

**COMMITTEE OF ADJUSTMENT
AGENDA
SCARBOROUGH PANEL**

Hearing Date: June 1, 2017
Time: 9:30 a.m.
Location: Council Chamber - Scarborough Civic Centre - 150 Borough Drive

1. **OPENING REMARKS**
 - **Declarations of Interest**
 - **Confirmation of Minutes from Previous Hearing**

2. **DEPUTATION ITEMS**

The following applications will be heard at 9:30 a.m. or shortly thereafter:

File Number	Owner	Property	Community (Ward)
<u>COMBINED APPLICATIONS</u>			
1. B014/15SC, A080/15SC & A081/15SC	FAIRGLEN HOMES INC	40 BROOKLAWN AVE	Scarborough Southwest (36)
2. B0002/17SC, A0017/17SC, A0018/17SC, A0019/17SC, A0020/17SC & A0021/17SC	3693 ELLESMERE PROPERTIES INC.	3693 ELLESMERE RD SUGARBUSH SQUARE	Scarborough East (44)
3. B0010/17SC, A0093/17SC & A0094/17SC	PIONEER CONSTRUCTION CONSULTANT	149 WESTBOURNE AVE	Scarborough Southwest (35)
4. B0017/17SC, A0122/17SC, A0123/17SC	ABBAS POUYA	69 BOBMAR RD	Scarborough East (44)

CONSENT APPLICATIONS

- | | | | | |
|----|------------|---------------------------------------|-----------------|-----------------------|
| 5. | B0011/17SC | SAMUEL RAJAMOHAN | 8 WILLOWLEA DR | Scarborough East (44) |
| 6. | B0014/17SC | ROSHONARA
RAHMAN
HABIBUR RAHMAN | 69 HOMESTEAD RD | Scarborough East (44) |

MINOR VARIANCE APPLICATIONS

- | | | | | |
|-----|------------|---|--------------------------|------------------------------|
| 7. | A377/15SC | PETER BUCAN
JEKA BUCAN
1913589 ONTARIO INC | 126 SELECT AVE
UNIT 3 | Scarborough-Rouge River (41) |
| 8. | A0041/17SC | HUSNA BANU SAYED
SHABBIR MOHAMMED
SAYED | 56 MOUNTLAND DR | Scarborough Centre (38) |
| 9. | A0059/17SC | MUHAMMAD SALMAN | 98 SOUTH
WOODROW BLVD | Scarborough Southwest (36) |
| 10. | A0092/17SC | LONG HOLDINGS INC | 3313 DANFORTH AVE | Scarborough Southwest (35) |
| 11. | A0095/17SC | FERNANDO MARQUES
ORFAO
TERESA MEDEIROS | 10 MARCHINGTON
CRCL | Scarborough Centre (37) |
| 12. | A0096/17SC | SIVATHARSHINI
SIVAKADERDCHAN
JEYAPARAN
VELUPPILLAL | 58 KENTISH CRES | Scarborough-Rouge River (42) |
| 13. | A0099/17SC | STEPHANIE
MCDONALD | 64 FERNCROFT DR | Scarborough Southwest (36) |
| 14. | A0100/17SC | KAMALA
NARAYANAN
SANKARA
NARAYANAN
KRISHNAN | 4 SHIRLEY CRES | Scarborough Southwest (36) |
| 15. | A0106/17SC | JAYANTI VERMA
RAKESH KUMAR
VERMA | 70 FALAISE RD | Scarborough East (43) |
| 16. | A0107/17SC | JAMES PITTMAN
DEBORAH DIONISI | 89 HILL CRES | Scarborough East (43) |

17.	A0108/17SC	MICHAEL SCALI	6 PARKLAND RD	Scarborough Southwest (36)
18.	A0109/17SC	BORCE PETKOVSKI CARINA ANNIS	46 UNDERCLIFF DR	Scarborough Southwest (36)
19.	A0110/17SC	GOLDEN SKY CANADA LTD	11 HILL CRES	Scarborough East (43)
20.	A0111/17SC	JESMIN NAHAR SYED MOZAFFAR HOSSAIN	59 THATCHER AVE	Scarborough Southwest (36)
21.	A0112/17SC	MD ABU JAFOR SALEH	1 ANSON AVE	Scarborough Southwest (36)
22.	A0120/17SC	2221118 ONTARIO INC. 2221118 ONTARIO INC	24 EASTMOOR CRES	Scarborough Southwest (36)
23.	A0124/17SC	CHRISTINE OLA BISI FADARE	21 FALLINGBROOK WDS	Scarborough Southwest (36)
24.	A0125/17SC	ANDREA DAWN CANNON JASON ANDREW CANNON	70 FOXRIDGE DR	Scarborough Southwest (35)
25.	A0145/17SC	123 CROCKFORD HOLDINGS INC	123 CROCKFORD BLVD	Scarborough Centre (37)

3. OTHER BUSINESS

None.

4. ONTARIO MUNICIPAL BOARD

Appeals:

There *currently no appeals for the May 11, 2017 Hearing.

* Website for OMB Orders: <http://www.omb.gov.on.ca/english/eDecisions/eDecisions.html>

5. **DATE OF NEXT MEETING:** **June 22, 2017**

6. **ADJOURNMENT**

* **Website for City of Toronto, Committee of Adjustment Agendas and Decisions:**

<http://www1.toronto.ca/wps/portal/contentonly?vnextoid=ed2552cc66061410VgnVCM1000071d60f89RCRD>

Please Note: Looking for information regarding Case Manager on a file and/or hearing date prior to the agenda? Please use the following link:

* **Website for City Planning "Application Information Centre" (AIC);**

<http://app.toronto.ca/DevelopmentApplications/mapSearchSetup.do?action=init>

For Committee of Adjustment, please "select" "Committee of Adjustment" prior to entering your search information.

The following applications will be heard at 9:30 a.m. or shortly thereafter:

1. 40 BROOKLAWN AVE

File Number:	B014/15SC, A080/15SC & A081/15SC	Zoning	Residential Detached (RD) Single Family (S) [Waiver]
Owner(s):	FAIRGLEN HOMES INC	Ward:	Scarborough Southwest (36)
Agent:	FAIRGLEN HOMES LIMITED	Heritage:	Not Applicable
Property Address:	40 BROOKLAWN AVE	Community:	Cliffcrest Community
Legal Description:	PLAN 2432 PT LOT 8		

THE CONSENT REQUESTED:

To obtain consent to sever the property into two residential lots identified as Parts 1 and 2 on the attached lot division plan.

Conveyed - Part 1

Address to be assigned

The proposed lot frontage is 13.97 m and the proposed lot area is 362.28 m². The existing detached dwelling will be demolished and the property will be redeveloped as the site of a new two-storey detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A080/15SC.

Retained - Part 2

Address to be assigned

The proposed lot frontage is 10.67 m and the proposed lot area is 411.31 m². The existing detached dwelling will be demolished and the property will be redeveloped as the site of a new two-storey detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A081/15SC.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

File # A080/15SC - Part 1 (Conveyed)

By-law No. 569-2013 & No. 9396:

1. The proposed lot area is 362.28 m².
Whereas the minimum required lot area is 371 m².

By-law No. 569-2013:

2. The proposed dwelling will cover 39% of the lot area (141.2 m²);
Whereas the maximum permitted lot coverage is 33% of the lot area (119.56 m²).
3. The proposed dwelling will have a floor space index equal to 0.68 times the lot area (246.35 m²);
Whereas the maximum permitted floor space index is the lessor of 204 m² or 0.6 times the lot area (217.37 m²).

4. The proposed dwelling will be located 5.7 m from the front lot line;
Whereas the minimum required front yard setback is 6.38 m.
5. The proposed dwelling will be located 1.2 m from the side lot line abutting Barkdene Hills;
Whereas the minimum required setback from a side lot line that abuts a street is 2.4 m.
6. None of the area of the first floor is proposed to be within 4 m of the front main wall;
Whereas a minimum of 10 m² of the first floor must be located within 4 m of the front main wall.
7. The proposed vehicle access to a parking space is from the main front street (Brooklawn Avenue);
Whereas vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street (Barkdene Hills).

By-law No. 9396:

8. The proposed dwelling will cover 41% of the lot area (147.67 m²);
Whereas the maximum permitted lot coverage is 33% of the lot area (119.56 m²).
9. The proposed dwelling will have a total floor area equal to 0.68 times the lot area (246.35 m²);
Whereas the maximum permitted floor area is 0.45 times the lot area (163.03 m²).
10. The proposed dwelling, including the front window projection, will be located 5.09 m from the front lot line;
Whereas the minimum required front yard setback is 6 m.
11. The proposed dwelling will be located 1.2 m from the side lot line facing Barkdene Hills;
Whereas the minimum required setback from a side lot line that faces a street is 2.4 m.
12. The proposed dwelling will be located 16 m from the extent of major open space at the top of the bluff;
Whereas the extent of major open space is within 76 m of the top of the bluff.
Note: In the Major Open Spaces (O) zone, the erection, structural alteration and/or maintenance of buildings, other than public recreational buildings, is prohibited.

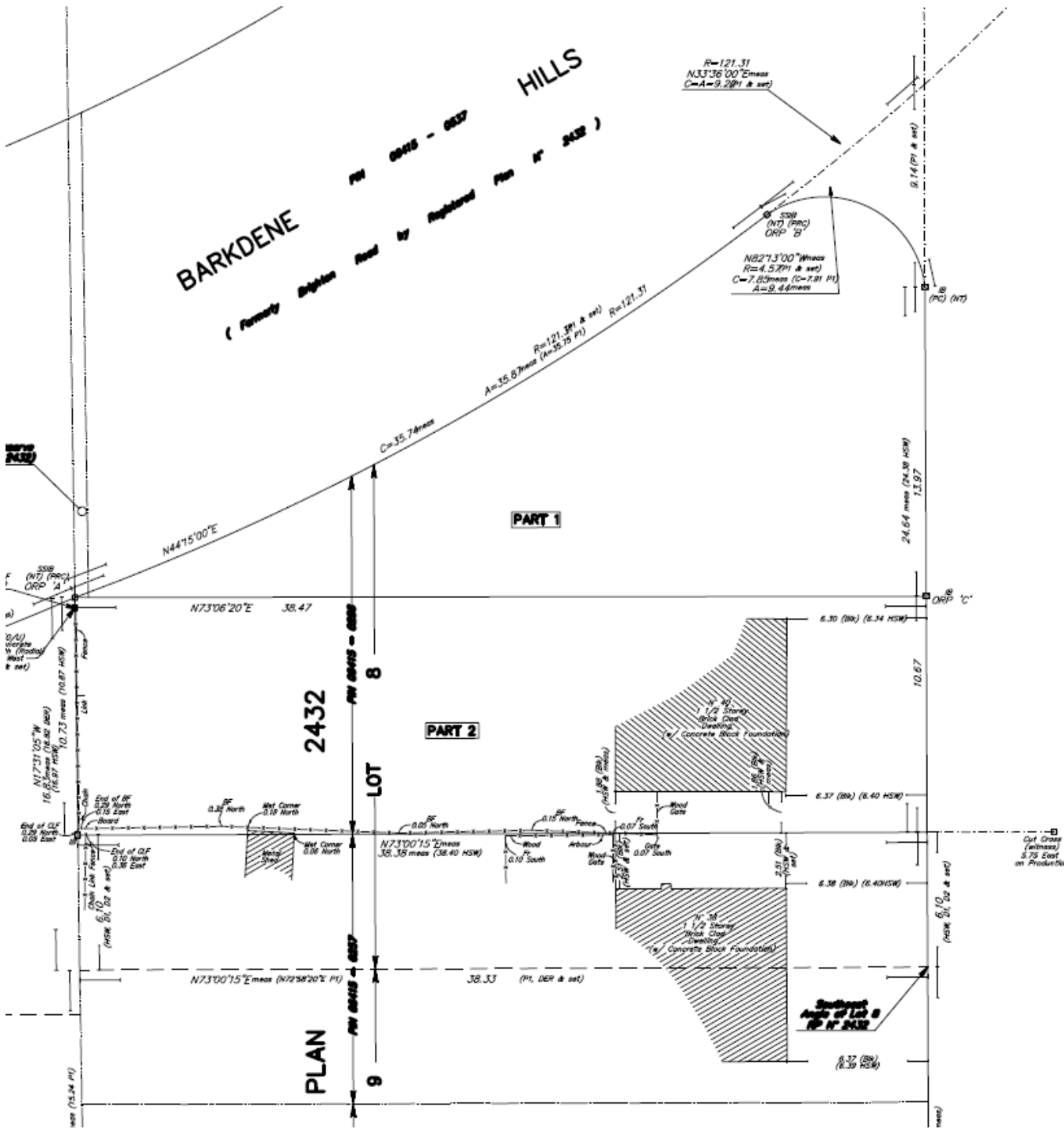
File # A081/15SC - Part 2 (Retained)

By-law No. 569-2013:

1. The proposed dwelling will cover 35.1% of the lot area (144.5 m²);
Whereas the maximum permitted lot coverage is 33% of the lot area (135.76 m²).
2. The proposed dwelling will have a floor space index equal to 0.652 times the lot area (268 m²);
Whereas the maximum permitted floor space index is 0.5 times the lot area (205.7 m²).
3. The proposed dwelling will have a total length of 17.73 m;
Whereas the maximum permitted dwelling length is 17 m.

By-law No. 9396:

4. The proposed dwelling will cover 35.1% of the lot area (144.5 m²);
Whereas the maximum permitted lot coverage is 33% of the lot area (135.76 m²).
5. The proposed dwelling will have a total floor area equal to 0.652 times the lot area (268 m²);
Whereas the maximum permitted floor area is 0.4 times the lot area (164.56 m²).
6. The proposed dwelling will be located 19 m from the extent of major open space at the top of the bluff;
Whereas the extent of major open space is within 76 m of the top of the bluff.
Note: In the Major Open Spaces (O) zone, the erection, structural alteration and/or maintenance of buildings, other than public recreational buildings, is prohibited.



BARKDENE HILLS
 (Formerly Barkdene Road by Registered Plan No. 2432)

BROOKLAWN AVENUE
 (By Registered Plan No. 2297)

2432

PART 1

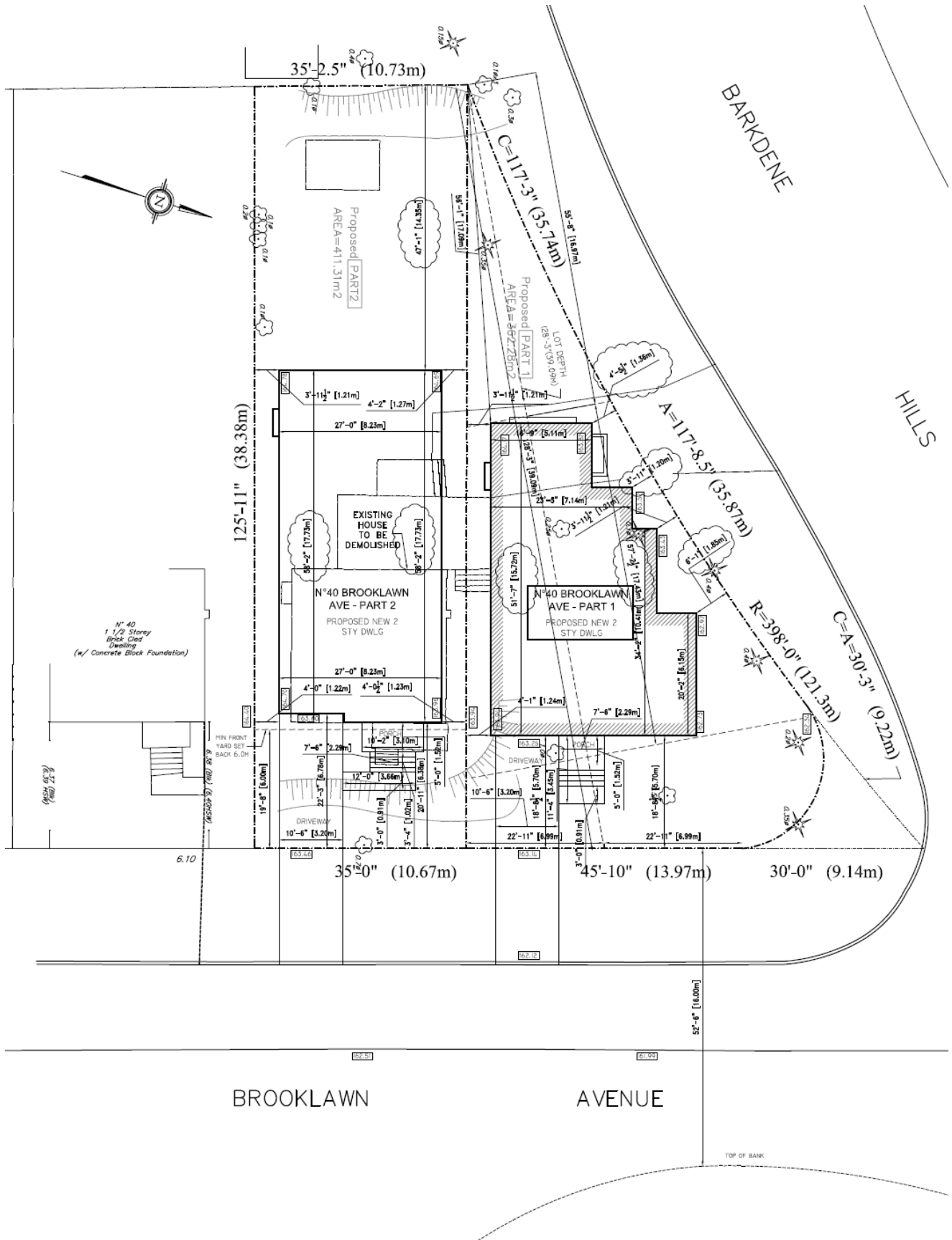
PART 2

PLAN

LOT 8

LOT 9

South East Angle of Lot 2432
 83.31



**2. 3693 ELLESMERE RD
SUGARBUSH SQUARE**

File Number:	B0002/17SC, A0017/17SC, A0018/17SC, A0019/17SC, A0020/17SC & A0021/17SC	Zoning	Single Family (S) and Residential Detached (RD) [ZR]
Owners:	3693 ELLESMERE PROPERTIES INC.	Ward:	Scarborough East (44)
Agent:	GOLDBERG GROUP	Heritage:	Not Applicable
Property Address:	E/S3693 ELLESMERE RD SUGARBUSH SQUARE	Community:	Highland Creek Community
Legal Description:	PLAN 9887 RCP LOT 7, 8		

