:	Highland Creek Community
Legal Description:	PLAN 2098 PT LOT 24		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two-storey single family dwelling. The existing dwelling would be demolished. This application was deferred at the February 16, 2017 hearing to allow the applicant time to post the required sign on the property.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

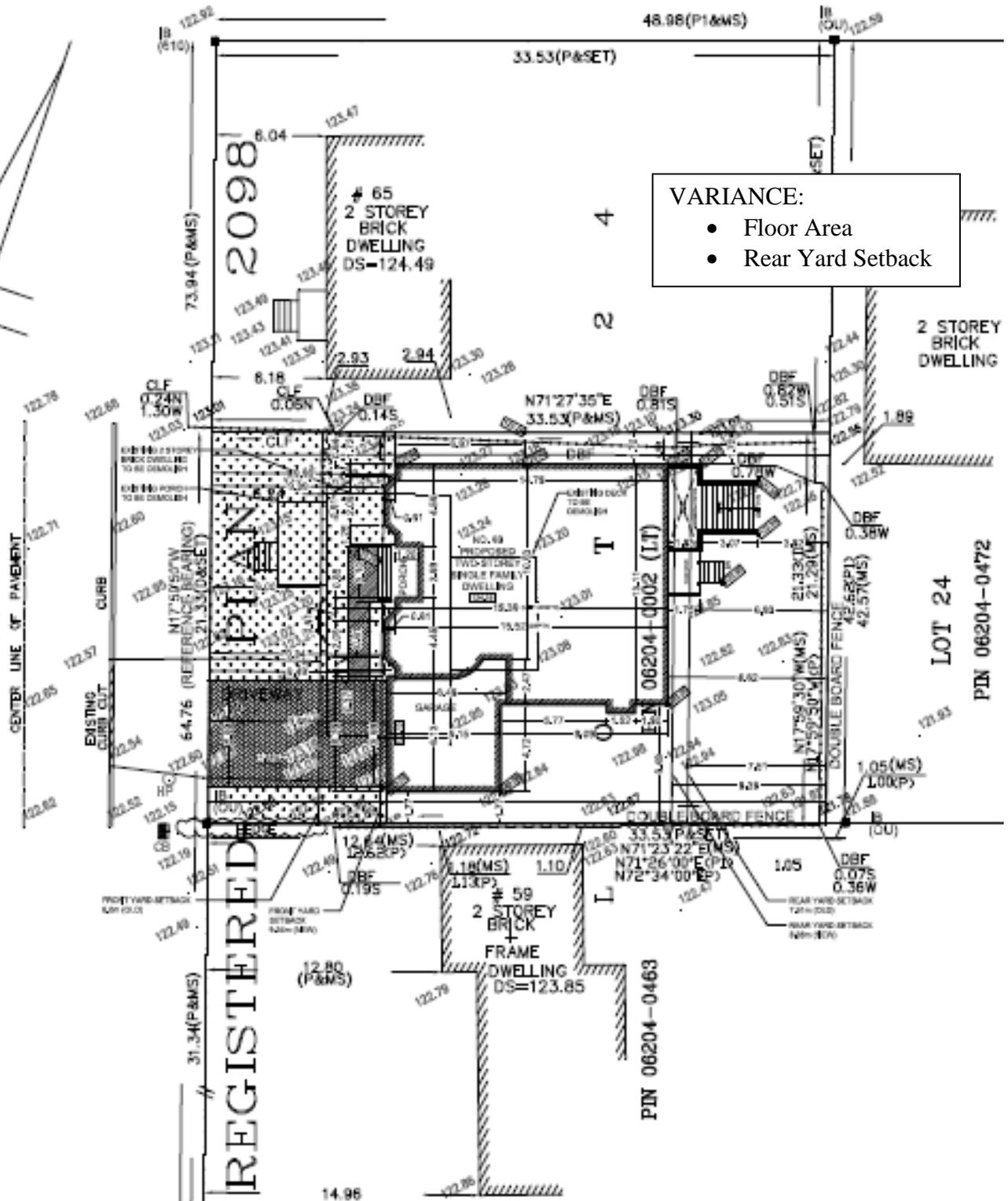
1. To permit the proposed 380 square metres floor area or 0.54 times the area of the lot, whereas the Zoning By-law permits maximum 285 square metres floor area or 0.4 times the area of the lot.
2. To permit the proposed 3.8 metres rear yard setback (to the walkout), whereas the Zoning By-law requires a minimum 8.38 metres rear yard setback.

By-law No. 10827

3. To permit the proposed 380 square metres floor area or 0.54 times the area of the lot, whereas the Zoning By-law permits maximum 285 square metres floor area or 0.4 times the area of the lot.
4. To permit the proposed 3.8 metres rear yard setback (to the walkout), whereas the Zoning By-law requires a minimum 7.51 metres rear yard setback.

EUCLID AVENUE

SCARBORO AVENUE
 (BY REGISTERED PLAN 2098)
 PIN 06204-0103 (IT)



VARIANCE:
 • Floor Area
 • Rear Yard Setback

17. 12 KILPATRICK PL

File Number:	A0026/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	ROZI LIAQAT KHADEEJA ALI	Ward:	Scarborough Centre (37)
Agent:	NADEEM IRFAN ARCHITECT	Heritage:	Not Applicable
Property Address:	12 KILPATRICK PL	Community:	Wexford Community
Legal Description:	PLAN 4822 LOT 5		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey detached single family dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 35.2% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
2. To permit the proposed 5.4 metres rear yard setback, whereas the Zoning By-law requires a minimum 7.5 metres rear yard setback.
3. To permit the proposed 5.1 metres platform encroachment into the 7.5 metres rear yard setback, whereas the Zoning By-law permits a maximum 2.5 metres platform encroachment into the required rear yard setback.

By-law No. 8786

4. To permit the proposed 36% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
5. To permit the proposed 71% front yard soft landscaping, whereas the Zoning By-law requires a minimum of 75% front yard soft landscaping.

The following applications will be heard at 11:00 a.m. or shortly thereafter:

18. 1 NORCAP AVE

File Number:	A0286/16SC	Zoning	Residential Detached (RD) & Single-Family Residential (S) Zone [ZR]
Owner(s):	XUE ZHI NA	Ward:	Scarborough-Agincourt (39)
Agent:	ALLERA ENGINEERING AND CONSTRUCTION INC	Heritage:	Not Applicable
Property Address:	1 NORCAP AVE	Community:	L'Amoreaux Community
Legal Description:	PLAN 4827 LOT 32		

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage. The existing detached dwelling will be demolished.

This application was deferred at the February 16, 2017 public hearing for further consultation with the Councillor and members of the community.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed dwelling will have a floor space index equal to 0.54 times the lot area (376.95 m²); Whereas the maximum permitted floor space index is 0.4 times the lot area (283.57 m²).
2. The proposed dwelling will be located 4.49 m from the west side lot line; Whereas the minimum required setback from a side lot line that abuts a street is 5.7 m.
3. The proposed dwelling will have a height of 9.96 m; Whereas the maximum permitted height of a dwelling is 9 m.
4. The proposed dwelling will have a length of 18.16 m; Whereas the maximum permitted dwelling length is 17 m.
5. The proposed dwelling will have a length of 20.22 m, as measured from the required front yard setback to the furthest portion of the buildings main rear wall. Whereas the maximum permitted building depth is 19 m.
6. The proposed west side porch will encroach into the required minimum side yard setback by 2 m; Whereas the maximum permitted encroachment into the required minimum side yard setback is 1.5 m.

By-law No. 12466:

7. The proposed dwelling will have a total floor area equal to 0.49 times the lot area (347.24 m²); Whereas the maximum permitted floor area is 0.4 times the lot area (283.57 m²).
8. The proposed dwelling will be located 4.49 m from the west side lot line; Whereas the minimum required setback from a side lot line on a corner lot is 5.7 m.
9. The proposed dwelling will have a height of 9.96 m; Whereas the maximum permitted dwelling height is 9 m.

19. 52 HOMESTEAD RD

File Number:	A0397/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	JAN BLASKO	Ward:	Scarborough East (44)
Agent:	DANIEL ALLAN	Heritage:	Not Applicable
Property Address:	52 HOMESTEAD RD	Community:	West Hill Community
Legal Description:	PLAN 3006 LOT 29		

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral garage and rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

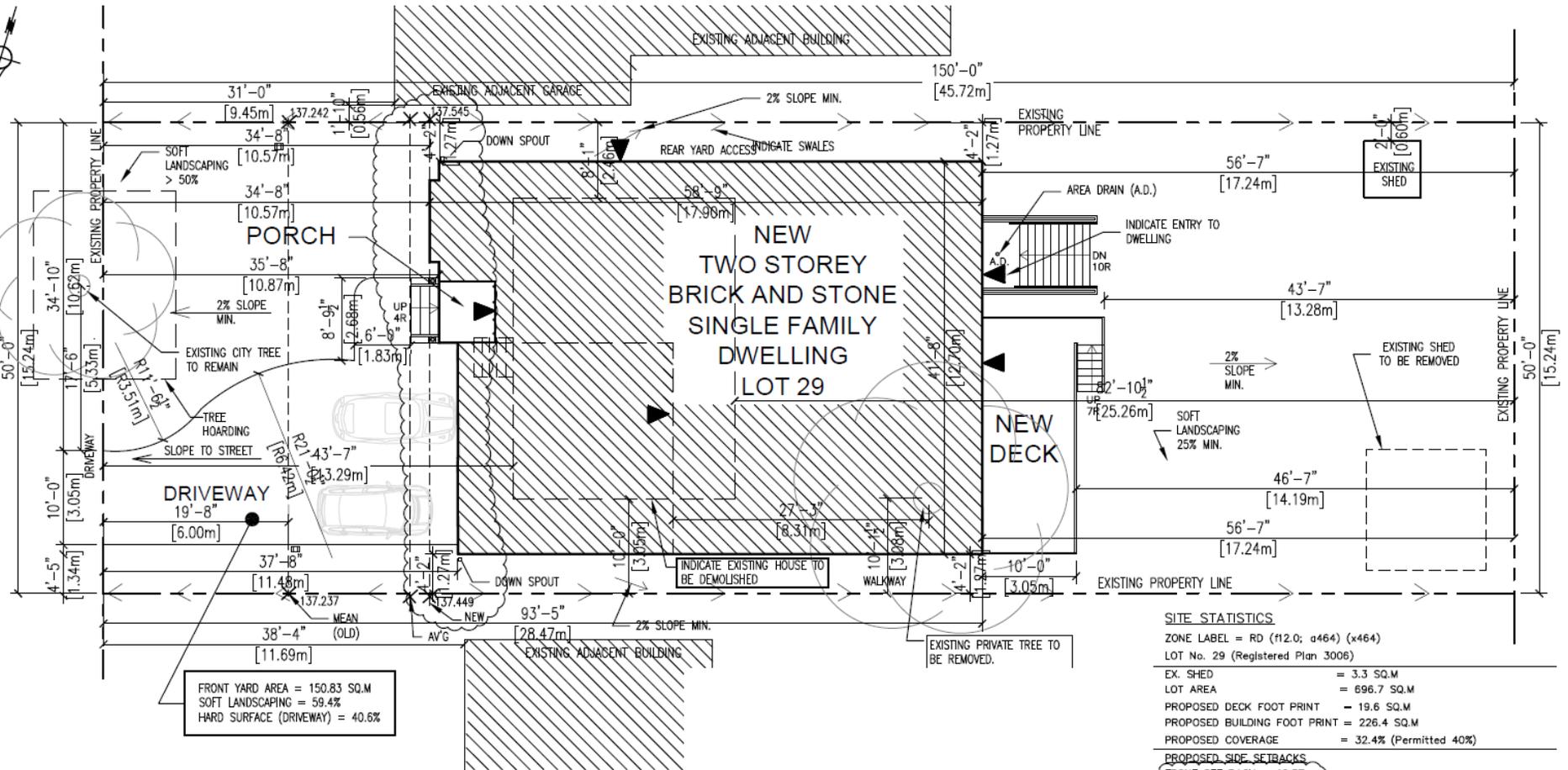
By-law 569-2013:

1. The proposed dwelling will have a gross floor area of 383.64 m²;
Whereas the maximum permitted gross floor area is 279 m².
2. The proposed dwelling will have a height of 9.66 m, as measured from established grade;
Whereas the maximum permitted dwelling height is 9 m.
3. The proposed dwelling will have a total length of 17.91 m;
Whereas the maximum permitted length is 17 m.

By-law No. 10327:

4. The proposed dwelling will have a total floor area of 374.02 m²;
Whereas the maximum permitted gross floor area is 279 m².
5. The proposed dwelling will have a height of 9.92 m, as measured from mean grade;
Whereas the maximum permitted dwelling height is 9 m.
6. The proposed rear deck will have a width of 7.66 m;
Whereas the maximum permitted area of an accessory structure (deck) is 7.6 m by 7.6 m.
7. The proposed dwelling will have a basement height of 1.05 m, as measured from the average grade at the front main wall to the ceiling of the basement;
Whereas the maximum permitted basement height is 1 m.

HOMESTEAD ROAD



FRONT YARD AREA = 150.83 SQ.M
 SOFT LANDSCAPING = 59.4%
 HARD SURFACE (DRIVEWAY) = 40.6%

PROPOSED SITE PLAN

SCALE 1/16" = 1'-0"

SITE PLAN TAKEN FROM ORIGINAL SURVEY

SITE STATISTICS

ZONE LABEL = RD (R12.0; a464) (x464)
 LOT No. 29 (Registered Plan 3006)

EX. SHED	= 3.3 SQ.M
LOT AREA	= 696.7 SQ.M
PROPOSED DECK FOOT PRINT	= 19.6 SQ.M
PROPOSED BUILDING FOOT PRINT	= 226.4 SQ.M
PROPOSED COVERAGE	= 32.4% (Permitted 40%)

PROPOSED SIDE SETBACKS

FRONT SET BACK = 10.57m
 SIDE SET BACK = 1.27m (1.5m permitted)
 SIDE SET BACK = 0.62m (1.5m permitted)
 REAR SET BACK = 17.24m (17.5m permitted)
 BUILDING LENGTH = 17.90m (17.0m permitted)

20. 16 HANCOCK CRES

File Number:	A0011/17SC	Zoning	RD - Residential Detached/ S- Single Family Residential [ZZC]
Owner(s):	RANDY BEHARRY RANIA KHUNAYSIR	Ward:	Scarborough Centre (37)
Agent:	RANDY BEHARRY	Heritage:	Not Applicable
Property Address:	16 HANCOCK CRES	Community:	Wexford Community
Legal Description:	PLAN 4963 LOT 24		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey side addition with a second storey over the existing one storey single family dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 9511

1. To permit the proposed 1.2 metres north side yard setback, whereas the Zoning By-law requires a minimum 1.8 metres side yard setback.

SURVEY INFORMATION

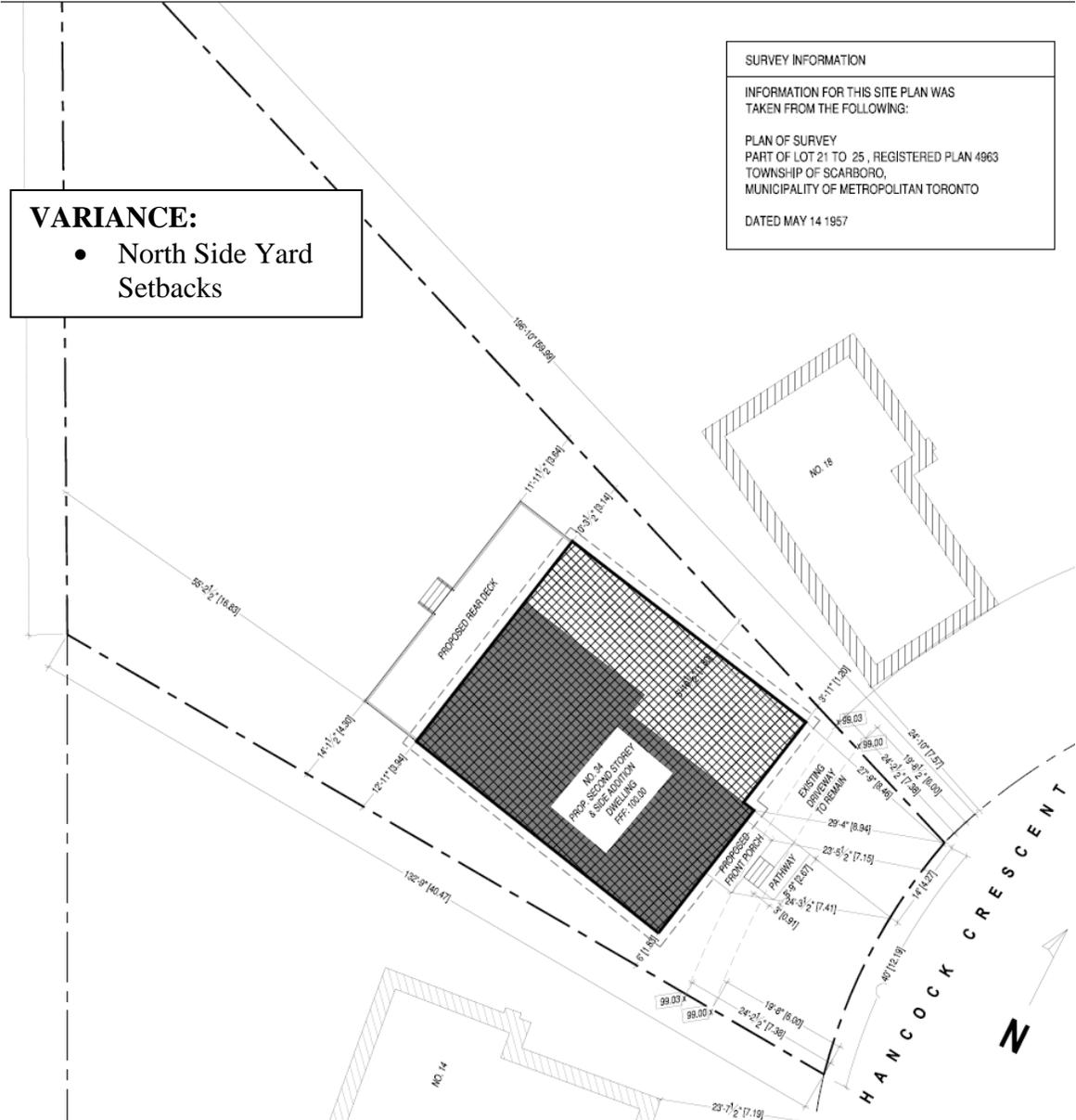
INFORMATION FOR THIS SITE PLAN WAS TAKEN FROM THE FOLLOWING:

PLAN OF SURVEY
 PART OF LOT 21 TO 25, REGISTERED PLAN 4963
 TOWNSHIP OF SCARBORO,
 MUNICIPALITY OF METROPOLITAN TORONTO

DATED MAY 14 1957

VARIANCE:

- North Side Yard Setbacks



21. 201 GALLOWAY RD

File Number:	A0013/17SC	Zoning	Commercial Residential (CR) Zone [Waiver]
Owners:	GALLOWAY DEVELOPMENTS GALLOWAY DEVELOPMENTS	Ward:	Scarborough East (43)
Agent:	ALEX BOROS DESIGN INC.	Heritage:	Not Applicable
Property Address:	201 GALLOWAY RD	Community:	West Hill Community
Legal Description:	PLAN M600 PT LOT 1		

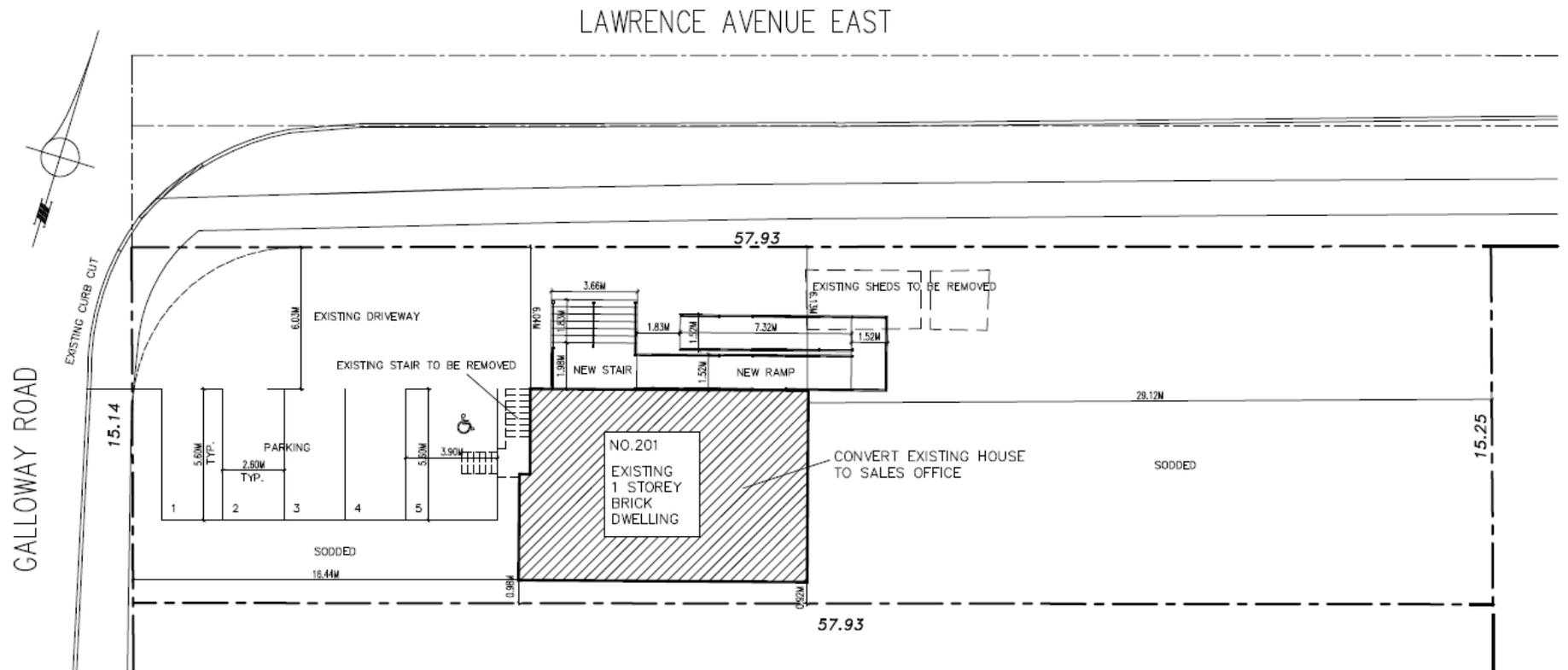
PURPOSE OF THE APPLICATION:

This application is for variances for a proposal to convert the existing bungalow into a temporary sales office for a proposed residential townhouse development.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & By-law No. 10327:

1. The proposed use is a sales office (retail and office use)
Whereas a sales office (retail and office use) is not a permitted use



22. 20 NORTH DR

File Number:	A0015/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	KRISTA PHILBRICK JEFF BLAST GRAHAM WRIGHT	Ward:	Scarborough Southwest (36)
Agent:	SOL ARCH	Heritage:	Not Applicable
Property Address:	20 NORTH DR	Community:	Birchcliff Community
Legal Description:	PLAN 3856 LOT 17		

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral garage and rear covered deck.

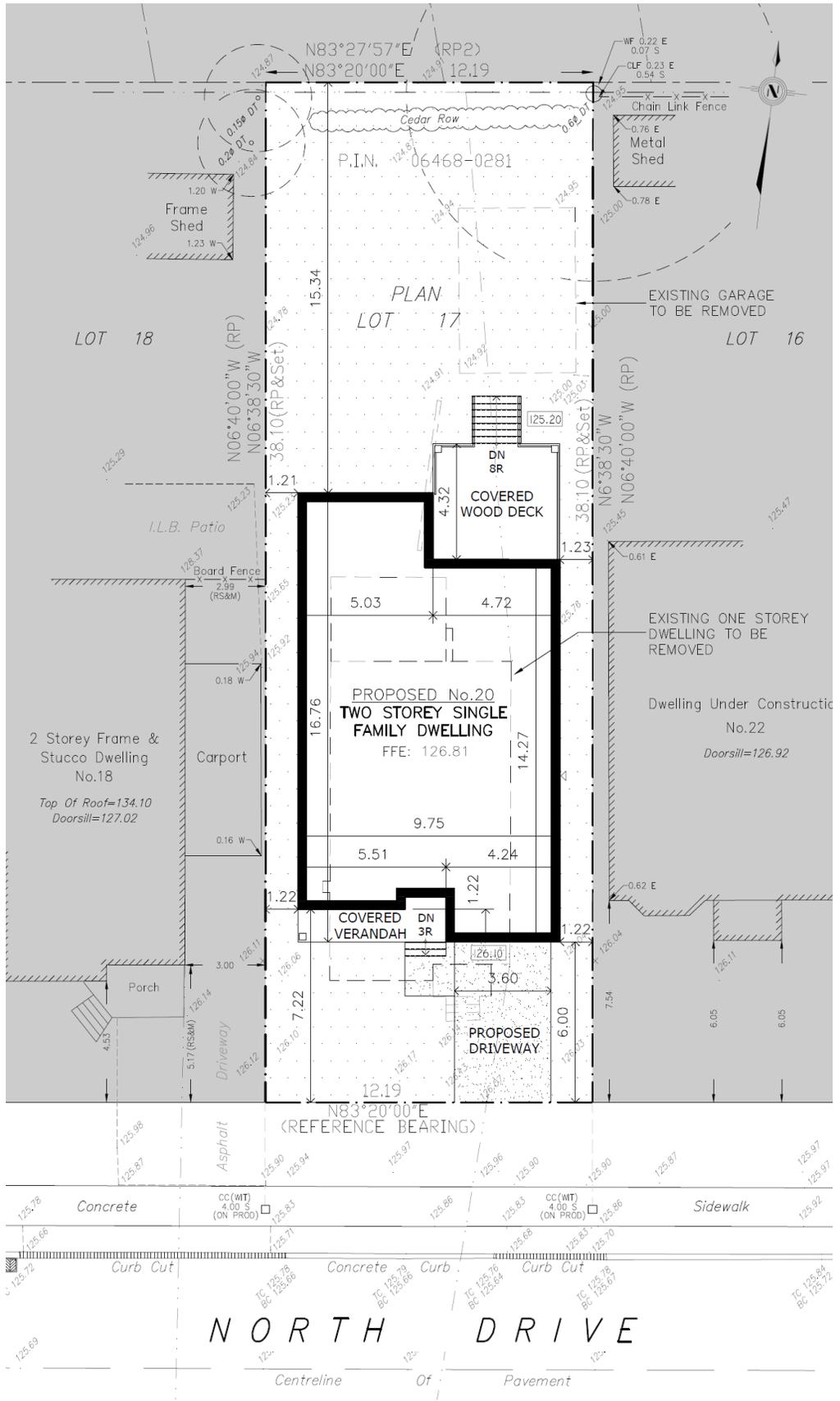
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed dwelling will have a floor space index equal to 0.61 times the lot area (270.68 m²);
Whereas the maximum permitted floor space index is 0.5 times the lot area (223.22 m²).

By-law No. 8786:

2. The proposed dwelling will cover 39% of the lot area (172 m²);
Whereas the maximum permitted lot coverage is 33% of the lot area (147.3 m²).
3. The proposed dwelling will have a total floor area equal to 0.59 times the lot area (263.83 m²);
Whereas the maximum permitted floor area is 0.5 times the lot area (223.22 m²).



23. 43 ST QUENTIN AVE

File Number:	A0016/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	ANGELO DRAGO GIUSEPPINA DRAGO	Ward:	Scarborough Southwest (36)
Agent:	GREGORY DESIGN GROUP	Heritage:	Not Applicable
Property Address:	43 ST QUENTIN AVE	Community:	Cliffcrest Community
Legal Description:	PLAN M350 LOT 81		

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & No. 9396:

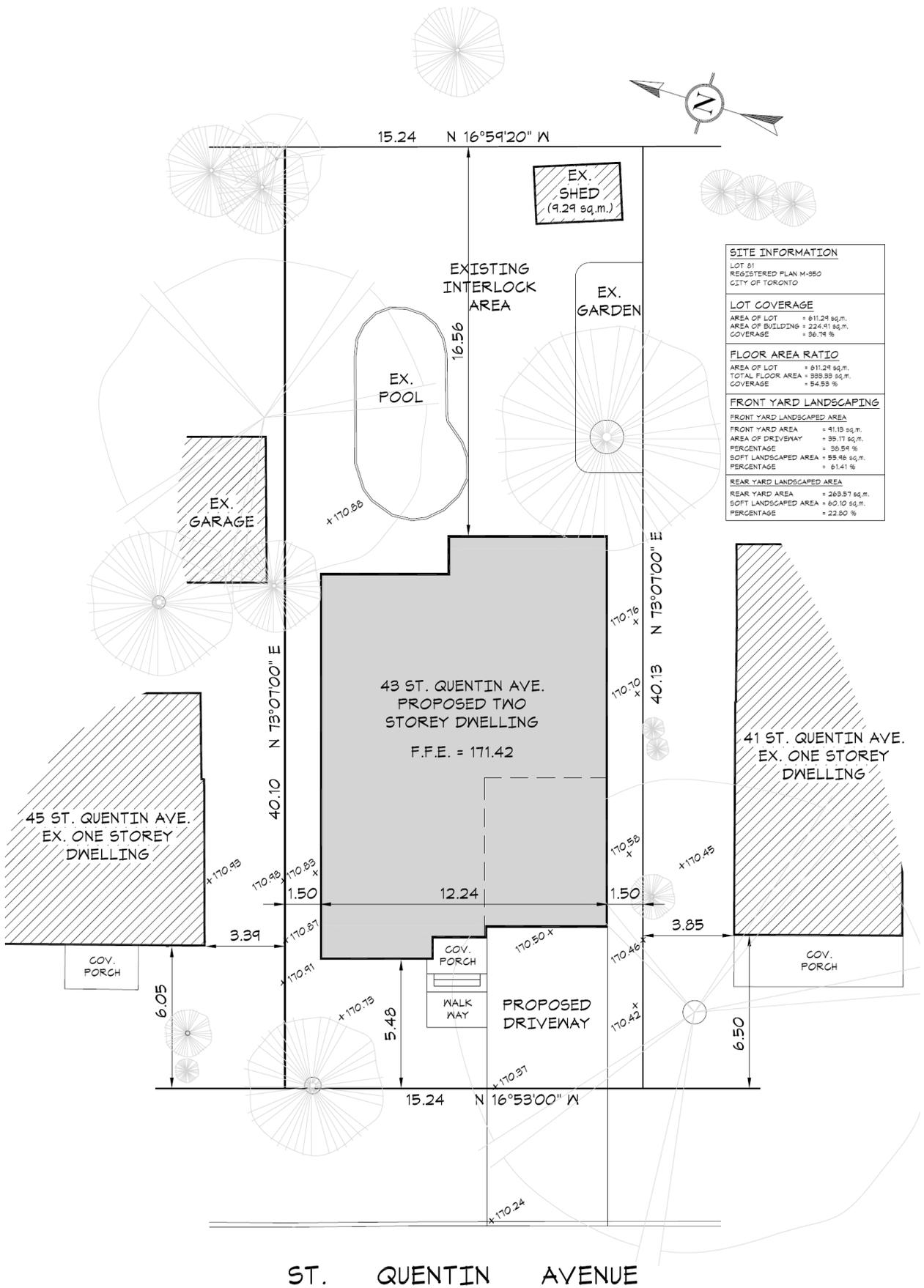
1. The proposed dwelling will cover 36.79% of the lot area (224.91 m²);
Whereas the maximum permitted lot coverage is 33% of the lot area (201.73 m²).

