

Thursday, June 22, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0012/17NY	Zoning	RM / RM5 (ZR)
Owner(s):	LEV ELKINE RED ROCK BUILDERS LTD	Ward:	Eglinton-Lawrence (15)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	35 MARQUETTE AVE	Community:	North York
Legal Description:	PLAN 2053 LOT 139 PT LOTS 138 AND 140		

Notice was given and the application considered on Thursday, June 22, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

CONVEYED - Part 1

Address to be assigned

The frontage is 7.62 m and the lot area is 266.90 m². The proposed will be redeveloped as one-half of a new semi-detached dwelling requiring variances to the applicable zoning By-law(s).

RETAINED - Part 2.

Address to be assigned

The frontage is 7.62 m and the lot area is 268.60 m². The property will be redeveloped as one-half of a new semi-detached dwelling requiring variances to the applicable zoning By-law(s).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of the this Decision:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.

- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- (5) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

PLAN OF SURVEY OF
 PLAN OF LOT 139 & PART OF
 LOTS 138 & 140
 REGISTERED PLAN 2053
 CITY OF TORONTO
 FORMERLY CITY OF NORTH YORK
 SCALE 1 : 100

AKSAN PILLER CORPORATION LTD.

MARQUETTE AVENUE
 BY REGISTERED PLAN 2053
 PIN 10215-0296 (LT)

N73°28'50"E
 (REFERENCE BEARING)
 (N74°00'00"E PLAN)

I REQUIRE THIS PLAN TO BE
 DEPOSITED UNDER THE LAND
 TITLES ACT.

PLAN 66R-

DATE: DRAFT

RECEIVED AND DEPOSITED:

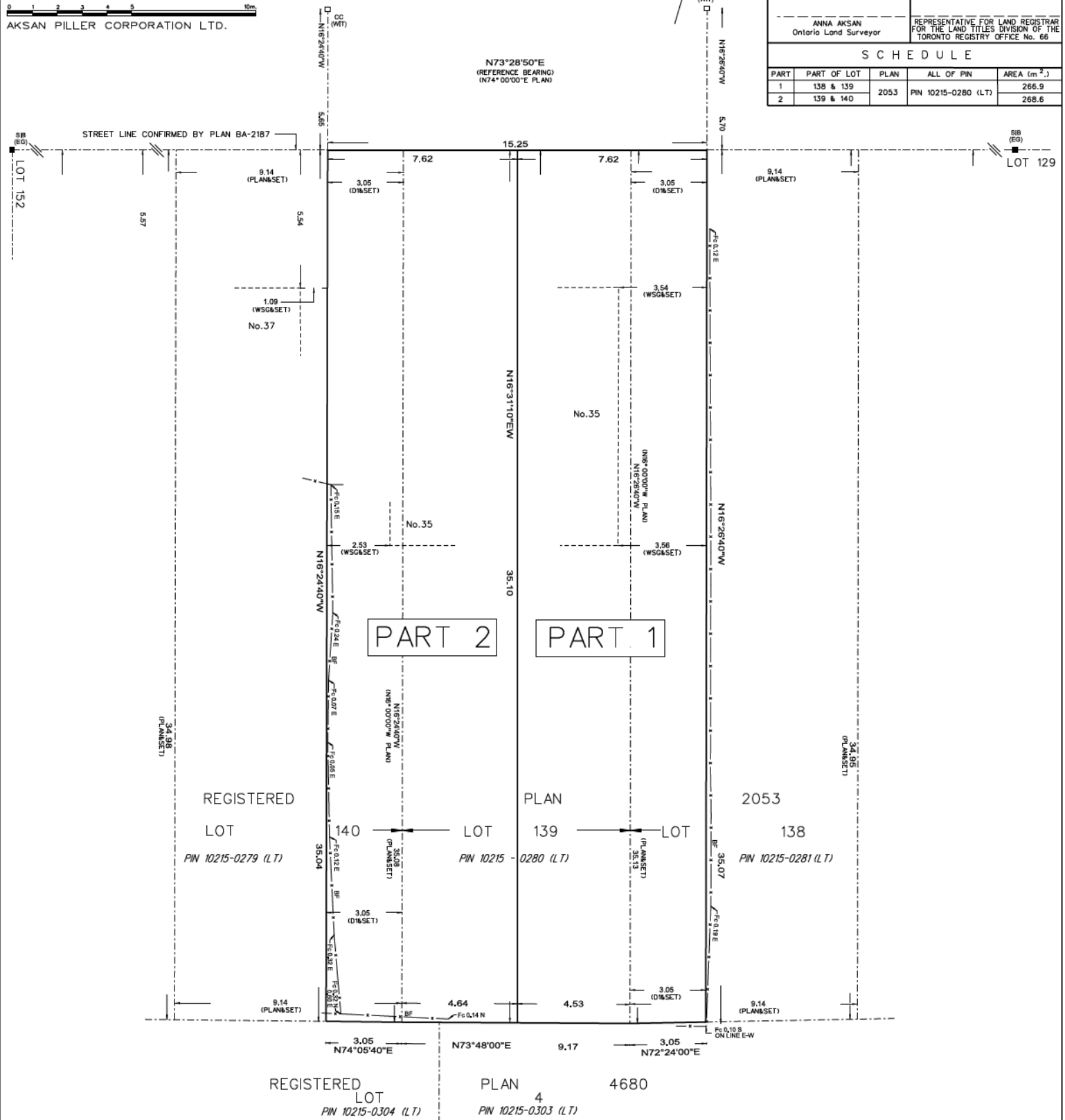
DATE: DRAFT

ANNA AKSAN
 Ontario Land Surveyor

REPRESENTATIVE FOR LAND REGISTRAR
 FOR THE LAND TITLES DIVISION OF THE
 TORONTO REGISTRY OFFICE No. 66

SCHEDULE

PART	PART OF LOT	PLAN	ALL OF PIN	AREA (m ² .)
1	138 & 139	2053	PIN 10215-0280 (LT)	266.9
2	139 & 140			268.6



LEGEND:

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- IB DENOTES IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- CC DENOTES CUT CROSS
- CP DENOTES CONCRETE PIN
- WIT DENOTES WITNESS MONUMENT
- O/U DENOTES ORIGIN UNKNOWN
- N DENOTES NORTH
- S DENOTES SOUTH
- E DENOTES EAST
- W DENOTES WEST
- Fc DENOTES FENCE
- CLF DENOTES CHAIN LINK FENCE
- BF DENOTES BOARD FENCE
- D1 DENOTES INST. No. NY1388.36
- WSG DENOTES W.S. GIBBSON, OLS (AUG 3, 1948)
- EG DENOTES EDWARDS & GUNN, OLS
- PLAN DENOTES REGISTERED PLAN 2053-YORK
- 00.50 DENOTES TREE TRUNK DIAMETER

METRIC:
 DISTANCES SHOWN ON THIS PLAN ARE IN
 METRES AND CAN BE CONVERTED TO FEET
 BY DIVIDING BY 0.3048.

BEARING NOTE:
 BEARINGS ARE REFERRED TO THE SOUTHERLY LIMIT OF
 MARQUETTE AVENUE AS SHOWN ON PLAN BA-2187
 HAVING AN ASTRONOMIC BEARING OF N73°28'50"W.

SURVEYOR'S CERTIFICATE:
 I CERTIFY THAT:
 THE SURVEY WAS COMPLETED ON THE 20th DAY OF APRIL, 2016.

FEBRUARY 6, 2017
 DATE

Helmut Piller
 HELMUT PILLER
 Ontario Land Surveyor



AKSAN PILLER CORPORATION LTD
 ONTARIO LAND SURVEYORS
 943 MT PLEASANT ROAD, TORONTO, ONTARIO, M4P 2L7
 (T) 416-488-1114 (F) 416-488-7843 (E) ap@axpiller.com www.axpiller.com
 CALC: MU DRAWN: VF CHECKED: HP
 reference number: 16-37-10565-01

SIGNATURE PAGE

File Number:	B0012/17NY	Zoning	RM / RM5 (ZR)
Owner(s):	LEV ELKINE	Ward:	Eglinton-Lawrence (15)
	RED ROCK BUILDERS LTD		
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	35 MARQUETTE AVE	Community:	North York
Legal Description:	PLAN 2053 LOT 139 PT LOTS 138 AND 140		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, June 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0167/17NY	Zoning	RM / RM5 (ZR)
Owner(s):	LEV ELKINE RED ROCK BUILDERS LTD	Ward:	Eglinton-Lawrence (15)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	35 MARQUETTE AVE (LOT A)	Community:	North York
Legal Description:	PLAN 2053 LOT 139 PT LOTS 138 AND 140		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new semi-detached dwelling with integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. By-law 1676-2013**
The minimum size of the front vestibule is 10 m².
The proposed vestibule is 3.34 m².
- 2. Chapter 10.20.30.40.(1), By-law No. 769-2013**
The permitted maximum lot coverage is 35% of the lot area.
The proposed lot coverage is 38.8% of the lot area.
- 3. Chapter 10.80.40.10, By-law No. 769-2013**
The maximum permitted height of a dwelling is 10 m.
The proposed dwelling height is 10.31 m.
- 4. Chapter 10.20.40.10.(2), By-law No. 769-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the side exterior main walls facing a side lot line is 8.08 m.
- 5. Chapter 10.80.40.70.(3), By-law No. 769-2013**
The required minimum side yard setback for a semi-detached house is 1.5 m.
The proposed side yard setback is 1.22 m.

6. **Section 17(4)(a), By-law No. 7625**
The minimum required lot area is 300 m²
The proposed lot area is 266.92 m².
7. **Section 17(4)(b), By-law No. 7625**
The minimum required lot frontage is 8.5 m.
The proposed lot frontage is 7.62 m.
8. **Section 6(8), By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.
9. **Section 17(3)(d) / 17(4)(d), By-law No. 7625**
The maximum permitted lot coverage is 35% of the lot area
The proposed lot coverage is 38.8% of the lot area.
10. **Section 17(3)(c)(i) / 17(4)(c)(i), By-law No. 7625**
The minimum required front yard setback is 7.5 m.
The proposed front yard setback is 5.55 m.
11. **Section 17(3)(e) / 17(4)(e), By-law No. 7625**
The maximum permitted building height is 9.2 m.
The proposed building height is 9.75 m.
12. **Section 6(9), By-law No. 7625**
The maximum rear stair projection is 2.1 m.
The proposed rear stair projection is 3 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) That the windows on the east elevation of the dwelling on the second storey, be of a permanent frosted nature (adjacent to 33 Marquette Ave.).

SIGNATURE PAGE

File Number:	A0167/17NY	Zoning	RM / RM5 (ZR)
Owner:	LEV ELKINE RED ROCK BUILDERS LTD	Ward:	Eglinton-Lawrence (15)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	35 MARQUETTE AVE (LOT A)	Community:	North York
Legal Description:	PLAN 2053 LOT 139 PT LOTS 138 AND 140		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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Thursday, June 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0168/17NY	Zoning	RM / RM5 (ZR)
Owner(s):	LEV ELKINE RED ROCK BUILDERS LTD	Ward:	Eglinton-Lawrence (15)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	35 MARQUETTE AVE (LOT B)	Community:	North York
Legal Description:	PLAN 2053 LOT 139 PT LOTS 138 AND 140		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new semi-detached dwelling with integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. By-law 1676-2013**
The minimum size of the front vestibule is 10 m².
The proposed vestibule is 3.34 m².
- 2. Chapter 10.20.30.40.(1), By-law No. 769-2013**
The permitted maximum lot coverage is 35% of the lot area.
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The maximum permitted height of a dwelling is 10 m.
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- 4. Chapter 10.20.40.10.(2), By-law No. 769-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the side exterior main walls facing a side lot line is 8.08 m.
- 5. Chapter 10.80.40.70.(3), By-law No. 769-2013**
The required minimum side yard setback for a semi-detached house is 1.5 m.
The proposed west side yard setback is 1.24 m.

6. **Section 17(3)(a) / 17(4)(a), By-law No. 7625**
The minimum required lot area is 300 m²
The proposed lot area is 268.6 m².
7. **Section 17(4)(b), By-law No. 7625**
The minimum required lot frontage is 8.5 m.
The proposed lot frontage is 7.62 m.
8. **Section 6(8), By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.
9. **Section 17(3)(d) / 17(4)(d), By-law No. 7625**
The maximum permitted lot coverage is 35% of the lot area
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The maximum permitted building height is 9.2 m.
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The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0168/17NY	Zoning	RM / RM5 (ZR)
Owner:	LEV ELKINE	Ward:	Eglinton-Lawrence (15)
	RED ROCK BUILDERS LTD		
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	35 MARQUETTE AVE	Community:	North York
	(LOT B)		
Legal Description:	PLAN 2053 LOT 139 PT LOTS 138 AND 140		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

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Thursday, June 22, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0013/17NY	Zoning	RD/R7 [ZZC]
Owner(s):	ANTONIO IANNI LUANA IANNI	Ward:	Eglinton-Lawrence (15)
Agent:	WESTON CONSULTING GROUP INC	Heritage:	Not Applicable
Property Address:	1174 GLENCAIRN AVE	Community:	North York
Legal Description:	PLAN 2502 LOT 41		

Notice was given and the application considered on Thursday, June 22, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Retained - Part 1

Address to be assigned

The lot frontage is 7.62m and has a lot area of 306.50m².

The property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law(s), as outlined in application # A0174/17NY.

Conveyed - Part 2

Address to be assigned

The lot frontage is 7.62m and has a lot area of 306.50m².

The property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law(s), as outlined in application # A0175/17NY.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
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SIGNATURE PAGE

File Number:	B0013/17NY	Zoning	RD/R7 [ZZC]
Owner(s):	ANTONIO IANNI LUANA IANNI	Ward:	Eglinton-Lawrence (15)
Agent:	WESTON CONSULTING GROUP INC	Heritage:	Not Applicable
Property Address:	1174 GLENCAIRN AVE	Community:	North York
Legal Description:	PLAN 2502 LOT 41		

Rick Ross (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

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LAST DATE OF APPEAL: Wednesday, July 19, 2017

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0174/17NY	Zoning	RD/R7 [ZZC]
Owner(s):	ANTONIO IANNI LUANA IANNI	Ward:	Eglinton-Lawrence (15)
Agent:	WESTON CONSULTING GROUP INC	Heritage:	Not Applicable
Property Address:	1174 GLENCAIRN AVE (PART 1)	Community:	North York
Legal Description:	PLAN 2502 LOT 41		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling with an integral garage. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. By-law No. 1676-2013

The minimum required size of the front vestibule is 10.00m².

The proposed front vestibule is 6.44m².

2. Chapter 10.20.30.20.(1), By-law No. 569-2013

The minimum required lot frontage is 9.00m.

The proposed lot frontage is 7.62m.

3. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is 17.17m.

4. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 0.90m.

The proposed west side yard setback is 0.65m.

5. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.

The proposed height of the side exterior main walls facing a side lot line is 8.64m.

6. Section 14-B(4), By-law No. 7625

The minimum required lot frontage is 9.00m.

The proposed lot frontage is 7.62m.

7. Section 6(8), By-law No. 7625

The minimum lot width is not be less than the lot frontage for the zone in which the building is to be constructed.

8. Section 14-B(5)(b), By-law No. 7625

The minimum required side yard setback is 1.20m.

The proposed west side yard setback is 0.65m.

9. Section 14-B(5)(b), By-law No. 7625

The minimum required side yard setback is 1.20m.

The proposed east side yard setback is 0.92m.

10. Section 14-B(9), By-law No. 7625

The maximum permitted building length is 15.30m.

The proposed building length is 17.17m.

11. Section 6(30), By-law No. 7625

The maximum permitted finished first floor height is 1.50m.

The proposed finished first floor height is 1.84m.

12. Section 14-B(8), By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 9.79m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0174/17NY	Zoning	RD/R7 [ZZC]
Owner:	ANTONIO IANNI LUANA IANNI	Ward:	Eglinton-Lawrence (15)
Agent:	WESTON CONSULTING GROUP INC	Heritage:	Not Applicable
Property Address:	1174 GLENCAIRN AVE (PART 1)	Community:	North York
Legal Description:	PLAN 2502 LOT 41		

Rick Ross (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, June 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0175/17NY	Zoning	RD/R7 [ZZC]
Owner(s):	ANTONIO IANNI LUANA IANNI	Ward:	Eglinton-Lawrence (15)
Agent:	WESTON CONSULTING GROUP INC	Heritage:	Not Applicable
Property Address:	1174 GLENCAIRN AVE (PART 2)	Community:	North York
Legal Description:	PLAN 2502 LOT 41		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling with an integral garage. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. By-law No. 1676-2013

The minimum required size of the front vestibule is 10.00m².

The proposed front vestibule is 6.44m².

2. Chapter 10.20.30.20.(1), By-law No. 569-2013

The minimum required lot frontage is 9.00m.

The proposed lot frontage is 7.62m.

3. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is 17.17m.

4. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 0.90m.

The proposed east side yard setback is 0.65m.

5. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.

The proposed height of the side exterior main walls facing a side lot line is 8.64m.

6. Section 14-B(4), By-law No. 7625

The minimum required lot frontage is 9.00m.

The proposed lot frontage is 7.62m.

7. Section 6(8), By-law No. 7625

The minimum lot width is not be less than the lot frontage for the zone in which the building is to be constructed.

8. Section 14-B(5)(b), By-law No. 7625

The minimum required side yard setback is 1.20m.

The proposed west side yard setback is 0.92m.

9. Section 14-B(5)(b), By-law No. 7625

The minimum required side yard setback is 1.20m.

The proposed east side yard setback is 0.65m.

10. Section 14-B(8), By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 9.81m.

11. Section 6(30), By-law No. 7625

The maximum permitted finished first floor height is 1.50m.

The proposed finished first floor height is 1.84m.

12. Section 14-B(9), By-law No. 7625

The maximum permitted building length is 15.30m.

The proposed building length is 17.17m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0175/17NY	Zoning	RD/R7 [ZZC]
Owner:	ANTONIO IANNI LUANA IANNI	Ward:	Eglinton-Lawrence (15)
Agent:	WESTON CONSULTING GROUP INC	Heritage:	Not Applicable
Property Address:	1174 GLENCAIRN AVE (PART 2)	Community:	North York
Legal Description:	PLAN 2502 LOT 41		

Rick Ross (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, June 22, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0070/16NY	Zoning	R4/RD(f15;a550)(x5)[ZONING]
Owner(s):	BIJAN VAKILI	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	149 ESTELLE AVE	Community:	North York
Legal Description:	PLAN 3691 PT LOT 125		

Notice was given and the application considered on Thursday, June 22, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever a portion of land from 149 and 151 Estelle Avenue for the purpose of lot additions to create 3 lots from 2 existing lots. A new detached dwelling is proposed to be constructed on each new lot. The existing dwellings would be demolished. Related minor variance applications have been submitted to accommodate the proposed development.

149 Estelle Ave (part1) House C
151 Estelle Ave (part2&3) House B
151 Estelle Ave (part 4) House A.

B0070/16NY - 149 Estelle Ave

RETAINED - Part 1

Part 1 has a lot frontage of 13.15m and a lot area of 471.2m². The lot will be redeveloped with a new detached residential dwelling.

CONVEYED - Part 2

Part 2 has a lot frontage of 9.15m and a lot area of 327.9m². Part 2 will be added to the Part 3 (severed from B071/16NY) to create a new building lot with a frontage of 13.72m and a lot area of 491.6m². Parts 2 and 3 will be redeveloped with a new detached residential dwelling.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

PE:

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

PLAN 66R-

RECEIVED AND DEPOSITED :

DATE : JUNE, 07, 2016

DATE : _____, 2016

--- AZIZ ABDELSHAHID, O.L.S. ---

REGISTRAR OF THE LAND REGISTRY DEPARTMENT OF THE TORONTO REGISTRY OFFICE (No. 66)

PLAN OF SURVEY OF PART OF LOT 125 REGISTERED PLAN M-8 CITY OF TORONTO



SCALE = 1 : 400

--- AZIZ ABDELSHAHID, O.L.S. ---

METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE

BEARINGS BELOW ARE GRID BEARINGS AND ARE DERIVED FROM CONTROL POINTS LISTED HEREON AND ARE REFERRED TO CENTRAL MERIDIAN 79°30' WEST LONGITUDE ZONE 10.

POINTS	EASTING	NORTHING
A	313273.788	4848791.153
A	313257.130	4848847.013

COORDINATES ARE WTM ZONE 10MAD 83 (CSRS) TO URBAN ACCURACY PER SEC. 14 (2) OF O.B.C. 716 (7) AND CANNISTAN THEMSELVES BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

COORDINATE VALUES

NO.	EASTING	NORTHING
1	313290.427	4848808.976
2	313288.657	4848863.823
3	313302.943	4848878.195
4	313314.763	4848835.149

DIAMETER SHOWN ON THE PLAN ARE LABELED GROUND DIAMETER AND CAN BE USED TO COMPUTE AREA DETERMINED BY MULTIPLYING BY A CORRECTION FACTOR OF 0.6926

PART	PART OF LOT	REGISTERED PLAN	PN	AREA (SQM)
1			PART OF PN 10064-0102 (LT)	471.2 M ²
2			10064-0102 (LT)	327.9 M ²
3			PART OF PN 10064-0101 (LT)	163.7 M ²
4			PART OF PN 10064-0101 (LT)	491.7 M ²

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 31st DAY OF MAY, 2016
DATE: MAY, 20, 2016

--- AZIZ ABDELSHAHID ---
ON-CALL LAND SURVEYOR

LEGEND:
 ■ REVISED
 □ SURVEY MONUMENT FOUND
 □ SURVEY MONUMENT SET
 SIB STANDARD IRON BAR
 N.E.S.W. NORTH EAST, SOUTH WEST
 DEF DOUBLE END FACE
 RP REGISTERED PLAN
 P SURVEY BY W. S. JOHNSON & SONS
 PI SURVEY BY J. P. SULLIVAN COMPANY LTD.
 O L.T. ON 11th AUGUST, 25, 1989
 BA N.S.P. 1976/89/41
 O.L.S. N.S.P. 1989/37/2
 P.S. PS-3448, O.L.S.

