

January 19, 2017

**NOTICE OF DECISIONS**  
**(Section 53 and 54 of the Planning Act)**

**PLEASE NOTE:**

**Application Deferred *\*sine die*:**

- Item 5. - 116 Poplar Rd., File #s B0061/16SC, A0345/16SC and A0346/16SC

**Application Deferred to *\*February 16, 2017 hearing*:**

- Item 17. - 43 Buena Vista Ave., File # A0325/16SC and
- Item 21. - 7 Redland Crescent E. File # A0334/16SC

Thursday, January 19, 2017

## NOTICE OF DECISION

### CONSENT

(Section 53 of the Planning Act)

File Number:	B020/16SC	Zoning:	Places of Worship (IPW) & Residential Detached (RD) [Waiver]
Owner(s):	ONTARIO CONFERENCE OF THE SEVENTH-DAY ADVENTIST CHURCH	Ward:	Scarborough East (44)
Agent:	INSOHO DEVELOPMENTS INC	Heritage:	Not Applicable
Property Address:	<b>4342-4354 LAWRENCE AVE E</b>	Community:	West Hill Community
Legal Description:	PLAN 1502 PT LOT 7		

Notice was given and the application considered on Thursday, January 19, 2017, as required by the Planning Act.

#### **THE CONSENT REQUESTED:**

To obtain consent to sever the property into two lots. The proposed lots are shown on the attached Lot Division Plan.

#### **Part 1 - Conveyed**

The lot frontage is 36.84 m and the lot area is 3,320 m<sup>2</sup>. The existing dwelling will be demolished for a future residential development and will require no variances from the Zoning By-law.

#### **Part 2 - Retained**

The lot frontage is 91.23 m and the lot area is 8,797 m<sup>2</sup>. The existing place of worship will be maintained. Minor alternations to the site layout will eliminate 2 parking spaces, requiring a variance to the Zoning By-law, as outlined in Application A096/16SC. A previous Committee of Adjustment application (A126/09SC) approved a variance to permit 181 parking spaces whereas 187 is required.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

#### **The Consent Application is Approved on Condition**

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to create new lots as shown on the attached lot division plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
3. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca.
4. **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
5. The Owner shall provide a copy of the Statement of Approval issued by the Director, Community Planning, Scarborough District for amending site plan control application number 16 247728 ESC 44 SA, to the Manager and Deputy-Secretary Treasurer, Committee of Adjustment, Scarborough District.
6. The following conditions shall be fulfilled to the satisfaction of the Acting Manager, Development Engineering, Engineering & Construction Services, Scarborough District and the City Solicitor:
  - a. Prepare all documents and convey to the City, at nominal cost, (a widening measuring 4.89 metres on the entire section fronting of this property to satisfy the Official Plan requirement of a 36 metre wide right-of-way abutting this development site) in fee simple, such lands to be free and clear of all physical and title encumbrances, and subject to a right-of-way for access in favour of the Grantor until such time as said lands have dedicated as a public highway, all to the satisfaction to the Executive Director of Engineering and Construction Services and the City Solicitor;
  - b. Submit a draft Reference Plan of Survey to the Executive Director of Engineering and Construction Services, for review and approval, prior to depositing it in the Land Registry Office. The plan should:
    - i. be in metric units and integrated to the 1983 North American Datum (Canadian Spatial Reference System) and the 3 degree Modified Transverse Mercator projection;
    - ii. delineate by separate PARTS the lands to be conveyed to the City, the remainder of the site and any appurtenant rights-of-way and easements; and
    - iii. show the co-ordinate values of the main corners of the subject lands in a schedule on the face of the plan;
  - c. Pay all costs for registration and preparation of reference plan(s);
  - d. Retain a Qualified Person to conduct environmental site assessments for the lands to be conveyed to the City;

- e. Pay all costs associated with the City retaining a third-party Peer Reviewer including a 7% administrative cost to the City, and submit a certified cheque payable to the City of Toronto in the amount of \$8,000.00, as an initial deposit towards the cost of the peer review to the Executive Director, Engineering and Construction Services. Submit further deposits when requested to cover all costs of retaining a third-party peer reviewer (unused funds will be refunded to the applicant by the City);
- f. Submit to the satisfaction of the City's Peer Reviewer, all Environmental Site Assessment reports prepared in accordance with the Record of Site Condition Regulation (O. Reg. 153/04, as amended) describing the current conditions of the land to be conveyed to the City and the proposed Remedial Action Plan based on the site condition standards approach, to the Executive Director, Engineering and Construction Services;
- g. At the completion of the site assessment/remediation process, submit a Statement from the Qualified Person, to the Executive Director, Engineering and Construction Services, for peer review and concurrence that based on all necessary supporting environmental documents:
  - i. it is unlikely that there is any off-site contamination resulting from past land uses on the development site that has migrated on to adjacent City lands that would exceed the applicable Site Condition Standards and,
  - ii. the land to be conveyed to the City meets either:
    - the applicable MOE Generic Site Condition Standards (Tables 1, 2,3, 6,7,8 and 9) for the most environmentally sensitive adjacent land use; or
    - the Property Specific Standards (PSSs) as approved by the MOE for a Risk Assessment/Risk Management Plan which was conducted in accordance with the City Policies and Conditions for the Acceptance of Risk Assessed Lands (Clause 18, of Works Committee Report 2, April 25, 26 and 27, 2006);
- h. The QP's statement, referenced in 1.7 above, will include a Reliance Letter (Attachment 5 template), that is stamped, dated and signed by the applicant's Qualified Person (the "QP"), as defined in O. Reg. 153/04, as amended confirming that both the City and the City's Peer Reviewer can rely on the environmental documentation submitted and the QP's opinion as to the condition of the site;
- j. For conveyance of lands requiring a Record of Site Condition (the "RSC"),
  - i. File the RSC on the Ontario Environmental Site Registry, and
  - ii. Submit the Ministry of the Environment's Letter of Acknowledgement of Filing of the RSC confirming that the RSC has been prepared and filed in accordance with O. Reg. 153/04, as amended, to the Executive Director, Engineering and Construction Services.
- k. File the Record of Site Condition (RSC) on the Ontario's Environmental Site Registry and submit the Ministry of the Environment's Letter of Acknowledgement of Filing of the Record of Site Condition (RSC) confirming that the RSC has been prepared and filed in accordance with O. Reg. 153/04, and that the MOE will not audit the RSC at this time or that the RSC has passed an MOE audit, to the Executive Director, Engineering and Construction Services.

7. The following conditions shall be fulfilled to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Scarborough District:
  - a. The applicant shall submit to Urban Forestry a Landscape Plan that is substantially in accordance with the Site Plan Agreement or an amended Landscape Plan to the satisfaction of Urban Forestry.
8. The Owner shall obtain Final and Binding Decision on minor variance application A096/16SC, to the satisfaction of the Deputy Secretary-Treasurer, Committee of Adjustment, Scarborough Panel.
9. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.



**SIGNATURE PAGE**

File Number:	B020/16SC	Zoning	Places of Worship (IPW) & Residential Detached (RD) [Waiver]
Owner(s):	ONTARIO CONFERENCE OF THE SEVENTH-DAY ADVENTIST CHURCH	Ward:	Scarborough East (44)
Agent:	INSOHO DEVELOPMENTS INC	Heritage:	Not Applicable
Property Address:	<b>4342-4354 LAWRENCE AVE E</b>	Community:	West Hill Community
Legal Description:	PLAN 1502 PT LOT 7		

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Monday, February 13, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

**NOTE:** Only individuals, corporations and public agencies may appeal a decision to the Ontario Municipal Board. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, January 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A096/16SC	Zoning	Places of Worship (IPW) & Residential Detached (RD) [Waiver]
Owner(s):	ONTARIO CONFERENCE OF THE SEVENTH-DAY ADVENTIST CHURCH	Ward:	Scarborough East (44)
Agent:	INSOHO DEVELOPMENTS INC	Heritage:	Not Applicable
Property Address:	<b>4342-4354 LAWRENCE AVE E</b>	Community:	West Hill Community
Legal Description:	PLAN 1502 PT LOT 7		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To permit a reduction in the onsite parking on the retained lands.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

1. To permit 179 parking spaces, whereas the Zoning By-law requires 181 parking spaces.  
**Note:** A previous Committee of Adjustment application (A126/09SC) approved a variance to permit 181 parking spaces, whereas the Zoning By-law required 187 spaces.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall submit to Urban Forestry a complete application to Injure or Destroy Trees for privately owned trees, as per City of Toronto Municipal Code Chapter 813, Article III.



2. The applicant shall submit to Urban Forestry a complete application to Injure or Destroy Trees for City owned trees, as per City of Toronto Municipal Code Chapter 813, Article II including submission of a Tree Loss Payment an amount to be determined, if necessary. Payments shall be made payable to the Treasurer, City of Toronto and sent to Urban Forestry, Scarborough Civic Centre, 150 Borough Drive, 5th floor, Toronto, Ontario, M1P 4N7.
3. The applicant shall submit to Urban Forestry a refundable Tree Protection Security Deposit in an amount to be determined in the form of renewable letter of credit or other form acceptable to the General Manager of Parks, Forestry and Recreation to guarantee the protection of the City owned trees to be retained adjacent to the site, as per the City's Tree Protection Policy and Specifications for Construction near Trees and the City of Toronto Municipal Code Chapter 813, Article II.

**SIGNATURE PAGE**

File Number:	A096/16SC	Zoning	Places of Worship (IPW) & Residential Detached (RD) [Waiver]
Owner:	ONTARIO CONFERENCE OF THE SEVENTH-DAY ADVENTIST CHURCH	Ward:	Scarborough East (44)
Agent:	INSOHO DEVELOPMENTS INC	Heritage:	Not Applicable
Property Address:	<b>4342-4354 LAWRENCE AVE E</b>	Community:	West Hill Community
Legal Description:	PLAN 1502 PT LOT 7		

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David Peacock (signed)

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Eden Gajraj (signed)

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Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION**  
**CONSENT**  
**(Section 53 of the Planning Act)**

File Number:	B0052/16SC	Zoning:	Residential Detached (RD) & Single-Family Residential (S) Zone [Waiver]
Owner(s):	NEXT LEVEL BUILDER & DEVELOPER LTD	Ward:	Scarborough Southwest (35)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>579 KENNEDY RD</b>	Community:	Kennedy Park Community
Legal Description:	PLAN 3507 PT LOT 5		

Notice was given and the application considered on Thursday, January 19, 2017, as required by the Planning Act.

**THE CONSENT REQUESTED:**

To obtain consent to sever the property into two (2) undersized residential lots.

**Retained - Part 1****579B Kennedy Road**

The lot will have a frontage of 9.22 m and an area of 386.8 m<sup>2</sup>. The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0257/16SC.

**Conveyed - Part 2****579A Kennedy Road**

The lot will have a frontage of 9.22 m and an area of 386.8 m<sup>2</sup>. The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0258/16SC.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Consent Application is Approved on Condition**

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to create new lots as shown on the attached lot division plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
3. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca.
4. **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
5. The following conditions shall be fulfilled to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Scarborough District:
  - a. The applicant shall submit to Urban Forestry a complete application to Injure or Destroy Trees for City owned trees, as per City of Toronto Municipal Code Chapter 813, Article II.
  - b. The applicant shall submit to Urban Forestry a refundable Tree Protection Security Deposit in the amount of **\$10,469.61** in the form of renewable letter of credit or other form acceptable to the General Manager of Parks, Forestry and Recreation to guarantee the protection of the City owned trees to be retained fronting the site or adjacent to the site, as per the City's Tree Protection Policy and Specifications for Construction near Trees and the City of Toronto Municipal Code Chapter 813, Article II.
  - c. Where there are no existing street trees, the applicant shall provide to Urban Forestry a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The number of trees required to be planted is **one (1)** and the current cost of planting each tree is **\$583.00**. Payments shall be made payable to the Treasurer, City of Toronto and sent to Urban Forestry, Scarborough Civic Centre, 150 Borough Drive, 5th floor, Toronto, Ontario, M1P 4N7.
6. The Owner shall obtain Final and Binding Decisions on minor variance applications A0257/16SC and A0258/16SC, to the satisfaction of the Deputy Secretary-Treasurer, Committee of Adjustment, Scarborough Panel.
7. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.



**SIGNATURE PAGE**

File Number:	B0052/16SC	Zoning	Residential Detached (RD) & Single-Family Residential (S) Zone [Waiver]
Owner(s):	NEXT LEVEL BUILDER & DEVELOPER LTD	Ward:	Scarborough Southwest (35)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>579 KENNEDY RD</b>	Community:	Kennedy Park Community
Legal Description:	PLAN 3507 PT LOT 5		

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David Peacock (signed)                      Eden Gajraj (signed)                      Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017  
LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Monday, February 13, 2017  
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Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0257/16SC	Zoning	Residential Detached (RD) & Single-Family Residential (S) Zone [Waiver]
Owner(s):	NEXT LEVEL BUILDER & DEVELOPER LTD	Ward:	Scarborough Southwest (35)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>579 KENNEDY RD – PART 1</b>	Community:	Kennedy Park Community
Legal Description:	PLAN 3507 PT LOT 5		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached dwelling on Part 1.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013 and By-law No. 9276:

1. The proposed lot frontage is 9.22 m and the proposed lot area is 386.8 m<sup>2</sup>;  
Whereas the minimum required lot frontage is 12 m and the minimum required lot area is 464 m<sup>2</sup>.
2. The proposed dwelling will be located 21.74 m from the original centreline of Kennedy Road (6.5 m from the front property line);  
Whereas the minimum required front yard setback is 22 m from the original centreline of Kennedy Road (6.76 m from the front property line).
3. The proposed dwelling will be located 0.63 m from the south side lot line;  
Whereas the minimum required side yard setback is 0.9 m.

By-law No. 569-2013:

4. The proposed dwelling will have a total length of 17.27 m;  
Whereas the maximum permitted dwelling length is 17 m.
5. The eaves overhang, including the eavestrough, of the proposed dwelling will be located 0.2 m from the south side lot line;  
Whereas the minimum required side yard setback for an eaves overhang is 0.3 m.

6. The proposed parking space inside the integral garage will be 3.1 m wide;  
Whereas the minimum required dimensions of a parking space are 3.2 m wide by 5.6 m long.

By-law No. 9276:

7. The proposed parking space inside the integral garage will be 3.1 m wide;  
Whereas the minimum required dimensions of a parking space are 3.3 m wide by 5.6 m long.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.