THE CONSENT REQUESTED:

Proposal to sever the land into five lots for detached dwellings. The proposed lots are shown on the attached Lot Division Plan.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

PARTS 1 & 13 (File A0017/17SC)

By-law No. 569-2013:

1. The proposed lot area is 432 m²
Whereas the minimum required lot area is 696 m²
2. None of the floor area on the first floor is proposed to be located within 4.0 m of the front main wall
Whereas a minimum of 10.0 m² of the first floor must be located within 4.0 m of the front main wall

By-law No. 10827:

3. The proposed lot area is 432 m²
Whereas the minimum required lot area is 696 m²
4. The proposed floor area is 0.654 x the area of the lot (283 m²)
Whereas the maximum permitted floor area is 0.5 x the area of the lot (216 m²)

PARTS 2 & 12 (File A0018/17SC)

By-law No. 569-2013:

1. The proposed lot area is 434 m²
Whereas the minimum required lot area is 696 m²
2. None of the floor area on the first floor is proposed to be located within 4.0 m of the front main wall
Whereas a minimum of 10.0 m² of the first floor must be located within 4.0 m of the front main wall

By-law No. 10827:

3. The proposed lot area is 434 m²
Whereas the minimum required lot area is 696 m²
4. The proposed floor area is 0.655 x the area of the lot (285 m²)
Whereas the maximum permitted floor area is 0.5 x the area of the lot (217 m²)

PARTS 3 & 11 (File A0019/17SC)

By-law No. 569-2013:

1. The proposed lot area is 433 m²
Whereas the minimum required lot area is 696 m²
2. None of the floor area on the first floor is proposed to be located within 4.0 m of the front main wall
Whereas a minimum of 10.0 m² of the first floor must be located within 4.0 m of the front main wall

By-law No. 10827:

3. The proposed lot area is 433 m²
Whereas the minimum required lot area is 696 m²
4. The proposed floor area is 0.652 x the area of the lot (283 m²)
Whereas the maximum permitted floor area is 0.5 x the area of the lot (216 m²)

PARTS 4, 8, 9 & 10 (File A0020/17SC)

By-law No. 569-2013:

1. The proposed rear yard setback is 7 m
Whereas the minimum required rear yard setback is 7.5 m
2. The proposed lot area is 423 m²
Whereas the minimum required lot area is 696 m²
3. None of the floor area on the first floor is proposed to be located within 4.0 m of the front main wall
Whereas a minimum of 10.0 m² of the first floor must be located within 4.0 m of the front main wall

By-law No. 10827:

4. The proposed lot area is 423 m²
Whereas the minimum required lot area is 696 m²
5. The proposed floor area is 0.67 x the area of the lot (285 m²)
Whereas the maximum permitted floor area is 0.5 x the area of the lot (211 m²)
6. The proposed rear yard setback is 7 m
Whereas the minimum required rear yard setback is 7.5 m

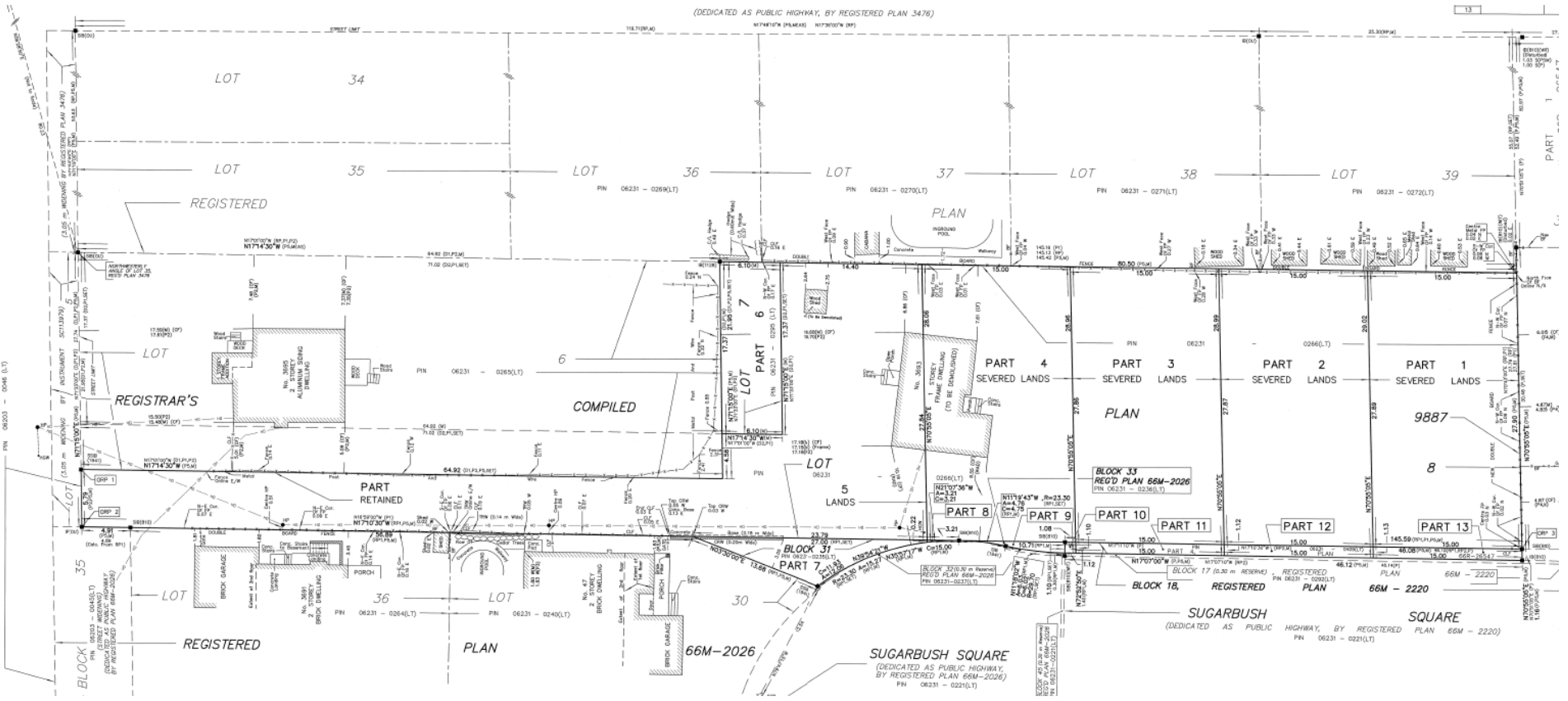
PARTS 5, 6 & 7 (File A0021/17SC)

By-law No. 569-2013:

1. None of the floor area on the first floor is proposed to be located within 4.0 m of the front main wall
Whereas a minimum of 10.0 m² of the first floor must be located within 4.0 m of the front main wall

ELLESMERE ROAD
(ROAD ALLOWANCE BETWEEN CONCESSIONS 1 AND 2)
PIN 06231 - 0048 (S/1)

(DEDICATED AS PUBLIC HIGHWAY, BY REGISTERED PLAN 3476)



13

3. 149 WESTBOURNE AVE

File Number:	B0010/17SC, A0093/17SC & A0094/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	PIONEER CONSTRUCTION CONSULTANT	Ward:	Scarborough Southwest (35)
Agent:	PIONEER CONSTRUCTION CONSULTANT	Heritage:	Not Applicable
Property Address:	149 WESTBOURNE AVE	Community:	Clairlea Community
Legal Description:	PLAN M463 LOT 114		

THE CONSENT REQUESTED:

To obtain consent to sever the property into two (2) undersized residential lots.

Conveyed - Part A

The proposed lot frontage is 7.62 m and the proposed lot area is 241.55 m². The existing detached dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling with an integral garage, requiring variances to the Zoning By-law, as outlined in Application A0093/17SC.

Retained - Part B

The proposed lot frontage is 7.62 m and the proposed lot area is 241.55 m². The existing detached dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling with an integral garage, requiring variances to the Zoning By-law, as outlined in Application A0094/17SC.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Part A – Conveyed (A0093/17SC) & Part 2– Retained (A0094/17SC)

By-law No. 569-2013 & No. 8978:

1. The proposed lot frontage is 7.62 m and the proposed lot area is 241.55 m²;
Whereas the minimum required lot frontage is 12 m and the minimum required lot area is 371 m².
2. The proposed dwelling will be located 0.61 m from the north side lot line and 0.76 m from the south side lot line for **Part A**;
The proposed dwelling will be located 0.61 m from the south side lot line and 0.76 m from the north side lot line for **Part B**;
Whereas the minimum required side yard setback is 0.9 m.

By-law No. 569-2013:

3. The proposed dwelling will cover 41.79% of the lot area (100.94 m²);
Whereas the maximum permitted lot coverage is 33% of the lot area (79.71 m²).
4. The proposed dwelling will have a height of 8.2 m;
Whereas the maximum permitted height of a dwelling with a flat roof is 7.2 m.

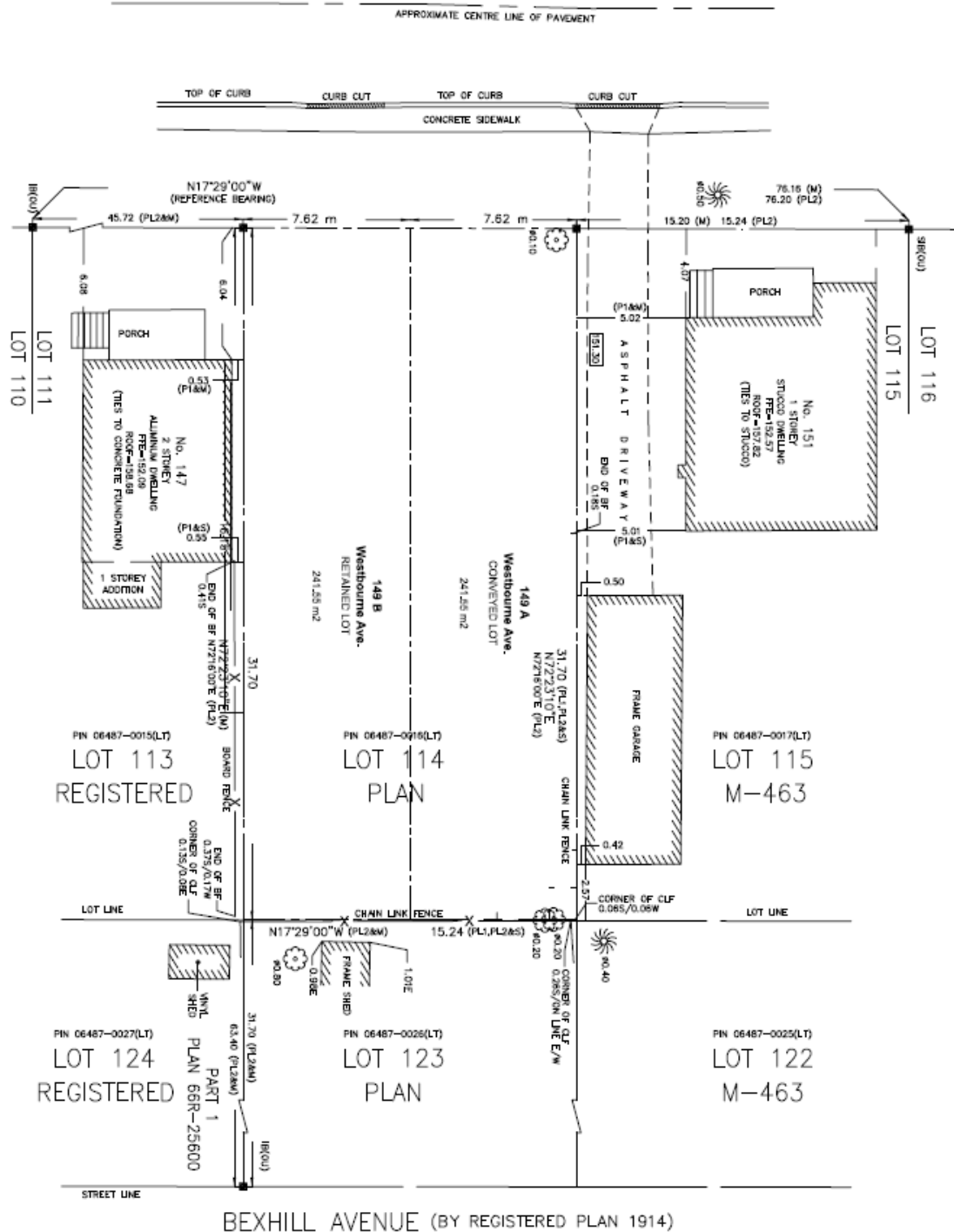
5. A total of 9.63 m² of the first floor is proposed to be within 4 m of the front main wall;
Whereas a minimum of 10 m² of the first floor must be located within 4 m of the front main wall.
6. The proposed rear deck will be located 0.91 m from the north side lot line for **Part A**;
The proposed rear deck will be located 1.06 m from the north side lot line for **Part B**;
Whereas the minimum required setback for a platform (deck) is 1.22 m from the side lot line.

By-law No. 8978:

7. The proposed dwelling will cover 42.97% of the lot area (103.79 m²);
Whereas the maximum permitted lot coverage is 33% of the lot area (79.71 m²).
8. The proposed dwelling will be three (3) storeys in height at the garage portion only;
Whereas the maximum permitted number of storeys is two (2).
9. The proposed parking space in the integral garage will have a width of 3.25 m;
Whereas the minimum required width of a parking space is 3.3 m.

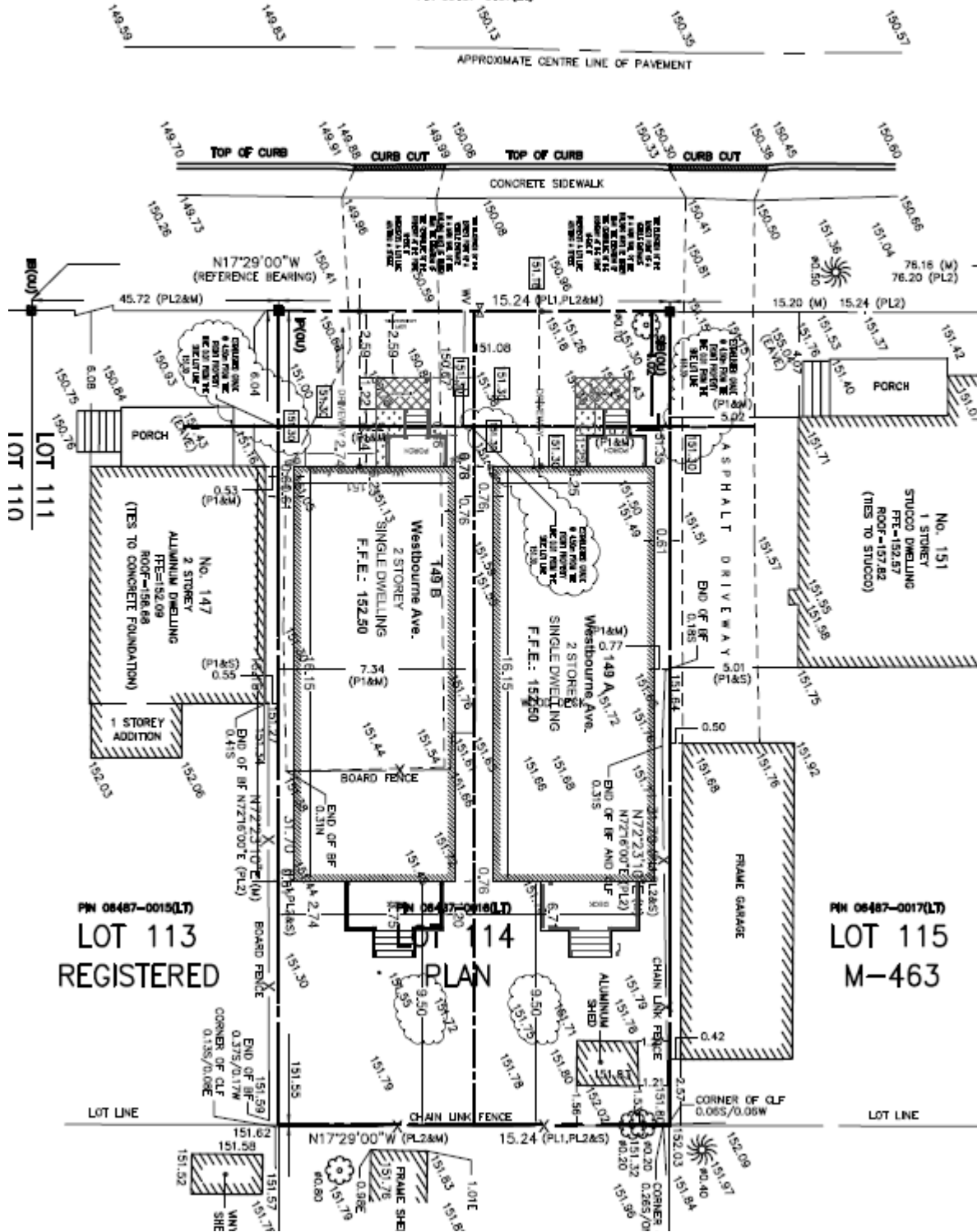


WESTBOURNE AVENUE
(BY REGISTERED PLAN 1914)
PIN 06487-0437(LT)



WESTBOURNE AVENUE (BY REGISTERED PLAN 1914)

PN 08487-0437(LT)



4. 69 BOBMAR RD

File Number:	B0017/17SC, A0122/17SC, A0123/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	ABBAS POUYA	Ward:	Scarborough East (44)
Agent:	DEEPAK BHATT	Heritage:	Not Applicable
Property Address:	69 BOBMAR RD	Community:	Highland Creek Community
Legal Description:	PLAN M562 PT BLK F RP R1223 PART 7		

THE CONSENT REQUESTED:

This application is for consent to sever the land into two lots. Part 1 and Part 2 would have a frontage of 11.43 metres and a lot area of 627 square metres. The proposed lots are shown on the attached Site Plan. The owner is proposing to demolish the existing house and build two new detached houses. In order to facilitate the proposed development, relief from the provision of the Zoning By-law was requested, as outlined in A0122/17SC and A0123/17SC.