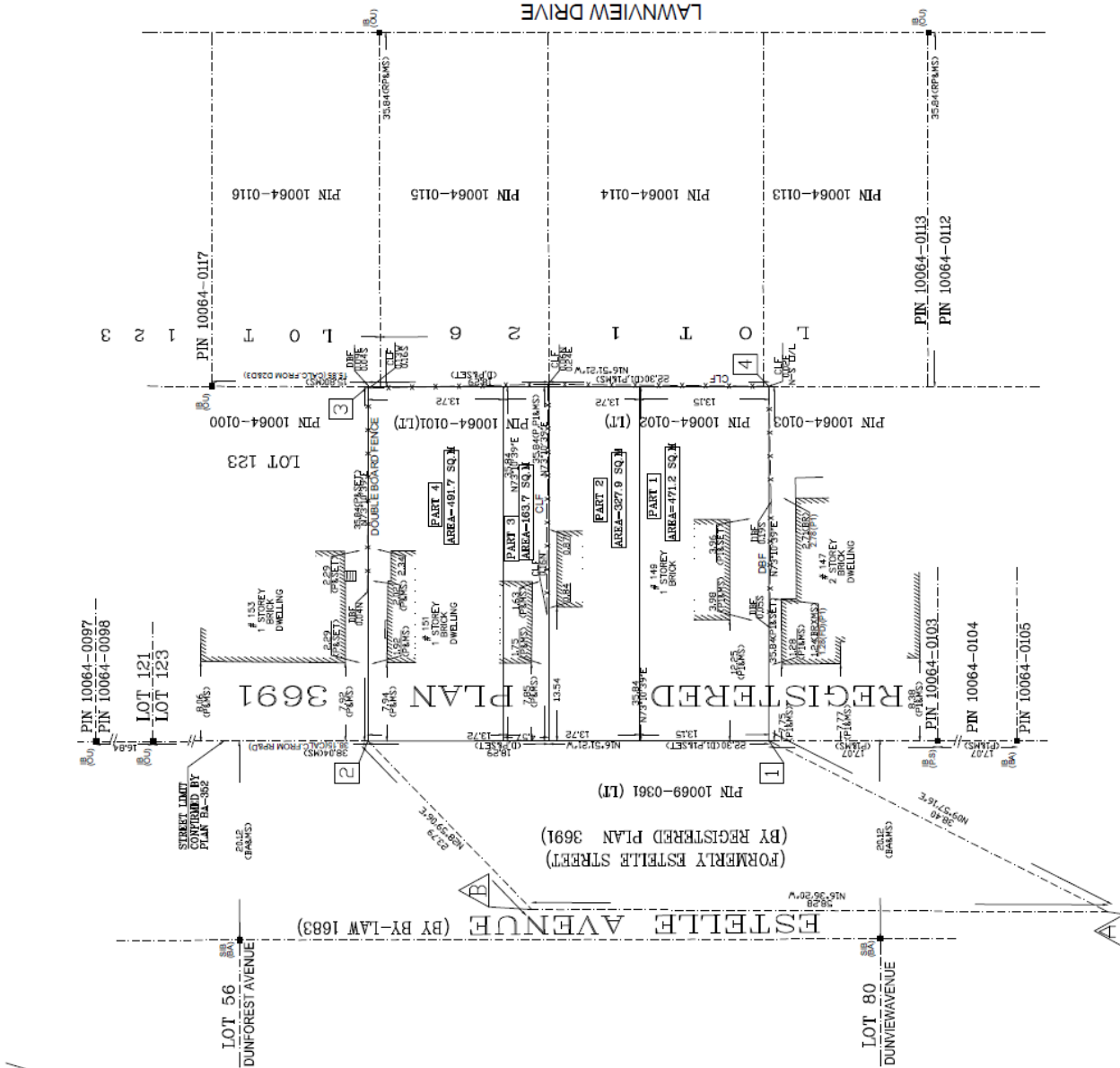
MITSCHKE & AZIZ INC.

120 NEWBARK ROAD, #31, BRIMHOLD, ONT. L4C 9S7
Tel: (905) 237-8224 Fax: (416) 477-5455
Website: M-Azizsurveys.ca
E-Mail: aziz@m-a-z-i-z.com

PROJECT NUMBER: 016-184

DRAWN BY: JI

CHECKED BY: A.A.



LAWNVIEW DRIVE

(FORMERLY ESTELLE STREET)
(BY REGISTERED PLAN 3691)

ESTELLE AVENUE (BY BY-LAW 1683)

LOT 56
DUNFOREST AVENUE

LOT 80
DUNVIEW AVENUE

LOT 121
LOT 123

LOT 125

LOT 3691

PIN 10064-0117

PIN 10064-0116

PIN 10064-0115

PIN 10064-0114

PIN 10064-0113

PIN 10064-0112

PIN 10064-0113

PIN 10064-0112

PIN 10064-0103

PIN 10064-0102

PIN 10064-0103

PIN 10064-0103

PIN 10064-0103

PIN 10064-0103

PIN 10064-0103

PIN 10064-0104

PIN 10064-0105

PIN 10064-0105

PIN 10064-0105

PIN 10064-0105

PIN 10064-0105



SIGNATURE PAGE

File Number:	B0070/16NY	Zoning	R4/RD(f15;a550)(x5)[ZONING]
Owner(s):	BIJAN VAKILI	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	149 ESTELLE AVE	Community:	North York
Legal Description:	PLAN 3691 PT LOT 125		

Denise Graham (signed)

Giacomo Tonon (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, June 22, 2017

NOTICE OF DECISION CONSENT (Section 53 of the Planning Act)

File Number:	B0071/16NY	Zoning	R4/RD(f15;a550)(x5)[ZONING]
Owner(s):	NIMA NAGHAVI	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	151 ESTELLE AVE	Community:	North York
Legal Description:	PLAN 3691 S 123		

Notice was given and the application considered on Thursday, June 22, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever a portion of land from 149 and 151 Estelle Avenue for the purpose of lot additions to create 3 lots from 2 existing lots. A new detached dwelling is proposed to be constructed on each new lot. The existing dwellings would be demolished. Related minor variance applications have been submitted to accommodate the proposed development.

149 Estelle Ave (part1) House C
151 Estelle Ave (part2&3) House B
151 Estelle Ave (part 4) House A.

RETAINED - Part 4

Part 4 has a lot frontage of 13.72m and a lot area of 491.7m². The lot will be redeveloped with a new detached residential dwelling.

CONVEYED - Part 3

Part 3 has a lot frontage of 4.57m and a lot area of 163.7m². Part 3 will be added to the Part 2 (severed from B070/16NY) to create a new building lot with a frontage of 13.72m and a lot area of 491.6m². Parts 2 and 3 will be redeveloped with a new detached residential dwelling.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**
The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

PE:

PLAN 66R-

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

RECEIVED AND DEPOSITED:

DATE: JUNE 07, 2016

DATE: _____, 2016

AZIZ ABDELSHAHID, O.L.S.

REPRESENTATIVE FOR LAND REGISTRATION FOR THE LAND TITLES DIVISION OF THE TORONTO REVENUE OFFICE (No. 66)

**PLAN OF SURVEY OF
PART OF LOT 125
REGISTERED PLAN M-8
CITY OF TORONTO**

SCALE = 1 : 400
0 10 20 metres

MITSICHE & AZIZ INC., O.L.S.

METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE

BEARINGS HEREON ARE GRID BEARINGS AND ARE DERIVED FROM CONTROL POINTS LISTED BELOW AND ARE REFERRED TO CENTRAL MERIDIAN 79°30' WEST LONGITUDE ZONE 10.

POINTS	EASTING	NORTHING
A	313231.98	494839.153
A	313257.130	494867.013

COORDINATES ARE MTM ZONE 10/NAD 83 (CSRS) TO URBAN ACCURACY PER SEC. 14 (2) OF O-REG. 216/10 AND CANNOT IN THEMSELVES BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

COORDINATE VALUES

NO	EASTING	NORTHING
1	313290.427	494868.976
2	313288.657	494867.823
3	313302.863	494867.95
4	313347.783	494853.348

DISTANCE SHOWN ON THE PLAN ARE ADJUSTED GRID DISTANCE AND CAN BE USED TO COMPUTE GRID DISTANCE BY MULTIPLYING BY A CORRECTED SCALE FACTOR OF 0.999990

SCHEDULE

PART	PART OF LOT	REGISTERED PLAN	PIN	AREA (SQM)
1			PART OF PIN 10064-0102 (LT)	471.2 m ²
2			PART OF PIN 10064-0102 (LT)	377.9 m ²
3			PART OF PIN 10064-0101 (LT)	163.7 m ²
4			PART OF PIN 10064-0101 (LT)	491.7 m ²

SURVEYOR'S CERTIFICATE

I CERTIFY THAT THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM. THE SURVEY WAS COMPLETED ON THE 31st DAY OF MAY, 2016 DATE: MAY 20, 2016

OUTRANS LAND SURVEYOR

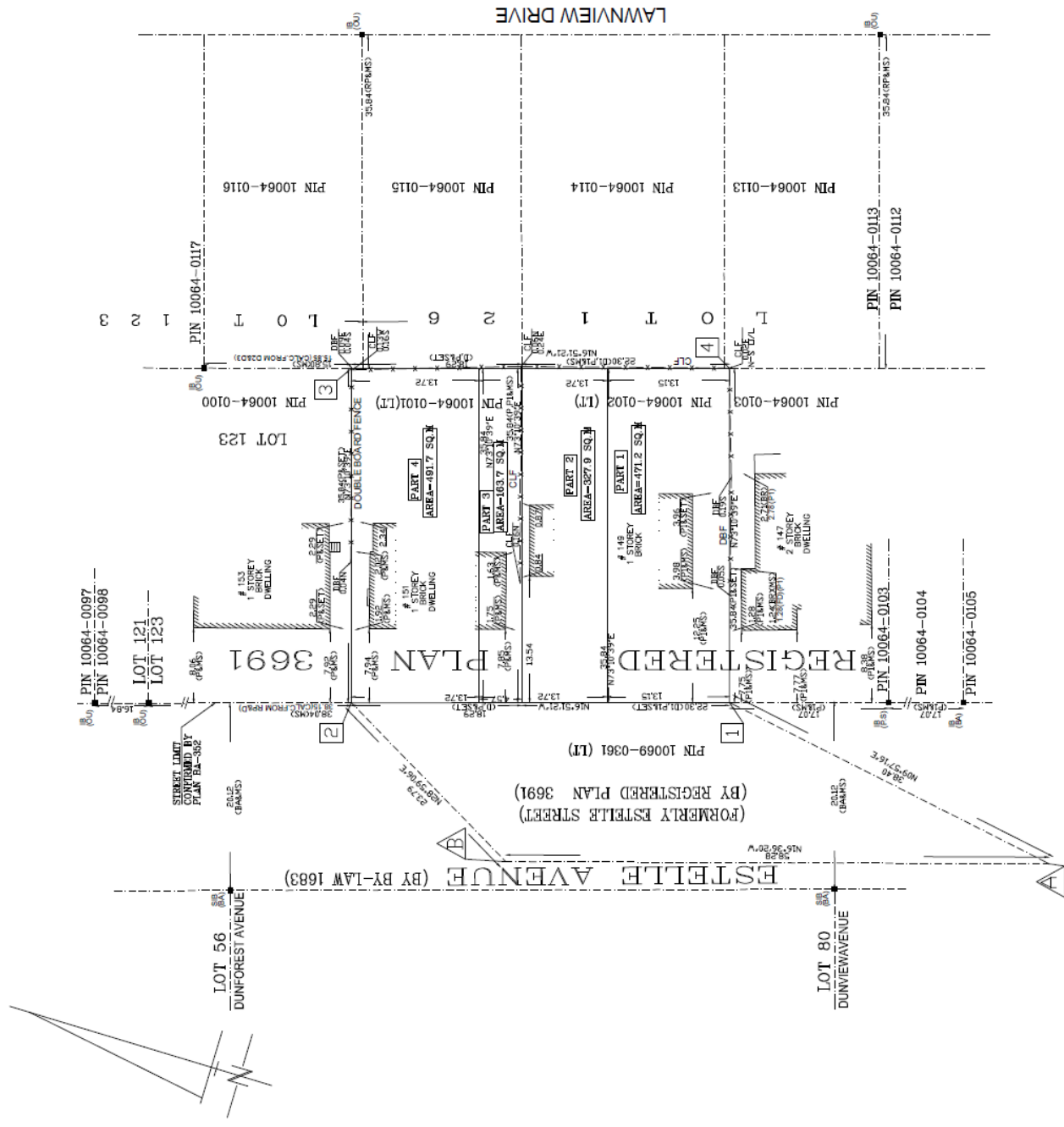
MITSICHE & AZIZ INC.

ONTARIO LAND SURVEYORS
120 NEWKIRK ROAD - #31, RICHMOND HILL, ONT. L4C 9S7
Tel: (905) 237-8224 Fax: (416) 477-5465
Website: M-Azizsurveys.ca
E-Mail: aziz@m-azizsurveys.ca

PROJECT NUMBER 016-184

DRAWN BY: JI CHECKED BY: A.A.

- LEGEND:**
- IDENTITIES
 - SURVEY MONUMENT FOUND
 - SURVEY MONUMENT SET
 - SURVEY MONUMENT MARK
 - NORTH EAST SOUTH WEST
 - N.E.S.W
 - CLF
 - SHOWN FOR FENCE
 - REGISTERED PLAN 3691
 - PART OF PIN 10064-0102
 - PART OF PIN 10064-0101
 - PIN
 - O.L.S. PARTIAL SURVEYOR
 - O.L.S. DATED AUGUST 14, 2010
 - BA
 - D.L.
 - D.C.
 - P.S.AUR. O.L.S.



LOT 123

LOT 121

LOT 122

LOT 125

ESTELLE AVENUE (BY BY-LAW 1683)

DUNWIN AVENUE

LAWVIEW DRIVE

REGISTERED PLAN 3691

PIN 10064-0103

PIN 10064-0102

PIN 10064-0101

PIN 10064-0113

PIN 10064-0114

PIN 10064-0115

PIN 10064-0116

PIN 10064-0117

PIN 10064-0104

PIN 10064-0105

SIGNATURE PAGE

File Number:	B0071/16NY	Zoning	R4/RD(f15;a550)(x5)[ZONING]
Owner(s):	NIMA NAGHAVI	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	151 ESTELLE AVE	Community:	North York
Legal Description:	PLAN 3691 S 123		

Denise Graham (signed)

Giacomo Tonon (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, June 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0903/16NY	Zoning	R4/RD(f15;a550)(x5)[ZONING]
Owner(s):	NIMA NAGHAVI	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	151 ESTELLE AVE (PART 4)	Community:	North York
Legal Description:	PLAN 3691 S 123		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed north side yard setback is 1.75m.
- Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed south side yard setback is 1.75m.
- Chapter 10.20.30.20.(1), By-law No. 569-2013**
The minimum required lot frontage is 15m.
The proposed lot frontage is 13.72m.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
- Chapter 10.20.30.10.(1), By-law No. 569-2013**
The minimum required lot area is 550m².
The proposed lot area is 491.7m².

6. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m for 100% of the width of the walls.
The proposed height of the north side exterior main wall facing a side lot line is 7.88m for 11.5% of the width of the wall.
7. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m for 100% of the width of the walls.
The proposed height of the south side exterior main wall is 7.88m for 12.4% of the width of the wall.
8. **Section 6(8) and 13.2.1, By-law No. 7625**
The minimum required lot frontage and width is 15m.
The proposed lot frontage and width is 13.72m.
9. **Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 491.7m²
10. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
11. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 8.99m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0455/17NY	Zoning	R4/RD(f15;a550)(x5)[ZONING]
Owner:	NIMA NAGHAVI	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	151 ESTELLE AVE (PART 4)	Community:	North York
Legal Description:	PLAN 3691 S 123		

Denise Graham (signed)

Giacomo Tonon (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0904/16NY	Zoning	R4/RD(f15;a550)(x5)[ZONING]
Owner(s):	NIMA NAGHAVI	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	151 ESTELLE AVE (PARTS 2 & 3)	Community:	North York
Legal Description:	PLAN 3691 S 123		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed north side yard setback is 1.75m.
- 2. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed south side yard setback is 1.75m.
- 3. Chapter 10.20.30.10.(1), By-law No. 569-2013**
The minimum required lot area is 550m².
The proposed lot area is 491.6m².
- 4. Chapter 10.20.30.20.(1), By-law No. 569-2013**
The minimum required lot frontage is 15m.
The proposed lot frontage is 13.72m.
- 5. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.

6. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line 7.5m for 100% of the width of the walls.
The proposed height of the north side exterior main wall facing a side lot line is 7.88m. for 11.5% of the width of the wall.
7. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line 7.5m for 100% of the width of the walls.
The proposed height of the south side exterior main wall facing a side lot line is 7.88m. for 12.4% of the width of the wall.
8. **Chapter 10.20.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 7.83m.
The proposed front yard setback is 7.78m.
9. **Section 13.2.1, By-law No. 7625**
The minimum required lot frontage and width is 15m.
The proposed lot frontage and width is 13.72m.
10. **Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 491.6m².
11. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
12. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 8.99m.
13. **Section 6(30)a, By-law No. 7625**
The maximum permitted finished first floor height is 1.5m.
The proposed finished first floor height is 1.64m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0904/16NY	Zoning	R4/RD(f15;a550)(x5)[ZONING]
Owner:	NIMA NAGHAVI	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	151 ESTELLE AVE (PARTS 2 & 3)	Community:	North York
Legal Description:	PLAN 3691 S 123		

Denise Graham (signed)

Giacomo Tonon (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0906/16NY	Zoning	R4/RD(f15;a550)(x5)[ZONING]
Owner(s):	BIJAN VAKILI	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	149 ESTELLE AVE (PART 1)	Community:	North York
Legal Description:	PLAN 3691 PT LOT 125		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed north side yard setback is 1.52m.
- Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed south side yard setback is 1.52m.
- Chapter 10.20.30.10.(1), By-law No. 569-2013**
The minimum required lot area is 550m².
The proposed lot area is 471.2m².
- Chapter 10.20.30.20.(1), By-law No. 569-2013**
The minimum required lot frontage is 15m
The proposed lot frontage is 13.1m.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.9% of the lot area.

6. **Chapter 10.20.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 7.83m.
The proposed front yard setback is 7.78m.
7. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m for 100% of the width of the walls.
The proposed height of the north side exterior main wall facing a side lot line is 7.88m for 12.3% of the width of the wall.
8. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m for 100% of the width of the walls.
The proposed height of the south side exterior main wall is 7.88m for 11.8% of the width of the wall.
9. **Section 13.2.1, By-law No. 7625**
The minimum required lot frontage and width is 15m.
The proposed lot frontage and width is 13.1m.
10. **Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 471.2m².
11. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.9% of the lot area.
12. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 8.99m.
13. **Section 6(30)a, By-law No. 7625**
The maximum permitted finished first floor height is 1.5m.
The proposed finished first floor height is 1.65m.
14. **Section 13.2.3A, By-law No. 7625**
The minimum required side yard setback is 1.6m.
The proposed north side yard setback is 1.52m.
15. **Section 13.2.3A, By-law No. 7625**
The minimum required side yard setback is 1.6m.
The proposed south side yard setback is 1.52m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0906/16NY	Zoning	R4/RD(f15;a550)(x5)[ZONING]
Owner:	BIJAN VAKILI	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	149 ESTELLE AVE (PART 1)	Community:	North York
Legal Description:	PLAN 3691 PT LOT 125		

Denise Graham (signed)

Giacomo Tonon (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0187/17NY	Zoning	R2 / RM [WAIVER]
Owner(s):	GIORGIO POLSINELLI GIORGIO POLSINELLI	Ward:	Eglinton-Lawrence (15)
Agent:	GIORGIO POLSINELLI	Heritage:	Not Applicable
Property Address:	485 RIDELLE AVE (PART 1)	Community:	York
Legal Description:	PLAN 1775 PT LOT 433 EPT 434		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a four-storey semi-detached single family dwelling with integral garage. The existing building would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.80.40.70(3)(b), By-law No. 569-2013**
The minimum required side yard setback is 1.500m.
The proposed west side yard setback is 0.914m.
- 2. Chapter 10.80.40.40(1)(a), By-law No. 569-2013**
The maximum required gross floor area is 0.80 times the area of the lot.
The proposed gross floor area is 0.93 times the area of the lot.
- 3. Chapter 10.80.30.20(1)(a)(c), By-law No. 569-2013**
The minimum required lot frontage is 6.000m.
The proposed lot frontage is 5.715m.
- 4. Chapter 10.80.40.50(2)(b), By-law No. 569-2013**
The maximum permitted area of a platform or balcony at or above the second storey is 4.00m².
The proposed area of the platform is 14.63m².
- 5. Chapter 10.80.40.50.(2)(c), By-law No. 569-2013**
The minimum required setback for a rear platform at or above the second storey of a semi-detached dwelling is 1.80m from the common wall dividing the dwelling units.
The proposed rear platform will be located 0.00m from the common wall.