**SIGNATURE PAGE**

File Number:	A0257/16SC	Zoning	Residential Detached (RD) & Single-Family Residential (S) Zone [Waiver]
Owner:	NEXT LEVEL BUILDER & DEVELOPER LTD	Ward:	Scarborough Southwest (35)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>579 KENNEDY RD – PART 1</b>	Community:	Kennedy Park Community
Legal Description:	PLAN 3507 PT LOT 5		

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David Peacock (signed)

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Eden Gajraj (signed)

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Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0258/16SC	Zoning	Residential Detached (RD) & Single-Family Residential (S) Zone [Waiver]
Owner(s):	NEXT LEVEL BUILDER & DEVELOPER LTD	Ward:	Scarborough Southwest (35)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>579 KENNEDY RD – PART 2</b>	Community:	Kennedy Park Community
Legal Description:	PLAN 3507 PT LOT 5		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached dwelling on Part 2.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013 and By-law No. 9276:

1. The proposed lot frontage is 9.22 m and the proposed lot area is 386.8 m<sup>2</sup>;  
Whereas the minimum required lot frontage is 12 m and the minimum required lot area is 464 m<sup>2</sup>.
2. The proposed dwelling will be located 21.74 m from the original centreline of Kennedy Road (6.5 m from the front property line);  
Whereas the minimum required front yard setback is 22 m from the original centreline of Kennedy Road (6.76 m from the front property line).
3. The proposed dwelling will be located 0.62 m from the north side lot line;  
Whereas the minimum required side yard setback is 0.9 m.

By-law No. 569-2013:

4. The proposed dwelling will have a total length of 17.27 m;  
Whereas the maximum permitted dwelling length is 17 m.
5. The eaves overhang, including the eavestrough, of the proposed dwelling will be located 0.19 m from the north side lot line;  
Whereas the minimum required side yard setback for an eaves overhang is 0.3 m.

6. The proposed parking space inside the integral garage will be 3.1 m wide;  
Whereas the minimum required dimensions of a parking space are 3.2 m wide by 5.6 m long.

By-law No. 9276:

7. The proposed parking space inside the integral garage will be 3.1 m wide;  
Whereas the minimum required dimensions of a parking space are 3.3 m wide by 5.6 m long.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0258/16SC	Zoning	Residential Detached (RD) & Single-Family Residential (S) Zone [Waiver]
Owner:	NEXT LEVEL BUILDER & DEVELOPER LTD	Ward:	Scarborough Southwest (35)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>579 KENNEDY RD – PART 2</b>	Community:	Kennedy Park Community
Legal Description:	PLAN 3507 PT LOT 5		

\_\_\_\_\_  
David Peacock (signed)

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Eden Gajraj (signed)

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Hena Kabir (signed)

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Thursday, January 19, 2017

**NOTICE OF DECISION**  
**CONSENT**  
**(Section 53 of the Planning Act)**

File Number:	B0054/16SC	Zoning	Single Family Residential (S) & Residential Detached (RD) Zone [ZR]
Owner:	SHAHID SHAHID	Ward:	Scarborough Southwest (35)
Agent:	NADEEM IRFAN ARCHITECT	Heritage:	Not Applicable
Property Address:	<b>436 PHARMACY AVE</b>	Community:	Clairlea Community
Legal Description:	PLAN M463 LOT 279		

Notice was given and the application considered on Thursday, January 19, 2017, as required by the Planning Act.

**THE CONSENT REQUESTED:**

This application is for consent to sever the land into two lots for single family houses. The proposed lots would each have a frontage of 7.62 m on Pharmacy Avenue and a lot area of approximately 238 m<sup>2</sup>. The proposed lots are shown as Parts 2 and 3 on the attached Lot Division Plan. The land shown as Parts 1 and 4 would be conveyed to the City for a widening of the Pharmacy Avenue right-of-way.

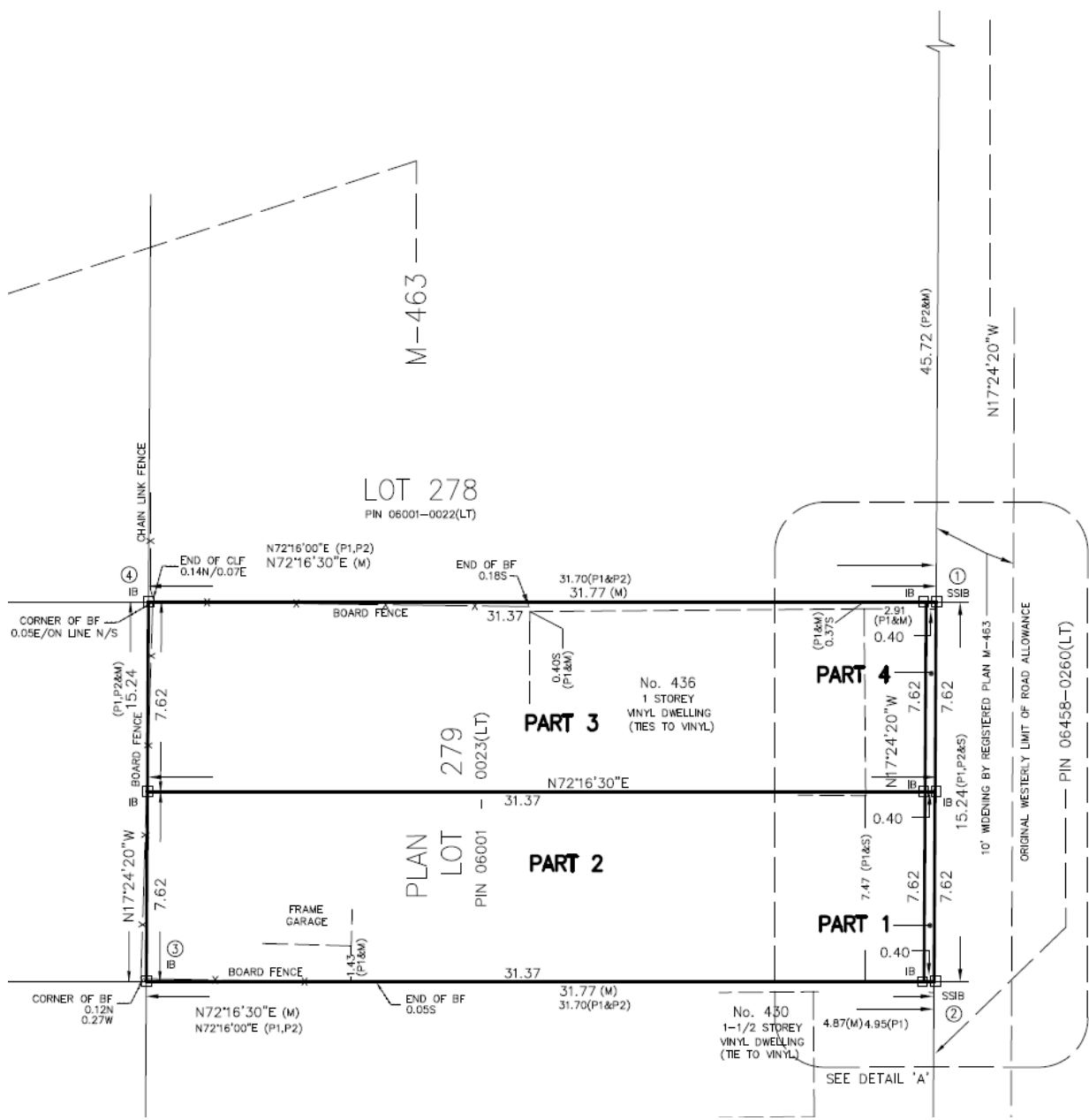
The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Consent Application is Approved on Condition**

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the transaction as shown on the plan filed with the Committee of Adjustment on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of Survey and Mapping Services, Technical Services.

3. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with City Surveyor, Survey & Mapping, Technical Services.
4. **Three copies of the registered reference plan of survey** satisfying the requirements of the City Surveyor, shall be filed with the Committee of Adjustment.
5. The Owner shall satisfy the following conditions to the satisfaction of the Executive Director of Engineering and Construction Services and the City Solicitor:
  - a. Prepare all documents and convey to the City, at nominal cost, a widening measuring 0.4 metres along the entire Pharmacy Avenue frontage of this development (shown as Parts 1 and 4 on the attached Lot Division Plan), in fee simple, such lands to be free and clear of all physical and title encumbrances, and subject to a right-of-way for access in favour of the Grantor until such time as said lands have dedicated as a public highway, all to the satisfaction to the Executive Director of Engineering and Construction Services and the City Solicitor;
  - b. Submit a draft Reference Plan of Survey to the Executive Director of Engineering and Construction Services, for review and approval, prior to depositing it in the Land Registry Office. The plan shall:
    - a. be in metric units and integrated to the 1983 North American Datum (Canadian Spatial Reference System) and the 3 degree Modified Transverse Mercator projection;
    - b. delineate by separate PARTS the lands to be conveyed to the City, the remainder of the site and any appurtenant rights-of-way and easements; and
    - c. show the co-ordinate values of the main corners of the subject lands in a schedule on the face of the plan;
  - c. Pay all costs for registration and preparation of reference plan(s) to the satisfaction to the Executive Director of Engineering and Construction Services.
6. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.



PHARMACY AVENUE  
 ROAD ALLOWANCE BETWEEN LOTS 34 AND 35, CONCESSION B

**Lot Division Plan**      **436 Pharmacy Avenue**  
 Applicant's Submitted Drawing      File # B0054/16SC  
**Not to Scale**

19/01/2017

Attachment 1

**SIGNATURE PAGE**

File Number:	B0054/16SC	Zoning	Single Family Residential (S) & Residential Detached (RD) Zone [ZR]
Owners:	SHAHID SHAHID	Ward:	Scarborough Southwest (35)
Agent:	NADEEM IRFAN ARCHITECT	Heritage:	Not Applicable
Property Address:	<b>436 PHARMACY AVE</b>	Community:	Clairlea Community
Legal Description:	PLAN M463 LOT 279		

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Monday, February 13, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

**NOTE:** Only individuals, corporations and public agencies may appeal a decision to the Ontario Municipal Board. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.



Thursday, January 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0280/16SC	Zoning	Single Family Residential (S) & Residential Detached (RD) Zone [ZR]
Owner:	SHAHID SHAHID	Ward:	Scarborough Southwest (35)
Agent:	NADEEM IRFAN ARCHITECT	Heritage:	Not Applicable
Property Address:	<b>436 PHARMACY AVE PARTS 1 &amp; 2</b>	Community:	Clairlea Community
Legal Description:	PLAN M463 LOT 279		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The owner is requesting consent to sever the land at 436 Pharmacy Avenue into two lots, and has applied for variances for the proposed south lot, shown as Parts 1 and 2 on the attached Lot Division Plan. (The land shown as Part 1 would be conveyed to the City for a widening of the Pharmacy Avenue right-of-way.) The owner is proposing to demolish the existing dwelling and build a new single family dwelling.

**REQUESTED VARIANCES TO THE ZONING BY-LAW:**

By-law No. 569-2013:

1. The proposed lot frontage is 7.62 m  
Whereas the minimum required lot frontage is 12 m
2. The proposed lot area is 238 m<sup>2</sup>  
Whereas the minimum required lot area is 371 m<sup>2</sup>
3. The proposed side yard setback on the north side is 0.6 m  
Whereas the minimum required side yard setback is 0.9 m
4. The proposed front yard setback is 19.5 m measured to the centerline of Pharmacy Avenue  
Whereas the minimum required front yard setback is 22 m measured to the centerline of Pharmacy Avenue
5. The proposed parking space width is 2.9 m  
Whereas the minimum required parking space width is 3.2 m
6. The proposed coverage is 43%  
Whereas the maximum permitted coverage is 33%

7. The proposed roof eave setback is 0.29 m from the north side lot line  
Whereas the eaves of a roof may encroach into a required minimum building setback to a maximum of 0.9 m if they are no closer to a lot line than 0.3 m

By-law No. 8978:

8. The proposed lot frontage is 7.62 m  
Whereas the minimum required lot frontage is 12 m
9. The proposed lot area is 238 m<sup>2</sup>  
Whereas the minimum required lot area is 371 m<sup>2</sup>
10. The proposed side yard setback on the north side is 0.6 m  
Whereas the minimum required side yard setback is 0.9 m
11. The proposed front yard setback is 19.5 m measured to the centerline of Pharmacy Avenue  
Whereas the minimum required front yard setback is 22 m measured to the centerline of Pharmacy Avenue
12. The proposed ground floor building coverage is 44%  
Whereas the maximum permitted ground floor building coverage is 33%
13. The proposed lot coverage is 43%  
Whereas the maximum permitted coverage is 33%
14. The proposed parking space width is 2.9 m  
Whereas the minimum required parking space width is 3.3 m

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

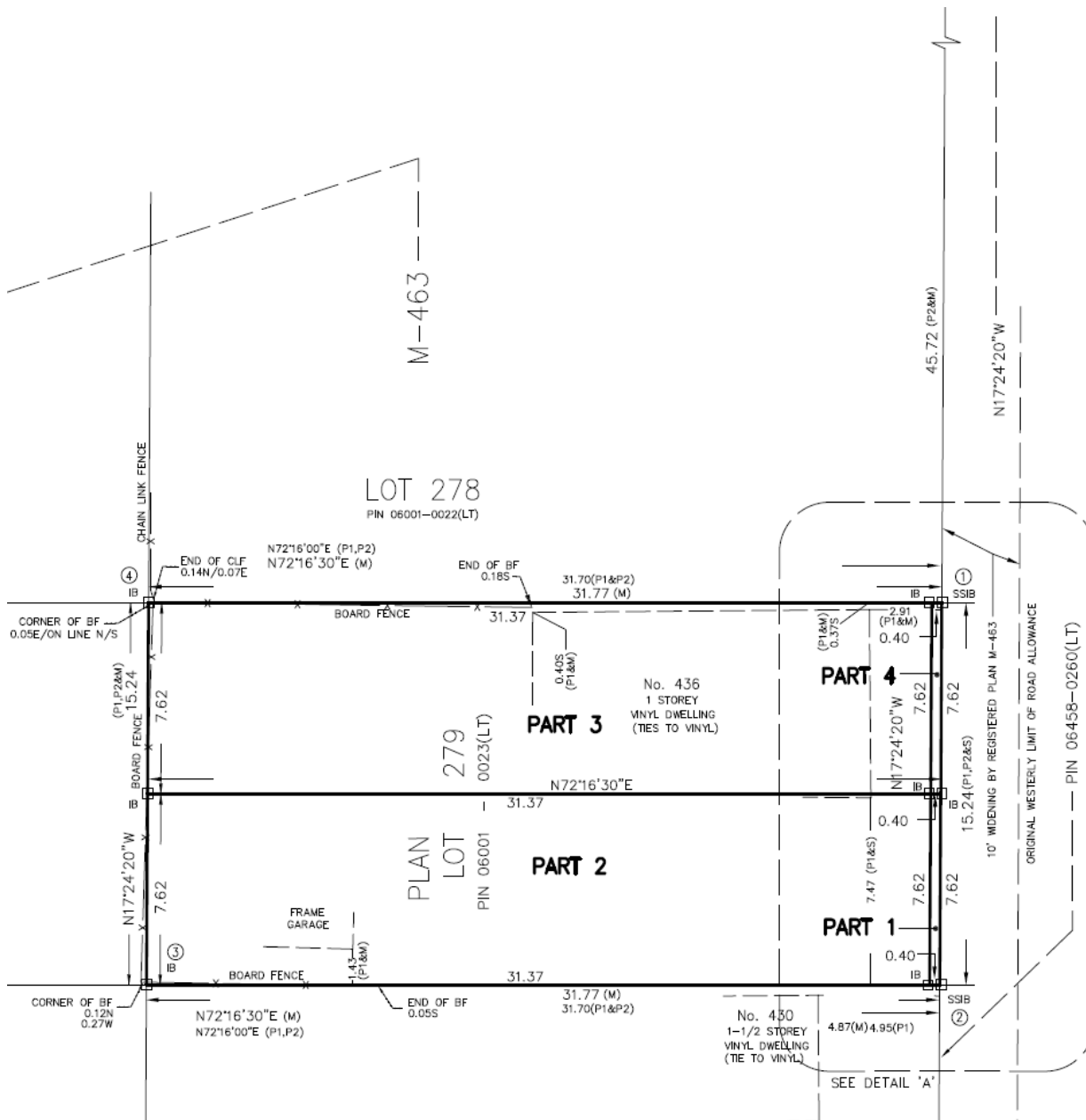
**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This variance shall be conditional on the following:

1. As directed by City Council, upon completion of construction, a new city owned and maintained street tree shall be planted on the City road allowance abutting each property involved in the application, except where a satisfactory street tree already exists. Urban Forestry staff have determined that 1 tree at \$583 per tree is required under this application (File A0280/16SC).



