

1. 68 MCGILL ST

File Number:	A1227/16TEY	Zoning	R(d1.0) & R3 Z1.0 (BLD)
Owner(s):	YOLANDA PANDOLFO JAMES GARDNER	Ward:	Toronto Centre-Rosedale (27)
Agent:	SAM SPAGNUOLO	Heritage:	Not Applicable
Property Address:	68 MCGILL ST	Community:	Toronto
Legal Description:	PLAN 203 PT LOT 41 RP63R1595 PARTS 12 & 13		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a rear second storey deck with an attached rear ground level shed and a spa pool in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.40.30.(1)(A), By-law 569-2013

The maximum permitted depth of a detached dwelling is 17.0 m.

The altered detached dwelling will have a depth of 17.32 m. measured to the rear of the attached shed.

2. Chapter 10.10.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index of a detached dwelling is 1.0 times the area of the lot (185.67 m²).

The altered detached dwelling will have a floor space index equal to 1.21 times the area of the lot (224.62 m²), which includes the area of the attached shed.

3. Chapter 10.10.40.70.(2), By-law 569-2013

The minimum required rear yard setback is 7.5 m.

The altered detached dwelling will be located 4.80 m from the rear lot line, measured to the attached shed.

4. Chapter 10.5.60.20.(8)(A)(iii), By-law 569-2013

The minimum required rear yard setback for a swimming pool or other ancillary structure used to hold water is 1.2 m.

The rear spa pool will be located 0.39 m from the rear lot line.

5. Chapter 10.5.60.20.(9)(A)(i), By-law 569-2013

The minimum required side yard setback for a swimming pool or other ancillary structure used to hold water is 1.2 m.

The rear spa pool will be located 1.14 m from the west side lot line.

6. Chapter 10.5.60.20.(11), By-law 569-2013

The minimum required rear yard setback and side yard setback for a deck located no closer the residential building on the lot than 0.3 m is 0.76 m.

The spa pool's deck will be located 0.26 m from the rear lot line, 0.20 m from the east side lot line, and 0.30 m from the west side lot line

1. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area of a detached dwelling is 1.0 times the area of the lot (185.67 m²).

The altered detached dwelling will have a gross floor area equal to 1.21 times the area of the lot (224.62 m²), which includes the area of the attached shed.

2. Section 6(3) Part II 3.B(II), By-law 438-86

The minimum required side lot line setback for the portion of the building exceeding a depth of 17.0 m is 7.5 m.

The 0.32 m portion of the altered detached dwelling (measured to the attached shed), exceeding the 17.0 m depth, will be located 0.58 m from the east side lot line and 5.14 m from the west side lot line.

3. Section 6(3) Part II 4, By-law 438-86

The minimum required rear yard setback is 7.5 m.

The altered detached dwelling will be located 4.80 m from the rear lot line, measured to the attached shed.

4. Section 6(3) Part II 4, By-law 438-86

A privately-owned outdoor swimming pool is permitted provided it is accessory to a detached house provided no part of the portion of the swimming pool filled or capable of being filled with water is on a portion of the lot closer to the front lot line than the front wall of the principal building or structure or closer to the rear lot line or a side lot line or public lane than the distance of 1.2 metres.

The spa pool will be located 0.39 metres from the north rear lot line, 1.05 metres from the east side lot line, and 1.14 metres from the west side lot line.

MOTION

It was moved by Carl Knipfel, seconded by Alex Bednar and carried unanimously that the application be **deferred, for a maximum of 3 months**. The deferral would provide the applicant with an opportunity to discuss the proposal in more detail with area residents. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel B**.

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1285/16TEY	Zoning	R(d1.0)(x851) & R3 Z1.0 (ZZC)
Owner(s):	CLAYTON GREENWAY SARAH-JANE BRIMLEY	Ward:	Toronto Centre-Rosedale (28)
Agent:	MARIO FARAONE	Heritage:	Designated
Property Address:	20 MILLINGTON ST	Community:	Toronto
Legal Description:	PLAN 26 LOT 19 PT RP 63R1509 PART 4		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing three-storey semi-detached dwelling by constructing a rear third storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.10.(2)(A), By-law 569-2013**
The maximum permitted height of all rear exterior main walls is 9.5 m.
The height of the rear exterior main walls will be 10.87 m.
- 2. Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index of a semi-detached dwelling is 1.0 times the area of the lot (174.19 m²).
The altered semi-detached dwelling will have a floor space index equal to 1.17 times the area of the lot (204.39 m²).
- 1. Section 6(3) Part I 1, By-law 438-86**
The maximum permitted gross floor area of a semi-detached dwelling is 1.0 times the area of the lot (174.19 m²).
The altered semi-detached dwelling will have a gross floor area equal to 1.17 times the area of the lot (204.39 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1285/16TEY	Zoning	R(d1.0)(x851) & R3 Z1.0 (ZZC)
Owner(s):	CLAYTON GREENWAY SARAH-JANE BRIMLEY	Ward:	Toronto Centre-Rosedale (28)
Agent:	MARIO FARAONE	Heritage:	Designated
Property Address:	20 MILLINGTON ST	Community:	Toronto
Legal Description:	PLAN 26 LOT 19 PT RP 63R1509 PART 4		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

Appeal Information

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1286/16TEY	Zoning	R(d1.0) & R3 Z1.0 (ZZC)
Owner(s):	STEVEN TANG	Ward:	Trinity-Spadina (19)
Agent:	DUYEN NGUYEN	Heritage:	Not Applicable
Property Address:	22 WHITAKER AVE	Community:	Toronto
Legal Description:	PLAN D134 PT LOT 24 RP 63R487 PART 2		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a roof top deck over the rear detached garage and with access stairs.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.40.30.(1), By-law 569-2013**
The maximum permitted depth of a townhouse is 14.0 m.
The altered townhouse will have a depth of 24.0 m.
- Chapter 10.10.40.70.(2), By-law 569-2013**
The minimum required rear yard setback is 7.5 m.
The altered townhouse will be located 0.62 m from the rear lot line.
- Chapter 10.5.50.10.(3)(B), By-law 569-2013**
A minimum of 25% (0.61 m²) of the rear yard must be maintained as soft landscaping.
In this case, 0.0% (0.0 m²) of the rear yard will be maintained as soft landscaping.
- Section 6(3) Part II 3.F(I), By-law 438-86**
The minimum required side lot line setback of a rowhouse is 0.45 m where the side wall contains no openings or an attached structure is without walls.
The altered rowhouse will be located 0.0 m from the east and west side lot lines.
- Section 6(3) Part II 4, By-law 438-86**
The minimum required rear yard setback is 7.5 m.
The altered rowhouse will be located 0.62 m from the rear lot line.

3. Section 6(3) Part II 5(I), By-law 438-86

The maximum permitted depth of a rowhouse is 14.0 m.
The altered rowhouse will have a depth of 24.0 m.

4. Section 6(3) Part III 1(A), By-law 438-86

A minimum of 30% of the lot area (28.97 m²) shall be landscaped open space.
In this case, 0.0% of the lot area (0.0 m²) will be landscaped open space.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to refuse this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A1286/16TEY	Zoning	R(d1.0) & R3 Z1.0 (ZZC)
DOwner(s):	STEVEN TANG	Ward:	Trinity-Spadina (19)
Agent:	DUYEN NGUYEN	Heritage:	Not Applicable
Property Address:	22 WHITAKER AVE	Community:	Toronto
Legal Description:	PLAN D134 PT LOT 24 RP 63R487 PART 2		

DISSENTED

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

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5. 197 POPLAR PLAINS RD

File Number:	A1287/16TEY	Zoning:	RD(f12.0; d0.6)(x1424) & R1 Z0.6 (ZZC)
Owner(s):	OSKAR HAROLD W JOHANSSON CRYSTAL BASSETT JOHANSSON	Ward:	St. Paul's (22)
Agent:	PETER HIGGINS	Heritage:	Not Applicable
Property Address:	197 POPLAR PLAINS RD	Community:	Toronto
Legal Description:	PLAN 826 PT BLK D PT LOT 24		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral two-car garage and two accessory structures.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(1)(A), By-law 569-2013**
The maximum permitted building height is 10.0 m.
The new detached dwelling will have a height of 12.13 m.
- 2. Chapter 10.20.40.10.(2)(A(i)&(ii)), By-law 569-2013**
The maximum permitted height of all front and rear exterior main walls is 7.5 m.
The height of the front and rear exterior main walls will be 8.44 m.
- 3. Chapter 10.20.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The height of the side exterior main walls facing a side lot line will be 8.44 m.
- 4. Chapter 10.20.40.20.(1)(A), By-law 569-2013**
The maximum permitted building length for a detached dwelling is 17.0 m.
The new detached dwelling will have a building length of 22.54 m.
- 5. Chapter 10.20.40.30.(1), By-law 569-2013**
The maximum permitted depth of a detached dwelling is 19.0 m.
The new detached dwelling will have a depth of 24.9 m.
- 6. Chapter 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (558.84 m²).
The new detached dwelling will have a floor space index equal to 0.73 times the area of the lot (678.97 m²).

7. Chapter 10.20.40.70.(3)(C), By-law 569-2013

The minimum required side yard setback is 1.2 m.

The new detached dwelling will be located 0.93 m and 1.40 m from the north side lot lines, and 0.91m and 1.22 m from the south side lot line.

1. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (558.84 m²).

The new detached dwelling will have a gross floor area equal to 0.9 times the area of the lot (837.8 m²).

2. Section 6(3) Part II 3.B(II), By-law 438-86

The minimum required side lot line setback for the portion of the building exceeding a depth of 17.0 m is 7.5 m.

The 7.9 m portion of the new detached dwelling, exceeding the 17.0 m depth, will be located 0.93 m to 4.09 m from the north side lot line, and 1.22 m to 6.75 m from the south side lot line.

3. Section 6(3) Part II 7(I), By-law 438-86

The minimum required setback of an accessory structure to all lot lines is 3.0 m.

The north accessory structure will be located 0.76 m from the north side lot line, measured from the main wall, and 0.48 m from the north side lot line, measured from the roof projection.

The south accessory structure will be located 0.76 m from the south side lot line, measured from the main wall, and 0.48 m from the south side lot line, measured from the roof projection.

MOTION

It was moved by Carl Knipfel, seconded by Alex Bednar and carried unanimously that the application be **deferred, for a maximum of 3 months**. The deferral would provide the applicant with an opportunity to discuss the proposal in more detail with area residents. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel B**.

6. 22 FIELDING AVE

File Number:	A1288/16TEY	Zoning	R (d0.6)(x322) & R2 Z0.6 (ZZC)
Owner(s):	MARINA DEGTEVA STUART KNIGHT	Ward:	Toronto-Danforth (29)
Agent:	STUART HATCH	Heritage:	Not Applicable
Property Address:	22 FIELDING AVE	Community:	Toronto
Legal Description:	PLAN 417E PT LOTS 90 & 91		

PURPOSE OF THE APPLICATION:

To alter the existing two-storey semi-detached dwelling by constructing a rear ground floor deck with a storage shed and a rear detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.50.10.(3)(B), By-law 569-2013

A minimum of 25% (17.43 m²) of the rear yard must be maintained as soft landscaping. In this case, 6% (4.19 m²) of the rear yard has been maintained as soft landscaping.

2. Chapter 10.5.40.60.(1)(C), By-law 569-2013

A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.5 m if it is no closer to a side lot line than 0.3 m. In this case, the rear ground floor deck encroaches into the required rear yard setback and will be located 0.16 m from the west side lot line.

3. Chapter 10.10.60.20.(1)(A), By-law 569-2013

The minimum required rear yard setback for an ancillary building or structure is 1.0 m. The rear detached garage will be located 0.23 m from the north rear lot line.

1. Section 6(3) Part II 7(II) A, By-law 438-86

The minimum required setback of an accessory structure to an adjacent residential building is 4.5 m. The rear detached garage will be located 1.38 m from the west adjacent residential building (20 Fielding Avenue).

2. Section 6(3) Part II 7 (III), By-law 438-86

An accessory garden or storage shed less than 9 m² in floor area or a private garage must be setback a minimum of 1.5 m from the main building. In this case, the storage shed will be setback 0 m from the main building.

3. Section 6(3) Part II 8 E, By-law 438-86

An uncovered platform is permitted to project into the required setback provided it does not extend beyond the side walls of the building. In this case, the rear ground floor deck will extend beyond the side walls of the building as projected.

MOTION

It was moved by Lisa Valentini, seconded by Alex Bednar and carried unanimously that the application be **deferred, for a maximum of 3 months**. The deferral would provide the applicant with an opportunity to revise the proposal and to meet with concerned neighbours. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel B**.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1289/16TEY	Zoning	R(d0.6 H10.0) & R2 Z0.6 H10.0 (ZZC)
Owner(s):	CHRISTOPHER GRIMALDI	Ward:	Trinity-Spadina (19)
Agent:	DAVID RILEY	Heritage:	Not Applicable
Property Address:	351 MANNING AVE	Community:	Toronto
Legal Description:	PLAN D152 PT LOT 58		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter and convert the existing three-storey semi-detached dwelling with two dwelling units by constructing a rear third storey addition with a deck and establishing three dwelling units.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.40.10.(1)(A), By-law 569-2013**
The maximum permitted building or structure height is 10.0 m.
The rear third storey addition will have a height of 10.34 m.
- Chapter 10.10.40.10.(2)(B)(i), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The height of the side exterior main walls facing the north side lot line will be 10.34 m.
- Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The height of the side exterior main walls facing the south side lot lines will be 10.34 m.
- Chapter 10.10.40.10.(2)(A), By-law 569-2013**
Additions to the rear of a semi-detached dwelling erected before October 15, 1953, are permitted provided the floor space index of the building, as enlarged, does not exceed 0.69 times the area of the lot (133.29 m²).
The altered semi-detached dwelling will have a floor space index equal to 1.26 times the area of the lot (243.42 m²).

5. Chapter 150.10.40.1.(3)(A), By-law 569-2013

A secondary suite is permitted provided that an addition or exterior alteration to a building to accommodate a secondary suite does not alter or add to a main wall or roof facing a street. In this case, the third floor addition will alter the north wall facing a street.

6. Chapter 200.5.10.1.(1), By-law 569-2013

A minimum of two parking spaces are required to be provided. In this case, one parking space will be provided.

1. Section 6(3) Part VI 1(I), By-law 438-86

Additions to the rear of a semi-detached house erected before October 15, 1953, or to a converted house, are permitted provided the residential gross floor area of the building, as enlarged, does not exceed 0.69 times the area of the lot (133.29 m²).

Decision Number A0491/03TEY permits a gross floor area of 0.99 times the lot area (193.23 m²). In this case the altered semi-detached dwelling will have a gross floor area equal to 1.74 times the area of the lot (336.77 m²).

2. Section 6(2) (1) ii, By-law 438-86

A converted house is permitted, provided there is no addition to the part of the house facing a flanking street.

In this case, the addition is on the part of the house facing the flanking street to the north.

3. Section 6(2) (1)iii, By-law 438-86

Only one addition may be erected at the time of conversion of a building to a converted house or thereafter.

In this case, one addition has already been added.

4. Section 6(3) Part VI 1(VII), By-law 438-86

Additions to the rear of a semi-detached dwelling erected before October 15, 1953 or to a converted house, are permitted provided that the height of the addition or additions does not exceed 10.0 m.

In this case, the rear addition will have a height of 10.34 m.

5. Section 4(5)(b), By-law 438-86

A minimum of two parking spaces are required to be provided.

In this case, one parking space will be provided.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1289/16TEY	Zoning	R(d0.6 H10.0) & R2 Z0.6 H10.0 (ZZC)
Owner(s):	CHRISTOPHER GRIMALDI	Ward:	Trinity-Spadina (19)
Agent:	DAVID RILEY	Heritage:	Not Applicable
Property Address:	351 MANNING AVE	Community:	Toronto
Legal Description:	PLAN D152 PT LOT 58		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

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Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.



NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1290/16TEY	Zoning:	R & R2 (ZZC)
Owner(s):	MARSHALL DIAL VIRGINIE DIAL	Ward:	Toronto-Danforth (30)
Agent:	SANDRA SMITH	Heritage:	Not Applicable
Property Address:	27 SPARKHALL AVE	Community:	Toronto
Legal Description:	PLAN 764 PT LOT 5		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by constructing a basement secondary suite and a front basement walkout.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 150.10.40.1.(3)(A), By-law 569-2013

A secondary suite is a permitted use provided that an exterior alteration to a building to accommodate a secondary suite does not alter a main wall or roof that faces a street. The addition to the building will alter the north front main wall that faces the street.

1. Section 6(2) (1)(iii)(A), By-law 438-86

A converted dwelling is permitted, provided there is no exterior alteration or addition to the front main wall of the dwelling. In this case, the front basement walkout and bay window extension to the basement level will alter the front main wall of the dwelling.

2. Section 6(3) Part III 3(d)(i)(d), By-law 438-86

A minimum of 75% (18.04 m²) of the front yard, not covered by a permitted driveway, must be maintained as soft landscaping. In this case, 39.1% (9.41 m²) of the front yard, not covered by a permitted driveway, will be maintained as soft landscaping.

3. Section 6(3) Part III 3(d)(i)(b), By-law 438-86

A minimum of 50% (12.25 m²) of the front yard must be maintained as landscaping. In this case, 43.5% (10.48 m²) of the front yard will be maintained as landscaping.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1290/16TEY	Zoning	R & R2 (ZZC)
Owner(s):	MARSHALL DIAL VIRGINIE DIAL	Ward:	Toronto-Danforth (30)
Agent:	SANDRA SMITH	Heritage:	Not Applicable
Property Address:	27 SPARKHALL AVE	Community:	Toronto
Legal Description:	PLAN 764 PT LOT 5		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**
LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1291/16TEY	Zoning:	RS & R2A (ZZC)
Owner(s):	ERIN ELIZABETH HAYES ANDREW LAWRENCE MUIR	Ward:	Beaches-East York (31)
Agent:	DAVID LANG	Heritage:	Not Applicable
Property Address:	189 QUEENSDALE AVE	Community:	Toronto
Legal Description:	PLAN 297 PT LOT 10		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey semi-detached dwelling by constructing a rear two-storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.40.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 35% of the lot area (58.55 m²).
The lot coverage will be equal to 49% of the lot area (82.04 m²).
- Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.75 times the area of the lot (125.48 m²).
The altered dwelling will have a floor space index equal to 0.85 times the area of the lot (142.81 m²).
- Chapter 10.40.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17.0 m.
The altered dwelling will have a building length equal to 17.68 m.
- Section 7.5.3, By-law 6752**
The maximum permitted building length is 16.75 m.
The altered dwelling will have a building length equal to 17.68 m.
- Section 7.5.3, By-law 6752**
The maximum permitted floor space index is 0.75 times the area of the lot (125.48 m²).
The altered dwelling will have a floor space index equal to 0.85 times the area of the lot (142.81 m²).

3. Section 7.5.3, By-law 6752

The maximum permitted lot coverage is 35% of the lot area (58.55 m²).

The lot coverage will be equal to 49% of the lot area (82.04 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The lot coverage of the altered detached dwelling exclusive of any detached accessory structures be no greater than 44.7% of the lot area under Zoning By-law 569-2013 and 6752.

SIGNATURE PAGE

File Number:	A1291/16TEY	Zoning	RS & R2A (ZZC)
Owner(s):	ERIN ELIZABETH HAYES ANDREW LAWRENCE MUIR	Ward:	Beaches-East York (31)
Agent:	DAVID LANG	Heritage:	Not Applicable
Property Address:	189 QUEENSDALE AVE	Community:	Toronto
Legal Description:	PLAN 297 PT LOT 10		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**
LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

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- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

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10. 454 WINNETT AVE

File Number:	A1292/16TEY	Zoning	RM (f12; u2; d0.8) & R2 (ZZC)
Owner(s):	ANJA GOLBERG	Ward:	St. Paul's (21)
Agent:	LARRY MINTOFF	Heritage:	Not Applicable
Property Address:	454 WINNETT AVE	Community:	York
Legal Description:	PLAN 2339 N PT LOT 58		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with a front integral carport.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.80.40.30.(1), By-law 569-2013**
The maximum permitted building depth for a detached dwelling is 17.0 m.
The new detached dwelling will have a depth of 20.6 m.
- 2. Chapter 10.80.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The new detached dwelling will have a building length of 20.6 m.
- 3. Chapter 10.80.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of each platform at or above the second storey of a detached house is 4.0 m².
In this case, the rear platform at or above the second storey will have an area of 5.92 m².
- 4. Chapter 10.80.40.70.(3)(A), By-law 569-2013**
The minimum required side yard setback for a detached dwelling is 1.2 m.
The new detached dwelling will be located 1.1 m from the north and south side lot lines.
- 5. Chapter 10.5.100.1.(1)(C)(iii), By-law 569-2013**
The maximum permitted driveway width is 2.9 m.
In this case, the driveway width will be 3.9 m.
- 6. Chapter 10.5.50.10.(1)(B), By-law 569-2013**
A minimum of 50% of the front yard landscaping must be landscaping (38.4 m²).
In this case, 45% (34.9 m²) of the front yard will be maintained as landscaping.
- 7. Chapter 10.5.50.10.(1)(D), By-law 569-2013**
A minimum of 75% of the required front yard landscaping must be soft landscaping (28.8 m²).
In this case, 37% (14.3 m²) of the front yard will be soft landscaping.
- 8. Chapter 200.5.1.10.(2)(A), By-law 569-2013**
The minimum required size of a parking space is 2.9 m in width and 5.6 m in length.
In this case, the parking space will have a width of 2.82 m and a length of 5.18 m.

1. Section 3(a), By-law 1-83

The minimum required side yard setbacks are 0.5 m and 1.2 m on the other side.
The new detached dwelling will be located 1.1 m from the south and north side lot lines.

2. Section 3(d), By-law 1-83

A minimum of 50% (38.4 m²) of the front yard shall open space landscaping.
In this case, 45% (34.9 m²) of the front yard will be open space landscaping.

3. Section 3(d), By-law 1-83

A minimum of 75% (28.8 m²) of the required front yard landscaped open space shall be in the form of soft landscaping.
In this case, 37% (14.3 m²) of the required front yard landscaped open space will be in the form of soft landscaping.

4. Section 3.2.1 (b), By-law 1-83

The maximum permitted driveway width is 2.9 m.
In this case, the driveway will have a width of 3.9 m.

5. Section 3.2.1 F (a)(i), By-law 1-83

The minimum required parking space size is 2.5 m in width and 5.7 m in length.
In this case, the parking space will have a width of 2.82 m and a length of 5.18 m.

MOTION

It was moved by Donald Granatstein, seconded by Alex Bednar and carried unanimously that the application be **deferred, for a maximum of 3 months**. The deferral would provide the applicant with an opportunity to revise the proposal and to meet with concerned neighbours. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel B**.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1297/16TEY	Zoning:	IC D3 N1.5 (Waiver)
Owner(s):	FIRST CAPITAL(KING LIBERTY-BARRYMORE) CORPORATION	Ward:	Trinity-Spadina (19)
Agent:	MICHAEL BISSETT	Heritage:	Listed
Property Address:	109 ATLANTIC AVE	Community:	Toronto
Legal Description:	PLAN 1194 PT BLK 300 RP 66R20953 PART 1		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing three-storey commercial building by adding a second storey addition to a one-storey portion of the building to enable a restaurant expansion.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 9(3) Part I 2 and Section 12(2) 270(a)(ii), By-law 438-86

The maximum permitted non-residential gross floor area comprised of retail, service, office and restaurant uses is 1.5 times the area of the lot (6,619.0 m²).

In this case, the altered building will have a non-residential gross floor area comprised of retail, office, service and restaurant uses equal to 1.6 times the area of the lot (7,059.0 m²).

2. Section 12(2) 270(a)(i) & (ii), By-law 438-86

The maximum permitted non-residential gross floor area permitted in Section 9(1)(f)(b)(iv) and (xi) is 1800 m² provided the maximum permitted non-residential gross floor area is not greater than 1.5 times the area of the lot (6,619.0 m²).

In this case, the altered building will have 2,450 m² of non-residential gross floor area of uses permitted in Section 9(1)(f)(b)(iv) and (xi) provided the maximum permitted non-residential gross floor area is not greater than 1.6 times the area of the lot (7,059.0 m²).

3. Section 12(2) 298, By-law 438-86

All uses identified in Section 9(1)(f)(b)(iv) under heading "Retail and Service Shops" are not permitted.

In this case, all uses identified in Section 9(1)(f)(b)(iv) under heading "Retail and Service Shops" will be permitted on the lot.

(Decision A0757/06TEY permitted uses identified in Section 9(1)(f)(b)(iv) within the Liberty Area in an IC district.)