By-law No. 569-2013:

2. The proposed dwelling will have a gross floor area of 359.54 m²;
Whereas the maximum permitted gross floor area is 279 m².
3. The proposed dwelling will be located 5.48 m from the front lot line;
Whereas the minimum required front yard setback is 6.23 m.
4. The proposed dwelling will have a total length of 18.06 m;
Whereas the maximum permitted dwelling length is 17 m.
5. The proposed dwelling has an architectural feature that projects 0.61 m into the required front yard setback;
Whereas the maximum permitted encroachment for an architectural feature is 0.6 m.
6. The proposed front stairs are 2.56 m wide;
Whereas exterior stairs may encroach into a required minimum building setback if the stairs are no wider than 2 m.
7. A total of 22.8% of the required rear yard landscaping will be maintained as soft landscaping (60.1 m²);
Whereas a minimum of 50% of the required front yard landscaping shall be maintained as soft landscaping (131.79 m²).

By-law No. 9396:

8. The proposed dwelling will have a total floor area of 342.59 m²;
Whereas the maximum permitted total floor area is 232 m².
9. The proposed dwelling will be located 5.48 m from the street line;
Whereas the minimum required front yard setback is 6 m.



SITE INFORMATION	
LOT 81 REGISTERED PLAN M-350 CITY OF TORONTO	
LOT COVERAGE	
AREA OF LOT	= 611.24 sq.m.
AREA OF BUILDING	= 224.41 sq.m.
COVERAGE	= 36.74 %
FLOOR AREA RATIO	
AREA OF LOT	= 611.24 sq.m.
TOTAL FLOOR AREA	= 333.33 sq.m.
COVERAGE	= 54.53 %
FRONT YARD LANDSCAPING	
FRONT YARD LANDSCAPED AREA	
FRONT YARD AREA	= 41.19 sq.m.
AREA OF DRIVEWAY	= 35.17 sq.m.
PERCENTAGE	= 39.54 %
SOFT LANDSCAPED AREA	= 55.96 sq.m.
PERCENTAGE	= 61.41 %
REAR YARD LANDSCAPED AREA	
REAR YARD AREA	= 265.57 sq.m.
SOFT LANDSCAPED AREA	= 60.10 sq.m.
PERCENTAGE	= 22.60 %

24. 62 BELINDA SQ

File Number:	A0022/17SC	Zoning	Residential Semi-Detached (RS) & Semi-Detached (SD) Zone [ZR]
Owner(s):	JAMES THOMAS YOUNG RAMONA NADIA YOUNG	Ward:	Scarborough-Agincourt (39)
Agent:	JOHN ROBERT CARLEY ARCHITECT INCORP	Heritage:	Not Applicable
Property Address:	62 BELINDA SQ	Community:	Steeles Community
Legal Description:	PLAN M1930 PT LOT 213 RP 66R11915 PART 1		

PURPOSE OF THE APPLICATION:

To construct a two-storey rear and north-side addition to the existing dwelling.

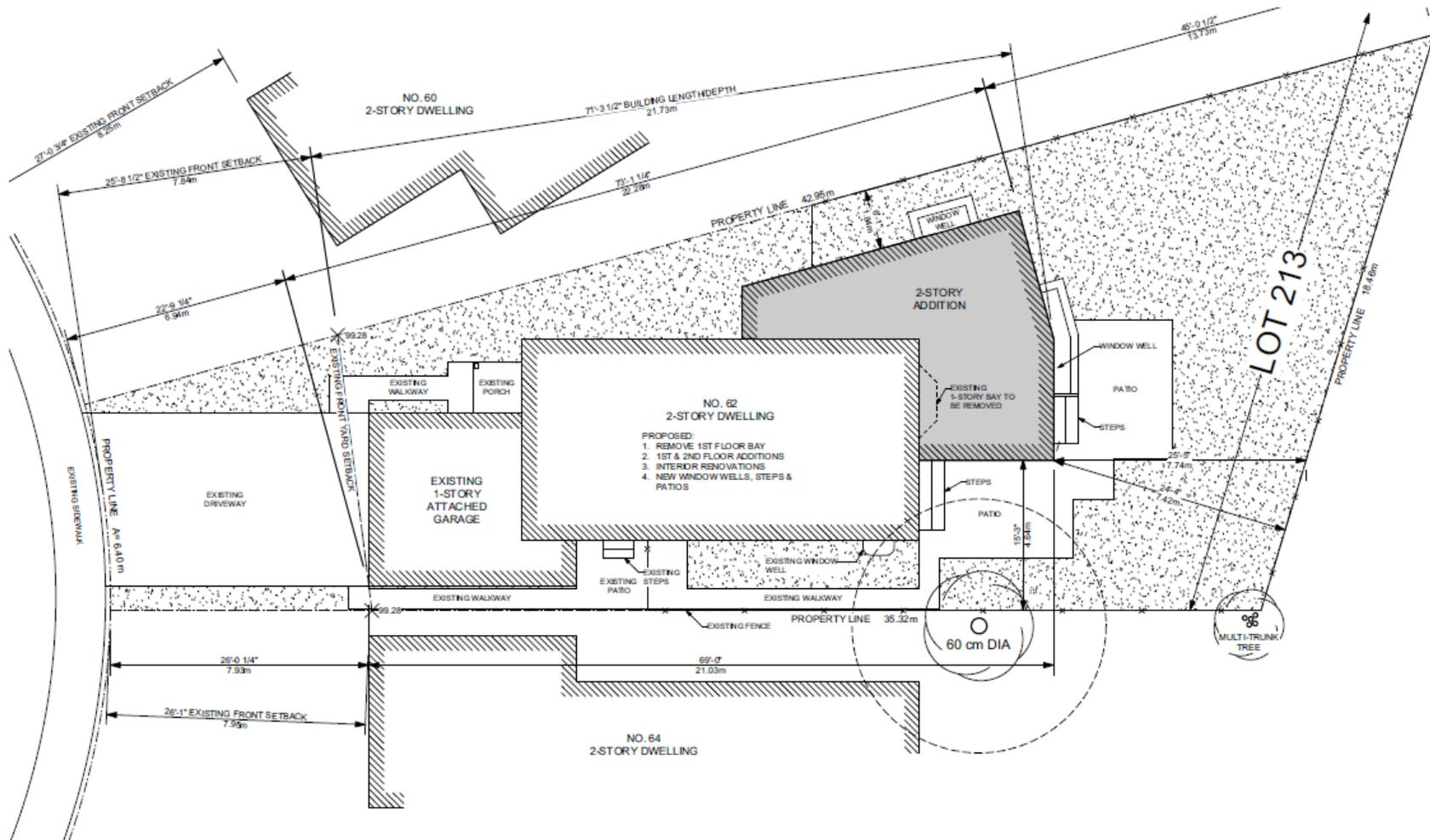
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The altered dwelling will be located 7.4 m from the north-east corner of the rear lot line; Whereas the minimum required rear yard setback is 9.79 m.
2. The altered dwelling will have a total length of 21.73 m; Whereas the maximum permitted dwelling length is 17 m.
3. The altered dwelling will have a total depth of 21.73 m; Whereas the maximum permitted building depth, as measured from the minimum front yard setback line, is 19 m.

By-law No. 16762:

4. The altered dwelling will be located 7.4 m from the north-east corner of the rear lot line; Whereas the minimum required rear yard setback is 7.5 m.



25. 14 PARKVIEW HTS

File Number:	A0023/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	SUMATHY RAMANATHAN RAGHAVAN RAMANATHAN	Ward:	Scarborough Southwest (36)
Agent:	PAMELA PAN	Heritage:	Not Applicable
Property Address:	14 PARKVIEW HTS	Community:	Birchcliff Community
Legal Description:	PLAN 3288 LOT 39		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a second floor addition to the existing one-storey dwelling, with a two-storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 2.71 metres wide exterior front stairs, whereas the Zoning By-law permits maximum 2 metres wide exterior stairs that encroach into a required minimum building setback.
2. To permit the eaves of the roof encroach into the north side yard setback by 0.07 metres, whereas the Zoning By-law permits 0.0 metres for the eaves of a roof to encroach into a required minimum building setback.
3. To permit the proposed 40% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
4. To permit the proposed 9.34 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
5. To permit the proposed 7.05 metres front and rear exterior main walls, whereas the Zoning By-law permits maximum 7 metres front, side and rear exterior main walls.
6. To permit the proposed 264 square metres floor area or 0.705 times the lot area, whereas the Zoning By-law permits maximum 224 square metres floor area or 0.6 times the lot area.
7. To permit the proposed 0.15 metres north side yard setback, whereas the Zoning By-law requires a minimum 0.45 metres side yard setback.

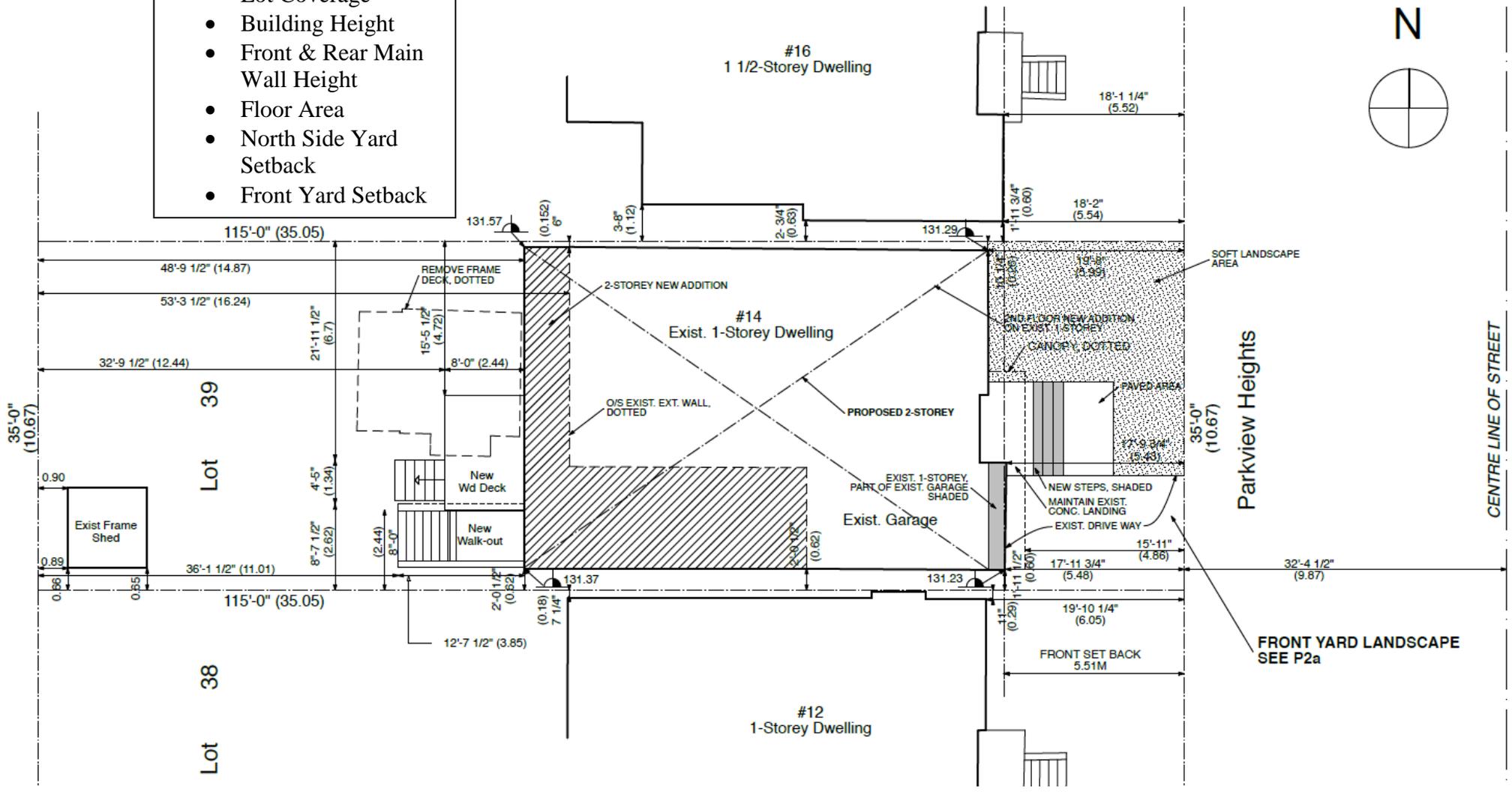
By-law No. 8786

8. To permit the proposed 5.48 metres front yard setback, whereas the Zoning By-law requires a minimum 6 metres front yard setback.