PHARMACY AVENUE  
ROAD ALLOWANCE BETWEEN LOTS 34 AND 35, CONCESSION B

**Lot Division Plan 436 Pharmacy Avenue**

Applicant's Submitted Drawing File # A0280/16SC

Not to Scale

19/01/2017

Attachment 1

**SIGNATURE PAGE**

File Number:	A0280/16SC	Zoning	Single Family Residential (S) & Residential Detached (RD) Zone [ZR]
Owner:	SHAHID SHAHID	Ward:	Scarborough Southwest (35)
Agent:	NADEEM IRFAN ARCHITECT	Heritage:	Not Applicable
Property Address:	<b>436 PHARMACY AVE</b> <b>PARTS 1 &amp; 2</b>	Community:	Clairlea Community
Legal Description:	PLAN M463 LOT 279		

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0281/16SC	Zoning	Single Family Residential (S) & Residential Detached (RD) Zone [ZR]
Owner:	SHAHID SHAHID	Ward:	Scarborough Southwest (35)
Agent:	NADEEM IRFAN ARCHITECT	Heritage:	Not Applicable
Property Address:	<b>436 PHARMACY AVE PARTS 3 &amp; 4</b>	Community:	Clairlea Community
Legal Description:	PLAN M463 LOT 279		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The owner is requesting consent to sever the land at 436 Pharmacy Avenue into two lots, and has applied for variances for the proposed north lot, shown as Parts 3 and 4 on the attached Lot Division Plan. (The land shown as Part 4 would be conveyed to the City for a widening of the Pharmacy Avenue right-of-way.) The owner is proposing to demolish the existing dwelling and build a new single family dwelling.

**REQUESTED VARIANCES TO THE ZONING BY-LAW:**By-law No. 569-2013:

1. The proposed lot frontage is 7.62 m  
Whereas the minimum required lot frontage is 12 m
2. The proposed lot area is 238 m<sup>2</sup>  
Whereas the minimum required lot area is 371 m<sup>2</sup>
3. The proposed side yard setback on the south side is 0.6 m  
Whereas the minimum required side yard setback is 0.9 m
4. The proposed front yard setback is 19.5 m measured to the centerline of Pharmacy Avenue  
Whereas the minimum required front yard setback is 22 m measured to the centerline of Pharmacy Avenue
5. The proposed parking space width is 2.9 m  
Whereas the minimum required parking space width is 3.2 m
6. The proposed coverage is 43%  
Whereas the maximum permitted coverage is 33%

7. The proposed roof eave setback is 0.29 m from the south side lot line  
Whereas the eaves of a roof may encroach into a required minimum building setback to a maximum of 0.9 m if they are no closer to a lot line than 0.3 m

By-law No. 8978:

8. The proposed lot frontage is 7.62 m  
Whereas the minimum required lot frontage is 12 m
9. The proposed lot area is 238 m<sup>2</sup>  
Whereas the minimum required lot area is 371 m<sup>2</sup>
10. The proposed side yard setback on the south side is 0.6 m  
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11. The proposed front yard setback is 19.5 m measured to the centerline of Pharmacy Avenue  
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12. The proposed ground floor building coverage is 44%  
Whereas the maximum permitted ground floor building coverage is 33%
13. The proposed lot coverage is 43%  
Whereas the maximum permitted coverage is 33%
14. The proposed parking space width is 2.9 m  
Whereas the minimum required parking space width is 3.3 m

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

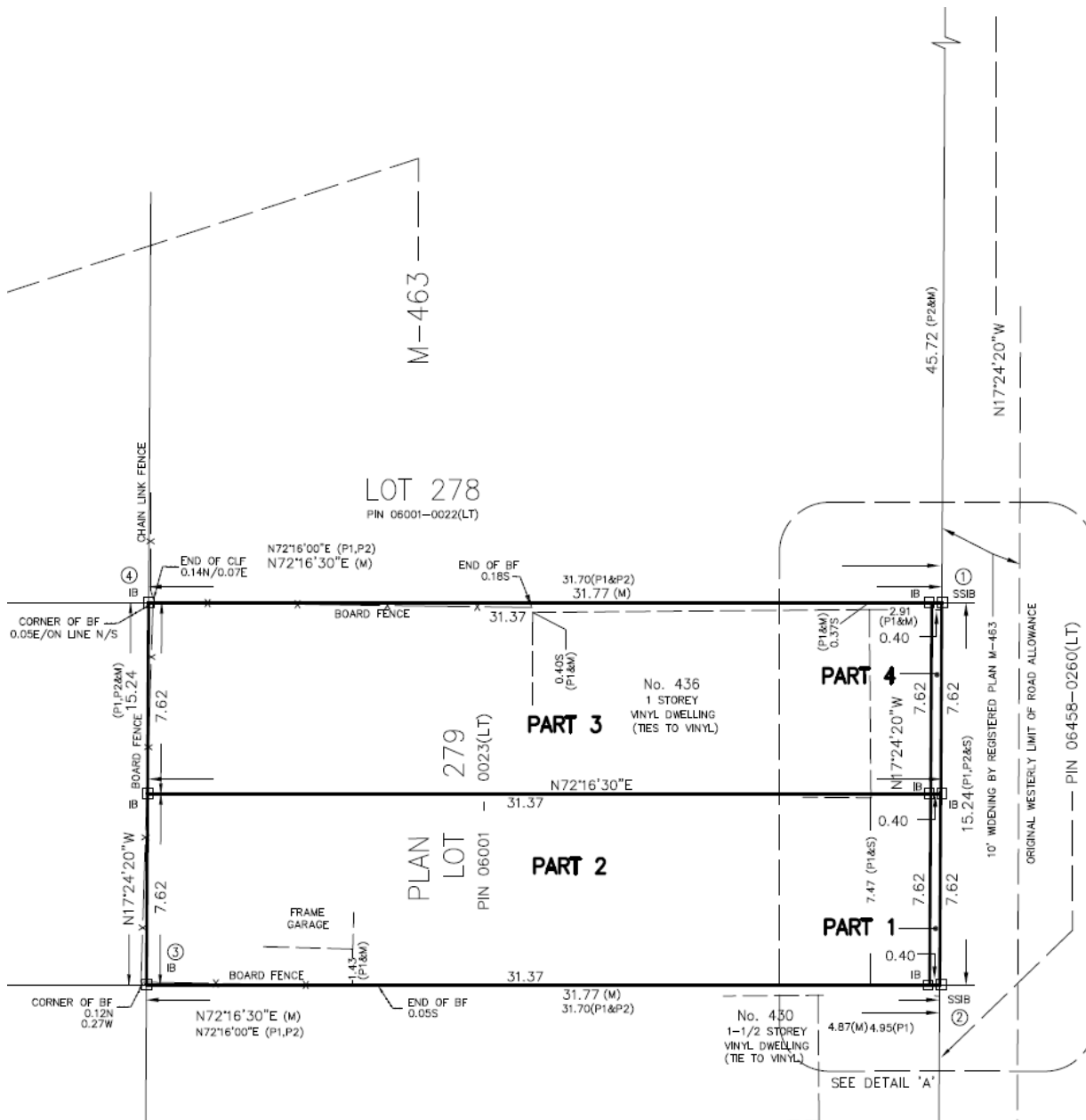
**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This variance shall be conditional on the following:

1. As directed by City Council, upon completion of construction, a new city owned and maintained street tree shall be planted on the City road allowance abutting each property involved in the application, except where a satisfactory street tree already exists. Urban Forestry staff have determined that 1 tree at \$583 per tree is required under this application (File A0281/16SC).



PHARMACY AVENUE  
ROAD ALLOWANCE BETWEEN LOTS 34 AND 35, CONCESSION B

## Lot Division Plan 436 Pharmacy Avenue (Parts 3 & 4)

Applicant's Submitted Drawing File # A0281/16SC

Not to Scale

19/01/2017

Attachment 1

**SIGNATURE PAGE**

File Number:	A0281/16SC	Zoning	Single Family Residential (S) & Residential Detached (RD) Zone [ZR]
Owner:	SHAHID SHAHID	Ward:	Scarborough Southwest (35)
Agent:	NADEEM IRFAN ARCHITECT	Heritage:	Not Applicable
Property Address:	<b>436 PHARMACY AVE</b> <b>PARTS 3 &amp; 4</b>	Community:	Clairlea Community
Legal Description:	PLAN M463 LOT 279		

\_\_\_\_\_  
David Peacock (signed)                      Eden Gajraj (signed)                      Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

## NOTICE OF DECISION

### CONSENT

(Section 53 of the Planning Act)

File Number:	B0058/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	JOHN FULFORD-BROWN	Ward:	Scarborough Southwest (36)
Agent:	HUNTER & ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	<b>3 HAIG AVE</b>	Community:	Cliffcrest Community
Legal Description:	PLAN 914 LOT 45		

Notice was given and the application considered on Thursday, January 19, 2017, as required by the Planning Act.

#### THE CONSENT REQUESTED:

To sever the land to create a lot for a new detached dwelling. The proposed lot would have a frontage of 7.57 m on Haig Avenue and a lot area of 213 m<sup>2</sup>, and is shown as Parts 1 and 4 on the attached Lot Division Plan. The existing house would remain on the proposed lot shown as Parts 2 and 3 and would have a frontage of 7.67 m on Haig Avenue and a lot area of 216 m<sup>2</sup>. Parts 3 and 4 are proposed pedestrian access easements to allow access to the rear yards.

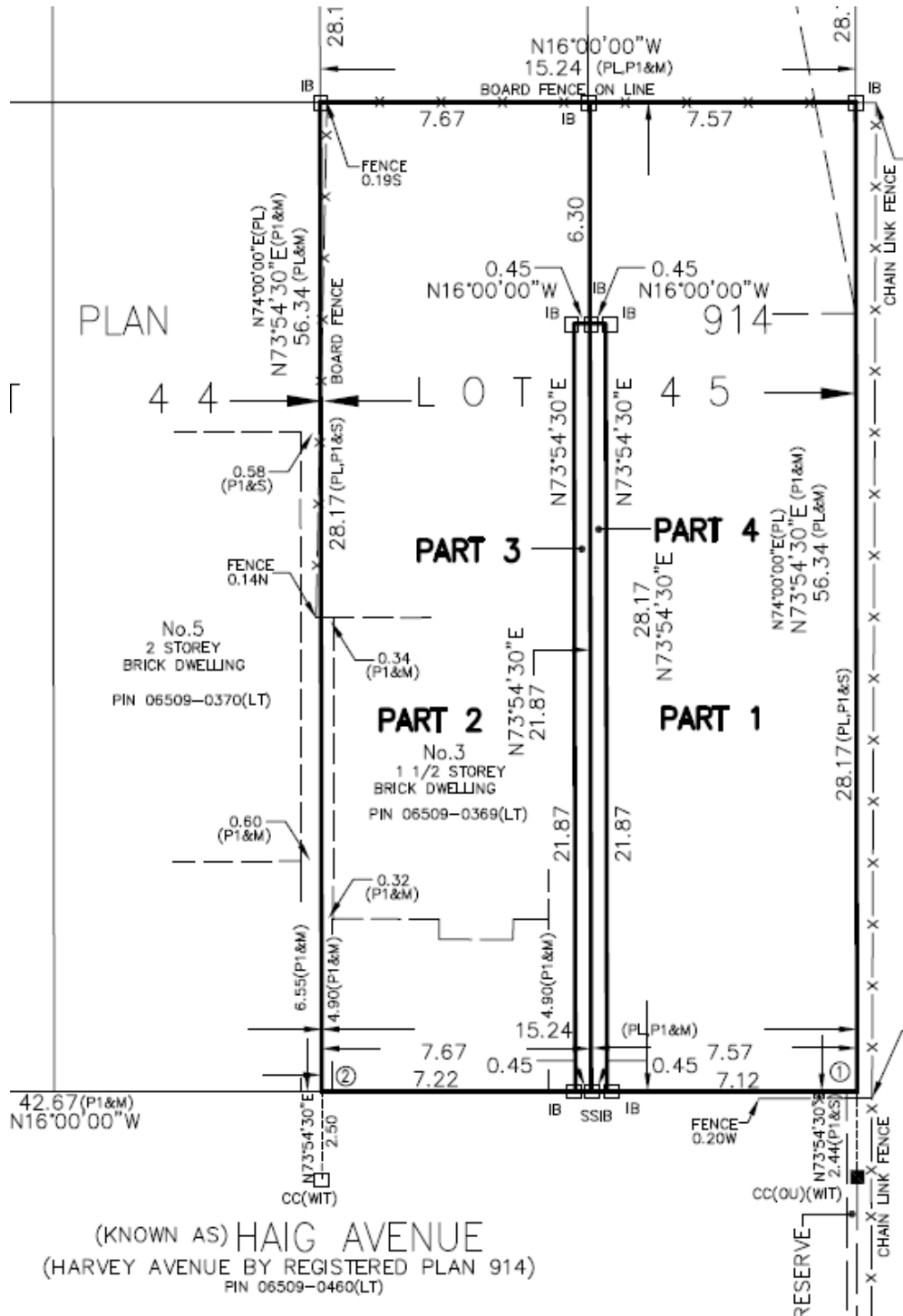
The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

#### The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the transaction as shown on the plan filed with the Committee of Adjustment on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of Survey and Mapping Services, Technical Services.

3. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with City Surveyor, Survey & Mapping, Technical Services.
4. **Three copies of the registered reference plan of survey** satisfying the requirements of the City Surveyor, shall be filed with the Committee of Adjustment.
5. The applicant shall submit to Urban Forestry a complete application to Injure or Destroy Trees for privately owned trees, as per City of Toronto Municipal Code Chapter 813, Article III.
6. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.