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

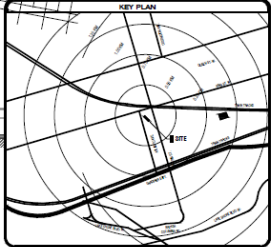
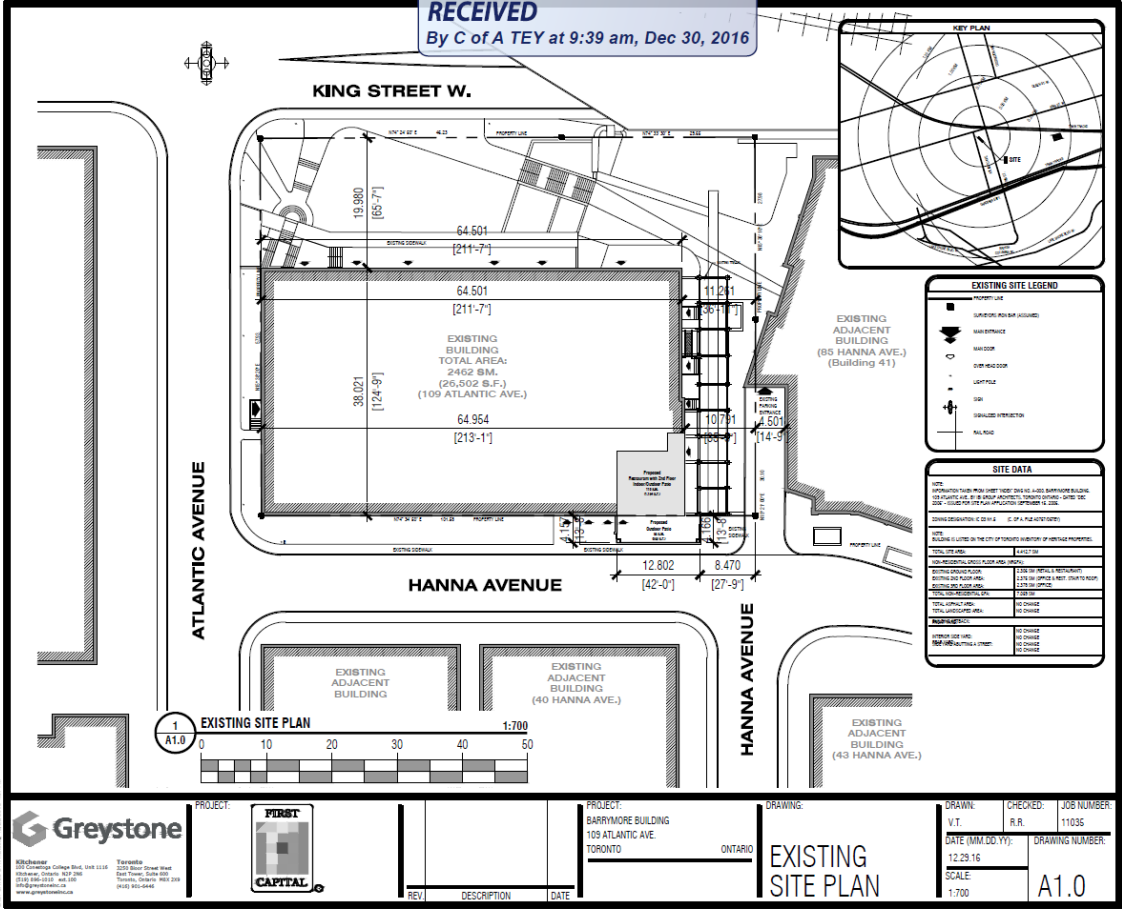
It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the submission of a building permit, the applicant shall submit final architectural drawings, including plans, elevations and details of exterior work to the satisfaction of the Manager of Heritage Preservation Services.
- (2) The altered commercial building shall be constructed substantially in accordance with the plans date stamped received by the Committee of Adjustment on December 30, 2016. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

RECEIVED
By C of A TEY at 9:39 am, Dec 30, 2016



EXISTING SITE LEGEND

- PROPERTY LINE
- SUBSIDIES AND SIGNAGE
- MANHOLES
- MANHOLE COVER
- POLE
- LIGHT
- UTILITIES INTERSECTION
- RAILROAD

SITE DATA

DATE: 12/23/16

PROJECT: BARRYMORE BUILDING, 109 ATLANTIC AVE., TORONTO, ONTARIO

SCALE: 1:700

DRAWING NUMBER: A1.0

Greystone

185 Dundas Street West, Suite 1100
Toronto, Ontario M5G 1R8
Tel: 416-593-8888
www.greystone.ca



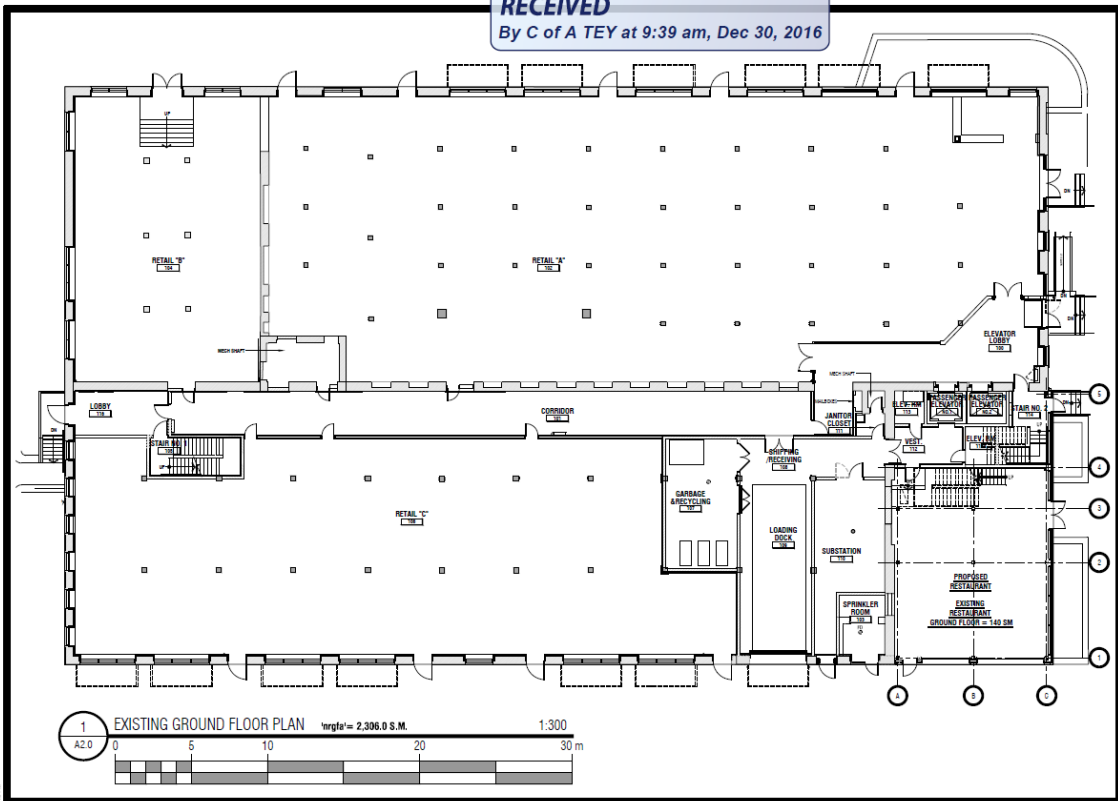
REV	DESCRIPTION	DATE

PROJECT:
BARRYMORE BUILDING
109 ATLANTIC AVE.
TORONTO, ONTARIO

DRAWING:
EXISTING SITE PLAN

V.T.	CHECKED:	JOB NUMBER:
	R.R.	11035
DATE (MM/DD/YY): 12/23/16		DRAWING NUMBER:
SCALE: 1:700		A1.0

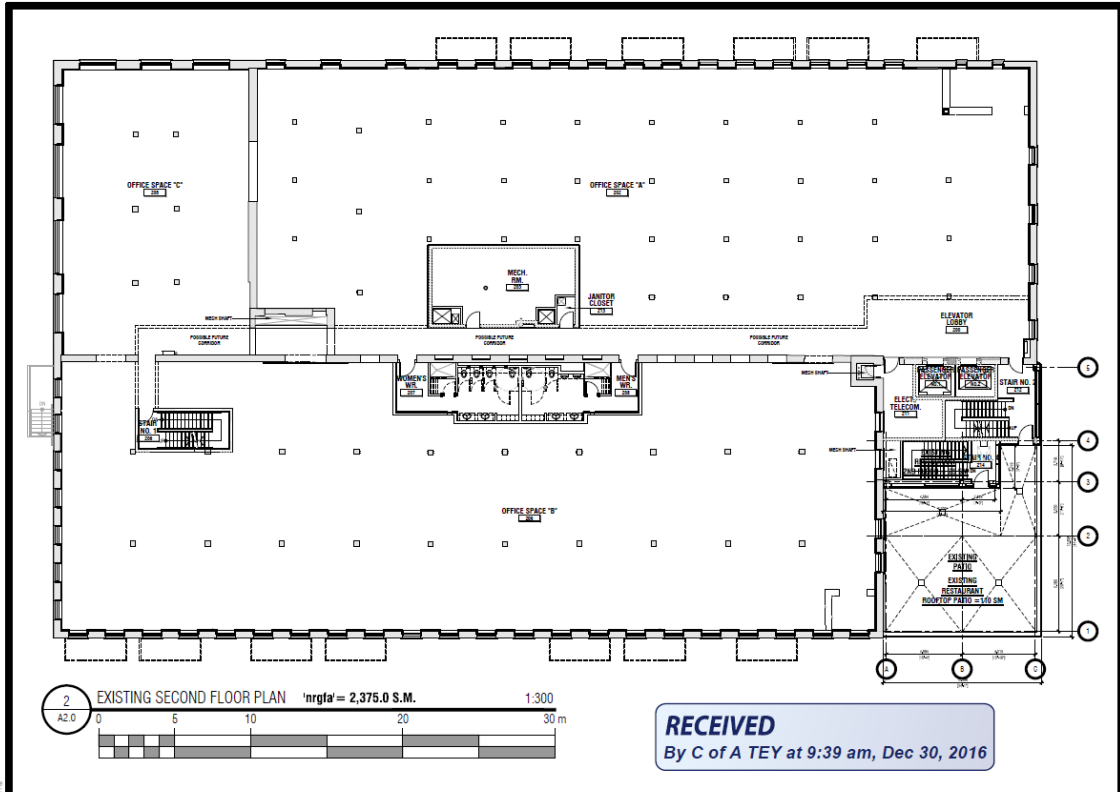
RECEIVED
By C of A TEY at 9:39 am, Dec 30, 2016



R.E.P./P.E. Capital 1110505 - Barrymore Building - West Capital Drive, 109 Atlantic Ave., Toronto, Ontario On (Project Reference: 110505 - Barrymore Building Phase 1) 11/20/16, M. - Capital
 416-491-1111
 www.capital.ca

1 EXISTING GROUND FLOOR PLAN 'nrgl' = 2,306.0 S.M. 1:300
 A2.0 0 5 10 20 30 m

			PROJECT:	DRAWING:	DRAWN:	CHECKED:	JOB NUMBER:
			BARRYMORE BUILDING 109 ATLANTIC AVE. TORONTO ONTARIO	EXISTING GROUND FLOOR PLAN	V.T.	R.R.	11035
REV. DESCRIPTION DATE					DATE (MM/DD/YY): 12/23/16		DRAWING NUMBER: A2.0
					SCALE: 1:300		



2 EXISTING SECOND FLOOR PLAN 'nrgfa' = 2,375.0 S.M. 1:300

RECEIVED
By C of A TEY at 9:39 am, Dec 30, 2016



PROJECT:



Kitchener
100 Cambridge College Road, Unit 1114
K2H 1G9
Tel: 519-875-1114
www.greystone.ca

Toronto
2200 Sheppard Avenue East
Suite 400
Toronto, Ontario M2S 1B8
Tel: 416-491-1114
www.greystone.ca

REV	DESCRIPTION	DATE
1	REVISED AREA CALCULATIONS	12.06.16

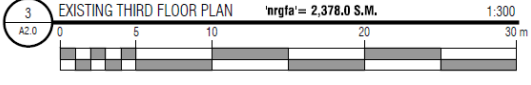
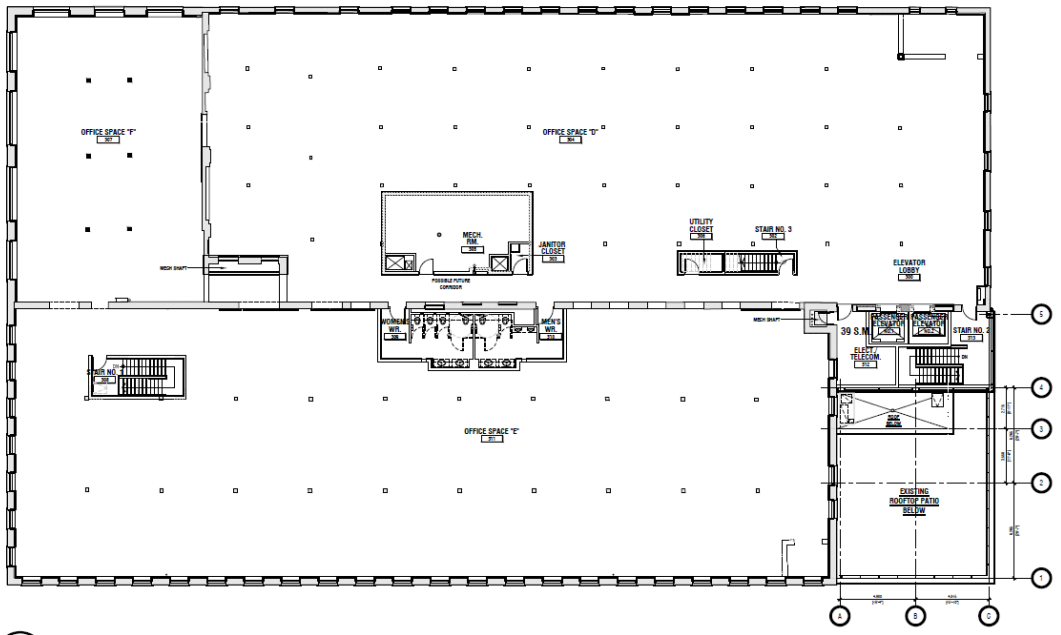
PROJECT:
BARRYMORE BUILDING
109 ATLANTIC AVE.
TORONTO ONTARIO

DRAWING:
**EXISTING
SECOND
FLOOR PLAN**

DRAWN: V.T.	CHECKED: R.R.	JOB NUMBER: 11035
DATE (MM/DD/YY): 12.23.16		DRAWING NUMBER: A2.0
SCALE: 1:300		

R.E.P./P.E. Capital 111 Cambridge College Road, Unit 1114, Kitchener, Ontario N2H 1G9
 100 Cambridge College Road, Unit 1114, Kitchener, Ontario N2H 1G9
 Tel: 519-875-1114
 www.greystone.ca

R.E.P. Inc. Capital 1110 Dundas Street West, Toronto, Ontario M6H 1C5
 416-593-8888
 www.repinc.com



RECEIVED
 By C of A TEY at 9:39 am, Dec 30, 2016

Greystone
 100 Cambridge College Blvd., Unit 1118
 Toronto, Ontario M2M 1P7
 Tel: 416-593-8888
 www.greystone.ca



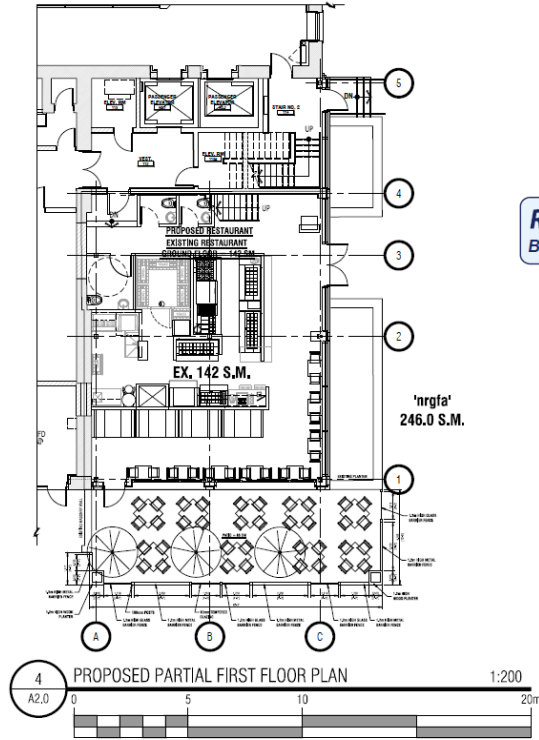
REV.	DESCRIPTION	DATE

PROJECT:
 BARRYMORE BUILDING
 109 ATLANTIC AVE.
 TORONTO ONTARIO

DRAWING:
 EXISTING
 THIRD
 FLOOR PLAN

DRAWN: V.T.	CHECKED: R.R.	JOB NUMBER: 11035
DATE (MM/DD/YY): 12/23/16		DRAWING NUMBER: A2.0
SCALE: 1:300		

RE: 15/17/16/001/11/11/001 - Bayshore Building - First Floor Plan - 100 Adelaide Ave., Toronto, Ontario (Site Plan) - Project No. 11035 - Approved Building Plans (CAD) - 12/29/16 - 12/29/16 - 12/29/16 - 12/29/16



RECEIVED
 By C of A TEY at 9:39 am, Dec 30, 2016



Kitchener
 100 Cambridge College Blvd. 10th Floor
 Kitchener, Ontario N2G 2V6
 (519) 865-1111 ext. 100
 www.greystone.ca

Toronto
 225 King Street East
 8th Floor, Suite 207
 Toronto, Ontario M5H 1H5
 (416) 911-0442
 www.greystone.ca



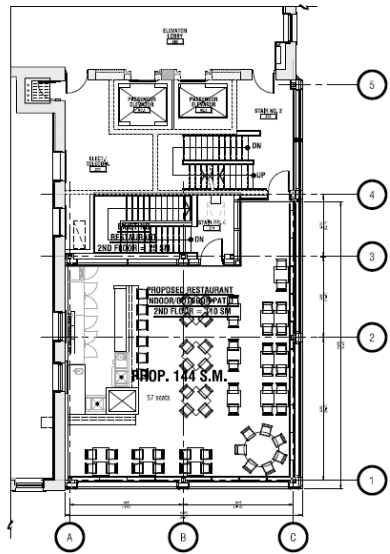
REV	DESCRIPTION	DATE

PROJECT:
 BARRYMORE BUILDING
 109 ATLANTIC AVE.
 TORONTO ONTARIO

DRAWING:
**PROPOSED
 FIRST
 FLOOR PLAN**

DRAWN: V.T.	CHECKED: R.R.	JOB NUMBER: 11035
DATE (MM/DD/YY): 12/29/16		DRAWING NUMBER: A2.0
SCALE: 1:200		

R.E.P./P.E. Capital 111-10505 - Bayview Building - West Coast Drive, 100 Adelaide Ave., Toronto, Ontario M5R 1A7
 Tel: (416) 461-1111 Fax: (416) 461-1112
 www.capital.ca



RECEIVED
 By C of A TEY at 9:39 am, Dec 30, 2016

5 PROPOSED PARTIAL SECOND FLOOR PLAN 1:200
 A2.0
 0 5 10 20m

Greystone
 Kitchener: 107 Cambridge College Blvd., Unit 1124
 225 King Street West, Suite 400
 Toronto, Ontario M5H 3B9
 Tel: (519) 875-2222 Fax: (519) 875-2223
 www.greystone.ca



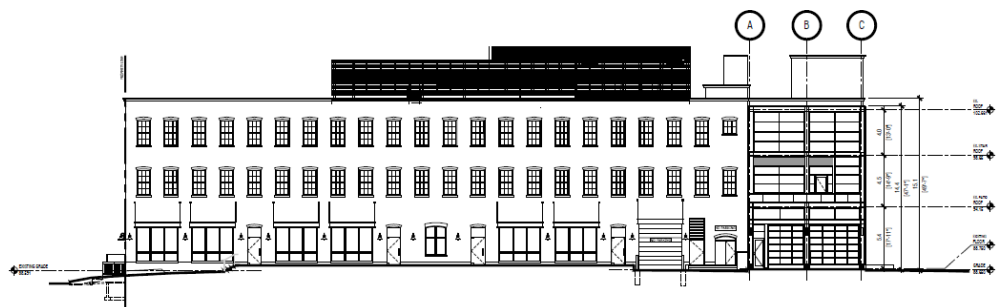
REV	DESCRIPTION	DATE

PROJECT:
 BARRYMORE BUILDING
 109 ATLANTIC AVE.
 TORONTO ONTARIO

DRAWING:
**PROPOSED
 SECOND
 FLOOR PLAN**

DRAWN: V.T.	CHECKED: R.R.	JOB NUMBER: 11035
DATE (MM/DD/YY): 12/23/16		DRAWING NUMBER:
SCALE: 1:200		A2.0

RECEIVED
By C of A TEY at 9:39 am, Dec 30, 2016



1 EXISTING SOUTH ELEVATION 1:400
A3.0 0 5 10 20 30 m

B:\Projects\Capital\1110505-Barrimore Building - West Capital Office - 100 Atlantic Ave., Toronto, Ontario\Site Preparation\Project\110505-Barrimore Building\Drawings\12.29.16\101.dwg
 User: jgarcia
 Date: 12/29/2016 11:58:58 AM

	PROJECT:		PROJECT:	BARRIMORE BUILDING 109 ATLANTIC AVE. TORONTO ONTARIO	DRAWING:	DRAWN:	CHECKED:	JOB NUMBER:
			EXISTING SOUTH ELEVATION		V.T.	R.R.	11035	
Kitchener 100 Cambridge College Blvd. Unit 1114 K2M 1G9 Tel: 519.875.1111 ext. 400 Fax: 519.875.1111 ext. 400 www.greystone.ca	Toronto 2250 Sheppard Avenue East East Tower, Suite 600 Toronto, Ontario M2S 2S8 Tel: 416.491.0400	REV. DESCRIPTION DATE	DATE (MM/DD/YY): 12.29.16	SCALE: 1:400	DRAWING NUMBER: A3.0			

RECEIVED

By C of A TEY at 9:39 am, Dec 30, 2016



2 EXISTING EAST ELEVATION 1:300
A3.0 0 5 10 20 30 m

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PROJECT:



Kitchener
100 Cambridge College Road, Unit 1114
Kitchener, Ontario N2T 2M6
416-240-2222 ext. 400
www.greystone.ca

Toronto
2250 Sheppard Avenue West
East Tower, Suite 605
Toronto, Ontario M2S 2B8
416-291-0440

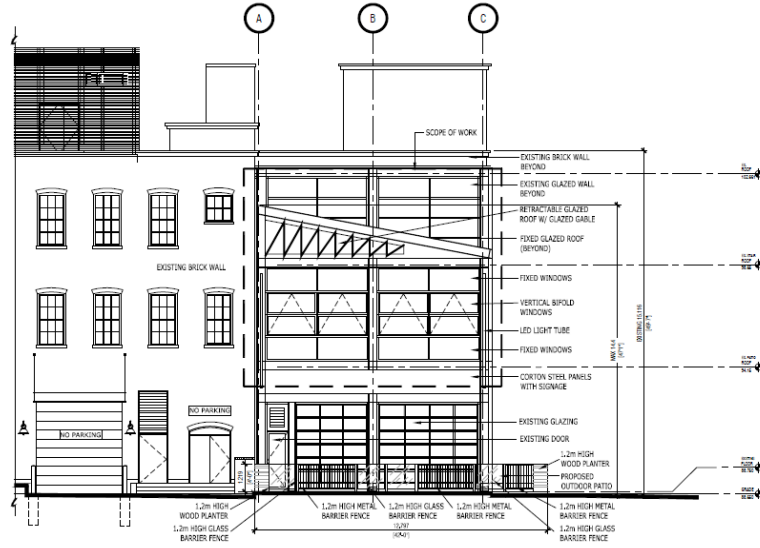
REV	DESCRIPTION	DATE

PROJECT:
BARRIMORE BUILDING
109 ATLANTIC AVE.
TORONTO ONTARIO

DRAWING:
EXISTING EAST ELEVATION

DRAWN:	CHECKED:	JOB NUMBER:
V.T.	R.R.	11035
DATE (MM/DD/YY): 12.29.16		DRAWING NUMBER:
SCALE: 1:300	A3.0	

RECEIVED
By C of A TEY at 9:39 am, Dec 30, 2016



3 PROPOSED PARTIAL SOUTH ELEVATION 1:200
A3.0 0 5 10 20m

101 E. Beaver Creek Road, Suite 100, Toronto, Ontario M6H 2M9
 416-291-1111
 www.greystone.ca

Greystone

Kitchener
100 Greenway College Blvd. Unit 1100
Kitchener, Ontario N2G 2W6
416-291-1111 ext. 100
www.greystone.ca

Toronto
220 King Street East
East Tower, Suite 200
Toronto, Ontario M5E 1B9
(416) 911-0442
www.greystone.ca



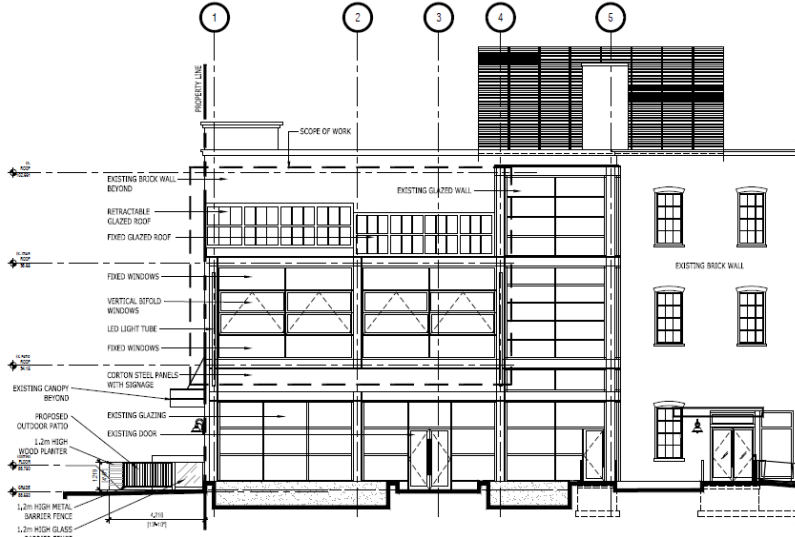
REV	DESCRIPTION	DATE

PROJECT:
BARRYMORE BUILDING
109 ATLANTIC AVE.
TORONTO ONTARIO

DRAWING:
PROPOSED PARTIAL SOUTH ELEVATION

DRAWN: V.T.	CHECKED: R.R.	JOB NUMBER: 1103S
DATE (MM.DD.YY): 12.29.16		DRAWING NUMBER: A3.0
SCALE: 1:300		

RECEIVED
By C of A TEY at 9:39 am, Dec 30, 2016



4 PROPOSED PARTIAL EAST ELEVATION 1:200
0 5 10 20m

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PROJECT



Kitchener
100 Cambridge College Blvd, Unit 1110
K2H 1G9
Tel: 519-875-1111 ext. 400
www.greystone.ca

Toronto
2250 Sheppard Ave. East
East Tower, Suite 605
Toronto, Ontario M2S 1B8
Tel: 416-491-0400

PROJECT:
BARRYMORE BUILDING
109 ATLANTIC AVE.
TORONTO ONTARIO

DRAWING:

PROPOSED PARTIAL EAST ELEVATION

DRAWN: V.T.	CHECKED: R.R.	JOB NUMBER: 11035
DATE (MM/DD/YY): 12.23.16		DRAWING NUMBER:
SCALE: 1:300		A3.0

REV	DESCRIPTION	DATE

SIGNATURE PAGE

File Number:	A1297/16TEY	Zoning	IC D3 N1.5 (Waiver)
Owner(s):	FIRST CAPITAL(KING LIBERTY-BARRYMORE) CORPORATION	Ward:	Trinity-Spadina (19)
Agent:	MICHAEL BISSETT	Heritage:	Listed
Property Address:	109 ATLANTIC AVE	Community:	Toronto
Legal Description:	PLAN 1194 PT BLK 300 RP 66R20953 PART 1		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

Appeal Information

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1298/16TEY	Zoning:	R & R2 (ZZC)
Owner(s):	ROGER TOWNSEND PAMELA TOWNSEND	Ward:	Beaches-East York (32)
Agent:	JOSEPH MAZZITELLI	Heritage:	Not Applicable
Property Address:	58 BELLHAVEN RD	Community:	Toronto
Legal Description:	PLAN E465 PT LOT 185		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing 2½-storey semi-detached dwelling by constructing a front third-storey addition, a rear third-storey addition and a secondary suite.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.40.10.(2)(A), By-law 569-2013**
The maximum permitted height of all front and rear exterior main walls is 7.5 m.
The height of the front and rear exterior main walls will be 9.5 m.
- Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index of a semi-detached dwelling is 0.6 times the area of the lot (102.09 m²).
The altered dwelling will have a floor space index equal to 1.03 times the area of the lot (174.53 m²).
- Chapter 150.10.40.1.(3)(A), By-law 569-2013**
A secondary suite is a permitted use provided that an exterior alteration to a building to accommodate a secondary suite does not alter a main wall or roof that faces a street.
The front third-storey addition to the building will alter the east main wall that faces the street.
- Chapter 150.10.40.40.(1), By-law 569-2013**
A secondary suite is a permitted use provided that the interior floor area of a secondary suite is less than the interior floor area of the dwelling unit.
In this case, the interior floor area of the secondary suite on the second and third floors is greater than the interior floor area of the dwelling unit on the basement and ground floors.

1. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area of a semi-detached dwelling is 0.6 times the area of the lot (102.09 m²).

The altered dwelling will have a gross floor area equal to 1.03 times the area of the lot (174.53 m²).

2. Section 6(2)(1)(iii)(a), By-law 438-86

A converted house is a permitted use, provided there is no addition to the front wall.

In this case, the front addition will alter the front wall of the building.

3. Section 6(3) Part II 3(II), By-law 438-86

The minimum required setback from the side wall of an adjacent building that contains openings is 1.2 m.

The altered dwelling will be located 1.18 m from the side wall of the north adjacent building, 60 Bellhaven Road.

4. Section 6(3) Part II 3.F(I)(2), By-law 438-86

The minimum required side lot line setback of a semi-detached dwelling is 1.2 m where the side wall contains openings.

The altered dwelling will be located 0.85 m from the north side lot line, and 0 m from the south side lot line.

5. Section 6(2)(1)(vi), By-law 438-86

A converted house is permitted to contain two dwelling units provided the gross floor area of the dwelling unit to be created, including any floor area below grade, is less than the gross floor area of the remaining dwelling unit.

The dwelling unit to be created will have a gross floor area that exceeds the gross floor of the remaining dwelling unit.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1298/16TEY	Zoning	R & R2 (ZZC)
Owner(s):	ROGER TOWNSEND PAMELA TOWNSEND	Ward:	Beaches-East York (32)
Agent:	JOSEPH MAZZITELL	Heritage:	Not Applicable
Property Address:	58 BELLHAVEN RD	Community:	Toronto
Legal Description:	PLAN E465 PT LOT 185		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1299/16TEY	Zoning	R d0.6 H12.0 m & R2 Z0.6 H12.0m (BLD)
Owner(s):	REBECCA ELIZABETH MCKENZIE	Ward:	Trinity-Spadina (19)
Agent:	REBECCA ELIZABETH MCKENZIE	Heritage:	Not Applicable
Property Address:	363 CONCORD AVE	Community:	Toronto
Legal Description:	PLAN M60 PT LOT 53		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey row house/townhouse by constructing a rear one-storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.40.30.(1)(B), By-law 569-2013**
The maximum permitted depth of a row house/townhouse is 14.0 m.
The altered row house/townhouse will have a depth of 16.55 m.
- Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index of a row house/townhouse is 0.60 times the area of the lot (122.53 m²).
The altered row house/townhouse will have a floor space index equal to 0.80 times the area of the lot (163.61 m²).
- Section 6(3) Part I 1, By-law 438-86**
The maximum permitted gross floor area of a row house/townhouse is 0.60 times the area of the lot (122.53 m²).
The altered row house/townhouse will have a gross floor area equal to 0.80 times the area of the lot (163.61 m²).

2. Section 6(3) Part II 3(I), By-law 438-86

The minimum required setback from the side wall of an adjacent building that does not contain any openings is 0.9 m.

The altered row house/townhouse will be located 0 m from the side wall of the south adjacent building, 361 Concord Avenue.

