

**COMMITTEE OF ADJUSTMENT
AGENDA
SCARBOROUGH PANEL****Hearing Date:** June 22, 2017**Time:** 9:30 a.m.**Location:** Council Chamber - Scarborough Civic Centre - 150 Borough Drive**1. OPENING REMARKS**

- **Declarations of Interest**
- **Confirmation of Minutes from Previous Hearing**

2. DEPUTATION ITEMS**The following applications will be heard at or shortly thereafter:**

File Number	Owner	Property	Community (Ward)
<u>CONSENT APPLICATION</u>			
1. B027/16SC	LESSO MALL DEVELOPMENT (TORONTO) LIMITED	5789, 5827, 5883, 5933, 5945 & 5951 STEELES AVE E	Scarborough-Rouge River (41)
<u>MINOR VARIANCE APPLICATION</u>			
2. A229/15SC	SUNRISE GATE (KINGSTON) LTD	1316, 1318 & 1320 KINGSTON RD	Scarborough Southwest (36)
3. A0202/16SC	ABDULHAI CHHIBOO	380 BIRCHMOUNT RD	Scarborough Southwest (35)
4. A0338/16SC	DILYS SUK YEE CHIU FRANCIS CHIU	2274 BRIMLEY RD	Scarborough-Rouge River (41)
5. A0057/17SC	LINDSAY CATHERINE TYLER BRIAN DESROSIERS- TAM	37 AUGUST AVE	Scarborough Southwest (35)

6.	A0061/17SC	ABDUL GHAFOOR	40 BEXHILL AVE	Scarborough Southwest (35)
7.	A0090/17SC	NEASHA PINNOCK RENATO HERCEG	28 DORCOT AVE	Scarborough Centre (37)
8.	A0091/17SC	EDMOND AYVAZYAN ALINA DER MARDIROSIAN	20 BEACHAM CRES	Scarborough-Agincourt (40)
9.	A0121/17SC	CHANTAL PERRON TSEGAYE JIMMA BIRRU	4 CADBURY CRT	Scarborough East (43)
10.	A0126/17SC	MELISSA RODRIGUES DWIGHT SIMPSON	87 GOODERHAM DR	Scarborough Centre (37)
11.	A0133/17SC	KATHERINA CHRISTOFI PETER TZOURAS	36 IVAN RD	Scarborough East (44)
12.	A0134/17SC	HARPREET SINGH TIRTH SINGH	48 BELLEFONTAINE ST	Scarborough-Agincourt (39)
13.	A0135/17SC	BECKY POTTS KRISTOFER POTTS	18 WOOD GLEN RD	Scarborough Southwest (36)
14.	A0136/17SC	HECTOR HABON JANETTE MENESES	151 LAKERIDGE DR	Scarborough East (44)
15.	A0137/17SC	WAI KING AU KU KAI AU	9 KING LOUIS CRES	Scarborough-Agincourt (39)
16.	A0139/17SC	CAROL DIANE KNAPMAN MEERE	361 BEECHGROVE DR	Scarborough East (44)
17.	A0141/17SC	SANIJE BOMBAJ MINELLA BOMBAJ	18 KILPATRICK DR	Scarborough Centre (37)
18.	A0142/17SC	SACHIN ROHAILLA	14 ELMVIEW DR	Scarborough Southwest (36)
19.	A0145/17SC	123 CROCKFORD HOLDINGS INC	123 CROCKFORD BLVD	Scarborough Centre (37)
20.	A0148/17SC	2332881 ONTARIO INC	3615 MCNICOLL AVE – BUILDING B	Scarborough-Rouge River (42)
21.	A0149/17SC	LYNN SCHOLEY	55 WINSTON AVE	Scarborough Southwest (36)

22. A0154/17SC GURBAX KAUR JOHAL 90 COLONIAL AVE Scarborough Southwest (36)
 GURMAKH SINGH
 JOHAL
23. A0160/17SC JOSEPHINE SARNE 7 BIRCHMOUNT RD Scarborough Southwest (36)
 DAVID
 LICHTENWALTER

3. OTHER BUSINESS

None.

4. ONTARIO MUNICIPAL BOARD

Appeals:

Appeals arising from June 1, 2017 Hearing:

a. 116 POPLAR RD –
(Committee Refused – Appealed to OMB)

File Number:	B0061/16SC, A0345/16SC & A0346/16SC	Zoning	Residential Detached (RD) & Single Family (S)
Owner(s):	MD AJAZ AHMED KHAN	Ward:	Scarborough East (43)
Agent:	CANTAM GROUP LTD.	Heritage:	Not Applicable
Property Address:	116 POPLAR RD	Community:	West Hill Community
Legal Description:	CON D PT LOT 12 RP R2160 PART 2		

b. 83 AND 85 SANDOWN AVE -
(Committee Refused – Owner appealed to OMB)

File Number:	B0069/16SC, B0068/16SC, A0073/17SC-A0076/17SC	Zoning	RS - Residential Semi-Detached/S - Single Family Residential [ZZC]
Owner(s):	LOVELY YESMIN	Ward:	Scarborough Southwest (36)
Agent:	CANTAM GROUP	Heritage:	Not Applicable
Property Address:	83 SANDOWN AVE & 85 SANDOWN AVE	Community:	Cliffside Community
Legal Description:	PLAN M388 S PT LOT 151, PLAN M388 N PT LOT 151 **GRID E3603		

c. 70 PARK ST - Minor Variance Part 2 only
(Committee Refused – Opposition appealed to OMB)

File Number:	A0053/17SC	Zoning	RS - Residential Semi-Detached/S - Single Family Residential [ZZC]
Owner(s):	PETRU ALEXA MESHELL ALEXA	Ward:	Scarborough Southwest (36)
Agent:	NICK HATZIANTONIOU	Heritage:	Not Applicable
Property Address:	70 PARK ST, Part 2	Community:	Cliffside Community
Legal Description:	PLAN M388 LOT 435		

* Website for OMB Orders: <http://www.omb.gov.on.ca/english/eDecisions/eDecisions.html>

5. DATE OF NEXT MEETING: July 13, 2017

6. ADJOURNMENT

* Website for City of Toronto, Committee of Adjustment Agendas and Decisions:
<http://www1.toronto.ca/wps/portal/contentonly?vnextoid=ed2552cc66061410VgnVCM10000071d60f89RCRD>

Please Note: Looking for information regarding Case Manager on a file and/or hearing date prior to the agenda? Please use the following link:

* Website for City Planning "Application Information Centre" (AIC);
<http://app.toronto.ca/DevelopmentApplications/mapSearchSetup.do?action=init>

For Committee of Adjustment, please "select" "Committee of Adjustment" prior to entering your search information.

The following applications will be heard at or shortly thereafter:

1. 5789, 5827, 5883, 5933, 5945 & 5951 STEELES AVE E

File Number:	B027/16SC	Zoning	Special District Commercial (SDC) & Industrial (M) Zone [Waiver]
Owners:	LESSO MALL DEVELOPMENT (TORONTO) LIMITED	Ward:	Scarborough-Rouge River (41)
Agent:	HRK REALTY SERVICES LTD	Heritage:	Not Applicable
Property Address:	5789, 5827, 5883, 5933, 5945 & 5951 STEELES AVE E	Employment District:	Tapscott Employment District
Legal Description:	CON 5 PT LOT 20		

THE CONSENT REQUESTED:

This application is for consent to sever the land at 5789, 5827, 5883, 5933, 5945, and 5951 Steeles Avenue East into two blocks of land for commercial development and a northerly extension of State Crown Boulevard. The proposed blocks of land are shown on the attached Consent Sketch. The Committee of Adjustment previously gave provisional consent to this severance on three occasions, but each approval lapsed because the conditions were not fulfilled within one year as required by the *Planning Act* (Files B051/14SC, B043/13SC & B028/12SC).

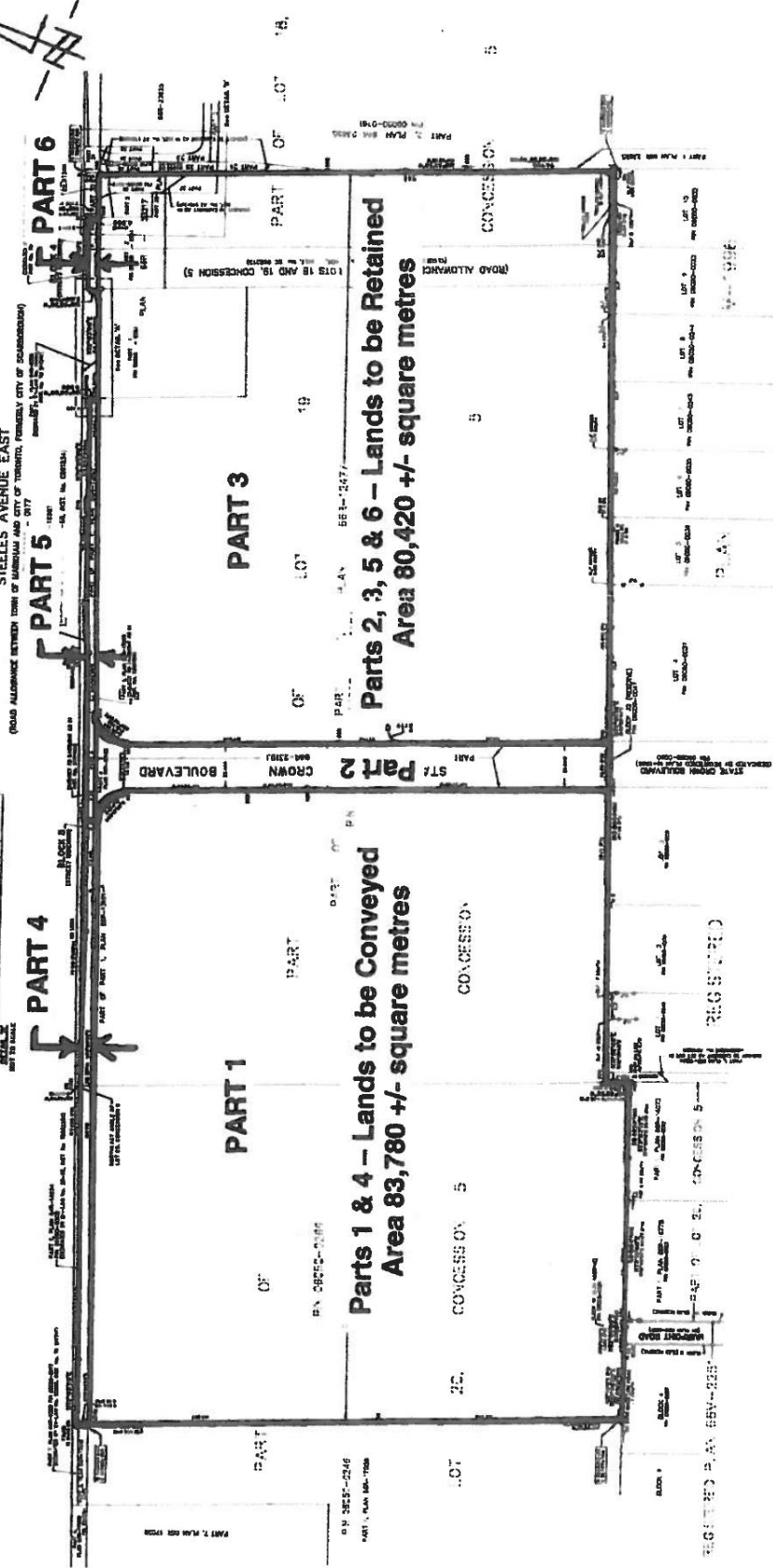
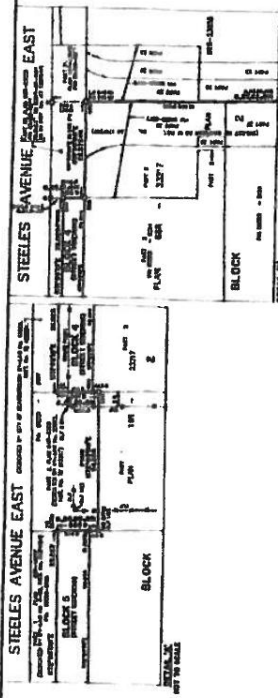
The conveyed lot would have a frontage of 302.2 m, with a depth of 272.4 m and an area of 83,780 m². The retained lot would have a frontage of 627.6 m, with depth of 266.6 m and an area of 80,420 m². The land shown as Part 2 would be dedicated to the City for an extension of State Crown Boulevard.

At the hearing on February 16, 2017, the Committee of Adjustment deferred this application to allow the applicants to address matters identified by the Engineering and Construction Services Division.

CONSENT SKETCH

5789, 5863, 5933, 5945 and 5951 Steeles Avenue East
City of Toronto (formerly City of Scarborough)

November 21, 2014



STEELES AVENUE EAST

BLOCK 1

BLOCK 2

BLOCK 3

BLOCK 4

BLOCK 5

BLOCK 6

IDENTITY THAT THIS PLAN IS REGISTERED IN THE LAND TITLE OFFICE OF THE CITY OF TORONTO, ONTARIO, CANADA. THE CITY OF TORONTO, ONTARIO, CANADA, IS THE REGISTRAR OF THE LAND TITLE OFFICE OF THE CITY OF TORONTO, ONTARIO, CANADA. THE CITY OF TORONTO, ONTARIO, CANADA, IS THE REGISTRAR OF THE LAND TITLE OFFICE OF THE CITY OF TORONTO, ONTARIO, CANADA.

NOTE: THIS PLAN COMPREHENSIVE ALL OF THE CONVEYED AND RETAINED LANDS. THE CITY OF TORONTO, ONTARIO, CANADA, IS THE REGISTRAR OF THE LAND TITLE OFFICE OF THE CITY OF TORONTO, ONTARIO, CANADA. THE CITY OF TORONTO, ONTARIO, CANADA, IS THE REGISTRAR OF THE LAND TITLE OFFICE OF THE CITY OF TORONTO, ONTARIO, CANADA.

PLAN OF SUBDIVISION OF PART OF LOTS 18, 19 AND 20 CONCESSION 5 AND PART OF THE ROAD ALLOWANCE BETWEEN LOTS 18 AND 19, CONCESSION 5, CITY OF TORONTO (FORMERLY IN THE CITY OF SCARBOROUGH) SCALE 1:1000

NOTES

1. THE PLAN IS A PLAN OF SUBDIVISION OF PART OF LOTS 18, 19 AND 20, CONCESSION 5, AND PART OF THE ROAD ALLOWANCE BETWEEN LOTS 18 AND 19, CONCESSION 5, CITY OF TORONTO (FORMERLY IN THE CITY OF SCARBOROUGH) SCALE 1:1000.

OWNER'S CERTIFICATE

THIS IS TO CERTIFY THAT THE CITY OF TORONTO, ONTARIO, CANADA, IS THE REGISTRAR OF THE LAND TITLE OFFICE OF THE CITY OF TORONTO, ONTARIO, CANADA. THE CITY OF TORONTO, ONTARIO, CANADA, IS THE REGISTRAR OF THE LAND TITLE OFFICE OF THE CITY OF TORONTO, ONTARIO, CANADA.

DEVELOPMENT CORPORATION

THE CITY OF TORONTO, ONTARIO, CANADA, IS THE REGISTRAR OF THE LAND TITLE OFFICE OF THE CITY OF TORONTO, ONTARIO, CANADA. THE CITY OF TORONTO, ONTARIO, CANADA, IS THE REGISTRAR OF THE LAND TITLE OFFICE OF THE CITY OF TORONTO, ONTARIO, CANADA.