Part 1 - A0122/17SC

By-law No. 569-2013

1. To permit the proposed 11.43 metres lot frontage, whereas the Zoning By-law requires a minimum 15 metres lot frontage.
2. To permit the proposed 627 square metres lot area, whereas the Zoning By-law requires a minimum 696 square metres lot area.
3. To permit the proposed 10.3 metres front yard setback, whereas the Zoning By-law requires a minimum 12.28 metres front yard setback.

By-law No. 10827

4. To permit the proposed 11.43 metres lot frontage and 627 square metres lot area, whereas the Zoning By-law requires a minimum 15 metres lot frontage and 696 square metres floor area.

Part 2 - A0123/17SC

By-law No. 569-2013

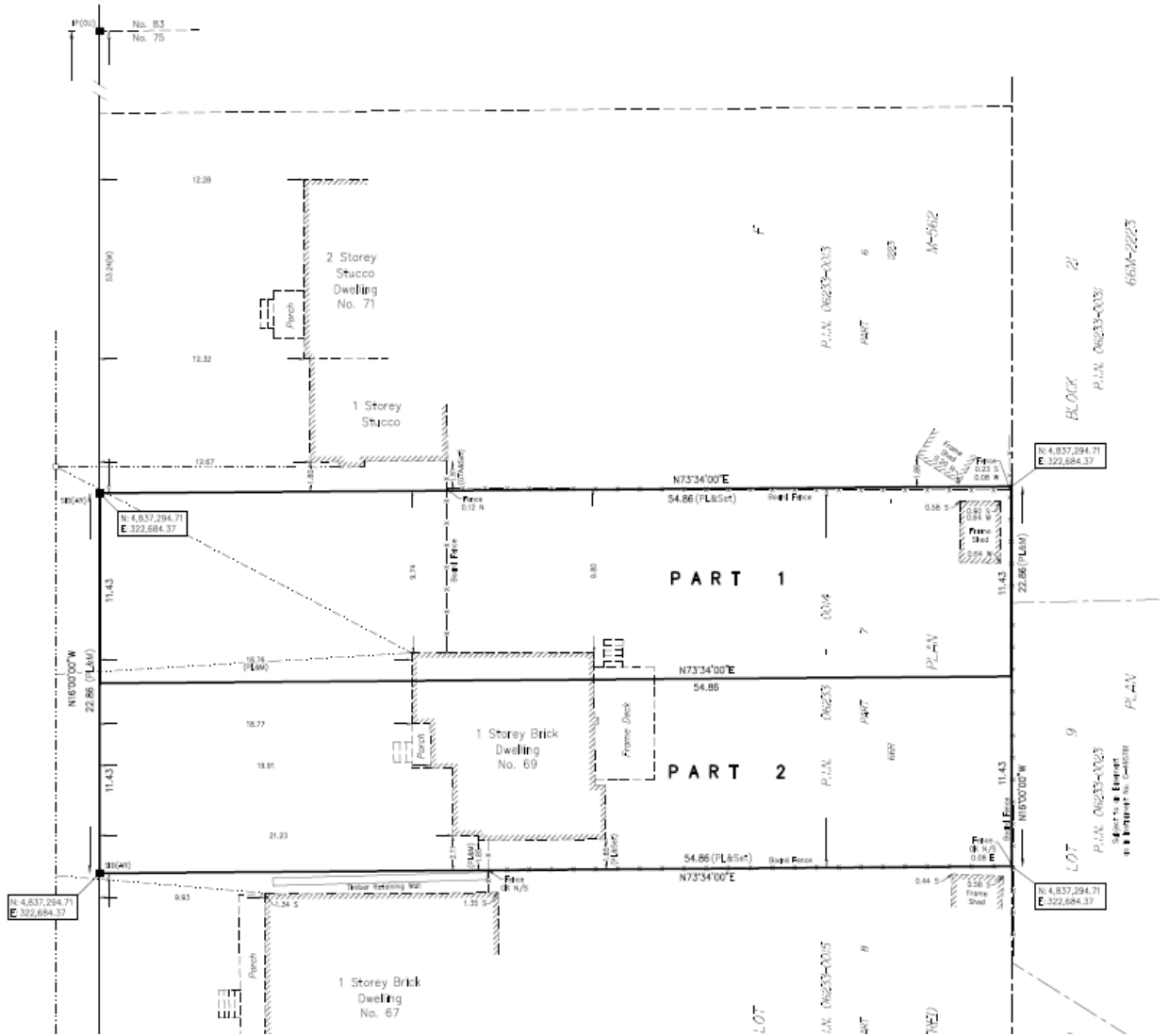
1. To permit the proposed 11.43 metres lot frontage, whereas the Zoning By-law requires a minimum 15 metres lot frontage.
2. To permit the proposed 627 square metres lot area, whereas the Zoning By-law requires a minimum 696 square metres lot area.

By-law No. 10827

3. To permit the proposed 11.43 metres lot frontage and 627 square metres lot area, whereas the Zoning By-law requires a minimum 15 metres lot frontage and 696 square metres floor area.



BOBMAR ROAD
 (BY REINSTATED PLAN M-5662)
 P.L.N. 06233-0065



Lot Division Plan
 Applicant's Submitted Drawing

69 Bobmar Road
 File # B0017/17SC, A0122/17SC, A0123/17SC

Not to Scale

04/26/2017 - PB

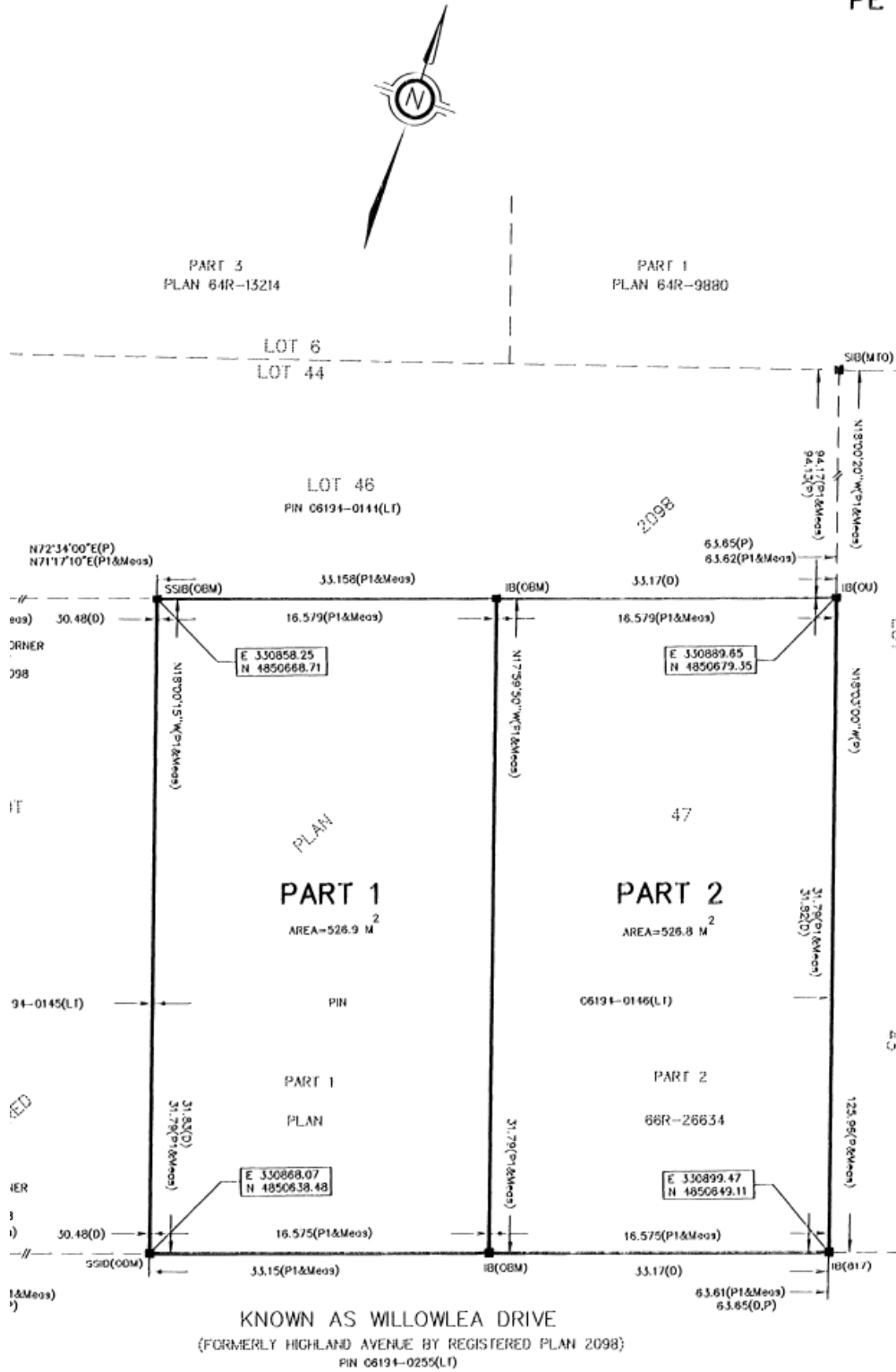
Attachment 2

5. 8 WILLOWLEA DR

File Number:	B0011/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [WAIVER]
Owner(s):	SAMUEL RAJAMOHAN	Ward:	Scarborough East (44)
Agent:	PAKERATHAN MUTHUKUMARSWAMY	Heritage:	Not Applicable
Property Address:	8 WILLOWLEA DR	Community:	Highland Creek Community
Legal Description:	PLAN 2098 PT LOT 47		

THE CONSENT REQUESTED:

This application was approved by the Committee of Adjustment in July 2012, the certificate was issued, however it was never registered and it lapsed. The application remains the same. To sever the property into two residential lots as indicated on the attached lot division plan. The Retained Lot (Lot A) and the Conveyed Lot (Part B) will each have a frontage of 16.57 metres and a depth of 31.79 metres. Each lot is to be developed with a two storey single family residential dwelling. The existing house is to be demolished.



Proposed Lot Division

Applicant's Submitted Drawing
Not to Scale

04/04/2017 - PB

8 Willowlea Drive

File # B0011/17SC

Attachment 2

6. 69 HOMESTEAD RD

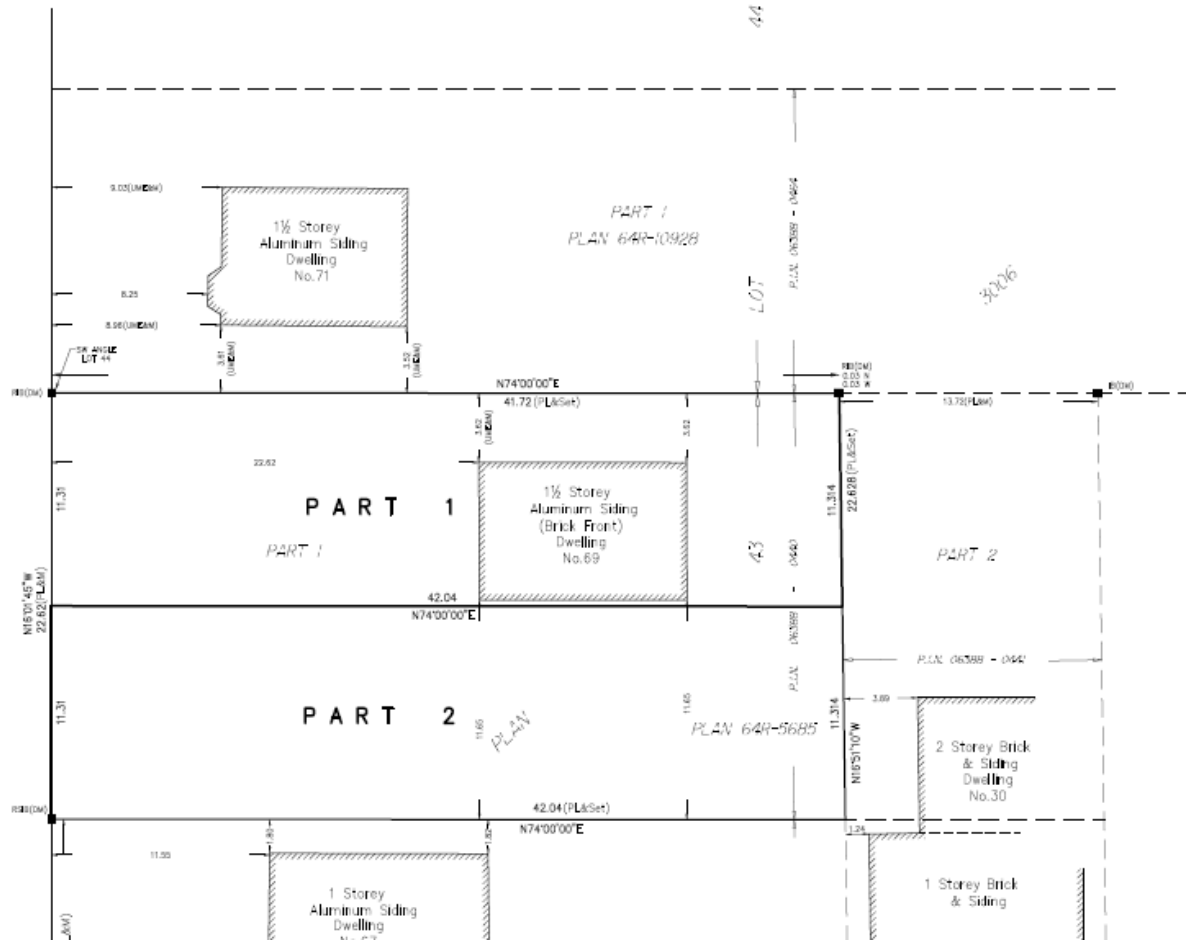
File Number:	B0014/17SC	Zoning	RD - Residential Detached/ S- Single Family Residential [WAIVER]
Owner(s):	ROWSHONARA RAHMAN HABIBUR RAHMAN	Ward:	Scarborough East (44)
Agent:	ALEX BOROS DESIGN INC.	Heritage:	Not Applicable
Property Address:	69 HOMESTEAD RD	Community:	West Hill Community
Legal Description:	PLAN 3006 PT LOT 43 RP 64R5685 PART 1		

THE CONSENT REQUESTED:

This application was approved by the Committee of Adjustment in January 2016, the applicant did not satisfy the conditions and the consent lapsed. The application remains the same. This application is for consent to sever the land into two lots. The lot to be created Part 2 would have a frontage of 11.31 metres and a lot area of 474.6 square metres. The lot to be created Part 1 would have a frontage of 11.31 metres and a lot area of 472.76 square metres. The proposed lots are shown on the attached Lot Division Plan. The owner is proposing to demolish the existing house and build two new detached houses.



HOMESTEAD ROAD
 (By Registered Plan 3006)
 P.L.N. 06388 - 0455



Lot Division Plan
 Applicant's Submitted Drawing
Not to Scale

69 Homestead Road
 File # B0014/17SC

04/26/2016 - PB

Attachment 2

7. 126 SELECT AVE UNIT 3

File Number:	A377/15SC	Zoning	Employment Industrial (E) & General Industrial (MG), Vehicle Service (VS) Zone [ZR]
Owners:	PETER BUCAN JEKA BUCAN 1913589 ONTARIO INC	Ward:	Scarborough-Rouge River (41)
Agent:	DESIGN CRITERIA	Heritage:	Not Applicable
Property Address:	126 SELECT AVE UNIT 3	Employment District:	Tapscott Employment District
Legal Description:	PLAN M1996 LOT 10		

PURPOSE OF THE APPLICATION:

This application is for variances to maintain a vehicle repair and service garage, including vehicle body repair and painting, in the building at 126 Select Avenue, Unit 3.

This application was deferred by the Committee of Adjustment at their hearing on December 8, 2016.