3. Section 6(3) Part II 3.C(I), By-law 438-86

The minimum required side lot line setback of a row house/townhouse is 0.45 m where the side wall contains no openings.

The altered row house/townhouse will be located 0 m from the south side lot line.

4. Section 6(3) Part II 5(I), By-law 438-86

The maximum permitted depth of a row house/townhouse is 14.0 m.

The altered row house/townhouse will have a depth of 16.55 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

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- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1299/16TEY	Zoning	R d0.6 H12.0 m & R2 Z0.6 H12.0m (BLD)
Owner(s):	REBECCA ELIZABETH MCKENZIE	Ward:	Trinity-Spadina (19)
Agent:	REBECCA ELIZABETH MCKENZIE	Heritage:	Not Applicable
Property Address:	363 CONCORD AVE	Community:	Toronto
Legal Description:	PLAN M60 PT LOT 53		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1300/16TEY	Zoning	RD (f6.0, d0.75) H 8.5 & R1C
Owner(s):	BRIAN PETER FINKELDEY ANNE-MARIE FINKELDEY	Ward:	Toronto-Danforth (29)
Agent:	LANCE KAPRIELIAN	Heritage:	Not Applicable
Property Address:	221 TORRENS AVE	Community:	East York
Legal Description:	PLAN M40 PT LOT 229		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with a rear shed.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.70.(3)(B), By-law 569-2013**
The minimum required setback is 0.9 m.
The new dwelling will be located 0.513 to the east side lot line.
 - Chapter 10.5.40.50.(2), By-law 569-2013**
The minimum required setback is 0.9 m for the rear deck.
In this case, the rear deck will be located 0.0 m to the east side lot line.
 - Chapter 10.5.60.20.(2)(C), By-law 569-2013**
The minimum required rear yard setback for ancillary buildings or structures is 0.3 m.
In this case, the rear yard setback for the ancillary building will be 0.1 m.
 - Chapter 10.5.60.60.(1), By-law 569-2013**
Roof eaves on an ancillary building may encroach into a building setback a maximum of 0.3 m if the eaves are no closer to a lot line than 0.15 m.
The eaves will be located 0.0 m to the west and north lot lines.
- Section 7.4.3, By-law 6752**
The minimum required front yard setback is 6.0 m.
The new dwelling will be located 4.33 m to the front lot line.

2. Section 7.4.3, By-law 6752

The minimum required west side yard setback is 0.6 m.

The new dwelling will be located 0.3 m to the west side lot line at the canopy.

3. Section 7.4.3, By-law 6752

The minimum required east side yard setback is 0.6 m.

The new dwelling will be located 0.513 m to the east side lot line at the wall and 0.0 m to the east side lot line at the rear deck.

4. Section 5.6, By-law 6752

The minimum required setback for the rear shed is 0.45 m from all lot lines.

In this case, the rear shed will be located 0.3 m from the west lot line and 0.1 m from the north lot line.

5. Section 7.5.3, By-law 6752

The maximum permitted building length is 16.75 m.

The new dwelling will have a building length equal to 17.0 m.

6. Section 5.6, By-law 6752

The maximum permitted rear deck projection is 3.6 m from the rear wall.

In this case, the rear deck will project 5.365 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Where there are no existing street trees, the owner shall submit a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application or elsewhere in the community if there is no space, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) The rear deck shall be constructed with opaque privacy screening or fencing that is permanent, located on the east edge of the deck, and a minimum height of 1.5 m, measured from the floor of the deck.

SIGNATURE PAGE

File Number:	A1300/16TEY	Zoning	RD (f6.0, d0.75) H 8.5 & RIC
Owner(s):	BRIAN PETER FINKELDEY ANNE-MARIE FINKELDEY	Ward:	Toronto-Danforth (29)
Agent:	LANCE KAPRIELIAN	Heritage:	Not Applicable
Property Address:	221 TORRENS AVE	Community:	East York
Legal Description:	PLAN M40 PT LOT 229		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

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Manager & Deputy Secretary-Treasurer
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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0001/17TEY	Zoning:	R & R2 (ZZC)
Owner(s):	MICHAEL LOIZIDES HEATHER LOIZIDES	Ward:	Beaches-East York (32)
Agent:	CRAIG RACE	Heritage:	Not Applicable
Property Address:	88 DRAYTON AVE	Community:	Toronto
Legal Description:	PLAN 402E PT LOT 114		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey semi-detached dwelling by constructing a rear two-storey addition, rear ground floor deck and new front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.69 times the area of the lot (99.0 m²).
The altered dwelling will have a floor space index equal to 0.86 times the area of the lot (123.10 m²).
- Chapter 10.5.50.10.(1)(D), By-law 569-2013**
A minimum of 75% of the front yard must be maintained as soft landscaping (5.0 m²).
In this case, 50% of the front yard will be maintained as soft landscaping (3.35 m²).
- Section 6(3) Part VI 1(I), By-law 438-86**
The maximum permitted gross floor is 0.69 times the area of the lot (99.0 m²).
The altered dwelling will have a gross floor area equal to 0.86 times the area of the lot (123.10 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0001/17TEY	Zoning	R & R2 (ZZC)
Owner(s):	MICHAEL LOIZIDES HEATHER LOIZIDES	Ward:	Beaches-East York (32)
Agent:	CRAIG RACE	Heritage:	Not Applicable
Property Address:	88 DRAYTON AVE	Community:	Toronto
Legal Description:	PLAN 402E PT LOT 114		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.



NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0002/17TEY	Zoning	CR 3.0 (c2.0; r2.5) SS2 (x2363) PA1 H16.0 & MCRT3.0 C2.0 R2.5 H 16.0
Owner(s):	GEORGE CHONDRONIKOLAS	Ward:	Trinity-Spadina (20)
Agent:	IAN CUNHA	Heritage:	Not Applicable
Property Address:	398-400 COLLEGE ST	Community:	Toronto
Legal Description:	PLAN 112 PT LOTS 95 & 98 WITH & SUBJ TO ROW << STRUCTURE ADDRESS FOR 398 COLLEGE ST		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing three-storey mixed-use building containing four residential dwelling units and two commercial units by constructing a one-storey rear addition on the east side of the building to accommodate an additional two dwelling units.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 200.5.10.1.(1), By-law 569-2013**
The minimum required number of parking spaces is three.
In this case, two parking spaces will be provided.
- 2. Chapter 40.10.50.10.(2), By-law 569-2013**
If a lot abuts a lot in the Residential Zone category or the Residential Apartment Zone category a fence must be installed along the portion of a lot line abutting the lot in the Residential Zone category or Residential Apartment Zone category.
In this case, no fence will be provided along the portion of the lot line abutting the Residential Zone category or Residential Apartment Zone category.
- 3. Chapter 40.10.80.20.(2), By-law 569-2013**
On a corner lot a parking space must be set back at least 7.5 m from a lot in a Residential Zone Category.
In this case, the parking spaces will be set back 3.1 m from a lot in a Residential Zone Category.

1. Section 4(5)(B), By-law 438-86

The minimum required number of parking spaces is three.
In this case, two parking spaces will be provided.

2. Section 8(3) Part II 4(A), By-law 438-86

The minimum required setback from a building to a lot in a residential or park district is 7.5 m.
In this case, the rear platform and stair structure will be set back 5.79 m from a lot in a residential district.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The alterations to the building shall be constructed substantially in accordance with the plans date stamped received by the Committee of Adjustment on January 4, 2017. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

The information in this document is for informational purposes only. It does not constitute a contract. The information is not to be used for any other purpose. The information is not to be used to create any other documents. The information is not to be used to create any other documents.



This site plan shows the proposed layout of the site. The site plan is subject to the provisions of the Zoning By-law. The site plan is subject to the provisions of the Zoning By-law. The site plan is subject to the provisions of the Zoning By-law.

METRIKON CONSULTANTS LTD.
1200 WESTERN AVENUE, SUITE 300
M6P 3E7

METRIKON CONSULTANTS LTD.
1200 WESTERN AVENUE, SUITE 300
M6P 3E7

1. PROJECT MANAGER	2. ARCHITECT	3. ENGINEER
4. DESIGNER	5. CHECKER	6. APPROVER

TRINKA DESIGN CONSULTANTS LTD.
1100 WESTERN AVENUE, SUITE 300
M6P 3E7

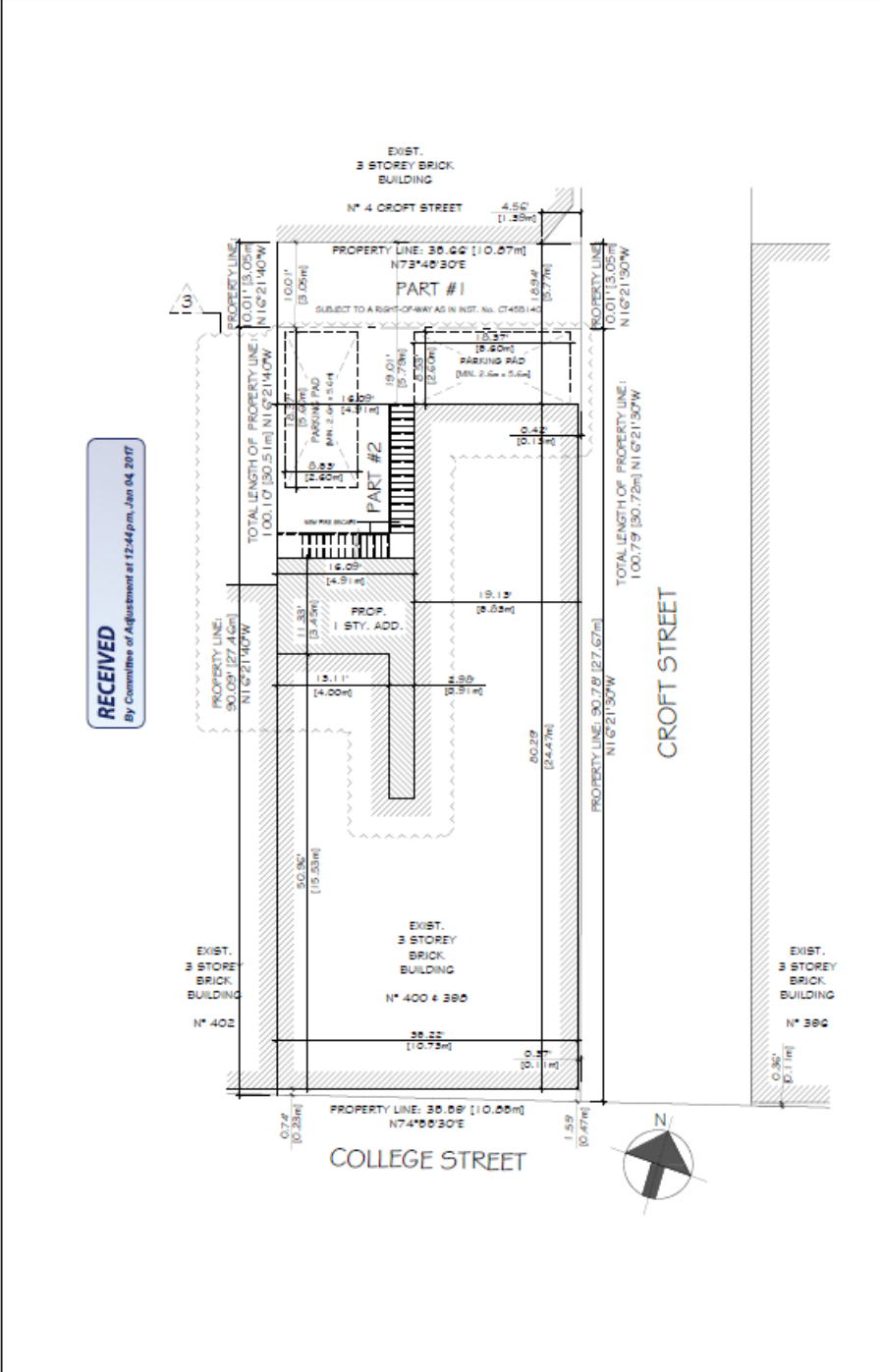
George Chondronikolas
2249 Gordon Drive
Mississauga, Ontario

Prop. build restoration
398 / 400 College St.
Toronto, Ontario

Site Plan
General Notes

DATE	DATE	DATE	DATE
2016	2016	2016	2016
2016	2016	2016	2016
2016	2016	2016	2016

AI



RECEIVED
By Committee of Adjustment at 12:44 pm, Jan 04, 2017

AREA DATA CALCULATIONS

AREA:	EXISTING	PROPOSED	TOTAL
FOOT AREA	SQ	SQ	SQ
NET FLOOR PLAN	2319.02	233.53	2552.55
NET FLOOR PLAN	292.04	27.65	319.69
NET FLOOR PLAN	241.15	10.00	251.15
NET FLOOR PLAN	3930.00	9.00	3939.00
NET FLOOR PLAN	6730.00	253.04	6983.04
NET FLOOR PLAN	193.705	253.04	446.745
NET FLOOR PLAN	44.625	253.04	297.665
NET FLOOR PLAN	44.625	253.04	297.665
NET FLOOR PLAN	44.625	253.04	297.665

1. All work shall be done in accordance with the Ontario Building Code and all applicable laws and regulations.
 2. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 3. The contractor shall be responsible for ensuring that all work is done in accordance with the approved plans and specifications.
 4. The contractor shall be responsible for ensuring that all work is done in a safe and sound manner.
 5. The contractor shall be responsible for ensuring that all work is done in a timely manner.



1. All work shall be done in accordance with the Ontario Building Code and all applicable laws and regulations.
 2. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 3. The contractor shall be responsible for ensuring that all work is done in accordance with the approved plans and specifications.
 4. The contractor shall be responsible for ensuring that all work is done in a safe and sound manner.
 5. The contractor shall be responsible for ensuring that all work is done in a timely manner.

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	11/11/11
2	ISSUED FOR PERMIT	11/11/11
3	ISSUED FOR PERMIT	11/11/11
4	ISSUED FOR PERMIT	11/11/11
5	ISSUED FOR PERMIT	11/11/11

METCALFE, SKOTCHDOPOLE & ASSOCIATES
 100 KING STREET WEST
 SUITE 1000
 TORONTO, ONTARIO M5X 1C7
 TEL: 416-593-9300
 FAX: 416-593-9301
 WWW: WWW.METCALFE.COM

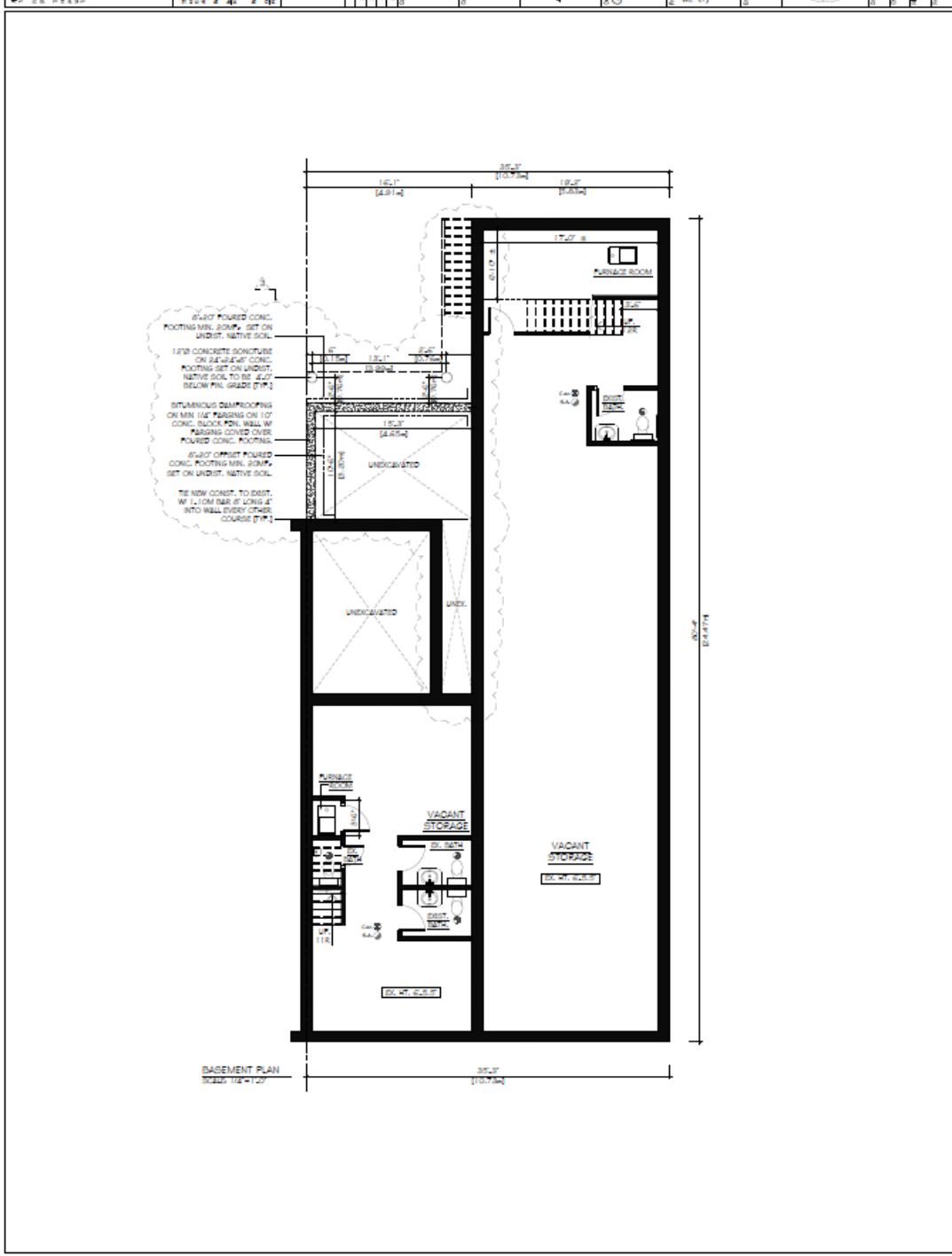
QUINNA DESIGN CONSULTANTS LTD.
 100 KING STREET WEST
 SUITE 1000
 TORONTO, ONTARIO M5X 1C7
 TEL: 416-593-9300
 FAX: 416-593-9301
 WWW: WWW.QUINNADESIGN.COM

Prop: build restoration
 398 / 400 College St.
 Toronto, Ontario

Project: Basement Plan

Scale: 1/4" = 1'-0"

DATE	04/12/11
BY	AMR/2011
CHKD	IC
APP'D	IC
SCALE	1/4" = 1'-0"
PROJECT	Basement Plan
NO.	A2



Read all specifications in the contract documents and drawings. The contractor shall be responsible for the interpretation of the drawings and specifications. The contractor shall be responsible for the interpretation of the drawings and specifications. The contractor shall be responsible for the interpretation of the drawings and specifications.



Approved for construction by the City of Toronto. The contractor shall be responsible for the interpretation of the drawings and specifications. The contractor shall be responsible for the interpretation of the drawings and specifications. The contractor shall be responsible for the interpretation of the drawings and specifications.

PROJECT NO.	1407-1001-101
CLIENT	GEORGE CHONDROKOLIS
DATE	APRIL 2016
DRAWN BY	J. [Name]
CHECKED BY	[Name]
DATE	APRIL 2016

NO.	REV.	DATE	DESCRIPTION
1	1	APRIL 2016	ISSUED FOR PERMIT

ALUNNA DESIGN CONSULTANTS LTD.
 1100 SHEPPARD AVENUE EAST, SUITE 100
 SCARBOROUGH, ONTARIO M1B 2M9
 TEL: (416) 291-2192

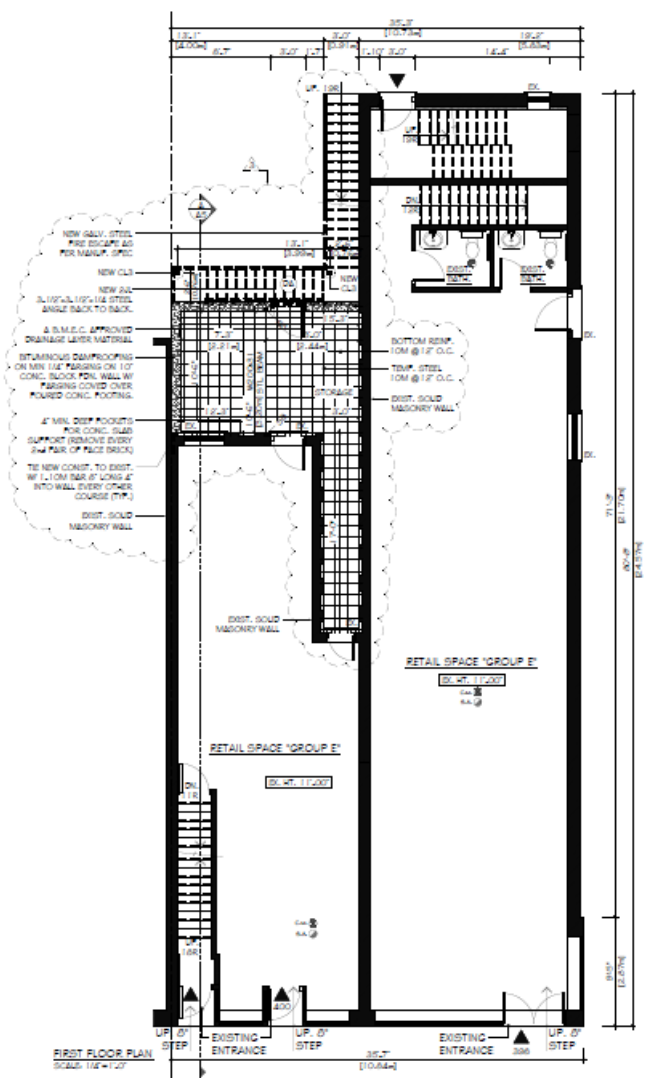
George Chondrokolis
 2249 Gordon Drive
 Mississauga, Ontario

Prop: build restoration
 396 / 400 College St.
 Toronto, Ontario

Sheet: First Floor
 Plan

DATE	APRIL 2016
SCALE	1/4" = 1'-0"
NO.	1
PROJECT	396 / 400 COLLEGE ST.
DATE	APRIL 2016
SCALE	1/4" = 1'-0"
NO.	1
PROJECT	396 / 400 COLLEGE ST.

A3



FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

Read all conditions on this drawing. The contractor shall be responsible for the interpretation of the drawings and specifications. The contractor shall be responsible for the interpretation of the drawings and specifications. The contractor shall be responsible for the interpretation of the drawings and specifications.



THIS DRAWING IS THE PROPERTY OF CLUNDA DESIGN CONSULTANTS LTD. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF CLUNDA DESIGN CONSULTANTS LTD.

LEGEND

- MECHANICAL SYMBOLS
- ELECTRICAL SYMBOLS
- SMOKE ALARM
- WORKMANSHIP ALARM

REVISIONS

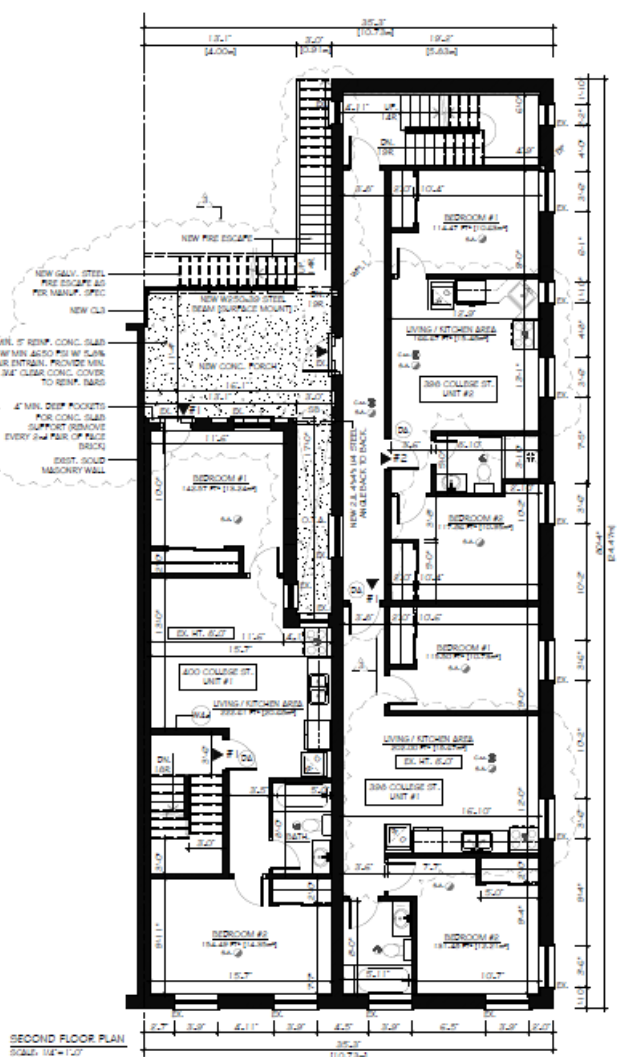
NO.	DATE	DESCRIPTION
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2	10/15/10	ISSUED FOR PERMIT
3	10/15/10	ISSUED FOR PERMIT
4	10/15/10	ISSUED FOR PERMIT
5	10/15/10	ISSUED FOR PERMIT

CLUNDA DESIGN CONSULTANTS LTD.
 15 BROADVIEW AVENUE, SUITE 200
 TORONTO, ONTARIO M4W 1G7
 TEL: 416-491-2882

Project: Prop. build restoration
 395 / 400 College St.
 Toronto, Ontario

Sheet: Second Floor Plan

DATE: 10/15/10
SCALE: 1/8" = 1'-0"
PROJECT NO.: 10-10-10-01
DATE PLOTTED: 10/15/10
SCALE: 1/8" = 1'-0"
PROJECT NO.: 10-10-10-01



SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

DATE: 10/15/10

A4

1. All work shall be in accordance with the Ontario Building Code, unless otherwise specified.
 2. The contractor shall be responsible for obtaining all necessary permits.
 3. The contractor shall be responsible for protecting all existing work.
 4. The contractor shall be responsible for the safety of all workers.
 5. The contractor shall be responsible for the cleanup of all materials.
 6. The contractor shall be responsible for the disposal of all waste.

1. All work shall be in accordance with the Ontario Building Code, unless otherwise specified.
 2. The contractor shall be responsible for obtaining all necessary permits.
 3. The contractor shall be responsible for protecting all existing work.
 4. The contractor shall be responsible for the safety of all workers.
 5. The contractor shall be responsible for the cleanup of all materials.
 6. The contractor shall be responsible for the disposal of all waste.

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 3. The contractor shall be responsible for protecting all existing work.
 4. The contractor shall be responsible for the safety of all workers.
 5. The contractor shall be responsible for the cleanup of all materials.
 6. The contractor shall be responsible for the disposal of all waste.

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 3. The contractor shall be responsible for protecting all existing work.
 4. The contractor shall be responsible for the safety of all workers.
 5. The contractor shall be responsible for the cleanup of all materials.
 6. The contractor shall be responsible for the disposal of all waste.

NO.	DATE	REVISION	BY	CHK.
1	07/01/2016	ISSUED FOR PERMIT	JL	JL
2	07/01/2016	ISSUED FOR PERMIT	JL	JL
3	07/01/2016	ISSUED FOR PERMIT	JL	JL
4	07/01/2016	ISSUED FOR PERMIT	JL	JL

1. All work shall be in accordance with the Ontario Building Code, unless otherwise specified.
 2. The contractor shall be responsible for obtaining all necessary permits.
 3. The contractor shall be responsible for protecting all existing work.
 4. The contractor shall be responsible for the safety of all workers.
 5. The contractor shall be responsible for the cleanup of all materials.
 6. The contractor shall be responsible for the disposal of all waste.