SURVEYOR'S CERTIFICATE

THE SURVEYOR HAS EXAMINED THE PLAN AND IS SATISFIED THAT THE PLAN IS A PLAN OF SUBDIVISION OF PART OF LOTS 18, 19 AND 20, CONCESSION 5, AND PART OF THE ROAD ALLOWANCE BETWEEN LOTS 18 AND 19, CONCESSION 5, CITY OF TORONTO (FORMERLY IN THE CITY OF SCARBOROUGH) SCALE 1:1000.

SCHAEFFER & DZALDOY LIMITED
ONTARIO LAND SURVEYORS
111 EAST BEAVER CREEK ROAD, SUITE 100, SCARBOROUGH, ONTARIO M1H 2K7
TEL: (416) 291-1111
FAX: (416) 291-1112
WWW.SCHAEFFERLANDSURVEYORS.COM

2. 1316, 1318 & 1320 KINGSTON RD

File Number:	A229/15SC	Zoning	CR - Commercial Residential
Owner(s):	SUNRISE GATE (KINGSTON) LTD	Ward:	Scarborough Southwest (36)
Agent:	DALES CONSULTING	Heritage:	Not Applicable
Property Address:	1316, 1318 & 1320 KINGSTON RD	Community:	Birchcliff Community
Legal Description:	PLAN 3145 LOT 3		

PURPOSE OF THE APPLICATION:

This proposal is for an eight storey mixed-use condominium building containing 30 residential units with a rooftop terrace and at-grade retail.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 8786:

1. The proposed building will be 8 storeys tall with an overall height of 26.13 m;
Whereas the maximum permitted number of storeys is 6 and maximum permitted height is 20 m.
2. The proposed building will be located 0 m from Woodland Park Road (west side lot line);
Whereas the minimum required setback from a lot line abutting a public street other than Kingston Road is 1.5 m.
3. The proposed Level 5 (at 13.68 m) and Level 6 (at 16.63 m) will be located 0 m from Woodland Park Road (west side lot line);
Whereas for that portion of building between Levels 5 and 6 that are above 14 m in height, the building shall be stepped back an additional 1.5 m from the main wall abutting a public street.
4. The proposed building exceeds the 45 degree angular plane on the north side abutting a Single-Family Residential (S) Zone;
Whereas buildings shall not exceed a 45 degree angular plane from a lot line abutting Single-Family Residential (S), Two-Family Residential (T), Multiple-Family (M) and Park (P) Zones.
5. The proposed mechanical penthouse will cover 41% of the roof area;
Whereas the mechanical penthouse shall not cover more than 30% of the roof area.
6. The proposed amenity room is located in the basement level;
Whereas in a CR zone, the basement shall be used only for storage purposes for the occupants of the building.
7. A total of 32 parking spaces will be provided on the site;
Whereas a minimum of 34 parking spaces are required.

8. The proposed parking stackers will have dimensions of 2.7 m wide by 5.065 m long;
Whereas the minimum required dimensions of a parking space are 3.2 m wide by 5.6 m long.
9. The proposed accessible parking spaces are located immediately adjacent to the north side lot line (0 m);
Whereas the by-law requires a minimum 1.5 m strip of land immediately abutting Single-Family Residential (S), Two-Family Residential (T) and Multiple-Family (M) Zones shall be used for soft landscape use only.

3. 380 BIRCHMOUNT RD

File Number:	A0202/16SC	Zoning	Employment Industrial (E) & Industrial (M) Zone [Waiver]
Owner:	ABDULHAI CHHIBOO	Ward:	Scarborough Southwest (35)
Agent:	ALEX BOROS PLANNING & DESIGN ASSOCIATES	Heritage:	Not Applicable
Property Address:	380 BIRCHMOUNT RD	Employment District:	Oakridge Employment District
Legal Description:	PLAN M572 PT BLK H		

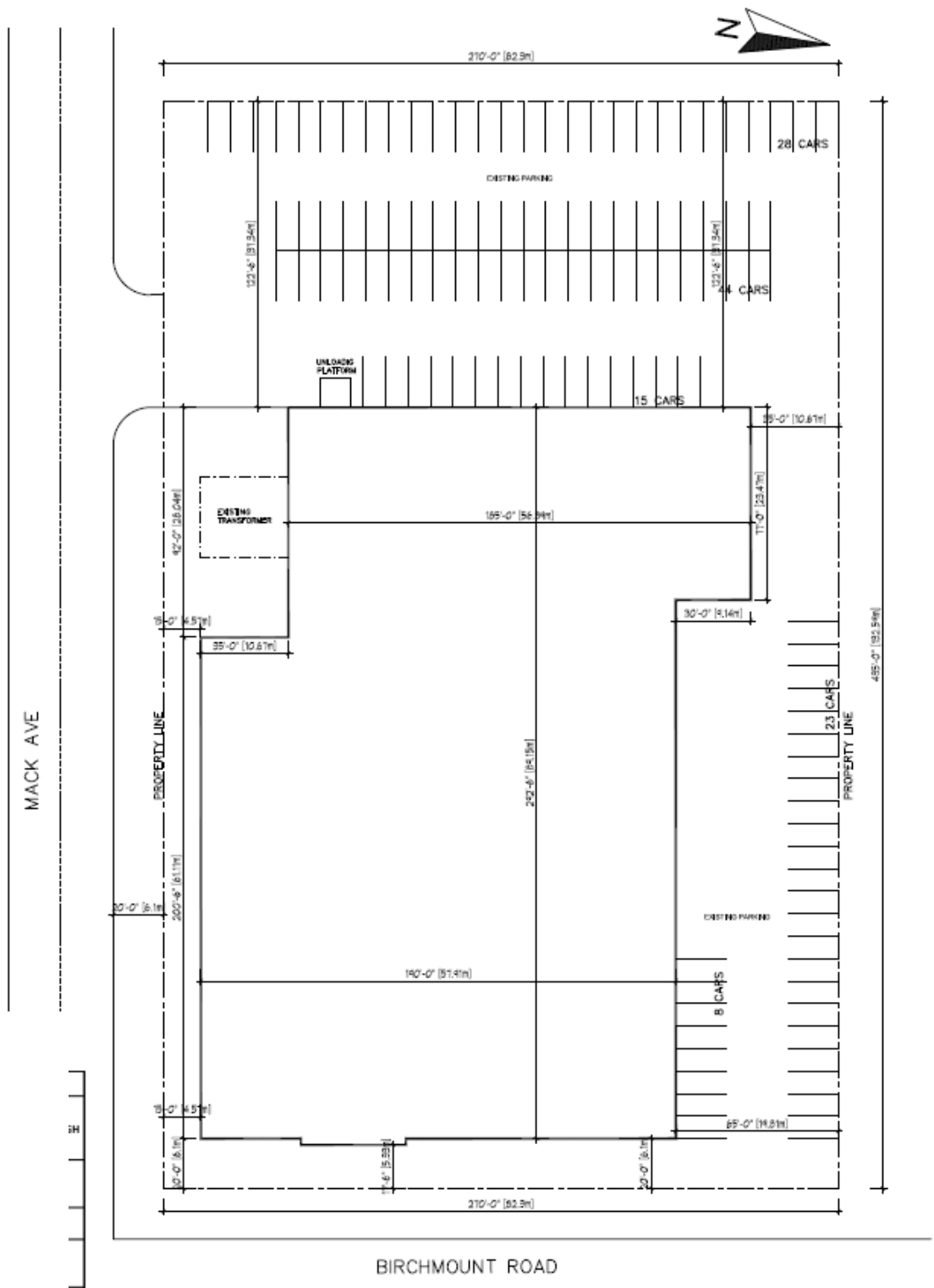
PURPOSE OF THE APPLICATION:

This application is for a variance to permit a banquet hall and catering facility in addition to the uses permitted by the zoning by-law.

REQUESTED VARIANCE TO THE ZONING BY-LAW:

By-law No. 569-2013 & By-law No. 24982:

1. To permit the following uses in addition to the uses permitted by the zoning by-law:
 - Banquet Hall
 - Catering FacilityWhereas the zoning by-law does not permit these uses on the property.



4. 2274 BRIMLEY RD

File Number:	A0338/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	DILYS SUK YEE CHIU FRANCIS CHIU	Ward:	Scarborough-Rouge River (41)
Agent:	FRANCIS CHIU	Heritage:	Not Applicable
Property Address:	2274 BRIMLEY RD	Community:	Agincourt Community
Legal Description:	CON 3 PT LOT 25		

PURPOSE OF THE APPLICATION:

This application is for variances to permit the existing, expanded driveway and vehicle turnaround to be maintained in the front yard.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 10076 & By-law No. 569-2013:

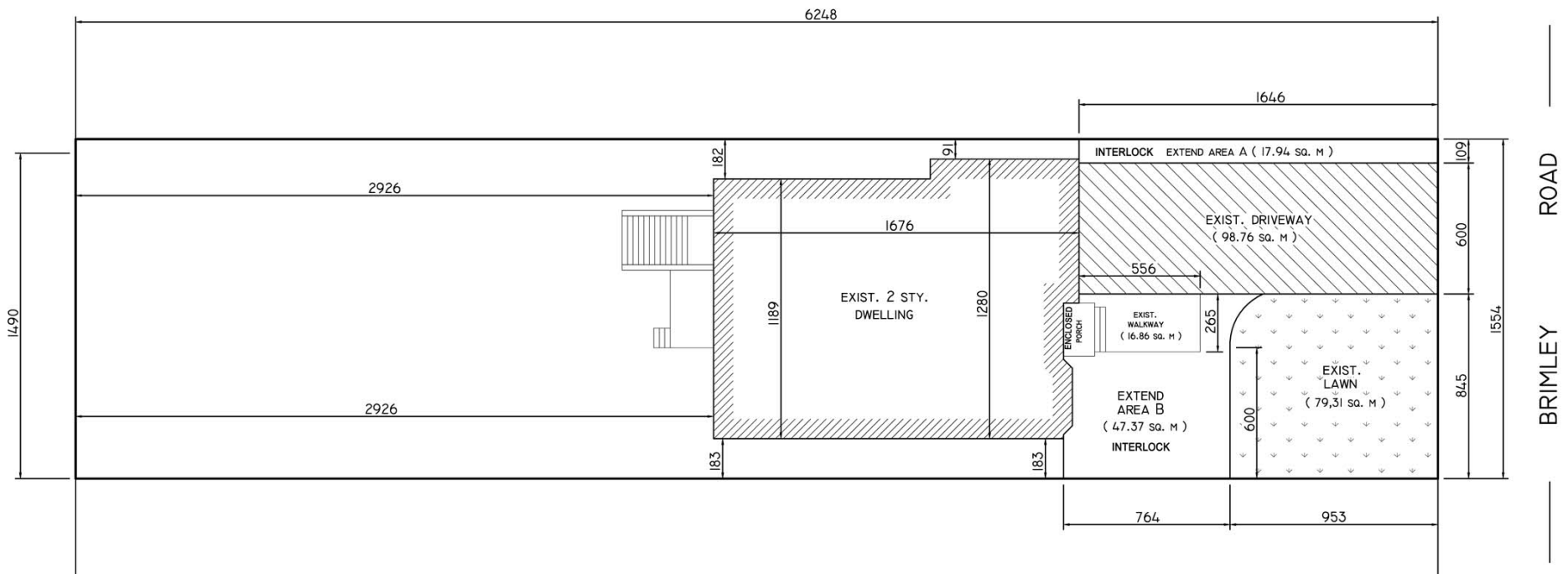
1. The front yard landscaping area is 31%
Whereas a minimum of 60% of the front yard must be landscaping
2. The vehicle turnaround is on a lot with a frontage of 15.54 m, the right-of way-width of Brimley Road is 26.21m, and the front yard landscaping does not comply with the minimum zoning requirement.
Whereas a driveway with a hammerhead turnaround is permitted if the lot has a frontage greater than 18.0 m or if vehicle access is from a street with a minimum right-of-way width of 27.0 m, and if the front yard landscaping provisions are complied with.

By-law No. 569-2013:

3. The hammerhead vehicle turnaround is 7.64m in width and extends 8.45m from the edge of the driveway
Whereas a hammerhead turnaround must have a maximum width of 3.0 m, extend no more than 4.5 m from one edge of the driveway and extend no more than 3.0 m from each opposite edge of the driveway.
4. The driveway is 7.64 m wide at the hammerhead and 7.1m wide leading to the parking space.
Whereas if an individual private driveway leads directly to the dwelling unit, a driveway that is in the front yard or passes through the front yard may have a maximum width of 6.0 m.

By-law No. 10076:

6. The driveway is 7.64 m wide at the hammerhead and 7.1m wide leading to the parking space
Whereas the maximum permitted driveway width is 6.0m.



5. 37 AUGUST AVE

File Number:	A0057/17SC	Zoning	RS - Residential Semi-Detached/T - Two Family Residential [ZZC]
Owner(s):	LINDSAY CATHERINE TYLER BRIAN DESROSIERS-TAM	Ward:	Scarborough Southwest (35)
Agent:	GIAIMO	Heritage:	Not Applicable
Property Address:	37 AUGUST AVE	Community:	Oakridge Community
Legal Description:	PLAN 1936 LOT 15 PT LOT 16		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two-storey side addition to the existing one and a half storey dwelling.