9. To permit the proposed 40% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
10. To permit the proposed 9.34 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
11. To permit the proposed 267 square metres floor area or 0.713 times the lot area, whereas the Zoning By-law permits maximum 224 square metres floor area or 0.6 times the lot area.
12. To permit the proposed 0.152 metres north side yard setback, whereas the Zoning By-law requires a minimum 0.45 metres side yard setback.

VARIANCE:

- Exterior Stair Width
- Eaves of the Roof
- Lot Coverage
- Building Height
- Front & Rear Main Wall Height
- Floor Area
- North Side Yard Setback
- Front Yard Setback



26. 189 CONFEDERATION DR

File Number:	A0024/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	PATEL FIROJABANU FAROOQUE PATEL	Ward:	Scarborough East (43)
Agent:	FAROOQUE PATEL	Heritage:	Not Applicable
Property Address:	189 CONFEDERATION DR	Community:	Woburn Community
Legal Description:	PLAN 8076 LOT 70		

PURPOSE OF THE APPLICATION:

To construct a second storey addition over the existing 1-1/2 storey split level dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The altered dwelling will be located 6.17 m from the front lot line;
Whereas the minimum required front yard setback is 7.03 m.
Note: this is an existing condition.
2. The proposed second floor balcony will encroach 1.57 m into the required front yard setback;
Whereas the maximum permitted encroachment for a platform is 1.5 m.
3. The altered dwelling will be located 7.84 m from the rear lot line;
Whereas the minimum required rear yard setback is 7.9 m.
Note: this is an existing condition.
4. The altered dwelling will have a height of 9.3 m;
Whereas the maximum permitted dwelling height is 9 m.
5. The altered dwelling will have a total length of 17.4 m;
Whereas the maximum permitted dwelling length is 17 m.
Note: this is an existing condition.
6. The proposed south side platform (front balcony) will have an area of 6 m²;
Whereas the maximum permitted area of a platform at or above the second storey is 4 m².

By-law No. 9510:

7. The proposed dwelling will be located 1.68 m from the west side lot line and 1.75 m from the east side lot line;
Whereas the minimum required side yard setback is 1.2 m plus 0.6 m for each additional storey, for a total required side yard setback of 1.8 m.

27. 55 FALLINGBROOK RD

File Number:	A0028/17SC	Zoning	Single Family Residential (S) & Residential Detached (RD) Zone [ZR]
Owners:	RICHARD JOHN MONTGOMERY	Ward:	Scarborough Southwest (36)
Agent:	STUDIO 64 DESIGNS INC	Heritage:	Not Applicable
Property Address:	55 FALLINGBROOK RD	Community:	Birchcliff Community
Legal Description:	PLAN 2836 LOT 14		

PURPOSE OF THE APPLICATION:

Proposal for a second storey addition at the front of the existing house.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

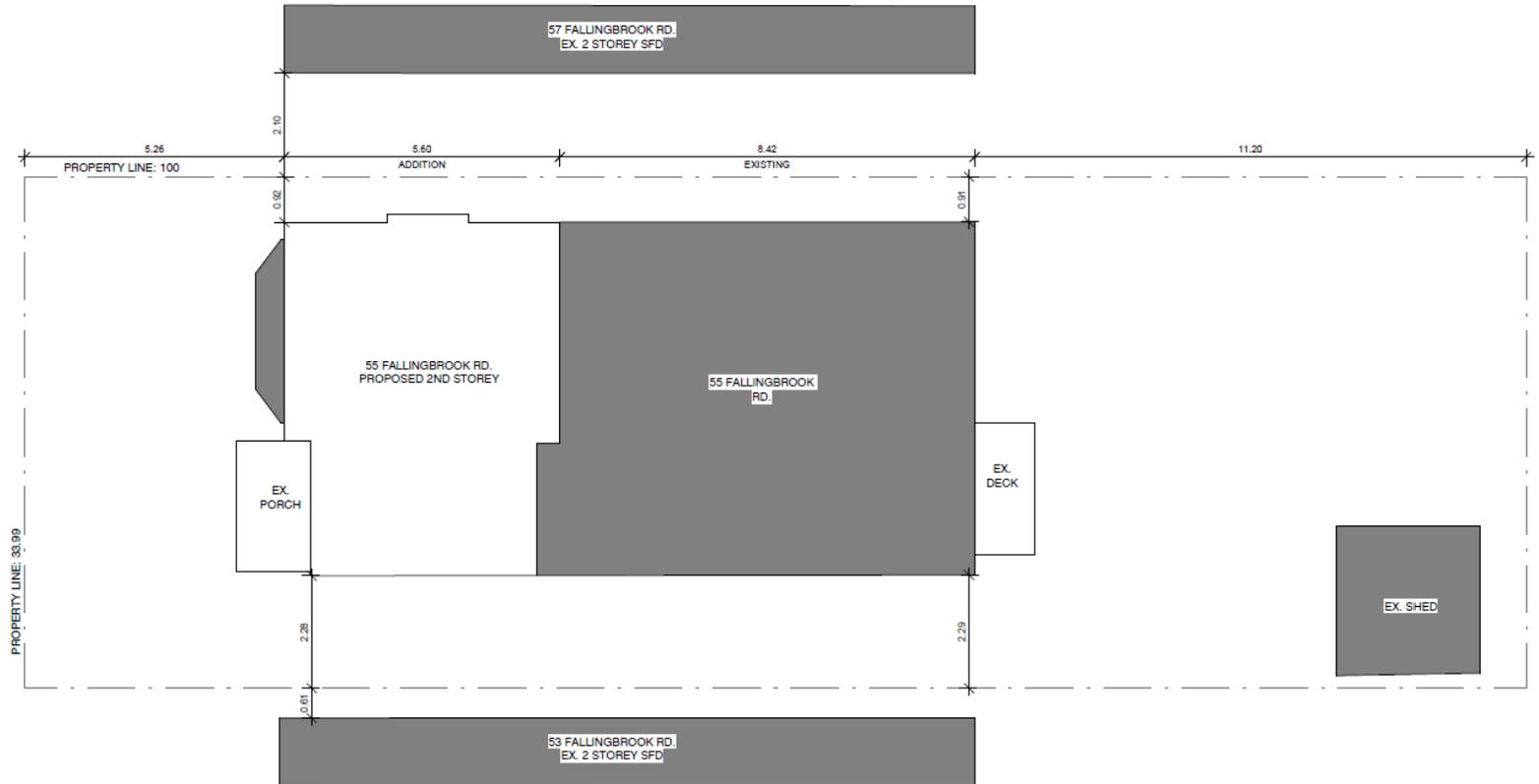
By-law No. 569-2013 & By-law No. 8786:

1. The proposed floor area is 0.64 x the area of the lot (203 m²)
Whereas the maximum permitted floor area is 0.6 x the area of the lot (189 m²)

By-law No. 8786:

2. The existing/proposed front yard setback is 5.2 m
Whereas the minimum required front yard setback is 6 m

FALLINGBROOK RD



LOT AREA: 3400 sqft (315.87m²)

EX. MAIN FLOOR GFA = 1086.66sqft (101m²)

EX. SECOND FLOOR GFA = 679.38 sqft (63.12m²)

PROPOSED SECOND FLOOR GFA = 1088.63 sqft (101.14m²)

TOTAL PROPOSED GFA = 2175.29 sqft (202.09m²)

TOTAL GFA / LOT AREA = 64%

EX. BUILDING COVERAGE = 1087.13 sqft (101m²)

EX. SHED COVERAGE = 94.25 sqft (8.76m²)

TOTAL COVERAGE = 1181.38 sqft (109.75m²)

TOTAL COVERAGE / LOT AREA = 35%

28. 45 VALHALLA BLVD

File Number:	A0029/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	SOMMERWELL DEVELOPMENT CORPORATION	Ward:	Scarborough Southwest (36)
Agent:	SOMMERWELL DEVELOPMENT CORP	Heritage:	Not Applicable
Property Address:	45 VALHALLA BLVD	Community:	Birchcliff Community
Legal Description:	PLAN 1902 LOT 106		

PURPOSE OF THE APPLICATION:

To construct a two storey front and rear addition and a second storey addition over the existing detached dwelling. The proposal includes a new front porch, new rear deck and interior alterations.