6. **Section 8.3.(a), By-law No. 1-83**
The minimum required lot frontage is 6.000m.
The proposed lot frontage is 5.715m.
7. **Section 8.3.(a), By-law No. 1-83**
The minimum required side yard setback is 1.200m.
The proposed west side yard setback is .914m.
8. **Section 8.3.(a), By-law No. 1-83**
The maximum required gross floor area is 0.80 times the area of the lot.
The proposed gross floor area is 0.93 times the area of the lot.
9. **Section 8.3.(a), By-law No. 1-83**
The maximum permitted height of a building is 11.00m with not more than 3 storeys.
The proposed building height is 11.00m with not more than 4 storeys.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0187/17NY	Zoning	R2 / RM [WAIVER]
Owner:	GIORGIO POLSINELLI	Ward:	Eglinton-Lawrence (15)
	GIORGIO POLSINELLI		
Agent:	GIORGIO POLSINELLI	Heritage:	Not Applicable
Property Address:	485 RIDELLE AVE	Community:	York
	(PART 1)		
Legal Description:	PLAN 1775 PT LOT 433 EPT 434		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, June 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0188/17NY	Zoning	R2 / RM [WAIVER]
Owner(s):	GIORGIO POLSINELLI GIORGIO POLSINELLI	Ward:	Eglinton-Lawrence (15)
Agent:	GIORGIO POLSINELLI	Heritage:	Not Applicable
Property Address:	485 RIDELLE AVE (PART 2)	Community:	York
Legal Description:	PLAN 1775 PT LOT 433 EPT 434		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a four-storey semi-detached single family dwelling with integral garage. The existing building would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.80.40.70(3)(b), By-law No. 569-2013**
The minimum required side yard setback is 1.500m.
The proposed east side yard setback is 0.914m.
- 2. Chapter 10.80.40.40(1)(a), By-law No. 569-2013**
The maximum required gross floor area is 0.80 times the area of the lot.
The proposed gross floor area is 0.93 times the area of the lot.
- 3. Chapter 10.80.30.20(1)(a)(c), By-law No. 569-2013**
The minimum required lot frontage is 6.000m.
The proposed lot frontage is 5.715m.
- 4. Chapter 10.80.40.50(2)(b), By-law No. 569-2013**
The maximum permitted area of a platform or balcony at or above the second storey is 4.00m².
The proposed area of the platform is 14.63m².
- 5. Chapter 10.80.40.50.(2)(c), By-law No. 569-2013**
The minimum required setback for a rear platform at or above the second storey of a semi-detached dwelling is 1.80m from the common wall dividing the dwelling units.
The proposed rear platform will be located 0.00m from the common wall.

6. **Section 8.3.(a), By-law No. 1-83**
The minimum required lot frontage is 6.000m.
The proposed lot frontage is 5.715m.
7. **Section 8.3.(a), By-law No. 1-83**
The minimum required side yard setback is 1.200m.
The proposed east side yard setback is .914m.
8. **Section 8.3.(a), By-law No. 1-83**
The maximum required gross floor area is 0.80 times the area of the lot.
The proposed gross floor area is 0.93 times the area of the lot.
9. **Section 8.3.(a), By-law No. 1-83**
The maximum permitted height of a building is 11.00m with not more than 3 storeys.
The proposed building height is 11.00m with not more than 4 storeys.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0188/17NY	Zoning	R2 / RM [WAIVER]
Owner:	GIORGIO POLSINELLI	Ward:	Eglinton-Lawrence (15)
	GIORGIO POLSINELLI		
Agent:	GIORGIO POLSINELLI	Heritage:	Not Applicable
Property Address:	485 RIDELLE AVE	Community:	York
	(PART 2)		
Legal Description:	PLAN 1775 PT LOT 433 EPT 434		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0289/17NY	Zoning	CR/MCR [PPR]
Owner(s):	CITY OF TORONTO CITY OF TORONTO	Ward:	Eglinton-Lawrence (15)
Agent:	EGF AND ASSOCIATES	Heritage:	Not Applicable
Property Address:	2204, 2212 EGLINTON AVE W AND 601 CALEDONIA RD.	Community:	York
Legal Description:	PRT LOTS 1, 2 & 4 PLAN 1700		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit the development of a municipal surface parking lot. The existing structures would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 40.10.10.100.(9) By-law No. 569-2013**
All parking must be setback 1.50m from an R Zone.
The proposed has one (1) parking space 0.00m from an R Zone.
- 2. Chapter 40.10.20.100.(11), By-law No. 569-2013**
Public parking in a surface parking lot is a permitted use provided that a fence along all lot lines that abut a street, except for the portions used for vehicle and pedestrian access.
The proposed surface public parking lot requires a fence.
- 3. Section 3.5, By-law No. 1-83**
The minimum required landscaping is 1.50m to parking that abuts an R zone.
- 4. Section 3.5.5, By-law No. 1-83**
All parking must be setback 1.50m from an R Zone.
The proposed has one (1) parking space within the 1.50m required setback abutting an R Zone.
- 5. Section 11.2.1(16), By-law No. 1-83**
A parking lot shall be conducted wholly within a fully enclosed building.
The proposed parking lot is not conducted wholly within a fully enclosed building.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0289/17NY	Zoning	CR/MCR [PPR]
Owner:	CITY OF TORONTO CITY OF TORONTO	Ward:	Eglinton-Lawrence (15)
Agent:	EGF AND ASSOCIATES	Heritage:	Not Applicable
Property Address:	2204, 2212 EGLINTON AVE W AND 601 CALEDONIA RD.	Community:	York
Legal Description:	PRT LOTS 1, 2 & 4 PLAN 1700		

Denise Graham (signed)

Giacomo Tonon (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0337/17NY	Zoning	RD / R4 (ZR)
Owner(s):	PARASTOO NIKBAKHT	Ward:	Willowdale (23)
Agent:	HOMELAND	Heritage:	Not Applicable
Property Address:	90 BEVDALE RD	Community:	North York
Legal Description:	PLAN 3912 LOT 31		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new dwelling with attached garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the side exterior main walls facing a side lot line is 8.62 m.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**
On a lot with a minimum required lot frontage of 18.0 m or less, the permitted maximum building length for a detached house is 17.0 m.
The proposed building length is 18.8 m.
- 3. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The permitted maximum building depth for a detached house is 19.0 m.
The proposed building depth is 20.4 m.
- 4. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed west side yard setback is 1.5 m.
- 5. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is 1.5 m.
- 6. Section 13.2.1 and 6(8), By-law No. 7625**
The minimum required lot frontage and lot width is 15 m.
The existing lot frontage and lot width is 13.9 m.

7. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is 1.5 m.
8. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed west side yard setback is 1.5 m.
9. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 20.12 m.
10. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.18 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

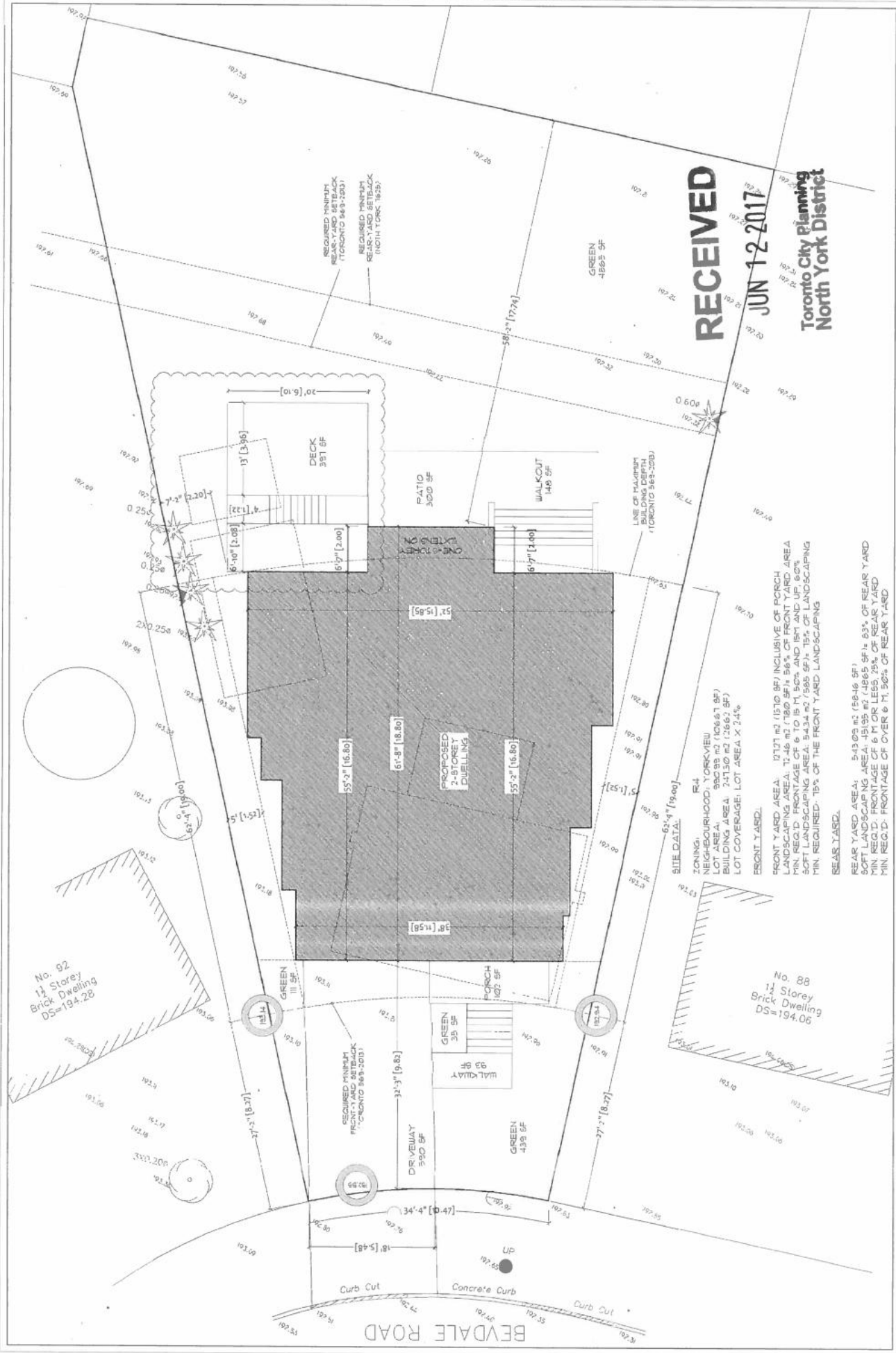
This decision is subject to the following condition(s):

1) **The requirements of the Parks and Recreation, Urban Forestry Division;**

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

- 2) The proposal be developed in accordance with the site plan, first floor plan, second floor plan, and the west side (left) elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, June 12, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

THESE DRAWINGS ARE THE PROPERTY OF HORTLAND AND ARE NOT TO BE REPRODUCED OR USED FOR OTHER PROJECTS, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. IT IS FORBIDDEN.



RECEIVED

JUN 12 2017

**Toronto City Planning
North York District**

REQUIRED MINIMUM
REAR-YARD SETBACK
(TORONTO 569-393)
REQUIRED MINIMUM
REAR-YARD SETBACK
(NORTH YORK 1629)

LINE OF MAXIMUM
BUILDING DEPTH
(TORONTO 565-309)

SITE DATA: 19,000
ZONING: R4
NEIGHBOURHOOD: YORKVIEW
FRONT YARD AREA: 17,177 m² (157,087 SF)
BUILDING AREA: 2,473 m² (26,602 SF)
LOT COVERAGE: LOT AREA X 24%

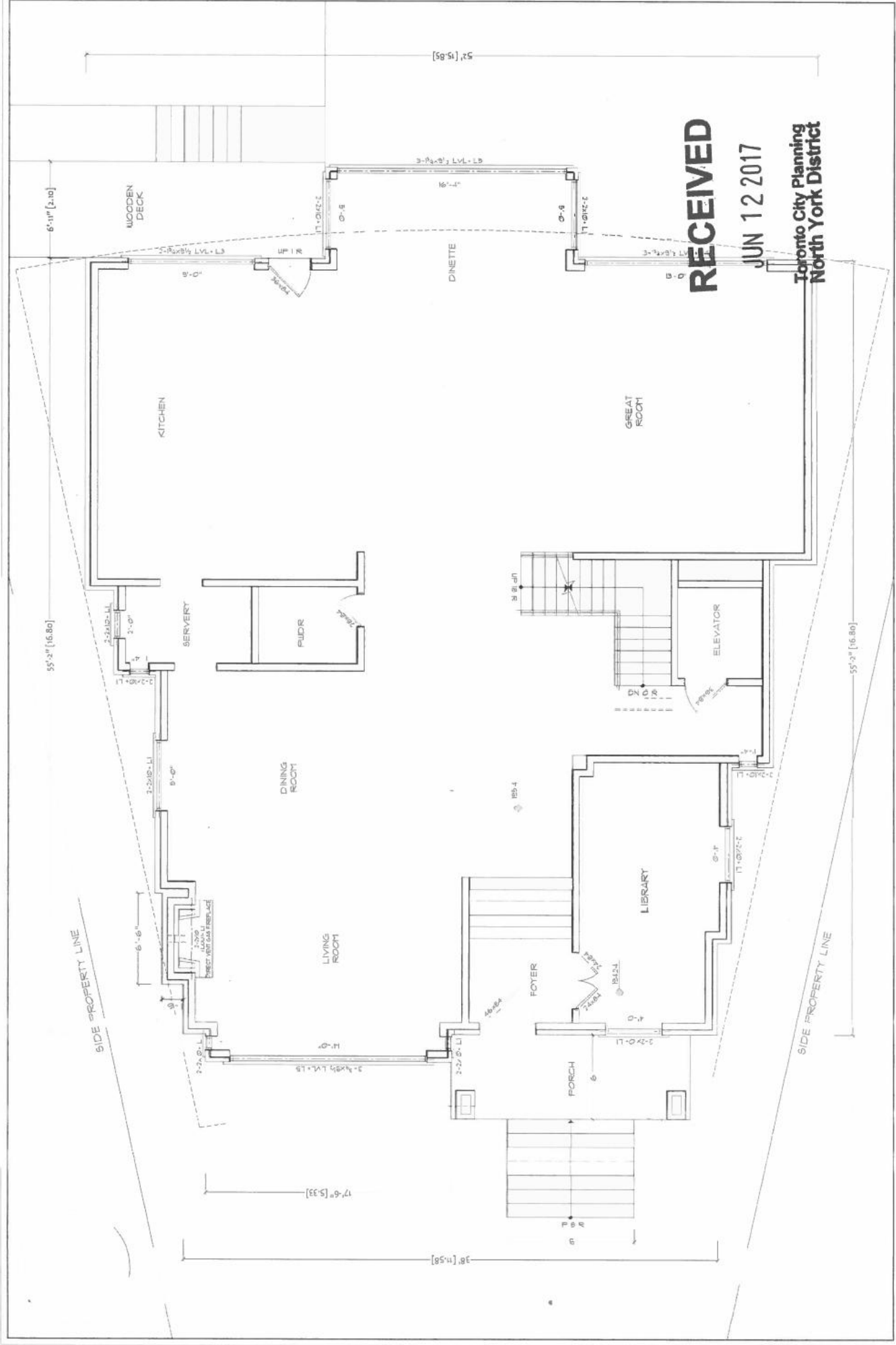
FRONT YARD:
FRONT YARD AREA: 17,177 m² (157,087 SF) INCLUSIVE OF PORCH
LANDSCAPING AREA: 17,146 m² (186,657 SF) 56% OF FRONT YARD AREA
MIN. REQ'D. FRONTAGE OF 6 TO 15 M (56% AND 15% AND UP TO 60%
SOFT LANDSCAPING AREA: 9,434 m² (102,000 SF) 15% OF LANDSCAPING
MIN. REQUIRED: 15% OF THE FRONT YARD LANDSCAPING

REAR YARD:
REAR YARD AREA: 5,430 m² (58,466 SF)
SOFT LANDSCAPING AREA: 49,955 m² (538,587 SF) 63% OF REAR YARD
MIN. REQ'D. FRONTAGE OF 6 M OR LESS: 25% OF REAR YARD
MIN. REQ'D. FRONTAGE OF OVER 6 M: 50% OF REAR YARD

No. 92
1 1/2 Storey
Brick Dwelling
DS=194.28

No. 88
1 1/2 Storey
Brick Dwelling
DS=194.06

THESE DRAWINGS ARE THE PROPERTY OF "HOMELAND" AND ANY REPRODUCTION OR USE FOR OTHER PROJECTS, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF THE DESIGNER IS FORBIDDEN.



RECEIVED

JUN 12 2017

**Toronto City Planning
North York District**

SIGNATURE PAGE

File Number:	A0337/17NY	Zoning	RD / R4 (ZR)
Owner:	PARASTOO NIKBAKHT	Ward:	Willowdale (23)
Agent:	HOMELAND	Heritage:	Not Applicable
Property Address:	90 BEVDALE RD	Community:	North York
Legal Description:	PLAN 3912 LOT 31		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0338/17NY	Zoning	RD/R4[ZONING]
Owner(s):	GEORGE DANIEL JORISCH SUZANNE EMESTINE M. JORISCH	Ward:	Don Valley East (33)
Agent:	SYNTHESIS HOMES INC	Heritage:	Not Applicable
Property Address:	48 SILKWOOD CRES	Community:	North York
Legal Description:	PLAN 7141 LOT 312		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second floor addition above the existing one-storey portion of the dwelling and a two-storey rear and side addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.60.(2), By-law No. 569-2013

A canopy, awning or similar structure not covering a platform may encroach in a front yard or rear yard: 2.5m, if it is no closer to a side lot line than the minimum required side yard setback.
The proposed canopy encroaches 1.2m and is 0.84m closer to the east side lot line than the required setback.

2. Chapter 10.20.40.50.(1), By-law No. 569-2013

The permitted maximum area of each platform at or above the second storey of a detached house is 4.0m²
The proposed area of each platform at or above the second storey is 11.45m².

3. Section 6(9)(i), By-law No. 7625

The maximum area for canopies is 2.3m² or less in area that shall be permitted to project into one minimum side yard setback not more than 1.6m but no closer than 0.6m from any side lot line.
The proposed east side canopy is 10.71m² in area

4. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.8m
The proposed building height is 9.12m.

5. Section 6(9)(f), By-law No. 7625

Canopies shall be permitted to project into the minimum front yard setback not more than 2.1m but no closer to the side lot line than the minimum side yard setback for the main building.
The proposed front canopy projects 1.2m and it is 0.84m from the east lot line.

6. Section 13.2.6A, By-law No. 7625

The maximum permitted balcony area is 3.8m².
The proposed balcony area is 11.45m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0338/17NY	Zoning	RD/R4[ZONING]
Owner:	GEORGE DANIEL JORISCH SUZANNE EMESTINE M. JORISCH	Ward:	Don Valley East (33)
Agent:	SYNTHESIS HOMES INC	Heritage:	Not Applicable
Property Address:	48 SILKWOOD CRES	Community:	North York
Legal Description:	PLAN 7141 LOT 312		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0339/17NY	Zoning	RM (d0.6) (x263)/ R2A
Owner(s):	ARASH NAKHOST MARJAN HATAMI	Ward:	Don Valley West (26)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	254 AIRDRIE RD	Community:	
Legal Description:	PLAN 2120 LOT 146		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new one-storey front addition, a rear one-storey addition and a rear second storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.70, By-law No. 569-2013**
The minimum required front yard setback is 8.49m.
The proposed front yard setback is 6.98m.
- 2. Chapter 10.80.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length 18.27m.
- 3. Chapter 10.5.40.60.(1)(A)(i), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.30m from a building, with a floor no higher than the first floor of the building above established grade may encroach 2.50m into the required front yard setback.
The proposed porch encroaches 2.58m into the front yard setback.
- 4. Chapter 10.5.50.10.(1) B), By-law No. 569-2013**
A minimum of 50.00% of the required front yard must be landscaping.
The proposed front yard landscaping area is 45.90%
- 5. Chapter 200.5.10.1.(1), By-law No. 569-2013**
The minimum required number of parking spaces for the dwelling unit in a detached house is one.
The proposed number of parking spaces is zero.

6. Section 6.4.3, By-law No. 1916

The maximum permitted building length is 16.75m.

The proposed building length is 18.27m.

7. Section 6.4.3, By-law No. 1916

The minimum required number of off-street parking spaces is one space behind the main front wall.