ADUNA DESIGN CONSULTANTS LTD.
 2249 GORDON DRIVE
 MISSISSAUGA, ONTARIO
 L4X 1L7
 TEL: (905) 270-8888
 FAX: (905) 270-8889

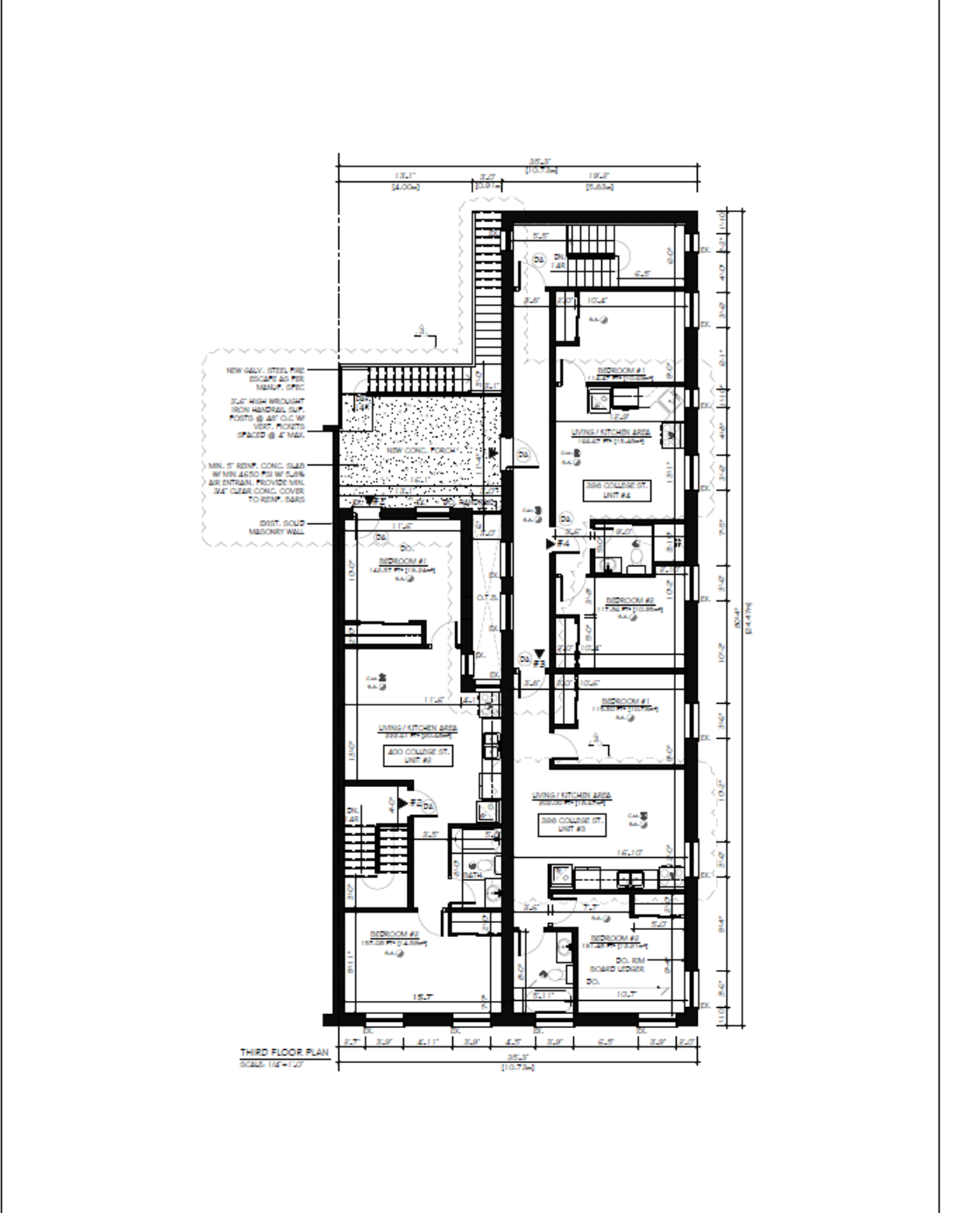
George Chondronikolas
 2249 Gordon Drive
 Mississauga, Ontario
 L4X 1L7
 TEL: (905) 270-8888
 FAX: (905) 270-8889

Prop: build restoration
 398 / 400 College St.
 Toronto, Ontario

Floor Plans

NO.	DATE	REVISION	BY	CHK.
1	07/01/2016	ISSUED FOR PERMIT	JL	JL
2	07/01/2016	ISSUED FOR PERMIT	JL	JL
3	07/01/2016	ISSUED FOR PERMIT	JL	JL
4	07/01/2016	ISSUED FOR PERMIT	JL	JL

A5



It is the responsibility of the architect to ensure that the building is designed to meet the requirements of the applicable building codes and standards. The architect shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The architect shall also be responsible for ensuring that the building is constructed in accordance with the approved plans and specifications. The architect shall not be responsible for any damage to the building or its contents caused by fire, theft, or any other cause. The architect shall also be responsible for ensuring that the building is maintained in accordance with the applicable building codes and standards.



Technical Note: This drawing is a preliminary drawing and is not to be used for construction. It is intended for informational purposes only. The architect shall be responsible for ensuring that the building is constructed in accordance with the approved plans and specifications. The architect shall not be responsible for any damage to the building or its contents caused by fire, theft, or any other cause. The architect shall also be responsible for ensuring that the building is maintained in accordance with the applicable building codes and standards.

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	10/15/10
2	ISSUED FOR CONSTRUCTION	10/15/10
3	ISSUED FOR OCCUPANCY	10/15/10

PROJECT: 398 / 400 COLLEGE ST. TORONTO, ONTARIO
 CLIENT: GEORGE CHONDROKOLAS
 ARCHITECT: A. DUNN DESIGN CONSULTANTS LTD.
 1100 SHEPPARD AVENUE EAST, SUITE 100
 MISSISSAUGA, ONTARIO L4X 1L7
 TEL: (905) 276-1111
 FAX: (905) 276-1112

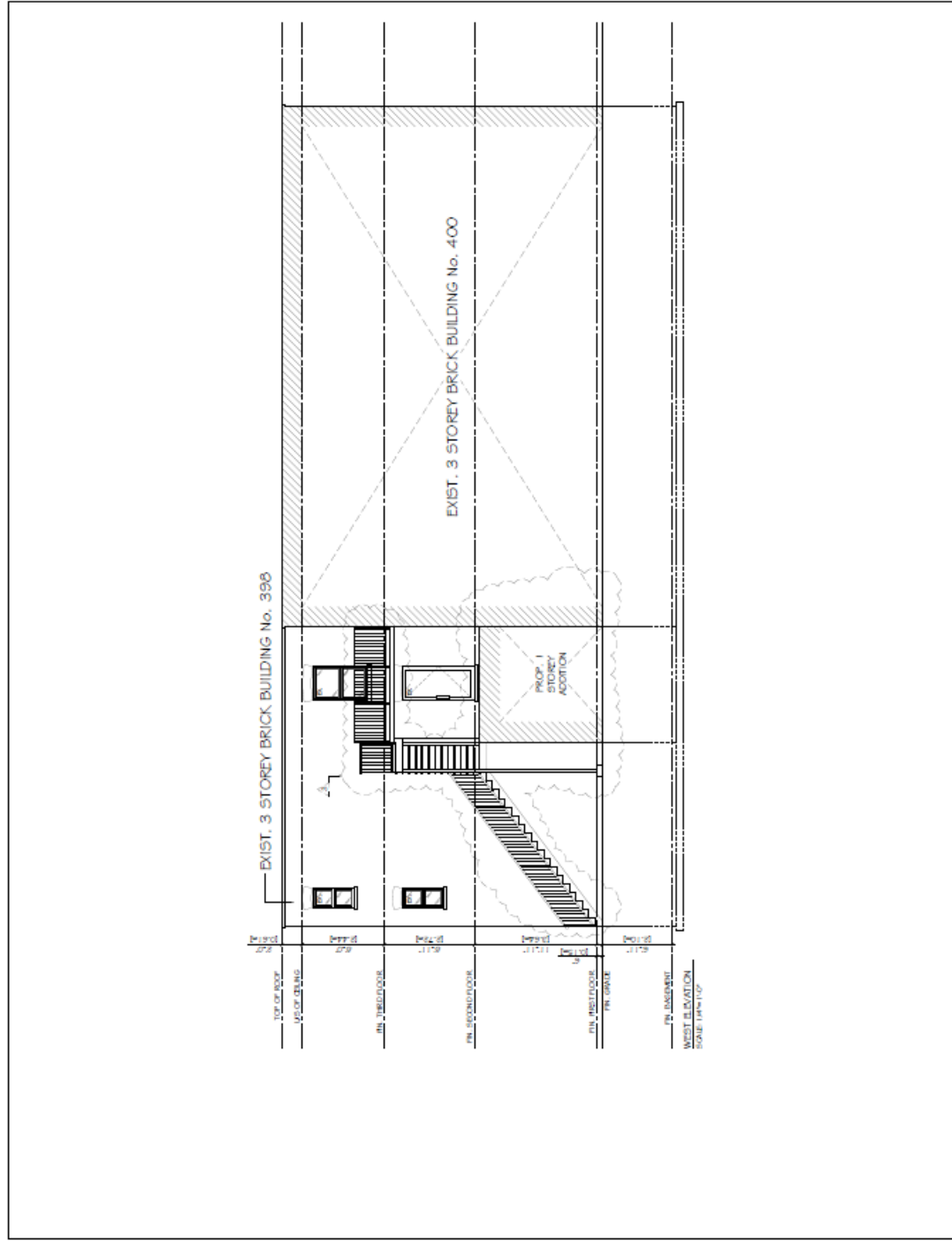
A. DUNN DESIGN CONSULTANTS LTD.
 1100 SHEPPARD AVENUE EAST, SUITE 100
 MISSISSAUGA, ONTARIO L4X 1L7
 TEL: (905) 276-1111
 FAX: (905) 276-1112

Project: build restoration
 398 / 400 College St.
 Toronto, Ontario

Sheet: West Elevations

DATE: 09/12/10	BY: [Signature]
DATE: 10/15/10	BY: [Signature]
DATE: 10/15/10	BY: [Signature]
DATE: 10/15/10	BY: [Signature]

A6



EXIST. 3 STOREY BRICK BUILDING No. 398

EXIST. 3 STOREY BRICK BUILDING No. 400

PROF. 1 STOREY ADDITION

WEST ELEVATION
 SCALE 1/4" = 1'-0"

Read all instructions to be followed by the contractor. The contractor shall be responsible for the construction of the building. The contractor shall be responsible for the construction of the building. The contractor shall be responsible for the construction of the building.



THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THEY ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED.

ARCHITECTURAL NOTE

1	GENERAL NOTES
2	MECHANICAL SYMBOLS
3	ELECTRICAL SYMBOLS
4	PLUMBING SYMBOLS
5	PAINT SYMBOLS
6	FINISH SYMBOLS
7	LANDSCAPE SYMBOLS
8	IRONWORK SYMBOLS
9	GLASS SYMBOLS
10	ROOFING SYMBOLS
11	CONCRETE SYMBOLS
12	STEEL SYMBOLS

DATE: 04/12/2016
 DRAWN BY: J.C.
 CHECKED BY: J.C.
 SCALE: AS SHOWN

FINNIA DESIGN CONSULTANTS LTD.
 1000 SHEPPARD AVENUE EAST
 SUITE 100
 MISSISSAUGA, ONTARIO L4X 1L3
 TEL: 905.276.8888

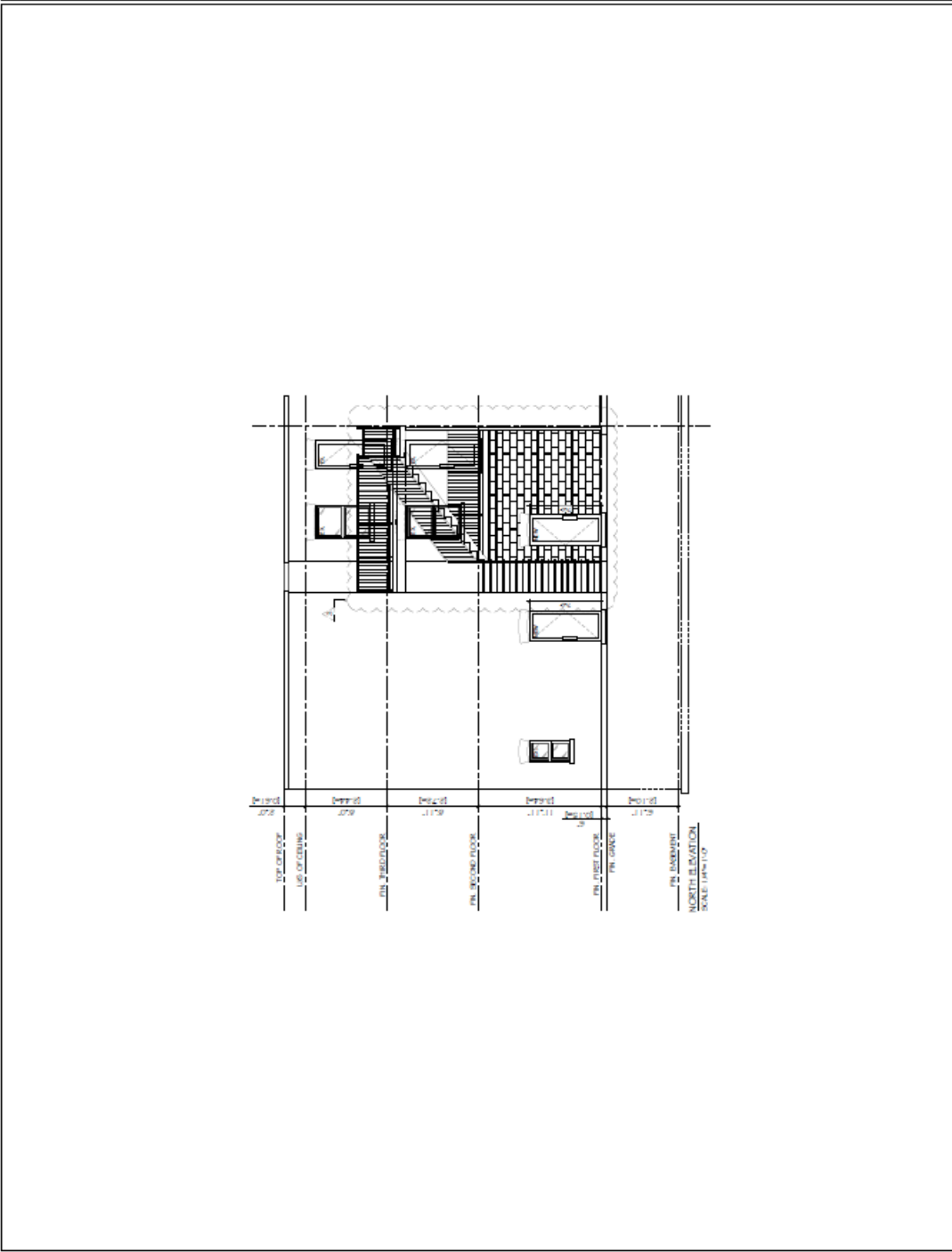
Client: George Chondronikolas
 2249 Gordon Drive
 Mississauga, Ontario

Project: Prop. build restoration
 396 / 400 College St.
 Toronto, Ontario

Drawn: North Elevations

DATE: 04/12/2016
 DRAWN BY: J.C.
 CHECKED BY: J.C.
 SCALE: AS SHOWN

A7



SIGNATURE PAGE

File Number:	A0002/17TEY	Zoning	CR 3.0 (c2.0; r2.5) SS2 (x2363) PA1 H16.0 & MCRT3.0 C2.0 R2.5 H 16.0
Owner(s):	GEORGE CHONDRONIKOLAS	Ward:	Trinity-Spadina (20)
Agent:	IAN CUNHA	Heritage:	Not Applicable
Property Address:	398-400 COLLEGE ST	Community:	Toronto
Legal Description:	PLAN 112 PT LOTS 95 & 98 WITH & SUBJ TO ROW << STRUCTURE ADDRESS FOR 398 COLLEGE ST		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

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- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0003/17TEY	Zoning:	(ZZC)
Owner(s):	DEENA DEL ZOTTO	Ward:	Toronto Centre-Rosedale (27)
Agent:	PAT HANSON	Heritage:	Designated
Property Address:	155 ROXBOROUGH ST E	Community:	Toronto
Legal Description:	PLAN 104 W PT LOT 49		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing 2½-storey semi-detached dwelling by constructing a rear one-storey addition, a rear second storey addition, and a new rear detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Chapter 10.20.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index is 0.6 times the area of the lot (210.74 m²).

The altered dwelling will have a floor space index equal to 0.81 times the area of the lot (284.6 m²).

Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area is 0.6 times the area of the lot (210.74 m²).

The altered dwelling will have a residential gross floor area equal to 0.81 times the area of the lot (284.6 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0003/17TEY	Zoning	(ZZC)
Owner(s):	DEENA DEL ZOTTO	Ward:	Toronto Centre-Rosedale (27)
Agent:	PAT HANSON	Heritage:	Designated
Property Address:	155 ROXBOROUGH ST E	Community:	Toronto
Legal Description:	PLAN 104 W PT LOT 49		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

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- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

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18. 174 INDIAN GRV

File Number:	A0004/17TEY	Zoning	R (d0.6) (x737) & R2 Z0.6 (ZZC)
Owner(s):	MICHELLE CHRISTINE MOLSON	Ward:	Parkdale-High Park (14)
Agent:	TOM KNEZIC	Heritage:	Not Applicable
Property Address:	174 INDIAN GRV	Community:	Toronto
Legal Description:	PLAN M41 PT LOT 80		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To convert the existing two-storey single family dwelling into a triplex by constructing: a rear two-storey addition, complete third-storey addition, front basement walkout and a rear detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 150.10.40.1.(3)(A), By-law 569-2013

Additions or exterior alterations to the main wall or roof of a building facing a street are not permitted.

In this case, the exterior main wall facing a street will contain an addition and exterior alteration.

2. Chapter 10.5.50.10.(3), By-law 569-2013

A minimum of 50% of the rear yard must be maintained as soft landscaping (67.7 m²).

In this case, 30% of the rear yard will be maintained as soft landscaping (40.0 m).

3. Chapter 10.5.60.60(1), By-law 569-2013

Roof eaves on an ancillary building may encroach into the required minimum building setback a maximum of 0.3 m, if the eaves are no closer to a lot line than 0.15 m.

In this case, the eaves will project 0.71 m into the required setbacks and will be located 0.0 m to the north side lot line.

4. Chapter 10.5.60.40, By-law 569-2013

The maximum permitted height of an ancillary building or structure is 4.0 m.

The ancillary building will have a height of 5.75 m.

5. Chapter 10.5.60.50, By-law 569-2013

The maximum permitted floor area of an ancillary building or structure is 40.0 m².

The ancillary building will have a floor area of 47.01 m².

6. Chapter 10.5.60.70, By-law 569-2013

The maximum permitted area of the lot covered by all ancillary buildings or structures may not exceed 10% of the lot area (30.5 m²).

In this case, the area of the lot covered by ancillary buildings will be 15% (47.01 m²).

7. Chapter 10.10.40.10.(1)(A), By-law 569-2013

The maximum permitted height of a building or structure is 10.0 m.

The altered dwelling will have a height of 10.5 m.

8. **Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
In this case, the height of the side exterior main walls facing a side lot line will be 10.04 m.
9. **Chapter 10.10.40.30.(1)(A), By-law 569-2013**
The maximum permitted building depth is 17.0 m.
The altered dwelling will have a building depth equal to 17.5 m.
10. **Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.6 times the area of the lot (183.2 m²).
The altered dwelling will have a floor space index equal to 1.11 times the area of the lot (339.74 m²).
1. **Section 6(2)1, By-law 438-86**
Additions or exterior alterations to the main wall or roof of a converted house are not permitted.
In this case, the exterior main wall will contain an addition and exterior alteration.
2. **Section 6(2)1, By-law 438-86**
The maximum number of additions at the time of conversion or thereafter is one.
In this case, the converted dwelling will contain more than one addition.
3. **Section 6(2)1, By-law 438-86**
Additions to a dwelling shall not exceed 15% of the area of the lot (45.8 m²).
In this case, the additions will have a residential gross floor area equal to 229.07 m².
4. **Section 6(2)1, By-law 438-86**
A substantial change to the dwelling as a result of a conversion is not permitted.
In this case, the addition and alteration will result in a substantial change as a result of the conversion.
5. **Section 6(3) Part I 1, By-law 438-86**
The maximum permitted gross floor area is 0.6 times the area of the lot (183.25 m²).
The altered dwelling will have a floor space index equal to 453.74 m².
4. **Section 6(3) Part II 3(I), By-law 438-86**
The by-law requires a building to be located no closer than 0.90 m to the side wall of an adjacent building that contains no openings and 1.2 m to the side wall of an adjacent building that contains openings.
The altered dwelling will be located 0.93 m from the adjacent building at 172 Indian Grove and 0.0 m from 176 Indian Grove.
5. **Section 6(3) Part II 3.F(I)(1)(A), By-law 438-86**
The by-law requires a converted house to have a minimum side lot line of 0.45 m, where the side wall contains no openings and 1.2 m where the side wall contains openings.
The altered dwelling will be located 0.0 m to the north side lot line and 0.93 m to the south side lot line.
6. **Section 6(3) Part II 5(I), By-law 438-86**
The maximum permitted building depth is 14.0 m.
The altered dwelling will have a building depth equal to 22.5 m.

7. Section 4(2), By-law 438-86

The maximum permitted height of a building or structure is 10.0 m.
The altered dwelling will have a height of 10.3 m.

8. Section 4(2), By-law 438-86

The maximum permitted height of an ancillary building or structure is 4.0 m.
The ancillary building will have a height of 7.48 m on the north, south and east sides.

9. Section 6(3) Part III 1(A), By-law 438-86

MOTION

It was moved by Carl Knipfel, seconded by Donald Granatstein and carried unanimously that the application be **deferred, for a maximum of 3 months**. The deferral would provide the applicant with an opportunity to discuss the proposal in more detail with area residents. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel B**.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0005/17TEY	Zoning	R (d0.6)(x356) & R2 Z0.6 (ZZC)
Owner(s):	CAROLYN SMYLIE ROBERT CLARK	Ward:	Beaches-East York (32)
Agent:	DAVID SMITH	Heritage:	Not Applicable
Property Address:	45 LEE AVE	Community:	Toronto
Legal Description:	PLAN 224E PT LOT 1		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing three-storey detached dwelling by maintaining the front basement addition (enclosure beneath the front porch steps) and constructing a rear two-storey deck with exterior stairs on the ground floor and second storey.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.60.(1)(C), By-law 569-2013

A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.5 m if it is no closer to a side lot line than 1.89 m.

In this case, the rear two-storey deck encroaches 0.05 m into the required rear yard setback and is located 0.34 m from the north side lot line and 1.14 m from the south side lot line.

2. Chapter 10.5.40.60.(1)(D), By-law 569-2013

A platform without main walls, attached to or less than 0.3 m from a building, with a floor higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.5 m if it is no closer to a side lot line than 4.16 m.

In this case, the rear two-storey deck encroaches 0.05 m into the required rear yard setback and is located 0.34 from the north side lot line and 1.14 m from the south side lot line.

3. Chapter 10.10.40.70.(1), By-law 569-2013

The minimum required front yard setback is 5.16 m.

The altered detached dwelling will be located 1.59 m from the west front lot line.

4. Chapter 10.10.40.40.(2)(B), By-law 569-2013

The minimum required side lot line setback is the shortest distance between the existing side main wall of the building and the south side lot line (1.16 m).

The altered detached dwelling will be located 1.14 m from the south side lot line.

5. Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013

Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.6 m.

The rear deck stairs will be located 0.34 m from the north side lot line.

1. Section 6(3) Part II 2(II), By-law 438-86

The minimum required front yard setback is 5.16 m.

The altered detached dwelling will be located 1.59 m from the west front lot line.

2. Section 6(3) Part II 3.B(II), By-law 438-86

The minimum required side lot line setback for the portion of the building exceeding a depth of 17 m is 7.5 m.

The portion of the detached dwelling exceeding the 17 m depth will be located 0.42 m from the north side lot line and 1.14 m from the south side lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0005/17TEY	Zoning	R (d0.6)(x356) & R2 Z0.6 (ZZC)
Owner(s):	CAROLYN SMYLIE ROBERT CLARK	Ward:	Beaches-East York (32)
Agent:	DAVID SMITH	Heritage:	Not Applicable
Property Address:	45 LEE AVE	Community:	Toronto
Legal Description:	PLAN 224E PT LOT 1		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**
LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

Appeal Information

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0006/17TEY	Zoning	R (d0.6)(x752) & R2 Z0.6 (BLD)
Owner(s):	CATHERINE SCHIMMELPENNINCK VAN DER OYE	Ward:	Toronto-Danforth (30)
Agent:	WILL HUDSON	Heritage:	Not Applicable
Property Address:	321 LESLIE ST	Community:	Toronto
Legal Description:	CON 1 FB PT LOT 10 RP 63R1706 PART 1		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by constructing a new front porch with a canopy and a rear yard accessory structure (sauna).

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.60.(2)(A), By-law 569-2013**
A canopy, awning, or similar structure above a platform is permitted to encroach into a required building setback to the same extent as the platform it is covering.
The front canopy will encroach 0.1 m beyond the porch it is covering.
 - Chapter 10.5.50.10.(1)(B), By-law 569-2013**
A minimum of 50% (23 m²) of the front yard is required to be landscaping.
In this case, 22% (10 m²) of the front yard will be maintained as landscaping.
 - Chapter 10.5.50.10.(1)(D), By-law 569-2013**
A minimum of 75% (17.25 m²) of the required front yard landscaped open space shall be in the form of soft landscaping.
In this case, 4% (1 m²) of the required front yard landscaped open space will be in the form of soft landscaping.
- Section 6(3) Part II 2(II), By-law 438-86**
The minimum required front yard setback is 5.58 m.
The altered detached dwelling will be located 3.98 m from the west front lot line.

2. Section 6(3) Part II 7(I), By-law 438-86

The minimum required setback of an accessory structure to all lot lines is 3 m.

The rear accessory structure will be located 1.22 m from the north side lot line, 1.62 m from the south side lot line, and 1.22 m from the east rear lot line.

3. Section 6(3) Part II 3.B(II), By-law 438-86

The minimum required side lot line setback for the portion of the building exceeding a depth of 17 m is 7.5 m.

The portion of the detached dwelling exceeding the 17 m depth will be located 4.54 m from the south side lot line and 0.45 m from the north side lot line.

4. Section 6(3) Part II 8 F(III), By-law 438-86

A roof over a platform or terrace is permitted to project into the required setbacks provided it does not extend beyond the side walls of the building as projected.

In this case, the front porch canopy extends beyond the side walls by 0.1 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The front yard setback approval outlined in Variance Request **1 - Section 6(3) Part II 2(II), By-law 438-86** shall apply only to the front porch with a canopy and any other front additions, above the first storey shall be in line with the minimum required front yard setback of 5.58 m.

SIGNATURE PAGE

File Number:	A0006/17TEY	Zoning	R (d0.6)(x752) & R2 Z0.6 (BLD)
Owner(s):	CATHERINE SCHIMMELPENNINCK VAN DER OYE	Ward:	Toronto-Danforth (30)
Agent:	WILL HUDSON	Heritage:	Not Applicable
Property Address:	321 LESLIE ST	Community:	Toronto
Legal Description:	CON 1 FB PT LOT 10 RP 63R1706 PART 1		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0007/17TEY	Zoning	R (d0.6) (x740) & R2 Z0.6 (BLD)
Owner(s):	DAVID WILSON AURORA WILSON	Ward:	Davenport (18)
Agent:	CARLOS MENDES	Heritage:	Not Applicable
Property Address:	367 MARGUERETTA ST	Community:	Toronto
Legal Description:	PLAN M36 PT LOTS 37 & 38		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by enclosing the front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.30.(1), By-law 569-2013**
The maximum permitted depth of a detached dwelling is 17.0 m.
The altered dwelling will have a depth of 22.19 m.
- 2. Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index of a detached dwelling is 0.60 times the area of the lot (157.19 m²).
The altered dwelling will have a floor space index equal to 0.78 times the area of the lot (204.53 m²).
- 3. Chapter 10.10.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 2.91 m.
The altered dwelling will be located 1.57 m from the west front lot line.
- 4. Chapter 10.10.40.70.(3), By-law 569-2013**
The minimum required side yard setback is 0.45 m.
The altered dwelling will be located 0.20 m from the north side lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0007/17TEY	Zoning	R (d0.6) (x740) & R2 Z0.6 (BLD)
Owner(s):	DAVID WILSON AURORA WILSON	Ward:	Davenport (18)
Agent:	CARLOS MENDES	Heritage:	Not Applicable
Property Address:	367 MARGUERETTA ST	Community:	Toronto
Legal Description:	PLAN M36 PT LOTS 37 & 38		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**
LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

Appeal Information

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0008/17TEY	Zoning:	R & R2 (ZZC)
Owner(s):	MARCI ELLIG DANNY RIESKE	Ward:	Beaches-East York (32)
Agent:	ANDREW TROTTER	Heritage:	Not Applicable
Property Address:	8 NORWAY AVE	Community:	Toronto
Legal Description:	PLAN 919 PT LOT 3		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey semi-detached dwelling by constructing: a front one-storey addition and a rear second-storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.6 times the area of the lot (74.79 m²).
The altered two-storey semi-detached dwelling will have a floor space index equal to 1.13 times the area of the lot (141.06 m²), including the basement level.
- 2. Chapter 10.10.40.70.(1), By-law 569-2013**
The minimum required front lot line setback is 3.65 m.
The altered semi-detached dwelling will be located 1.52 m from the south front lot line.
- 3. Chapter 10.10.40.70.(4)(B) By-law 569-2013**
The minimum required side yard setback is 0.45 m.
The altered semi-detached dwelling will be located 0.35 m from the east side lot line and 0.0 m from the west side lot line.
- 1. Section 6(3) Part I 1, By-law 438-86**
The maximum permitted residential gross floor area is 0.6 times the area of the lot (74.79 m²).
The altered two-storey semi-detached dwelling will have a residential gross floor area equal to 1.13 times the area of the lot (141.06 m²), including the basement level.
- 2. Section 6(3) Part II 2(II), By-law 438-86**
The minimum required front lot line setback for a building on an inside lot is 3.65 m.
The altered semi-detached dwelling will be located 1.52 m from the south front lot line.