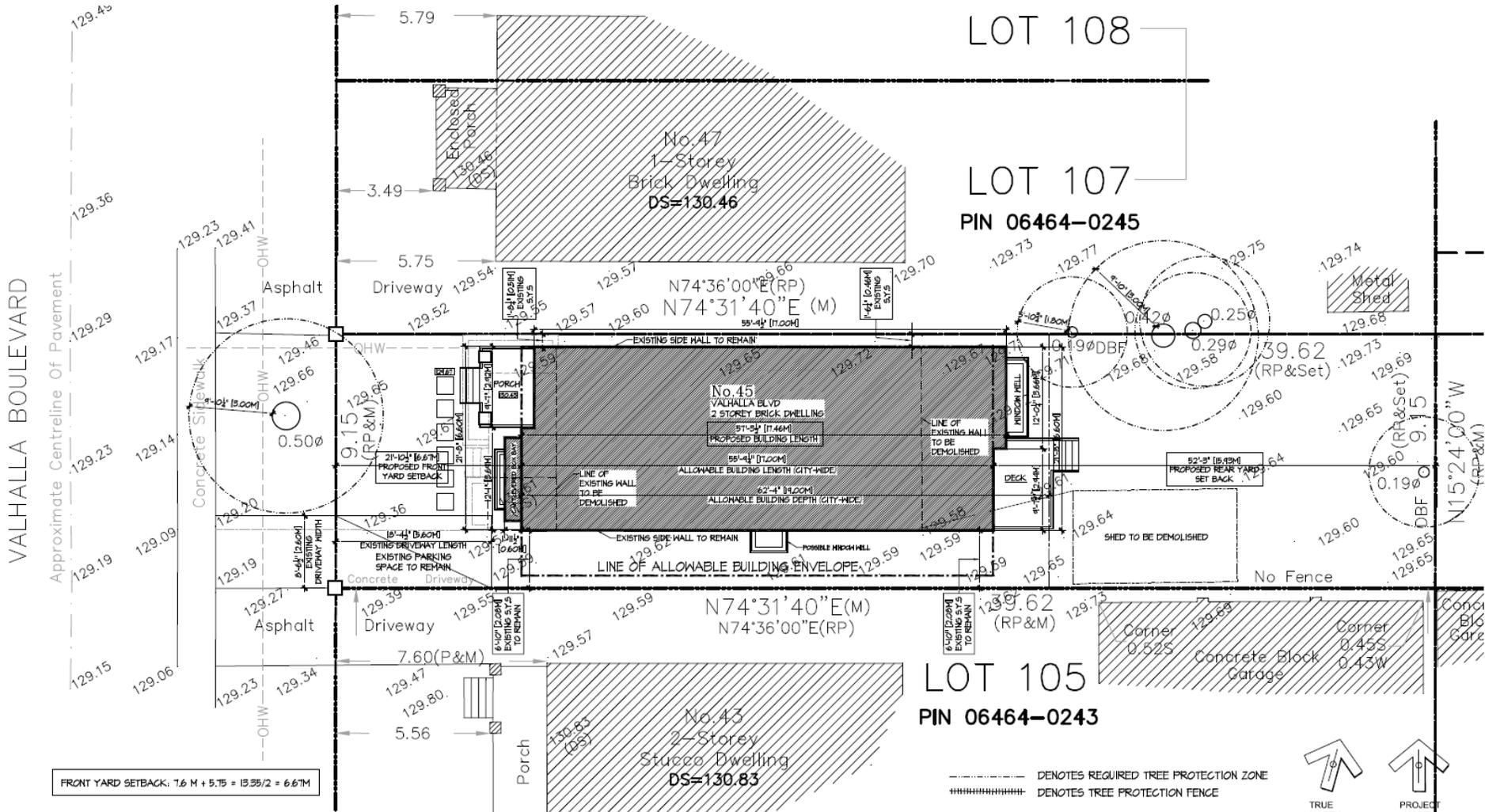
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The altered dwelling will have a floor space index equal to 0.62 times the lot area (224.2 m²); Whereas the maximum permitted floor space index is the lesser of 204 m² or 0.6 times the lot area (217.51 m²).
2. The altered dwelling will have a total height of 9.69 m; Whereas the maximum permitted dwelling height is 9 m.
3. The altered dwelling will have a total length of 17.46 m; Whereas the maximum permitted dwelling length is 17 m.
4. The eaves of the altered dwelling will encroach 0.46 m into the required north side yard setback; Whereas the maximum permitted eaves encroachment into a side yard setback is 0.16 m.

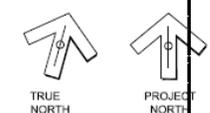
By-law No. 8786:

5. The altered dwelling will have a total floor area equal to 0.62 times the lot area (225.24 m²); Whereas the maximum permitted floor area is the lesser of 204 m² or 0.6 times the lot area (217.51 m²).
6. The altered dwelling will have a total height of 9.69 m; Whereas the maximum permitted dwelling height is 9 m.



FRONT YARD SETBACK: $7.6\text{ M} + 5.75 = 13.35/2 = 6.67\text{ M}$

----- DENOTES REQUIRED TREE PROTECTION ZONE
 ##### DENOTES TREE PROTECTION FENCE



REVISIONS / ISSUE DATES	
NO.	DATE
1	NOV 28/16
2	DEC 1/16
3	JAN 6/17
4	JAN 20/17
5	
6	

BUILDERS SHALL VERIFY ALL DIMENSIONS AND ALL JOB SITE CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.
 ONLY THE LATEST APPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION.
 IT IS THE BUILDER'S DUTY TO INSURE THAT THEY HAVE THE LATEST APPROVED DRAWINGS IN HAND.

PROJECT:
45 VALHALLA BLVD.
 TORONTO, ONTARIO

DRAWN BY:
 N.A.
 CHECKED BY:
 L.E.E.A.
 SCALE:
 3/32"=1'-0"
 PROJECT NO:
 15-002

DATE:
 JAN. 2017
 BCIN
 DWG TITLE:
 SITE PLAN
 DRAWING NO:
A-1

29. 62 MARYDON CRES

File Number:	A0030/17SC	Zoning	Residential Detached (RD) & Single Family (S) [Waiver]
Owner(s):	YUFAN WANG	Ward:	Scarborough-Rouge River (41)
Agent:	HEYDAY FINE HOMES	Heritage:	Not Applicable
Property Address:	62 MARYDON CRES	Community:	Agincourt Community
Legal Description:	PLAN 4382 LOT 176		

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & No. 10076:

1. The proposed dwelling will have a floor space index equal to 0.46 times the lot area;
Whereas the maximum permitted floor space index/floor area is 0.4 times the lot area.
2. The proposed dwelling will have a height of 9.65 m;
Whereas the maximum permitted dwelling height is 9 m.

By-law No. 569-2013:

3. The proposed dwelling will have a total length of 18.5 m;
Whereas the maximum permitted dwelling length is 17 m.

30. 179 HAREWOOD AVE

File Number:	A0031/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	JESSICA LYNNE COCKBURN JEFFERY JONATHAN P MOORE	Ward:	Scarborough Southwest (36)
Agent:	G AND S DESIGNS AND ASSOCIATES	Heritage:	Not Applicable
Property Address:	179 HAREWOOD AVE	Community:	Cliffcrest Community
Legal Description:	PLAN 2541 LOT 247 LOT 248		

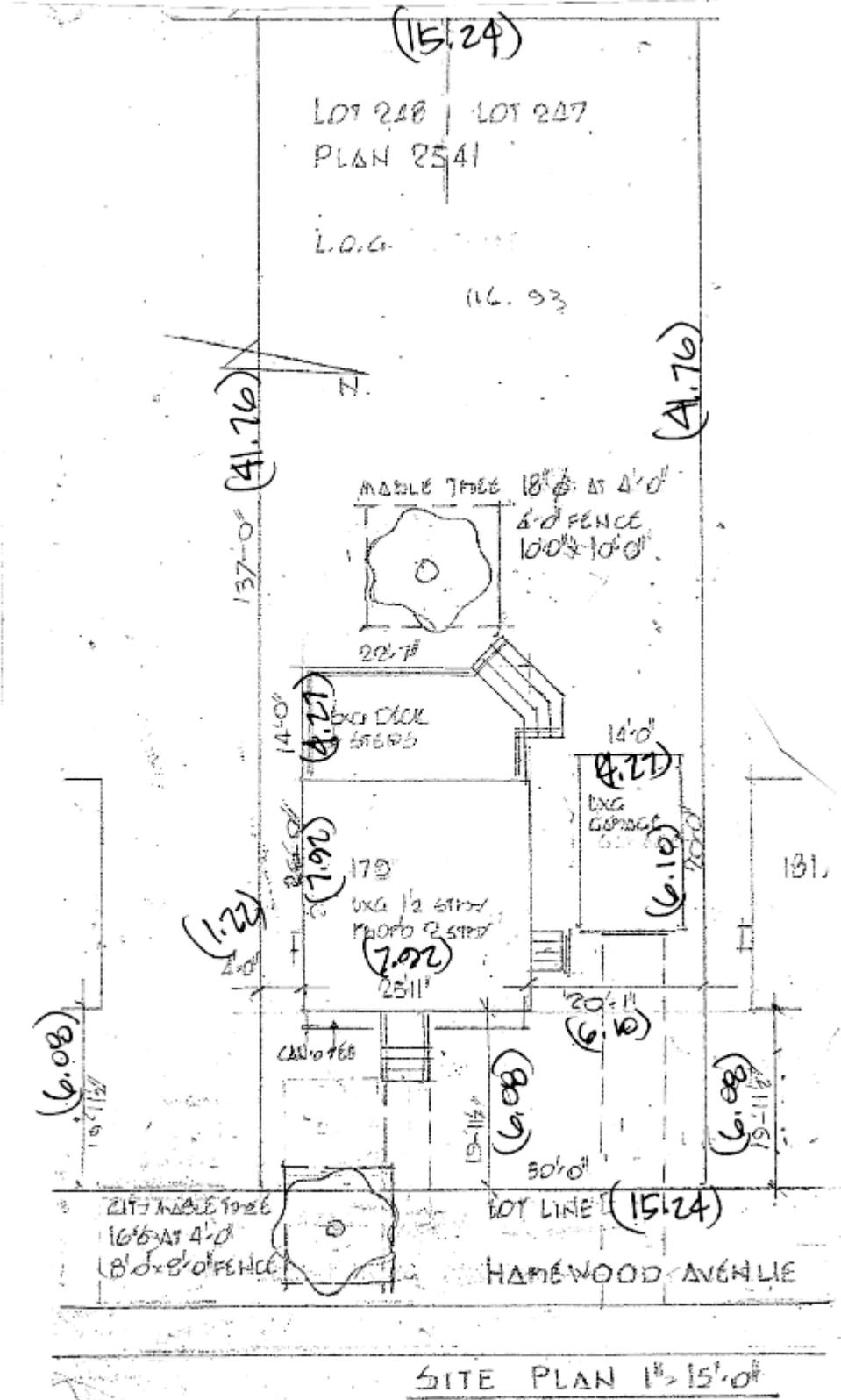
PURPOSE OF THE APPLICATION:

To construct a wood canopy over the existing front entry.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 9396:

1. The proposed canopy will project 1.83 m from the front main wall;
Whereas the maximum permitted roof overhang is 1 m.



(15.24)

LOT 228 | LOT 227
PLAN 2541

L.O.C.
11.93

137'-0" (41.76)

(4.76)

MABLE TREE 18" @ 4'-0"
8'-0" FENCE
10'-0" x 10'-0"

20'-7"

14'-0" (4.27)
DUG DOOR
6' x 8' x 8'

14'-0" (4.27)
DUG
6' x 8' x 8'

(1.22)

179
DUG 1/2 STORY
PROP'D 2 STORY
25'11" (7.92)

(6.10)

(6.08)

CARPORT

(6.08)