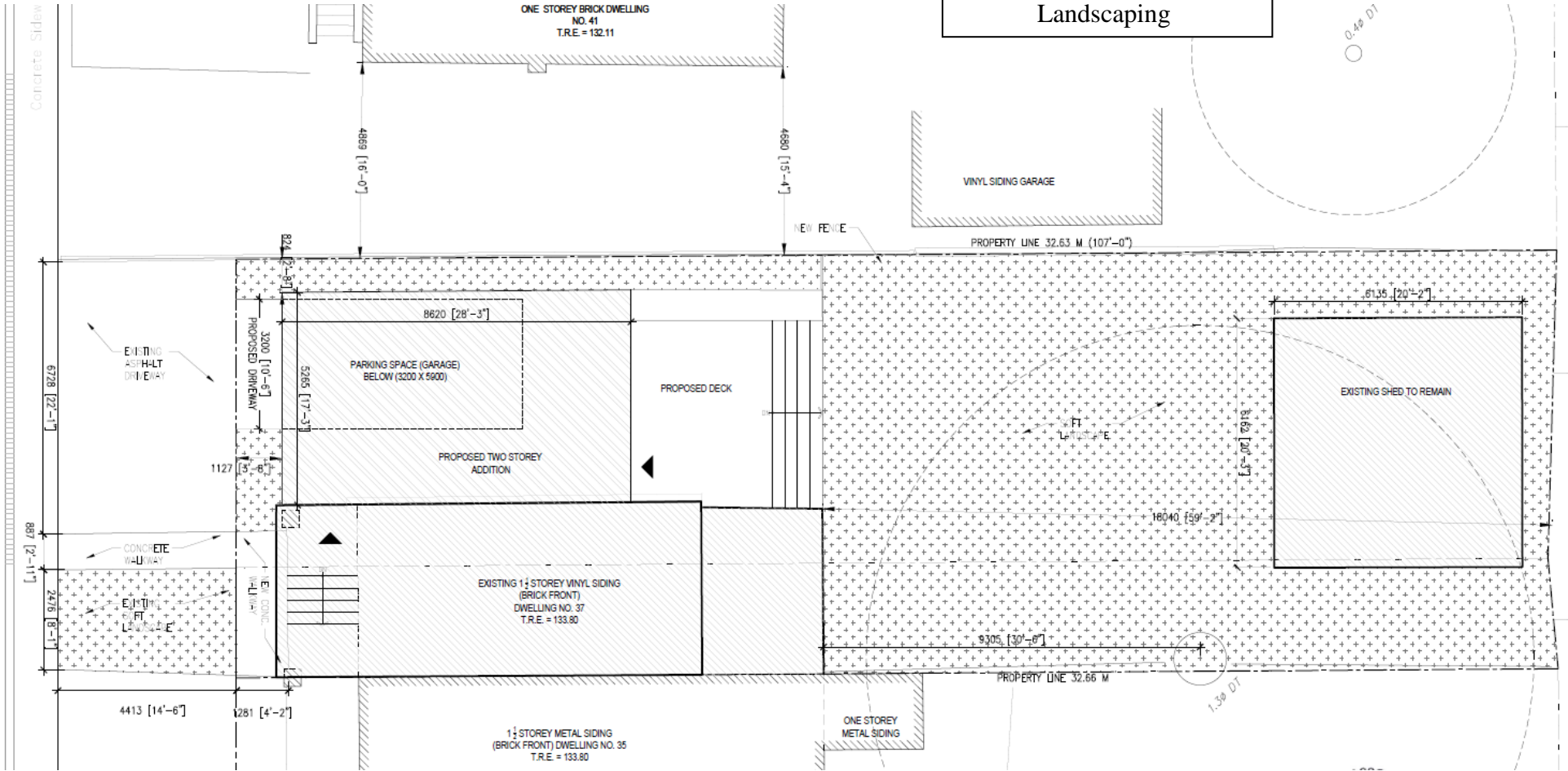
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & By-law No.9812

1. To permit the proposed 1.13 metres front yard setback, whereas the Zoning By-law requires a minimum 4.5 metres front yard setback.
2. To permit the proposed 41.8% front yard soft landscaping, whereas the Zoning By-law requires a minimum 75% front yard soft landscaping.

VARIANCE:

- Front Yard Setback
- Front Yard Soft Landscaping



6. 40 BEXHILL AVE

File Number:	A0061/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	ABDUL GHAFOR	Ward:	Scarborough Southwest (35)
Agent:	LEMCAD CONSULTANTS	Heritage:	Not Applicable
Property Address:	40 BEXHILL AVE	Community:	Clairlea Community
Legal Description:	PLAN M463 PT LOT 168 PT LOT 169		

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

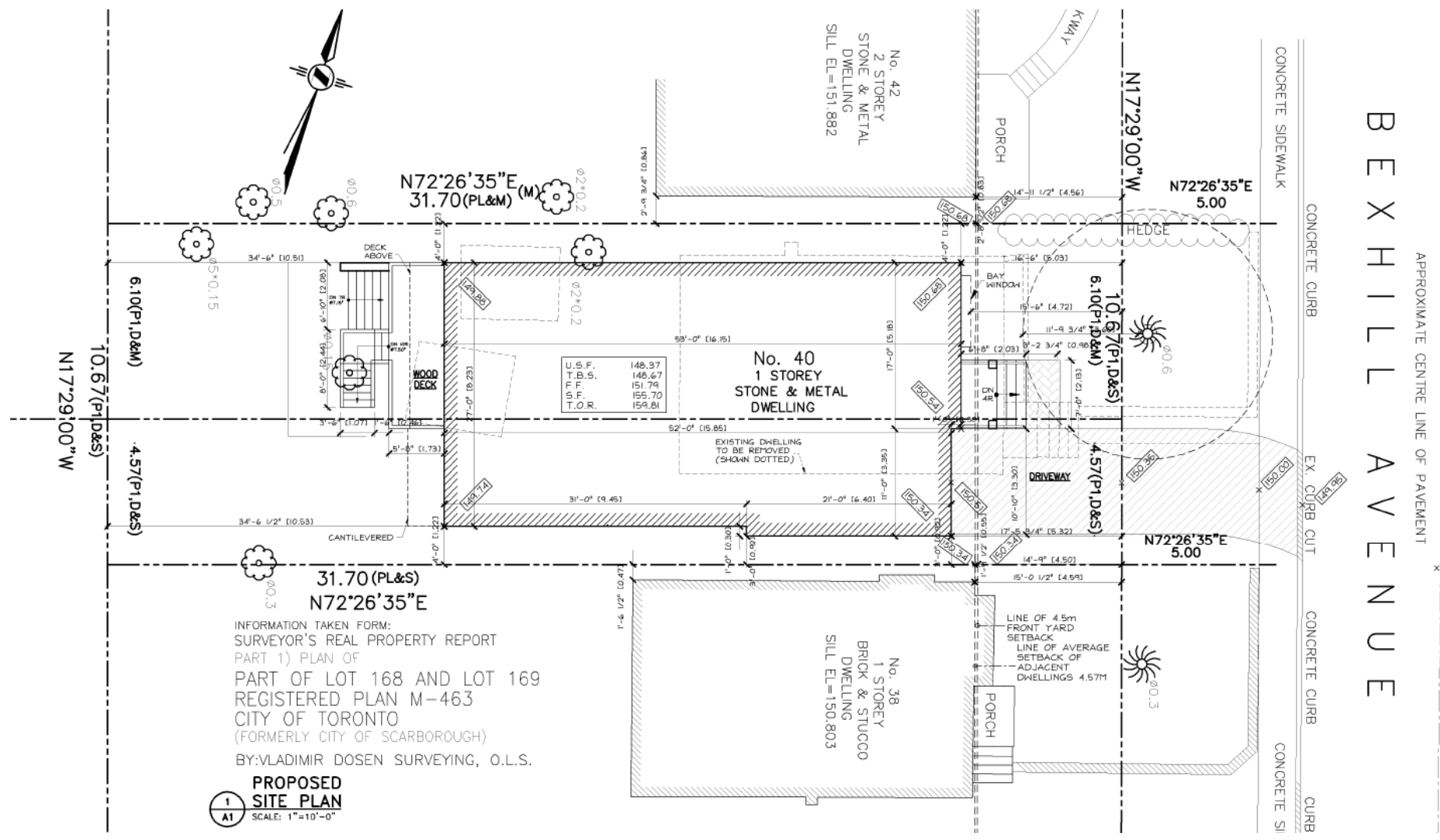
1. The proposed dwelling will cover 39.11% of the lot area (132.29 m²);
Whereas the maximum permitted lot coverage is 33% of the lot area (111.62 m²).
2. The proposed dwelling will have a height of 9.3 m above established grade;
Whereas the maximum permitted dwelling height is 9 m.
3. The proposed dwelling will have side main walls with a height of 7.93 m;
Whereas the maximum permitted side main wall height is 7 m.
4. The proposed dwelling will have a total length of 17.6 m;
Whereas the maximum permitted dwelling length is 17 m.
5. The proposed second storey rear balcony will have an area of 5.53 m²;
Whereas the maximum permitted area of a platform at or above the second storey is 4 m².
6. The proposed front stairs are 2.13 m wide and the proposed rear stairs are 2.08 m wide;
Whereas exterior stairs may only encroach into a required minimum building setback if the stairs are no wider than 2 m.

By-law No. 8978:

7. The existing lot has a frontage of 10.67 m and an area of 338.24 m²;
Whereas the minimum required lot frontage is 12 m and the minimum required lot area is 371 m².
8. The proposed dwelling will cover 41.66% of the lot area (140.9 m²);
Whereas the maximum permitted lot coverage is 33% of the lot area (111.62 m²).
9. The proposed dwelling will have a height of 9.3 m above mean grade;
Whereas the maximum permitted dwelling height is 9 m.
10. The proposed dwelling will be three (3) storeys in height at the garage portion;
Whereas the maximum permitted number of storeys is two (2).

BEX HILL AVENUE

APPROXIMATE CENTRE LINE OF PAVEMENT



No. 42
2 STOREY
STONE & METAL
DWELLING
SILL EL.=151.882

No. 40
1 STOREY
STONE & METAL
DWELLING

No. 38
1 STOREY
BRICK & STUCCO
DWELLING
SILL EL.=150.803

U.S.F.	148.37
T.B.S.	148.67
F.F.	151.79
S.F.	155.70
C.O.R.	159.81

31.70 (PL&S)
N72°26'35"E

INFORMATION TAKEN FROM:
SURVEYOR'S REAL PROPERTY REPORT
PART 1) PLAN OF
PART OF LOT 168 AND LOT 169
REGISTERED PLAN M-463
CITY OF TORONTO
(FORMERLY CITY OF SCARBOROUGH)
BY:VLADIMIR DOSEN SURVEYING, O.L.S.

**PROPOSED
SITE PLAN**
SCALE: 1"=10'-0"

7. 28 DORCOT AVE

File Number:	A0090/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	NEASHA PINNOCK RENATO HERCEG	Ward:	Scarborough Centre (37)
Agent:	RENATO HERCEG	Heritage:	Not Applicable
Property Address:	28 DORCOT AVE	Community:	Bendale Community
Legal Description:	PLAN 6015 LOT 134		

PURPOSE OF THE APPLICATION:

To legalize and maintain the existing enclosed carport.

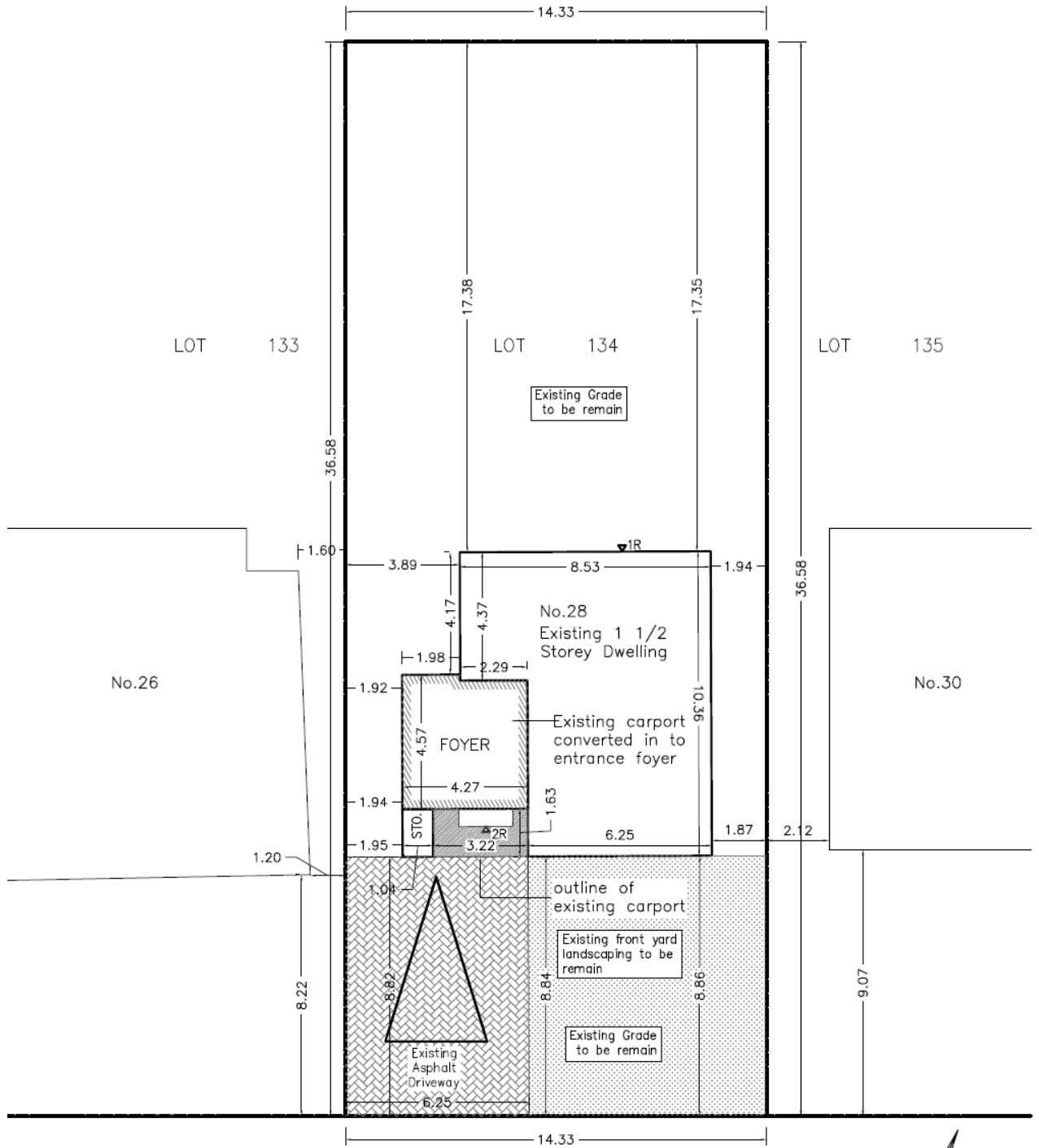
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

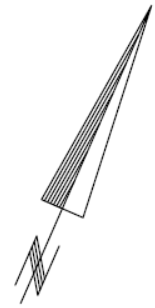
1. The existing/altered dwelling will have a front yard setback of 8.82 m;
Whereas the minimum required front yard setback is the average setback of the two adjacent dwellings (8.99 m).