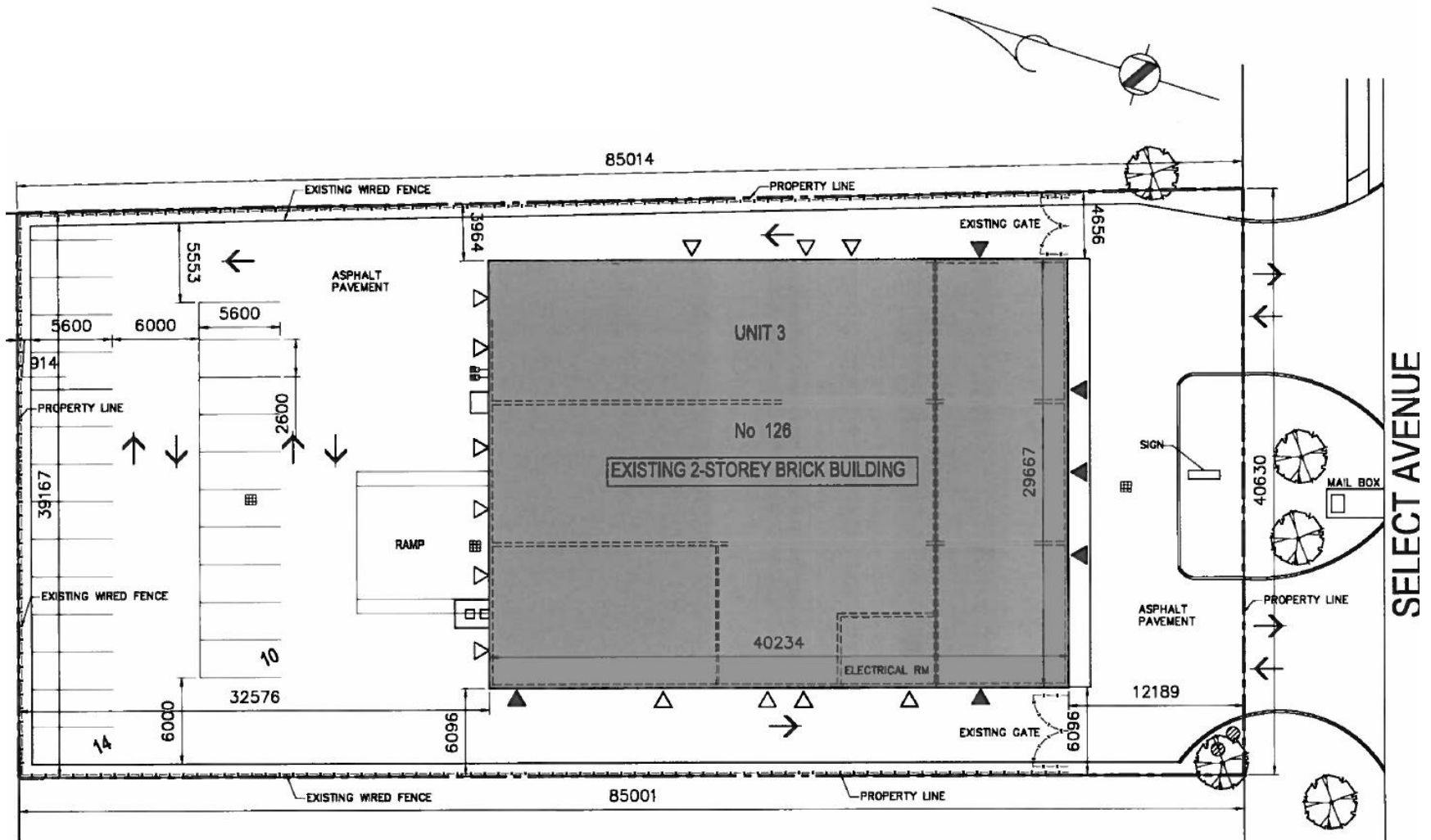
REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. To permit 15 parking spaces to be provided for all uses in the building
Whereas a minimum of 47 parking spaces are required

By-law No. 24982:

2. To permit Unit 3 to continue to be used for a Vehicle Repair Garage
Whereas a Vehicle Repair Garage is not a permitted use.
3. To permit 15 parking spaces to be provided for all uses in the building
Whereas a minimum of 65 parking spaces are required



8. 56 MOUNTLAND DR

File Number:	A0041/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	HUSNA BANU SAYED SHABBIR MOHAMMED SAYED	Ward:	Scarborough Centre (38)
Agent:	SHABBIR MOHAMMED SAYED	Heritage:	Not Applicable
Property Address:	56 MOUNTLAND DR	Community:	Woburn Community
Legal Description:	PLAN M738 LOT 95		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a carport and a deck attached to the existing one storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

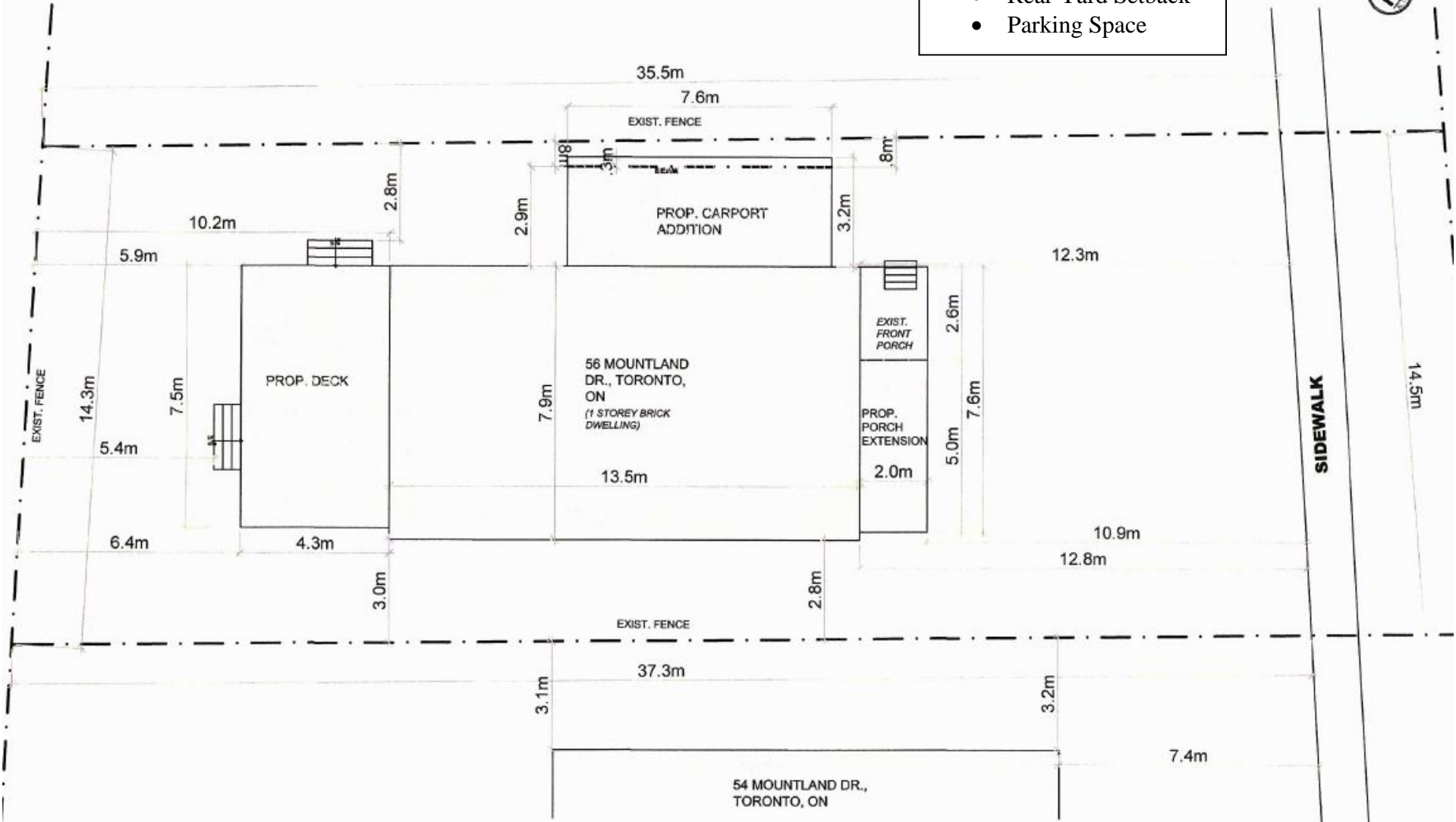
1. To permit the proposed 5.9 metres rear yard setback (to the rear deck), whereas the Zoning By-law requires a minimum 9.1 metres rear yard setback.
2. To permit the proposed 2.9 metres by 7.6 metres parking space, whereas the Zoning By-law requires a minimum 3.2 metres by 5.6 metres parking space.

By-law No. 9510

3. To permit the proposed 2.9 metres by 7.6 metres parking space, whereas the Zoning By-law requires a minimum 3.3 metres by 5.6 metres parking space.

VARIANCE:

- Rear Yard Setback
- Parking Space



9. 98 SOUTH WOODROW BLVD

File Number:	A0059/17SC	Zoning	RS - Residential Semi-Detached/T - Two Family Residential [ZZC]
Owner(s):	MUHAMMAD SALMAN	Ward:	Scarborough Southwest (36)
Agent:	NIA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	98 SOUTH WOODROW BLVD	Community:	Cliffside Community
Legal Description:	PLAN 1964 PT LOT 252 LOT 253		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a two-storey single family dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 257 square metres floor area or 0.64 times the lot area, whereas the Zoning By-law permits maximum 204 square metres floor area or 0.6 times the lot area.
2. To permit the proposed 37% lot coverage, whereas the Zoning By-law permits a maximum 33% lot coverage.
3. To permit the proposed 0.173 metres eaves projection and would be located 0.287 metres from the north property line, whereas as the Zoning By-law permits maximum 0.9 metres eaves projection provided they are no closer than 0.3 metres to the lot line.
4. To permit the proposed 48% front yard landscaping, whereas the Zoning By-law requires a minimum 50% front yard landscaping.

By-law No. 9364

5. To permit the proposed 37% lot coverage, whereas the Zoning By-law permits a maximum 33% lot coverage.
6. To permit the proposed 240 square metres floor area or 0.61 times the lot area, whereas the Zoning By-law permits maximum 204 square metres floor area or 0.6 times the lot area.

10. 3313 DANFORTH AVE

File Number:	A0092/17SC	Zoning	Commercial Residential (CR) Zone [ZR]
Owner(s):	LONG HOLDINGS INC	Ward:	Scarborough Southwest (35)
Agent:	RAI ARCHITECT INC	Heritage:	Not Applicable
Property Address:	3313 DANFORTH AVE	Community:	Oakridge Community
Legal Description:	PLAN 412 PT LOT 4 RP 66R17047 PART 1		

PURPOSE OF THE APPLICATION:

To construct a two-storey addition to the rear of the existing commercial building, including alterations to the storefront and exterior facade.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & No. 9812:

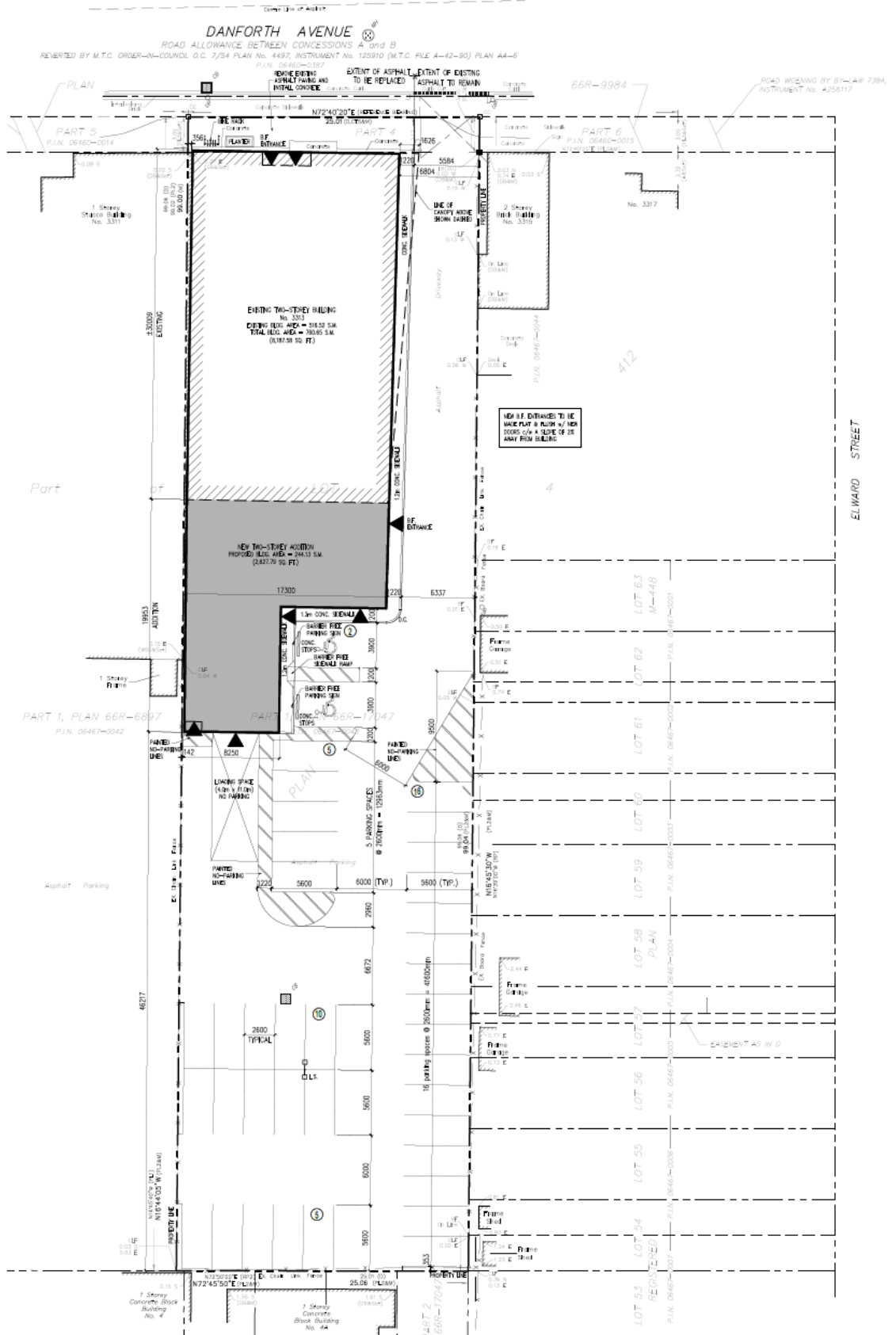
1. The existing/altered building is setback 3.34 m from the front lot line facing Danforth Ave; Whereas the maximum permitted front yard/street yard setback is 3 m.
2. The existing/altered building has a first level floor-to-ceiling height of 3.04 m; Whereas the minimum required floor-to-ceiling height is 4.5 m.

By-law No. 569-2013:

3. The existing/altered building is located 0.04 m from the west side lot line and 6.8 m from the east side lot line; Whereas the minimum required setback from a lot line that abuts a residential zone is 7.5 m.
4. The proposed roof canopy will encroach into the required side yard setback by 1.63 m; Whereas the maximum permitted encroachment into a required side yard setback is 1.5 m.

By-law No. 9812:

5. The existing/altered building is located 0.04 m from the west side lot line; Whereas the minimum required setback from a lot line that abuts a Two Family (T) residential zone is 0.3 m.



11. 10 MARCHINGTON CRCL

File Number:	A0095/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	FERNANDO MARQUES ORFAO TERESA MEDEIROS	Ward:	Scarborough Centre (37)
Agent:	FERNANDO MARQUES ORFAO	Heritage:	Not Applicable
Property Address:	10 MARCHINGTON CRCL	Community:	Maryvale Community
Legal Description:	PLAN M642 LOT 85		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey rear addition and a second storey addition over the existing single family dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 0.13 metres garage setback from the side lot line, whereas the Zoning By-law requires a minimum 0.3 metres garage setback from the side lot line.
2. To permit the proposed 8 square metres platform, whereas the Zoning By-law permits maximum 4 square metres platform at or above the second floor.
3. To permit the proposed second storey 7.8 front yard setback and the proposed garage 7.76 metres front yard setback, whereas the Zoning By-law requires a minimum 7.89 metres front yard setback.
4. To permit the proposed the proposed first floor have 0 square metres within 4 metres of the front wall, whereas the Zoning By-law requires a minimum of 10 square metres of the first floor to be within 4 metres of the front main wall.
5. To permit the proposed stairs to be 6.7 horizontal units for each 1 vertical unit above grade at the point where the stairs meet the building, whereas the Zoning By-law permit maximum 1.5 horizontal units for each 1 vertical unit above grade at the point where the stairs meet the building.
6. To permit the proposed eaves to project 0.1 metres and will be 0.03 metres from the side lot line, whereas the Zoning By-law permits roof eaves to project a maximum of 0.9 metres provided that they are no closer than 0.3 metres to a lot line.

By-law No. 9366

7. To permit the proposed garage to be 0.13 metres from the side lot line and to be 1.4 metres from the neighbours house, whereas the Zoning By-law requires a minimum 0.3 metres setback for a garage from the side lot line and a minimum 1.5 metres from any dwelling erected on adjoining properties.

8. To permit the proposed 9.14 metres by 3.49 metres accessory structure (garage) dimensions, whereas the Zoning By-law permit maximum 7.6 metres by 7.6 metres accessory structure dimensions.