The proposed number of parking spaces is zero.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

i)Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

- 2) The proposal be developed in accordance with the Site Plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, June 13, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*

LOT 53

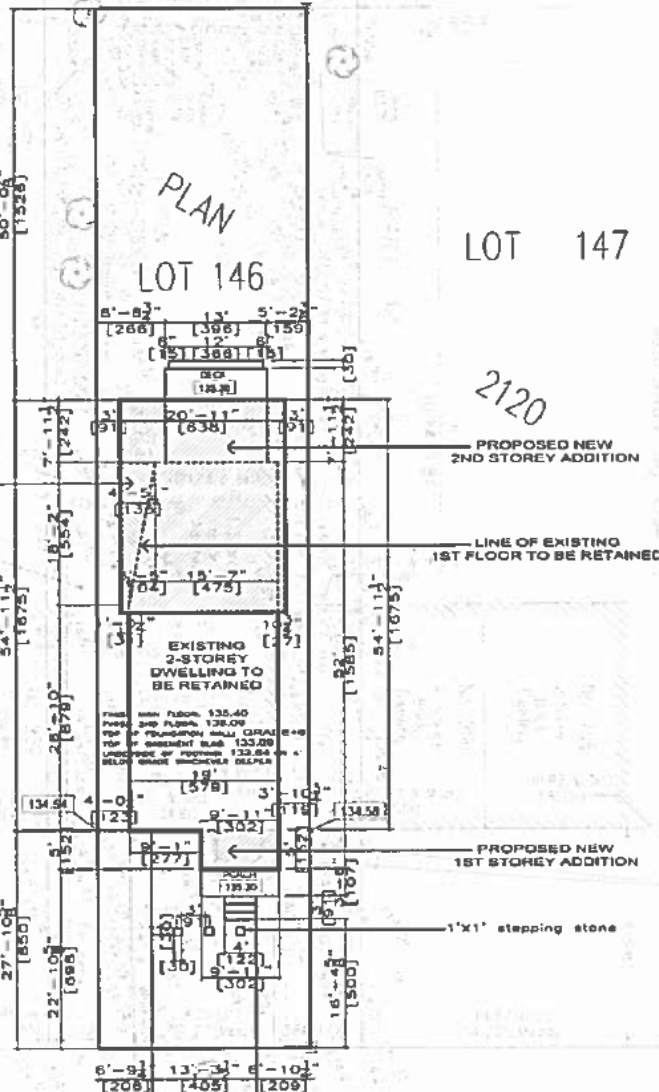
LOT 52

LOT 51

LOT 50



REGISTERED



RECEIVED

JUN 13 2017

FRONT YARD AREA= 726.34 S.F.
 HARD LANDSCAPING AREA= 46.69 S.F.
 SOFT LANDSCAPING AREA= 679.65 S.F. (%93.97)
 LANDSCAPE OPEN SPACE= 726.34 S.F. (%100)

AIRDRIE ROAD
 (BY REGISTERED PLAN 2120)

CITY OF NORTH YORK
 ENGINEERING

SITE DATA	
ZONING	RM(M.O.S)(=263)
LOT #	146
PLAN #	2120
LOT AREA	332.96 S.F. 2879.66 S.F.
LOT FRONTAGE	6.21 M

AREA	EXISTING	PROPOSED	PROPOSED COVERAGE
LOT COVERAGE	-	69.37 S.F. 662.07 S.F.	26.67%
G.P.A.	-	191.20 S.F. 2098.16 S.F.	57.9%
NO. OF STORIES	-	2 STORIES	
PARKING	-	-	

designed by:
ALI SHAKERI
 T.416 8166851 F.416 2508900
ARCICA INC.
 326 SHEPPARD AVENUE EAST, M2N 3B4
 TORONTO, ONTARIO, CANADA

Project: **254 AIRDRIE ROAD**
 drawing: **SITE PLAN**
 scale: **1/16"=1'**
 sheet: **A1**

revisions:
 FEB.01.2017 - ISSUED FOR CDA
 FEB.09.2017 - ISSUED FOR PERMIT
 THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN. & HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE O.B.C. TO BE A DESIGNER AS SET OUT:
 BCIN#24874
 P&A Associates Ltd.
 BCIN#30888

1. ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST REVISION OF THE ONTARIO BUILDING CODE.
 2. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
 3. DO NOT SCALE DRAWINGS.
 4. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO P&A ASSOCIATES BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION PRIOR TO COMMENCEMENT OF THE WORK.
 5. USE ONLY LATEST REVISED DRAWINGS OF THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION".
 6. ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY CERTIFIED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

SIGNATURE PAGE

File Number:	A0339/17NY	Zoning	RM (d0.6) (x263)/ R2A
Owner:	ARASH NAKHOST MARJAN HATAMI	Ward:	Don Valley West (26)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	254 AIRDRIE RD	Community:	
Legal Description:	PLAN 2120 LOT 146		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, June 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0340/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	RIVKA ISRAELSKI ABRAHAM ISRAELSKI	Ward:	Willowdale (23)
Agent:	IAN ROBERTSON DESIGN	Heritage:	Not Applicable
Property Address:	23 DONNALYN DR	Community:	North York
Legal Description:	PLAN 6715 LOT 121		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **32.40%** of the lot area.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is **1.55m**.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.55m.
- Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is **1.55m**.
- Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.55m.
- Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **32.40%** of the lot area.

7. Section 6(24), By-law No. 7625

The maximum permitted rear deck projection is 2.10m from the wall, a maximum height of 1.00m and is not to be more than half the width of the dwelling.

The proposed rear deck is greater than 1.00m in height and projects 3.05m from the rear wall.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0340/17NY	Zoning	RD/R4 [ZZC]
Owner:	RIVKA ISRAELSKI ABRAHAM ISRAELSKI	Ward:	Willowdale (23)
Agent:	IAN ROBERTSON DESIGN	Heritage:	Not Applicable
Property Address:	23 DONNALYN DR	Community:	North York
Legal Description:	PLAN 6715 LOT 121		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, June 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0341/17NY	Zoning	RD / R4 (ZR)
Owner(s):	BENJAMIN HOWARD COHEN JANE ALISON RIMMER	Ward:	York Centre (10)
Agent:	STAMBUK HOMES	Heritage:	Not Applicable
Property Address:	251 CODSELL AVE	Community:	North York
Legal Description:	CON 2 WY PT LOT 16		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To bring the existing enclosed glass veranda at the rear of the property into compliance.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 34% of the lot area.
- Chapter 900 exception (5), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed side yard setback is 0.28 m.
- Chapter 10.5.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.
The proposed eaves project 0.28 m and are 0 m from the east lot line.
- Section 13.2.3.(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is 0.28 m.
- Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 34% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0341/17NY	Zoning	RD / R4 (ZR)
Owner:	BENJAMIN HOWARD COHEN JANE ALISON RIMMER	Ward:	York Centre (10)
Agent:	STAMBUK HOMES	Heritage:	Not Applicable
Property Address:	251 CODSELL AVE	Community:	North York
Legal Description:	CON 2 WY PT LOT 16		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0342/17NY	Zoning	RA/R3A[ZONING]
Owner(s):	CENTURION PROPERTY ASSOCIATES INC CENTURION PROPERTY ASSOCIATES INC	Ward:	Don Valley West (26)
Agent:	PARADIGM ARCHITECTURE	Heritage:	Not Applicable
Property Address:	26 THORNCLIFFE PARK DR	Community:	North York
Legal Description:	PLAN M768 LOT 5		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To convert storage space in apartment building to new three bedroom apartment unit.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 200.5.10.11.(2), By-law No. 569-2013**
The minimum required number of additional parking spaces for tenants is 1.
The proposed parking space for tenants is 0.
- 2. Chapter 200.5.10.11.(2), By-law No. 569-2013**
The minimum required number of additional parking spaces for visitor is 1.
The proposed parking space for visitors is 0.
- 3. Chapter 230.5.10.11.(4), By-law No. 569-2013**
The required minimum number of additional long term bike parking spaces is 1
The proposed additional long term spaces is 0.
- 4. Chapter 230.5.10.11.(4), By-law No. 569-2013**
The required minimum number of additional short term bike parking spaces is 1.
The proposed additional short term bike parking spaces is 0.
- 5. Section 6.7.3, By-law No. 1916**
The minimum required number of parking spaces is 77 spaces.
The existing number of parking spaces is 59 spaces.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0342/17NY	Zoning	RA/R3A[ZONING]
Owner:	CENTURION PROPERTY ASSOCIATES INC CENTURION PROPERTY ASSOCIATES INC	Ward:	Don Valley West (26)
Agent:	PARADIGM ARCHITECTURE	Heritage:	Not Applicable
Property Address:	26 THORNCLIFFE PARK DR	Community:	North York
Legal Description:	PLAN M768 LOT 5		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0343/17NY	Zoning	RD (f12.0; a370) (x1463)/ (R6(20) [ZZC])
Owner(s):	MORTEZA FOROUTANEISHABADI FATEMEH ZAKIZADEH GHARYEHALI	Ward:	Eglinton-Lawrence (16)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	427 DOUGLAS AVE	Community:	North York
Legal Description:	PLAN 1537 PT LOT 981		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1) A), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 36.00% of the lot area.
- 2. Chapter 10.20.40.10 A)(i), By-law No. 569-2013**
The maximum permitted height of all side main walls is 7.50m.
The proposed height of the east and west side exterior main walls is 8.29m.
- 3. Section 14-A, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 36.00% of the lot area.
- 4. Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.14m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be constructed in accordance with the side elevations submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, June 12, 2017 to support the second storey windows be at a height of 8.29m and the remainder of the side walls be at 7.50m.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

1106 70 50	1	COA
09 22 2017	1	CONTRACT & CO.
02 22 2017	1	CONTRACT & CO.
02 22 2017	1	CONTRACT & CO.
02 22 2017	1	CONTRACT & CO.

SCALE: 1/8"=1'-0"

DRAWING TITLE: SIDE ELEVATION (WEST)

A8

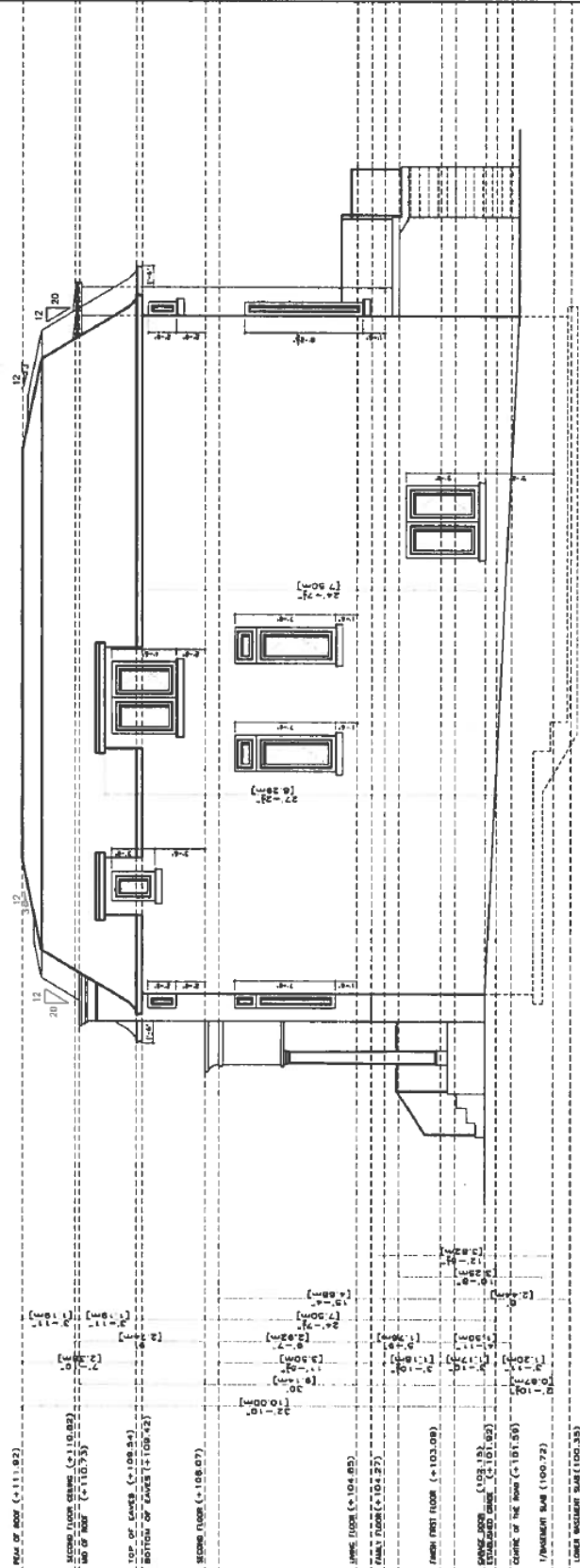
SHEET NUMBER:

PROJECT TITLE:
427 DOUGLAS AVENUE
TORONTO, ONTARIO

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JUN 12 2017

Toronto City Planning
North York District



TOP OF ROOF (+111.02)

TOP OF SINKS (+108.54)
BOTTOM OF SINKS (+108.72)

SECOND FLOOR (+108.07)

FIRST FLOOR (+104.83)
FINISH FLOOR (+104.27)

FINISH FLOOR (+103.09)

FINISH FLOOR (+103.13)
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CORNER OF THE ROOF (+101.09)
FINISH FLOOR (+100.72)
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02/29/2017
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 COACH
 COMMUNITY

DRAWING TITLE: SIDE ELEVATION (EAST)
 SCALE: 1/8"=1'-0"

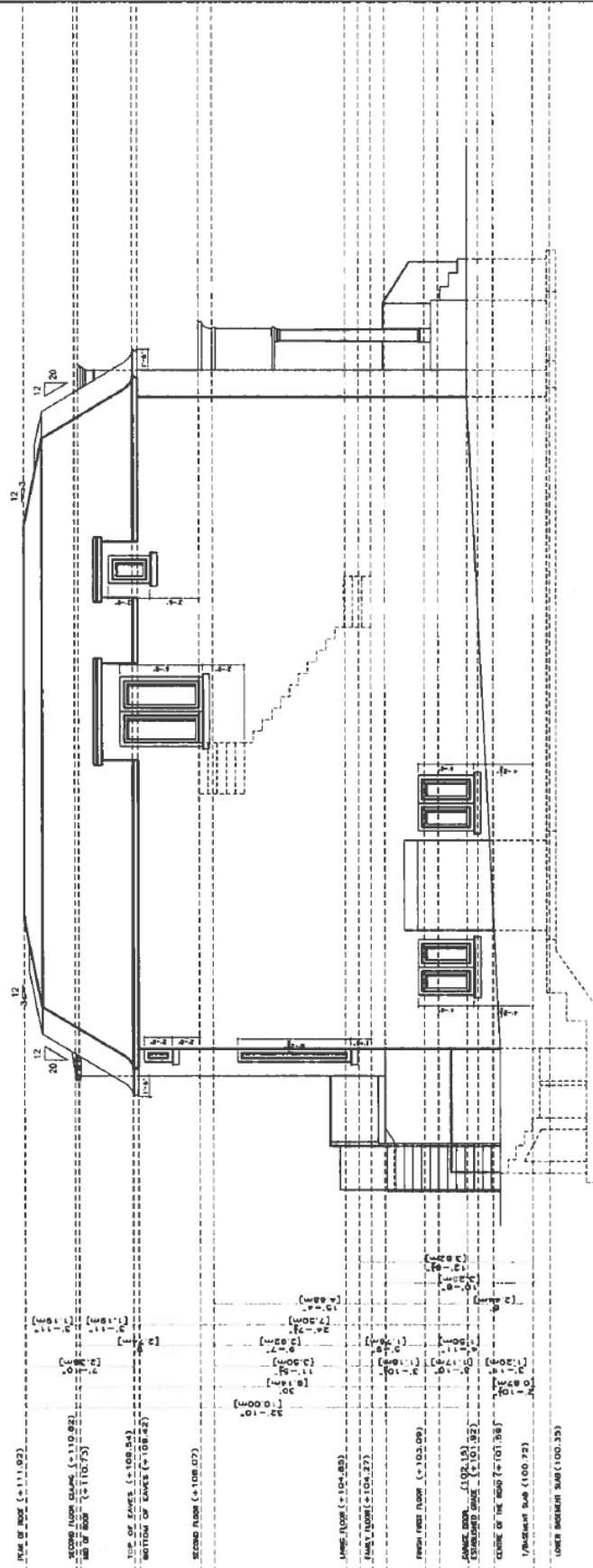
SHEET NUMBER: A9

PROJECT TITLE:
 427 DOUGLAS AVENUE
 TORONTO, ONTARIO

RECEIVED

JUN 12 2017

Toronto City Planning
 North York District



SIGNATURE PAGE

File Number:	A0343/17NY	Zoning	RD (f12.0; a370) (x1463)/ (R6(20) [ZZC])
Owner:	MORTEZA FOROUTANEISHABADI FATEMEH ZAKIZADEH GHARYEHALI	Ward:	Eglinton-Lawrence (16)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	427 DOUGLAS AVE	Community:	North York
Legal Description:	PLAN 1537 PT LOT 981		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0346/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	KATHLEEN MURPHY LESLIE LEAR	Ward:	Eglinton-Lawrence (15)
Agent:	QBS ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	85 BRUCEWOOD CRES	Community:	North York
Legal Description:	PLAN 3826 LOT 284		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a full second storey addition over the existing dwelling, in conjunction with a new one-storey addition to the front north portion.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013**
The minimum required front yard setback is 7.90m.
The proposed front yard setback is 5.349m.
- 2. Section 14.2.3(a), By-law No. 7625**
The minimum required front yard setback is 7.50m ± 1.00m.
The proposed front yard setback is 5.349m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

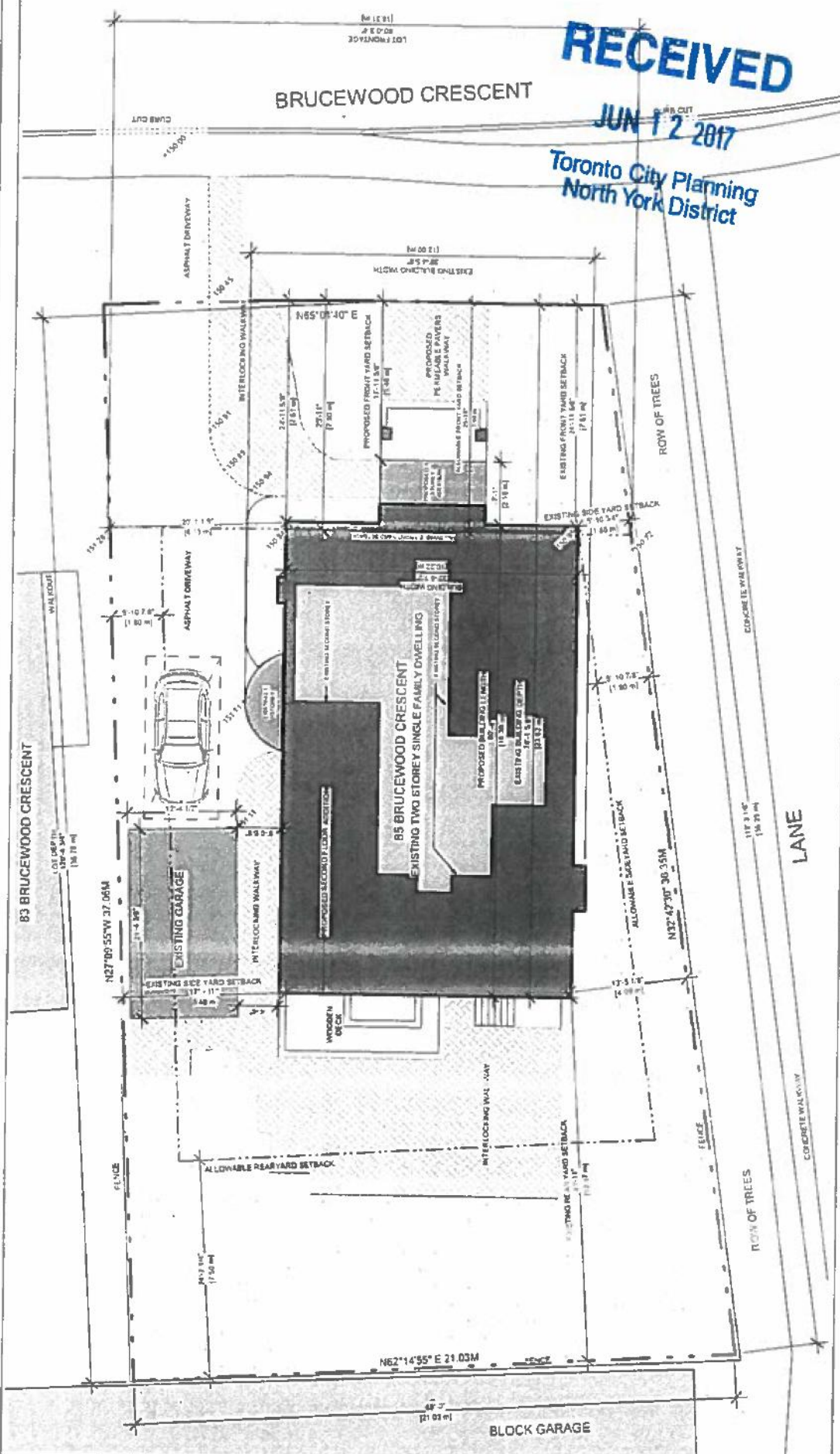
This decision is subject to the following condition(s):

- 1) The proposal be constructed in accordance with the site plan submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, June 12, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

RECEIVED

JUN 12 2017

Toronto City Planning
North York District



PROPOSED SITE PLAN

PROJECT NUMBER	170104	DRAWING STATUS	ISSUED FOR C of A
DATE	2017-02-17	DRAWN	RM
CHECKED	SA	SCALE	3/32" = 1'-0"
REVISION	04		



OBS ARCHITECTS
TORONTO - CANADA
info@obsarchitects.com

No.	Description	Date
03	ISSUED FOR C of A	2017-04-04
02	REVISED & REISSUED FOR ZC	2017-03-28
01	ISSUED FOR ZC	2017-03-17
00	ISSUED FOR CLIENT REVIEW	2017-03-08

85 BRUCEWOOD CRESC.
DRAWING NO
A0-003
C of A

SIGNATURE PAGE

File Number:	A0346/17NY	Zoning	RD/R4 [ZZC]
Owner:	KATHLEEN MURPHY LESLIE LEAR	Ward:	Eglinton-Lawrence (15)
Agent:	QBS ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	85 BRUCEWOOD CRES	Community:	North York
Legal Description:	PLAN 3826 LOT 284		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

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Manager & Deputy Secretary Treasurer
North York Panel

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- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0348/17NY	Zoning	RD / R4 (ZR)
Owner(s):	AKRAM-ALSADAT MADANI- ISFAHANI AKRAM MADANI	Ward:	Willowdale (23)
Agent:	EY1	Heritage:	Not Applicable
Property Address:	342 HORSHAM AVE	Community:	North York
Legal Description:	PLAN 2057 W PT LOT 119 E PT LOT 122		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new dwelling with attached garage. The existing dwelling, shed and detached garage will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is **32%** of the lot area.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**
A lot with a minimum required lot frontage of 18.0 m or less, the permitted maximum building length for a detached house is 17.0 m.
The proposed building length is **19.30m**.
- 3. Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is **32%** of the lot area.
- 4. Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is **19.30 m**.
- 5. Section 13.2.6, By-law No. 7625**
The maximum permitted height is 8.8 m.
The proposed building height is **9.39 m**.