3. Section 6(3) Part II 3(I), By-law 438-86

A building is required to be setback at minimum 0.9 m to the side wall of an adjacent building that contains no openings.

The altered semi-detached dwelling will be located 0.85 m from the side wall of the east adjacent building, 10 Norway Avenue, which contains no openings.

4. Section 6(3) Part II 3.C(I), By-law 438-86

The minimum required side yard setback is 0.45 m, where the side wall contains no openings.

The altered semi-detached dwelling will be located 0.35 m from the east side lot line and 0.0 m from the west side lot line.

5. Section 6(3) Part III 3(d)(i)(d), By-law 438-86

A minimum of 75% (4.32 m²), of the required front yard landscaping shall be maintained as soft landscaping.

In this case, 67% (3.88 m²), of the front yard landscaping will be maintained as soft landscaping.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0008/17TEY	Zoning	R & R2 (ZZC)
Owner(s):	MARCI ELLIG DANNY RIESKE	Ward:	Beaches-East York (32)
Agent:	ANDREW TROTTER	Heritage:	Not Applicable
Property Address:	8 NORWAY AVE	Community:	Toronto
Legal Description:	PLAN 919 PT LOT 3		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

Appeal Information

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23. 180 SORAUREN AVE

File Number:	A0009/17TEY	Zoning	R (d0.6)(x296) & R2 Z0.6 (ZZC)
Owner(s):	SHANE MORRISON SMYTH AURORA RATCLIFFE	Ward:	Parkdale-High Park (14)
Agent:	RICHARD DE OLIVEIRA	Heritage:	Not Applicable
Property Address:	180 SORAUREN AVE	Community:	Toronto
Legal Description:	PLAN 509 PT BLK B		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey semi-detached dwelling by constructing a rear one-storey addition and rear detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.30.(1)(A), By-law 569-2013**
The maximum permitted building depth is 17.0 m.
The altered dwelling will have a building depth equal to 18.38 m.
- 2. Chapter 10.10.40.40.(2)(A), By-law 569-2013**
The maximum permitted floor space index is 0.69 times the area of the lot (154.19 m²).
The altered dwelling will have a floor space index equal to 0.88 times the area of the lot (196.83 m²).
- 1. Section 6(3) Par II 5(II), By-law 438-86**
The maximum permitted building depth is 17.0 m.
The altered dwelling will have a building depth equal to 18.38 m.
- 2. Section 6(3) Part VI 1(I), By-law 438-86**
The maximum permitted gross floor area is 0.69 times the area of the lot (154.19 m²).
The altered dwelling will have a gross floor area equal to 0.88 times the area of the lot (196.83 m²).

MOTION

It was moved by Carl Knipfel, seconded by Donald Granatstein and carried unanimously that the application be **deferred, for a maximum of 3 months**. The deferral would provide the applicant with an opportunity to revise the proposal. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel B**.



City Planning Division

Committee of Adjustment
Toronto and East York District

100 Queen Street West, 1st Floor
Toronto, Ontario M5H 2N2
Tel: 416-392-7565
Fax: 416-392-0580

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0010/17TEY	Zoning	RM(f12.0; u2; d0.8)(x252) (ZZC)
Owner(s):	ANDREW SPRACHMAN	Ward:	St. Paul's (21)
Agent:	RICHARD DE OLIVEIRA	Heritage:	Not Applicable
Property Address:	25 KENWOOD AVE	Community:	York
Legal Description:	PLAN 1322 PT LOT 52		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by constructing a rear one-storey addition, rear deck, and a front basement walkout.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Chapter 10.5.50.10.(3)(A), By-law 569-2013

A minimum of 50% (77.39 m²), of the rear yard must be maintained as soft landscaping.
In this case, 31.4% (48.57 m²), of the rear yard will be maintained as soft landscaping.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0010/17TEY	Zoning	RM(f12.0; u2; d0.8)(x252) (ZZC)
Owner(s):	ANDREW SPRACHMAN	Ward:	St. Paul's (21)
Agent:	RICHARD DE OLIVEIRA	Heritage:	Not Applicable
Property Address:	25 KENWOOD AVE	Community:	York
Legal Description:	PLAN 1322 PT LOT 52		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0011/17TEY	Zoning:	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	PETER STEPHEN JENKINS	Ward:	St. Paul's (21)
Agent:	PETER STEPHEN JENKINS	Heritage:	Not Applicable
Property Address:	11 ELLSWORTH AVE	Community:	Toronto
Legal Description:	PLAN 1306 PT LOT 56 & 57		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by constructing a rear two-storey addition and a rear detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.40.40.(2)(A), By-law 569-2013

Additions to the rear of a detached dwelling erected before October 15, 1953 are permitted provided the residential floor space index of the building, as enlarged, does not exceed 0.69 times the area of the lot (152.69 m²).

The altered dwelling will have a floor space index equal to 0.77 times the area of the lot (169.90 m²).

2. Chapter 10.10.60.20.(1)(A), By-law 569-2013

The minimum required rear yard setback is 1.0 m.

The altered dwelling will be located 0 m from the south rear lot line, measured from the eaves of the rear detached garage.

1. Section 6(3) Part VI 1(I), By-law 438-86

Additions to the rear of a detached dwelling erected before October 15, 1953, or to a converted house, are permitted provided the residential gross floor area of the building, as enlarged, does not exceed 0.69 times the area of the lot (152.69 m²).

The altered dwelling will have a gross floor area equal to 0.77 times the area of the lot (169.90 m²).

2. Section 6(3) Part XI 2, Bylaw 438-86

An accessory building is not permitted in the rear yard of a residential lot where both the front and rear lots lines adjoin a street and the street adjoining the rear lot line has a width of at least 9.0 m.

The rear detached garage will be located in the rear yard and the rear lot line adjoins Hocken Avenue which has a width of at least 9.0 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0011/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	PETER STEPHEN JENKINS	Ward:	St. Paul's (21)
Agent:	PETER STEPHEN JENKINS	Heritage:	Not Applicable
Property Address:	11 ELLSWORTH AVE	Community:	Toronto
Legal Description:	PLAN 1306 PT LOT 56 & 57		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**
LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

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Toronto and East York District

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Toronto, Ontario M5H 2N2
Tel: 416-392-7565
Fax: 416-392-0580

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0012/17TEY	Zoning	EL 2.0 & I1 D2 (WAIVER)
Owner(s):	2339662 ONTARIO LIMITED	Ward:	Davenport (18)
Agent:	PAUL CHRONIS	Heritage:	Not Applicable
Property Address:	1100-1110 DUPONT ST	Community:	Toronto
Legal Description:	PLAN 622 BLK Y LOTS 12 & 13 PT LOTS 11 & 14		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To continue the use of the lower level of the subject lands as a sales or hire garage/vehicle dealership for an interim period of time not exceeding two years.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Chapter 60.10.20.10, By-law 569-2013

A vehicle dealership is not a permitted use.
In this case, a vehicle dealership will be permitted.

Section 9(1)(f)(b)(vii), By-law 438-86

A sales or hire garage is not a permitted use.
In this case, a sales or hire garage will be permitted.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
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- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0012/17TEY	Zoning	EL 2.0 & I1 D2 (WAIVER)
Owner(s):	2339662 ONTARIO LIMITED	Ward:	Davenport (18)
Agent:	PAUL CHRONIS	Heritage:	Not Applicable
Property Address:	1100-1110 DUPONT ST	Community:	Toronto
Legal Description:	PLAN 622 BLK Y LOTS 12 & 13 PT LOTS 11 & 14		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**
LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

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27. 49 LEE AVE

File Number:	A0060/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZPR)
Owner(s):	JASON SCHUY PAULETTE O'LEARY	Ward:	Beaches-East York (32)
Agent:	DAVID BRADSTREET	Heritage:	Not Applicable
Property Address:	49 LEE AVE	Community:	Toronto
Legal Description:	PLAN 90Y PT LOT S		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing 2½-storey detached dwelling by constructing a rear three-storey addition and rear two-storey deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.40.10.(2)(B)(i), By-law 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 9.5 m.
The height of the side exterior main walls facing a side lot line is 10.74 m.

2. Chapter 10.10.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index is 0.6 times the area of the lot (260.65 m²).
The altered dwelling will have a floor space index equal to 0.69 times the area of the lot (298.85 m²).

3. Chapter 10.5.40.60.(7), By-law 569-2013

Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.
In this case, the eaves will be located 0.1 m from the north lot line.

1. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area is 0.6 times the area of the lot (260.65 m²).
The altered dwelling will have a gross floor area equal to 0.69 times the area of the lot (298.85 m²).

2. Section 6(3) Part II 3.B(ii), By-law 438-86

The minimum required side lot line setback for the portion of the building exceeding a depth of 17.0 m is 7.5 m.
Decision A1165/15TEY permits a setback of 2.2 m to the north side lot line.
In this case, the 3.96 m portion of the building exceeding 17.0 m in depth will be located 0.63 m from the north side lot line.

MOTION

It was moved by Carl Knipfel, seconded by Lisa Valentini and carried unanimously that the application be **deferred, for a maximum of 3 months**. The deferral would provide the applicant with an opportunity to attend to a personal matter and to discuss the proposal in more detail with Urban Forestry. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel B**.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0014/17TEY	Zoning:	RD(f12.0; d0.4) & R1 (ZZC)
Owner(s):	BENJAMIN EDWARD MOGIL MARNI ROBYNE BANACK	Ward:	St. Paul's (21)
Agent:	MARIA DENEGRI	Heritage:	Not Applicable
Property Address:	36 GLEN CEDAR RD	Community:	York
Legal Description:	PLAN 2599 PT BLK O		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by constructing a rear two-storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Chapter 10.20.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index of a detached dwelling is 0.4 times the area of the lot (219.8 m²).
The altered detached dwelling will have a floor space index equal to 0.55 times the area of the lot (301.0 m²).

Section 7(3)(I), By-law 1-83

The maximum permitted floor space index of a detached dwelling is 0.4 times the area of the lot (219.8 m²).
The altered detached dwelling will have a floor space index equal to 0.53 times the area of the lot (290.8 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

SIGNATURE PAGE

File Number:	A0014/17TEY	Zoning	RD(f12.0; d0.4) & R1 (ZZC)
Owner(s):	BENJAMIN EDWARD MOGIL MARNI ROBYNE BANACK	Ward:	St. Paul's (21)
Agent:	MARIA DENEGRİ	Heritage:	Not Applicable
Property Address:	36 GLEN CEDAR RD	Community:	York
Legal Description:	PLAN 2599 PT BLK O		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**
LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0015/17TEY	Zoning	RD (f12.0; a379; d0.4)(x1199) & R1 (ZZC)
Owner(s):	ROBIN MILSTEIN	Ward:	St. Paul's (21)
Agent:	DOMINIKA KOWIAZO-SITKO	Heritage:	Not Applicable
Property Address:	12 CROYDON RD	Community:	York
Legal Description:	PLAN M516 PT LOTS 68 & 69		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by constructing a second storey addition above the attached garage, a two-storey addition on the west side and a rear one-storey addition with a deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.4 times the area of the lot (242.64 m²).
The altered dwelling will have a floor space index equal to 0.44 times the area of the lot (270.75 m²).
- 1. Section (3)(i), By-law 1-83**
The maximum permitted floor space index is 0.4 times the area of the lot (242.64 m²).
The altered dwelling will have a floor space index equal to 0.47 times the area of the lot (287.18 m²).
- 2. Section 3(g), By-law 1-83**
The minimum required side yard setback is 1.2 m.
The altered dwelling will be located 0.9 m from the west side lot line.
- 1. Section 3(a), By-law 3623-97**
The minimum required side yard setback is 1.2 m.
The altered dwelling will be located 0.9 m from the west side lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0015/17TEY	Zoning	RD (f12.0; a379; d0.4)(x1199) & R1 (ZZC)
Owner(s):	ROBIN MILSTEIN	Ward:	St. Paul's (21)
Agent:	DOMINIKA KOWIAZO-SITKO	Heritage:	Not Applicable
Property Address:	12 CROYDON RD	Community:	York
Legal Description:	PLAN M516 PT LOTS 68 & 69		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

Appeal Information

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0016/17TEY	Zoning:	RD & R1B (ZZC)
Owner(s):	SOHEIL GHALEENOVEE ADEEL KHAN	Ward:	Beaches-East York (31)
Agent:	SOHEIL GHALEENOVEE	Heritage:	Not Applicable
Property Address:	40 PARKVIEW HILL CRES	Community:	East York
Legal Description:	PLAN 3618 LOT 126		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17.0 m.
The new dwelling will have a building length equal to 18.52 m.
 - Chapter 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of each platform at or above the second storey is 4.0 m².
The area of each platform at or above the second storey will be 5.9 m².
 - Chapter 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
The new dwelling will be located 0.94 m to the east side lot line for the one-storey portion of the front of the building.
 - Chapter 10.20.40.70.(6)(B), By-law 596-2013**
The minimum required side yard setback is 3.0 m for a corner lot where there is an adjacent lot fronting on the street abutting the side lot line.
The new dwelling will be located 1.8 metres to the west side lot line (corner side).
- Section 7.3.3, By-law 6752**
The maximum permitted building length is 16.75 m.
The new dwelling will have a building length equal to 18.52 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

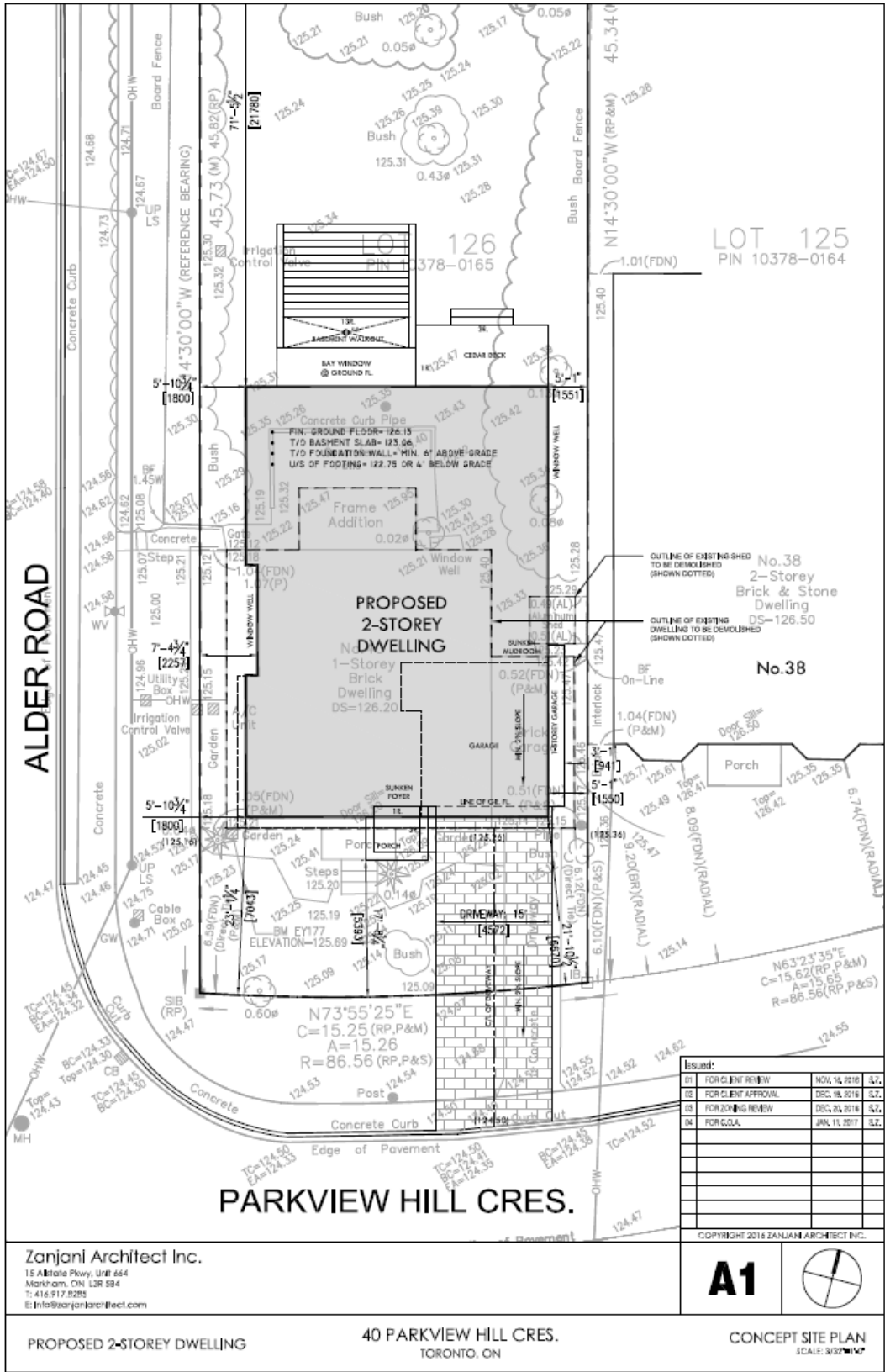
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The new two-storey dwelling shall be constructed substantially in accordance with the plans A1 to A10, date stamped received by the Committee of Adjustment on January 11, 2017. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
- (2) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.



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40 PARKVIEW HILL CRES.
 TORONTO, ON

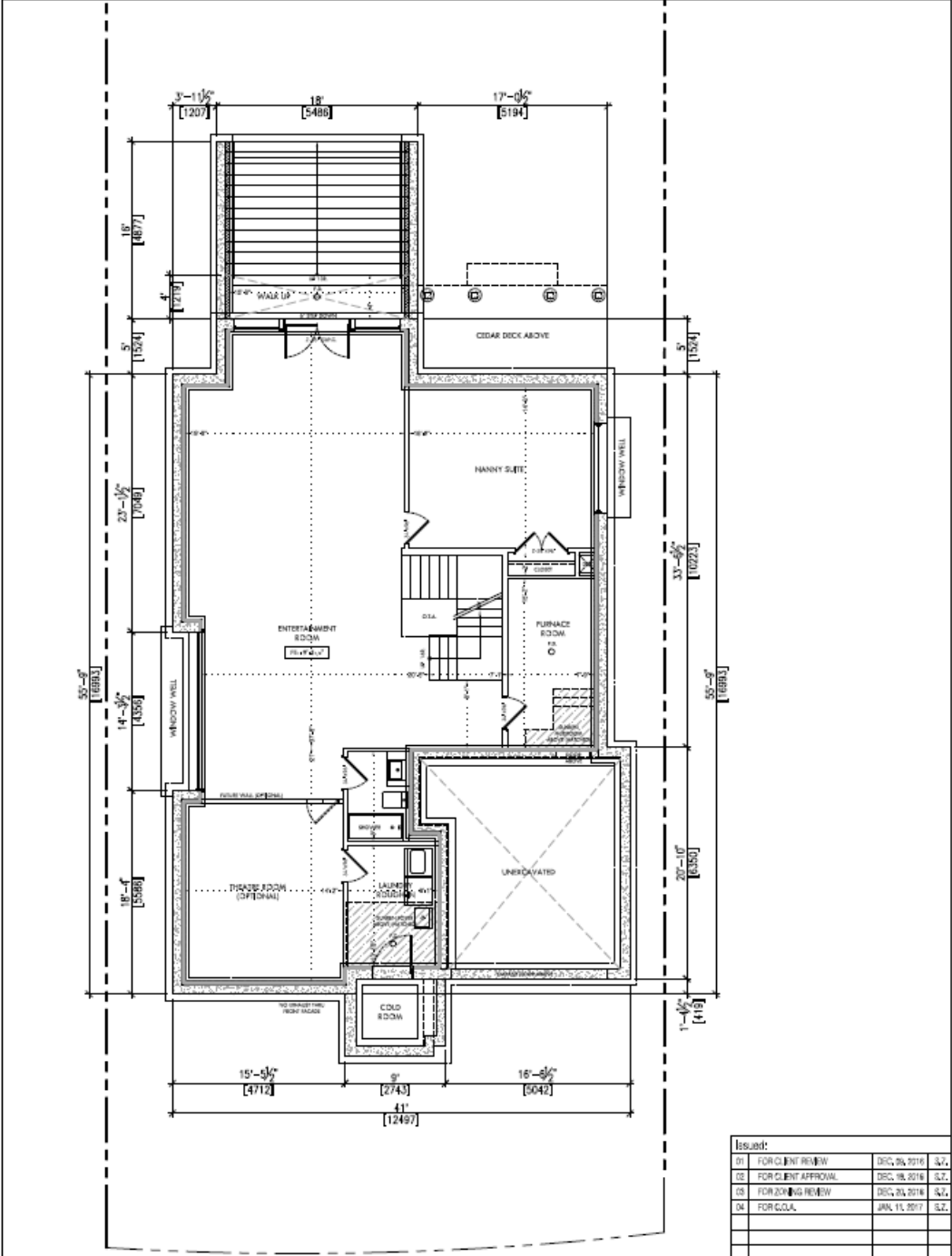
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01	FOR CLIENT REVIEW	NOV. 16, 2016 3.2
02	FOR CLIENT APPROVAL	DEC. 18, 2016 3.2
03	FOR ZONING REVIEW	DEC. 26, 2016 3.2
04	FOR C.O.L.	JAN. 11, 2017 3.2

A1 

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PROPOSED 2-STOREY DWELLING

CONCEPT SITE PLAN
 SCALE: 3/32"=1'-0"



Issued:		
01	FOR CLIENT REVIEW	DEC. 26, 2016 3.2
02	FOR CLIENT APPROVAL	DEC. 28, 2016 3.2
03	FOR ZONING REVIEW	DEC. 26, 2016 3.2
04	FOR C.O.L.	JAN. 11, 2017 3.2

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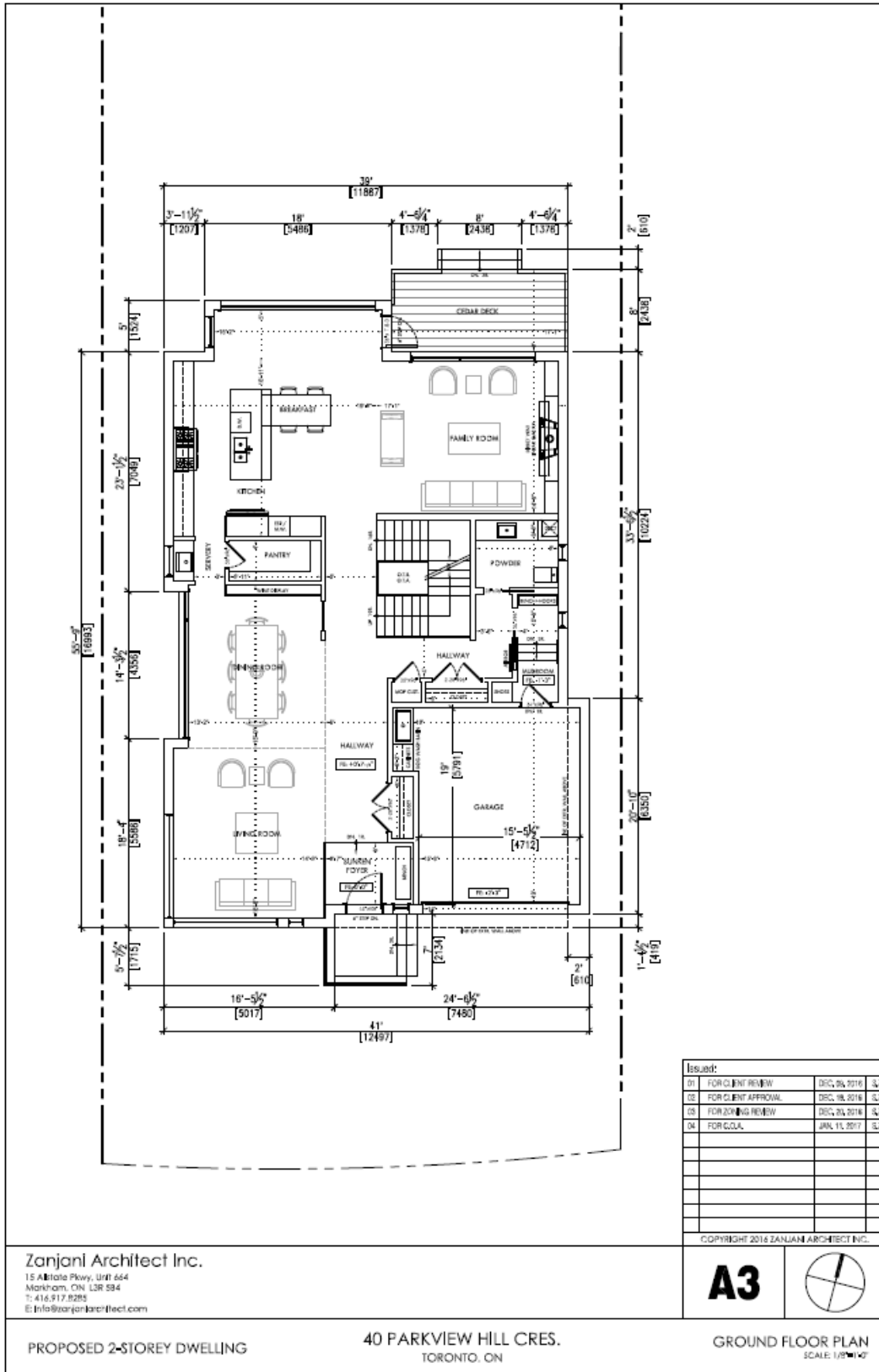
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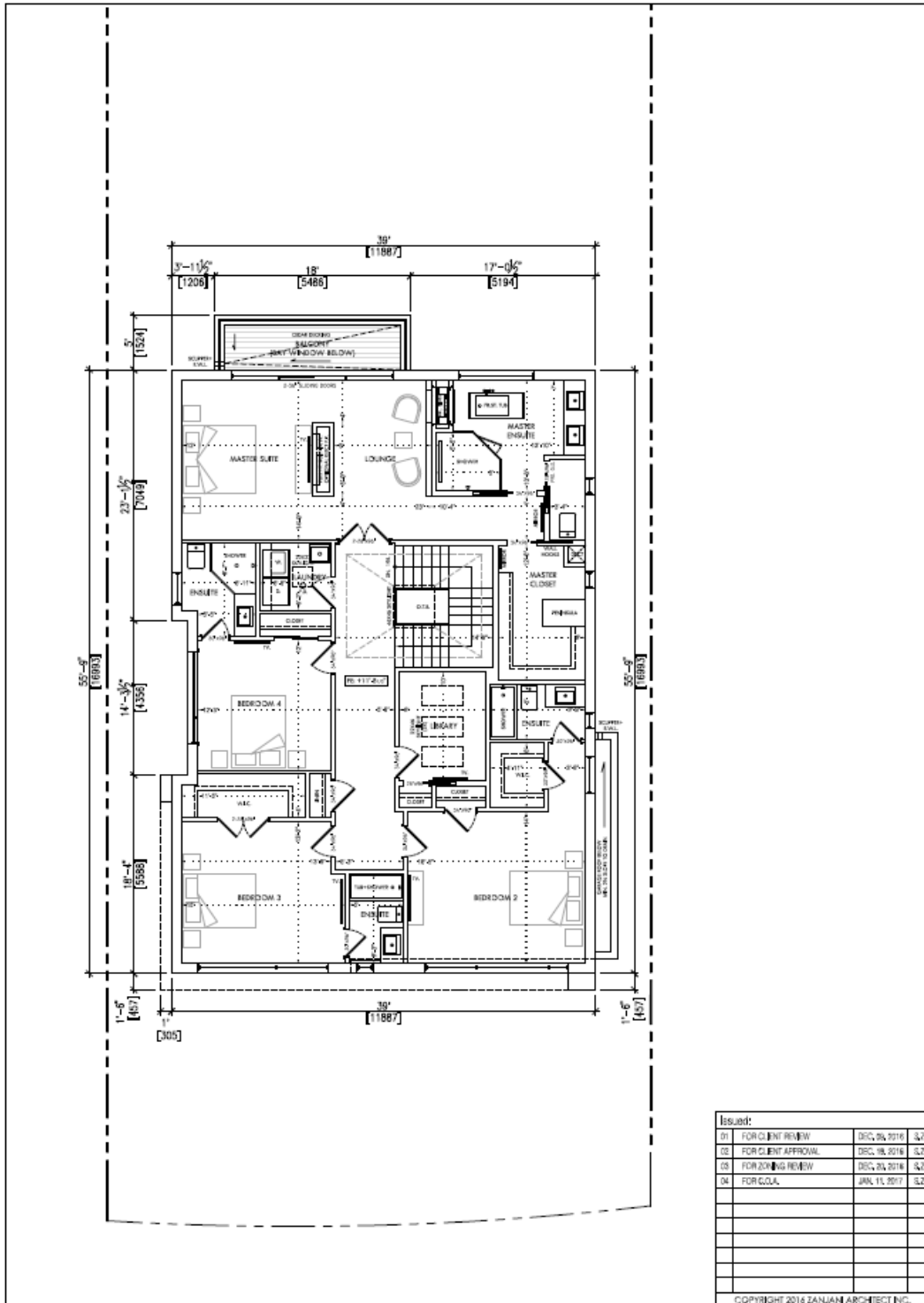