12. 58 KENTISH CRES

File Number:	A0096/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	SIVATHARSHINI SIVAKADERDCHAN JEYAPARAN VELUPPILLAL	Ward:	Scarborough-Rouge River (42)
Agent:	CANTAM GROUP	Heritage:	Not Applicable
Property Address:	58 KENTISH CRES	Community:	Malvern West Community
Legal Description:	PLAN 7725 LOT 139		

PURPOSE OF THE APPLICATION:

To construct a new two storey detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed dwelling will cover 38% of the lot area (214.15 m²);
Whereas the maximum permitted lot coverage is 33% of the lot area (183.9 m²).
2. The proposed dwelling will have a floor space index equal to 0.67 times the lot area (373.59 m²);
Whereas the maximum permitted floor space index is 0.5 times the lot area (278.64 m²).
3. The proposed dwelling will be located 6 m from the front lot line;
Whereas the minimum required front yard setback is 7.73 m.

By-law No. 12181:

4. The proposed dwelling will have a total floor area equal to 0.66 times the lot area (369.91 m²);
Whereas the maximum permitted floor space index is 0.5 times the lot area (278.64 m²).

13. 64 FERNCROFT DR

File Number:	A0099/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	STEPHANIE MCDONALD	Ward:	Scarborough Southwest (36)
Agent:	STUDIO 64 DESIGNS INC	Heritage:	Not Applicable
Property Address:	64 FERNCROFT DR	Community:	Birchcliff Community
Legal Description:	PLAN 4302 LOT 43		

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling.

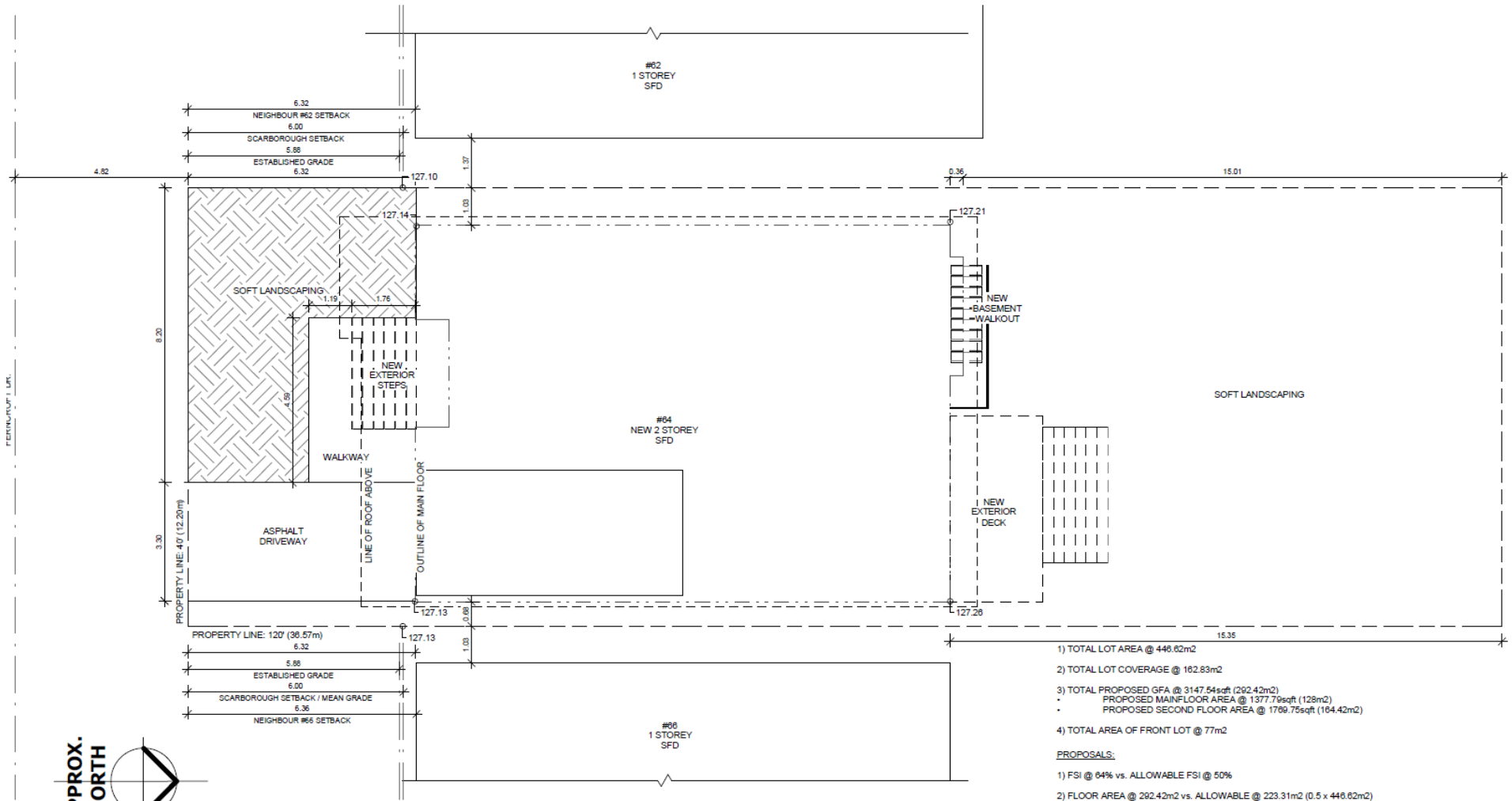
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed dwelling will cover 38% of the lot area (168.27 m²);
Whereas the maximum permitted coverage is 33% of the lot area (147.23 m²).
2. The proposed dwelling will have a floor space index equal to 0.69 times the lot area (306.73 m²);
Whereas the maximum permitted floor space index is 0.5 times the lot area (223.08 m²).
3. The proposed dwelling will have a height of 8.4 m;
Whereas the maximum permitted height of a dwelling with a flat roof is 7.2 m.

By-law No. 8786:

4. The proposed dwelling will cover 38% of the lot area (168.27 m²);
Whereas the maximum permitted coverage is 33% of the lot area (147.23 m²).
5. The proposed dwelling will have a total floor area equal to 0.66 times the lot area (294.75 m²);
Whereas the maximum permitted floor area is 0.5 times the lot area (223.08 m²).
6. The proposed garage will have a height of 4.25 m, as measured to the underside of the roof structure;
Whereas the maximum permitted height of a garage is 3.7 m.



- 1) TOTAL LOT AREA @ 446.62m²
 - 2) TOTAL LOT COVERAGE @ 162.83m²
 - 3) TOTAL PROPOSED GFA @ 3147.54sqft (292.42m²)
 - PROPOSED MAIN FLOOR AREA @ 1377.79sqft (128m²)
 - PROPOSED SECOND FLOOR AREA @ 1769.75sqft (164.42m²)
 - 4) TOTAL AREA OF FRONT LOT @ 77m²
- PROPOSALS:**
- 1) FSI @ 64% vs. ALLOWABLE FSI @ 50%
 - 2) FLOOR AREA @ 292.42m² vs. ALLOWABLE @ 223.31m² (0.5 x 446.62m²)
 - 3) SOFT LANDSCAPING @ 413.34sqft (38.40m²)/724.36sqft (67.30m²)
THEREFORE, PROPOSED @ 57% vs. ALLOWABLE @ 50%

14. 4 SHIRLEY CRES

File Number:	A0100/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [WAIVER]
Owner(s):	KAMALA NARAYANAN SANKARA NARAYANAN KRISHNAN	Ward:	Scarborough Southwest (36)
Agent:	MEMAR ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	4 SHIRLEY CRES	Community:	Scarborough Village Community
Legal Description:	PLAN 4235 LOT 138		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey single family dwelling. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

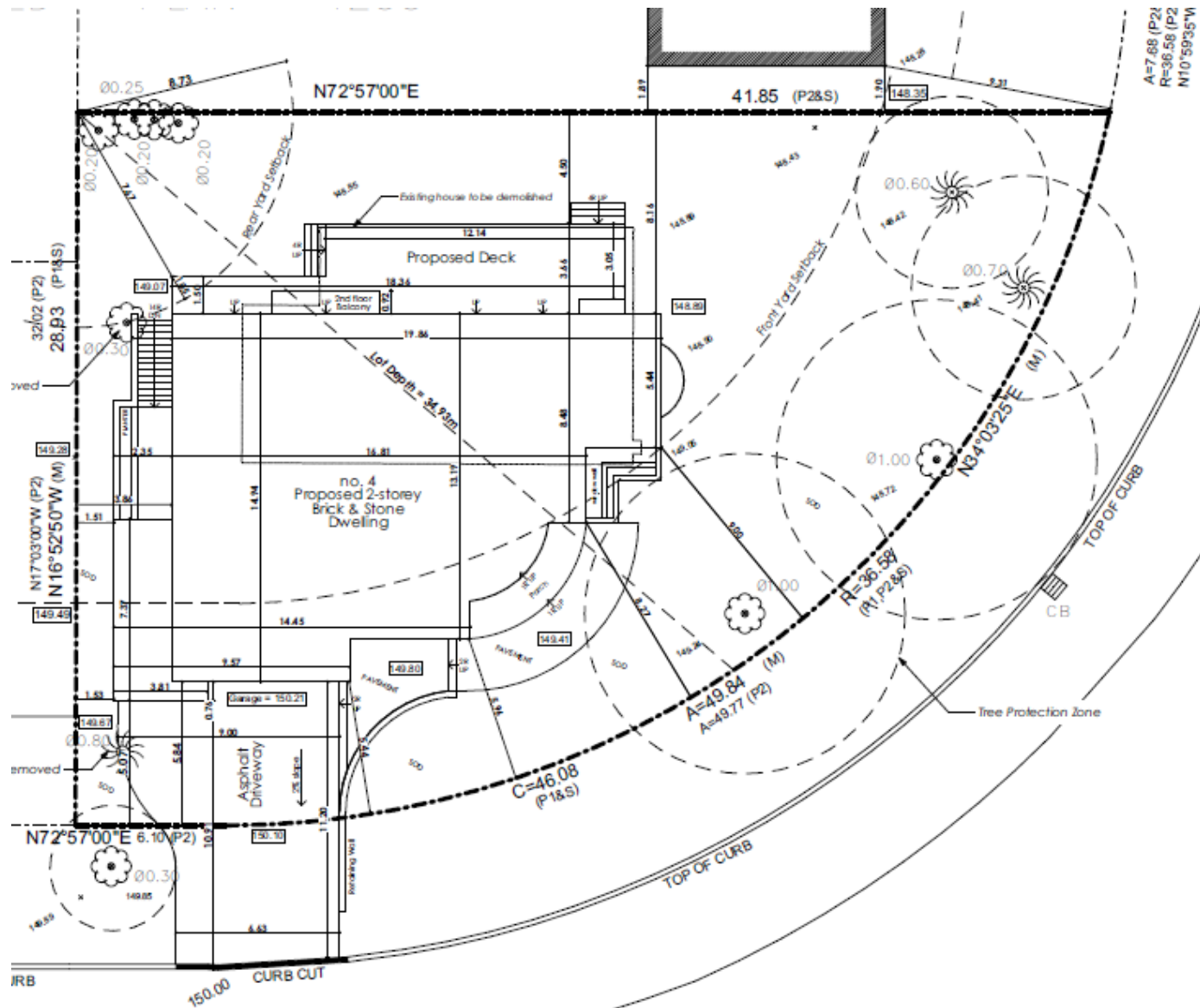
By-law No. 569-2013

1. To permit the proposed 5.07 metres front yard setback, whereas the Zoning By-law requires a minimum 9 metres front yard setback.
2. To permit the proposed 444.4 square metres floor area or 0.47 times the lot area, whereas the Zoning By-law permits maximum 0.4 times the lot area.
3. To permit the proposed 9.98 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
4. To permit the proposed 8 square metres platform, whereas the Zoning By-law permits maximum 4 square metres platform at or above the second floor.

By-law No. 10010

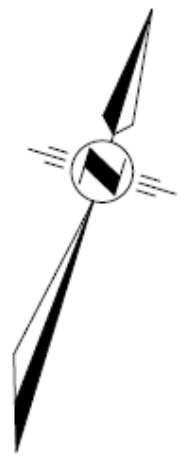
5. To permit the proposed 3 car garage, whereas the Zoning By-law permits maximum 2 car garage.
6. To permit the proposed 5.07 metres front yard setback, whereas the Zoning By-law requires a minimum 9 metres front yard setback.
7. To permit the proposed 9.98 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
8. To permit the proposed 419.91 square metres floor area or 0.442 times the lot area, whereas the Zoning By-law permits maximum 0.4 times the lot area.

9. To permit the proposed 18.4 metres long rear deck, whereas the Zoning By-law permits maximum 7.6 metres long rear deck.



- VARIANCE:**
- Front Yard Setback
 - Floor Area
 - Building Height
 - Platform Area
 - 3 Car Garage
 - Rear Deck

SHIRLEY CRESO
(BY REGISTERED PLAN



15. 70 FALAISE RD

File Number:	A0106/17SC	Zoning	RD - Residential Detached/ S- Single Family Residential [ZZC]
Owner(s):	JAYANTI VERMA RAKESH KUMAR VERMA	Ward:	Scarborough East (43)
Agent:	NIA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	70 FALAISE RD	Community:	West Hill Community
Legal Description:	PLAN 2179 PT LOT 34		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new detached two-storey single family dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

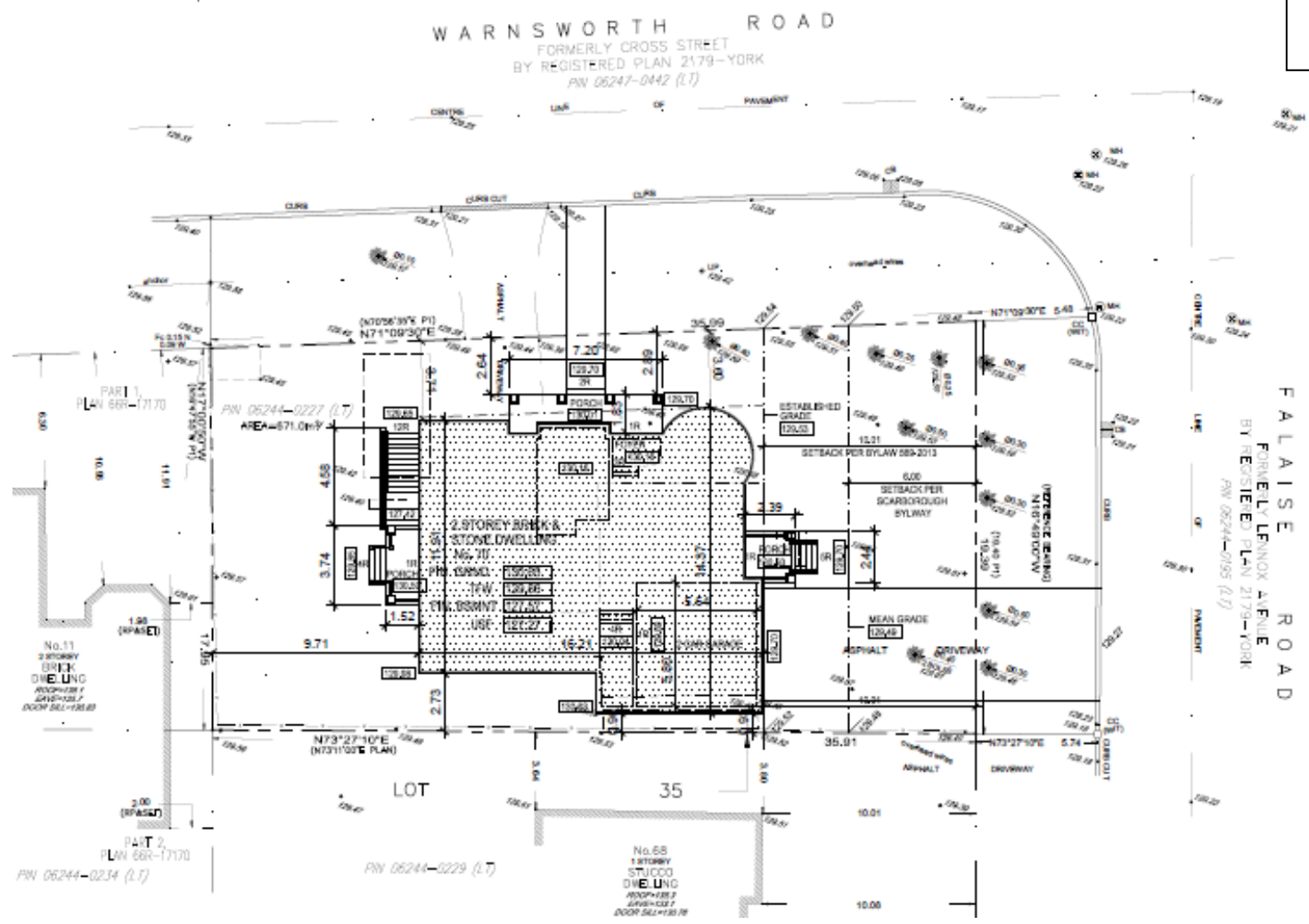
1. To permit the proposed 352.5 square metres floor area or 0.53 times the lot area, whereas the Zoning By-law permits maximum 279 square metres floor area or 0.5 times the lot area.
2. To permit the proposed 7.4 square metres of the first floor to be within 5.9 metres from the front main wall, whereas the Zoning By-law requires a minimum of 10 square metres of the first floor to be within 4 metres of the front main wall.
3. To permit the proposed access to a parking space to be from front street (Falaise Rd), whereas the Zoning By-law requires access to a parking space on a corner lot to be from the flankage street (Warnsworth Rd).

By-law No. 10327

4. To permit the proposed 351 square metres floor area or 0.523 times the lot area, whereas the Zoning By-law permits maximum 279 square metres floor area or 0.5 times the lot area.