By-law No. 569-2013 & No. 9350:

2. The proposed parking space is located in the front yard;
Whereas front yard/street yard parking is not permitted.



SITE PLAN
SCALE: 1 : 150



8. 20 BEACHAM CRES

File Number:	A0091/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	EDMOND AYVAZYAN ALINA DER MARDIROSIAN	Ward:	Scarborough-Agincourt (40)
Agent:	NAFISEH ZANGIABADI	Heritage:	Not Applicable
Property Address:	20 BEACHAM CRES	Community:	Sullivan Community
Legal Description:	PLAN 4787 LOT 95		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey single family dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

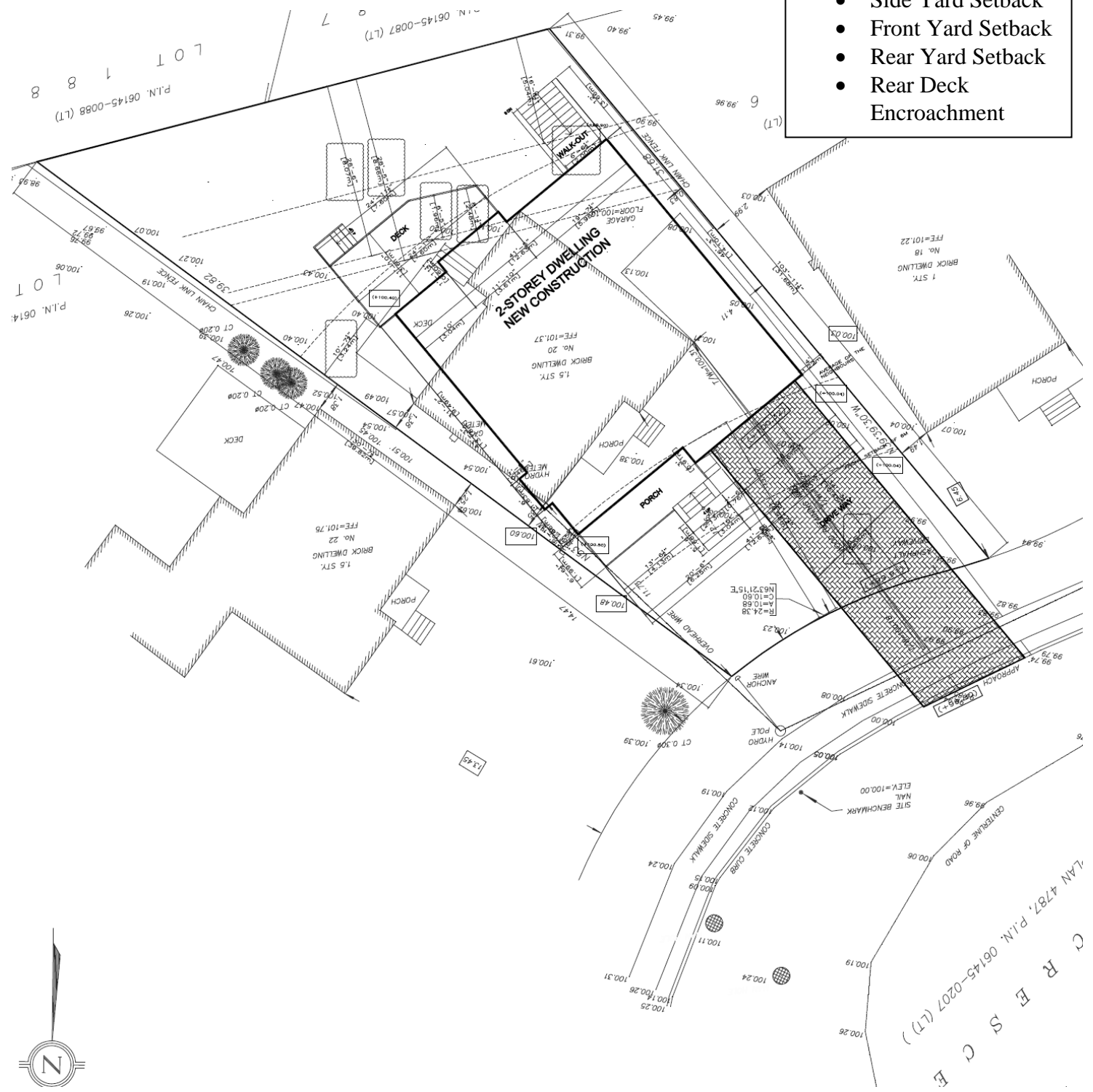
By-law No. 569-2013

1. To permit the proposed 1 metre side yard setback, whereas the Zoning By-law requires a minimum 1.2 metres side yard setback.
2. To permit the proposed 9.04 front yard setback, whereas the Zoning By-law requires a minimum 9.95 metres front yard setback.
3. To permit the proposed 5 metres rear yard setback, whereas the Zoning By-law requires a minimum 8.66 metres rear yard setback.

By-law No. 10717

4. To permit the proposed 1 metre and 1.2 metres side yard setbacks, whereas the Zoning By-law requires a minimum 1.8 metres side yard setback.
5. To permit the proposed 5 metres rear yard setback, whereas the Zoning By-law requires a minimum 8.1 metres rear yard setback.
6. To permit the proposed 2 metres rear deck encroachment into the required rear yard setback, whereas the Zoning By-law permits a maximum 1.55 metres encroachment into the required rear yard deck.

- VARIANCE:**
- Side Yard Setback
 - Front Yard Setback
 - Rear Yard Setback
 - Rear Deck Encroachment



LAN 4787, P.L.N. 06145-0207 (L7)

C R E S C E

9. 4 CADBURY CRT

File Number:	A0121/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	CHANTAL PERRON TSEGAYE JIMMA BIRRU	Ward:	Scarborough East (43)
Agent:	TSEGAYE BIRRU	Heritage:	Not Applicable
Property Address:	4 CADBURY CRT	Community:	Guildwood Community
Legal Description:	PLAN M726 LOT 236		

PURPOSE OF THE APPLICATION:

To construct a second storey addition over the existing detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The altered dwelling will have a front main wall height of 8.63 m;
Whereas the maximum permitted height of the front main wall is 7 m.
2. The altered dwelling will have a side main wall height of 8.72 m;
Whereas the maximum permitted height of the side main walls is 7 m.
3. The proposed rear deck will project 3.05 m into the required rear yard setback;
Whereas the maximum permitted deck encroachment is 2.5 m.

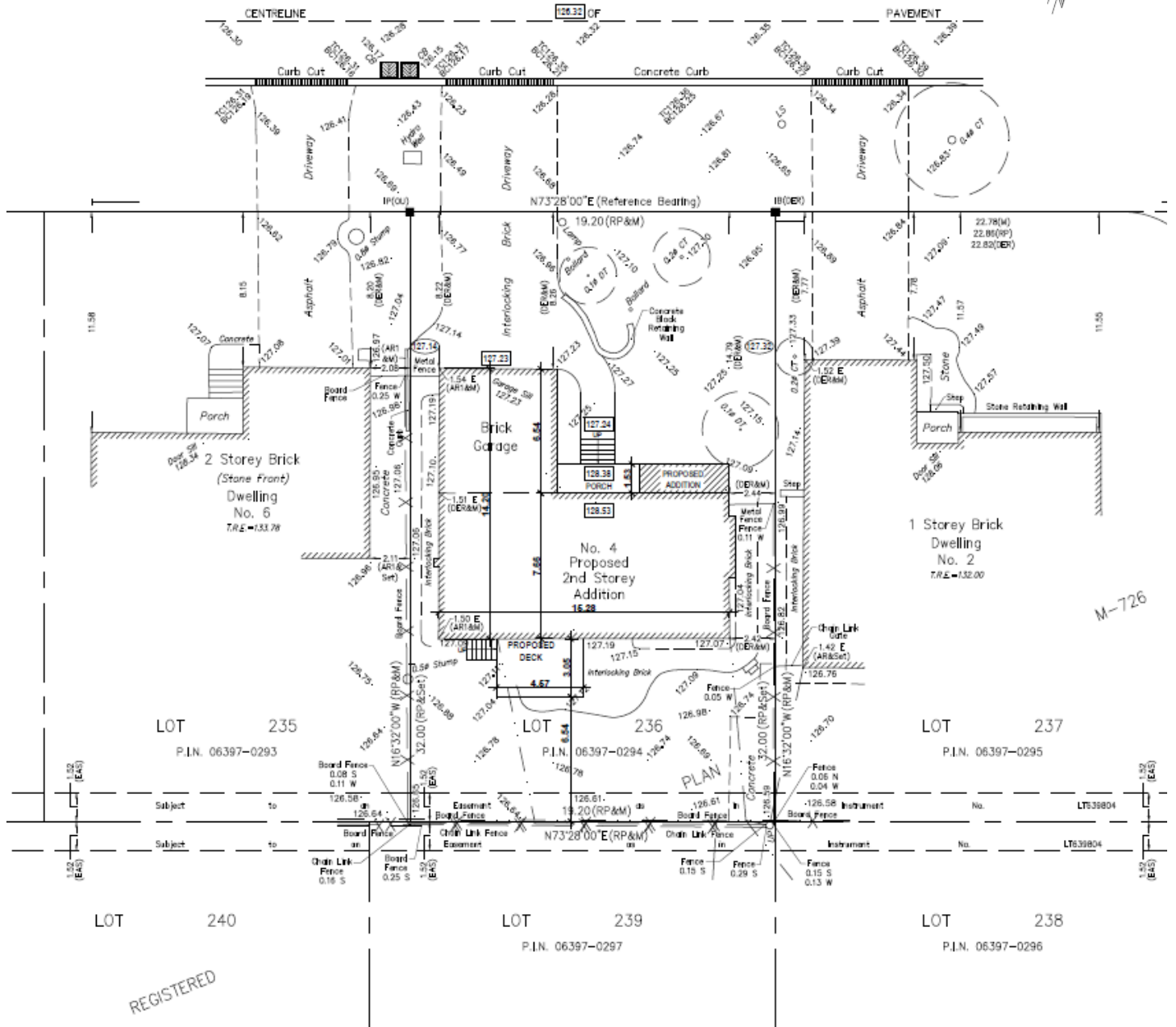
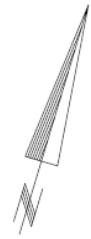
By-law No. 9679:

4. The existing/altered dwelling is located 1.5 m from the west side setback;
Whereas the minimum required side yard setback is 1.2 m plus 0.6 m for each additional storey, for a total required side yard setback of 1.8 m.

CADBURY COURT

(by Registered Plan M-726)

P.I.N. 06397-0376



REGISTERED

10. 87 GOODERHAM DR

File Number:	A0126/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	MELISSA RODRIGUES DWIGHT SIMPSON	Ward:	Scarborough Centre (37)
Agent:	SMPL DESIGN STUDIO	Heritage:	Not Applicable
Property Address:	87 GOODERHAM DR	Community:	Wexford Community
Legal Description:	PLAN 3328 PT LOT 59		

PURPOSE OF THE APPLICATION:

To construct a second storey addition over the existing dwelling, complete with interior and exterior alterations.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

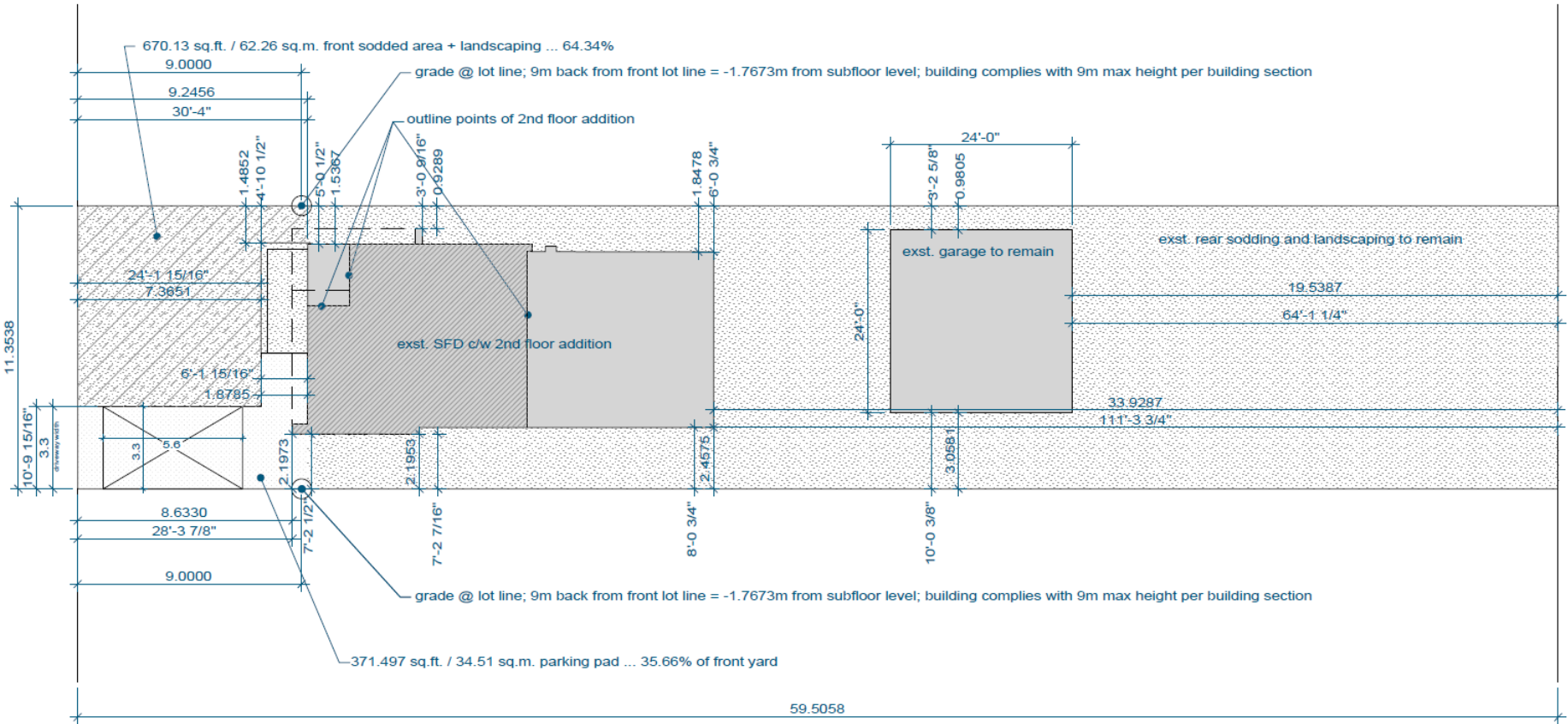
By-law No. 569-2013:

1. The altered dwelling will have a total height of 7.46 m, not including the parapet;
Whereas the maximum permitted height of a dwelling with a flat roof is 7.2 m.
2. The proposed parking space is in the front yard;
Whereas front yard parking is not permitted.

By-law No. 9511:

3. The existing/altered dwelling is located 1.53 m from the north side lot line;
Whereas the minimum required side yard setback is 1.2 m plus 0.6 m for each additional storey, for a total required side yard setback of 1.8 m.
4. The proposed front porch will project 1.88 m from the front main wall;
Whereas the maximum permitted porch projection is 1.55 m.
5. The proposed parking space is in the front yard;
Whereas front yard parking is not permitted.

Gooderham Ave



1 site plan
1 : 100 *when printed on 18x24 paper*

11. 36 IVAN RD

File Number:	A0133/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	KATHERINA CHRISTOFI PETER TZOURAS	Ward:	Scarborough East (44)
Agent:	PETER TZOURAS	Heritage:	Not Applicable
Property Address:	36 IVAN RD	Community:	Centennial Community
Legal Description:	PLAN 2770 PT LOT 82		

PURPOSE OF THE APPLICATION:

To permit variances for a detached dwelling recently constructed as a result of revisions to the design of garage and rear of house.