20'-11" (6.40)

(6.08)

19'-11" (6.11)

30'-0"

217 MABLE TREE
16" @ 4'-0"
8'-0" x 8'-0" FENCE

LOT LINE (15.24)

HAMEWOOD AVENUE

SITE PLAN 1" = 15'-0"

31. 35 THATCHER AVE

File Number:	A0032/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	DIANA NEOS KONSTANTINOS NEOS	Ward:	Scarborough Southwest (36)
Agent:	DIANA NEOS	Heritage:	Not Applicable
Property Address:	35 THATCHER AVE	Community:	Cliffcrest Community
Legal Description:	PLAN M350 PT LOT 36 UNREG		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a two-storey single family dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

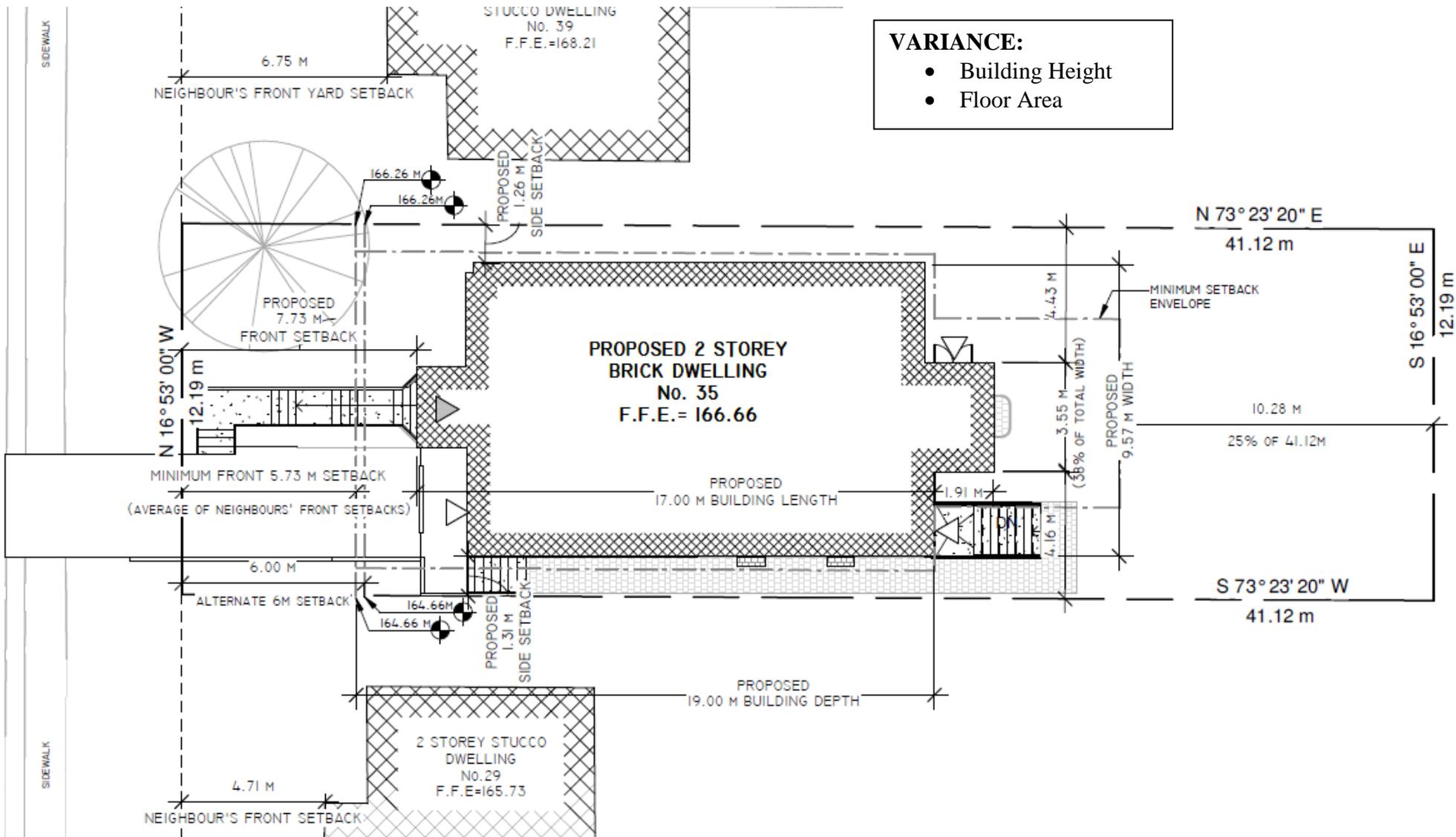
By-law No. 569-2013

1. To permit the proposed 9.6 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
2. To permit the proposed 295 square metres floor area or 0.59 times the lot area, whereas the Zoning By-law permits maximum 250 square metres floor area or 0.4 times the lot area.

By-law No. 9396

3. To permit the proposed 9.6 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
4. To permit the proposed 295 square metres floor area, whereas the Zoning By-law permits maximum 232 square metres floor area.

THATCHER AVE.



VARIANCE:

- Building Height
- Floor Area

32. 18 ST QUENTIN AVE

File Number:	A0047/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	MOKOL AKTER MOHD FOYEZ PAPON	Ward:	Scarborough Southwest (36)
Agent:	CANTAM GROUP	Heritage:	Not Applicable
Property Address:	18 ST QUENTIN AVE	Community:	Cliffcrest Community
Legal Description:	PLAN M350 LOT 64		

PURPOSE OF THE APPLICATION:

Proposal to construct a new two storey single family dwelling.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

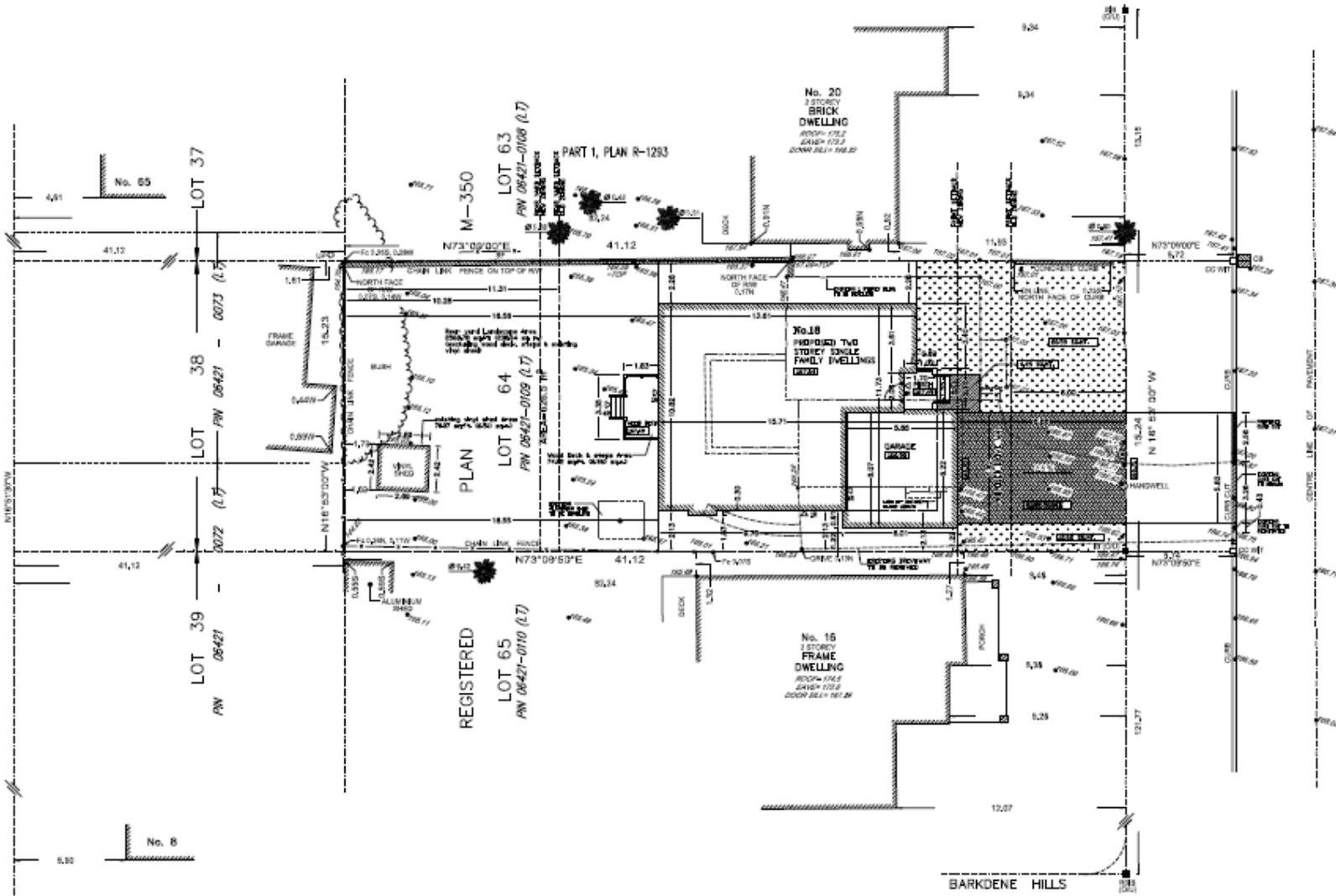
By-law No. 569-2013:

1. The proposed floor area (as calculated under this by-law) is 300 m² (0.48 x the area of the lot) Whereas the maximum permitted floor area is 0.5 x the area of the lot to a maximum of 279 m²

By-law No. 9396:

2. The proposed floor area (as calculated under this by-law) is 252 m² (0.41 x the area of the lot) Whereas the maximum permitted floor area is 250.6 m² (0.4 x the area of the lot)

THATCHER AVENUE



ST. QUENTIN AVENUE
 BY REGISTERED PLAN M-350
 PN 06421-0143 (L.T.)