6. Section 6(30)a, By-law No. 7625

The maximum finished first floor height is 1.5 m.

The proposed first floor height is 1.86 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0348/17NY	Zoning	RD / R4 (ZR)
Owner:	AKRAM-ALSADAT MADANI- ISFAHANI AKRAM MADANI	Ward:	Willowdale (23)
Agent:	EY1	Heritage:	Not Applicable
Property Address:	342 HORSHAM AVE	Community:	North York
Legal Description:	PLAN 2057 W PT LOT 119 E PT LOT 122		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0351/17NY	Zoning	R4/RD (f15.0; a550) (x5)[WAIVER]
Owner(s):	ROYA PARSI ROYA PARSI	Ward:	Willowdale (23)
Agent:	AGA ENGINEERING INC	Heritage:	Not Applicable
Property Address:	42 GLENBOROUGH PARK CRES	Community:	North York
Legal Description:	PLAN 4058 LOT 31		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and to maintain the currently under construction two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17m.
The proposed building length including one-storey is 18.54m.
- 2. Chapter 10.20.40.20.(2), By-law No. 569-2013**
The maximum permitted building length is 19m provided that the extension to the building is less than 5m in height and is one storey.
The proposed extension to the building is 5.22m in height.
- 3. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.56% of the lot area.
- 4. Chapter 10.20.40.50.(1), By-law No. 569-2013**
The maximum permitted area of each platform at or above second storey is 4m².
The proposed balcony area is 7.2m².
- 5. Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30%
The proposed lot coverage is 32.56%.

6. Section 13.2.6A, By-law No. 7625

The maximum permitted balcony area is 3.8m².

The proposed balcony area is 7.2m².

7. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length including one-storey addition is 18.54m.

8. Section 13.2.5A.3, By-law No. 7625

The maximum permitted length of dwelling may be increased from 16.80m to a maximum of 18.90m by a one-storey extension to the rear of dwelling, if the extension is no more than 5m in height.

The proposed one-storey extension at the rear has a height of 5.50m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0351/17NY	Zoning	R4/RD (f15.0; a550) (x5)[WAIVER]
Owner:	ROYA PARSI ROYA PARSI	Ward:	Willowdale (23)
Agent:	AGA ENGINEERING INC	Heritage:	Not Applicable
Property Address:	42 GLENBOROUGH PARK CRES	Community:	North York
Legal Description:	PLAN 4058 LOT 31		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0352/17NY	Zoning	RD/ R4 [ZZC]
Owner(s):	ALEKSEI STEPANOV MAHDI FARZANEH	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	186 JOHNSTON AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 106 E PT LOT 107		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling with integral garage. The

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the west side exterior main wall is **8.50m**.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the east side exterior main wall is **8.50m**.
- 3. Chapter 10.5.50.10.(1), By-law No. 569-2013**
The minimum required front yard soft landscaping area is 75.00%.
The proposed front yard soft landscaping area is 72.00%
- 4. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- 5. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.20m.
- 6. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.20m.

- 7. Chapter 10.5.40.50.(2), By-law No. 569-2013**
A platform without main walls such as a deck, porch or balcony must adhere to the minimum side yard setback: 1.80m.
The proposed rear deck side yard setback is 1.20m.
- 8. Chapter 10.5.40.50.(2), By-law No. 569-2013**
A platform without main walls such as a deck, porch or balcony must adhere to the minimum side yard setback: 1.80m.
The proposed front porch side yard setback is 1.20m.
- 9. Section 13.2.1, By-law No. 7625**
The minimum required lot frontage is 15.00m.
The proposed lot frontage is 12.19m.
- 10. Section 6(8), By-law No. 7625**
The minimum required lot width is 15.00m.
The proposed lot width is 12.19m.
- 11. Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550.00m².
The proposed lot area is 482.97m².
- 12. Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- 13. Section 13.2.3(a), By-law No. 7625**
The minimum required front yard setback is 6.50m.
The proposed front yard setback is 5.34m.
- 14. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.52m.
The proposed west side yard setback is 1.20m.
- 15. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.52m.
The proposed east side yard setback is 1.20m.
- 16. Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.32m.
- 17. Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.50m.
The proposed finished first floor height is 1.59m.
- 18. Section 7.4A, By-law No. 7625**
The minimum required front yard soft landscaping is 75.00%.
The proposed front yard soft landscaping is 72.00%.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

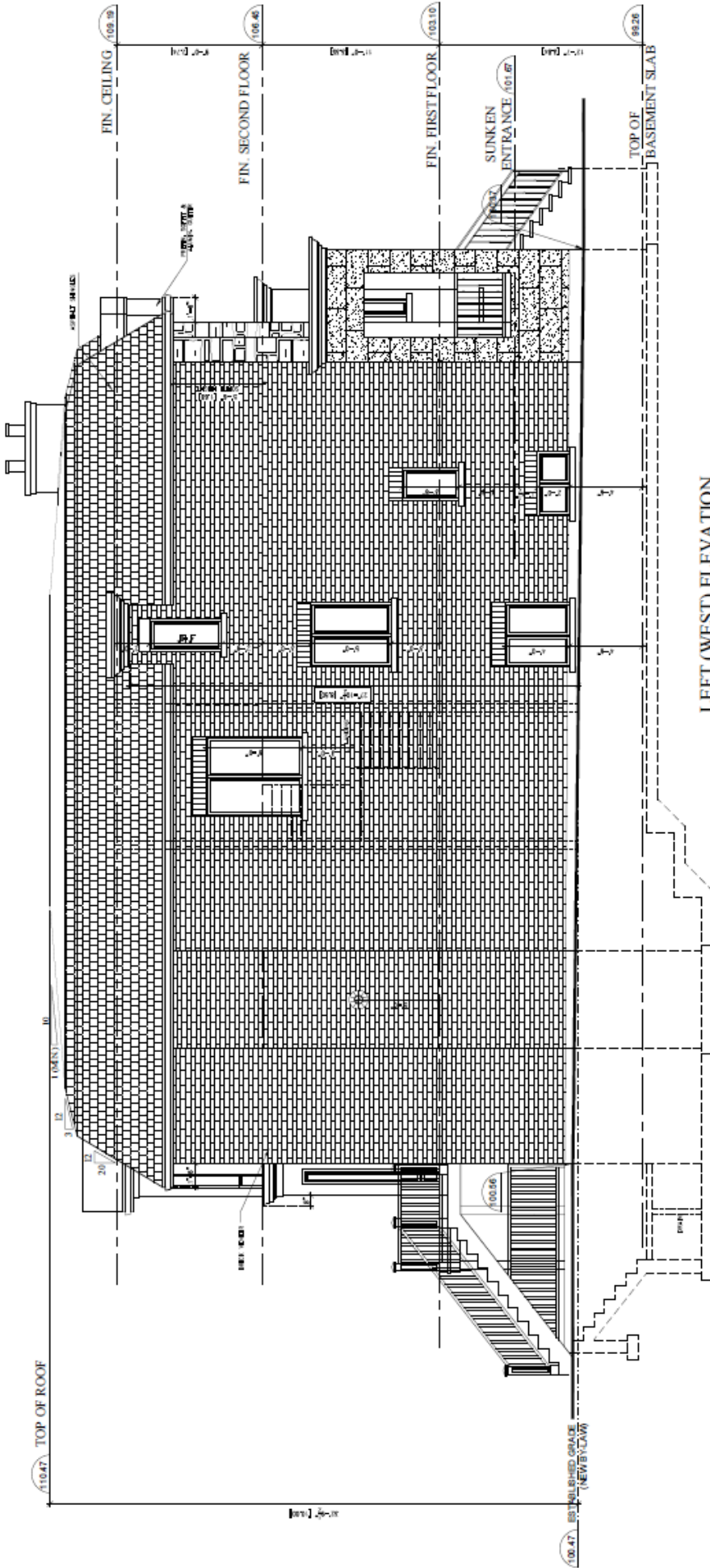
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be constructed in accordance with the east and west elevations to support the second storey windows be at a height of 8.50m only.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.
2. The proposed driveway be constructed of permeable pavers.



LEFT (WEST) ELEVATION
 186 JOHNSTON AVE

Rubinoff Design Group
 667 Mount Pleasant Road
 Toronto, Ontario M5S 2M4
 TEL: 416-667-7444 FAX: 416-667-1511 EMAIL: info@rubinoffdesign.com
 186 JOHNSTON AVE
 SCALE: 1/8" = 1'-0" JUNE 19, 2017

SIGNATURE PAGE

File Number:	A0352/17NY	Zoning	RD/ R4 [ZZC]
Owner:	ALEKSEI STEPANOV MAHDI FARZANEH	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	186 JOHNSTON AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 106 E PT LOT 107		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0353/17NY	Zoning	RD/R6 [ZZC]
Owner(s):	ILIA KOKA BERTINA KOKA	Ward:	Willowdale (23)
Agent:	Peter Higgins Architect Inc.	Heritage:	Not Applicable
Property Address:	42 GWENDOLEN AVE	Community:	North York
Legal Description:	PLAN M442 W PT LOT 101		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **32.90%** of the lot area.
- Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 10.00m.
The proposed building height is 10.31m.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the west side exterior main wall facing a side lot line is 8.60m.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.20m.
The proposed east side yard setback is 0.90m.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.20m.
The proposed west side yard setback is 0.90m.
- Section 14-A(5)c, By-law No. 7625**
The minimum required side yard setback is 1.20m.
The proposed east side yard setback is 0.90m.

7. **Section 14-A(5)c, By-law No. 7625**
The minimum required side yard setback is 1.20m.
The proposed west side yard setback is 0.90m.
8. **Section 14-A(6), By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **32.90%** of the lot area.
9. **Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.17m.
10. **Section 6(30), By-law No. 7625**
The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 1.69m.
11. **Section 14-B(9), By-law No. 7625**
The maximum permitted building length is 15.30m.
The proposed building length is 16.42m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

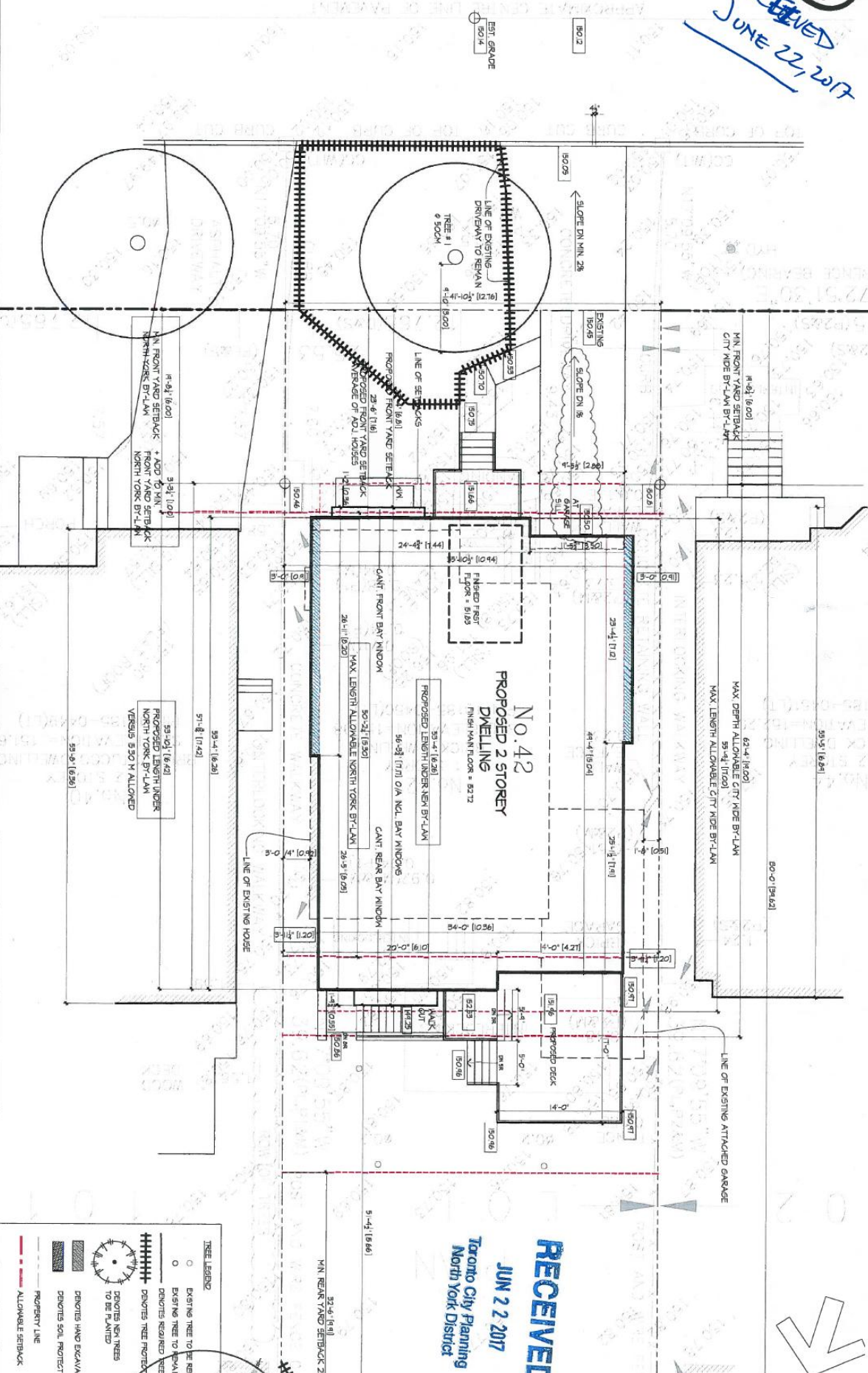
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The property being developed essentially in accordance with the site plan as well as the east and west elevations attached to this decision, date stamped June 22, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

RECEIVED
JUNE 22, 2017

GWENDOLEN AVENUE



RECEIVED
JUN 22 2017
 Toronto City Planning
 North York District

TREE LEGEND

- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- DENOTES REMOVED TREE PROTECTION ZONE
- DENOTES TREE PROTECTION FENCE
- DENOTES NEW TREES TO BE PLANTED
- DENOTES HAND EXCAVATION AREA
- DENOTES SOIL PROTECTION BOARD

PROPERTY LINE

ALLOWABLE SETBACK

REVISIONS / ISSUE DATES

NO.	DATE	DESCRIPTION
1	03/04/17	ISSUED FOR CLIENT REVIEW
2	03/04/17	ISSUED FOR ZONING REVIEW
3	27/04/17	ISSUED FOR COA
4	19/04/17	REVISION FOR COA

BUILDING SHALL VERIFY ALL DIMENSIONS AND ALL JOB INFORMATION PRIOR TO PROCEEDING WITH CONSTRUCTION AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.

ONLY THE LATEST APPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION.

IT IS THE ARCHITECT'S RESPONSIBILITY TO ENSURE THAT THEY HAVE THE LATEST APPROVED DRAWINGS IN HAND.

These architectural drawings are the property of Peter Higgins Architects Inc. 124 Melton Street, Suite 202, Toronto, Ontario.

In consideration for full payment of the architectural services rendered, the use of these drawings and any supporting attachments is granted to the client/contractor responsible for the construction of the architectural listed project, as designed, depicted and detailed on these drawings.

These architectural drawings shall not be reproduced or used for any other purposes at any other address by any other person, firm or corporation without the written consent of Peter Higgins Architects Inc.

HIGGINS

PETER HIGGINS
 ARCHITECT INC.
 124 MELTON STREET
 TORONTO, ONTARIO, M6S 2S4
 TEL: (416) 461-4229
 FAX: (416) 461-4064



PROJECT:
 42 GWENDOLEN AVE.
 TORONTO, ONTARIO

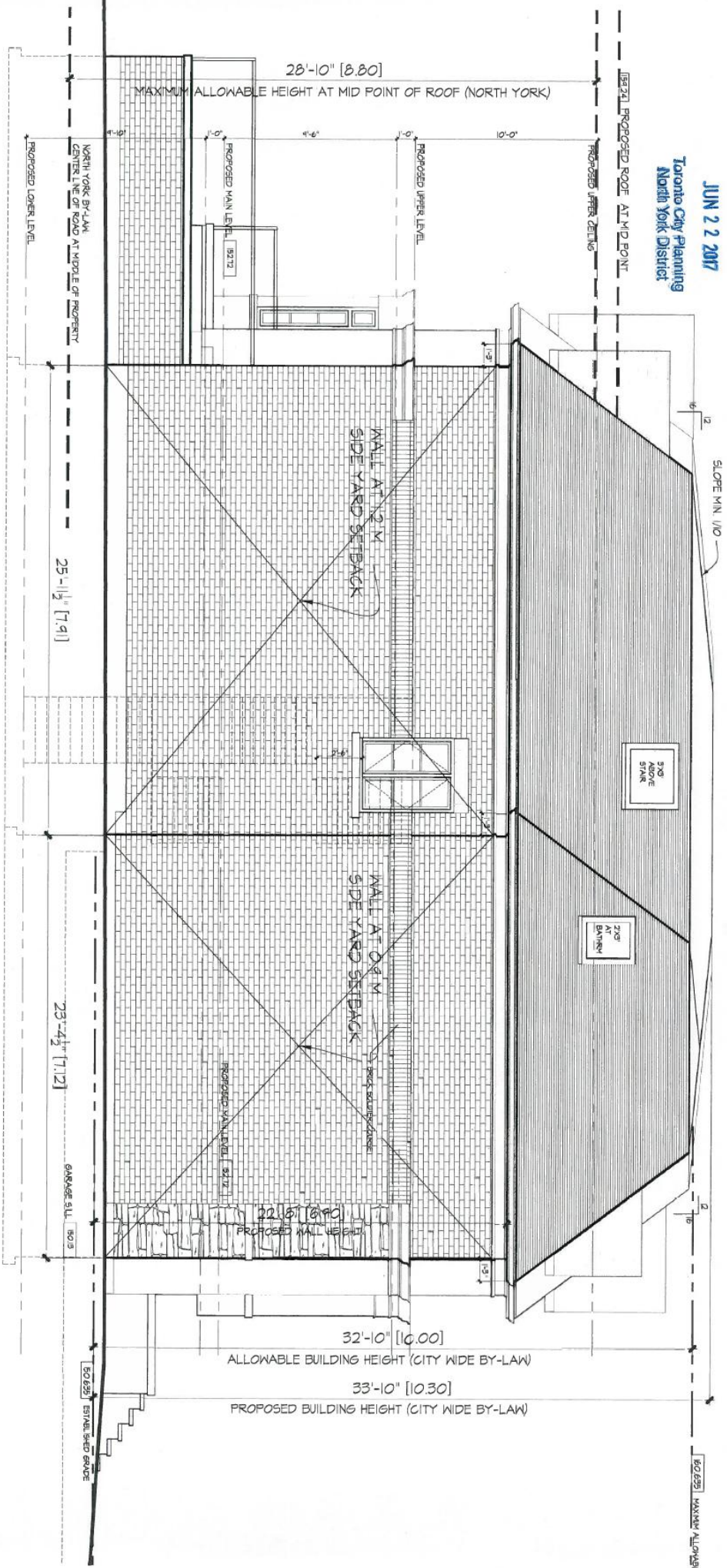
DRAWN BY: 27/04/17
C.W.
CHECKED BY: B.C.M. 3/28
P.H.
SCALE: DRAWING 3/8" = 1'-0"
 SITE PLAN
PROJECT NO.: 17-002

DRAWING NO.: A-1

RECEIVED

JUN 22 2017

Toronto City Planning
North York District



REVISIONS / ISSUE DATES

1	ISSUED FOR CLIENT REVIEW	REVISIONS / ISSUE DATES
2	ISSUED FOR CONING REVIEW	FOR PROCEEDING WITH CONSTRUCTION AND PERMIT ANY
3	ISSUED FOR CONING REVIEW	REVISIONS / ISSUE DATES
4	ISSUED FOR CONING REVIEW	FOR PROCEEDING WITH CONSTRUCTION AND PERMIT ANY
5	ISSUED FOR CONING REVIEW	REVISIONS / ISSUE DATES
6	ISSUED FOR CONING REVIEW	FOR PROCEEDING WITH CONSTRUCTION AND PERMIT ANY

ON THE LATTER APPROVED DRAWINGS ONE TO BE USED FOR
FOR THE LATTER APPROVED DRAWINGS ONE TO BE USED FOR
FOR THE LATTER APPROVED DRAWINGS ONE TO BE USED FOR

These architectural drawings are the property of Peter Higgins Architect Inc. 124 Mason St. Suite 104, Toronto, Ontario.

In consideration for full payment of the architectural services rendered, the use of these drawings and any supporting documents is granted to the designee responsible for the construction of the aforementioned development, as designed, depicted and defined on these drawings.

These architectural drawings shall not be reproduced or used for any other purpose at any other address by any other person, firm or corporation without the written consent of Peter Higgins Architect Inc.