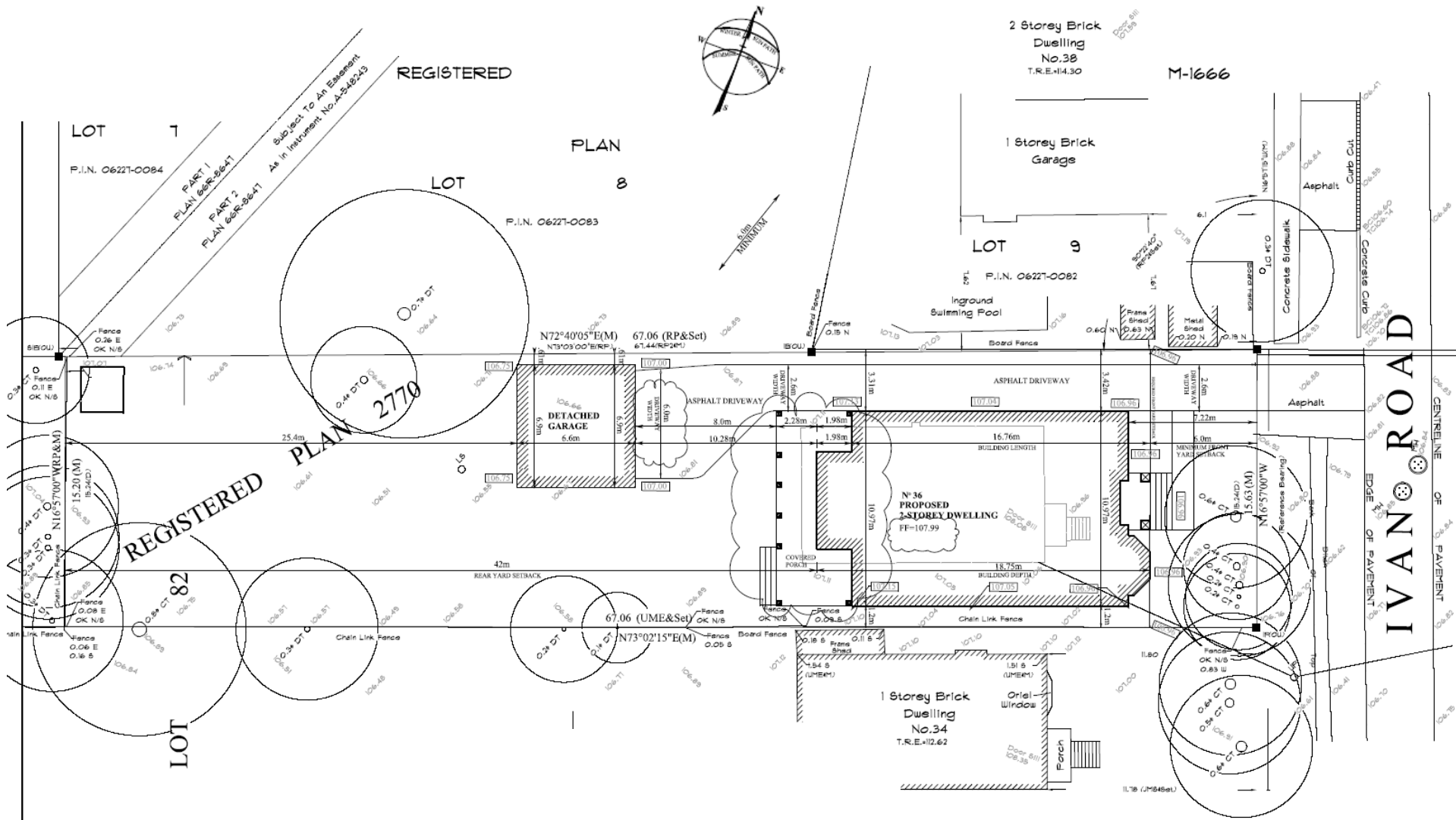
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed building length is 18.53 m;
Whereas the maximum permitted building length is 17 m.
2. The proposed rear driveway will have a width of 6 m;
Whereas the maximum permitted width of a driveway in the rear is 2.6 m.

By-law No. 12077:

3. The proposed dwelling will have a height of 9.18 m;
Whereas the maximum permitted dwelling height is 9 m.
4. The proposed rear porch will be 10.97 m wide;
Whereas the maximum permitted length of a porch is 7.6 m.
5. The proposed rear driveway will have a width of 6 m;
Whereas the maximum permitted width of a driveway in the rear is 2.6 m.



12. 48 BELLEFONTAINE ST

File Number:	A0134/17SC	Zoning	Residential Detached (RD) & Single Family (S) [Waiver]
Owner(s):	HARPREET SINGH TIRTH SINGH	Ward:	Scarborough-Agincourt (39)
Agent:	DESMOND ROYCHAUDHURI ARCHITECT	Heritage:	Not Applicable
Property Address:	48 BELLEFONTAINE ST	Community:	Tam O'Shanter Community
Legal Description:	PLAN 4401 LOT 137		

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed dwelling will have a floor space index equal to 0.5 times the lot area (343.97 m²); Whereas the maximum permitted floor space index is 0.4 times the lot area (278.71 m²).

By-law No. 12360:

2. The proposed dwelling will have a total floor area equal to 0.49 times the lot area (339.28 m²); Whereas the maximum permitted floor area is 0.4 times the lot area (278.71 m²).

13. 18 WOOD GLEN RD

File Number:	A0135/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	BECKY POTTS KRISTOFER POTTS	Ward:	Scarborough Southwest (36)
Agent:	KRISTOFER POTTS	Heritage:	Not Applicable
Property Address:	18 WOOD GLEN RD	Community:	Birchcliff Community
Legal Description:	PLAN 3227 LOT 62 PT LOT 63		

PURPOSE OF THE APPLICATION:

To construct a second storey addition over the existing 1 1/2 storey dwelling and a two-storey north side addition.

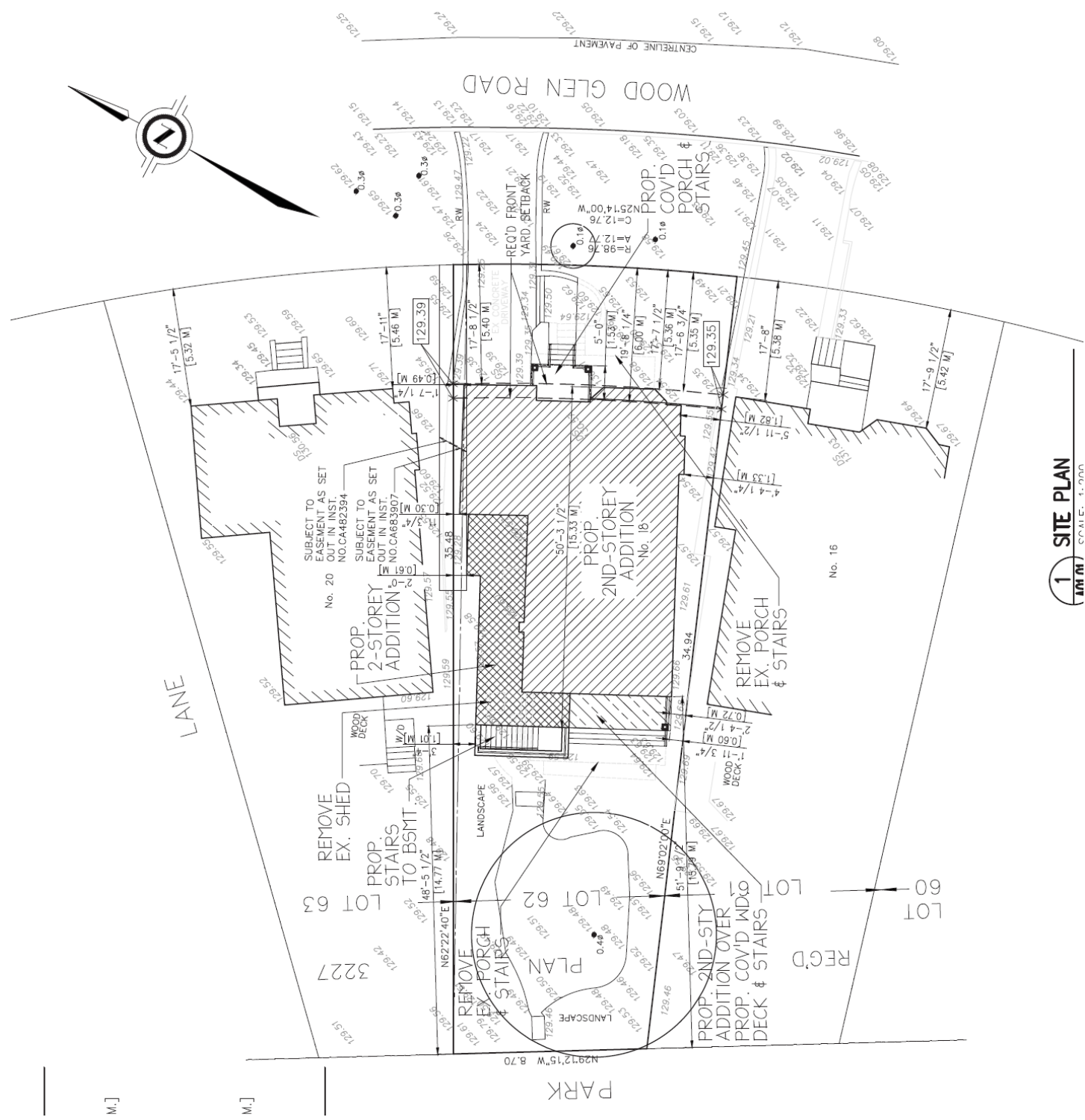
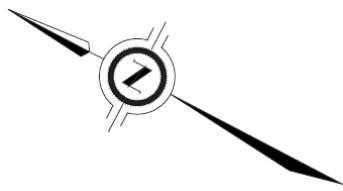
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The altered dwelling will cover 38.07% of the lot are (144.03 m²);
Whereas the maximum permitted coverage is 33% of the lot area (117.15 m²).
2. The altered dwelling will have a floor space index equal to 0.68 times the lot area (256.13 m²);
Whereas the maximum permitted floor space index is the lesser of 204 m² or 0.6 times the lot area (227 m²).
3. The existing/altered dwelling is located 0.3 m from the north side lot line and 0.6 m from the south side lot line;
Whereas the minimum required side yard setback is 0.9 m.
4. The eaves projection, including the eavestrough will be located 0.2 m from the north side lot line;
Whereas the minimum required eaves setback is 0.3 m from a lot line.

By-law No. 8786:

5. The altered dwelling will cover 38.07% of the lot are (144.03 m²);
Whereas the maximum permitted coverage is 33% of the lot area (117.15 m²).
6. The altered dwelling will have a total floor area equal to 0.67 times the lot area (251.75 m²);
Whereas the maximum permitted floor area is the lesser of 204 m² or 0.6 times the lot area (227 m²).
7. The existing/altered dwelling is located 5.36 m from the front lot line;
Whereas the minimum required front yard setback is 6 m.
8. The existing/altered dwelling is located 0.3 m from the north side lot line and 0.6 m from the south side lot line;
Whereas the minimum required side yard setback is 0.9 m.



1 SITE PLAN
SCALE: 1"=10'

M.]

M.]

14. 151 LAKERIDGE DR

File Number:	A0136/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	HECTOR HABON JANETTE MENESES	Ward:	Scarborough East (44)
Agent:	PAUL LAFRANCE DESIGN	Heritage:	Not Applicable
Property Address:	51 LAKERIDGE DR	Community:	Centennial Community
Legal Description:	PLAN 66M2418 LOT 158		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a rear yard deck.

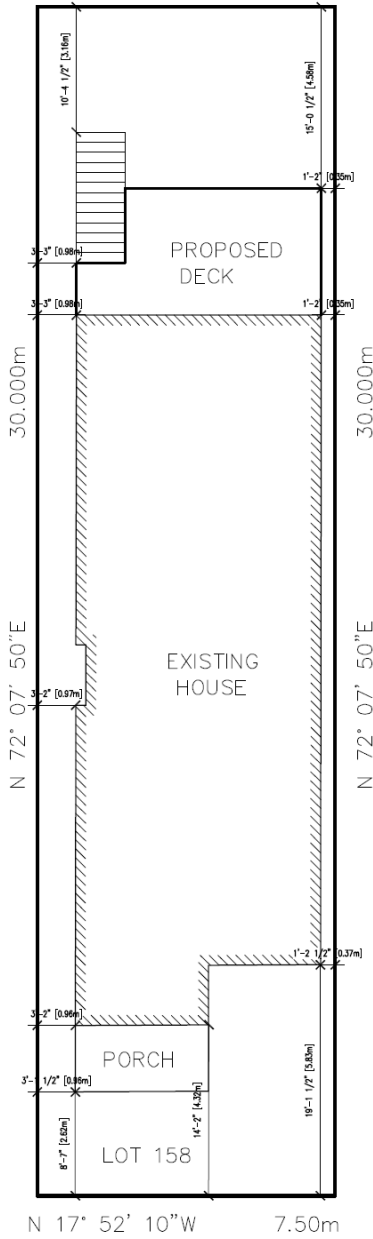
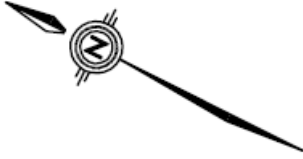
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 4.5 metres rear yard setback, whereas the Zoning By-law requires a minimum 7.5 metres rear yard setback.
2. To permit the proposed 57% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.

By-law No. 12077

3. To permit the proposed 4.5 metres rear yard setback, whereas the Zoning By-law requires a minimum 6 metres rear yard setback.



- VARIANCE**
- Rear Yard Setback
 - Lot Coverage

LAKERIDGE DR

Site Plan

Applicant's Submitted Drawing
 Not to Scale

05/02/2017 – PB

151 Lakeridge Drive

File # A0136/17SC

Attachment 2

15. 9 KING LOUIS CRES

File Number:	A0137/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	WAI KING AU KU KAI AU	Ward:	Scarborough-Agincourt (39)
Agent:	TRAN DIEU & ASSOCIATES INC	Heritage:	Not Applicable
Property Address:	9 KING LOUIS CRES	Community:	L'Amoreaux Community
Legal Description:	PLAN M1161 LOT 261		

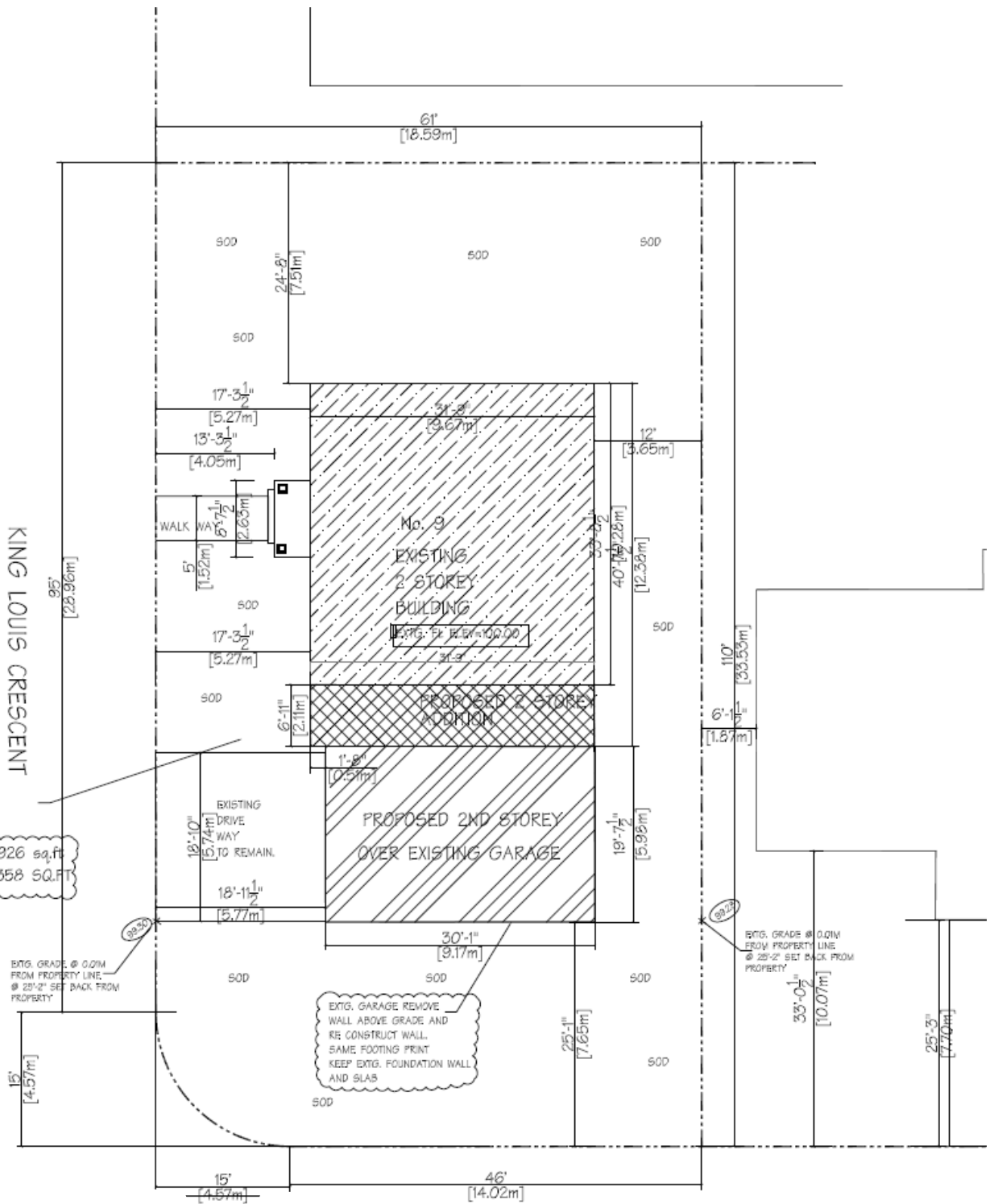
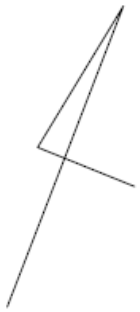
PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition and a second storey addition over the existing garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & No. 12466:

1. The altered dwelling will have a floor space index equal to 0.512 times the lot area (317.06 m²); Whereas the maximum permitted floor space index is the lesser of 279 m² or 0.5 times the lot area (309.62 m²).