PROPOSED 2-STORY DWELLING

40 PARKVIEW HILL CRES.
 TORONTO, ON

BASEMENT PLAN
 SCALE: 1/8" = 1'-0"





Issued:		
01	FOR CLIENT REVIEW	DEC. 26, 2016 3.2
02	FOR CLIENT APPROVAL	DEC. 28, 2016 3.2
03	FOR ZONING REVIEW	DEC. 26, 2016 3.2
04	FOR C.O.L.	JAN. 11, 2017 3.2

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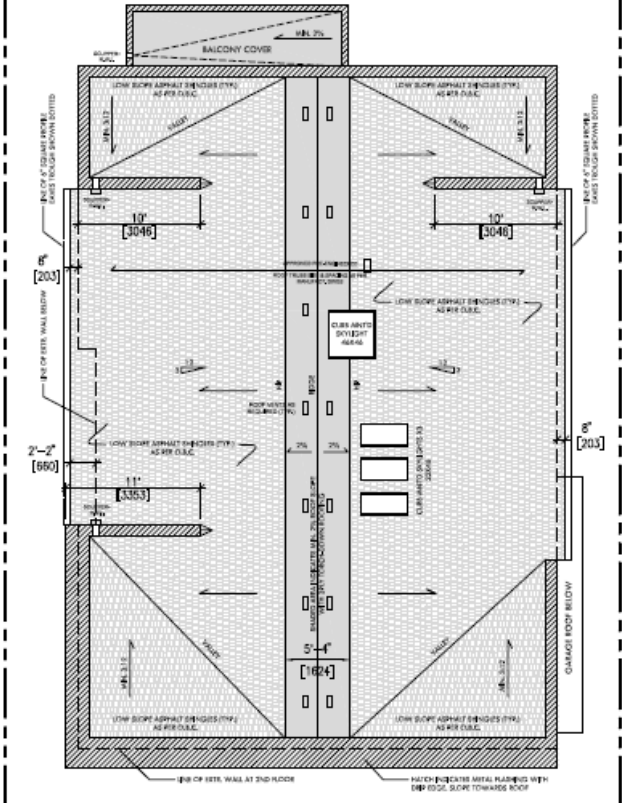
A4

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PROPOSED 2-STOREY DWELLING

40 PARKVIEW HILL CRES.
 TORONTO, ON

SECOND FLOOR PLAN
 SCALE: 1/8"=1'-0"

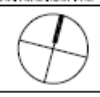


Issued:			
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02	FOR CLIENT APPROVAL	DEC. 28, 2016	3.2
03	FOR ZONING REVIEW	DEC. 26, 2016	3.2
04	FOR C.O.L.	JAN. 11, 2017	3.2

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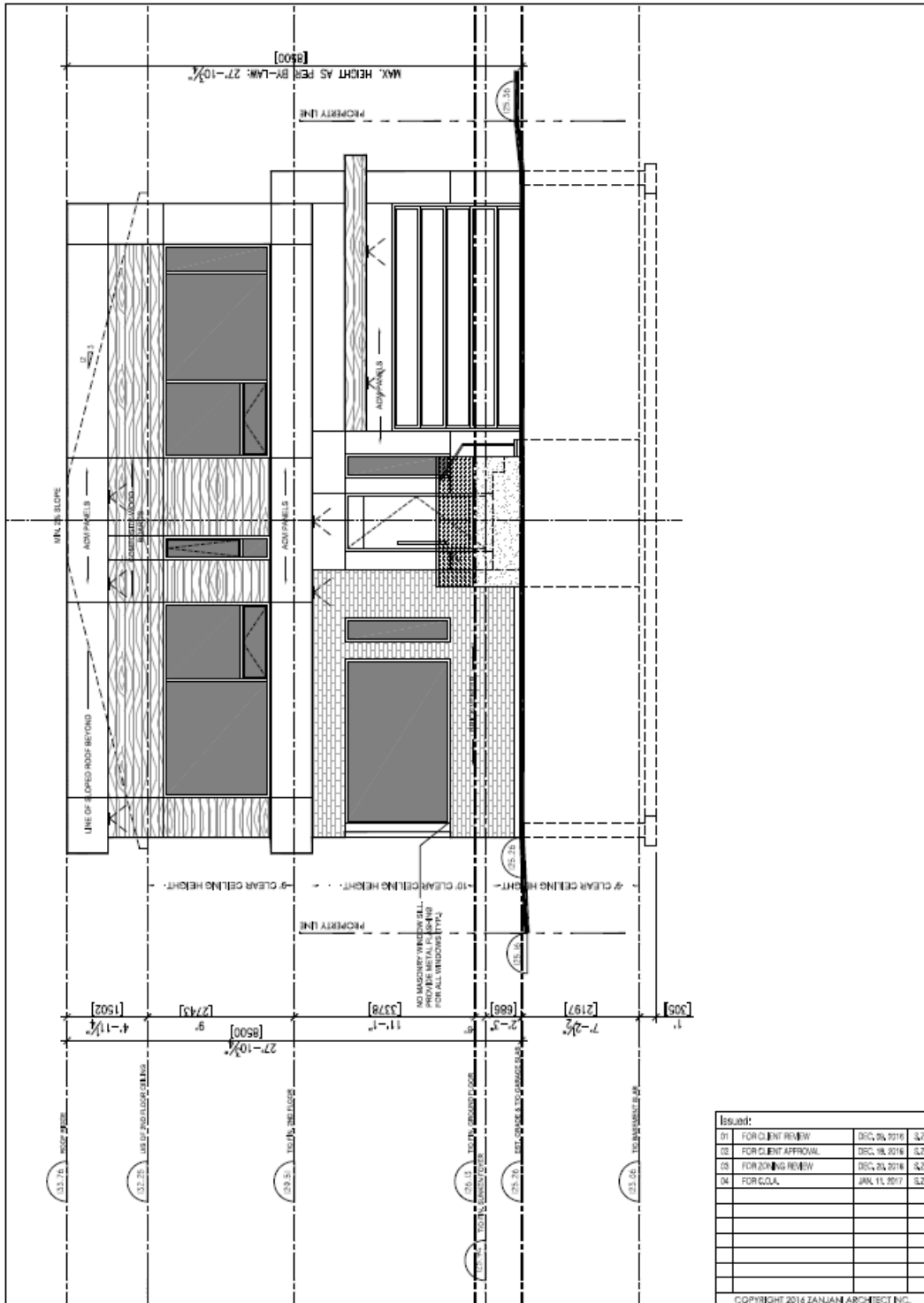
A5



PROPOSED 2-STOREY DWELLING

40 PARKVIEW HILL CRES.
 TORONTO, ON

ROOF PLAN
 SCALE: 1/8" = 1'-0"

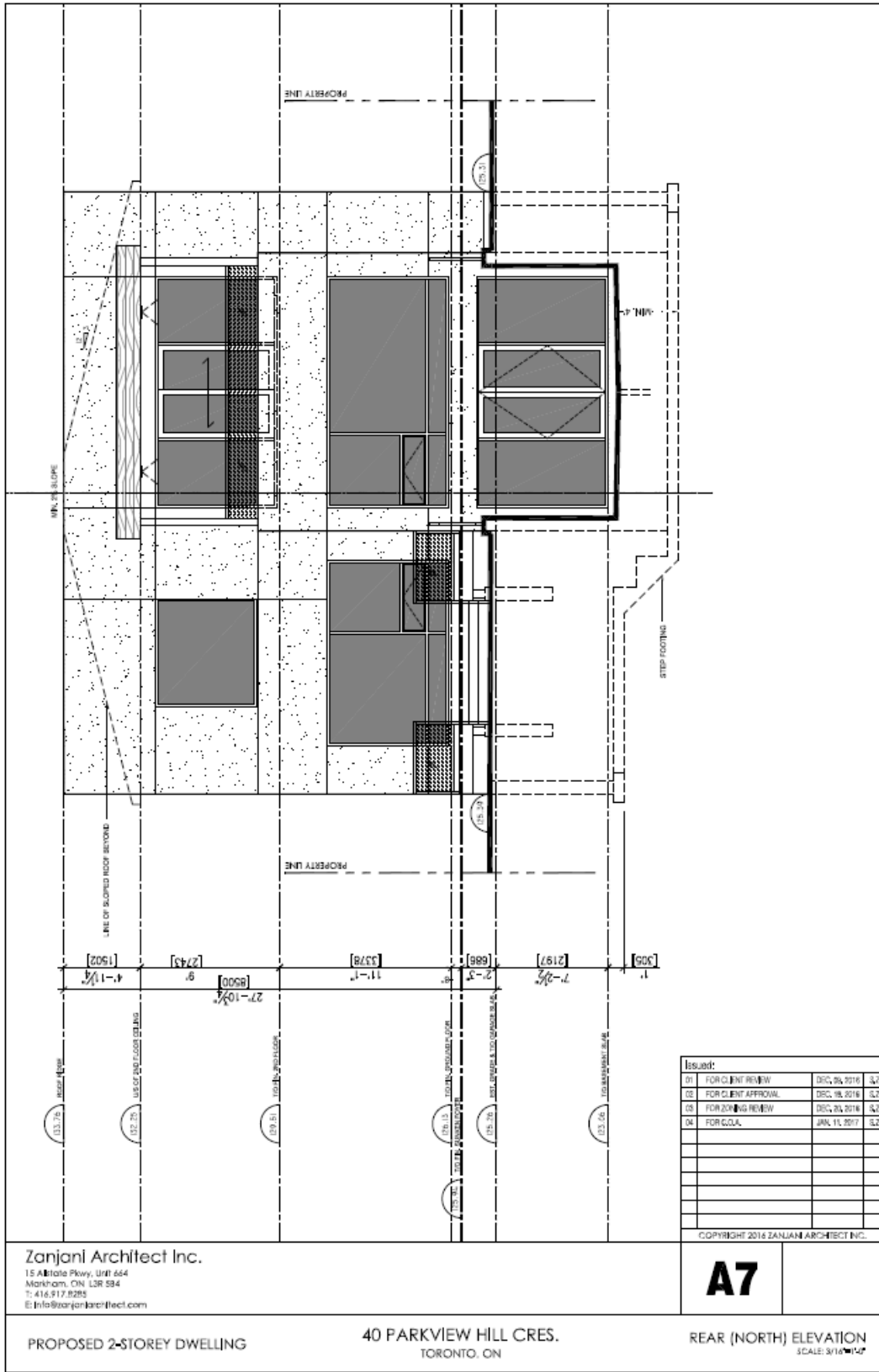


Issued:

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02	FOR CLIENT APPROVAL	DEC. 26, 2016	3.7
03	FOR ZONING REVIEW	DEC. 26, 2016	3.7
04	FOR C.O.L.	JAN. 11, 2017	3.7

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<p>Zanjani Architect Inc. 15 Adelaide Pkwy, Unit 664 Markham, ON L3R 5B4 T: 416.917.9286 E: info@zanjaniarchitect.com</p>	<h1 style="margin: 0;">A6</h1>	<p>40 PARKVIEW HILL CRES. TORONTO, ON</p> <p>FRONT (SOUTH) ELEVATION SCALE: 3/16"=1'-0"</p>
<p>PROPOSED 2-STORY DWELLING</p>		



Issued:

01	FOR CLIENT REVIEW	DEC. 26, 2016	3.2
02	FOR CLIENT APPROVAL	DEC. 28, 2016	3.2
03	FOR ZONING REVIEW	DEC. 26, 2016	3.2
04	FOR C.O.L.	JAN. 11, 2017	3.2

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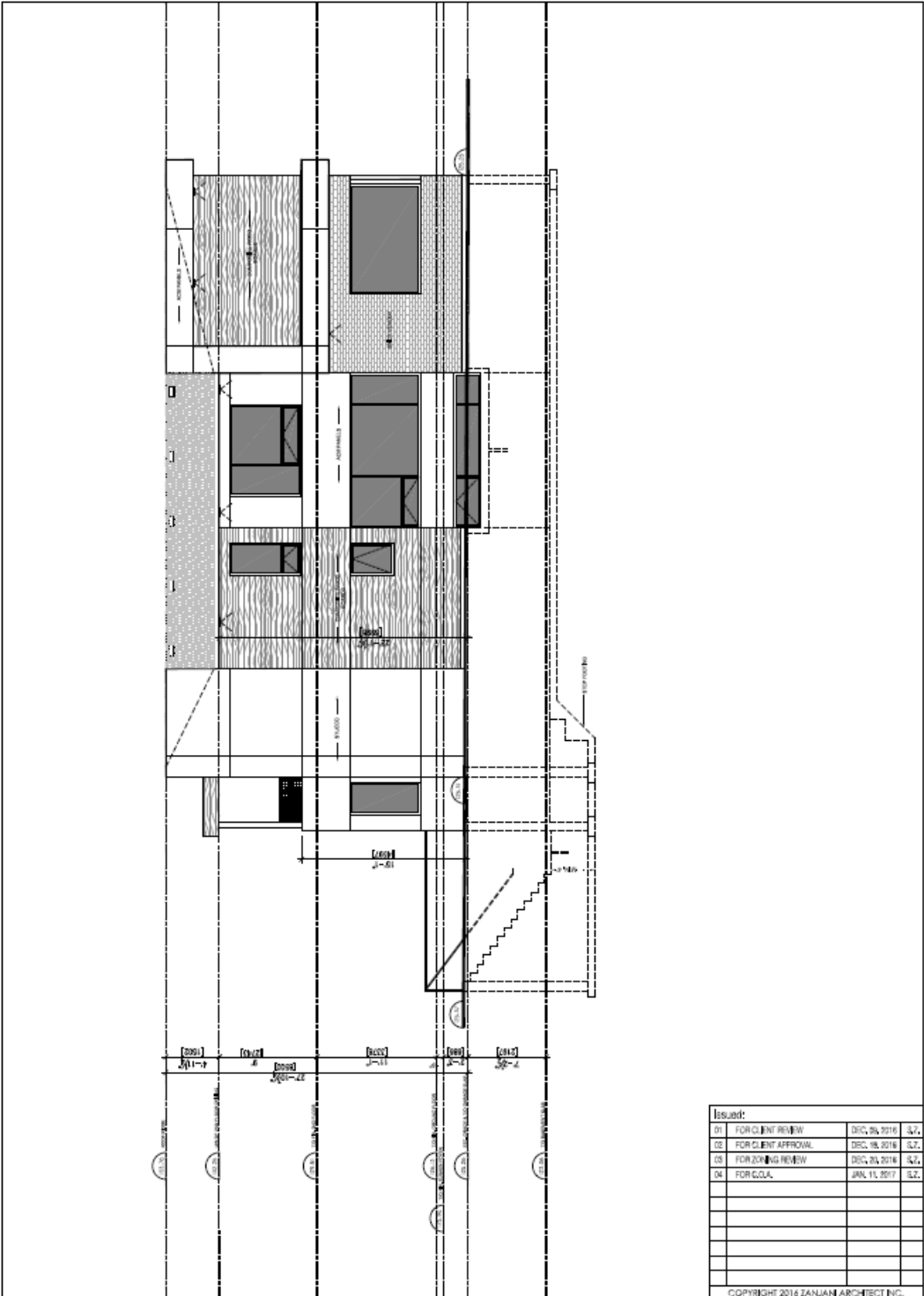
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A7

PROPOSED 2-STORY DWELLING

40 PARKVIEW HILL CRES.
 TORONTO, ON

REAR (NORTH) ELEVATION
 SCALE: 3/16"=1'-0"



Issued:		
01	FOR CLIENT REVIEW	DEC. 26, 2016 3.2'
02	FOR CLIENT APPROVAL	DEC. 28, 2016 3.2'
03	FOR ZONING REVIEW	DEC. 26, 2016 3.2'
04	FOR C.O.L.	JAN. 11, 2017 3.2'

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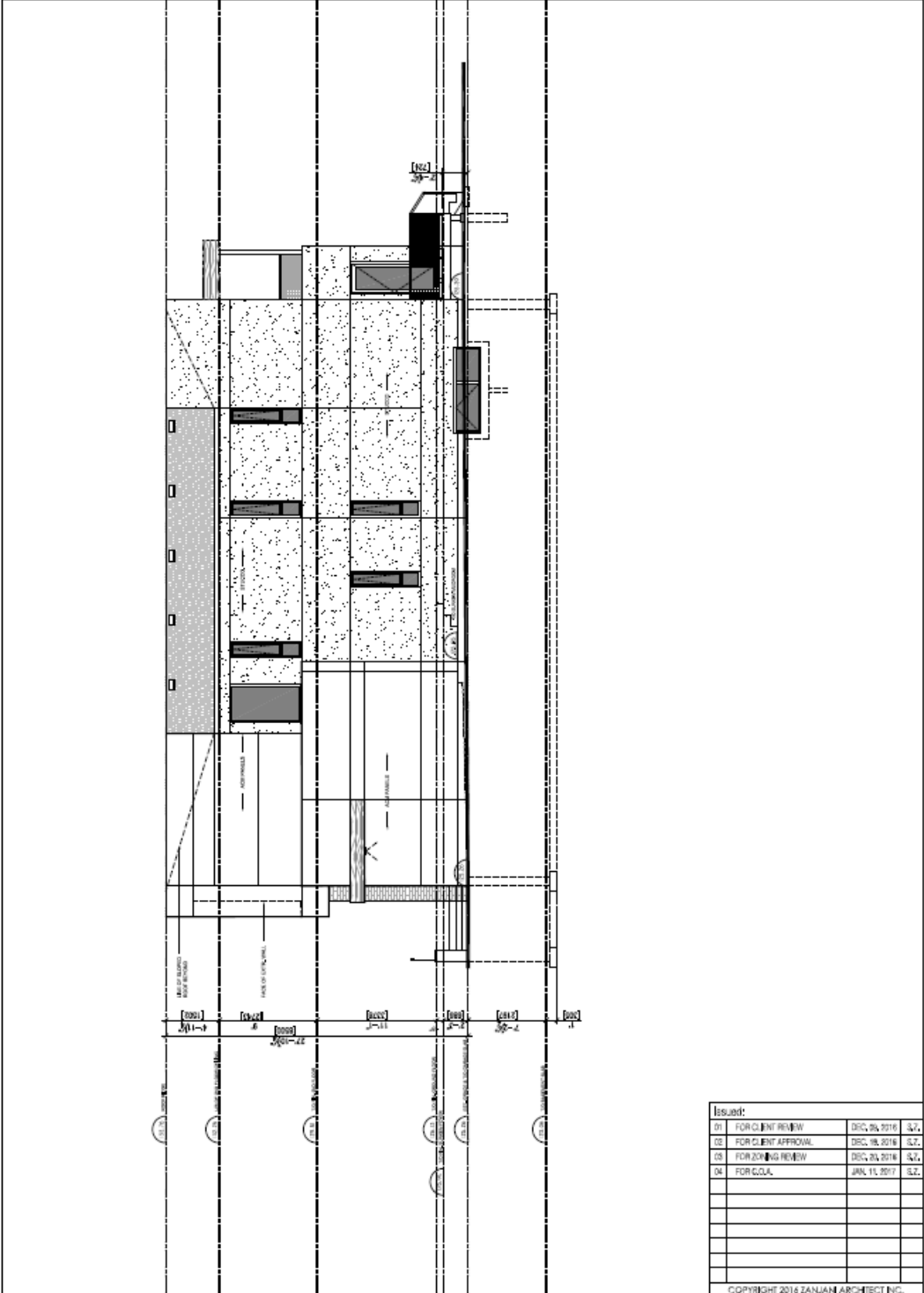
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 Markham, ON L3R 5B4
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A8

PROPOSED 2-STORY DWELLING

40 PARKVIEW HILL CRES.
 TORONTO, ON

SIDE (WEST) ELEVATION
 SCALE: 1/8"=1'-0"



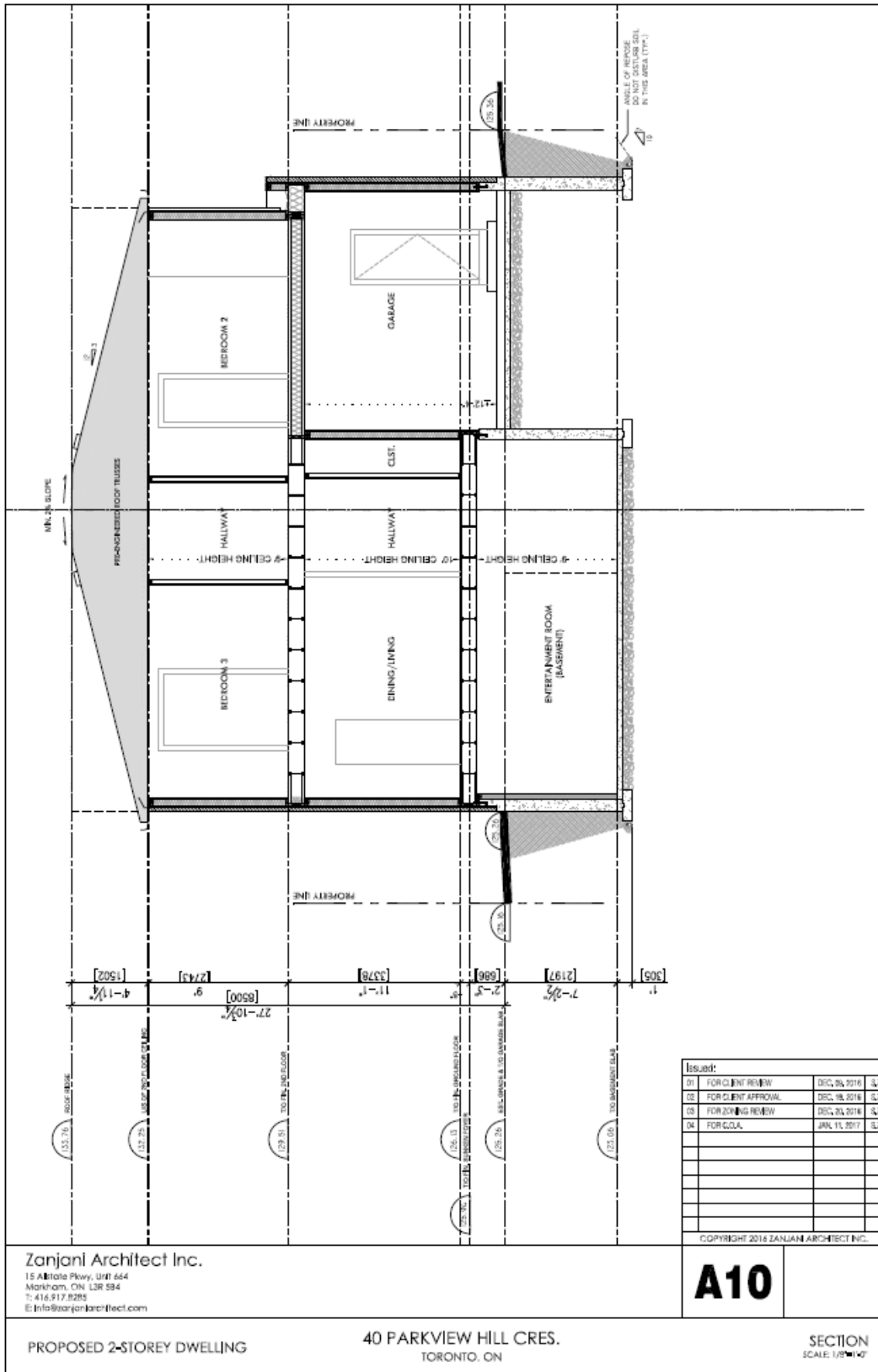
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 E: info@zanjaniarchitect.com

A9

PROPOSED 2-STORY DWELLING

40 PARKVIEW HILL CRES.
 TORONTO, ON

SIDE (EAST) ELEVATION
 SCALE: 1/8"=1'-0"



Issues:			
01	FOR CLIENT REVIEW	DEC. 26, 2016	4.1
02	FOR CLIENT APPROVAL	DEC. 26, 2016	5.2
03	FOR ZONING REVIEW	DEC. 26, 2016	4.1
04	FOR C.O.A.	JAN. 11, 2017	5.2

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A10

PROPOSED 2-STOUREY DWELLING

40 PARKVIEW HILL CRES.
 TORONTO, ON

SECTION
 SCALE: 1/8" = 1'-0"

SIGNATURE PAGE

File Number:	A0016/17TEY	Zoning	RD & R1B (ZZC)
Owner(s):	SOHEIL GHALEENOVEE ADEEL KHAN	Ward:	Beaches-East York (31)
Agent:	SOHEIL GHALEENOVEE	Heritage:	Not Applicable
Property Address:	40 PARKVIEW HILL CRES	Community:	East York
Legal Description:	PLAN 3618 LOT 126		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

Appeal Information

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0017/17TEY	Zoning:	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	RYAN POCE	Ward:	Trinity-Spadina (19)
Agent:	RYAN POCE	Heritage:	Not Applicable
Property Address:	17 GORE ST	Community:	Toronto
Legal Description:	PLAN 356 PT BLK B		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey semi-detached dwelling by constructing: a rear two-storey addition, a front bay window addition, a complete third-storey addition, a rear basement walk-out, and a rear third floor deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013

Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.6 m.

The rear basement walk-out stairs will be located 0.42 m from the west side lot line.

2. Chapter 10.10.40.10.(2)(A)(i) & (ii), By-law 569-2013

The maximum permitted height of all front exterior main walls is 7.5 m.

The height of the front exterior main walls will be 9.66 m.

The maximum permitted height of all rear exterior main walls is 7.5 m.

The height of the rear exterior main walls will be 9.66 m.

3. Chapter 10.10.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index of a semi-detached dwelling is 0.6 times the area of the lot (64.46 m²).

The altered dwelling will have a floor space index equal to **1.81** times the area of the lot (**195.97 m²**).

4. Chapter 10.10.40.70.(2), By-law 569-2013

The minimum required rear yard setback is 7.5 m.

The altered dwelling will be located 5.0 m from the south rear lot line.

5. Chapter 200.5.10.1.(1), By-law 569-2013

A minimum of one parking space is required to be provided.
In this case, zero parking spaces will be provided on the lot.

1. Section 6(3) Part I 1, By-law 438-86

The maximum permitted residential gross floor area of a semi-detached dwelling is 0.6 times the area of the lot (64.46 m²).

The altered dwelling will have a residential gross floor area equal to **1.81** times the area of the lot (**195.97 m²**).

2. Section 6(3) Part II 3(I), By-law 438-86

The minimum required setback from the side wall of an adjacent building that does not contain any openings is 0.9 m.

The altered dwelling will be located 0.66 m from the side wall of the east adjacent building, 15 Gore Street and 0.84 m from the side wall of the west adjacent building, 19 Gore Street.

3. Section 6(3) Part II 3.C(I), By-law 438-86

The minimum required side lot line setback of a semi-detached dwelling is 0.45 m where the side wall contains no openings.

The altered dwelling will be located 0.42 m from the west side lot line, and 0.33 m from the east side lot line, measured to the bay window addition.

4. Section 6(3) Part II 4, By-law 438-86

The minimum required rear yard setback is 7.5 m.

The altered dwelling will be located 5.0 m from the south rear lot line.