Lot Division Plan  
 Applicant's Submitted Drawing  
 Not to Scale

3 Haig Avenue  
 File # B0058/16SC

19/01/2017

Attachment 1

**SIGNATURE PAGE**

File Number:	B0058/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	JOHN FULFORD-BROWN	Ward:	Scarborough Southwest (36)
Agent:	HUNTER & ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	<b>3 HAIG AVE</b>	Community:	Cliffcrest Community
Legal Description:	PLAN 914 LOT 45		

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Monday, February 13, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0309/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	JOHN FULFORD-BROWN	Ward:	Scarborough Southwest (36)
Agent:	HUNTER & ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	<b>3 HAIG AVE PARTS 1 &amp; 4</b>	Community:	Cliffcrest Community
Legal Description:	PLAN 914 LOT 45		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The owner is requesting consent to sever the land at 3 Haig Avenue into two lots, and has applied for variances for the proposed south lot, shown as Parts 1 and 4 on the attached Lot Division Plan. The owner is proposing to build a new single family dwelling on the lot.

**REQUESTED VARIANCES TO THE ZONING BY-LAW:**

By-law No. 569-2013:

1. The proposed floor area is 0.783 x lot area (167 m<sup>2</sup>)  
Whereas the maximum permitted floor area is 0.6 x lot area (127.9 m<sup>2</sup>)
2. The proposed lot area is 213 m<sup>2</sup>  
Whereas the minimum required lot area is 360 m<sup>2</sup>
3. The proposed lot frontage is 7.5 m  
Whereas the minimum required lot frontage is 12 m
4. The proposed lot coverage is 47.2%  
Whereas the maximum permitted lot coverage is 33%
5. The area of a proposed second storey platform is 12.1 m<sup>2</sup>  
Whereas the maximum permitted area of each platform at or above the second storey of a detached house is 4.0 m<sup>2</sup>
6. The proposed parking space dimensions are 3.2 m x 5.3 m  
Whereas the minimum required parking space dimensions are 3.2 m x 5.6 m

By-law No. 8786:

7. The proposed front yard setback is 4.3 m  
Whereas a minimum front yard setback of 6 m is required
8. The proposed lot coverage is 48.2%  
Whereas the maximum permitted lot coverage is 33%
9. The proposed floor area is 0.78 x lot area (165 m<sup>2</sup>)  
Whereas the maximum permitted floor area is 0.6 x lot area (127.9 m<sup>2</sup>)
10. The proposed parking space dimensions are 3.2 m x 5.3 m  
Whereas the minimum required parking space dimensions are 3.3 m x 5.6 m
11. The existing/proposed lot depth is 28.1 m  
Whereas the minimum required lot depth is 33 m

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

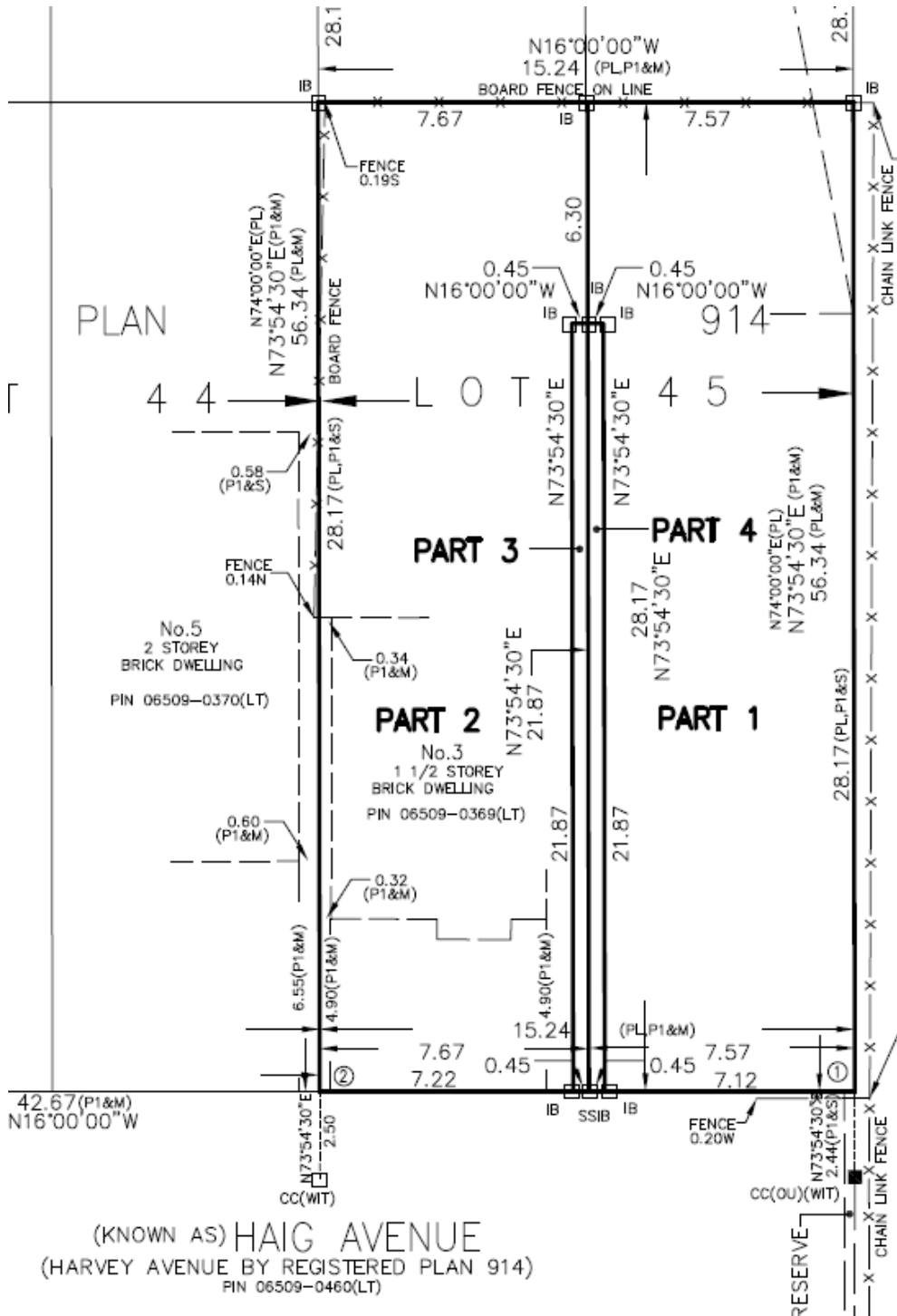
**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This Approval is Conditional on the Following:

1. The applicant shall submit to Urban Forestry a complete application to Injure or Destroy Trees for privately owned trees, as per City of Toronto Municipal Code Chapter 813, Article III.
2. Where there are no existing street trees, the applicant shall provide to Urban Forestry a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The number of trees required to be planted is one (1) (File A0309/16SC) and the current cost of planting each tree is \$583.00. Payments shall be made payable to the Treasurer, City of Toronto and sent to Urban Forestry, Scarborough Civic Centre, 150 Borough Drive, 5th floor, Toronto, Ontario, M1P 4N7.



### Lot Division Plan 3 Haig Avenue – Parts 1 & 4

Applicant's Submitted Drawing      File # A0309/16SC

Not to Scale

19/01/2017

Attachment 1

**SIGNATURE PAGE**

File Number:	A0309/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	JOHN FULFORD-BROWN	Ward:	Scarborough Southwest (36)
Agent:	HUNTER & ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	<b>3 HAIG AVE</b>	Community:	Cliffcrest Community
	<b>PARTS 1 &amp; 4</b>		
Legal Description:	PLAN 914 LOT 45		

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0310/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	JOHN FULFORD-BROWN	Ward:	Scarborough Southwest (36)
Agent:	HUNTER & ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	<b>3 HAIG AVE</b> <b>PARTS 2 &amp; 3</b>	Community:	Cliffcrest Community
Legal Description:	PLAN 914 LOT 45		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The owner is requesting consent to sever the land at 3 Haig Avenue into two lots, and has applied for variances for the proposed north lot, shown as Parts 2 and 3 on the attached Lot Division Plan. The existing house would remain on the lot.

**REQUESTED VARIANCES TO THE ZONING BY-LAW:**

By-law No. 569-2013:

1. The proposed parking space dimensions are 2.6 m x 4.3 m  
Whereas the minimum required parking space dimensions are 3.2 m x 5.6 m
2. The proposed lot area is 216 m<sup>2</sup>  
Whereas the minimum required lot area is 360 m<sup>2</sup>
3. The proposed lot frontage is 7.6 m  
Whereas the minimum required lot frontage is 12 m
4. The required parking space is proposed in the front yard  
Whereas a parking space may not be located in the front yard

By-law No. 8786:

5. The proposed parking space dimensions are 2.6 m x 4.33 m  
Whereas the minimum required parking space dimensions are 3.3 m x 5.6 m

6. The existing/proposed lot depth is 28.1 m  
Whereas the minimum required lot depth is 33 m

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

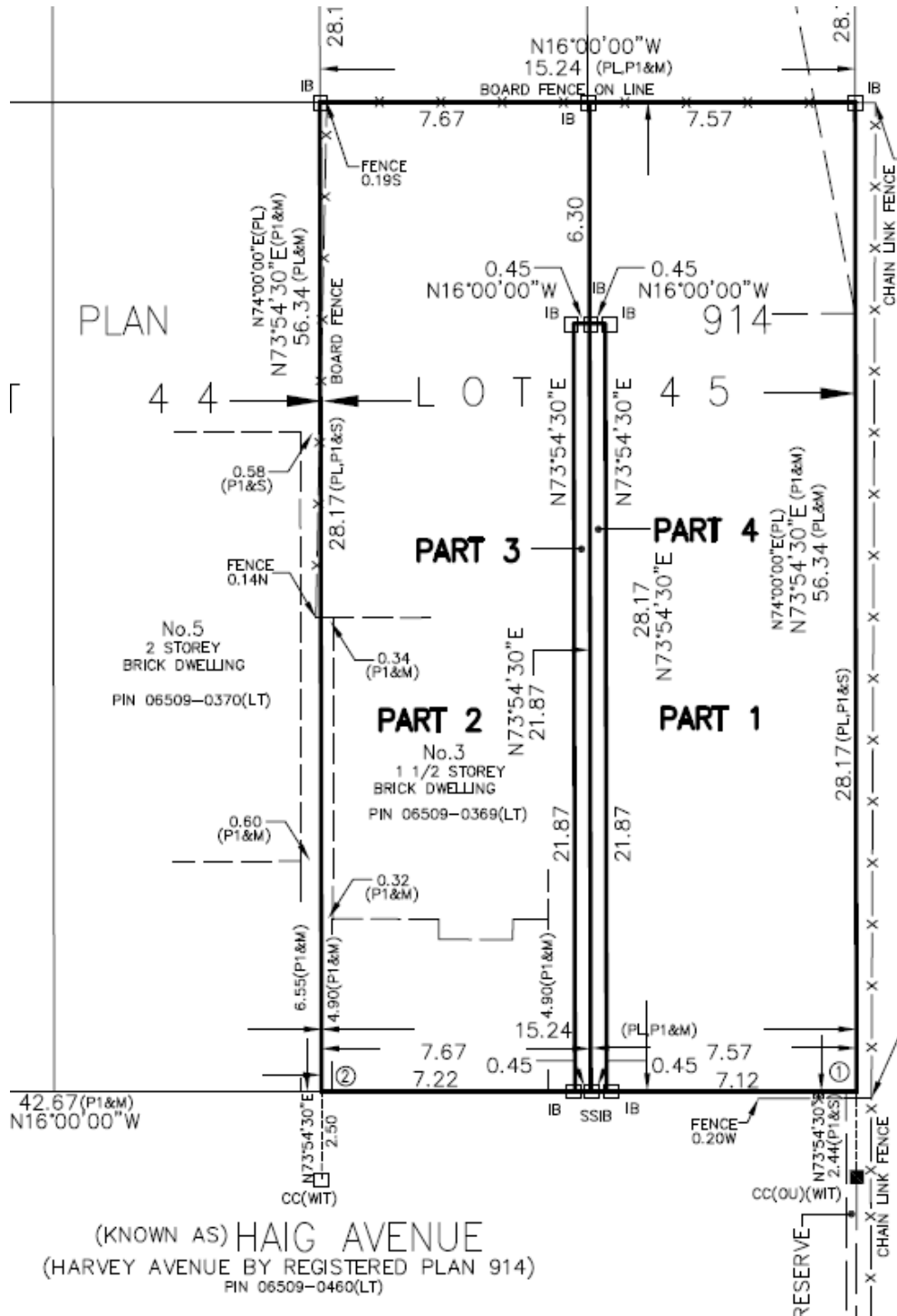
**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This Approval is Conditional on the Following:

1. The applicant shall submit to Urban Forestry a complete application to Injure or Destroy Trees for privately owned trees, as per City of Toronto Municipal Code Chapter 813, Article III.
2. Where there are no existing street trees, the applicant shall provide to Urban Forestry a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The number of trees required to be planted is one (1) (File A0310/16SC) and the current cost of planting each tree is \$583.00. Payments shall be made payable to the Treasurer, City of Toronto and sent to Urban Forestry, Scarborough Civic Centre, 150 Borough Drive, 5th floor, Toronto, Ontario, M1P 4N7.



## Lot Division Plan 3 Haig Avenue – Parts 2 & 3

Applicant's Submitted Drawing

File # A0310/16SC

Not to Scale

19/01/2017

Attachment 1

**SIGNATURE PAGE**

File Number:	A0310/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	JOHN FULFORD-BROWN	Ward:	Scarborough Southwest (36)
Agent:	HUNTER & ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	<b>3 HAIG AVE</b> <b>PARTS 2 &amp; 3</b>	Community:	Cliffcrest Community
Legal Description:	PLAN 914 LOT 45		

\_\_\_\_\_  
David Peacock (signed)                      Eden Gajraj (signed)                      Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A112/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	IRENE LEE	Ward:	Scarborough-Rouge River (41)
Agent:	DANIEL WONG	Heritage:	Not Applicable
Property Address:	<b>28 MURRAY AVE</b>	Community:	Agincourt Community
Legal Description:	PLAN 3932 LOT 43		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey single family dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013

1. To permit the proposed 370 square metres floor area, whereas the Zoning By-law permits maximum 279 square metres floor area.

By-law No. 10076

2. To permit the proposed 353 square metres floor area, whereas the Zoning By-law permits maximum 279 square metres floor area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.

- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This Approval is Conditional on the Following:

1. The Owner shall submit a complete application for permit to injure or destroy privately owned tree(s).
2. As directed by City Council, upon completion of construction, a new city owned and maintained street tree shall be planted on the City road allowance abutting each property involved in the application, except where a satisfactory street tree already exists. Urban Forestry staff have determined that 1 tree at \$583 per tree is required under this application.