HIGGINS

PETER HIGGINS
ARCHITECT INC.
124 MASON STREET, SUITE 104
TORONTO, ONTARIO M5E 1A5
TEL: (416) 461-4299
FAX: (416) 461-4084

ASSOCIATION OF ARCHITECTS OF ONTARIO
REGISTERED ARCHITECT
1997
124 MASON STREET, SUITE 104
TORONTO, ONTARIO M5E 1A5

PROJECT:
42 GWENDOLEN AVE.
TORONTO, ONTARIO

DRAWN BY	DATE
CW	27/MAR/17
CHECKED BY:	BCN 3/28/17
SCALE:	DRAWING
1/8" = 1'-0"	WEST ELEV.
PROJECT NO.:	17-002

DRAWING NO:
A-10

SIGNATURE PAGE

File Number:	A0353/17NY	Zoning	RD/R6 [ZZC]
Owner:	ILIA KOKA BERTINA KOKA	Ward:	Willowdale (23)
Agent:	Peter Higgins Architect Inc.	Heritage:	Not Applicable
Property Address:	42 GWENDOLEN AVE	Community:	North York
Legal Description:	PLAN M442 W PT LOT 101		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0354/17NY	Zoning	RD / R1B (ZR)
Owner(s):	NIMA POURMOSTAGHIMI	Ward:	Don Valley West (26)
Agent:	SAEED ALIREZA	Heritage:	Not Applicable
Property Address:	65 GLENVALE BLVD	Community:	East York
Legal Description:	PLAN 3110 PT LOT 432 PT LOT 433		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new dwelling with attached garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10 m² of the first floor area must be within 4 m of the front wall.
There is 7.6 m² proposed within the front wall.
- Chapter 10.20.40.10.(1), By-law No. 569-2013**
The permitted maximum height of a building or structure is 8.5 m.
The proposed height of the building is 8.8 m.
- Chapter 10.20.4.040.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.6 times the area of the lot.
The proposed floor space index is 0.66 times the area of the lot.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback is 1.2 m where the required minimum lot frontage is 12.0 m to less than 15.0 m.
The proposed east side yard setback is 0.9 m.
- Section 6.3.3, By-law No. 1916**
The maximum permitted building height is 8.5 m.
The proposed building height is 8.8 m.
- Section 6.3.3, By-law No. 1916**
The maximum permitted floor space index is 0.6 times the lot area.
The proposed floor space index is 0.66 times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0354/17NY	Zoning	RD / R1B (ZR)
Owner:	NIMA POURMOSTAGHIMI	Ward:	Don Valley West (26)
Agent:	SAEED ALIREZA	Heritage:	Not Applicable
Property Address:	65 GLENVALE BLVD	Community:	East York
Legal Description:	PLAN 3110 PT LOT 432 PT LOT 433		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0355/17NY	Zoning	R4[ZONING]
Owner(s):	2308927 ONTARIO INC	Ward:	York Centre (10)
Agent:	STOYANOVSKYY ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	4246 BATHURST ST	Community:	North York
Legal Description:	PLAN 2427 LOT 37 PT LOT 36		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a ramp on the south and west portion of the existing two-storey medical building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 6(9)(b), By-law No. 7625

Exterior stairways and wheelchair ramps shall be permitted to project into the minimum front yard setback and minimum rear yard setback not more than 2.1m.

The proposed projection of the ramp is 2.13m.

2. Section 6(9)(b), By-law No. 7625

For R and RM zones, exterior stairways, wheelchair ramps, and porches and decks 2.3m² or less in area, shall be permitted to project into one minimum side yard setback only, not more than 1.6m, but no closer than 0.6m. from any side lot line.

The proposed area of the ramp is 10.91m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0355/17NY	Zoning	R4[ZONING]
Owner:	2308927 ONTARIO INC	Ward:	York Centre (10)
Agent:	STOYANOVSKYY ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	4246 BATHURST ST	Community:	North York
Legal Description:	PLAN 2427 LOT 37 PT LOT 36		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

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Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, June 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0356/17NY	Zoning	RD (f15,d0.35)(x1432)/ R1 Z0.35 [ZZC]
Owner(s):	MAGGIE ADHAMI BOYNTON CHRISTOPHER BOYNTON	Ward:	Don Valley West (25)
Agent:	LORNE ROSE LORNE ROSE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	82 LAWRENCE CRES	Community:	Toronto
Legal Description:	PLAN 1534 LOT 171		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To add a new second floor to an existing dwelling and undertake partial reconstruction of the ground floor.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.70.(2)A, By-law No. 569-2013**
The minimum required rear yard setback is 11.27m.
The proposed and existing rear yard setback is 1.07m.
- 2. Chapter 10.20.40.40.(1)A, By-law No. 569-2013**
The maximum permitted floor space index is 0.350 times the area of the lot.
The proposed floor space index is 0.596 times the area of the lot.
- 3. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed and existing building length is 33.53m.
- 4. Chapter 10.20.40.30.(1), By-law No. 569-213**
The maximum permitted building depth is 19.00m.
The proposed and existing building depth is 38.58m.
- 5. Section 6(3) Part II 4, By-law No. 438-86**
The minimum required rear yard setback is 7.50m.
The proposed and existing rear yard setback is 1.07m.

6. **Section 6(3) Part II 3.A(II), By-law No. 438-86**
The minimum required flanking street setback is 6.00m.
The proposed and existing flanking street setback is 4.82m.
7. **Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted gross floor area is 0.350 times the area of the lot.
The proposed gross floor area is 0.596 times the area of the lot.
8. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback is 7.50m.
The proposed and existing north side lot line setback is 1.53m.
9. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback is 7.50m.
The proposed and existing south side lot line setback is 4.83m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0356/17NY	Zoning	RD (f15,d0.35)(x1432)/ R1 Z0.35 [ZZC]
Owner:	MAGGIE ADHAMI BOYNTON CHRISTOPHER BOYNTON	Ward:	Don Valley West (25)
Agent:	LORNE ROSE LORNE ROSE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	82 LAWRENCE CRES	Community:	Toronto
Legal Description:	PLAN 1534 LOT 171		

Denise Graham (signed)

Giacomo Tonon (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0357/17NY	Zoning	RD/R3 [ZZC]
Owner(s):	SHIBA ABDEHOW EBRAHIM NASSERIFAR	Ward:	Eglinton-Lawrence (16)
Agent:	LORNE ROSE	Heritage:	Not Applicable
Property Address:	5 MASON BLVD	Community:	North York
Legal Description:	PLAN 1546 PTBLK C		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 10.00m.
The proposed building height is 10.80m.
- 2. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013**
The minimum required front yard setback is 10.23m.
The proposed front yard setback is 1.86m.
- 3. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 0.95m.
- 4. Chapter 5.10.40.70.(6), By-law No. 569-2013**
If the Toronto and Region Conservation Authority determines that a shoreline hazard limit or a stable top-of-bank crosses a lot, a building or structure on that lot must be set back a minimum of 10 metres from that shoreline hazard limit or stable top-of-bank.
The proposed building is set back 0.00m from the shoreline hazard limit or stable top-of-bank.
- 5. Section 12.2, By-law No. 7625**
The minimum required lot frontage is 18.00m.
The existing lot frontage is 15.57m.

6. Section 6(8), By-law No. 7625

The minimum lot width is not be less than the lot frontage for the zone in which the building is to be constructed.

7. Section 12.4(a), By-law No. 7625

The minimum required front yard setback is 6.50m.
The proposed front yard setback is 1.86m.

8. Section 12.4(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 0.95m.

9. Section 12.7, By-law No. 7625

The maximum permitted building height is 8.80m.
The proposed building height is 9.12m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The requirements of the Urban Forestry, Ravine Protection Division.
- 2) The requirements of the Toronto and Region Conservation Authority.

SIGNATURE PAGE

File Number:	A0357/17NY	Zoning	RD/R3 [ZZC]
Owner:	SHIBA ABDEHOW EBRAHIM NASSERIFAR	Ward:	Eglinton-Lawrence (16)
Agent:	LORNE ROSE	Heritage:	Not Applicable
Property Address:	5 MASON BLVD	Community:	North York
Legal Description:	PLAN 1546 PTBLK C		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0358/17NY	Zoning	RD / R4 (ZW)
Owner(s):	ANDES SIU CHEONG TANG	Ward:	Willowdale (23)
Agent:	ALERA ENGINEERING AND CONSTRUCTION INC	Heritage:	Not Applicable
Property Address:	115 BURNETT AVE	Community:	North York
Legal Description:	PLAN M407 LOT 448		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new dwelling with attached garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
- 2. Chapter 10.20.40.70.(4), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed east side yard setback is 1.5 m.
- 3. Chapter 10.20.40.70.(4), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed west side yard setback is 1.5 m.
- 4. Chapter 10.5.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 8.84 m.
The proposed front yard setback is 8.53 m.
- 5. Chapter 10.5.80.40.(3), By-law No. 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from the front of the lot.

6. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is 1.5 m.
7. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed west side yard setback is 1.5 m.
8. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
9. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 17.69 m.
10. **Section 6(30)a, By-law No. 7625**
The maximum permitted finished first floor height is 1.5 m
The proposed first floor height is 1.62 m.
11. **Section 6(24), By-law No. 7625**
The maximum rear deck projection is 2.1 m.
The proposed rear deck projection is 2.8 m.
12. **Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550 m².
The existing lot is 546.51 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0358/17NY	Zoning	RD / R4 (ZW)
Owner:	ANDES SIU CHEONG TANG	Ward:	Willowdale (23)
Agent:	ALERA ENGINEERING AND CONSTRUCTION INC	Heritage:	Not Applicable
Property Address:	115 BURNETT AVE	Community:	North York
Legal Description:	PLAN M407 LOT 448		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0361/17NY	Zoning	RD/R6(20) [WAV]
Owner(s):	EVELYN P GORDON	Ward:	Eglinton-Lawrence (16)
Agent:	DKSTUDIO ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	15 MCGILLIVRAY AVE	Community:	North York
Legal Description:	PLAN 1669 WPT		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.
The proposed first floor area is 8.30m² within 4.00m of the main front wall.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **36.50%** of the lot area.
- Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 7.20m.
The proposed building height is **8.81m to top of skylight, 8.66m to top of roof.**
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.50m.
The proposed west side yard setback is 1.20m.
- Chapter 10.20.40.50.(1), By-law No. 569-2013**
The maximum permitted area of each platform at or above the second storey is 4.00m².
The proposed rear platform at or above the second storey is 6.30m².
- Section 14-A(6), By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **36.50%** of the lot area.

7. **Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.00m.
The proposed building height is **9.14m**.
8. **Section 14-A(9), By-law No. 7625**
The maximum permitted building length is 15.30m.
The proposed building length is **15.60m**.
9. **Section 14-A(5)(c)(ii)(a), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.20m.
10. **Section 14-A(5)(c)(ii)(a), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.50m.
11. **Section 14-A(10)(a), By-law No. 7625**
The maximum permitted balcony area is 3.80m².
The proposed rear balcony area is 6.30m².
12. **Section 6(24), By-law No. 7625**
The maximum permitted rear deck projection is 2.10m from the wall, a maximum height of 1.00m and is not to be more than half the width of the dwelling (in this case 6.26m).
The proposed rear deck projects 2.80m from the rear wall and is **0.64 times the width of the dwelling**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

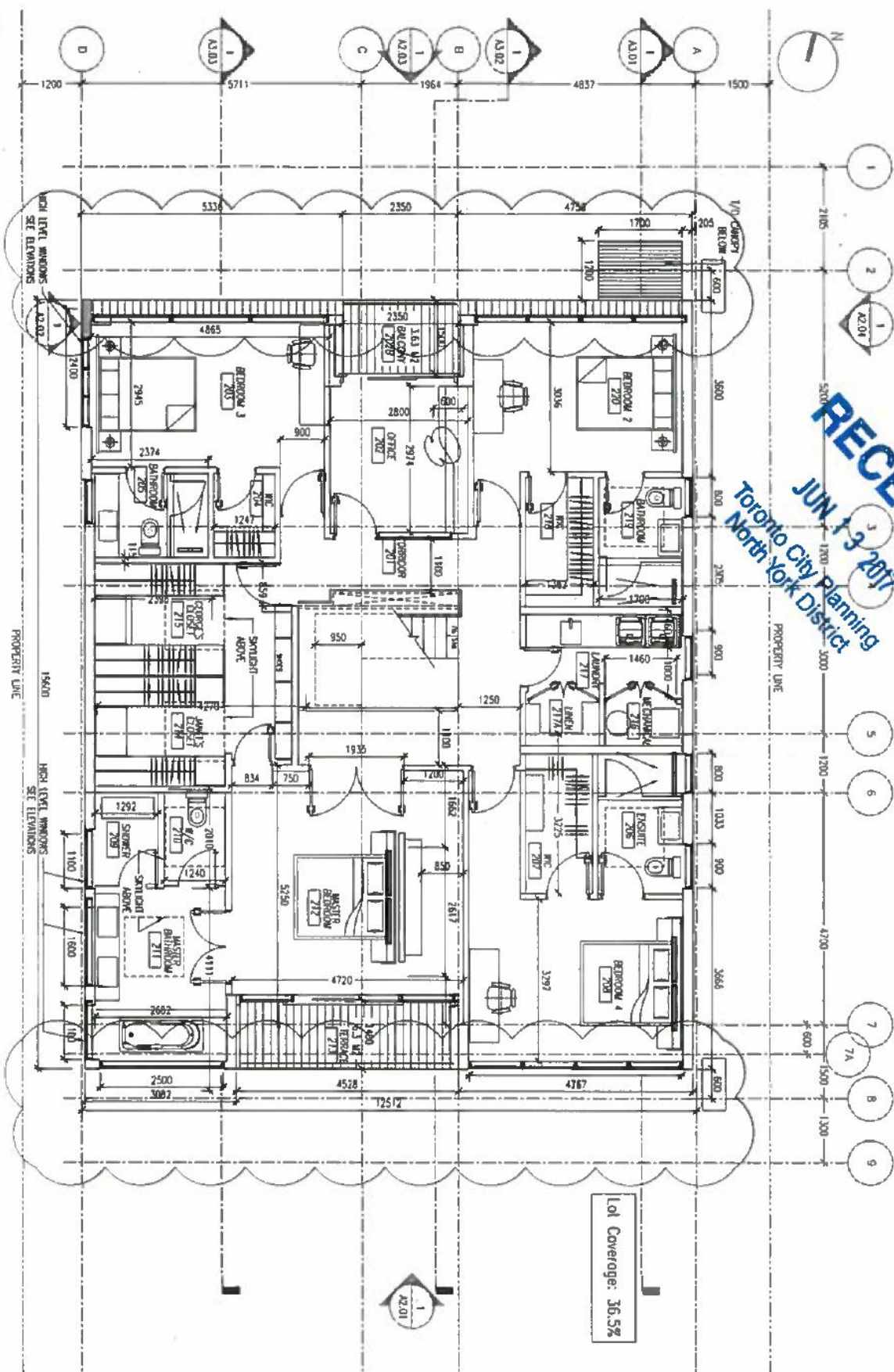
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Submission of a complete application for permit to injure or remove privately owned trees.
- 2) The proposal be developed in accordance with the second floor plan submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, June 13, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.
- 3) The applicant to provide permanent opaque screening on the edges of the proposed rear deck that is at least 1.5 metres in height from the floor of the rear deck.

1 SECOND FLOOR PLAN
A1.04
1/75



RECEIVED
JUN 13 2017
Toronto City Planning
North York District

Lol Coverage: 36.5%

2ND FLOOR PLAN

15 MCGILLIVRAY AVE
ZONING REVIEW
SUBMISSION
DATE OF SUBMISSION:
28 APRIL 2017

LETTER SCALE DRAWING
1st Model Review 5/16/17
2 ISSUED FOR CMA 2/28/17
3 Construction 3/13/17

15 McGillivray Ave
15 McGillivray Ave
15 McGillivray Ave

DATE OF SUBMISSION:
28 APRIL 2017

15 McGillivray Ave
15 McGillivray Ave
15 McGillivray Ave

A1.04
1/75

dkstudio architects
15 McGillivray Ave
Toronto, ON M5S 1A5
416-924-8888
www.dkstudio.com

SIGNATURE PAGE

File Number:	A0361/17NY	Zoning	RD/R6(20) [WAV]
Owner:	EVELYN P GORDON	Ward:	Eglinton-Lawrence (16)
Agent:	DKSTUDIO ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	15 MCGILLIVRAY AVE	Community:	North York
Legal Description:	PLAN 1669 WPT		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0362/17NY	Zoning	RD (ZR)
Owner(s):	DUSAN BABIC	Ward:	Don Valley East (34)
Agent:	DUSAN BABIC	Heritage:	Not Applicable
Property Address:	51 HESKETH CRT	Community:	North York
Legal Description:	PLAN M725 LOT 423		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new garage addition to the east side of the existing dwelling

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.80.40.(2), By-law No. 569-2013

For a detached house or semi-detached house, and for an individual townhouse dwelling unit where an individual private driveway leads directly to the dwelling unit, the elevation of the lowest point of a vehicle entrance in a main wall of the building must be higher than the elevation of the centreline of the driveway at the point where it intersects a lot line abutting a street.

2. Chapter 900.3.10(5), By-law No. 569-2013

Despite regulation 10.20.40.70(3), the minimum side yard setback is 1.8 m.
The proposed side yard setback is 1.22 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

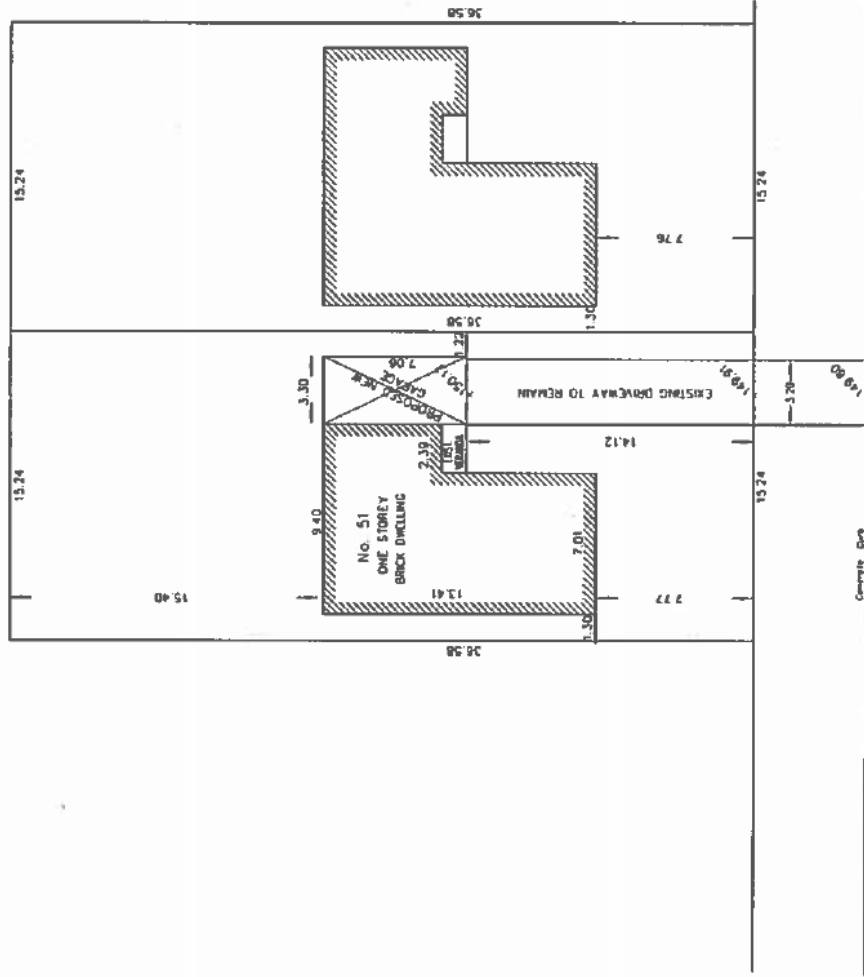
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the Site Plan and Front Elevation drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, June 13, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

- 2) The driveway to maintain a positive slope from the street to the entry of the integral garage.