5. Section 4(4)(b), By-law 438-86

A minimum of one parking space is required to be provided.
In this case, zero parking spaces will be provided on the lot.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

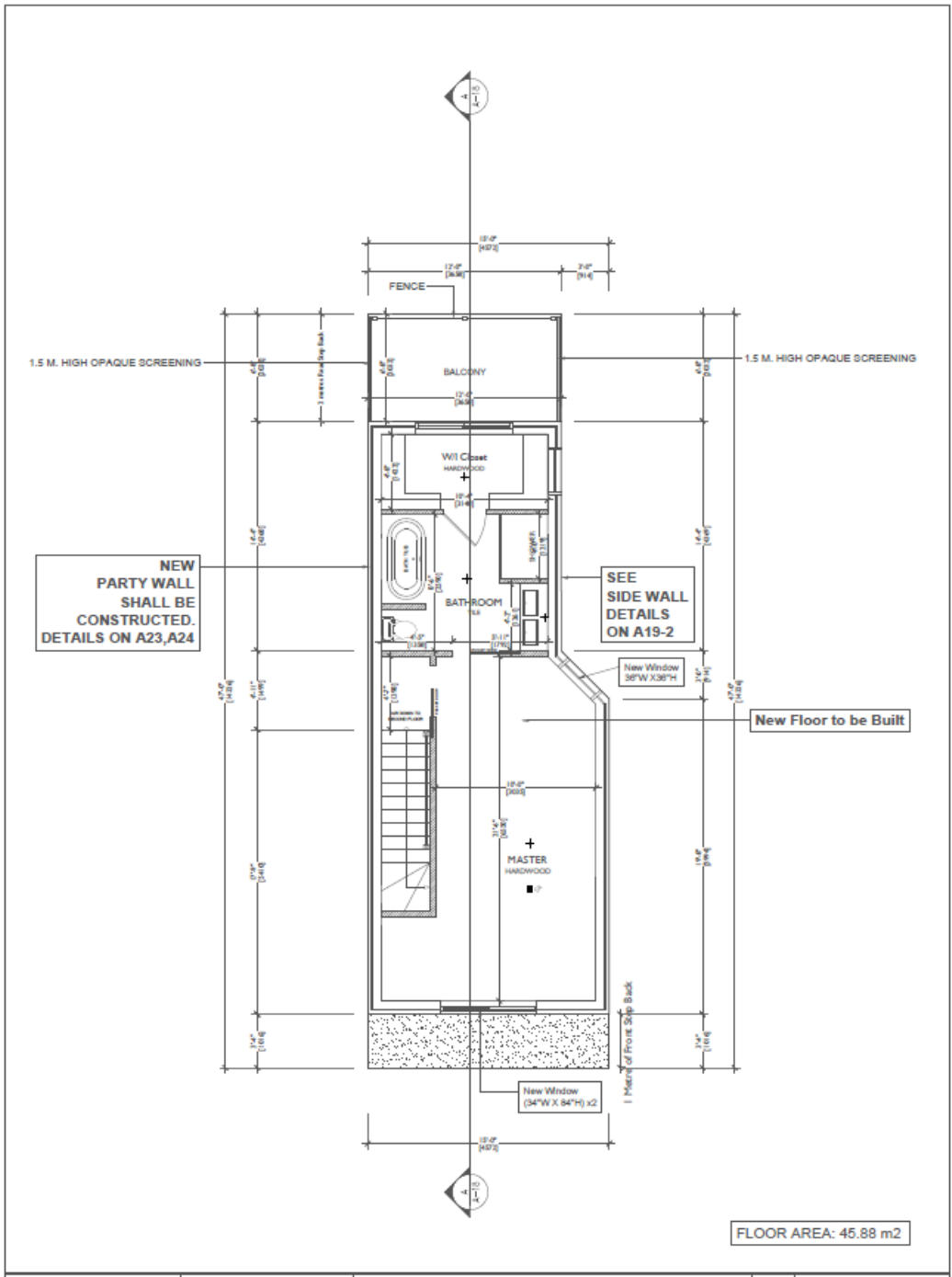
It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.


This decision is subject to the following condition(s):

- (1) The rear third floor deck shall be constructed with permanent opaque screening or fencing along the east and west edges, to a minimum height of 1.5 m, measured from the floor of the deck.

- (2) The third floor of the proposed dwelling have a maximum building depth of 12.3 metres exclusive of the rear deck, and 14.4 metres inclusive of the rear deck, as per the third floor plan received by the Committee of Adjustment on March 31, 2017.



FLOOR AREA: 45.88 m²

 <p>Dimension BUILDING DESIGN</p> <p>dimension@dimensionbd.com</p>	<p>The Underigned has reviewed and takes responsibility for this design, and has the qualification and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>Name : Young Jeon BCIN : 29522</p> <p>Required unless design is exempt under Division C-3.2.5.1. of the 2006 Ontario Building Code</p> <p>Firm Name: Dimension Building Design Firm BCIN : 42919</p> <p>Signature <i>[Signature]</i></p>	<p>Scale: 3/16" = 1'-0" Date: May .31, 2016</p>	<p>Revision</p> <p>Revised Nov 15th, 2016 for Zoning</p> <p>Revised March 20th, 2017 as per O.B.C.</p>
		<p>Project:</p> <p>17 GORE STREET, TORONTO</p>	<p>DWG. NO.</p>
		<p>Sheet Title:</p> <p>PROPOSED THIRD FLOOR PLAN</p>	<p>A8</p>

Contractors Must Verify All Dimensions on The Job and Report Any Discrepancy to The Designer Before Proceeding The Work. Drawings are Not To Be Scaled.

SIGNATURE PAGE

File Number:	A0017/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	RYAN POCE	Ward:	Trinity-Spadina (19)
Agent:	RYAN POCE	Heritage:	Not Applicable
Property Address:	17 GORE ST	Community:	Toronto
Legal Description:	PLAN 356 PT BLK B		

DISSENTED

_____	_____	_____
Alex Bednar	Michael Clark (signed)	Donald Granatstein (signed)

DISSENTED

_____	_____
Carl Knipfel (signed)	Lisa Valentini

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**
LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

Appeal Information

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0018/17TEY	Zoning:	RS (f10.5, a325, d0.75)(x312) & R2A (BLD)
Owner(s):	PATRICK FOLLENS DEIDRE A VANWYNSBERGHE	Ward:	Toronto-Danforth (29)
Agent:	ALEXANDRA BISHEVSKY	Heritage:	Not Applicable
Property Address:	28 SPRINGDALE BLVD	Community:	East York
Legal Description:	PLAN M515 PT LOT 45 PT LOT 39		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey semi-detached dwelling by enclosing the front porch and reconstructing the rear detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.70.(1)(B), By-law 569-2013**
The minimum required front yard setback is 3.8 m.
The altered dwelling will be located 2.0 m from the south front lot line.
- 2. Chapter 10.5.60.20.(3)(C)(iii), by-law 569-2013**
The minimum required side yard setback for an ancillary building or structure in a rear yard is 0.3 m.
The rear detached garage will be located 0.0 m from the east side lot line.
- 1. Section 7.5.3, By-law 6752**
The minimum required front yard setback is 6.0 m.
The altered dwelling will be located 2.0 m from the south front lot line.
- 2. Section 5.6.(g), By-law 6752**
The minimum required side and rear lot line setback for the detached garage and its roof extensions is 0.45 m.
The rear detached garage will be located 0.0 m from the east side lot line.
- 3. Section 7.1.1. (4), By-law 6752**
The maximum permitted height of a detached garage is 3.6 m.
The height of the rear detached garage will be 3.96 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The approval for a 2.0 m front yard setback outlined in Variance Requests 1 from both By-law 569-2013 and Bylaw 6752 shall apply only to the one-storey enclosed front porch and any other front addition above the first storey shall be constructed in compliance with the minimum required front yard setback of 3.8 m.

SIGNATURE PAGE

File Number:	A0018/17TEY	Zoning	RS (f10.5, a325, d0.75)(x312) & R2A (BLD)
Owner(s):	PATRICK FOLLENS DEIDRE A VANWYNSBERGHE	Ward:	Toronto-Danforth (29)
Agent:	ALEXANDRA BISHEVSKY	Heritage:	Not Applicable
Property Address:	28 SPRINGDALE BLVD	Community:	East York
Legal Description:	PLAN M515 PT LOT 45 PT LOT 39		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0019/17TEY	Zoning	R (F10.5; d0.6) & R1S Z0.6 (BLD)
Owner(s):	EDWARD ENG STEPHANIE ENG	Ward:	St. Paul's (21)
Agent:	ALEXANDRA BISHEVSKY	Heritage:	Not Applicable
Property Address:	348 WALMER RD	Community:	Toronto
Legal Description:	PLAN 930 PT LOT 25		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by enclosing the existing front porch and constructing a new unenclosed front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.40.30.(1)(A), By-law 569-2013**
The maximum permitted building depth for a detached dwelling is 17.0 m.
The altered dwelling will have a depth of 17.5 m.
 - Chapter 10.10.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 7.85 m.
The altered dwelling will be located 7.79 m from the front lot line.
 - Chapter 10.5.40.60.(3)(A)(ii), By-law 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback provided the stairs are no wider than 2.0 m.
In this case, the front stairs will have a width of 2.34 m.
 - Chapter 10.5.50.10.(1)(D), By-law 569-2013**
A minimum of 75% of the required front yard landscaping must be soft landscaping (23.23 m²).
In this case, 43% (13.53 m²) of the front yard will be soft landscaping.
- Section 6(3) Part II 2 (II), By-law 438-86**
The minimum required front yard setback of a building on an inside lot is 7.85 m.
The altered dwelling will be located 7.79 m from the front lot line.

2. Section 6(3) Part II 3.B(II), By-law 438-86

The minimum required side lot line setback for the portion of the building exceeding a depth of 17.0 m 7.5 m.

The altered dwelling will be setback 1.29 m from the south side lot line and 0.25 m from the north side lot line.

3. Section 6(3) Part III, By-law 438-86

A minimum of 75% (39.52 m²), of the required front yard landscaped open space shall be in the form of soft landscaping.

In this case, 26% (13.53 m²), of the required front yard landscaped open space will be in the form of soft landscaping.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

1. Variance Request 4 – By-law 569-2013 and Variance Request 3 – By-law 438-86 be **REFUSED**; and
2. Variance Requests 1, 2 & 3 - By-law 569-2013 and Variance Requests 1 & 2 – By-law 438-86 be **APPROVED**, subject to o the following condition:

Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

The **reason** for the decision is that, in the opinion of the Committee of Adjustment, variance request 4 – By-law 569-2013 and Variance Request 3 – By-law 438-86 are not minor in nature, are not desirable for the appropriate development and use of the subject property and do not maintain the general intent and purpose of the Zoning By-law and the Official Plan and variance requests 1, 2 & 3 - By-law 569-2013 and variance requests 1 & 2 – By-law 438-86 are minor in nature, are desirable for the appropriate development and use of the subject property and do maintain the general intent and purpose of the Zoning By-law and the Official Plan.

SIGNATURE PAGE

File Number:	A0019/17TEY	Zoning	R (F10.5; d0.6) & R1S Z0.6 (BLD)
Owner(s):	EDWARD ENG STEPHANIE ENG	Ward:	St. Paul's (21)
Agent:	ALEXANDRA BISHEVSKY	Heritage:	Not Applicable
Property Address:	348 WALMER RD	Community:	Toronto
Legal Description:	PLAN 930 PT LOT 25		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0020/17TEY	Zoning:	RD (f9.0, a280, d0.45) H 8.5 & R1A (ZZC)
Owner(s):	IOANNIS KOURAMANIS FOFO FRAGOPOULOS	Ward:	Toronto-Danforth (29)
Agent:	STEVEN LINDY	Heritage:	Not Applicable
Property Address:	69 NORTHBROOK RD	Community:	East York
Legal Description:	PLAN 3094 PT LOT 47 PT LOT 48		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing one-storey detached dwelling by constructing a second-storey addition, a covered front porch, a front second floor balcony, and a rear ground floor deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(1)(A), By-law 569-2013**
The maximum permitted building height is 8.5 m.
The altered dwelling will have a height of **9.0 m**.
- 2. Chapter 10.20.40.10.(2)(A), By-law 569-2013**
The maximum permitted height of all rear exterior main walls is 7 m.
The height of the rear exterior main walls will be **9.0 m**.
- 3. Chapter 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index of a detached dwelling is 0.45 times the area of the lot (145.11 m²).
The altered dwelling will have a floor space index equal to 0.54 times the area of the lot (174.42 m²).
- 4. Chapter 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of each platform located at or above the second storey of a dwelling is 4.0 m².
The area of the front second floor balcony will be 9.41 m².
- 1. Section 7.2.3, By-law 6752**
The maximum permitted lot coverage of a detached dwelling is 35% of the lot area (112.86 m²).
The altered dwelling will have a lot coverage equal to 37% of the lot area (120.7 m²).

2. Section 7.2.3, By-law 6752

The maximum permitted floor space index of a detached dwelling is 0.45 times the area of the lot (145.11 m²).

The altered dwelling will have a floor space index equal to 0.54 times the area of the lot (174.42 m²).

3. Section 7.2.3, By-law 6752

The maximum permitted building height is 8.5 m.

The altered dwelling will have a height of **9.0 m**.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0020/17TEY	Zoning	RD (f9.0, a280, d0.45) H 8.5 & R1A (ZZC)
Owner(s):	IOANNIS KOURAMANIS FOFO FRAGOPOULOS	Ward:	Toronto-Danforth (29)
Agent:	STEVEN LINDY	Heritage:	Not Applicable
Property Address:	69 NORTHBROOK RD	Community:	East York
Legal Description:	PLAN 3094 PT LOT 47 PT LOT 48		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0021/17TEY	Zoning	R (u2;d1.0) & R1S Z1.0 (Waiver)
Owner(s):	7 RELMAR GARDENS INC	Ward:	St. Paul's (21)
Agent:	MAHIR MANIOS	Heritage:	Not Applicable
Property Address:	7 RELMAR GDNS	Community:	Toronto
Legal Description:	PLAN M408 PT LOTS 7 & 8		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.40.30.(1)(A), By-law 569-2013

The maximum permitted depth of a detached dwelling is 17 m.
The new detached dwelling will have a depth of 18.5 m.

2. Chapter 10.10.40.10.(2), By-law 569-2013

The maximum permitted height of all front and rear exterior main walls is 8.5 m.
The height of the front and rear exterior main walls will be 9.2 m.

3. Chapter 10.5.50.10.(3), By-law 569-2013

A minimum of 50% (63.65 m²) of the rear yard must be maintained as soft landscaping.
In this case, 0% (0 m²) of the rear yard has been maintained as soft landscaping.

1. Section 6(3) Part II 3.B(I)(2), By-law 438-86

The minimum required side lot line setback for the portion of the building exceeding a depth of 17.0 m is 7.5 m.

The portion of the new detached dwelling exceeding the 17 m depth will be located 0.91 m from the east side lot line.

1. Section 6(3) Part II 3.B(I)(2), By-law 438-86

The minimum required side lot line setback for the portion of the building exceeding a depth of 17.0 m is 7.5 m.

The portion of the new detached dwelling exceeding the 17 m depth will be located 5.24 m from the west side lot line.

3. Section 6(3) Part II 4, By-law 438-86

The minimum required rear yard setback is 7.5 m.

The new detached dwelling will be located 4.56 m from the north rear lot line.

4. Section 4(11)(A), By-law 438-86

A residential building must be located on a lot having a minimum front lot line of 3.5 m where fronting or abutting a highway assumed for public highway purposes.

In this case, the new detached dwelling will be located on a lot which does not front or abut a highway assumed for public highway purposes.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

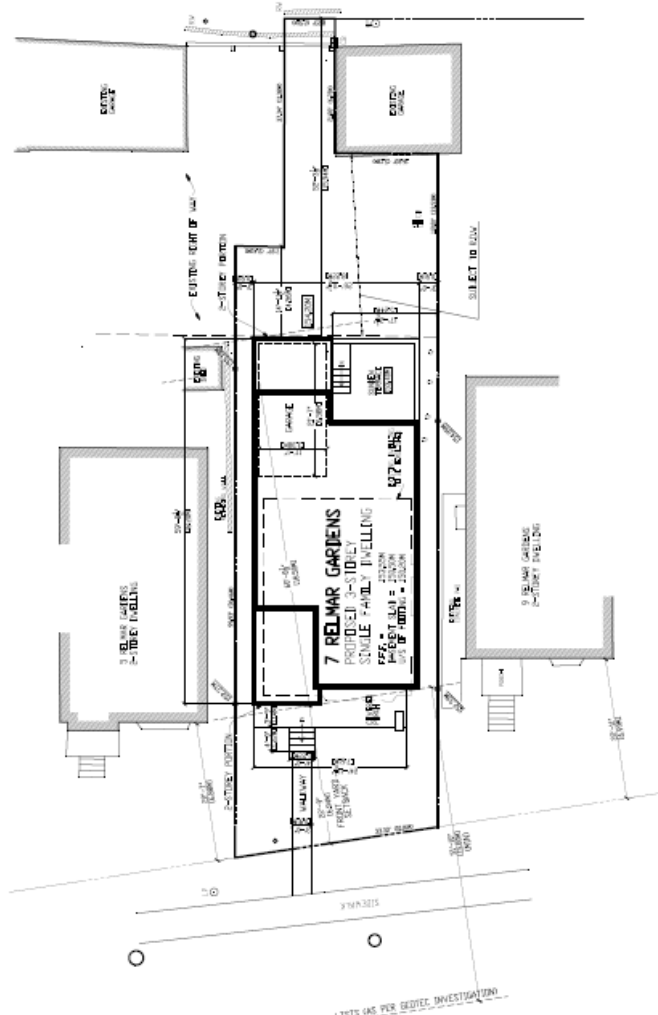
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

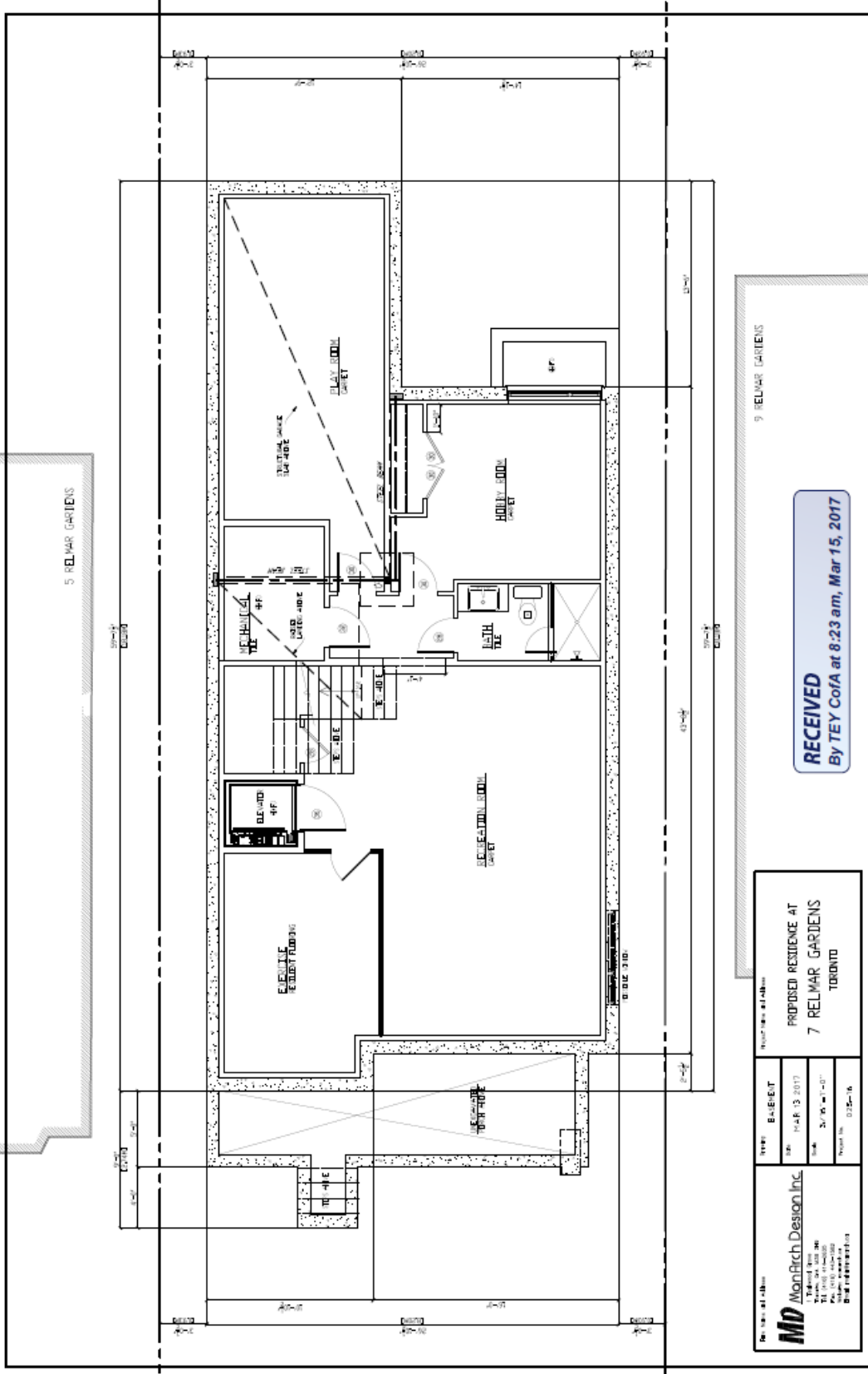
- (1) Prior to the issuance of a demolition and/or building permit, the applicant shall satisfy all matters relating to Ravine and Natural Feature Protection By-law, to the satisfaction of the Supervisor, Ravine and Natural Feature Protection.
- (2) The new dwelling shall be constructed substantially in accordance with the plans date stamped received by the Committee of Adjustment on March 15, 2017. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.



RECEIVED
By TEY Co/A at 8:23 am, Mar 15, 2017

MD MonArch Design Inc. 1 TRINITY SQ. #20 1100 BAYVIEW AVE. SCARBOROUGH, ONTARIO M1H 3T5 TEL: 416-491-0000 FAX: 416-491-0000 WWW.MONARCHDESIGN.COM	PROJECT NO. 15-010	PROPOSED RESIDENCE AT 7 RELMAR GARDENS TORONTO
	DATE: MARCH 3, 2017 SCALE: 1/32" = 1'-0" PROJECT NO. 0156-16	DRAWING NO. SITE PLAN

SIDEWALK
RELMAR GARDENS

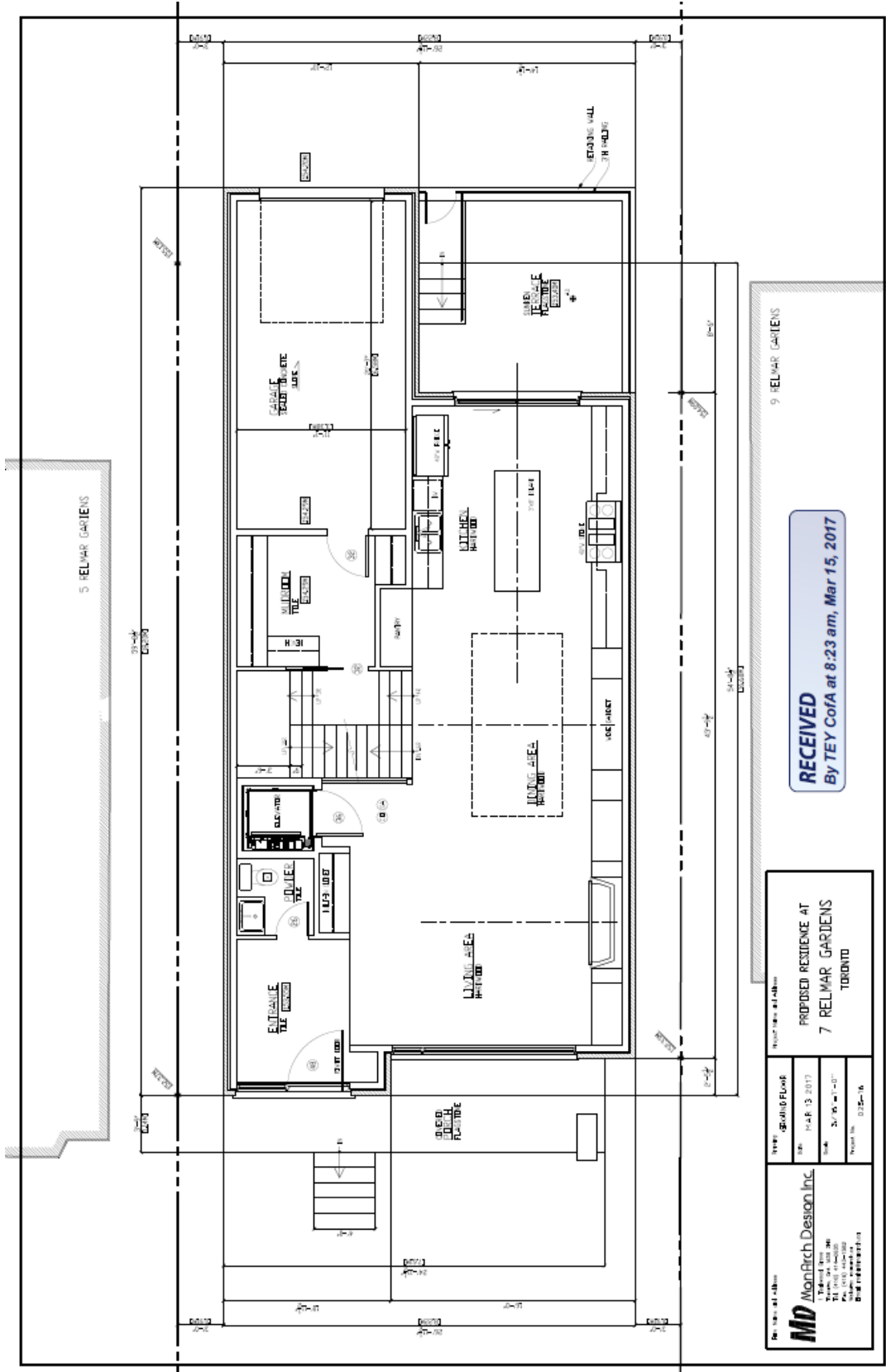


5 RELMAR GARDENS

9 RELMAR GARDENS

RECEIVED
By TEY CoFA at 8:23 am, Mar 15, 2017

MD MonArch Design Inc. 1 TRINITY SQ TORONTO, ONTARIO M5H 1B5 TEL: 416-461-1000 FAX: 416-461-1000 WWW.MONARCHDESIGN.COM	DATE: BASELIT BY: MAR 13 2017 SCALE: 3/16" = 1'-0" PROJECT NO: 0125-16	PROJECT NO: at 708 PROPOSED RESIDENCE AT 7 RELMAR GARDENS TORONTO
	No. 1000 of 1000	