- VARIANCE:**
- Floor Area
 - First Floor within the Main Wall
 - Access to Parking Space



16. 89 HILL CRES

File Number:	A0107/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	JAMES PITTMAN DEBORAH DIONISI	Ward:	Scarborough East (43)
Agent:	STRICKLAND MATELJAN DESIGN ASSOCIATES	Heritage:	Not Applicable
Property Address:	89 HILL CRES	Community:	Scarborough Village Community
Legal Description:	PLAN 2235 PT LOT 66		

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling.

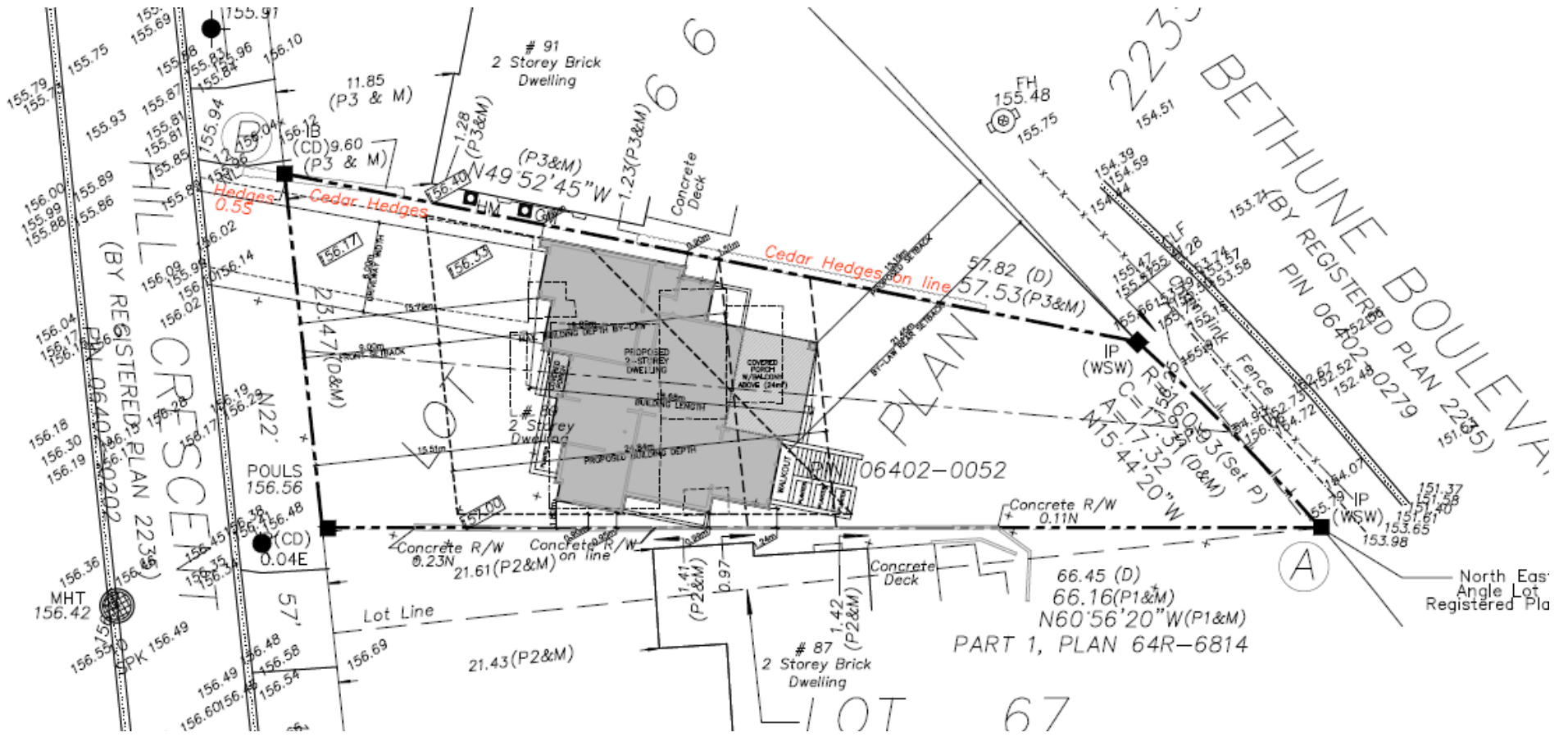
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed dwelling will be located 15.19 m from the rear lot line;
Whereas the minimum required rear yard setback is 15.35 m.
2. The proposed dwelling will have a total length of 18.68 m;
Whereas the maximum permitted dwelling length is 17 m.
3. The proposed dwelling will have a depth of 24.84 m, as measured from the required front yard setback to the rear main wall;
Whereas the maximum permitted depth is 19 m.
4. The proposed second storey rear balcony will have an area of 24 m²;
Whereas the maximum permitted area of a platform at or above the second storey is 4 m².

By-law No. 10010:

5. The proposed dwelling will be located 15.19 m from the rear lot line;
Whereas the minimum required rear yard setback is 21.45 m.



17. 6 PARKLAND RD

File Number:	A0108/17SC	Zoning	RD - Residential Detached/ S- Single Family Residential [ZZC]
Owner(s):	MICHAEL SCALI	Ward:	Scarborough Southwest (36)
Agent:	MICHAEL SCALI	Heritage:	Not Applicable
Property Address:	6 PARKLAND RD	Community:	Birchcliff Community
Legal Description:	PLAN 3288 PT LOT 83,84		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey rear addition, and a second storey addition to the existing single family dwelling.

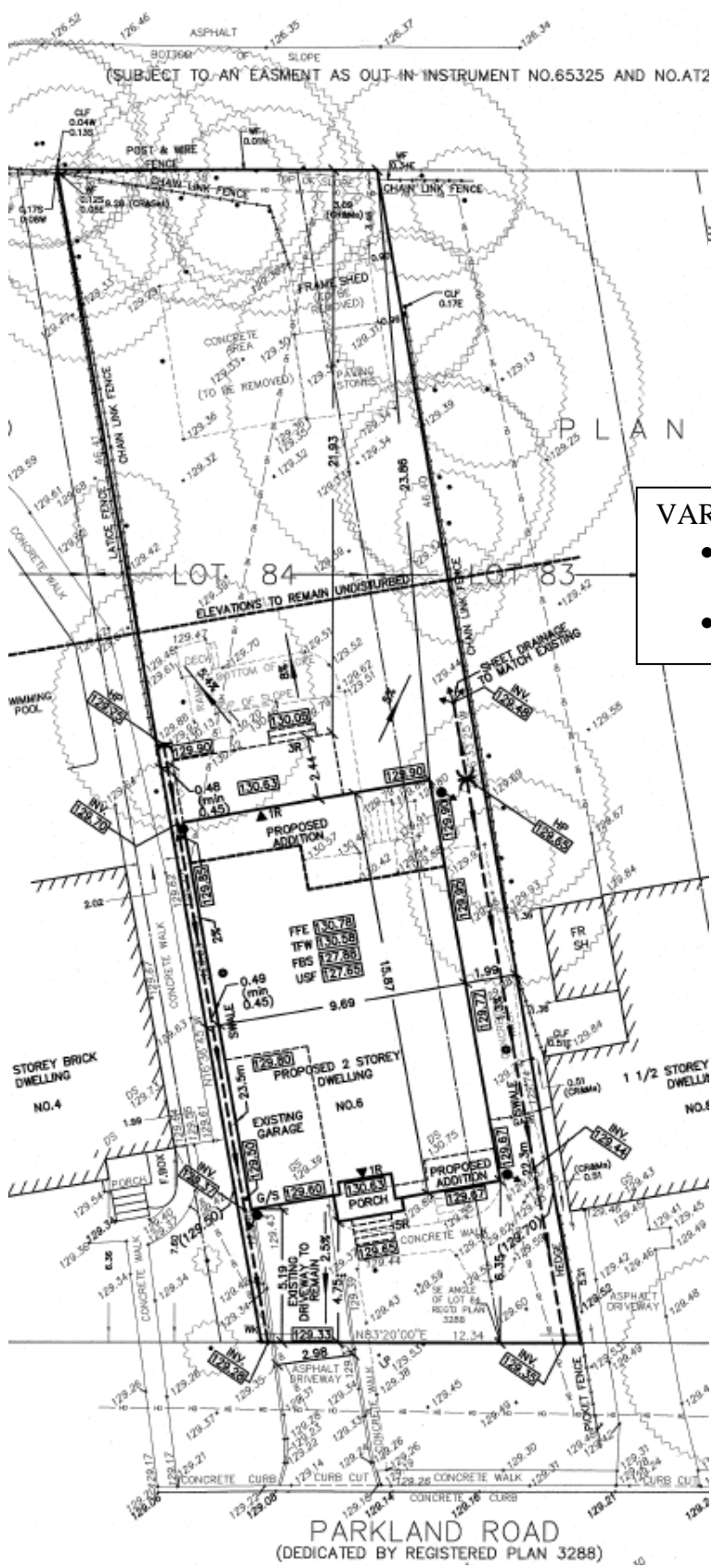
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed eaves of the roof to encroach 0.5 metres into the required minimum building setback, whereas the Zoning By-law permits the eaves of a roof to encroach a maximum of 0.18 metres into the required minimum building setback.

By-law No. 8786

2. To permit the proposed 5.19 metres building setback from the street line, whereas the Zoning By-law requires a minimum 6 metres building setback from the street line.



- VARIANCE:**
- Eaves
 - Encroachment
 - Building Setback

18. 46 UNDERCLIFF DR

File Number:	A0109/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	BORCE PETKOVSKI CARINA ANNIS	Ward:	Scarborough Southwest (36)
Agent:	DPK DESIGN	Heritage:	Not Applicable
Property Address:	46 UNDERCLIFF DR	Community:	Cliffside Community
Legal Description:	PLAN 1566 LOT 411		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new detached two-storey single family dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

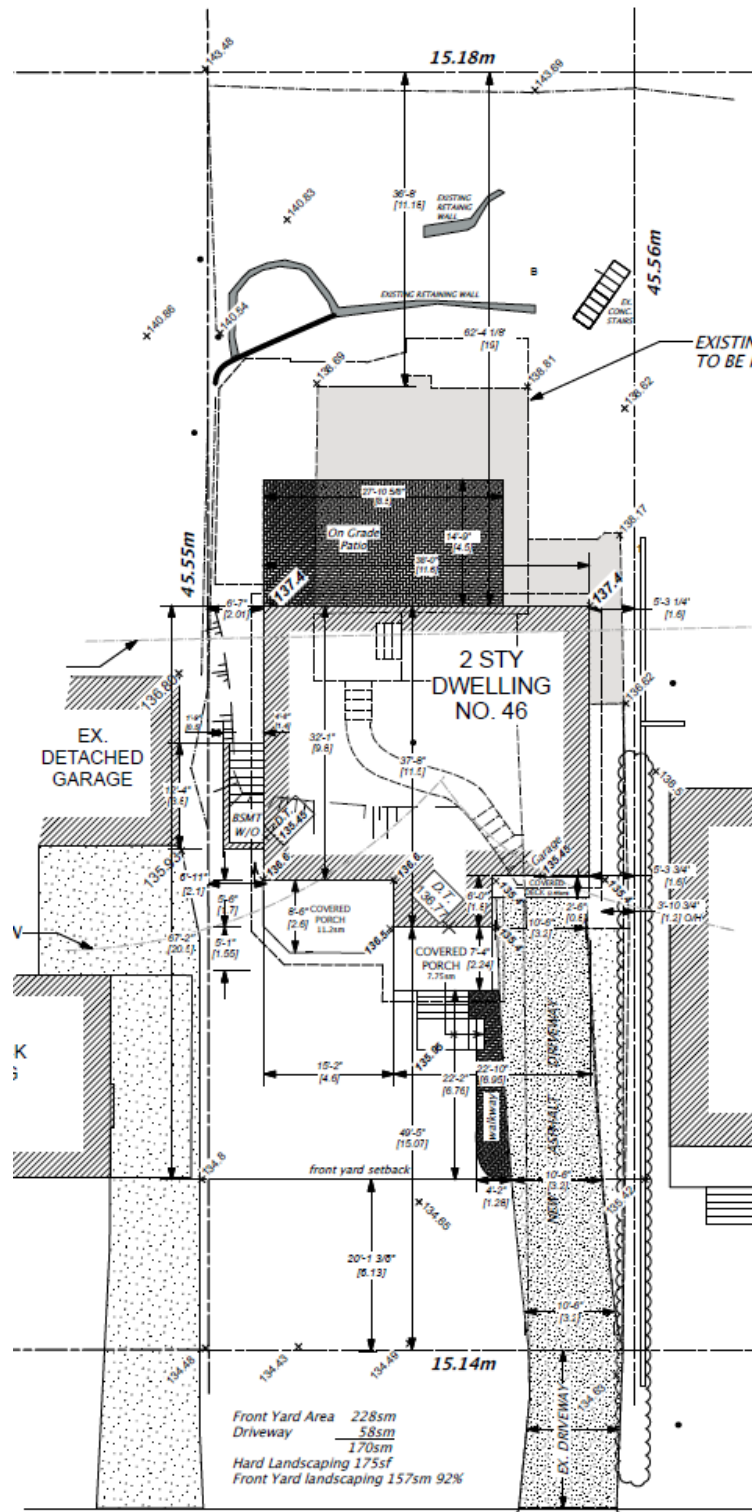
By-law No. 569-2013

1. To permit the proposed 330 square metres floor area (note: this includes the basement), whereas the Zoning By-law permits maximum 279 square metres floor area.
2. To permit the proposed 11.3 metres building height, whereas the Zoning By-law permits maximum 9 metres
3. To permit the proposed 9.4 metres side main walls height, whereas the Zoning By-law permits maximum 7 metres side main wall height.
4. To permit the proposed 3 storey dwelling (basement is closer to the established grade than the ground floor and is considered the first floor), whereas the Zoning By-law permits maximum 2 storey dwelling.
5. To permit the proposed building depth of 20.5 metres measured from the front yard setback requirement on a lot to the rear wall, whereas the Zoning By-law permits maximum building depth of 19 metres.
6. To permit the 3 platforms on the front elevation, whereas the Zoning By-law permits a maximum 1 platform per elevation.
7. To permit the proposed 12.5 square metres and 6.5 square metres platforms, whereas the Zoning By-law permits maximum 4 square metres for each platform.

By-law No. 9364

8. To permit the proposed 11.3 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
9. To permit the proposed 3 storey dwelling (basement is closer to the established grade than the ground floor and is considered the first floor), whereas the Zoning By-law permits maximum 2 storey dwelling.

10. To permit the proposed 322 square metres floor area (note: this includes the basement), whereas the Zoning By-law permits maximum 279 square metres floor area.



- VARIANCE:**
- Floor Area
 - Building Height
 - Side Main Walls
 - 3 Storey
 - Building Depth
 - Platforms
 - Platform Size

Site Plan

Applicant's Submitted Drawing
 Not to Scale

05/16/2015 – PB

46 Undercliff Drive

File # A0109/17SC

Attachment 2

19. 11 HILL CRES

File Number:	A0110/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	GOLDEN SKY CANADA LTD	Ward:	Scarborough East (43)
Agent:	AXIIS ARCHITECTS	Heritage:	Not Applicable
Property Address:	11 HILL CRES	Community:	Scarborough Village Community
Legal Description:	PLAN 2763 PT BLK C		

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling.