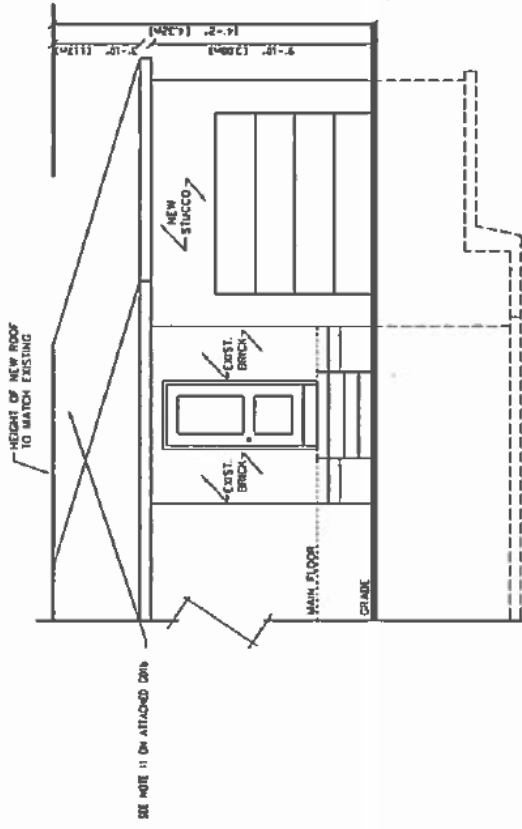
RECEIVED

JUN 13 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

SITE STATISTICS	
	PROPOSED
LOT SIZE	557.42m ²
NEW GARAGE	23.30m ²
HOUSE FOOTPRINT INCL. GARAGE	131.28m ²
COVERAGE	23.55%
HEIGHT (EXISTING)	4.32m

PROPOSED NEW GARAGE AT 51 HESKETH CRT.
SITE PLAN A-0
July 2016
SCALE 1"=20'-0"



FRONT ELEVATION

RECEIVED

JUN 13 2017

**CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE**

PROPOSED NEW GARAGE AT 51 HESKETH CRT.
FRONT ELEVATION
SCALE 3/16"=1'-0" July 2016

A-3

SIGNATURE PAGE

File Number:	A0362/17NY	Zoning	RD (ZR)
Owner:	DUSAN BABIC	Ward:	Don Valley East (34)
Agent:	DUSAN BABIC	Heritage:	Not Applicable
Property Address:	51 HESKETH CRT	Community:	North York
Legal Description:	PLAN M725 LOT 423		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0363/17NY	Zoning	RD (x5)/R3[ZONING]
Owner(s):	IRENA LEVITIN OLEG LEVITIN	Ward:	York Centre (10)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	15 BARWICK DR	Community:	North York
Legal Description:	PLAN 2571 PT LOTS 794 TO 796		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10(5), By-law No. 569-2013**
An area of 10m² of the first floor must be within 4m of the front main wall.
The proposed is 4.4m² of the first floor (sunken foyer) is within 4m of the front main wall.
- Chapter 10.20.40.10.(1), By-law No. 569-2013**
The permitted maximum height of the proposed dwelling is 10m.
The proposed height of the dwelling is 10.19m.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all front and rear exterior main walls is 7.5m.
The proposed height of the front and rear exterior main walls is 8.85m.
- Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0m.
The proposed building length is 18.52m.
- Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.0m.
The proposed building depth is 21.87m.
- Section 12.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 21.36m.

7. Section 12.7, By-law No. 7625

The maximum permitted building height is 8.8m.
The proposed building height is 9.10m.

8. Section 6(9), By-law No. 7625

Exterior stairs shall be permitted to project into the minimum rear yard setback not more than 2.1m.
The proposed rear stairs project 2.74m into the rear yard.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

SIGNATURE PAGE

File Number:	A0363/17NY	Zoning	RD (x5)/R3[ZONING]
Owner:	IRENA LEVITIN OLEG LEVITIN	Ward:	York Centre (10)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	15 BARWICK DR	Community:	North York
Legal Description:	PLAN 2571 PT LOTS 794 TO 796		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, June 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0366/17NY	Zoning	R1A[WAIVER]
Owner(s):	DONNA ERLING MICHAEL ANDERSON	Ward:	Don Valley West (26)
Agent:	CANTAM GROUP LTD	Heritage:	Not Applicable
Property Address:	143 LEACREST RD	Community:	East York
Legal Description:	PLAN 3279 LOT 51 PT LOT 50 PT LOT 52		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 6.2.3, By-Law No.1916

The maximum permitted floor space index is 0.45 times the lot area.

The proposed floor space index is 0.48 times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0366/17NY	Zoning	R1A[WAIVER]
Owner:	DONNA ERLING MICHAEL ANDERSON	Ward:	Don Valley West (26)
Agent:	CANTAM GROUP LTD	Heritage:	Not Applicable
Property Address:	143 LEACREST RD	Community:	East York
Legal Description:	PLAN 3279 LOT 51 PT LOT 50 PT LOT 52		

Wayne McEachern (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0367/17NY	Zoning	RD (f15.0; a550) (x5)/ R4 [ZZC]
Owner(s):	SUGANYA SENTHILRUBAN SUGANYA SENTHILRUBAN	Ward:	Willowdale (23)
Agent:	CANTAM GROUP LTD	Heritage:	Not Applicable
Property Address:	17 DROMORE CRES	Community:	North York
Legal Description:	PLAN 4259 LOT 236		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling with attached garage. The existing building would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.50.10.(1)(C), By-law No. 569-2013**
The minimum required front yard landscaping is 60.00% of the front yard area.
The proposed landscaping is **56.00%** of the front yard area.
- 2. Chapter 10.5.80.40.(1), By-law No. 569-2013**
The maximum combined width of all vehicle entrances through the front main wall is 6.00m.
The proposed combined width of all vehicle entrances through the front main wall is **7.87m**.
- 3. Chapter 10.5.100.1.(1)(C), By-law No. 569-2013**
The maximum width of a driveway is 6.00m.
The proposed driveway width is **7.87m**.
- 4. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is **1.52m**.
- 5. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is **1.52m**.

6. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is **1.52m**.
7. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is **1.52m**.
8. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 17.34m.
9. **Section 6A(5)a, By-law No. 7625**
The minimum/maximum access required for parking areas is 6.00m.
The proposed access to parking is **7.87m**.
10. **Section 6A(5)a, By-law No. 7625**
The maximum permitted driveway width is 6.00m.
The proposed width is **7.87m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0367/17NY	Zoning	RD (f15.0; a550) (x5)/ R4 [ZZC]
Owner:	SUGANYA SENTHILRUBAN SUGANYA SENTHILRUBAN	Ward:	Willowdale (23)
Agent:	CANTAM GROUP LTD	Heritage:	Not Applicable
Property Address:	17 DROMORE CRES	Community:	North York
Legal Description:	PLAN 4259 LOT 236		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, June 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0368/17NY	Zoning	RD / R4 (ZW)
Owner(s):	SATHEESKARAN PATHMANATHAN SENTHILRUBAN PATHMANATHAN	Ward:	Willowdale (23)
Agent:	CANTAM GROUP LTD.	Heritage:	Not Applicable
Property Address:	12 DROMORE CRES	Community:	North York
Legal Description:	PLAN 4259 LOT 270		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

Proposal to construct a new two-storey detached single family dwelling with integral garage and finished basement

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum side yard setback is 1.8 m.
The proposed south side yard setback is 1.56 m.
- 2. Chapter 10.5.80.40.(1), By-law No. 569-2013**
The maximum permitted combined width of all vehicle entrances through the front main wall is 6.0 m.
The proposed combined width of all vehicle entrances through the front main wall is **7.97m**.
- 3. Chapter 10.5.100.1(1), By-law No. 569-2013**
The maximum permitted width of a private driveway that leads directly to the dwelling is 6.0 m.
The proposed two storey dwelling will have a driveway width of **7.97m**.
- 4. Section 6A(5)a, By-law No. 7625**
The maximum permitted access for parking areas & driveway width for parking areas is 6.0 m.
The proposed access and driveway width is **7.97m**.
- 5. Section 13.2.3(b), By-law No. 7625**
The minimum side yard setback is 1.8 m.
The proposed south side yard setback is 1.56 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0368/17NY	Zoning	RD / R4 (ZW)
Owner:	SATHEESKARAN PATHMANATHAN SENTHILRUBAN PATHMANATHAN	Ward:	Willowdale (23)
Agent:	CANTAM GROUP LTD.	Heritage:	Not Applicable
Property Address:	12 DROMORE CRES	Community:	North York
Legal Description:	PLAN 4259 LOT 270		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, June 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0372/17NY	Zoning	C4(12)[ZONING]
Owner(s):	DAWNIK INVESTMENTS INC	Ward:	Eglinton-Lawrence (16)
Agent:	E.S.T. DESIGN CONSULTANTS INC.	Heritage:	Not Applicable
Property Address:	1780 AVENUE RD	Community:	North York
Legal Description:	PLAN 1706 PT LOTS 113 AND 114 EXPROP PLAN 7613 PART 1		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The proposal is for interior alterations to the existing Alphabet Treehouse Childcare.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 26(7), By-law No. 7625**
The minimum required number of parking spaces is 31.
The existing number of parking spaces is 6.
- 2. Section 6A(16)(a), By-law No. 7625**
The minimum required number of loading spaces is 1.
The proposed number of loading spaces is 0.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0372/17NY	Zoning	C4(12)[ZONING]
Owner:	DAWNIK INVESTMENTS INC	Ward:	Eglinton-Lawrence (16)
Agent:	E.S.T. DESIGN CONSULTANTS INC.	Heritage:	Not Applicable
Property Address:	1780 AVENUE RD	Community:	North York
Legal Description:	PLAN 1706 PT LOTS 113 AND 114 EXPROP PLAN 7613 PART 1		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0373/17NY	Zoning	RD (f12.0; a370; d0.6)/ R1B [ZN]
Owner(s):	SOZAN MEFTAH ABBAS BIGDELI	Ward:	Don Valley West (26)
Agent:	ADA ENGINEERING SOLUTIONS INC	Heritage:	Not Applicable
Property Address:	476 BROADWAY AVE	Community:	East York
Legal Description:	PLAN 3110 LOT 357 PT LOT 356 PT LOT 358		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey rear and side addition off the existing dwelling and make interior alterations.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the first floor area must be within 4.00m of the front wall.
There is 5.50m² proposed within 4.00m of the front wall.
- Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted height of a building is 8.50m.
The proposed height of the building is 8.80m.
- Chapter 10.20.40.10.(6), By-law No. 569-2013**
The maximum permitted height of the first floor above established grade is 1.20m.
The proposed height of the first floor above established grade is 1.50m.
- Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.60 times the area of the lot.
The proposed floor space index is 0.66 times the area of the lot.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.20m.
The proposed west side yard setback is 0.60m.

6. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.20m.
The proposed east side yard setback is 0.58m.
7. **Section 6.3.3, By-law No. 1-83**
The maximum permitted building height is 8.50m.
The proposed building height is 8.80m.
8. **Section 6.3.3, By-law No. 1-83**
The maximum permitted floor space index is 0.60 times the area of the lot.
The proposed floor space index is 0.66 times the area of the lot.
9. **Section 6.3.3, By-law No. 1-83**
The minimum required side yard setback is 0.90m.
The proposed west side yard setback is 0.60m.
10. **Section 6.3.3, By-law No. 1-83**
The minimum required side yard setback is 0.90m.
The proposed east side yard setback is 0.58m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0373/17NY	Zoning	RD (f12.0; a370; d0.6)/ R1B [ZN]
Owner:	SOZAN MEFTAH ABBAS BIGDELI	Ward:	Don Valley West (26)
Agent:	ADA ENGINEERING SOLUTIONS INC	Heritage:	Not Applicable
Property Address:	476 BROADWAY AVE	Community:	East York
Legal Description:	PLAN 3110 LOT 357 PT LOT 356 PT LOT 358		

Denise Graham (signed)

Giacomo Tonon (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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Thursday, June 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0374/17NY	Zoning	Rd / R6
Owner(s):	MINGYU WANG PAUL VAN HWANG	Ward:	Willowdale (23)
Agent:	ZERO DEGREE STUDIO	Heritage:	Not Applicable
Property Address:	222 ELMHURST AVE	Community:	North York
Legal Description:	PLAN M407 W PT LOT 292		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

Proposed demolition of existing dwelling to be replaced by new 2 storey detached dwelling with finished basement.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), By-law No. 569-2013**
An area of 10 m² of the first floor above established grade must be within 4 m of the front main wall.
An area of 8.3 m² of the first floor above established grade would be within 4 m of the front main wall.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 31.95% of the lot area.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted main wall height is 7.5 m.
The proposed main wall height is 8.11 m.
- Chapter 10.5.80.40.(3), By-law No. 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from the front lot line.
- Section 14-A(6), By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 31.95% of the lot area.
- Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is **9.01 m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

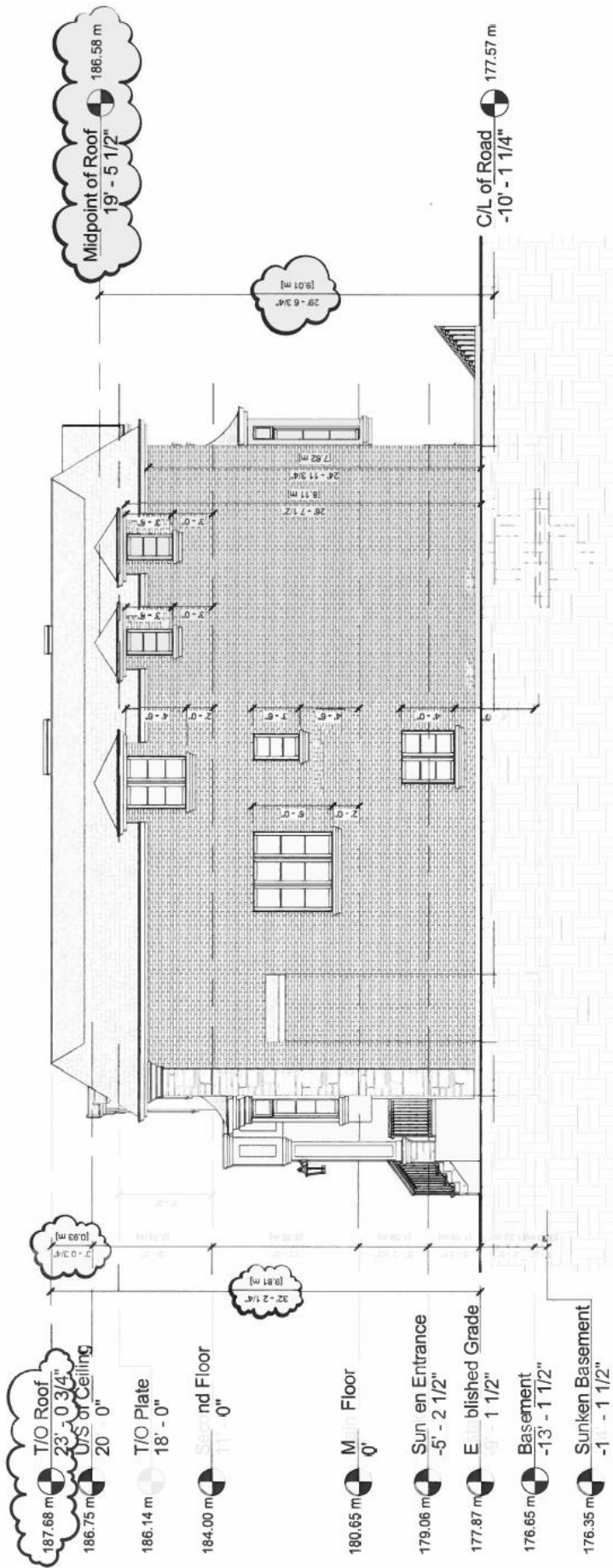
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the east and west elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, June 12, 2017 in order to allow the second storey windows be a maximum height of 8.11m.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



1 EAST ELEVATION
A8 1/8" = 1'-0"

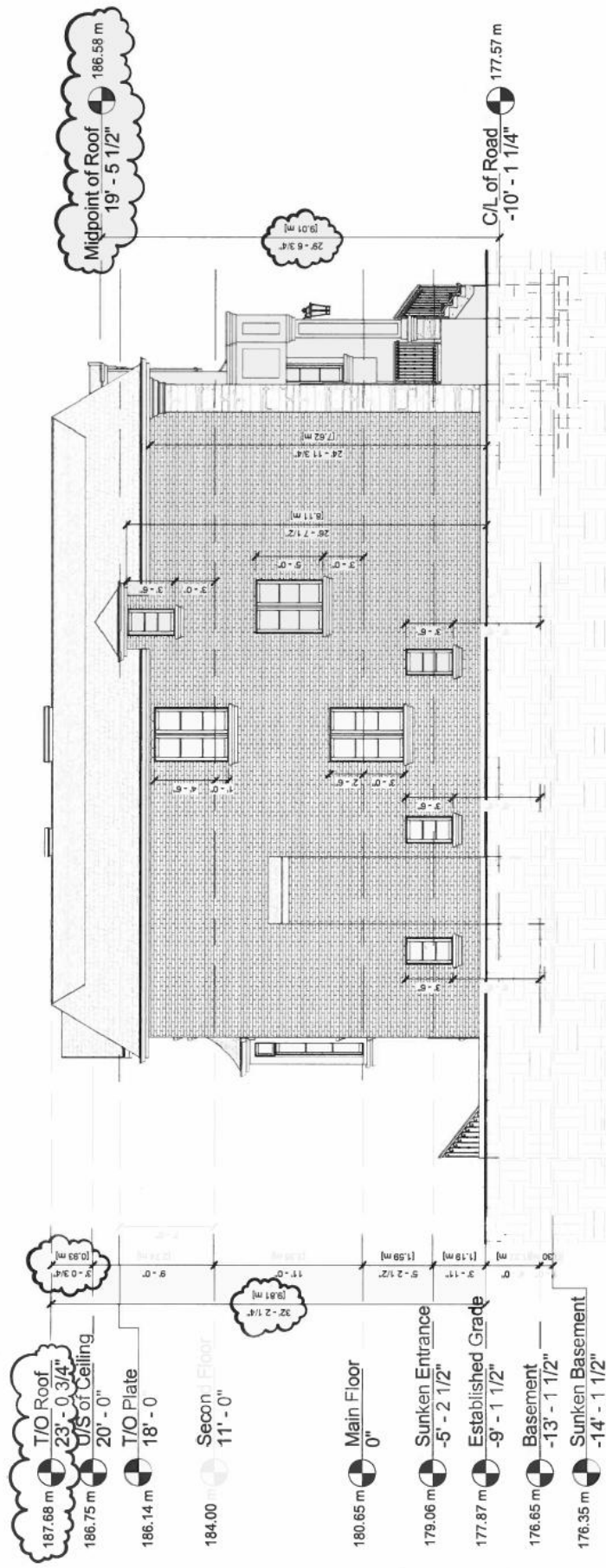
RECEIVED

JUN 12 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

d+r design group
40 Ferrier St. 2nd Flr.
Markham ON L3R 2Z5
(905) 940-3134
info@drdesigngroupinc.com

location:	222 Einthurst Ave.	dwg no.:	A8
date:	2017-03-29	proj. no.:	16087



40 Fenter St, 2nd Flr
 Markham ON L3R 2Z5
 (905)946-3134
 info@dhrgroupinc.com



location:	222 Elmhurst Ave.	dwg no.:	A9
date:	2017-03-29		
proj. no.:	16087		

RECEIVED

JUN 12 2017

CITY OF TORONTO PLANNING
 NORTH YORK CIVIC CENTRE

1 WEST ELEVATION
 A9 1/8" = 1'-0"

SIGNATURE PAGE

File Number:	A0374/17NY	Zoning	Rd / R6
Owner:	MINGYU WANG PAUL VAN HWANG	Ward:	Willowdale (23)
Agent:	ZERO DEGREE STUDIO	Heritage:	Not Applicable
Property Address:	222 ELMHURST AVE	Community:	North York
Legal Description:	PLAN M407 W PT LOT 292		

Denise Graham (signed)

Giacomo Tonon (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, June 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0375/17NY	Zoning	RD (f15.0; a550)(x5)/R4[ZONING]
Owner(s):	STEN MYREHAUG JENNIFER NGUYEN	Ward:	Willowdale (23)
Agent:	DESIGN PLAN SERVICES INC	Heritage:	Not Applicable
Property Address:	63 PARKVIEW AVE	Community:	North York
Legal Description:	PLAN 1790 LOT 571		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a rear deck to the existing two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.30.40.(2), By-law No. 569-2013**
The maximum permitted lot area covered by a rear deck is 5%.
The proposed lot area covered by the rear deck is 12.14%.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 38.39% of the lot area.
- 3. Chapter 10.5.50.10.(3), By-law No. 569-2013**
The minimum required soft landscaping in the rear yard is 50%.
The proposed soft landscaping in the rear yard is 29.1%.
- 4. Section 6(24)a, By-law No. 7625**
All porches or deck shall not occupy more than 5% of the lot area.
The proposed deck occupies 12.14% of the lot area.
- 5. Section 6(24)(c), By-law No. 7625**
The maximum permitted rear deck projection is 2.1m having an above height of 1.0m and a width no greater than half the width of the dwelling.
The proposed deck projection is 8.32m with a height of 1.29m above grade and is 68% of the width of the dwelling.

6. Section 6(24)(d), By-law No. 7625

The minimum required side yard setback for a deck is 1.8m.

The proposed east side yard setback for the deck is 1.54m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0375/17NY	Zoning	RD (f15.0; a550)(x5)/R4[ZONING]
Owner:	STEN MYREHAUG JENNIFER NGUYEN	Ward:	Willowdale (23)
Agent:	DESIGN PLAN SERVICES INC	Heritage:	Not Applicable
Property Address:	63 PARKVIEW AVE	Community:	North York
Legal Description:	PLAN 1790 LOT 571		

Denise Graham (signed)

Giacomo Tonon (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0376/17NY	Zoning	RD/R4 [WAIVER]
Owner(s):	WANFENG WANG	Ward:	Don Valley West (25)
Agent:	SHENSU ZHANG	Heritage:	Not Applicable
Property Address:	43 CHARNWOOD RD	Community:	North York
Legal Description:	PLAN 4768 L 807		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling with integral garage. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted main wall height is 7.50m for 100.00% of the side walls.
The proposed main wall height is 7.50m for 81.80% of the side wall length.
- 2. Chapter 10.20.30.40.(1).(A), By-law No. 569-2013**
The maximum permitted lot coverage is 25.00% of the lot area.
The proposed lot coverage is **27.40%** of the lot area.
- 3. Chapter 10.10.40.10 (6), By-law no. 569-2013**
The maximum permitted first floor elevation is 1.20m.
The proposed first floor elevation is **1.30m**.
- 4. Chapter 10.5.40.70(1), By-law No. 569-2013**
The minimum required front yard setback is 9.01m.
The proposed front yard setback is 7.50m.
- 5. Section 6(24)(c), By-law No. 7625**
The maximum permitted deck projection into the rear yard is 2.10m.
The proposed deck projects 4.21m.
- 6. Section 13.2.4(a), By-law No. 7625**
The maximum permitted lot coverage is 25.00% of the lot area.
The proposed lot coverage is **27.40%** of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0376/17NY	Zoning	RD/R4 [WAIVER]
Owner:	WANFENG WANG	Ward:	Don Valley West (25)
Agent:	SHENSU ZHANG	Heritage:	Not Applicable
Property Address:	43 CHARNWOOD RD	Community:	North York
Legal Description:	PLAN 4768 L 807		

Denise Graham (signed)

Giacomo Tonon (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
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Thursday, June 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0377/17NY	Zoning	RD / R4 (ZW)
Owner(s):	HONGBO HE WEINA WANG	Ward:	Don Valley East (34)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	44 MUIRCREST DR	Community:	North York
Legal Description:	PLAN M744 LOT 168		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To add a 1 storey addition to rear yard and a second storey addition above the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.20, By-law No. 569-2013**
The required minimum lot frontage is 15.0 m
The existing lot frontage is 12.19 m.
- 2. Chapter 10.5.100.1.(1), By-law No. 569-2013**
The permitted driveway width is 2.79 m.
The existing driveway width is 6.81 m.
- 3. Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is 1.30 m.
- 4. Chapter 10.20.40.70.(2), By-law No. 569-2013**
The required minimum rear yard setback is 9.82 m
The existing and proposed rear yard setback is 9.06 m.
- 5. Section 13.2.1.(1), By-law No. 7625**
The minimum required lot frontage is 15 m.
The existing lot frontage is 12.19 m.
- 6. Section 6A(5)(a), By-law No. 7625**
The permitted driveway width is 6.0 m.
The existing driveway length is 6.81 m.

7. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The existing and proposed east side yard setback is 1.30 m.
8. **Section 13.2.3(c), By-law No. 7625**
The required minimum rear yard setback is 9.50 m.
The existing and proposed rear yard setback is 9.06 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

SIGNATURE PAGE

File Number:	A0377/17NY	Zoning	RD / R4 (ZW)
Owner:	HONGBO HE WEINA WANG	Ward:	Don Valley East (34)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	44 MUIRCREST DR	Community:	North York
Legal Description:	PLAN M744 LOT 168		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0378/17NY	Zoning	C1(133)[WAIVER]
Owner(s):	HILTIN HILLS DEVELOPMENT INC	Ward:	Don Valley East (33)
Agent:	HILTIN HILLS DEVELOPMENT INC	Heritage:	Not Applicable
Property Address:	2135 SHEPPARD AVE E	Community:	North York
Legal Description:	PLAN 7612 BLK A CON 4 EY PT LOT 15		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct an enclosed vehicular access ramp for Building 'D' Phase One.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 2.(m) and C1(142), By-law No. 1182-2016**
The maximum permitted side yard setback is 7.0m.
The proposed north side yard setback for the covered access ramp is 2.0m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0378/17NY	Zoning	C1(133)[WAIVER]
Owner:	HILTIN HILLS DEVELOPMENT INC	Ward:	Don Valley East (33)
Agent:	HILTIN HILLS DEVELOPMENT INC	Heritage:	Not Applicable
Property Address:	2135 SHEPPARD AVE E	Community:	North York
Legal Description:	PLAN 7612 BLK A CON 4 EY PT LOT 15		

Denise Graham (signed)

Giacomo Tonon (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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To appeal this decision to the OMB you need the following:

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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0379/17NY	Zoning	RD/ R4 [ZZC]
Owner(s):	SARIT SOMOGYI	Ward:	Eglinton-Lawrence (15)
Agent:	ESCALA DESIGNS INC	Heritage:	Not Applicable
Property Address:	341 HILLHURST BLVD	Community:	North York
Legal Description:	PLAN 4832 LOT 27		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second floor addition and undertake interior alterations to an existing two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 8.70m.
The proposed front yard setback is 8.67m.
- 2. Chapter 10.20.40.70.(3)E, By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed and existing west side yard setback is 1.22m.
- 3. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed and existing west side yard setback is 1.22m.
- 4. Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.11m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0379/17NY	Zoning	RD/ R4 [ZZC]
Owner:	SARIT SOMOGYI	Ward:	Eglinton-Lawrence (15)
Agent:	ESCALA DESIGNS INC	Heritage:	Not Applicable
Property Address:	341 HILLHURST BLVD	Community:	North York
Legal Description:	PLAN 4832 LOT 27		

Denise Graham (signed)

Giacomo Tonon (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0382/17NY	Zoning	RM / R2 (ZR)
Owner(s):	LAURA CASIELLO	Ward:	Eglinton-Lawrence (15)
Agent:	ESCALA DESIGNS INC	Heritage:	Not Applicable
Property Address:	82 AMHERST AVE	Community:	York
Legal Description:	PLAN 2311 PT LOTS 5 TO 7		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The construct a rear addition and detached garage. To make interior alterations for the purpose of converting the dwelling into two units.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.60.20.(5), By-law No. 569-2013**
The minimum rear yard setback for an ancillary building or structure containing a parking space where the rear lot line abuts a lane and vehicle access to the parking space in the ancillary building is from the lane is 1.0 m.
The proposed rear yard setback for the ancillary building is 0.86 m.
- 2. Chapter 10.5.60.70.(1), By-law No. 569-2013**
The total area on a lot covered by ancillary buildings or structures may not exceed 10% of the lot area.
The proposed ancillary building covers **18%** of the lot area.
- 3. Chapter 10.5.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 2.74 m.
The proposed front yard setback is 1.18 m.
- 4. Chapter 200.5.10.1.(1), By-law No. 569-2013**
The required minimum number of parking space(s) for a detached house is 2 spaces.
The proposed detached house will have 1 space.
- 5. Section 3.2.1 (v), By-law No. 1-83**
The owner or occupant of every building or structure to be erected or used for the purpose of any residential use shall provide and maintain motor vehicle parking facilities on the lot which the residential use is situated. The proposed dwelling requires 2 residential parking spaces.
The site can provide 1 parking space.

6. Section 3.(b), By-law No. 1-83

The minimum front yard setback is 1.74 m.
The proposed front yard setback is 1.18 m.

7. Section 3.1.4, By-law No. 1-83

The by-law requires an accessory building where the garage entrance faces a laneway to be setback a minimum of 1.5 m.
The proposed accessory building setback is 0.86 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposed driveway to be constructed of permeable materials.

SIGNATURE PAGE

File Number:	A0382/17NY	Zoning	RM / R2 (ZR)
Owner:	LAURA CASIELLO	Ward:	Eglinton-Lawrence (15)
Agent:	ESCALA DESIGNS INC	Heritage:	Not Applicable
Property Address:	82 AMHERST AVE	Community:	York
Legal Description:	PLAN 2311 PT LOTS 5 TO 7		

Denise Graham (signed)

Giacomo Tonon (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

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North York Panel

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Thursday, June 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0455/17NY	Zoning	RD (f15.0; a550)/R4[ZONING]
Owner(s):	AMIR KOUCHAKIMOGHADAM	Ward:	Willowdale (23)
Agent:	EZDA	Heritage:	Not Applicable
Property Address:	321 BYNG AVE	Community:	North York
Legal Description:	PLAN 3691 W PT LOT 129		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished. Please be advised the subject property went before the Committee of Adjustment on March 22, 2017, approved development proposal.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 13.2.5A, By-law No. 569-2013**
The maximum permitted building length is 16.8m.
The proposed building length is 19.98m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0455/17NY	Zoning	RD (f15.0; a550)/R4[ZONING]
Owner:	AMIR KOUCHAKIMOGHADAM	Ward:	Willowdale (23)
Agent:	EZDA	Heritage:	Not Applicable
Property Address:	321 BYNG AVE	Community:	North York
Legal Description:	PLAN 3691 W PT LOT 129		

Denise Graham (signed)

Giacomo Tonon (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 22, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0321/17NY	Zoning	RD(f15.0;a550)(x5)/ R4 [ZZC]
Owner(s):	HERBERT OTTO F BERGENS AIHEMAITI KELIMU	Ward:	Willowdale (23)
Agent:	EZDA	Heritage:	Not Applicable
Property Address:	190 POYNTZ AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 844 TO 845		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1) A), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- 2. Chapter 10.20.4010.(2) B(ii), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line 8.01m.
- 3. Section 13.2.3(a), By-law No. 7625**
The minimum required front yard setback is 7.50 +/- 1.00m.
The proposed front yard setback is 6.00m.
- 4. Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- 5. Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.22m.

6. Section 6(30)a, By-law No. 7625

The maximum permitted finished first floor height is 1.50m.

The proposed finished first floor height is 1.61m.

7. Section 6(9)(b), By-law No. 7625

Exterior stairways and wheelchair ramps shall be permitted to project into the front yard and rear yard a maximum of 2.10m.

The proposed basement walkout stairs project 2.13m.

8. Section 13.2.2, By-law No. 7625

The minimum required lot area is 550.00m².

The proposed lot area is 510.96m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- 2) The proposal be developed in accordance with the east and west side elevations drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, June 12, 2017, in order to allow the second storey windows be a maximum height of 8.01m.**

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

GENERAL NOTES:

1. THESE DRAWINGS ARE THE COPYRIGHT PROPERTY OF THE DESIGNER AND SHALL NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION OF THE DESIGNER.
2. THESE DRAWINGS ARE FOR PERMIT APPLICATION PURPOSES. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE ANY CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO THE DESIGNER AND OWNER IMMEDIATELY.
3. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST REVISIONS OF THE ONTARIO BUILDING CODE AND ALL APPLICABLE REGULATIONS.
4. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF TORONTO AND THE ONTARIO ENGINEERING BOARD.
5. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION FOR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL PROCEED WITH WORK.

NO.	ISSUED FOR	DATE
1	ZONING & COA	MAR 21 2017

PROJECT ADDRESS:
190 POYNTZ AVE.
TORONTO, ONTARIO

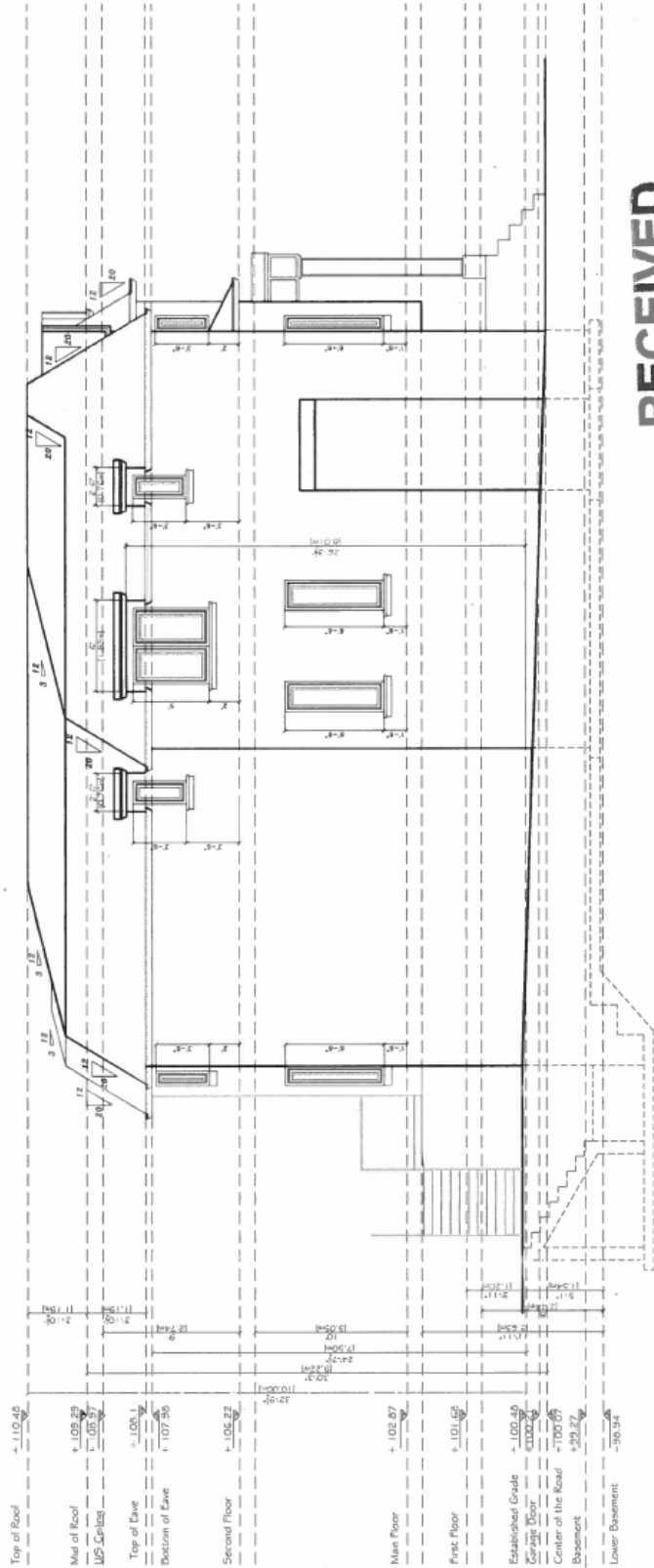
PROJECT NO: NA
DRAWING TITLE:
WEST SIDE ELEVATION

NO.	REVISION	DATE

ELMIRA ZARRABI
PHONE: +1 (416) 792-0161
EMAIL: ELMIRA@EZDA.CA
ADDRESS: 603 DUNDAS ST. UNIT 304,
TORONTO, ON, CANADA
M5R 3A7

STRUCTURAL ENGINEER:
SCALE: 1/8"=1'-0"
DRAWN BY: [Signature]
DATE:

A8



RECEIVED
JUN 12 2017
Toronto City Planning
North York District

Top of Roof	+110.40
Mid of Roof	+109.40
Top of Eave	+108.11
Bottom of Eave	+107.95
Second Floor	+106.82
Main Floor	+102.87
First Floor	+101.65
Established Grade	+100.40
Garage Door	+100.00
Center of the Road	+100.00
Basement	+99.27
Lower Basement	+98.94

GENERAL NOTES:

1. THESE DRAWINGS ARE THE COPYRIGHT PROPERTY OF THE ENGINEER AND SHALL NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.
2. THESE DRAWINGS ARE FOR PERMIT APPLICATION PURPOSES. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. ANY DISCREPANCY MUST BE REPORTED TO THE ENGINEER IMMEDIATELY.
3. DO NOT SCALE DRAWINGS AND DIMENSIONS.
4. ALL WORK SHALL BE CHECKED OUT IN ACCORDANCE WITH THE CITY OF TORONTO REQUIREMENTS OF THE LATEST REVISION OF THE BUILDING CODE OF ORDINANCE.
5. VERIFY ALL DIMENSIONS FROM TO CONSTRUCTION.
6. ALL STRUCTURAL CHANGES MUST BE REVIEWED AND APPROVED BY CERTIFIED ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
7. THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL DRAWINGS, ETC. THE DRAWINGS REFER TO APPROPRIATE PROFESSIONAL ENGINEERS BEFORE PROCEEDING WITH WORK.

NO.	ISSUED FOR	DATE
1	ZONING & COA	MAR 21 2017

PROJECT ADDRESS:
190 POYNTZ AVE.
TORONTO, ONTARIO

PROJECT NO: NA
DRAWING TITLE:
EAST SIDE ELEVATION

NO.	REVISION	DATE
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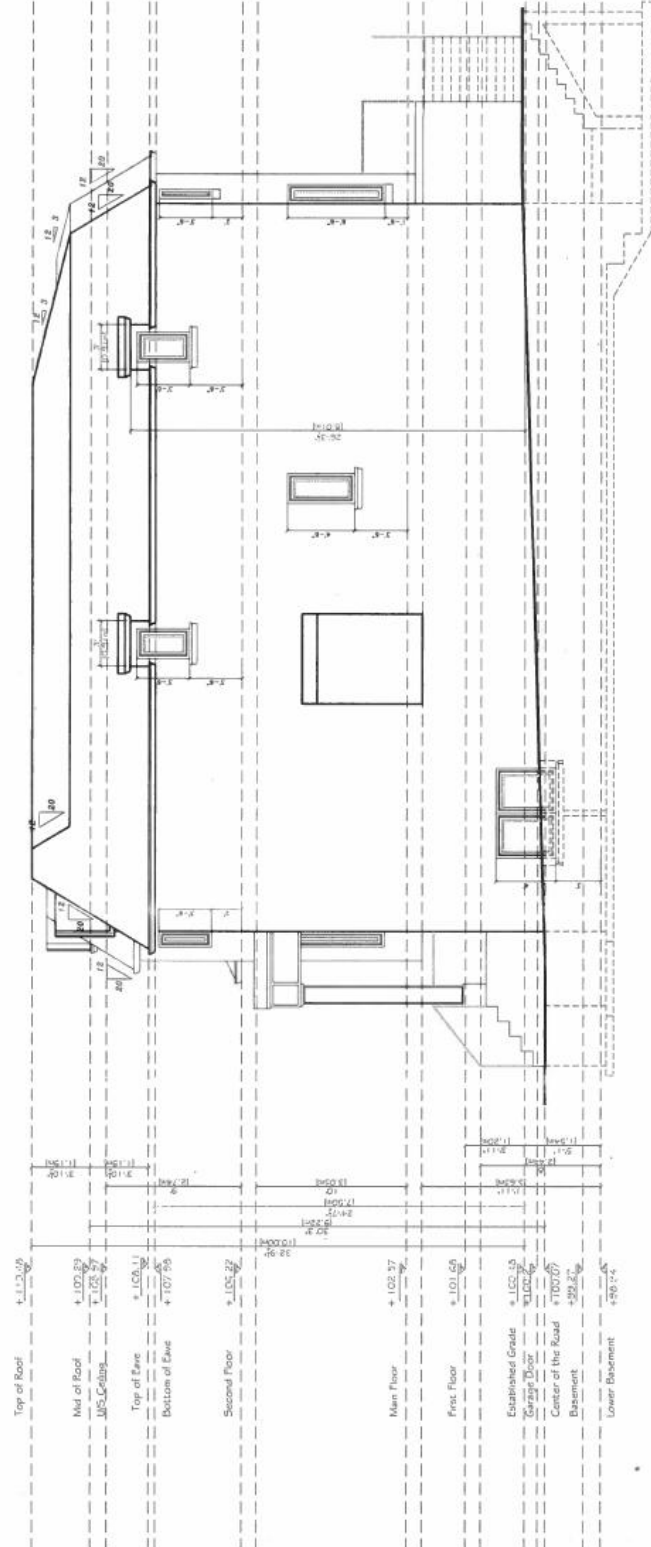
**ELMIRA
ZARRABI**

PHONE:
+1 (647) 927-0161
ADDRESS:
ELMIRA BIZDA CA
SUITE 100
100 WYNDING ST. UNIT 300,
M7M 3W2, ON, CANADA

STRUCTURAL ENGINEER

SCALE:	1/8" = 1'-0"
DRAWN BY:	E. Z.
DATE:	

A9



RECEIVED

JUN 12 2017

Toronto City Planning
North York District

SIGNATURE PAGE

File Number:	A0321/17NY	Zoning	RD(f15.0;a550)(x5)/ R4 [ZZC]
Owner:	HERBERT OTTO F BERGENS AIHEMAITI KELIMU	Ward:	Willowdale (23)
Agent:	EZDA	Heritage:	Not Applicable
Property Address:	190 POYNTZ AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 844 TO 845		

Denise Graham (signed)

Giacomo Tonon (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 22, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0297/17NY	Zoning	RD / R4 (ZW)
Owner(s):	MOHAMMED RAFIPOUR	Ward:	Eglinton-Lawrence (16)
Agent:	ARCICA INC	Heritage:	Not Applicable
Property Address:	233 CARMICHAEL AVE	Community:	North York
Legal Description:	PLAN 1831 PT LOTS 55 & 56		

Notice was given and a Public Hearing was held on Thursday, June 22, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40, By-law No. 569-2013**
The maximum permitted lot coverage is 30%.
The proposed lot coverage is 35%.
- 2. Chapter 10.20.40.70 & Exception RD5, By-law No. 569-2013**
The minimum required west side yard setback is 1.8 m.
The proposed west side yard setback is 1.2 m.
- 3. Chapter 10.20.40.70 & Exception RD5, By-law No. 569-2013**
The minimum required east side yard setback is 1.8m.
The proposed east side yard setback is 1.2 m.
- 4. Chapter 10.5.40.60(1), By-law No. 569-2013**
The minimum required setback for a front porch from the west side lot line is 1.8 m.
The proposed front porch is 1.2 m from the west side lot line.
- 5. Section 13.2.1 & 6(8), By-law No. 7625**
The minimum required lot frontage and width is 15 m.
The existing lot frontage and width is 12.19 m.
- 6. Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550 m².
The existing lot is 427.25 m².

7. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30%.
The proposed lot coverage is 35%.
8. **Section 13.2.3 & 13.2.3A, By-law No. 7625**
The minimum required west side yard setback is 1.5 m.
The proposed west side yard setback is 1.2 m.
9. **Section 13.2.3 & 13.2.3A, By-law No. 7625**
The minimum required east side yard setback is 1.5 m.
The proposed east side yard setback is 1.2 m.
10. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.1 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0297/17NY	Zoning	RD / R4 (ZW)
Owner:	MOHAMMED RAFIPOUR	Ward:	Eglinton-Lawrence (16)
Agent:	ARCICA INC	Heritage:	Not Applicable
Property Address:	233 CARMICHAEL AVE	Community:	North York
Legal Description:	PLAN 1831 PT LOTS 55 & 56		

Denise Graham (signed)

Giacomo Tonon (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 29, 2017

LAST DATE OF APPEAL: Wednesday, July 12, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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