**SIGNATURE PAGE**

File Number:	A112/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	IRENE LEE	Ward:	Scarborough-Rouge River (41)
Agent:	DANIEL WONG	Heritage:	Not Applicable
Property Address:	<b>28 MURRAY AVE</b>	Community:	Agincourt Community
Legal Description:	PLAN 3932 LOT 43		

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0201/16SC	Zoning	MDC- Industrial District Commercial Zone [ZZC]
Owner(s):	AJKMIK LIMITED	Ward:	Scarborough Southwest (35)
Agent:	KEN VARATHA	Heritage:	Not Applicable
Property Address:	<b>2043 EGLINTON AVE E</b>	Community:	
Legal Description:	PLAN 3759 PT LOT 1 RP RS934 PART 3		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The applicant is seeking relief from the provisions of the Zoning By-law to make interior alterations to the new restaurant and to add a kitchen system.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 24982

1. To permit the proposed 15 parking spaces provided, all partially off the lot, whereas the Zoning By-law requires a minimum 36 parking spaces.
2. To permit 0 parking spaces located on the same lot as the use they serve, whereas the Zoning By-law requires parking spaces to be located on the same lot as the use they serve.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.



**SIGNATURE PAGE**

File Number:	A0201/16SC	Zoning	MDC- Industrial District Commercial Zone [ZZC]
Owner:	AJKMIK LIMITED	Ward:	Scarborough Southwest (35)
Agent:	KEN VARATHA	Heritage:	Not Applicable
Property Address:	<b>2043 EGLINTON AVE E</b>	Community:	
Legal Description:	PLAN 3759 PT LOT 1 RP RS934 PART 3		

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

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Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0252/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	DAVID BRIAN GARDNER LINDSEY KRISTA GARDNER	Ward:	Scarborough Southwest (36)
Agent:	DIDULKA, YOUNG AND ASSOCIATES	Heritage:	Not Applicable
Property Address:	<b>10 ROMANA DR</b>	Community:	Cliffcrest Community
Legal Description:	PLAN 4035 LOT 81		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a second-storey addition over the existing garage and solarium in order to accommodate a second suite.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013 & No. 9364:

1. The proposed addition will include a secondary suite;  
Whereas the entire building must have been constructed for more than five (5) years prior to the introduction of a secondary suite.
2. The parking space for the secondary suite is proposed in the front yard;  
Whereas front yard/street yard parking is not permitted.

By-law No. 9364:

3. The altered dwelling will be located 1.2 m from the west side lot line;  
Whereas the minimum required side yard setback is 1.2 m plus 0.6 m for each additional storey, for a total required side yard setback of 1.8 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

### **The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0252/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	DAVID BRIAN GARDNER LINDSEY KRISTA GARDNER	Ward:	Scarborough Southwest (36)
Agent:	DIDULKA, YOUNG AND ASSOCIATES	Heritage:	Not Applicable
Property Address:	<b>10 ROMANA DR</b>	Community:	Cliffcrest Community
Legal Description:	PLAN 4035 LOT 81		

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David Peacock (signed)

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Eden Gajraj (signed)

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Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0287/16SC	Zoning	RD - Residential Detached/ S- Single Family Residential [ZZC]
Owner(s):	SHILPABEN THAKKAR VIPULKUMAR THAKKAR	Ward:	Scarborough Centre (38)
Agent:	VIPULKUMAR THAKKAR	Heritage:	Not Applicable
Property Address:	<b>696 BRIMORTON DR</b>	Community:	Woburn Community
Legal Description:	PLAN M750 LOT 859		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The applicant is seeking relief from the provisions of the Zoning By-law to construct a second storey addition to the existing dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

By-law No. 569-2013

1. To permit the proposed building length of 17.8 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.
2. To permit the proposed 9.1 metres front yard setback, whereas the Zoning By-law requires a minimum 11.03 metres front yard setback.
3. To permit the proposed 3.2 metres south side yard setback, whereas the Zoning By-law requires a minimum 3.6 metres building setback from a side lot line that abuts a street.
4. To permit the proposed 4.5 metres driveway width, whereas the Zoning By-law permits maximum 3.2 metres driveway width.
5. To permit the proposed 33.1% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
6. To permit the proposed 4.3 metres rear yard setback, whereas the Zoning By-law requires a minimum 7.91 metres rear yard setback.

By-law No. 9510

7. To permit the proposed 1.29 metres north side yard setback, whereas the Zoning By-law requires a minimum 1.8 metres side yard setback.
8. To permit the proposed 3.2 metres south side yard setback, whereas the Zoning By-law requires a minimum 3.6 metres building setback from a side lot line that abuts a street.
9. To permit the proposed 9.9 metres wide accessory structure (front porch), whereas the Zoning By-law permits maximum 7.6 metres wide accessory structure.
10. To permit the proposed 4.5 metres driveway width, whereas the Zoning By-law permits maximum 3.2 metres driveway width.
11. To permit the proposed 37% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
12. To permit the proposed 9.9 metres wide accessory structure (front canopy), whereas the Zoning By-law permits maximum 7.6 metres wide accessory structure.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

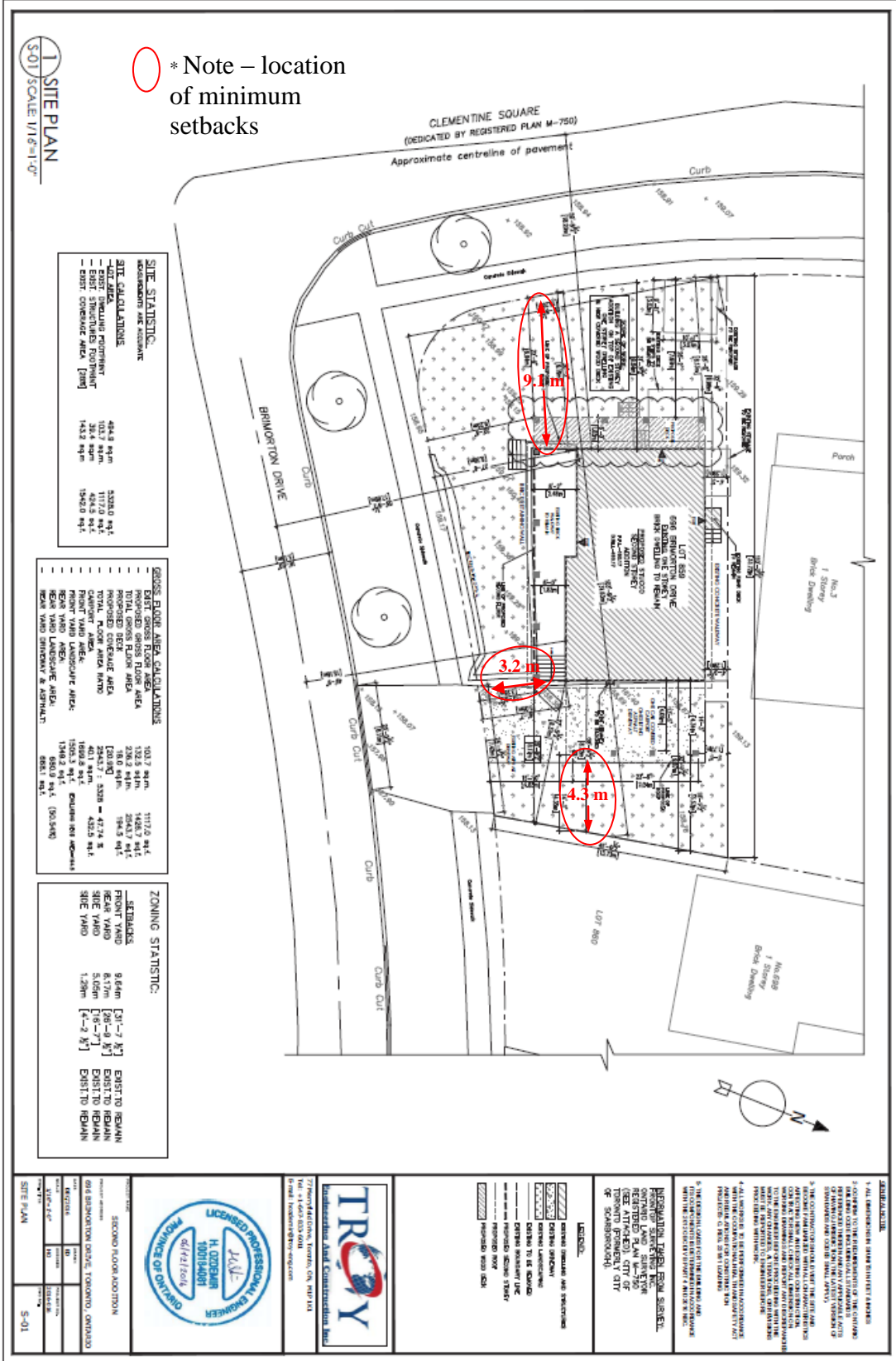
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This Approval is Conditional on the Following:

1. The Owner shall build substantially in accordance with the revised Site Plan, Drawing No. S-01, prepared by Troy Engineering and Construction Inc, dated December 2016, in order to ensure the front, south side and rear setback variances do not apply to the entire length of the irregular lot lines (see Attachment 1: Site Plan).

**Attachment 1: Site Plan**



**SIGNATURE PAGE**

File Number:	A0287/16SC	Zoning	RD - Residential Detached/ S- Single Family Residential [ZZC]
Owner:	SHILPABEN THAKKAR VIPULKUMAR THAKKAR	Ward:	Scarborough Centre (38)
Agent:	VIPULKUMAR THAKKAR	Heritage:	Not Applicable
Property Address:	<b>696 BRIMORTON DR</b>	Community:	Woburn Community
Legal Description:	PLAN M750 LOT 859		

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0293/16SC	Zoning	RD - Residential Detached/ S- Single Family Residential [ZZC]
Owner(s):	GULNAZ CHANDIWALA RIZWAN PIPRAWALA	Ward:	Scarborough Centre (38)
Agent:	ROCKIM DESIGN INC	Heritage:	Not Applicable
Property Address:	<b>35 TOULON RD</b>	Community:	Woburn Community
Legal Description:	PLAN 5420 LOT 6		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The applicant is seeking relief from the provisions of the Zoning By-law to construct a two-storey rear and side addition and a second storey addition to the existing one storey dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013 & By-law No. 9510

1. To permit the proposed 70.3% front yard soft landscaping, whereas the Zoning By-law requires a minimum 75% front yard soft landscaping.
2. To permit the proposed 5.26 metres by 2.68 metres parking space dimension, whereas the Zoning By-law requires a minimum 5.6 metres by 3.2 metres parking space dimension.

By-law No. 569-2013

3. To permit the proposed 39.6% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
4. To permit the proposed building length of 18 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.
5. To permit the proposed 11.4 square metres second storey platform area, whereas the Zoning By-law permits maximum 4 square metres platform area.

**By-law No. 9510**

6. To permit the proposed 43% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
7. To permit the proposed 8.3 metres wide accessory structure (rear deck), whereas the Zoning By-law permits a maximum 7.6 metres by 7.6 metres accessory structure dimensions.
8. To permit the proposed 13.4 metres long accessory structure (garage/carport), whereas the Zoning By-law permits a maximum 7.6 metres by 7.6 metres accessory structure dimensions.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

**SIGNATURE PAGE**

File Number:	A0293/16SC	Zoning	RD - Residential Detached/ S- Single Family Residential [ZZC]
Owner:	GULNAZ CHANDIWALA RIZWAN PIPRAWALA	Ward:	Scarborough Centre (38)
Agent:	ROCKIM DESIGN INC	Heritage:	Not Applicable
Property Address:	<b>35 TOULON RD</b>	Community:	Woburn Community
Legal Description:	PLAN 5420 LOT 6		

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0294/16SC	Zoning	Residential Detached (RD) & Single Family Residential (S) Zone [ZR]
Owner(s):	NISHAN DERHOVAGIMIAN TALINE DERHOVAGIMIAN	Ward:	Scarborough-Agincourt (40)
Agent:	NISHAN DERHOVAGIMIAN	Heritage:	Not Applicable
Property Address:	<b>39 ARAGON AVE</b>	Community:	Tam O'Shanter Community
Legal Description:	PLAN 4501 PT LOT 3		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached dwelling with an integral garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013:

1. The proposed dwelling will have a gross floor area equal to 0.46 times the lot area (438.2 m<sup>2</sup>); Whereas the maximum permitted gross floor area is 0.4 times the area of the lot (387.5 m<sup>2</sup>).
2. The proposed dwelling will be located 8.47 m from the front lot line; Whereas the minimum required front yard setback is 10.86 m.
3. The proposed dwelling will have a height of 10.15 m, as measured from established grade; Whereas the maximum permitted dwelling height is 9 m.
4. The proposed dwelling will have a total length of 20.78 m; Whereas the maximum permitted length is 17 m.

By-law No. 12360:

5. The proposed dwelling will have a height of 10.22 m, as measured from mean grade; Whereas the maximum permitted dwelling height is 9 m.
6. The proposed integral garage will have a total floor area of 103.6 m<sup>2</sup>; Whereas the maximum permitted floor area of an accessory structure (garage) is 75 m<sup>2</sup>.

7. The proposed integral garage will have dimensions of 9.66 m by 12.32 m;  
Whereas the maximum permitted size of an accessory structure (garage) is 7.6 m by 7.6 m.
8. The proposed front porch will have dimensions of 8.39 m by 3.68 m;  
Whereas the maximum permitted size of an accessory structure (porch) is 7.6 m by 7.6 m.
9. The proposed garage can accommodate up to four (4) parking spaces;  
Whereas a maximum of two (2) parking spaces is permitted within an accessory structure.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

### **The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. As directed by City Council, upon completion of construction, a new city owned and maintained street tree shall be planted on the City road allowance abutting each property involved in the application, except where a satisfactory street tree already exists. The payment required for each new tree to be planted is \$583. Urban Forestry staff have determined that **1 tree** is required under this application, therefore the total payment required is **\$583**.

Payments shall be made payable to the **Treasurer, City of Toronto** and sent to the attention of Supervisor Urban Forestry, Tree Protection & Plan Review, at 150 Borough Drive, 5th Floor, Toronto, Ontario, M1P 4N7. Accepted methods of payment may be in the form of a Letter of Credit, certified cheque, bank draft, money order, or pay in person by credit card or debit card.

A Letter of Clearance will be issued once the required conditions are fulfilled. Applicants may contact our office at 416-338-5566 or by email at [tppreast@toronto.ca](mailto:tppreast@toronto.ca) for additional information.

**SIGNATURE PAGE**

File Number:	A0294/16SC	Zoning	Residential Detached (RD) & Single Family Residential (S) Zone [ZR]
Owner:	NISHAN DERHOVAGIMIAN TALINE DERHOVAGIMIAN	Ward:	Scarborough-Agincourt (40)
Agent:	NISHAN DERHOVAGIMIAN	Heritage:	Not Applicable
Property Address:	<b>39 ARAGON AVE</b>	Community:	Tam O'Shanter Community
Legal Description:	PLAN 4501 PT LOT 3		

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0306/16SC	Zoning	Residential Detached (RD) & Single Family Residential (S) Zone [ZR]
Owner(s):	KAWLRA POONAN JAY KAWLRA	Ward:	Scarborough Southwest (35)
Agent:	LEO MASTRANDREA	Heritage:	Not Applicable
Property Address:	<b>616 PHARMACY AVE</b>	Community:	Clairlea Community
Legal Description:	PLAN M463 LOT 243		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013:

1. The proposed dwelling will cover 35.43% of the lot area;  
Whereas the maximum permitted coverage is 33% of the lot area.
2. The proposed dwelling will be located 21.47 m from the original centreline of Kennedy Road (8.36 m from the front property line);  
Whereas the minimum required front yard setback is 22 m from the original centreline of Pharmacy Avenue (8.89 m from the front property line).
3. The proposed dwelling will be located 6.88 m from the rear lot line;  
Whereas the minimum required rear yard setback is 7.93 m.
4. The proposed dwelling will have a height of 7.6 m (8.2 m including parapet);  
Whereas the maximum permitted height of a dwelling with a flat roof is 7.2 m (7.5 m including parapet).
5. The proposed second storey rear platform (balcony) will have an area of 8.14 m<sup>2</sup>;  
Whereas the maximum permitted area of a platform is 4 m<sup>2</sup>.