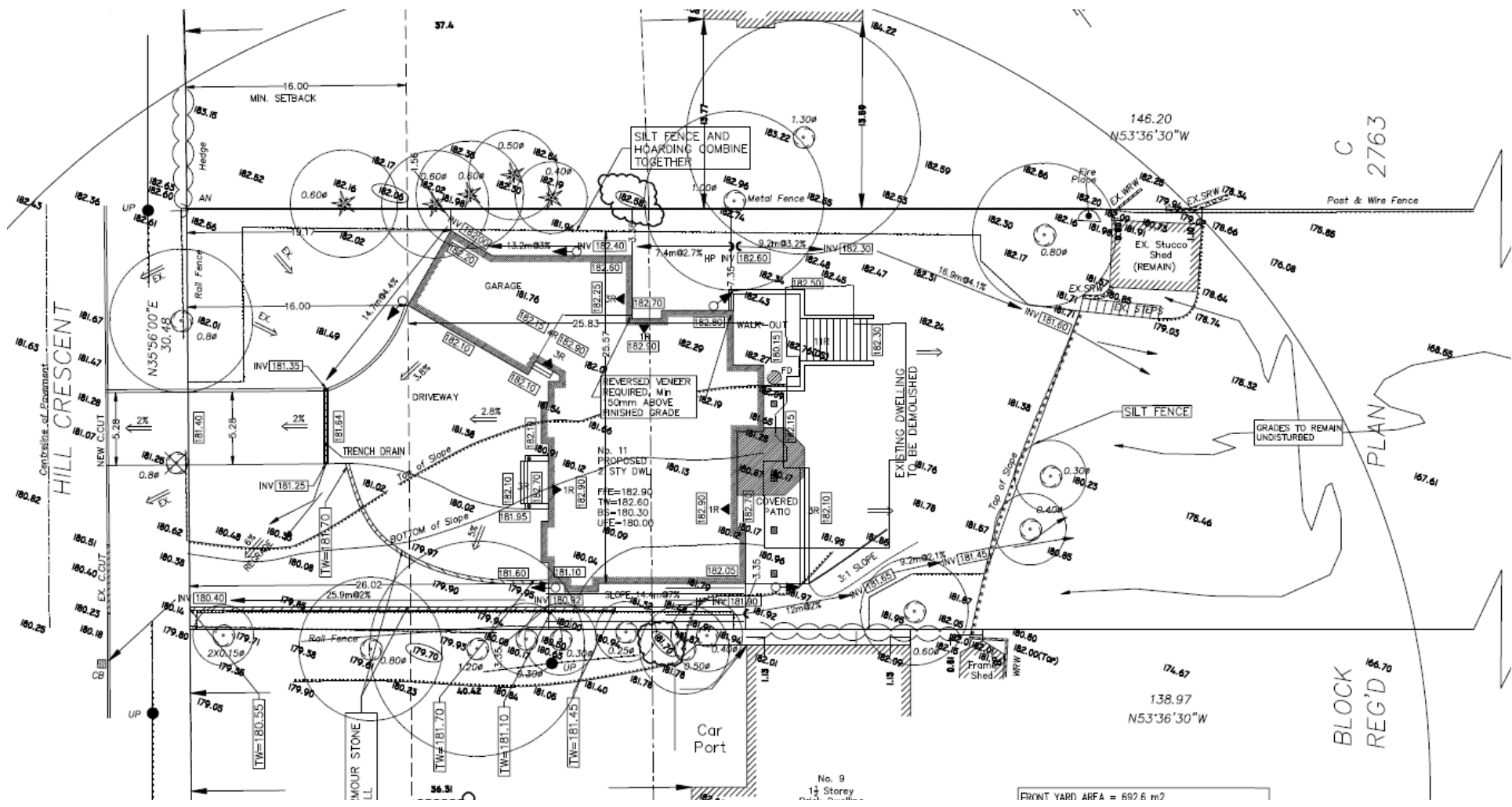
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed dwelling will be located 16.01 m from the front lot line;
Whereas the minimum required front yard setback is 33.22 m.
2. The proposed dwelling will have a height of 11.83 m, as measured from established grade;
Whereas the maximum permitted dwelling height is 9 m.
3. The proposed dwelling will have a rear main wall height of more than 7 m for 100% of the total width;
Whereas the maximum permitted height of a rear main wall above 7 m is 40% of the total width.
4. The proposed second storey rear balcony will have an area of 35.79 m²;
Whereas the maximum permitted area of a platform at or above the second storey is 4 m².
5. The proposed integral garage will have an area of 84.94 m²;
Whereas the maximum permitted area of an accessory structure (garage) is 60 m².

By-law No. 10010:

6. The proposed dwelling will contain two (2) kitchens and a garage for three (3) vehicles;
Whereas the By-law permits a maximum of one (1) kitchen and a two-car garage.
7. The proposed dwelling will have a height of 13.09 m, as measured from mean grade;
Whereas the maximum permitted dwelling height is 9 m.
8. The proposed integral garage will have dimensions of 10.06 m by 16.29 m and an area of 84.94 m²;
Whereas the maximum permitted dimensions of an accessory structure (garage) is 7.6 m by 7.6 m
and the maximum permitted area is 60 m².
9. The proposed driveway will be 17.09 m at its widest point;
Whereas the maximum permitted width of a driveway is 9 m.



20. 59 THATCHER AVE

File Number:	A0111/17SC	Zoning	Residential Detached (RD) & Single Family (S) [Waiver]
Owner(s):	JESMIN NAHAR SYED MOZAFFAR HOSSAIN	Ward:	Scarborough Southwest (36)
Agent:	ALEX BOROS DESIGN INC.	Heritage:	Not Applicable
Property Address:	59 THATCHER AVE	Community:	Cliffcrest Community
Legal Description:	PLAN M350 LOT 29		

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling.

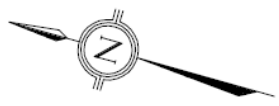
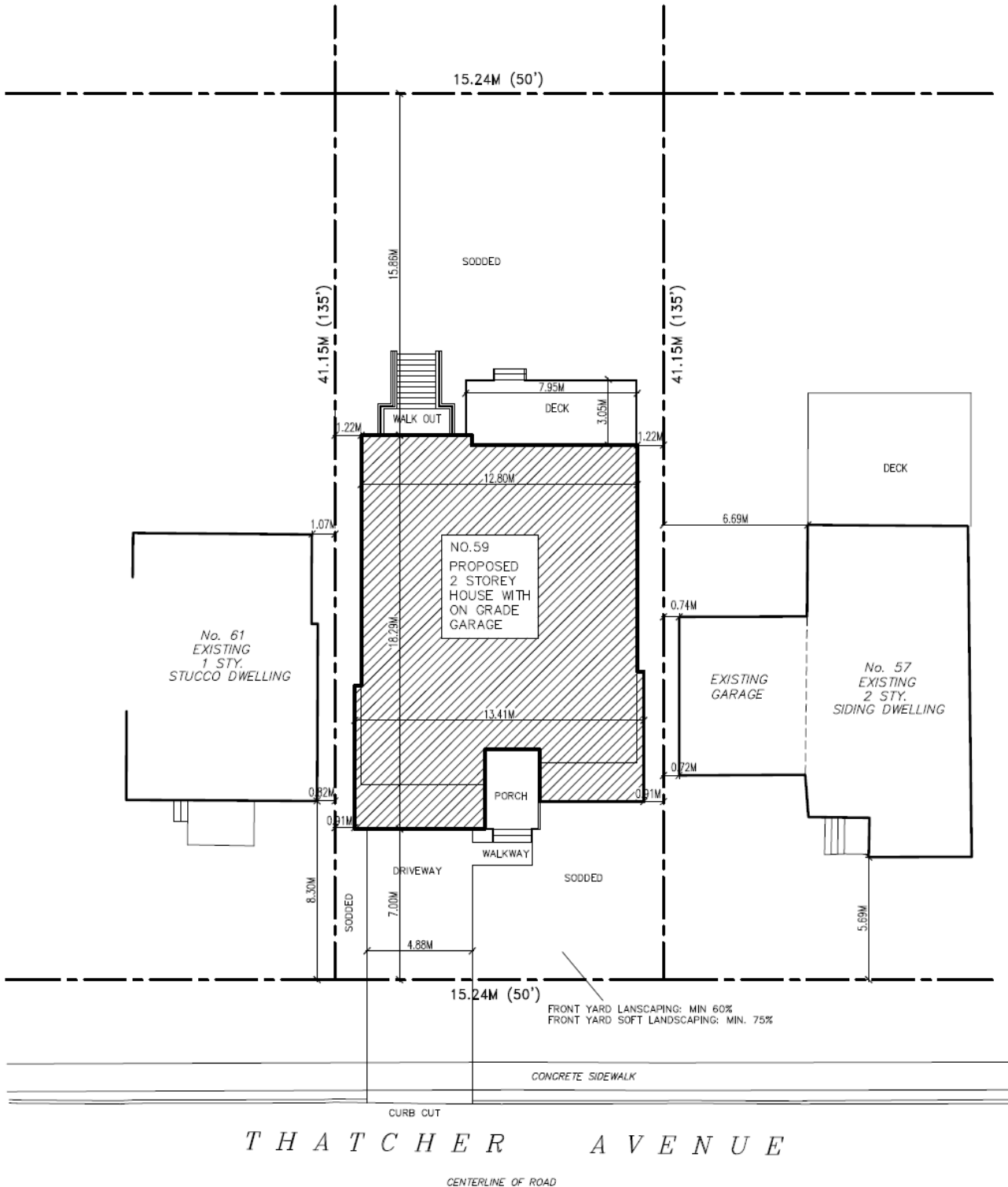
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed dwelling will cover 35.97% of the lot area (225.6 m²);
Whereas the maximum permitted lot coverage is 33% of the lot area (206.9 m²).
2. The proposed dwelling will have a floor space index equal to 0.601 times the lot area (376.3 m²);
Whereas the maximum floor space index is the lesser of 0.5 times of the lot area (313.6 m²) or 279 m².
3. The proposed building length is 18.3 m;
Whereas the maximum permitted building length is 17 m.

By-law No. 9396:

4. The proposed dwelling will cover 35.97% of the lot area (225.6 m²);
Whereas the maximum permitted lot coverage is 33% of the lot area (206.9 m²).
5. The proposed dwelling will have a total floor area equal to 0.601 times the lot area (376.3 m²);
Whereas the maximum permitted floor area is 0.4 times lot area (250.9 m²) to maximum of 232 m².



○ SITE PLAN

LOT AREA: 627.1 SQ. M.
(6750 SQ. FT.)
COVERAGE=225.6 S.M.
(2428 S.F.) 35.97%
GFA: 376.7 SQ. M. (4055 SQ. FT.) 60.1%

21. 1 ANSON AVE

File Number:	A0112/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	MD ABU JAFOR SALEH	Ward:	Scarborough Southwest (36)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	1 ANSON AVE	Community:	Cliffcrest Community
Legal Description:	PLAN M420 PT LOT 4		

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & No. 9396:

1. The existing lot has an area of 453.78 m²;
Whereas the minimum required lot area is 464 m².
2. The proposed dwelling will cover 40% of the lot area (179.57 m²);
Whereas the maximum permitted lot coverage is 33% of the lot area (149.74 m²).
3. The proposed dwelling will have a height of 9.52 m;
Whereas the maximum permitted dwelling height is 9 m.
4. A total of 57% of the front yard will be maintained as landscaping;
Whereas a minimum of 60% of the front yard shall be maintained as landscaping.

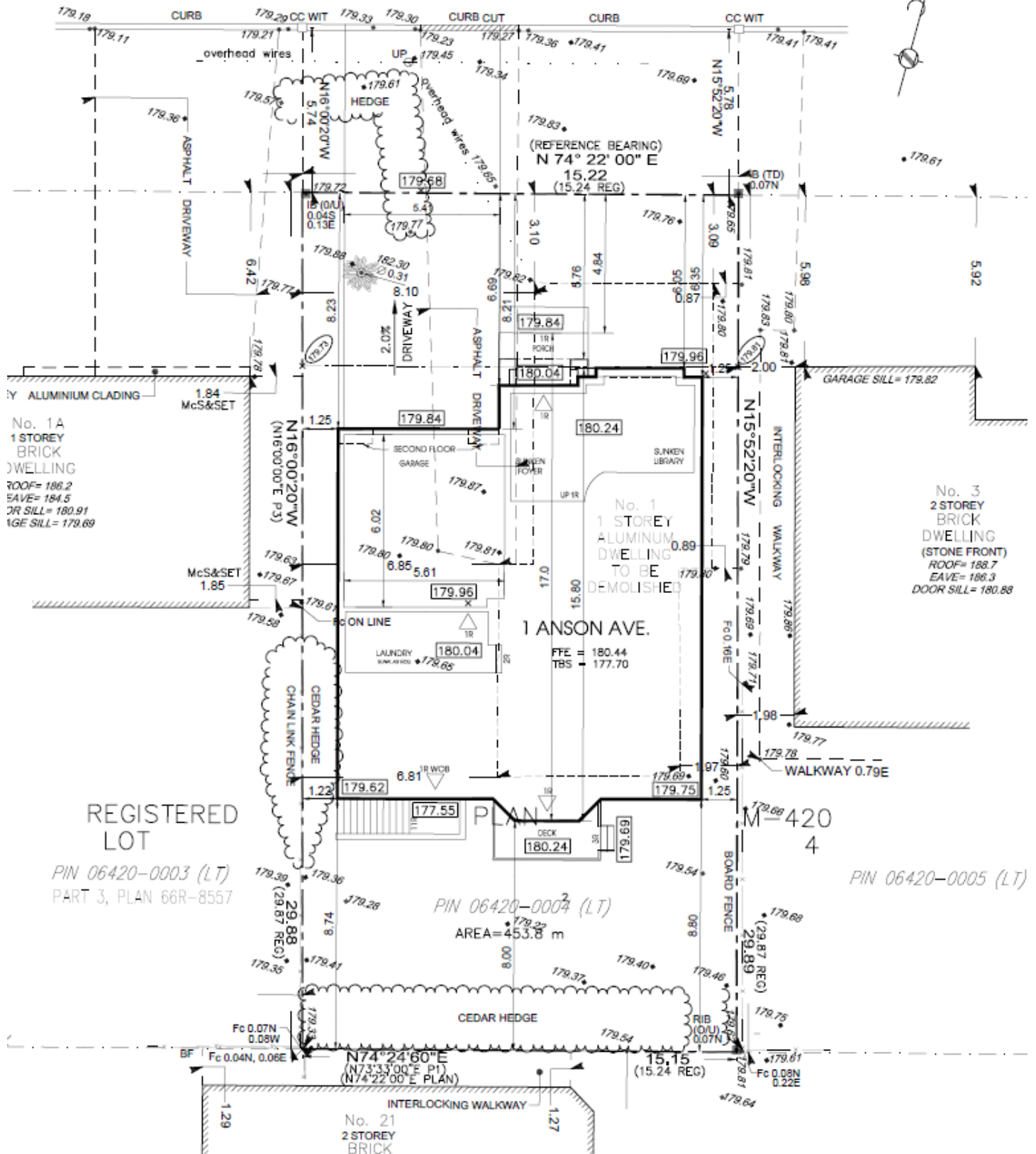
By-law No. 569-2013:

5. The proposed dwelling will have a floor space index equal to 0.73 times the lot area (333.35 m²);
Whereas the maximum permitted floor space index is 0.5 times the lot area (226.89 m²).
6. None of the area of the first floor is proposed to be within 4 m of the front main wall;
Whereas a minimum of 10 m² of the first floor must be located within 4 m of the front main wall.

By-law No. 9396:

7. The proposed dwelling will have a total floor area equal to 0.693 times the lot area (314.89 m²);
Whereas the maximum permitted floor space index is 0.5 times the lot area (226.89 m²).
8. The proposed dwelling will be located 1.25 m from both the east and west side yard lot lines;
Whereas the minimum required side yard setback is 1.2 m plus 0.6 m for each additional storey, for a total required side yard setback of 1.8 m.

ANSON AVENUE
BY REGISTERED PLAN M-420



22. 24 EASTMOOR CRES

File Number:	A0120/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	2221118 ONTARIO INC. 2221118 ONTARIO INC	Ward:	Scarborough Southwest (36)
Agent:	LEMCAD CONSULTANTS	Heritage:	Not Applicable
Property Address:	24 EASTMOOR CRES	Community:	Cliffside Community
Legal Description:	PLAN 4035 LOT 72		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new second storey addition to the existing one storey single family dwelling.

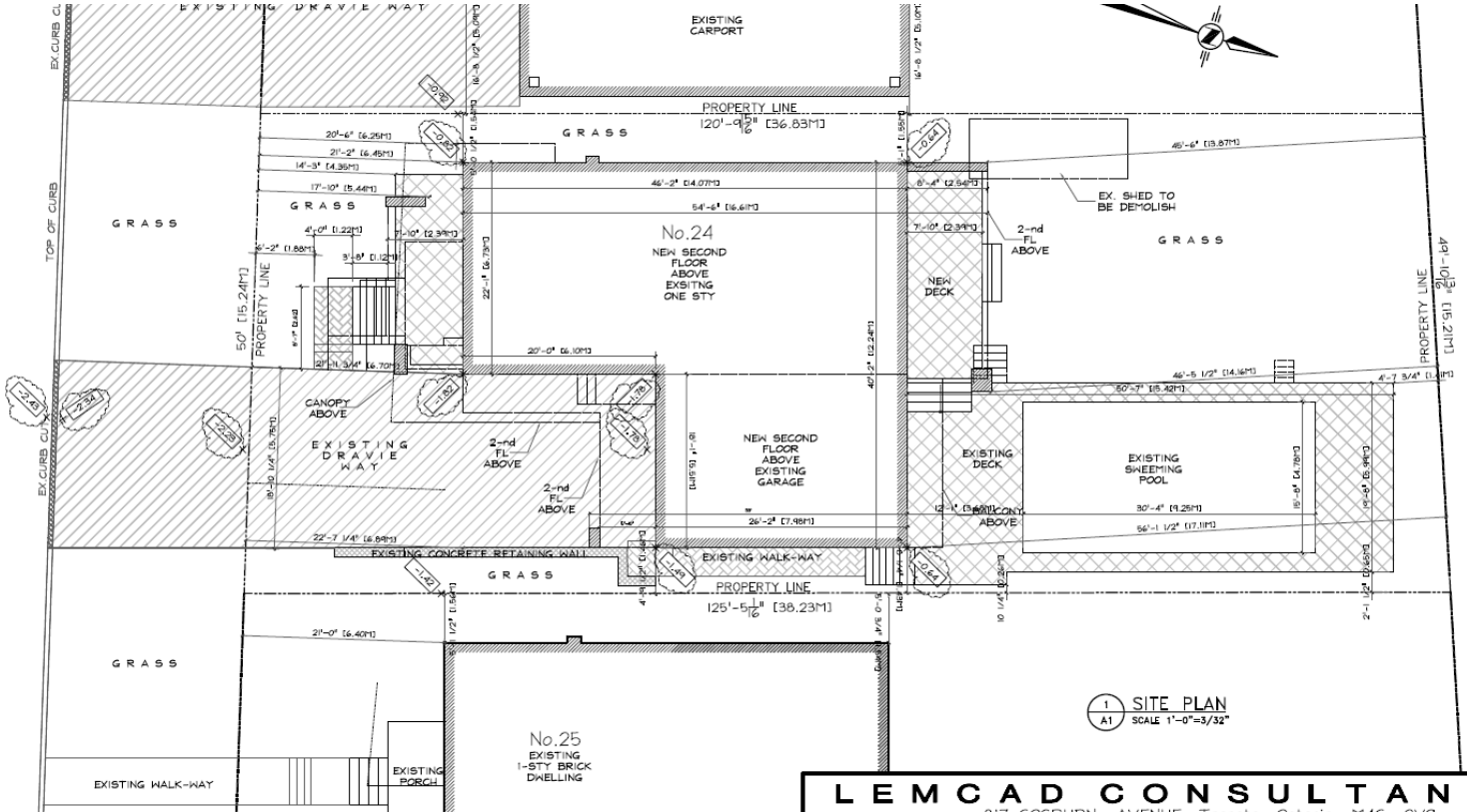
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 310.1 square metres floor area or 0.54 times the lot area, whereas the Zoning By-law permits maximum 279 square metres floor area or 0.5 times the lot area.
2. To permit the proposed 6.4 metres front yard setback, whereas the Zoning By-law requires a minimum 6.5 metres front yard setback.