33. 12 FAIRCROFT BLVD

File Number:	A0048/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	MENEZES JOA MARGARET PAUL CYRIL QUITERIO	Ward:	Scarborough Southwest (36)
Agent:	PAUL CYRIL QUITERIO	Heritage:	Not Applicable
Property Address:	12 FAIRCROFT BLVD	Community:	Cliffcrest Community
Legal Description:	PLAN 3849 LOT 8		

PURPOSE OF THE APPLICATION:

This application is for a proposal to demolish the existing garage and construct a second storey addition over the existing house, a two-storey addition to the rear and the north and south sides of the house, and a new front porch.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed floor area is 0.41 x the area of the lot (612 m²)
Whereas the maximum permitted floor area is 0.4 x the area of the lot (606 m²)
2. The proposed front yard setback is 7.6 m
Whereas the minimum required front yard setback is the average of the front yard setbacks of the two adjacent houses, in this case 8.7 m
3. The proposed front porch encroachment is 3.9 m
Whereas the maximum permitted porch encroachment is 2.5 m

By-law No. 9396:

4. The proposed front porch would encroach 2.2 m into the required front yard
Whereas the maximum permitted porch encroachment into the required front yard is 1.55 m

34. 76 CHARLOTTETOWN BLVD

File Number:	A0049/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone
Owner(s):	JEANNE LAVEROCK	Ward:	Scarborough East (44)
Agent:	RESIDENTIAL DRAFTING SERVICES LTD	Heritage:	Not Applicable
Property Address:	76 CHARLOTTETOWN BLVD	Community:	Centennial Community
Legal Description:	PLAN 8658 LOT 305		

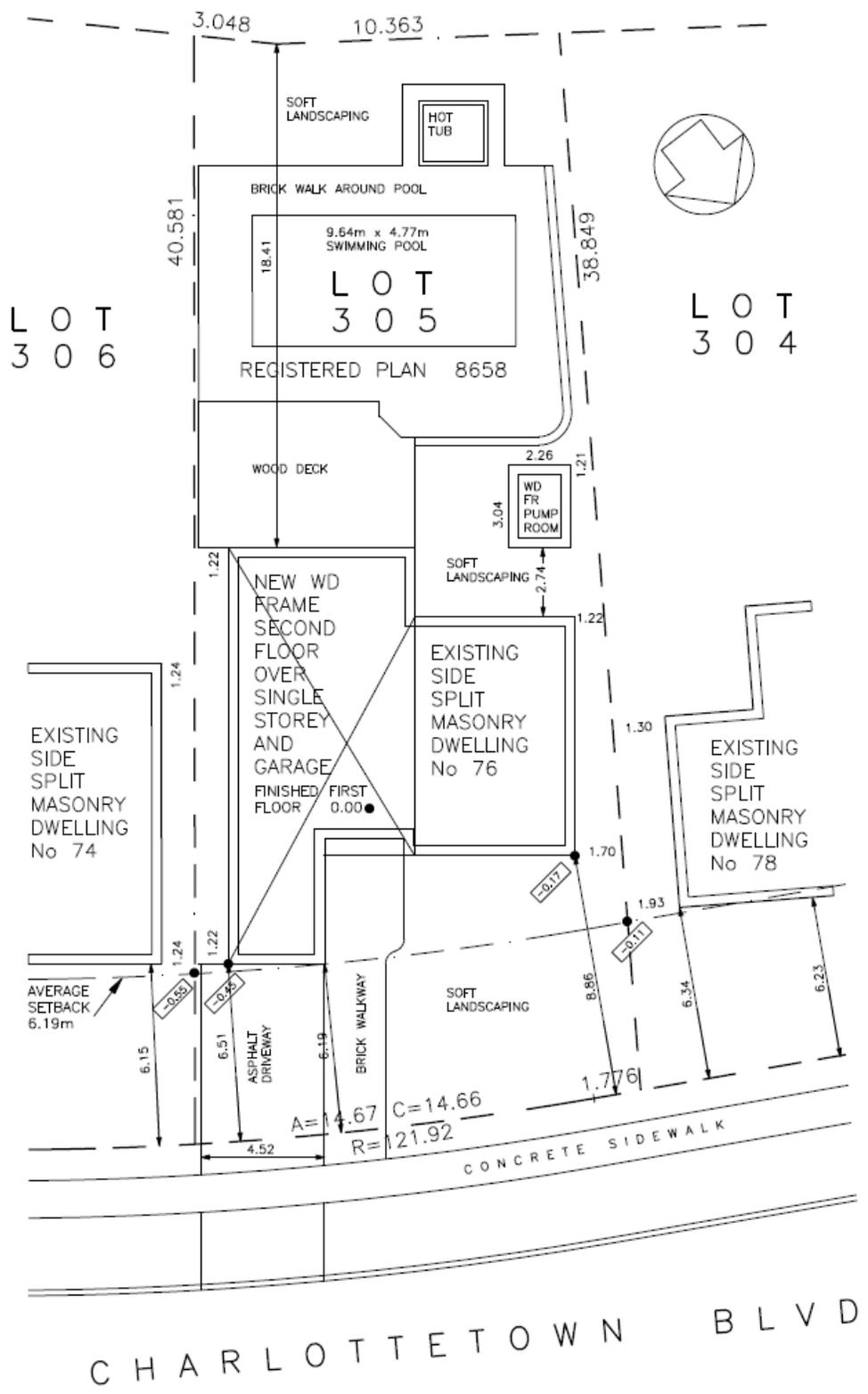
PURPOSE OF THE APPLICATION:

This application is for a variance for a proposed partial second storey addition to the existing house.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013 & By-law No. 12077:

1. The existing and proposed south side yard setback is 1.22 m
Whereas the minimum required side yard setback is 1.8 m for a two- storey dwelling



35. 20 IVORWOOD CRES

File Number:	A0051/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	HUGO MCINTOSH	Ward:	Scarborough Centre (37)
Agent:	ACADIA DRAFTING	Heritage:	Not Applicable
Property Address:	20 IVORWOOD CRES	Community:	Maryvale Community
Legal Description:	PLAN M646 LOT 193		

PURPOSE OF THE APPLICATION:

Proposal to construct a rear deck enclosure.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed rear yard setback is 6.8 m
Whereas the minimum required rear yard setback is 8.2 m

By-law No. 569-2013 & By-law No. 9366:

2. The proposed lot coverage is 37%
Whereas the maximum permitted lot coverage is 33%

SHEET SIZE- ANSI B: 11"x17" (279.4 mm x 431.8 mm)

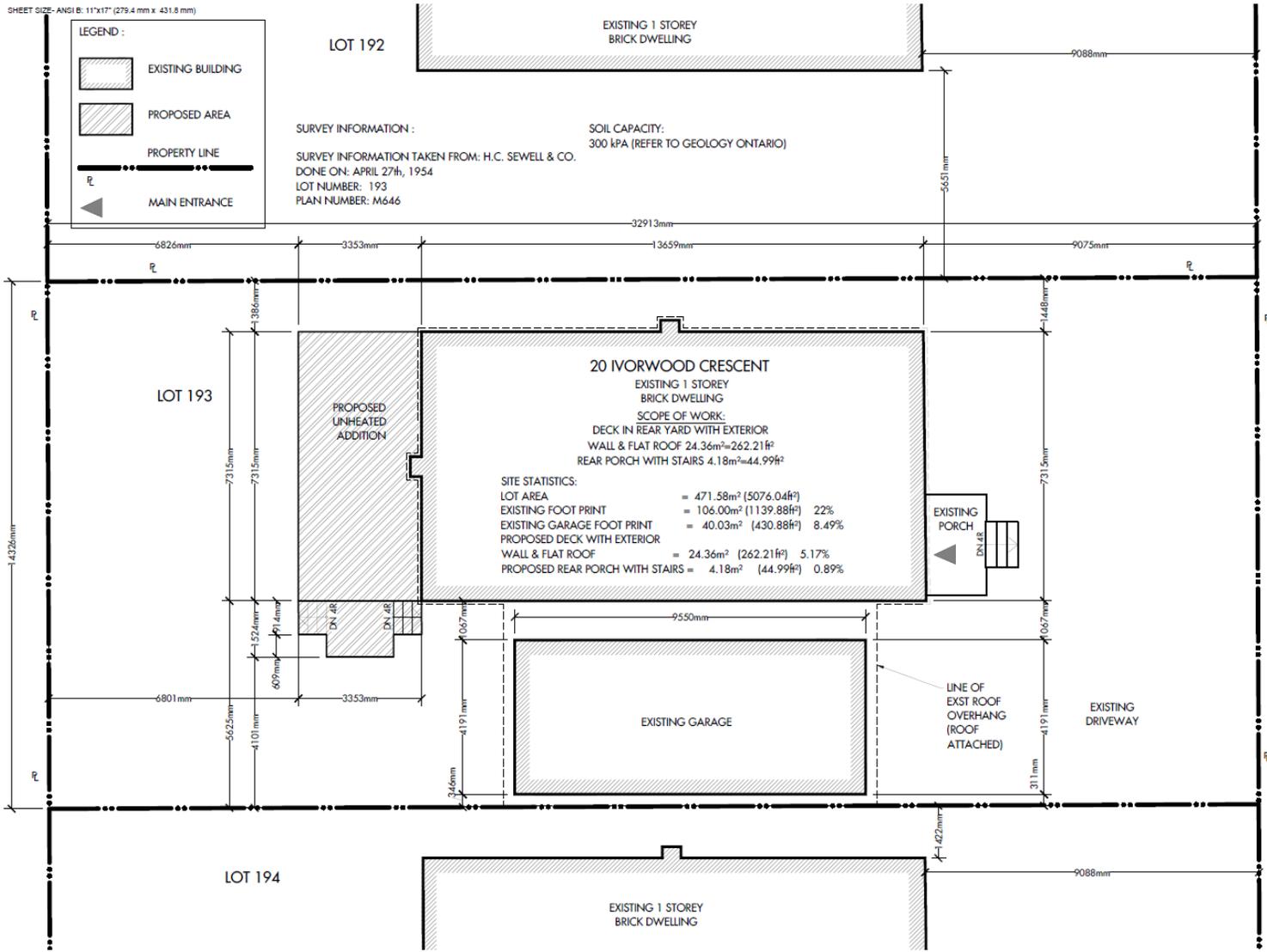
LEGEND :

-  EXISTING BUILDING
-  PROPOSED AREA
-  PROPERTY LINE
-  MAIN ENTRANCE

SURVEY INFORMATION :

SURVEY INFORMATION TAKEN FROM: H.C. SEWELL & CO.
 DONE ON: APRIL 27th, 1954
 LOT NUMBER: 193
 PLAN NUMBER: M646

SOIL CAPACITY:
 300 kPA (REFER TO GEOLOGY ONTARIO)

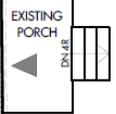


20 IVORWOOD CRESCENT
 EXISTING 1 STOREY
 BRICK DWELLING

SCOPE OF WORK:
 DECK IN REAR YARD WITH EXTERIOR
 WALL & FLAT ROOF 24.36m²=262.21ft²
 REAR PORCH WITH STAIRS 4.18m²=44.99ft²

SITE STATISTICS:

LOT AREA	= 471.58m ² (5076.04ft ²)
EXISTING FOOT PRINT	= 106.00m ² (1139.88ft ²) 22%
EXISTING GARAGE FOOT PRINT	= 40.03m ² (430.88ft ²) 8.49%
PROPOSED DECK WITH EXTERIOR WALL & FLAT ROOF	= 24.36m ² (262.21ft ²) 5.17%
PROPOSED REAR PORCH WITH STAIRS	= 4.18m ² (44.99ft ²) 0.89%



LINE OF EXST ROOF OVERHANG (ROOF ATTACHED)
 EXISTING DRIVEWAY