By-law No. 8978:

6. The proposed dwelling will cover 39.5% of the lot area;  
Whereas the maximum permitted coverage is 33% of the lot area.
7. The proposed dwelling will be located 21.47 m from the original centreline of Kennedy Road (8.36 m from the front property line);  
Whereas the minimum required front yard setback is 22 m from the original centreline of Pharmacy Avenue (8.89 m from the front property line).
8. The proposed dwelling will be located 6.88 m from the rear lot line;  
Whereas the minimum required rear yard setback is 7.5 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The Owner shall build substantially in accordance with the Site Plan, Drawing No. A1, prepared by Lemcad Consultants, dated August 23, 2016, in order to ensure the 6.88 m rear yard setback only applies to the cantilevered portion of the second floor (see Attachment 1: Site Plan).
2. The Owner shall provide permanent solid screening or fencing along the south edge of the rear second storey balcony, with a minimum height of 1.8 m measured from the floor of the balcony.
3. As directed by City Council, upon completion of construction, a new city owned and maintained street tree shall be planted on the City road allowance abutting each property involved in the application, except where a satisfactory street tree already exists. The payment required for each new tree to be planted is \$583. Urban Forestry staff have determined that **1 tree** is required under this application, therefore the total payment required is **\$583**.

Payments shall be made payable to the **Treasurer, City of Toronto** and sent to the attention of Supervisor Urban Forestry, Tree Protection & Plan Review, at 150 Borough Drive, 5th Floor, Toronto, Ontario, M1P 4N7. Accepted methods of payment may be in the form of a Letter of Credit, certified cheque, bank draft, money order, or pay in person by credit card or debit card.

A Letter of Clearance will be issued once the required conditions are fulfilled. Applicants may contact our office at 416-338-5566 or by email at [tppreast@toronto.ca](mailto:tppreast@toronto.ca) for additional information.





**SIGNATURE PAGE**

File Number:	A0306/16SC	Zoning	Residential Detached (RD) & Single Family Residential (S) Zone [ZR]
Owner:	KAWLRA POONAN JAY KAWLRA	Ward:	Scarborough Southwest (35)
Agent:	LEO MASTRANDREA	Heritage:	Not Applicable
Property Address:	<b>616 PHARMACY AVE</b>	Community:	Clairlea Community
Legal Description:	PLAN M463 LOT 243		

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David Peacock (signed)

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Eden Gajraj (signed)

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Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0307/16SC	Zoning	RS - Residential Semi-Detached/T - Two Family Residential [ZZC]
Owner(s):	J DARAGH MAVSWORTH	Ward:	Scarborough Southwest (36)
Agent:	POMEROY ARCHITECTURE INC	Heritage:	Not Applicable
Property Address:	<b>293 BLANTYRE AVE</b>	Community:	Birchcliff Community
Legal Description:	PLAN 3288 LOT 7		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey rear addition to the existing two storey single family dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

By-law No. 569-2013

1. To permit the proposed 36% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
2. To permit the proposed street yard parking as it is located in front of the front main wall of the addition, whereas the Zoning By-law does not permit street yard parking.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.

- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This Approval is Conditional on the Following:

1. The Owner shall submit a complete application for permit to injure or destroy privately owned tree(s).

**SIGNATURE PAGE**

File Number:	A0307/16SC	Zoning	RS - Residential Semi-Detached/T - Two Family Residential [ZZC]
Owner:	J DARAGH MAVSWORTH	Ward:	Scarborough Southwest (36)
Agent:	POMEROY ARCHITECTURE INC	Heritage:	Not Applicable
Property Address:	<b>293 BLANTYRE AVE</b>	Community:	Birchcliff Community
Legal Description:	PLAN 3288 LOT 7		

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0313/16SC	Zoning	Industrial District Commercial (MDC) Zone [Waiver]
Owners:	1359339 ONTARIO INC	Ward:	Scarborough-Rouge River (41)
Agent:	DORIS CHEUNG	Heritage:	Not Applicable
Property Address:	<b>4438 SHEPPARD AVE E</b> <b>UNITS 84 TO 111</b>	Employment District:	Marshalling Yard Employment District
Legal Description:	TORONTO CONDO PLAN 1644		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

This application is for a variance to permit CCM Centre to provide programs for children and youth in its existing educational and training facility. In 2013, the Committee of Adjustment approved a variance to permit an adult educational and vocational training school. The CCM Centre is now proposing to expand its programs to include activities for children and youth.

**REQUESTED VARIANCE TO THE ZONING BY-LAW:**

By-law No. 24982:

1. To permit a 1,025 m<sup>2</sup> Educational and Training Facility to provide programs for adults, youth and children on the third floor of the building,  
WHEREAS the Zoning By-law does not permit Educational and Training Facilities.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance is minor.

**SIGNATURE PAGE**

File Number:	A0313/16SC	Zoning	Industrial District Commercial (MDC) Zone [Waiver]
Owners:	1359339 ONTARIO INC	Ward:	Scarborough-Rouge River (41)
Agent:	DORIS CHEUNG	Heritage:	Not Applicable
Property Address:	<b>4438 SHEPPARD AVE E UNITS 84 TO 111</b>	Employment District:	Marshalling Yard Employment District
Legal Description:	TORONTO CONDO PLAN 1644		

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0315/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [Waiver]
Owner(s):	ERIC PHILLIP KETTLE	Ward:	Scarborough Southwest (36)
Agent:	KAM SEDANI	Heritage:	Not Applicable
Property Address:	<b>73 HAREWOOD AVE</b>	Community:	Cliffcrest Community
Legal Description:	PLAN 2347 LOT 273		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey single family dwelling. The existing dwelling will be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013 & By-law No. 9676

1. To permit the proposed 34.2% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
2. To permit the proposed 277.8 square metres floor area or 0.57 times the lot area, whereas the Zoning By-law permits maximum 247 square metres or 0.5 time the lot area.

By-law No. 569-2013

3. To permit the proposed building length of 17.3 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.



- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This Approval is Conditional on the Following:

1. The Owner shall submit a complete application for permit to injure or destroy privately owned tree(s).
2. As directed by City Council, upon completion of construction, a new city owned and maintained street tree shall be planted on the City road allowance abutting each property involved in the application, except where a satisfactory street tree already exists. Urban Forestry staff have determined that 1 tree at \$583 per tree is required under this application.

**SIGNATURE PAGE**

File Number:	A0315/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [Waiver]
Owner:	ERIC PHILLIP KETTLE	Ward:	Scarborough Southwest (36)
Agent:	KAM SEDANI	Heritage:	Not Applicable
Property Address:	<b>73 HAREWOOD AVE</b>	Community:	Cliffcrest Community
Legal Description:	PLAN 2347 LOT 273		

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0318/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	CATHERINE GROGAN NIMA DEJPOUR	Ward:	Scarborough Southwest (36)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>53 CHINE DR</b>	Community:	Cliffside Community
Legal Description:	PLAN 1566 LOT 442		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey single family dwelling. The existing dwelling will be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013

1. To permit the proposed 400 square metres floor area or 0.48 times the lot area, whereas the Zoning By-law permits maximum 334 square metres floor area or 0.4 time the lot area.
2. To permit the proposed 10 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
3. To permit the proposed 100% of side main walls to be above 7 metres, whereas the Zoning By-law requires 100% of side main walls to be below 7 metres.

By-law No. 9364

4. To permit the proposed 0.9 metres north and 1.22 metres south side yard setback, whereas the Zoning By-law requires a minimum 1.5 metres side yard setback.
5. To permit the proposed 9.84 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.

6. To permit the proposed 400 square metres floor area or 0.48 times the lot area, whereas the Zoning By-law permits maximum 334 square metres or 0.4 time the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

### **The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

**SIGNATURE PAGE**

File Number:	A0318/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	CATHERINE GROGAN NIMA DEJPOUR	Ward:	Scarborough Southwest (36)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>53 CHINE DR</b>	Community:	Cliffside Community
Legal Description:	PLAN 1566 LOT 442		

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0326/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	PRABHADEVI SOMASUNDARAM DHAMODHARAN RENGASAMY	Ward:	Scarborough Southwest (35)
Agent:	ROSA DESIGNS LTD.	Heritage:	Not Applicable
Property Address:	<b>938 DANFORTH RD</b>	Community:	Eglinton Community
Legal Description:	PLAN 4298 LOT 81		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To maintain the two-storey detached house under construction on the property.

**REQUESTED VARIANCES TO THE ZONING BY-LAW:**

By-law No. 569-2013:

1. The house is 9.7 m in height  
Whereas the maximum permitted building height is 9 m
2. The proposed building length is 17.3 m  
Whereas the maximum permitted building length is 17 m measured between the portion of the front main wall closest to the front lot line and the portion of the rear main wall closest to the rear lot line.
3. The proposed deck area at the second floor level is 5.8 m<sup>2</sup>  
Whereas the maximum permitted area of each platform is 4.0 m<sup>2</sup>
4. The proposed driveway width in the rear yard, leading to the rear yard parking spaces, is 5.53 m  
Whereas the maximum permitted driveway width in the rear yard is 2.6 m

By-law No. 10048:

5. The house is 9.7 m in height  
Whereas the maximum permitted building height is 9 m

6. The proposed rear yard setback is 16.5  
Whereas the required rear yard setback is 16.7 m.
7. The proposed driveway width in the rear yard, leading to the rear yard parking spaces, is 5.53 m  
Whereas the maximum permitted driveway width in the rear yard is 2.6 m

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

### **The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

**SIGNATURE PAGE**

File Number:	A0326/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	PRABHADEVI SOMASUNDARAM DHAMODHARAN RENGASAMY	Ward:	Scarborough Southwest (35)
Agent:	ROSA DESIGNS LTD.	Heritage:	Not Applicable
Property Address:	<b>938 DANFORTH RD</b>	Community:	Eglinton Community
Legal Description:	PLAN 4298 LOT 81		

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0328/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	CHANCHAL RAYMOND GODINO RAYMOND GODINA	Ward:	Scarborough Southwest (35)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>2 MACK AVE</b>	Community:	Oakridge Community
Legal Description:	PLAN 1992 LOT 5		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey single family dwelling. The existing dwelling will be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013

1. To permit the proposed 0.2 metres setback from the property line to the eavestrough, whereas the Zoning By-law requires a minimum 0.3 metres setback from the property line to the eavestrough.
2. To permit the proposed 9.2 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
3. To permit the proposed 1.31 metres height of the first floor, whereas the Zoning By-law permits maximum 1.2 metres height of the first floor above established grade.
4. To permit the proposed building length of 19.2 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.
5. To permit the proposed building depth of 19.2 metres measured from the front yard setback requirement on a lot to the rear wall, whereas the Zoning By-law permits maximum building depth of 19 metres.

By-law No. 9812

6. To permit the proposed 9.2 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This Approval is Conditional on the Following:

1. As directed by City Council, upon completion of construction, a new city owned and maintained street tree shall be planted on the City road allowance abutting each property involved in the application, except where a satisfactory street tree already exists. Urban Forestry staff have determined that **1** tree at \$583 per tree is required under this application.

**SIGNATURE PAGE**

File Number:	A0328/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	CHANCHAL RAYMOND GODINO RAYMOND GODINA	Ward:	Scarborough Southwest (35)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>2 MACK AVE</b>	Community:	Oakridge Community
Legal Description:	PLAN 1992 LOT 5		

\_\_\_\_\_  
David Peacock (signed)                      Eden Gajraj (signed)                      Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0332/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	JOHN FRANCIS HUGHES TARA CATHERINE HUGHES	Ward:	Scarborough Southwest (36)
Agent:	RESIDENTIAL DRAFTING SERVICE LTD	Heritage:	Not Applicable
Property Address:	<b>70 DORSET RD</b>	Community:	Cliffcrest Community
Legal Description:	PLAN 2347 LOT 135		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

This application is for variances for a new two-storey house under construction on the property.

**REQUESTED VARIANCES TO THE ZONING BY-LAW:**

By-law No. 569-2013:

1. The propose building height is 9.4 m  
Whereas the maximum permitted building height is 9 m
2. The house would have three storeys  
Whereas a maximum of two storeys is permitted
3. The side walls would be 7.31 m in height  
Whereas the maximum permitted wall height is 7 m
4. The propose first floor height is 1.44 m  
Whereas the maximum permitted first floor height is 1.2 m above established grade
5. The proposed rear deck area is 19 m<sup>2</sup> at the second floor level  
Whereas the maximum permitted area is 4.0 m<sup>2</sup>
6. The proposed front yard setback is 5.18 m measured to the front wall of the cold cellar  
Whereas the minimum required front yard setback is 6 m

7. The proposed floor area, including the floor below grade, is 0.86 x the area of the lot (372 m<sup>2</sup> floor area)  
Whereas the maximum permitted floor area is 0.5 x the area of the lot (216 m<sup>2</sup> floor area)

By-law No. 9396:

8. The propose building height is 9.4 m  
Whereas the maximum permitted building height is 9 m
9. The basement height is 1.14 m  
Whereas the maximum permitted basement height is 1.0 m

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This variance is Subject to the Following Conditions:

1. The Owner shall submit a complete application for permit to injure or destroy privately owned tree(s) to the satisfaction of Urban Forestry, Tree Protection and Plan Review.
2. The Owner shall construct the deck so that it is a minimum of 1 m below the second storey finished floor, to the satisfaction of the Director/Deputy Chief Building Official, Toronto Building, Scarborough District.
3. The Owner shall provide permanent privacy screening along the north and south sides of the rear second storey deck, with a minimum height of 2 m measured from the floor of the deck to the satisfaction of the Director/Deputy Chief Building Official, Toronto Building, Scarborough District.

**SIGNATURE PAGE**

File Number:	A0332/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	JOHN FRANCIS HUGHES TARA CATHERINE HUGHES	Ward:	Scarborough Southwest (36)
Agent:	RESIDENTIAL DRAFTING SERVICE LTD	Heritage:	Not Applicable
Property Address:	<b>70 DORSET RD</b>	Community:	Cliffcrest Community
Legal Description:	PLAN 2347 LOT 135		

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0335/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	MUHAMMAD ASIM CHOHAN	Ward:	Scarborough Southwest (36)
Agent:	LEO MASTRANDREA	Heritage:	Not Applicable
Property Address:	<b>308 KENNEDY RD</b>	Community:	Cliffside Community
Legal Description:	PLAN M409 LOT 271		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached dwelling with an integral garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013 and No. 9364:

1. The proposed dwelling will be located 15.2 m from the original centreline of Kennedy Road; Whereas the minimum required front yard setback is 22 m from the centreline of the original road allowance of Kennedy Road.
2. A total of 60% of the required front yard will be maintained as soft landscaping (172.77 m<sup>2</sup>); Whereas a minimum of 75% of the required front yard landscaping shall be maintained as soft landscaping (215.39 m<sup>2</sup>).