By-law No. 9364

3. To permit the proposed 1.4 metres east and 1.54 metres west side yard setback, whereas the Zoning By-law requires a minimum 1.8 metres side yard setback.
4. To permit the proposed 310.1 square metres floor area or 0.54 times the lot area, whereas the Zoning By-law permits maximum 279 square metres floor area or 0.5 times the lot area.
5. To permit the proposed 2.4 metres front covered porch projection, whereas the Zoning By-law permits maximum 1.55 metres projection.



- VARIANCE**
- Floor Area
 - Front Yard Setback
 - West and East Side Yard Setback
 - Porch Projection

Site Plan

Applicant's Submitted Drawing
Not to Scale

04/26/2017 - PB

24 Eastmoor Cres

File # A0120/17SC

Attachment 2

23. 21 FALLINGBROOK WDS

File Number:	A0124/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	CHRISTINE OLA BISI FADARE	Ward:	Scarborough Southwest (36)
Agent:	AJD CONSTRUCTION GROUP INC	Heritage:	Not Applicable
Property Address:	21 FALLINGBROOK WDS	Community:	Birchcliff Community
Legal Description:	PLAN 4304 LOT 28		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two car garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

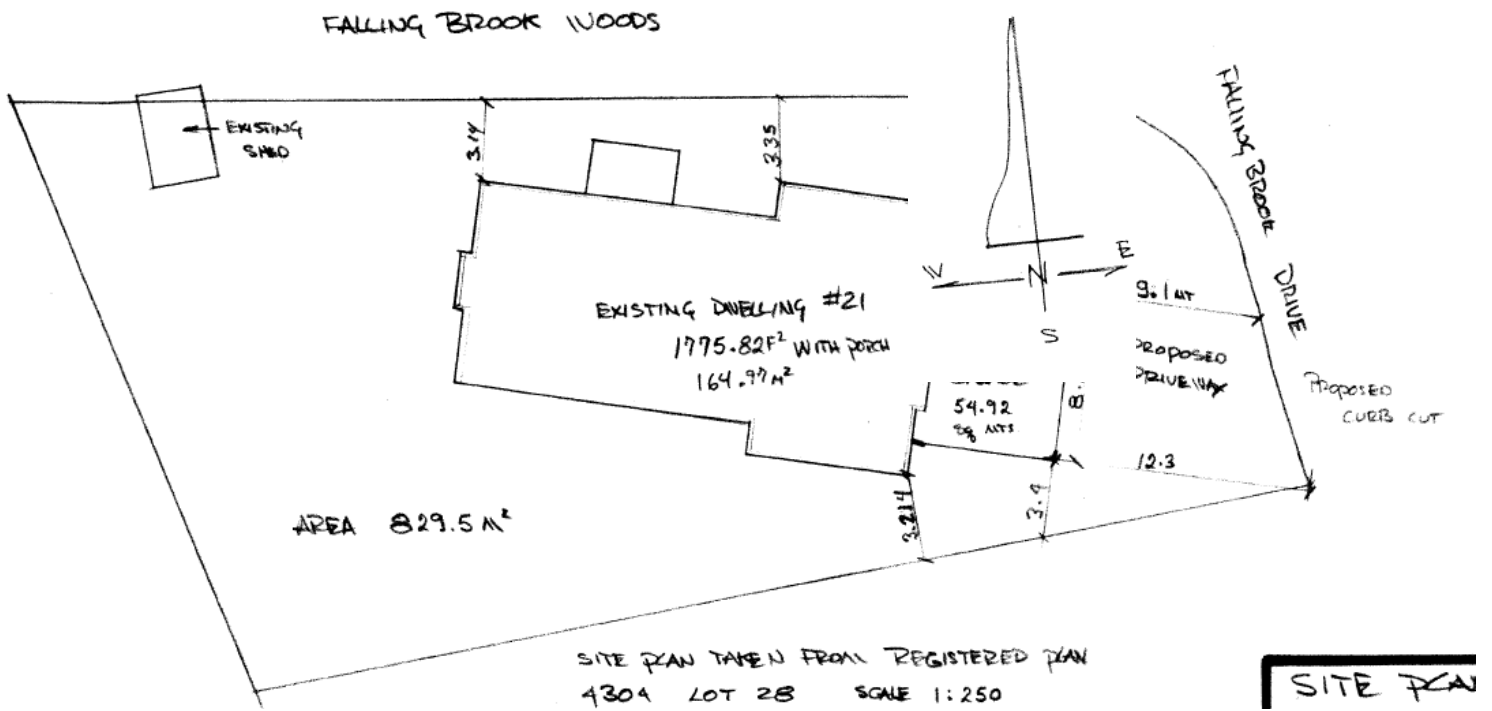
By-law No. 569-2013

1. To permit the proposed building length of 24.61 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.
2. To permit the proposed building depth of 24.61 metres measured from the front yard setback requirement on a lot to the rear wall, whereas the Zoning By-law permits maximum building depth of 19 metres.
3. To permit the proposed 54.93 square metres platform area (balcony above the garage), whereas the Zoning By-law permits maximum 4 square metres floor area platforms at or above the second storey.
4. To permit the proposed 58% front yard landscaping, whereas the Zoning By-law requires a minimum 60% of the front yard to be landscaping.
5. To permit the proposed 4.8 metres front yard setback, whereas the Zoning By-law requires a minimum 6.02 metres front yard setback.
6. To permit the proposed 417 square metres floor area, whereas the Zoning By-law permits maximum 331 square metres floor area.

By-law No. 8786

7. To permit the proposed 4.8 metres front yard setback, whereas the Zoning By-law requires a minimum 6 metres front yard setback.
8. To permit the proposed 58% front yard landscaping, whereas the Zoning By-law requires a minimum 60% of the front yard to be landscaping.

9. To permit the proposed 8.4 metres by 6.6 metres attached garage, whereas the Zoning By-law permits maximum 7.6 metres by 7.6 metres garage.
10. To permit the proposed 8.4 metres by 6.6 metres accessory structure (balcony above the garage), whereas the Zoning By-law permits maximum 7.6 metres by 7.6 metres accessory structure.



- Variance:**
- Building Length
 - Building Depth
 - Platform (Balcony) Area
 - Front Yard Landscaping
 - Front Yard Setback
 - Garage Size

Site Plan

Applicant's Submitted Drawing
Not to Scale

04/28/2017 - PB

21 Fallingbrook Wds

File # A0124/17SC

Attachment 2

24. 70 FOXRIDGE DR

File Number:	A0125/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	ANDREA DAWN CANNON JASON ANDREW CANNON	Ward:	Scarborough Southwest (35)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	70 FOXRIDGE DR	Community:	Kennedy Park Community
Legal Description:	PLAN M639 LOT 99		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a second storey addition to the existing dwelling.

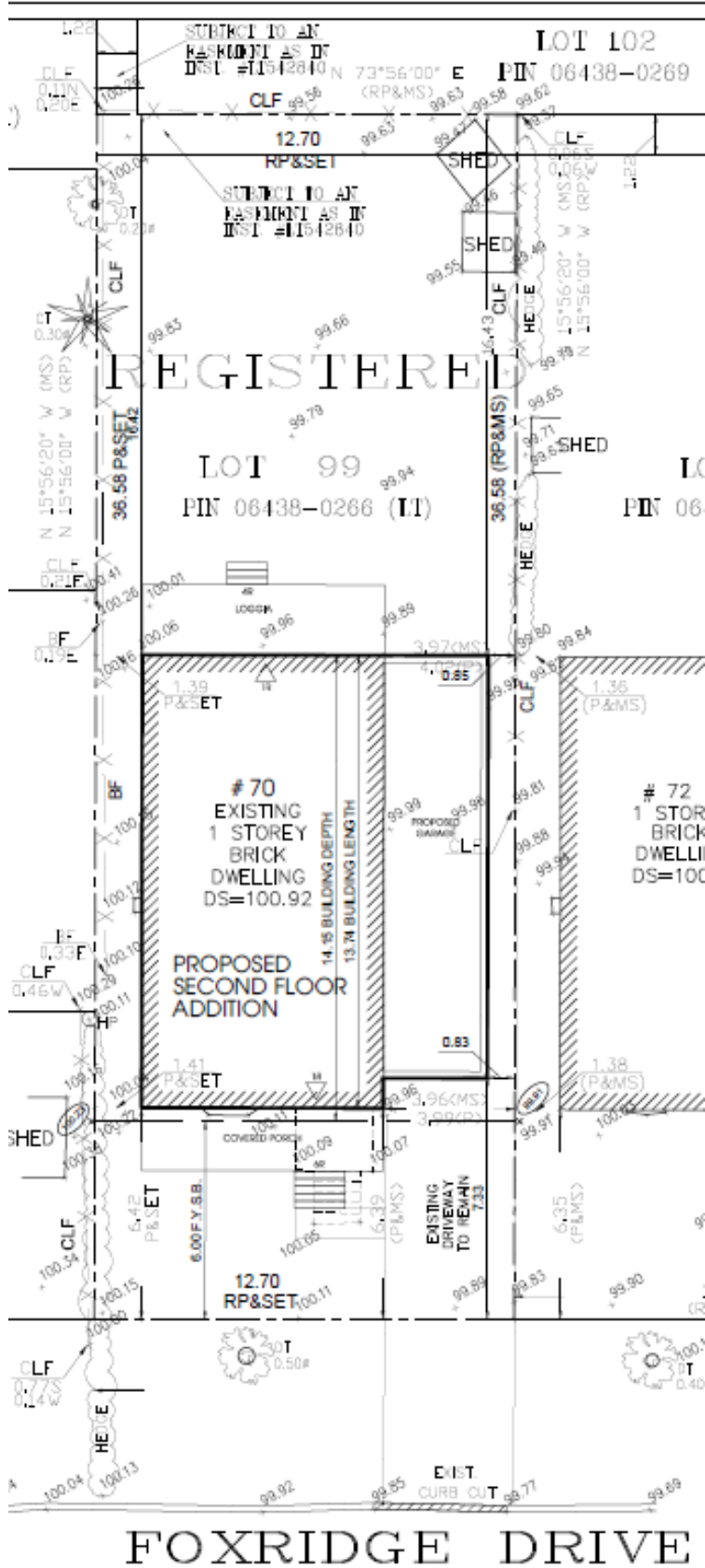
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 0.83 metres east side yard setback, whereas the Zoning By-law requires a minimum 0.9 metres side yard setback.
2. To permit the proposed 38% lot coverage, whereas the Zoning By-law permits a maximum 33% lot coverage.
3. To permit the proposed 2.93 metres by 5.6 metres parking space, whereas the Zoning By-law requires a minimum 3.2 metres by 5.6 metres parking space.

By-law No. 9276

4. To permit the proposed 38% lot coverage, whereas the Zoning By-law permits a maximum 33% lot coverage.
5. To permit the proposed 2.93 metres wide parking space, whereas the Zoning By-law requires a minimum 3.3 metres wide parking space.
6. To permit the proposed 12.4 metres by 2.93 metres garage, whereas the Zoning By-law permits maximum 7.6 metres by 7.6 metres garage.
7. To permit the proposed 0.83 metres east side yard setback, whereas the Zoning By-law requires a minimum 0.9 metres side yard setback.



VARIANCE:

- Side Yard Setback
- Lot Coverage
- Parking Space
- Parking Space Width
- Garage Dimensions

25. 123 CROCKFORD BLVD

File Number:	A0145/17SC	Zoning	Genral Industrial (MG) & Employment Industrial (E) Zone [Waiver]
Owners:	123 CROCKFORD HOLDINGS INC	Ward:	Scarborough Centre (37)
Agent:	ANTHONY ABATE	Heritage:	Not Applicable
Property Address:	123 CROCKFORD BLVD	Employment District	Wexford Employment District
Legal Description:	PLAN 4297 PT BLK A		

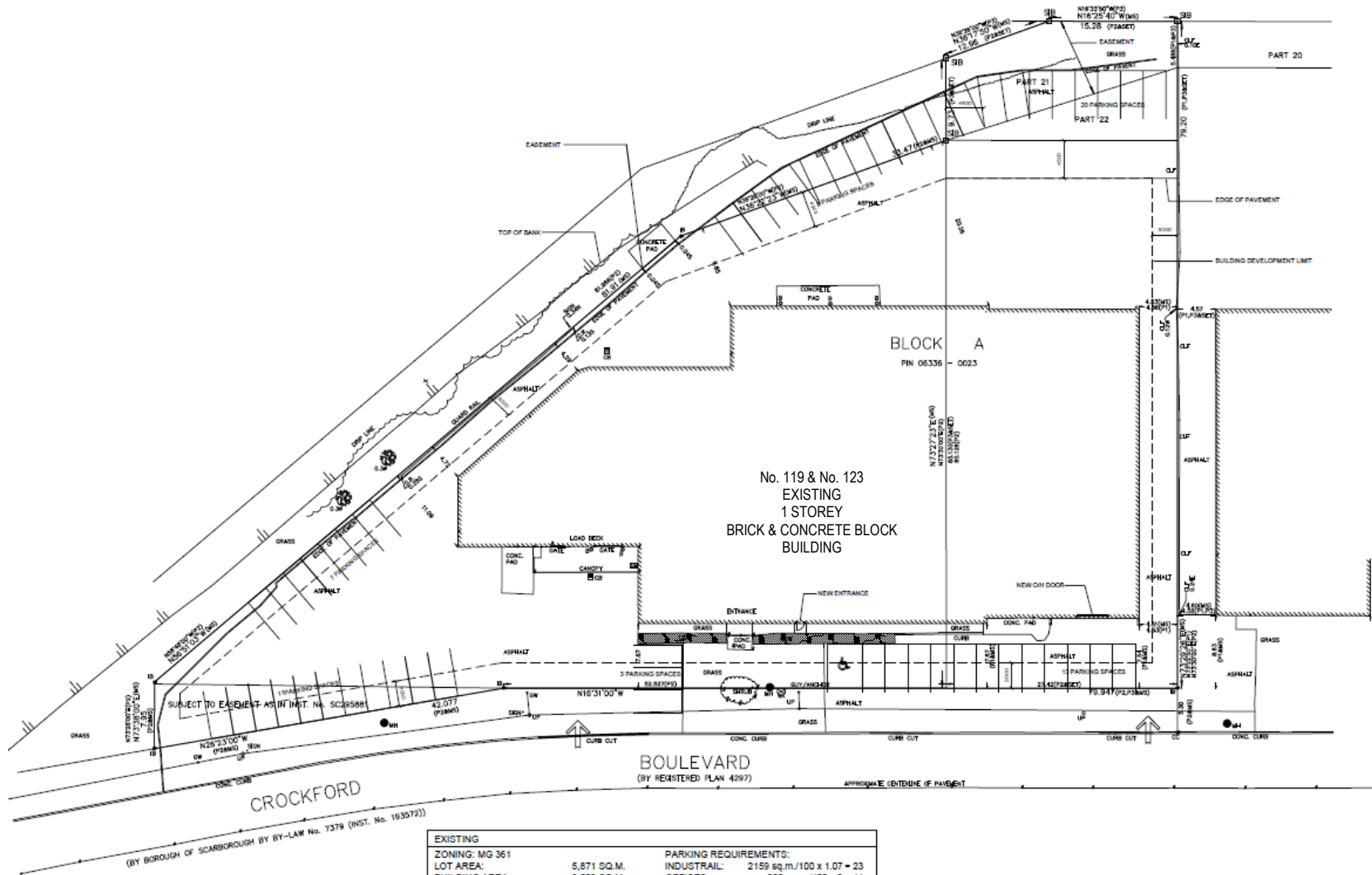
PURPOSE OF THE APPLICATION:

This application is for a variance for a Medical Marihuana Production Facility on the property at 123 Crockford Boulevard.

REQUESTED VARIANCE TO THE ZONING BY-LAW:

By-law No. 569-2013 & By-law No. 24982:

1. The proposed Medical Marihuana Production Facility would be on a lot that is located 18 m away from a lot in the Commercial Residential Zone category
Whereas a lot with a Medical Marihuana Production Facility must be at least 70 m from a lot in a Commercial Residential Zone category.



EXISTING		PARKING REQUIREMENTS:	
ZONING: MG 361		INDUSTRIAL:	2159 sq.m./100 x 1.07 = 23
LOT AREA:	5,871 SQ.M.	OFFICES:	350 sq.m./100 x 3 = 11
BUILDING AREA:	2,509 SQ.M.	TOTAL REQ.:	34
COVERAGE:	42.73 %		
MAX ALLOWED (75%)	4,403.00 SQ.M.	EXISTING PARKING	54
ALLOWED ADDITION	1,894.00 SQ.M.		

Si
Applicant's Submitted Drawing
Not to Scale

12/05/2017

File # A0145/17SC

Attachment 2