FRONT YARD AREA=1926 sq.ft
EXISTING DRIVEWAY=358 SQ.FT

EXTG. GARAGE REMOVE
WALL ABOVE GRADE AND
RE CONSTRUCT WALL.
SAME FOOTING PRINT
KEEP EXTG. FOUNDATION WALL
AND SLAB

D' ALBRET CREST.

16. 361 BEECHGROVE DR

File Number:	A0139/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	CAROL DIANE KNAPMAN MEERE	Ward:	Scarborough East (44)
Agent:	EDDIE PERES	Heritage:	Not Applicable
Property Address:	361 BEECHGROVE DR	Community:	West Hill Community
Legal Description:	PLAN 2441 PT LOT 97 RP 64R12545 PART 1		

PURPOSE OF THE APPLICATION:

To construct a one-storey rear addition and an extension to the existing garage.

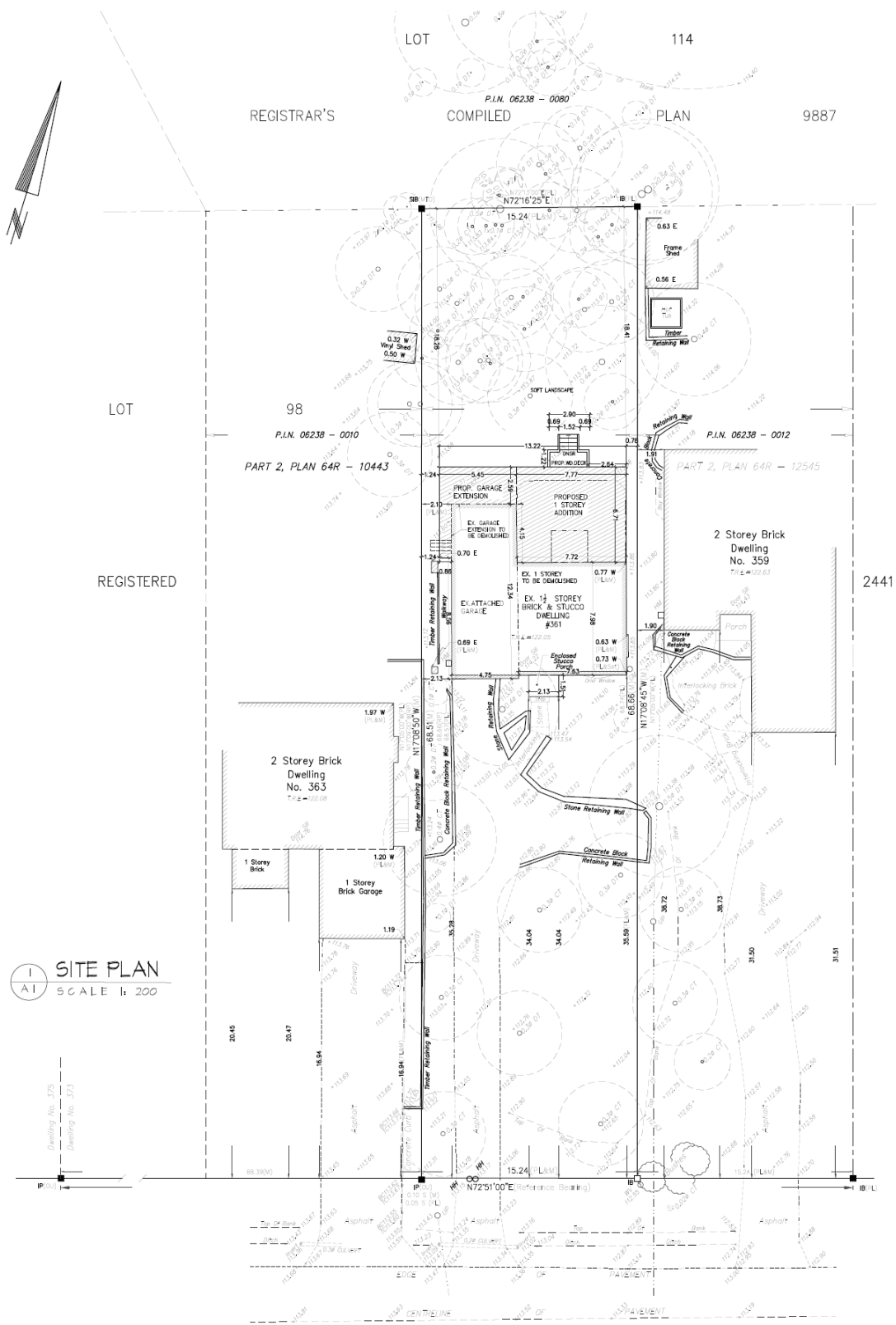
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The existing/altered dwelling is located 0.78 m from the east side lot line;
Whereas the minimum required side yard setback is 1.2 m.
2. The altered dwelling will have a depth of 33.22 m, as measured from the required front yard setback to the rear main wall;
Whereas the maximum permitted depth is 19 m.

By-law No. 10327:

3. The existing/altered dwelling is located 0.78 m from the east side lot line;
Whereas the minimum required side yard setback is 1.2 m.
4. The altered dwelling will be located 18.28 m from the rear lot line;
Whereas the minimum required rear yard setback is 25 m.
5. The altered garage will have dimensions of 14.4 m long by 4.9 m wide;
Whereas the maximum permitted size of a garage are 7.6 m by 7.6 m.



I
A1
SITE PLAN
 SCALE 1:200

Drawing No. 275
 Drawing No. 273

BEECHGROVE DRIVE
 (Formerly Coleraine Avenue, By Registered Plan 2441)
 P.L.N. 06238 - 0110

17. 18 KILPATRICK DR

File Number:	A0141/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	SANIJE BOMBAJ MINELLA BOMBAJ	Ward:	Scarborough Centre (37)
Agent:	CK KENNETH CHOW ARCHITECT	Heritage:	Not Applicable
Property Address:	18 KILPATRICK DR	Community:	Wexford Community
Legal Description:	PLAN 4539 LOT 207		

PURPOSE OF THE APPLICATION:

To construct a two-storey rear and east side addition and a second storey addition over the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & No. 9511:

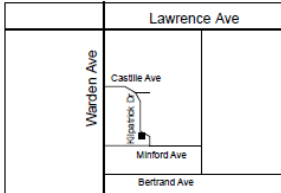
1. The altered dwelling will cover 37.5% of the lot area (176.97 m²);
Whereas the maximum permitted coverage is 33% of the lot area (155.41 m²).

By-law No. 569-2013:

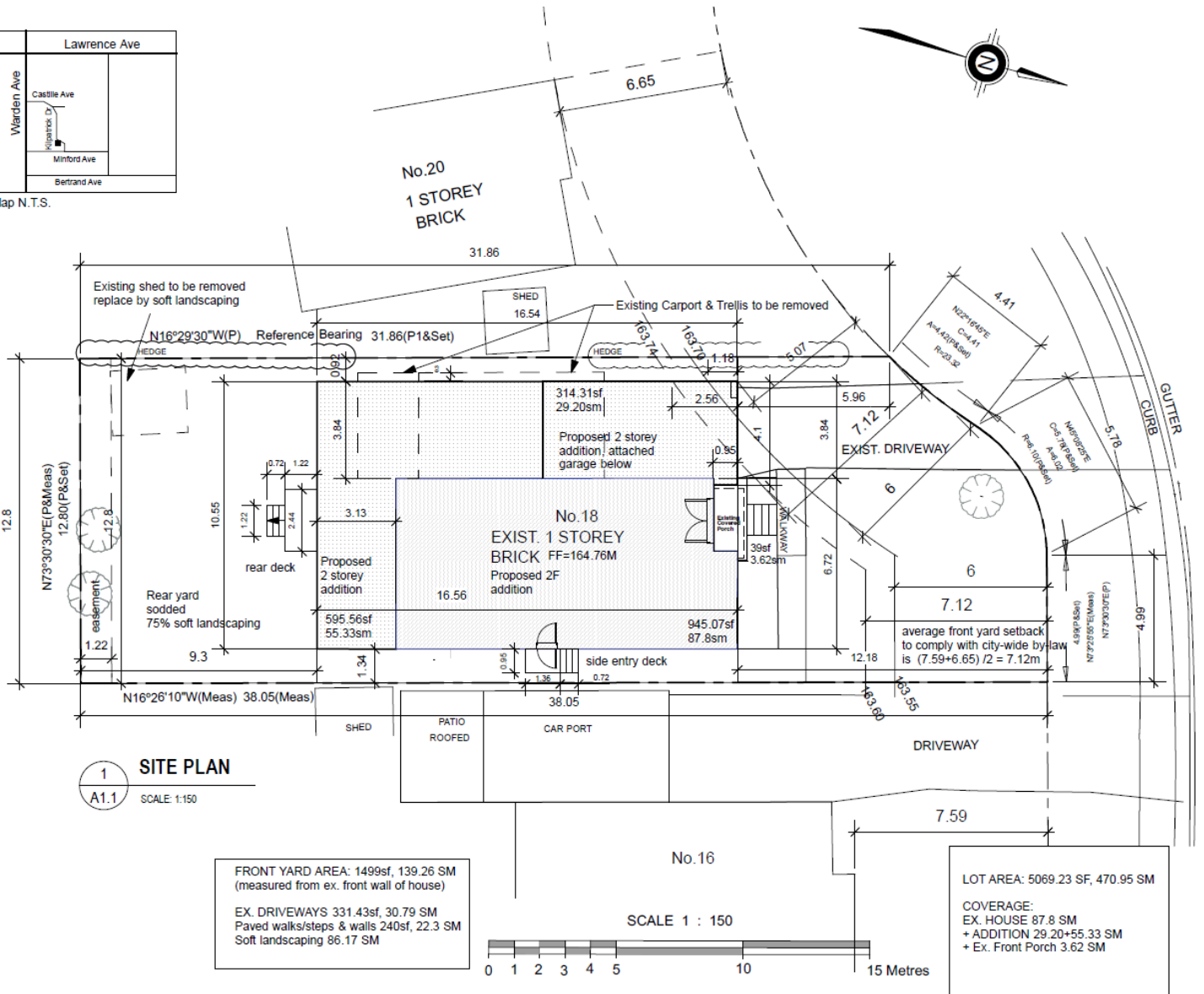
2. The altered dwelling will be located 5.07 m from the front lot line;
Whereas the minimum required front yard setback is 7.12 m.
3. The proposed dwelling will have a total height of 9.51 m, as measured from established grade;
Whereas the maximum permitted building height is 9 m.
4. The altered dwelling will have a depth of 21.65 m, as measured from the required front yard setback to the rear main wall;
Whereas the maximum permitted depth is 19 m.

By-law No. 9511:

5. The altered dwelling will be located 5.07 m from the front lot line;
Whereas the minimum required front yard setback is 6 m.
6. The proposed dwelling will have a total height of 9.55 m, as measured from mean grade;
Whereas the maximum permitted building height is 9 m.



Location Map N.T.S.



18. 14 ELMVIEW DR

File Number:	A0142/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	SACHIN ROHAILLA	Ward:	Scarborough Southwest (36)
Agent:	EPIC DESIGNS INC	Heritage:	Not Applicable
Property Address:	14 ELMVIEW DR	Community:	Birchcliff Community
Legal Description:	PLAN 3223 LOT 10		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey rear addition to the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

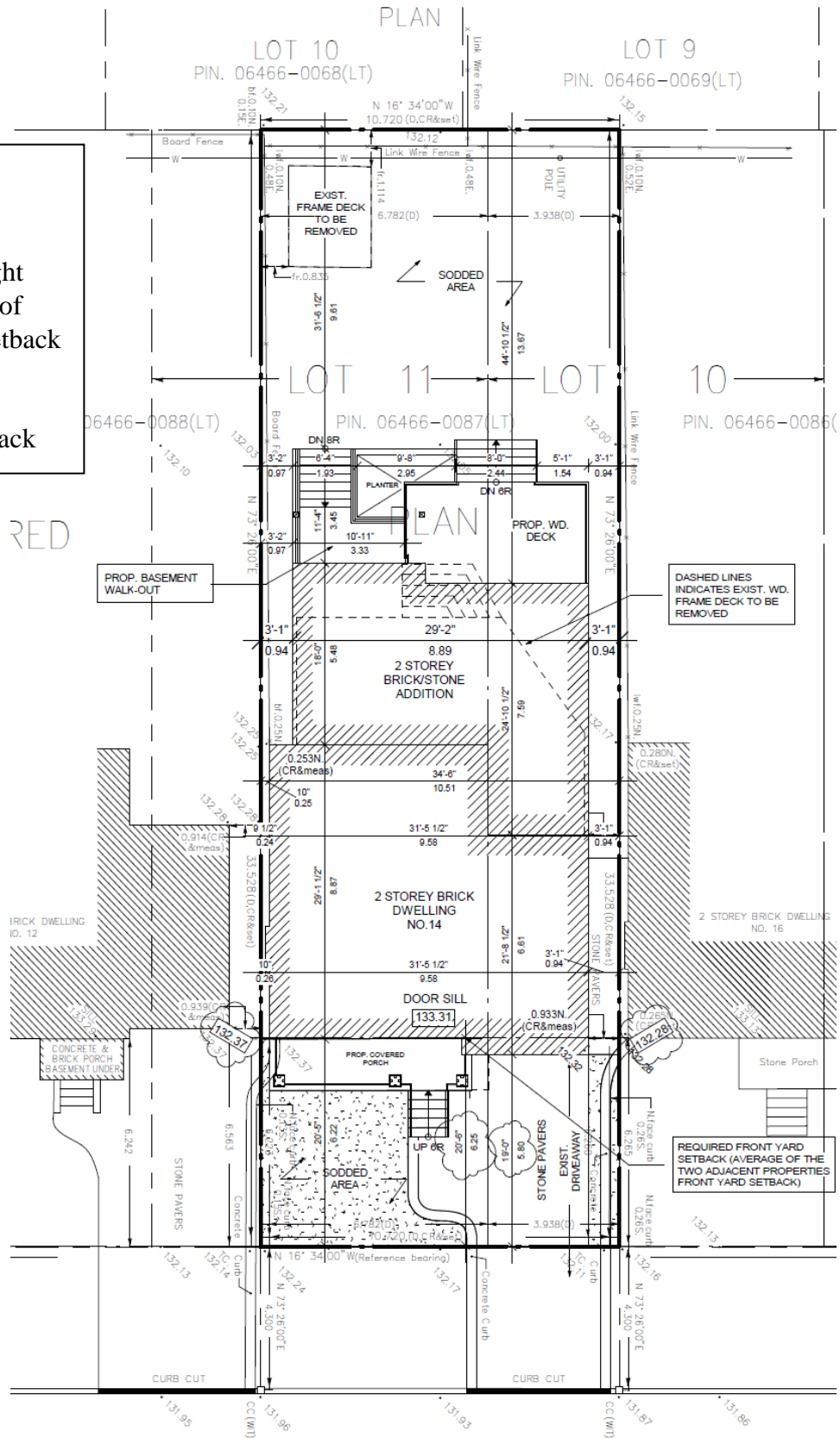
1. To permit the proposed 240 square metres floor area or 0.67 times the lot area, whereas the Zoning By-law permits maximum 215 square metres floor area or 0.6 times the lot area.
2. To permit the proposed 37% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
3. To permit the proposed 9.3 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
4. To permit the proposed eaves of a roof to encroach into the required minimum building setback, and be 0 metres to a lot line, whereas the Zoning By-law permits the eaves of a roof to encroach into a required minimum building setback, if they are no closer to a lot line than 0.3 metres.
5. To permit the proposed 5.8 metres front yard setback, whereas the Zoning By-law requires a minimum 6 metres front yard setback.
6. To permit the proposed 73% front yard landscaping, whereas the Zoning By-law requires a minimum 75% front yard landscaping.