By-law No. 569-2013:

3. The proposed dwelling will have a length of 18.6 m; Whereas the maximum permitted dwelling length is 17 m.
4. The eaves overhang, including the eavestrough, will be located 0.21 m from the south side lot line; Whereas the minimum required side yard setback for an eaves overhang is 0.3 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

## **The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. As directed by City Council, upon completion of construction, a new city owned and maintained street tree shall be planted on the City road allowance abutting each property involved in the application, except where a satisfactory street tree already exists. The payment required for each new tree to be planted is \$583. Urban Forestry staff have determined that **1 tree** is required under this application, therefore the total payment required is **\$583**.

Payments shall be made payable to the **Treasurer, City of Toronto** and sent to the attention of Supervisor Urban Forestry, Tree Protection & Plan Review, at 150 Borough Drive, 5th Floor, Toronto, Ontario, M1P 4N7. Accepted methods of payment may be in the form of a Letter of Credit, certified cheque, bank draft, money order, or pay in person by credit card or debit card.

A Letter of Clearance will be issued once the required conditions are fulfilled. Applicants may contact our office at 416-338-5566 or by email at [tppreast@toronto.ca](mailto:tppreast@toronto.ca) for additional information.



**SIGNATURE PAGE**

File Number:	A0335/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	MUHAMMAD ASIM CHOHAN	Ward:	Scarborough Southwest (36)
Agent:	LEO MASTRANDREA	Heritage:	Not Applicable
Property Address:	<b>308 KENNEDY RD</b>	Community:	Cliffside Community
Legal Description:	PLAN M409 LOT 271		

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0336/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	WADIKUMBURE CHANDRALATHA CHANDANA DANAPALA MUDIYANSELAGE	Ward:	Scarborough-Agincourt (40)
Agent:	LEO MASTRANDREA	Heritage:	Not Applicable
Property Address:	<b>87 SCARDEN AVE</b>	Community:	Tam O'Shanter Community
Legal Description:	PLAN M792 LOT 50		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new second storey addition with a two-storey rear addition to the existing one storey single family dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

By-law No. 569-2013

1. To permit the proposed 275 square metres floor area, whereas the Zoning By-law permits maximum 240 square metres floor area.
2. To permit 5.5 square metres of the first floor to be within 4 metres of the front main wall, whereas the Zoning By-law requires a minimum of 10 square metres of the first floor to be within 4 metres of the front main wall.

By-law No. 12360

3. To permit the proposed 1.57 metres west and 1.53 metres east side yard setback, whereas the Zoning By-law requires a minimum 1.8 metres side yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

## **The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

**SIGNATURE PAGE**

File Number:	A0336/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	WADIKUMBURE CHANDRALATHA CHANDANA DANAPALA MUDIYANSELAGE	Ward:	Scarborough-Agincourt (40)
Agent:	LEO MASTRANDREA	Heritage:	Not Applicable
Property Address:	<b>87 SCARDEN AVE</b>	Community:	Tam O'Shanter Community
Legal Description:	PLAN M792 LOT 50		

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0337/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	JEREMY SMITH	Ward:	Scarborough Southwest (36)
Agent:	JEREMY SMITH	Heritage:	Not Applicable
Property Address:	<b>10 HAREWOOD AVE</b>	Community:	Cliffcrest Community
Legal Description:	PLAN 2347 LOT 307		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two storey detached house.

**REQUESTED VARIANCES TO THE ZONING BY-LAW:**By-law No. 569-2013:

1. The proposed floor area is 0.51 x lot area (252 m<sup>2</sup>)  
Whereas the maximum permitted floor area is 0.5 x lot area (247 m<sup>2</sup>)
2. None of the first floor area is within 4 m of the front main wall  
Whereas a minimum of 10 m<sup>2</sup> of the first floor must be located within 4 m of the front main wall.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.

- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This variance is Subject to the Following Condition:

1. The Owner shall submit a complete application for permit to injure or destroy privately owned tree(s) to the satisfaction of Urban Forestry, Tree Protection and Plan Review.

**SIGNATURE PAGE**

File Number:	A0337/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	JEREMY SMITH	Ward:	Scarborough Southwest (36)
Agent:	JEREMY SMITH	Heritage:	Not Applicable
Property Address:	<b>10 HAREWOOD AVE</b>	Community:	Cliffcrest Community
Legal Description:	PLAN 2347 LOT 307		

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0339/16SC	Zoning	Residential Detached (RD) & Single Family (S) [Waiver]
Owner(s):	ANDY ANASTASIS FLOROSZ ALISON ALEXANDRA FLOROSZ	Ward:	Scarborough East (43)
Agent:	ALISON ALEXANDRA FLOROSZ	Heritage:	Not Applicable
Property Address:	<b>15 BLEDLOW MANOR DR</b>	Community:	Guildwood Community
Legal Description:	PLAN M943 LOT 43		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a second storey addition over the existing garage and to construct a new covered front porch.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

By-law No. 9676:

The proposed second storey addition will be located 1.23 m from the west side lot line; Whereas the minimum required side yard setback is 1.2 m plus 0.6 m for each additional storey, for a total required side yard setback of 1.8 m.

**Note:** the side yard setback on the ground floor is an existing condition.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.



**SIGNATURE PAGE**

File Number:	A0339/16SC	Zoning	Residential Detached (RD) & Single Family (S) [Waiver]
Owner:	ANDY ANASTASIS FLOROSZ ALISON ALEXANDRA FLOROSZ	Ward:	Scarborough East (43)
Agent:	ALISON ALEXANDRA FLOROSZ	Heritage:	Not Applicable
Property Address:	<b>15 BLEDLow MANOR DR</b>	Community:	Guildwood Community
Legal Description:	PLAN M943 LOT 43		

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0340/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	KIMIKO YAMADA	Ward:	Scarborough Southwest (36)
Agent:	NORSEMAN CONSTRUCTION	Heritage:	Not Applicable
Property Address:	<b>38 HUNT CLUB DR</b>	Community:	Birchcliff Community
Legal Description:	PLAN 3153 PT LOT 51 PT LOT 52		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a two-storey rear addition, a two-storey south side addition with integral garage, a one-storey rear addition and a second storey over the existing dwelling. The proposal also includes interior and exterior renovations, a new rear deck and new front porch.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013 and No. 8786:

1. The altered dwelling will cover 38.35% of the lot area (136.47 m<sup>2</sup>);  
Whereas the maximum permitted coverage is 33% of the lot area (117.42 m<sup>2</sup>).

By-law No. 569-2013:

2. The altered dwelling will have a floor space index equal to 0.66 times the lot area (233.27 m<sup>2</sup>);  
Whereas the maximum permitted floor space index is 0.6 times the lot area (213.49 m<sup>2</sup>).

By-law No. 8786:

3. The altered dwelling will have a floor space index equal to 0.65 times the lot area (229.63 m<sup>2</sup>);  
Whereas the maximum permitted floor space index is 0.6 times the lot area (213.49 m<sup>2</sup>).
4. The altered dwelling will be located 5.9 m from the front lot line;  
Whereas the minimum required front yard setback is 6 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

### **The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0340/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	KIMIKO YAMADA	Ward:	Scarborough Southwest (36)
Agent:	NORSEMAN CONSTRUCTION	Heritage:	Not Applicable
Property Address:	<b>38 HUNT CLUB DR</b>	Community:	Birchcliff Community
Legal Description:	PLAN 3153 PT LOT 51 PT LOT 52		

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, February 2, 2017

**CLARIFICATION OF NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0344/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [WAIVER]
Owner(s):	SHABNAM RAHMAN SHAFIQR RAHMAN	Ward:	Scarborough Southwest (36)
Agent:	CANTAM GROUP	Heritage:	Not Applicable
Property Address:	<b>29 DUNELM ST</b>	Community:	Scarborough Village Community
Legal Description:	PLAN M1642 LOT 1		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

*This clarification is being issued to advise that Variance No. 1. is a variance from the provision of both By-law No. 569-2013 and By-law No. 10010. The Notice of Decision of the Committee of Adjustment issued on January 19, 2017 indicated that Variance No. 1 was a variance from the provision of By-law No. 569-2013 only.*

**PURPOSE OF THE APPLICATION:**

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new one storey addition over the front of the existing single family dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

By-law No. 569-2013 & By-law No. 10010

1. To permit the proposed floor space index of 0.45 times the lot area, whereas the Zoning By-law permits maximum floor space index of 0.4 times to the lot area.

By-law No. 569-2013

2. To permit the proposed 1.1 metres west side yard setback, whereas the Zoning By-law requires a minimum 1.2 metres side yard setback.
3. To permit the proposed 10.5 metres front yard setback, whereas the Zoning By-law requires a minimum 11.79 metres front yard setback.

**By-law No. 10010**

4. To permit the proposed 1.16 metres basement height, whereas the Zoning By-law permits maximum 1 metres basement height.
5. To permit the proposed 1.1 metres side yard setback, whereas the Zoning By-law requires a minimum 1.8 metres side yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

**SIGNATURE PAGE**

File Number:	A0344/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [WAIVER]
Owner:	SHABNAM RAHMAN SHAFIQR RAHMAN	Ward:	Scarborough Southwest (36)
Agent:	CANTAM GROUP	Heritage:	Not Applicable
Property Address:	<b>29 DUNELM ST</b>	Community:	Scarborough Village Community
Legal Description:	PLAN M1642 LOT 1		

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0350/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	SUKHVINDER KAUR SIKAND	Ward:	Scarborough Centre (38)
Agent:	DTECHLINE INTERNATIONAL	Heritage:	Not Applicable
Property Address:	<b>30 DELAWANA DR</b>	Community:	Woburn Community
Legal Description:	PLAN M740 LOT 524		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The applicant is seeking relief from the provisions of the Zoning By-law to permit the existing carport, greenhouse and the new side deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013

1. To permit the proposed 0.85 metres east side yard setback, whereas the Zoning By-law requires a minimum 1.2 metres side yard setback.
2. To permit the proposed 7.3 metres rear yard setback, whereas the Zoning By-law requires a minimum 7.5 metres rear yard setback.

By-law No. 9510

3. To permit the proposed 11.5 metres by 3.68 metres dimensions of the carport and greenhouse, whereas the Zoning By-law permits maximum 7.6 metres by 7.6 metres dimensions for an accessory structure.
4. To permit the proposed 0.85 metres east side yard setback, whereas the Zoning By-law requires a minimum 1.2 metres side yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**



## **The Minor Variance Application is Approved on Condition**

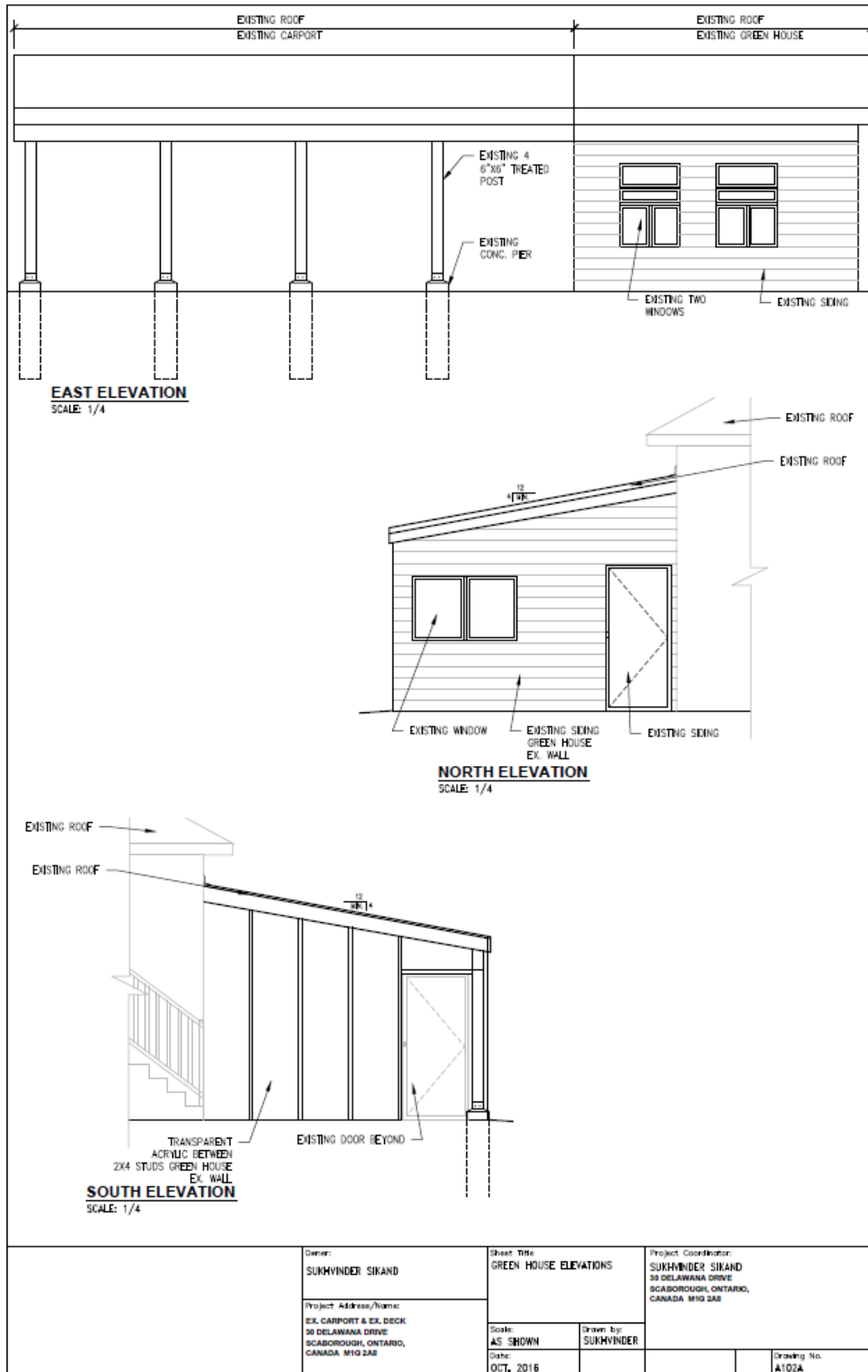
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

### This Approval is Conditional on the Following:

1. The Owner shall build substantially in accordance with the Elevations, Drawing No. A102A, prepared by Sukhvinder Sikand, dated October 2016, in order to ensure the existing height of the carport and greenhouse is maintained (see Attachment 1: Elevations).

# Attachment 1: Elevations



**SIGNATURE PAGE**

File Number:	A0350/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	SUKHVINDER KAUR SIKAND	Ward:	Scarborough Centre (38)
Agent:	DTECHLINE INTERNATIONAL	Heritage:	Not Applicable
Property Address:	<b>30 DELAWANA DR</b>	Community:	Woburn Community
Legal Description:	PLAN M740 LOT 524		

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY

Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0356/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	DIMITRIOS GEORGIU	Ward:	Scarborough Southwest (35)
Agent:	LEMCAD CONSULTANTS	Heritage:	Not Applicable
Property Address:	<b>386 KENNEDY RD</b>	Community:	Birchmount Park Community
Legal Description:	PLAN 2050 LOT 310		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey single family dwelling with a detached two-car garage. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013

1. To permit the proposed 2.8 metres building setback from a side lot line that abuts Kennedy Road, whereas the Zoning By-law requires a minimum 5.7 metres building setback from a side lot line that abuts a street.
2. To permit the proposed 35% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
3. To permit the proposed 4.7 square metres platform (second floor terrace), whereas the Zoning By-law permits maximum 4 square metres platforms at or above the second storey.
4. To permit the proposed ground floor porch and second floor terrace to encroach into the required side yard setback 4.01 metres, whereas the Zoning By-law permits a maximum 1.5 metres encroachment into the required minimum side yard setback if the side yard abuts a street.
5. To permit the proposed 2.7 metres wide exterior stairs of the main porch to encroach into the required minimum building setback, whereas the Zoning By-law permits exterior stairs to encroach into a required minimum building setback if no wider than 2 metres.

By-law No. 9174

6. To permit the proposed 14.7 metres building setback from the centre line of the original road allowance, whereas the Zoning By-law requires a minimum 16 metres building setback from the centre line of the original road allowance.
7. To permit the proposed 2.8 metres east side yard setback, whereas the Zoning By-law requires a minimum 3.6 metres side yard setback abutting a side street.
8. To permit the proposed 35% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
9. To permit the proposed 7.62 metres driveway width, whereas the Zoning By-law permits maximum 6 metres driveway width.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

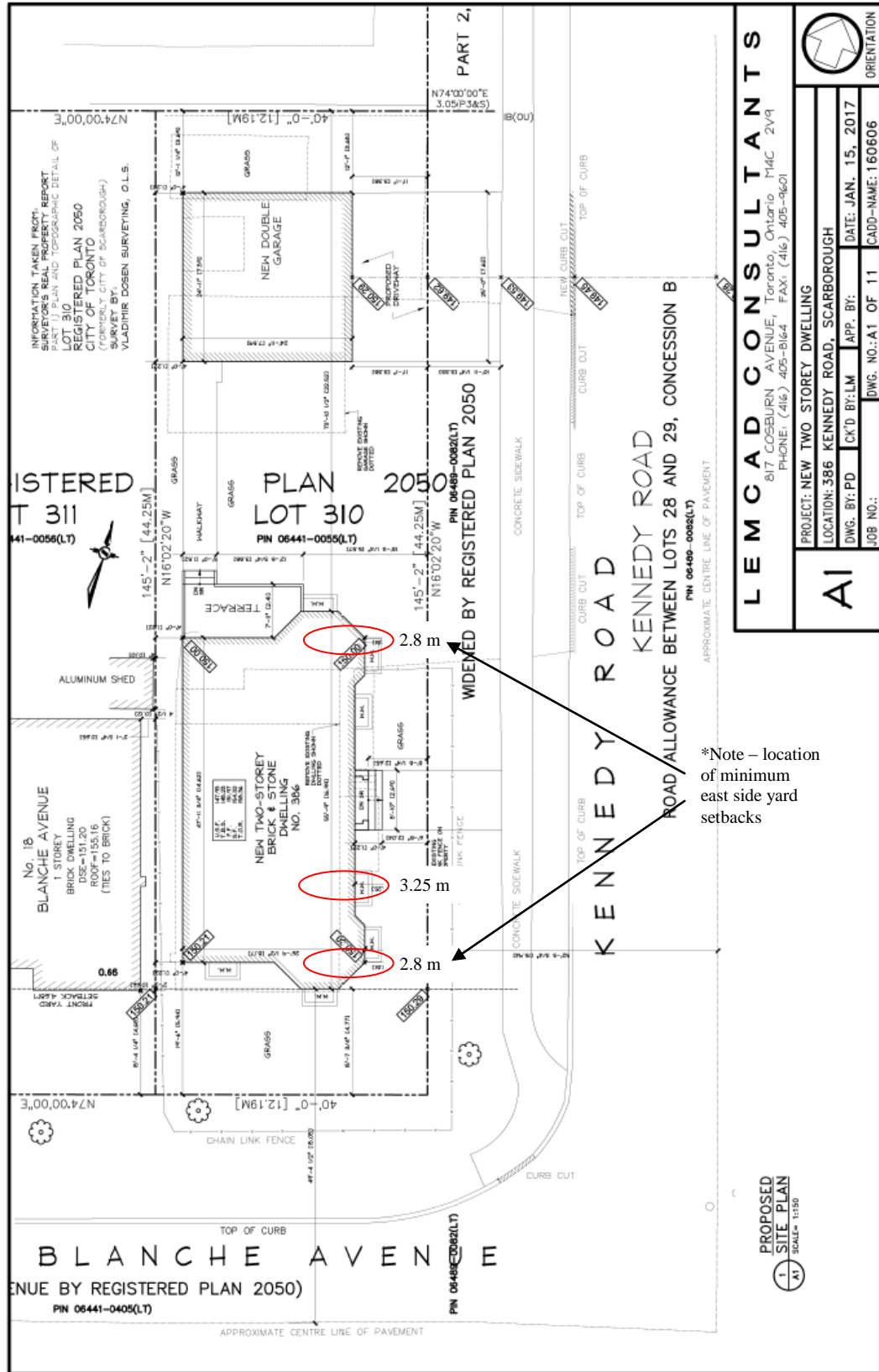
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This Approval is Conditional on the Following:

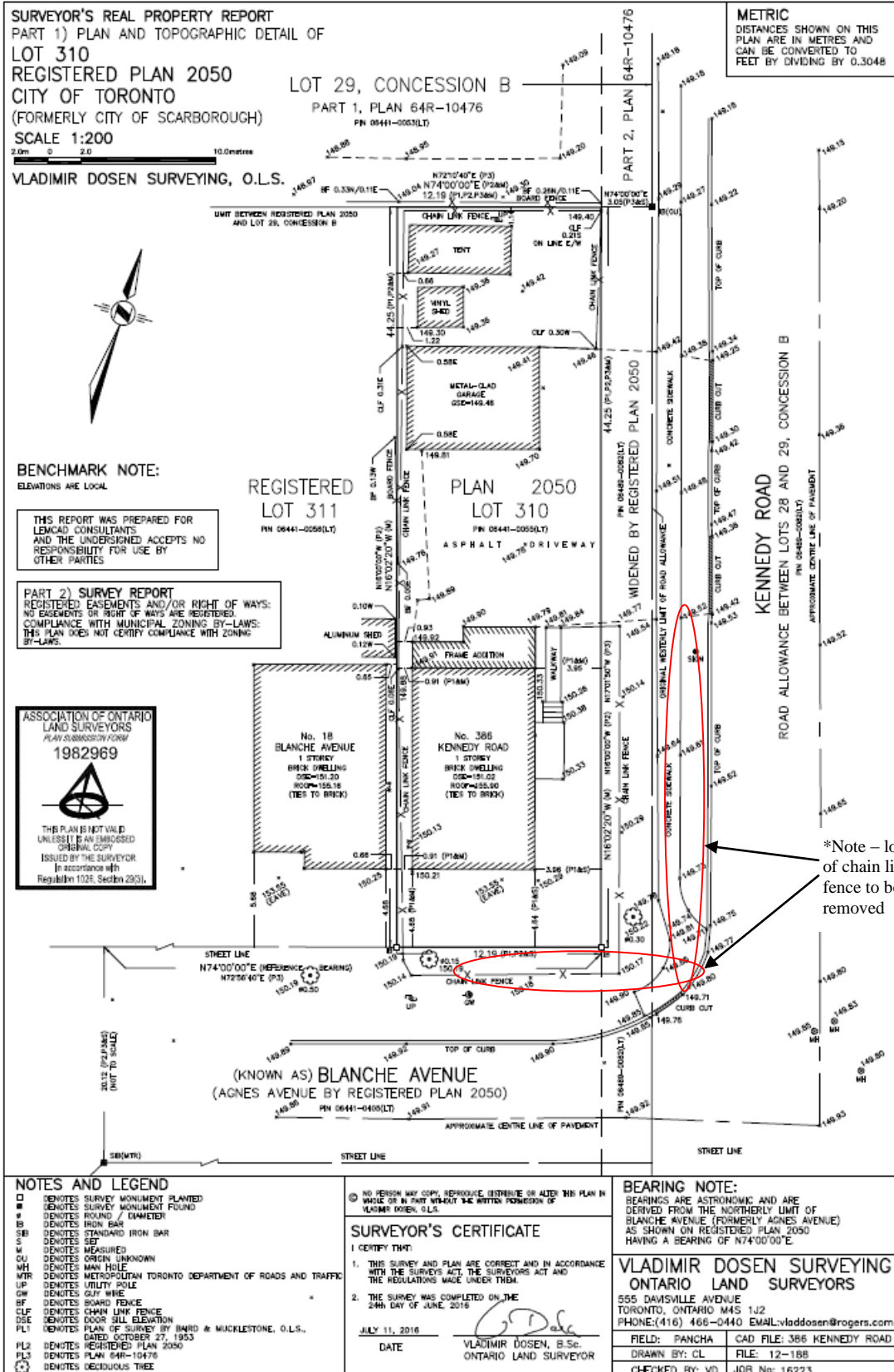
1. The Owner shall build substantially in accordance with the Revised Site Plan, Drawing No. A1, prepared by Lemcad Consultants, dated January 15, 2017, in order to ensure the proposed minimum east side yard setback flanking Kennedy Road applies only to the proposed bay windows (see Attachment 1: Site Plan).
2. The Owner shall remove the chain link fence currently located on the Kennedy Road and Blanche Avenue boulevards (see Attachment 1: Site Plan).

Attachment 1: Site Plan



\*Note - location of minimum east side yard setbacks

## Attachment 2: Survey



**SIGNATURE PAGE**

File Number:	A0356/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	DIMITRIOS GEORGIU	Ward:	Scarborough Southwest (35)
Agent:	LEMCAD CONSULTANTS	Heritage:	Not Applicable
Property Address:	<b>386 KENNEDY RD</b>	Community:	Birchmount Park Community
Legal Description:	PLAN 2050 LOT 310		

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David Peacock (signed)

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Eden Gajraj (signed)

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Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

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Denise Rundle  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0357/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	DANA TOMAS NORMAN VILLAR	Ward:	Scarborough Southwest (36)
Agent:	LIRO STUDIO	Heritage:	Not Applicable
Property Address:	<b>86 BELLAMY RD S</b>	Community:	Cliffcrest Community
Legal Description:	PLAN 4338 LOT 38		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached dwelling with an integral garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013:

1. The proposed dwelling will have a floor space index equal to 0.53 times the lot area (367.59 m<sup>2</sup>);  
Whereas the maximum permitted floor space index 279 m<sup>2</sup>.

By-law No. 9396:

2. The proposed dwelling will have a total floor area equal to 0.52 times the lot area (362.94 m<sup>2</sup>);  
Whereas the maximum permitted floor area is 279 m<sup>2</sup>.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0357/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	DANA TOMAS NORMAN VILLAR	Ward:	Scarborough Southwest (36)
Agent:	LIRO STUDIO	Heritage:	Not Applicable
Property Address:	<b>86 BELLAMY RD S</b>	Community:	Cliffcrest Community
Legal Description:	PLAN 4338 LOT 38		

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David Peacock (signed)

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Eden Gajraj (signed)

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Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

LAST DATE OF APPEAL TO  
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Thursday, January 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0358/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	STEVEN JOHN LEWIS PELTON AMANDA HELENE PELTON	Ward:	Scarborough Southwest (36)
Agent:	AMANDA HELENE PELTON	Heritage:	Not Applicable
Property Address:	<b>7 PARKLAND RD</b>	Community:	Birchcliff Community
Legal Description:	PLAN 3288 LOT 44		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The applicant is seeking relief from the provisions of the Zoning By-law to convert the garage to living space. The Committee of Adjustment approved variances for a second floor addition in April 2014.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013

1. To permit the proposed floor area of 294.01 square metres or 0.68 times the lot area, whereas the Zoning By-law permits maximum floor area of 215.21 or 0.5 times the lot area.

By-law No. 8786

2. To permit the proposed floor area of 294.01 square metres or 0.68 times the lot area, whereas the Zoning By-law permits maximum floor area of 215.21 or 0.5 times the lot area. *Note: The Committee of Adjustment approved floor area of 249.3 square metres or 0.58 times the lot area (A048/14SC).*

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.

- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0358/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	STEVEN JOHN LEWIS PELTON AMANDA HELENE PELTON	Ward:	Scarborough Southwest (36)
Agent:	AMANDA HELENE PELTON	Heritage:	Not Applicable
Property Address:	<b>7 PARKLAND RD</b>	Community:	Birchcliff Community
Legal Description:	PLAN 3288 LOT 44		

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, January 24, 2017

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Manager & Deputy Secretary Treasurer  
Scarborough Panel

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Thursday, January 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0359/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	MICHELE POPYNICK SCOTT BARK	Ward:	Scarborough Southwest (36)
Agent:	NORSEMAN CONSTRUCTION	Heritage:	Not Applicable
Property Address:	<b>33 HUNT CLUB DR</b>	Community:	Birchcliff Community
Legal Description:	PLAN 3153 LOT 8		

Notice was given and a Public Hearing was held on Thursday, January 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a two-storey rear and south side addition, a second storey addition over the existing dwelling, a front covered porch and an integral garage. The proposal includes renovations to the interior and to the exterior facade.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

By-law No. 569-2013 and No. 8786:

1. The altered dwelling will cover 40.5% of the lot area (144.41 m<sup>2</sup>);  
Whereas the maximum permitted coverage is 33% of the lot area (117.63 m<sup>2</sup>).

By-law No. 569-2013:

2. The altered dwelling will have a floor space index equal to 0.72 times the lot area (256.15 m<sup>2</sup>);  
Whereas the maximum permitted floor space index is 204 m<sup>2</sup>.
3. The proposed eaves, including the eavestrough, will project into the required minimum building setback on the north side by 0.152 m;  
Whereas the maximum permitted eaves encroachment is 0 m.

By-law No. 8786:

4. The altered dwelling will have a total floor area equal to 0.71 times the lot area (253.16 m<sup>2</sup>);  
Whereas the maximum permitted floor area is 204 m<sup>2</sup>.
5. The altered dwelling will be located 0.26 m from the north side lot line;  
Whereas the minimum required side yard setback is 0.45 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0359/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	MICHELE POPYNICK SCOTT BARK	Ward:	Scarborough Southwest (36)
Agent:	NORSEMAN CONSTRUCTION	Heritage:	Not Applicable
Property Address:	<b>33 HUNT CLUB DR</b>	Community:	Birchcliff Community
Legal Description:	PLAN 3153 LOT 8		

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

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