By-law No. 8786

7. To permit the proposed 37% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
8. To permit the proposed 9.3 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.

9. To permit the proposed 236 square metres floor area or 0.66 times the lot area, whereas the Zoning By-law permits maximum 215 square metres floor area or 0.6 times the lot area.
10. To permit the proposed 73% front yard landscaping, whereas the Zoning By-law requires a minimum 75% front yard landscaping.
11. To permit the proposed 5.8 metres building setback from the street line, whereas the Zoning By-law requires a minimum 6 metres building setback from the street line.

- VARIANCE:**
- Floor Area
 - Lot Coverage
 - Building Height
 - Eaves of a Roof
 - Front Yard Setback
 - Front Yard Landscaping
 - Building Setback



TRM C
ELEV.

19. 123 CROCKFORD BLVD

File Number:	A0145/17SC	Zoning	Genral Industrial (MG) & Employment Industrial (E) Zone [Waiver]
Owners:	123 CROCKFORD HOLDINGS INC	Ward:	Scarborough Centre (37)
Agent:	ANTHONY ABATE	Heritage:	Not Applicable
Property Address:	123 CROCKFORD BLVD	Employment District	Wexford Employment District
Legal Description:	PLAN 4297 PT BLK A		

PURPOSE OF THE APPLICATION:

This application is for a variance for a Medical Marihuana Production Facility on the property at 123 Crockford Boulevard.

A Medical Marihuana Production Facility is defined in the zoning by-law as a premises used for growing, producing, testing, destroying, storing, or distribution of medical marihuana or cannabis authorized by a license issued by the federal Minister of Health, pursuant to section 12 of the Marihuana for Medical Purposes Regulations, SOR/2013-119, under the Controlled Drugs and Substances Act, S.C. 1996, c. 19, as amended.

REQUESTED VARIANCE TO THE ZONING BY-LAW:

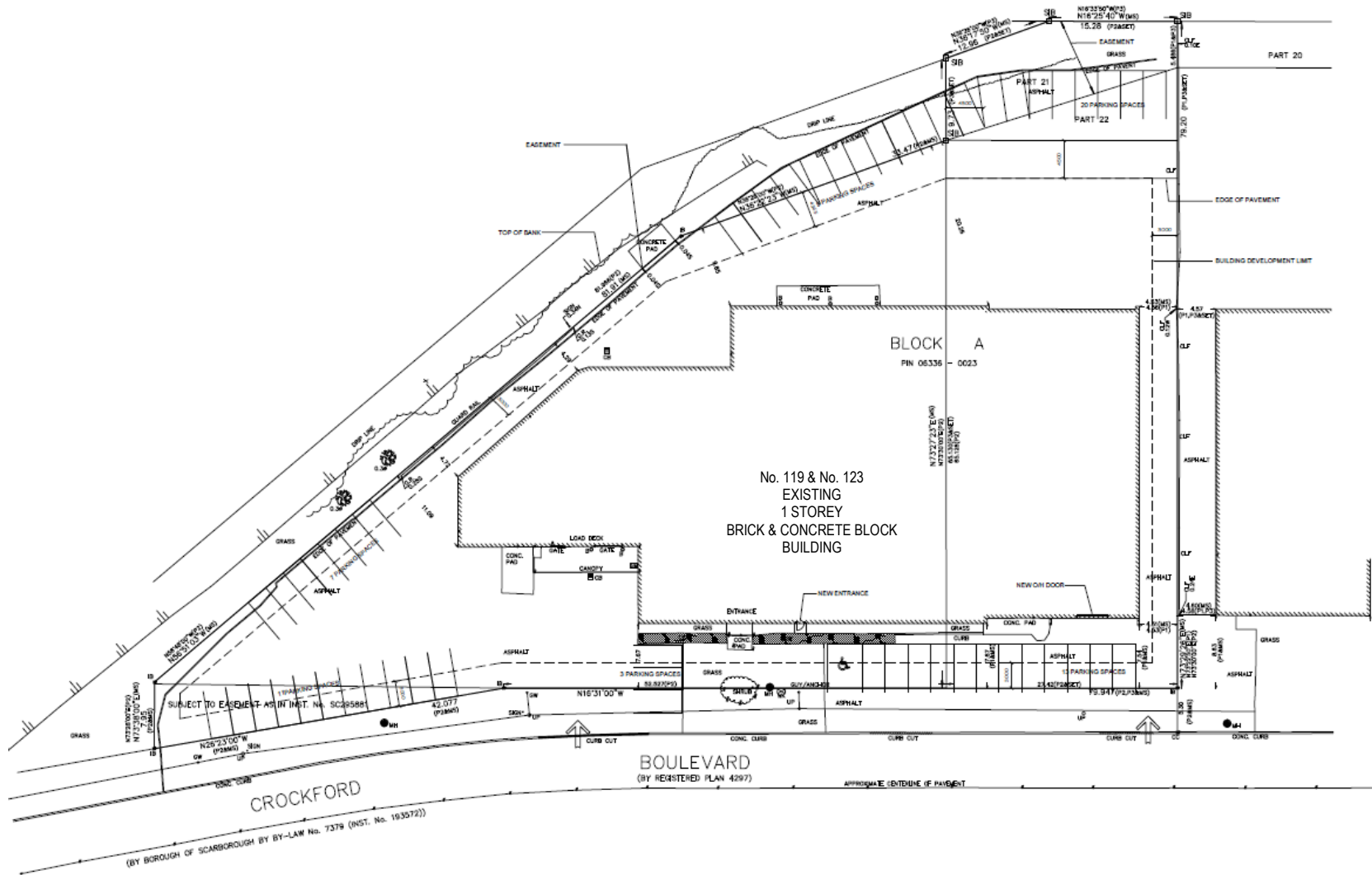
Former City of Scarborough Employment Districts Zoning By-law No. 24982:

- Clause V, Subsection 26.3(a)
The Medical Marihuana Production Facility would be on a lot that is located 17 m away from a lot in the Commercial Residential (CR) Zone
Whereas a lot with a Medical Marihuana Production Facility must be at least 70 metres from a lot in any zone that is not an “E”, “M”, “MG”, “MS” Zone or any of these zones in combination with a “VS” Zone.
- Clause V, Subsection 26.3(b)
The Medical Marihuana Production Facility would be on a lot that is located 35 m away from a lot with a school and a day nursery.
Whereas a lot with a medical marihuana production facility must be at least 70 metres from a lot with a school, place of worship, or day nursery.

City of Toronto Zoning By-law No. 569-2013:

- Chapter 150.60.40.1(1)(A)
The Medical Marihuana Production Facility would be on a lot that is located 17 m away from a lot in the Commercial Residential (CR) Zone
Whereas a lot with a Medical Marihuana Production Facility must be at least 70 metres from a lot in a Commercial Residential (CR) Zone.

2. Chapter 150.60.40.1(1)(A)
The Medical Marihuana Production Facility would be on a lot that is 0 metres from a lot in an Open Space Zone category.
Whereas a lot with a Medical Marihuana Production Facility must be at least 70 metres from a lot in an Open Space Zone category.
3. Chapter 150.60.40.1(1)(B)
The Medical Marihuana Production Facility would be on a lot that is 35 metres from a lot with a day nursery.
Whereas a lot with a Medical Marihuana Production Facility must be at least 70 metres from a lot with a public school, private school, place of worship, and day nursery.



20. 3615 MCNICOLL AVE – BUILDING B

File Number:	A0148/17SC	Zoning	Special District Commercial (SDC) Zone [Waiver]
Owner(s):	2332881 ONTARIO INC	Ward:	Scarborough-Rouge River (42)
Agent:	URBAN GROWTH INC	Heritage:	Not Applicable
Property Address:	3615 MCNICOLL AVE – BUILDING B	Employment:	Tapscott Employment District
Legal Description:	PLAN 66M2205 PT BLKS 30 AND 31 RP 66R28301 PARTS 1 TO 25 32 AND 33		

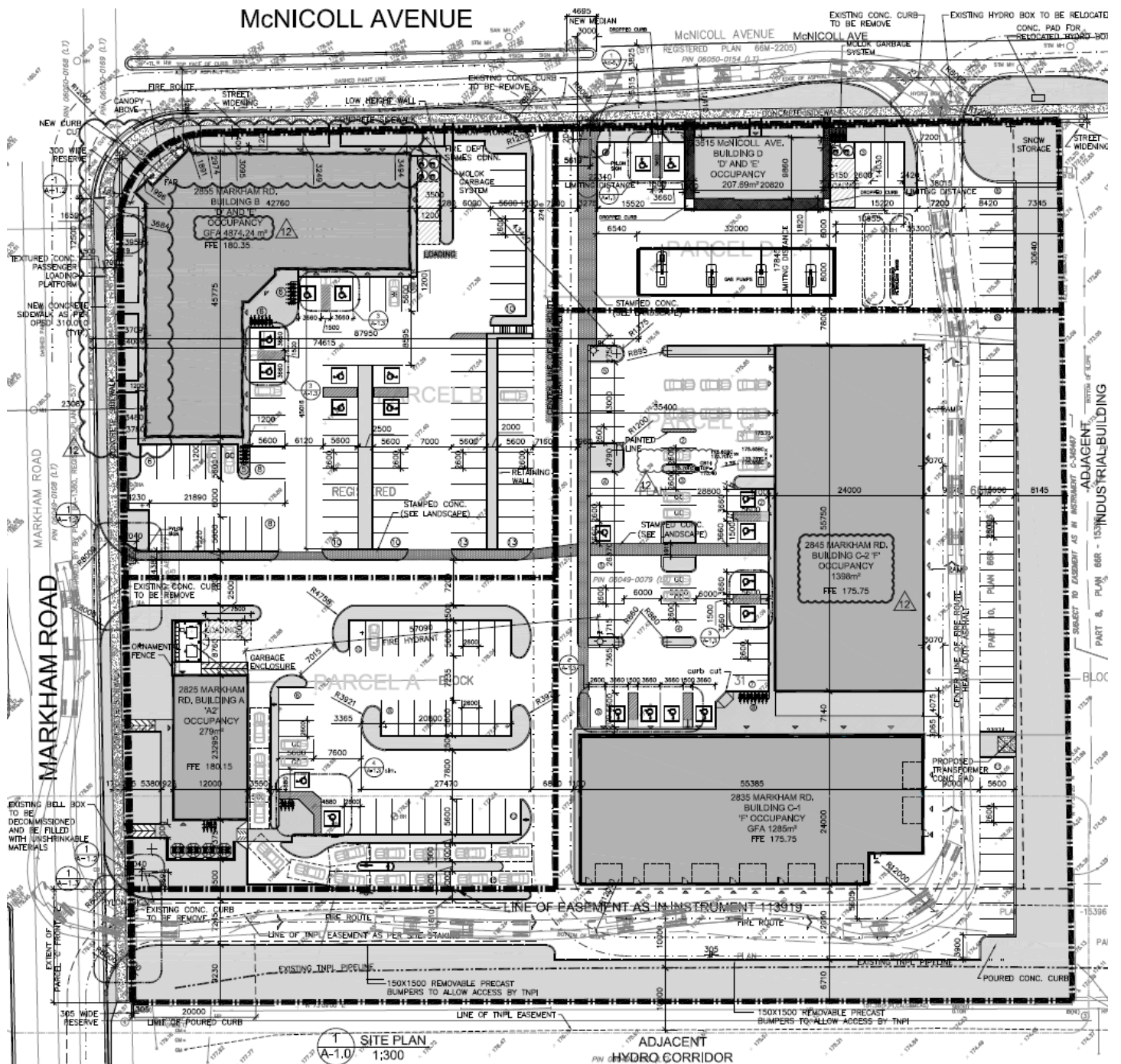
PURPOSE OF THE APPLICATION:

This application is for variances for a proposed four storey office building (Building B) that is part of a multi-building, industrial and commercial complex currently being developed at the southeast corner of Markham Road and McNicoll Avenue. A previous Committee of Adjustment application (A072/16SC) approved variances for front yard setback, restaurant use and parking.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 24982:

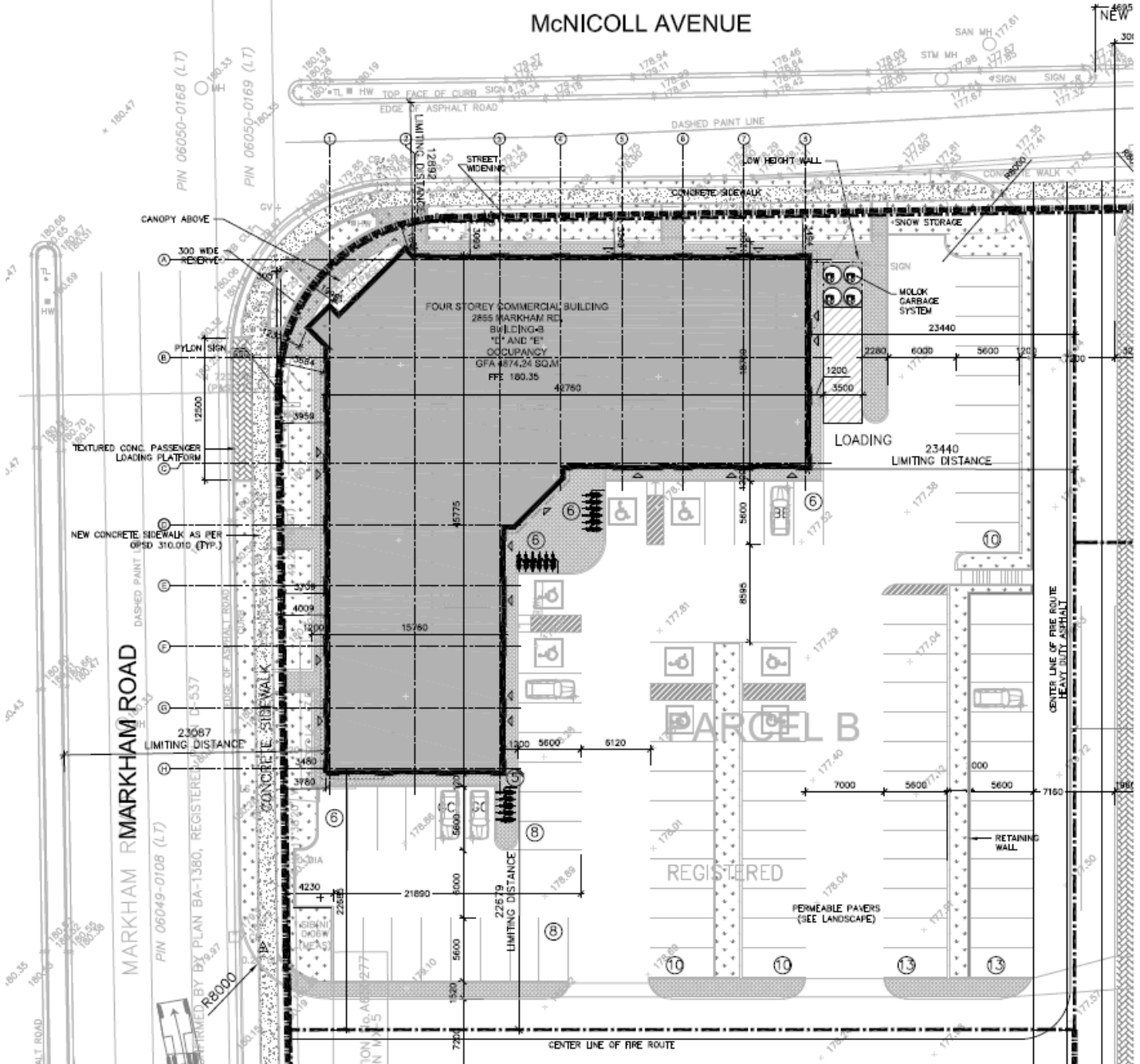
1. The proposed gross floor area of all buildings on the site is 0.378 times the lot area; Whereas the by-law permits a maximum gross floor area of 0.3 times the lot area.
2. The proposed number of parking spaces is 209; Whereas the by-law requires a minimum of 293 parking spaces.



T SITE PLAN
A-1.0
1:300

ADJACENT
HYDRO CORRIDOR

McNICOLL AVENUE



21. 55 WINSTON AVE

File Number:	A0149/17SC	Zoning	RS - Residential Semi-Detached/T - Two Family Residential [ZZC]
Owner(s):	LYNN SCHOLEY	Ward:	Scarborough Southwest (36)
Agent:	SKETCHWORKS INC	Heritage:	Not Applicable
Property Address:	55 WINSTON AVE	Community:	Birchcliff Community
Legal Description:	PLAN 1901 PT LOT 26		

PURPOSE OF THE APPLICATION:

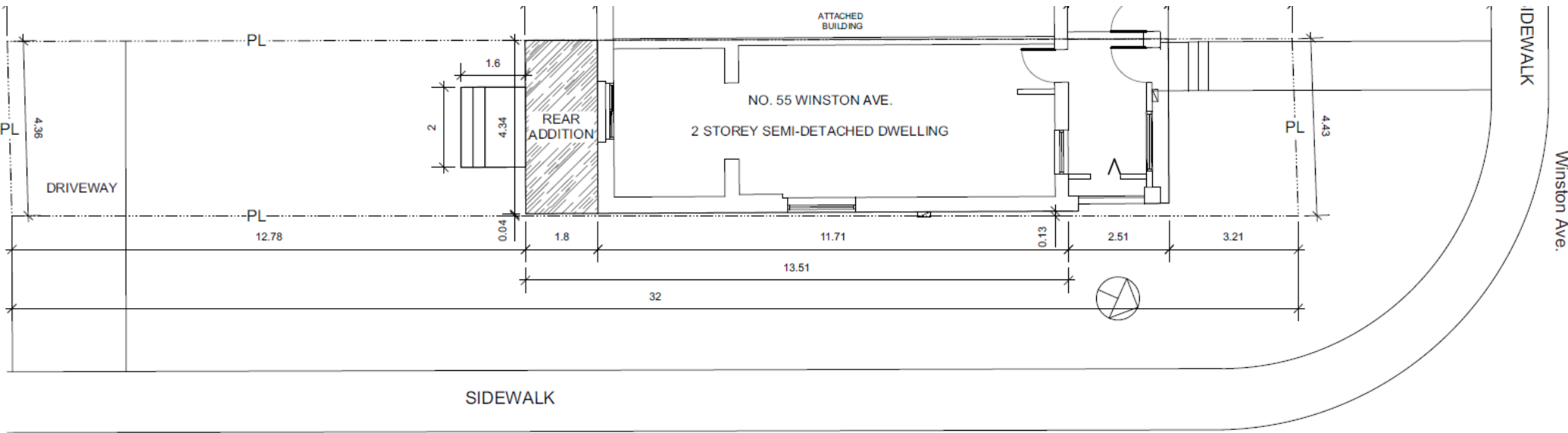
The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey rear addition to the existing two storey single family dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & By-law No. 8786

1. To permit the proposed 0.04 metres building setback from a side lot line that abuts a street, whereas the Zoning By-law requires a minimum 3.6 metres building setback from a side lot line that abuts a street.
2. To permit the proposed 128.1 square metres floor area or 0.91 times the lot area, whereas the Zoning By-law permits maximum 84 square metres floor area or 0.6 times the lot area.
3. To permit the proposed 49% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.

- VARIANCE:**
- Building Setback
 - Floor Area
 - Lot Coverage



Blantyre Ave.

FLOOR AREA	Site Statistics	Setbacks	Existing	Proposed
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22. 90 COLONIAL AVE

File Number:	A0154/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	GURBAX KAUR JOHAL GURMAKH SINGH JOHAL	Ward:	Scarborough Southwest (36)
Agent:	RALPH GRIFFO	Heritage:	Not Applicable
Property Address:	90 COLONIAL AVE	Community:	Cliffcrest Community
Legal Description:	PLAN 4203 LOT 10		

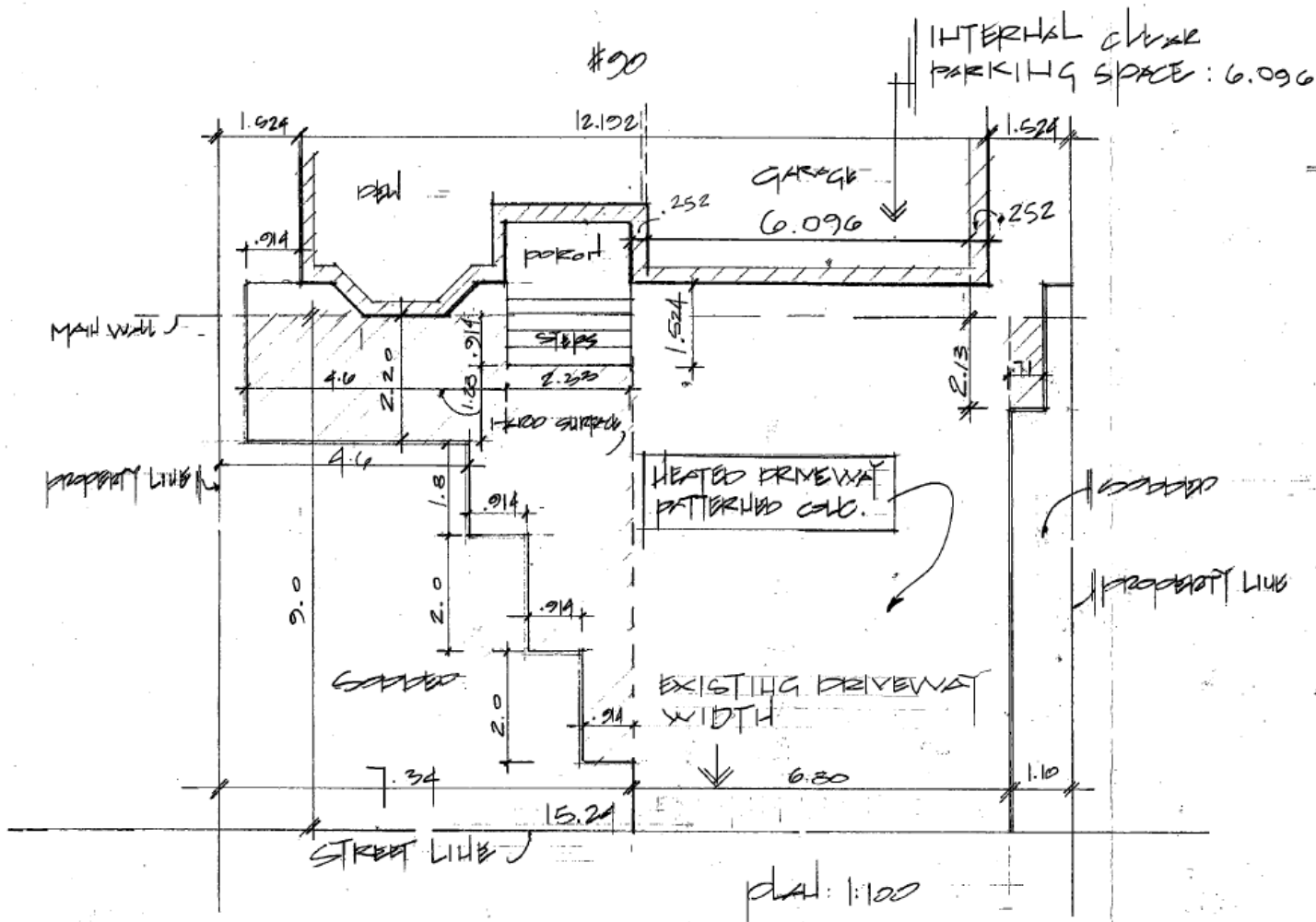
PURPOSE OF THE APPLICATION:

To legalize and maintain the existing driveway.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & No. 9396:

1. The existing driveway has a width of 6.8 m;
Whereas the maximum permitted driveway width is 6 m.



COLONIAL A110

23. 7 BIRCHMOUNT RD

File Number:	A0160/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	JOSEPHINE SARNE DAVID LICHTENWALTER	Ward:	Scarborough Southwest (36)
Agent:	DAVID LICHTENWALTER	Heritage:	Not Applicable
Property Address:	7 BIRCHMOUNT RD	Community:	Birchcliff Community
Legal Description:	CON A PT LOT 30 PLAN 975 PT LOT 33 PARK L PT		

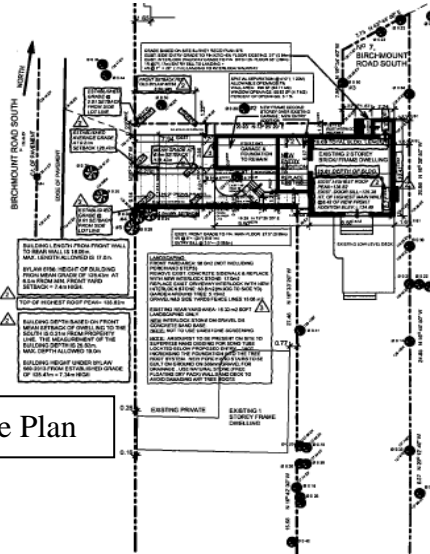
PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct an addition above the existing garage.

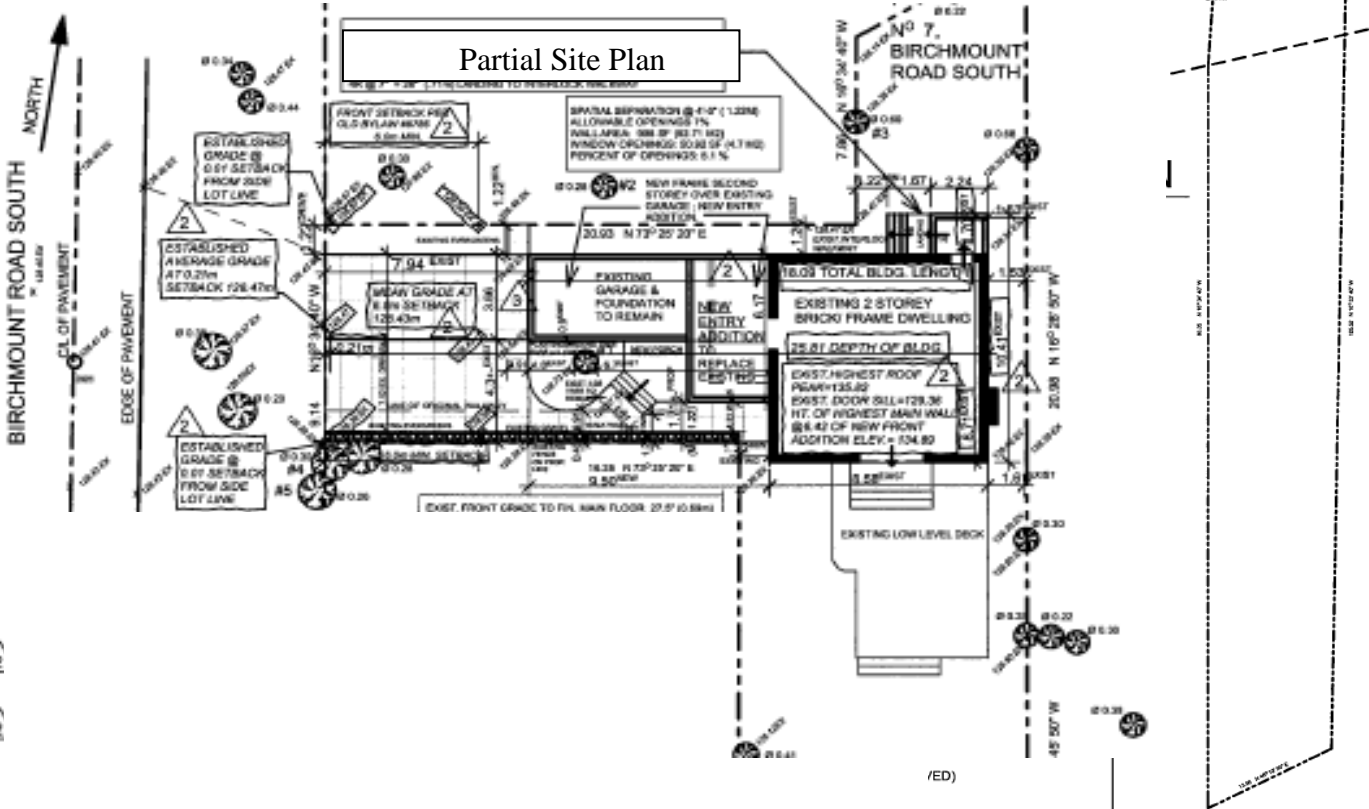
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 1.5 metres rear yard setback, whereas the Zoning By-law requires a minimum 7.5 metres rear yard setback.



VARIANCE:
 • Rear Yard Setback



Site Plan

7 Birchmount Road