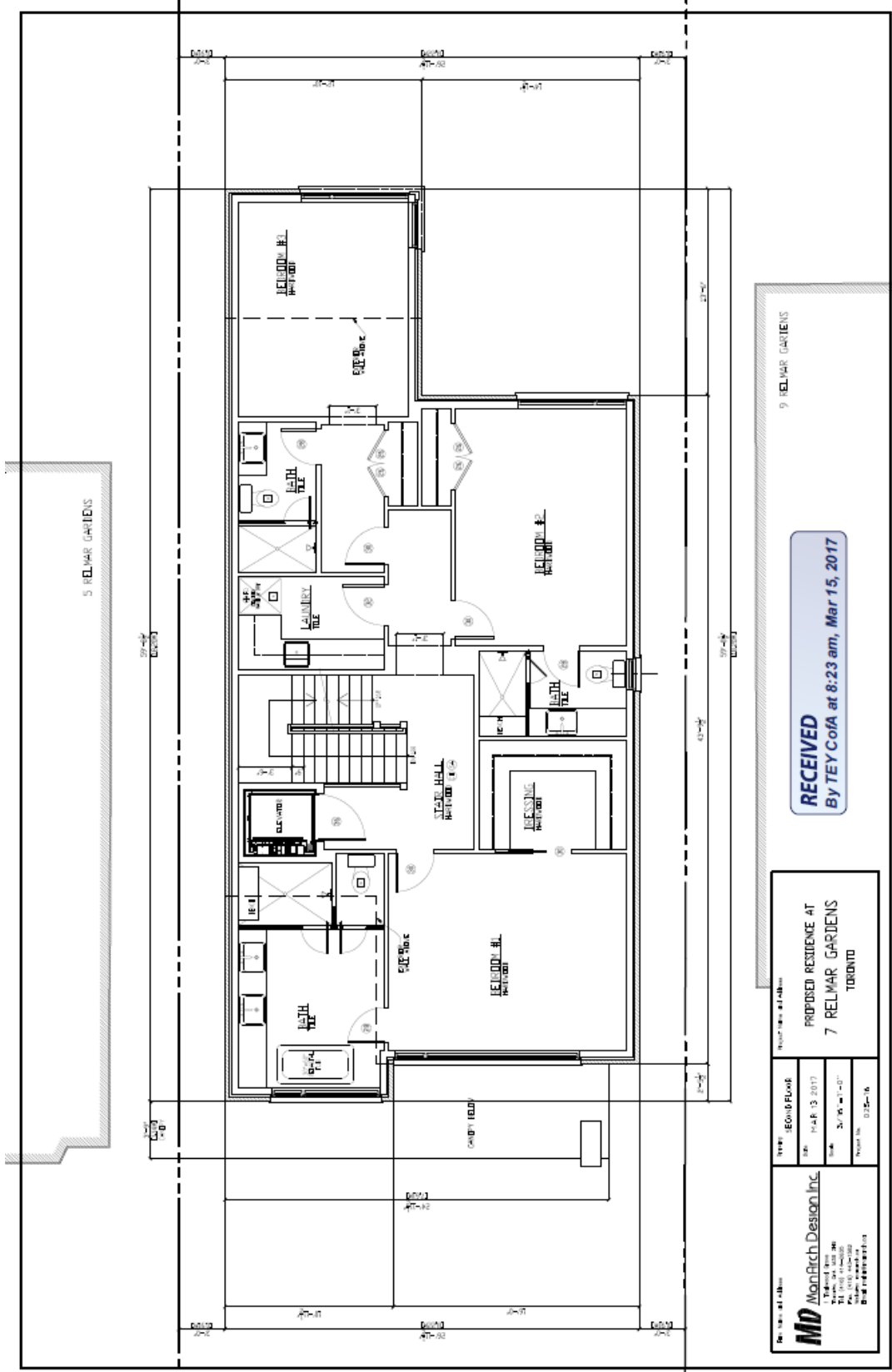


5 RELMAR GARDENS

9 RELMAR GARDENS

RECEIVED
By TEY Co/A at 8:23 am, Mar 15, 2017

MD MonArch Design Inc. 1 TRINITY SQ. #200 TORONTO, ONT. M5X 1B5 TEL: 416-464-0000 FAX: 416-464-0000 WWW.MONARCHDESIGN.COM	Project No. at 7/10 PROPOSED FLOOR DATE: MAR 13 2017 SCALE: 3/16" = 1'-0" Project No. 0124-16
	PROJECT NO. AT 7/10 PROPOSED RESIDENCE AT 7 RELMAR GARDENS TORONTO



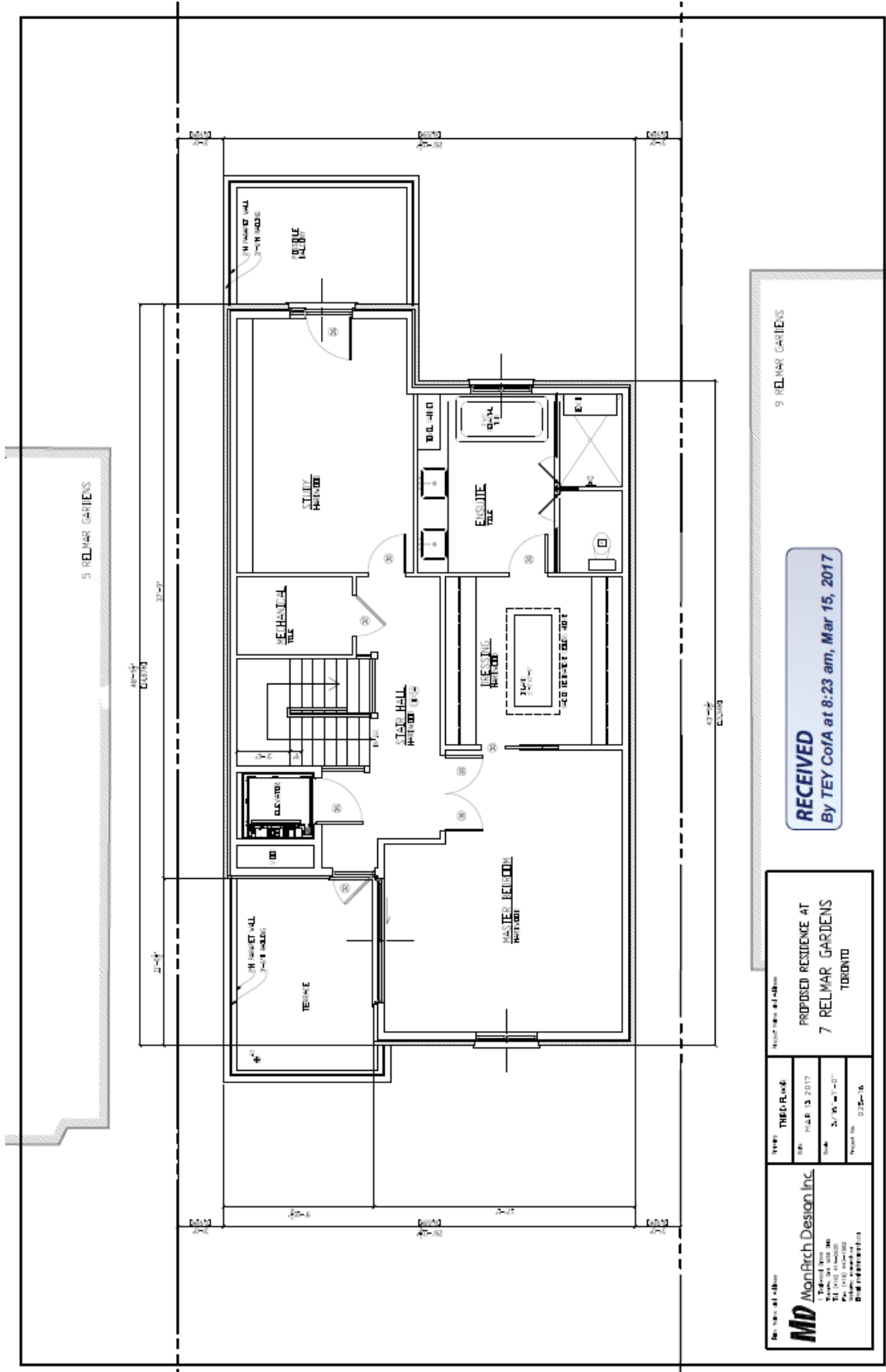
5 RELMAR GARDENS

9 RELMAR GARDENS

RECEIVED
By TEY CoFA at 8:23 am, Mar 15, 2017

MD MonArch Design Inc. 1 Toronto Bldg 711 King Street West Toronto, Ontario M5X 1C5 Tel: (416) 593-8888 Fax: (416) 593-8889 Email: info@monarchdesign.com	Project Name: 714-10-01-0000 Project No.: 0125-16
	Project Name: 714-10-01-0000 Project No.: 0125-16
Project Name: 714-10-01-0000 Project No.: 0125-16	Project Name: 714-10-01-0000 Project No.: 0125-16
Project Name: 714-10-01-0000 Project No.: 0125-16	Project Name: 714-10-01-0000 Project No.: 0125-16

PROPOSED RESIDENCE AT
7 RELMAR GARDENS
TORONTO

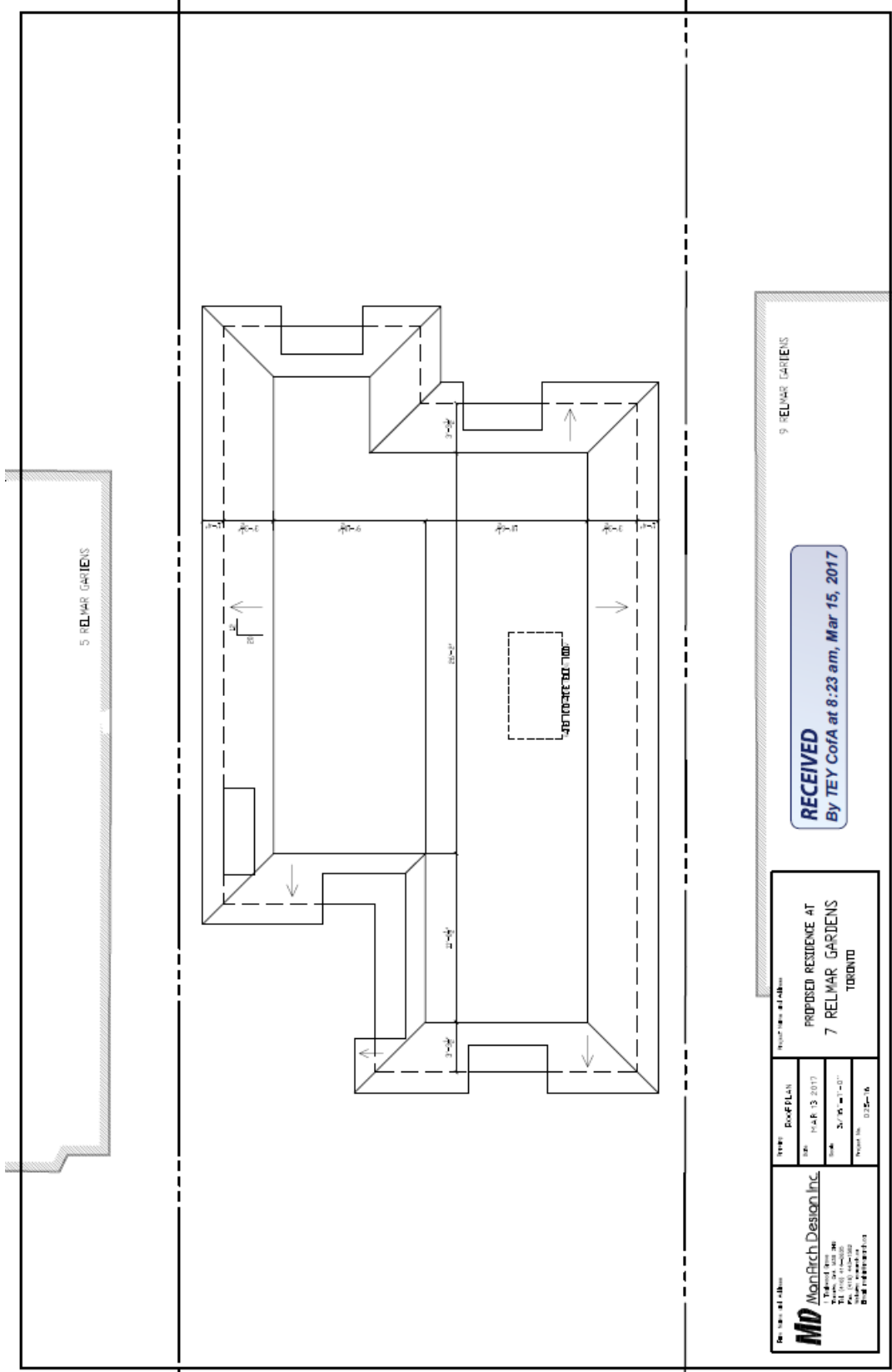


MD MonArch Design Inc.
 1 Toronto St. 2nd Fl.
 Toronto, ON M5E 1A5
 Tel: (416) 461-1100
 Fax: (416) 461-1100
 Email: info@monarchdesign.com

PROJECT NO. 17-010
 PROPOSED RESIDENCE AT
7 RELMAR GARDENS
 TORONTO

RECEIVED
 By TEY Co/A at 8:23 am, Mar 15, 2017

9 RELMAR GARDENS

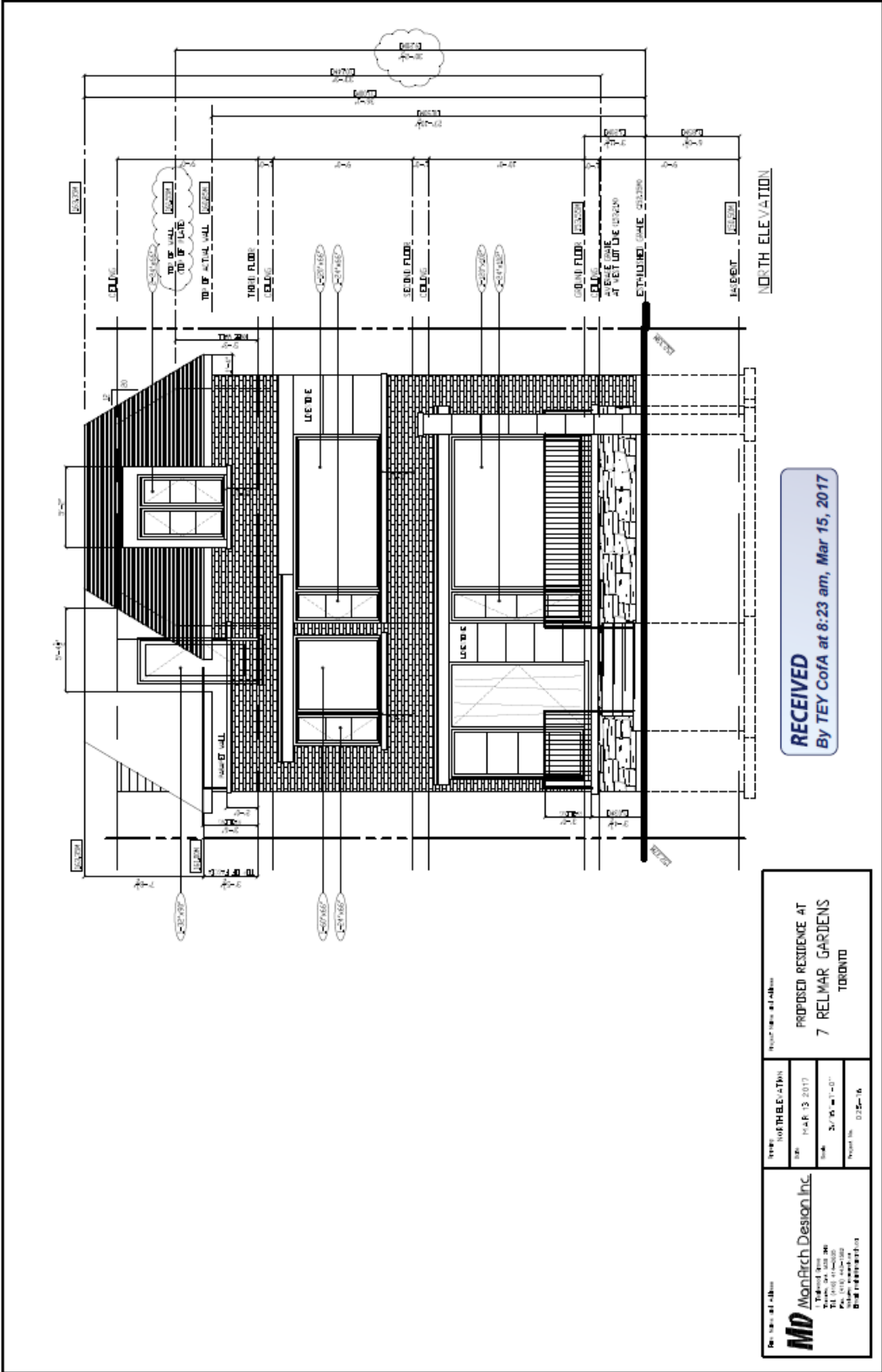


5 RELMAR GARDENS

9 RELMAR GARDENS

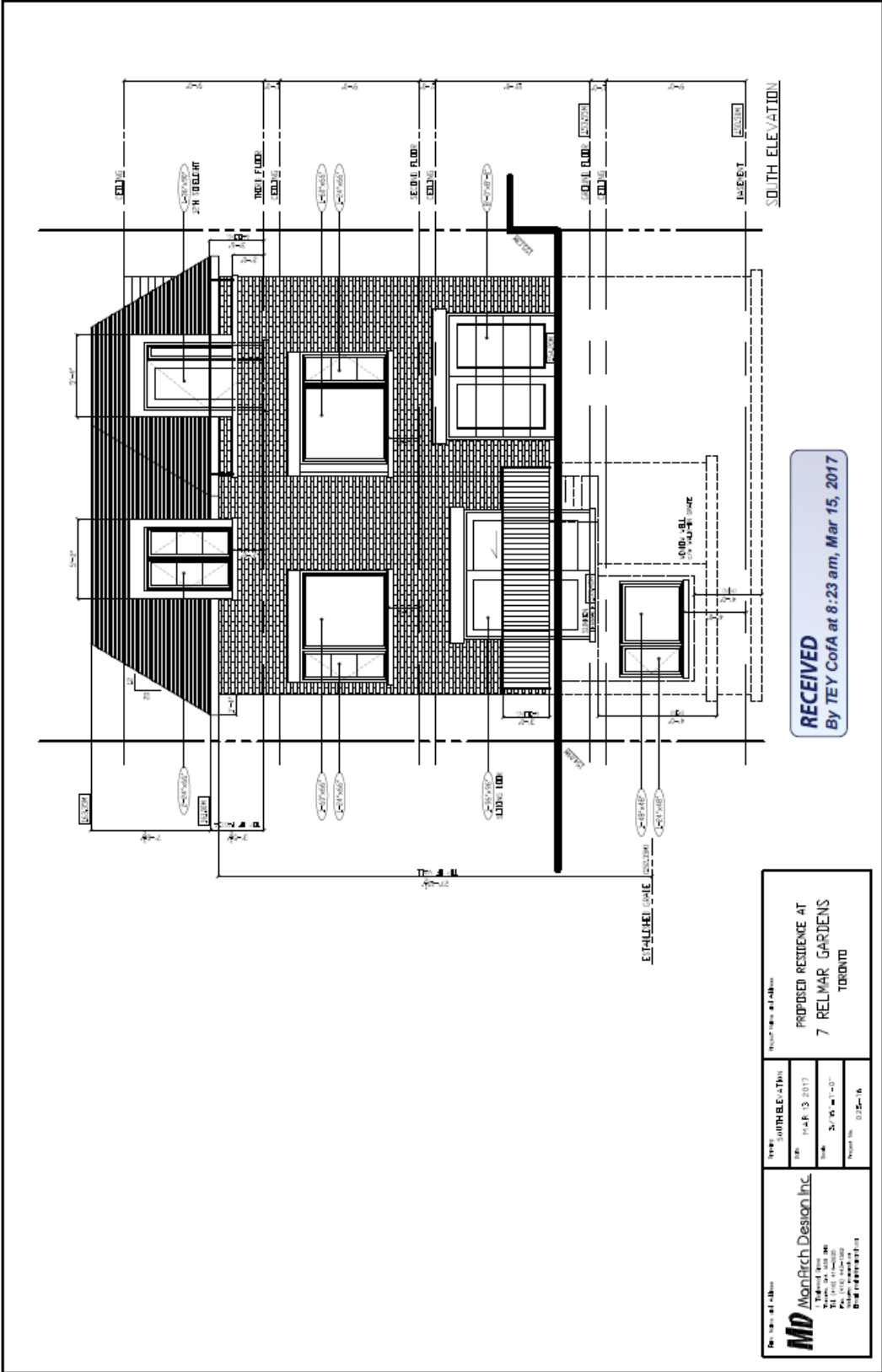
RECEIVED
By TEY CofA at 8:23 am, Mar 15, 2017

MD MonArch Design Inc. 11 Dundas Street East Toronto, Ontario M5G 1L7 Tel: (416) 593-8888 Fax: (416) 593-8889 www.monarchdesign.com	PROJECT DOCKPLUS DATE MAR 13 2017 SCALE 3/16" = 1'-0" PROJECT NO. 015-16	PROPOSED RESIDENCE AT 7 RELMAR GARDENS TORONTO
	<small>PROJECT NAME: 714-16-0000</small>	



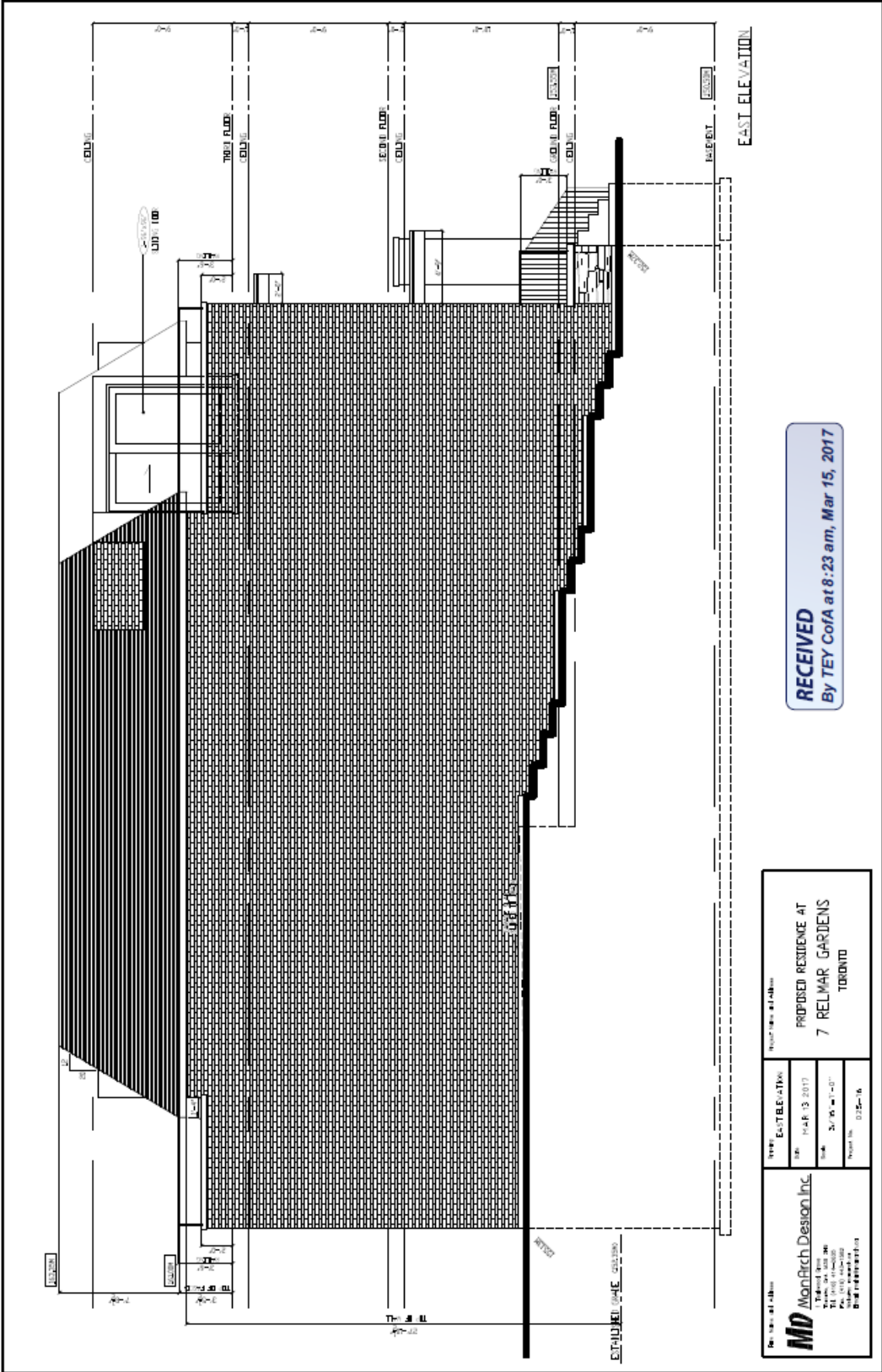
RECEIVED
 By TEY CoFA at 8:23 am, Mar 15, 2017

MD ManRich Design Inc. 1 Edward Ave. 11th Floor Toronto, Ontario M5G 1C9 Tel: (416) 593-8888 Fax: (416) 593-8889 Email: info@manrich.com	PROJECT INFORMATION PROJECT NAME: 7 RELMAR GARDENS TORONTO
	DATE: MAR 13 2017 SCALE: 3/8" = 1'-0" DRAWING NO.: 025-16



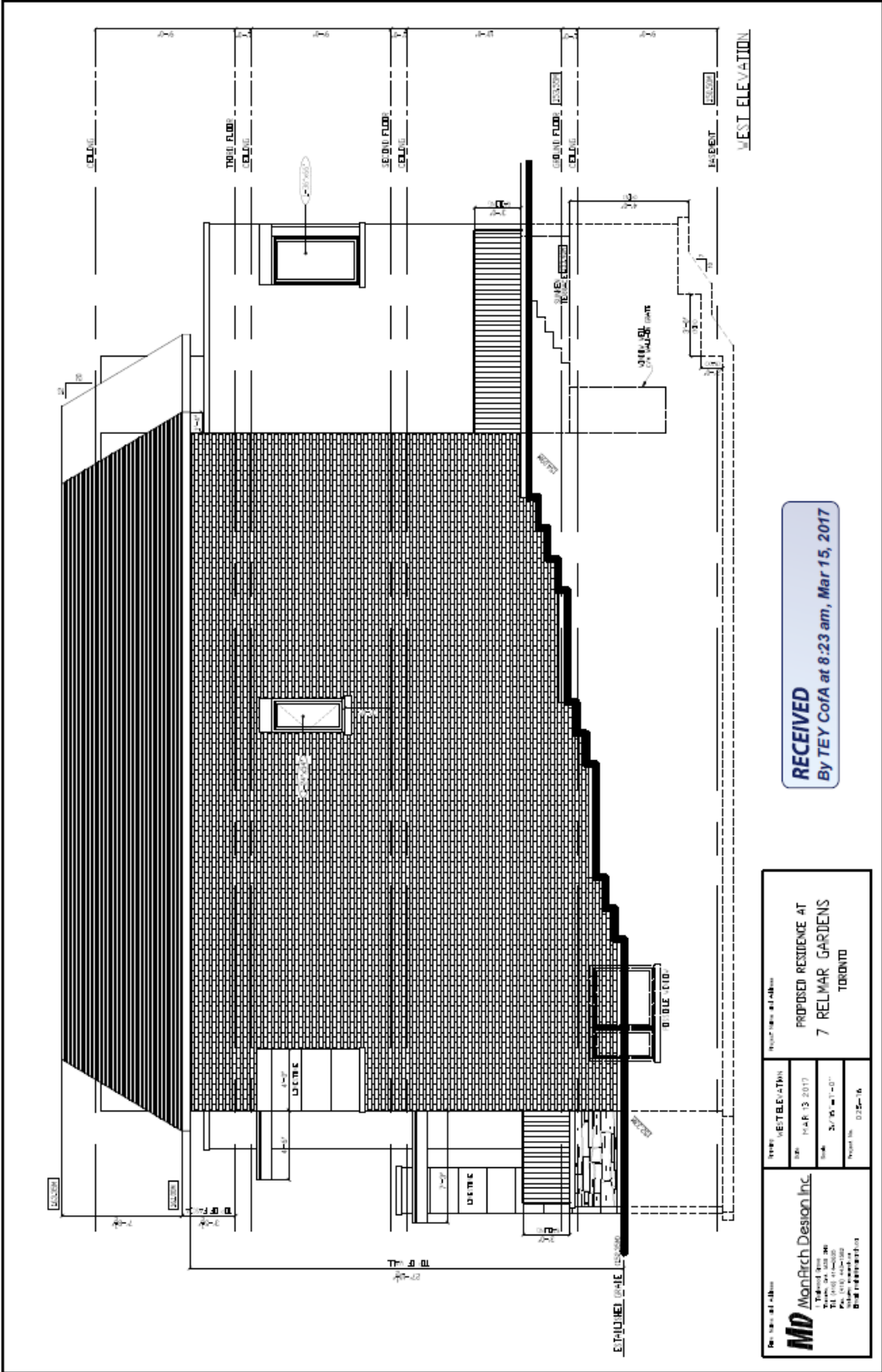
RECEIVED
By TEY CoFA at 8:23 am, Mar 15, 2017

MD ManRich Design Inc. 1 Edward Ave. 3rd Floor Toronto, Ontario M5G 1B9 Tel: (416) 461-8888 Fax: (416) 461-8889	Project Name: at address Project Address: 7 BELMAR GARDENS TORONTO
	Date: MAR 13 2017 Time: 3:17:07 PM Project No.: 015-16



RECEIVED
By TEY CoFA at 8:23 am, Mar 15, 2017

MD ManRich Design Inc. 1 Edward Ave. 11th Floor Toronto, Ontario M5G 1B5	Project Name: at address PROPOSED RESIDENCE AT 7 RELMAR GARDENS TORONTO
	Title: EXHIBITATIVE Date: MAR 13 2017 Scale: 3/8" = 1'-0" Sheet No.: 025-16



RECEIVED
 By TEY CoFA at 8:23 am, Mar 15, 2017

MD ManRich Design Inc. 1 Edward Ave. 11th Floor Toronto, Ontario M5G 1B9 Tel: (416) 593-8888 Fax: (416) 593-8889 Email: info@manrich.com	Project Name: at address PROPOSED RESIDENCE AT 7 RELMAR GARDENS TORONTO
	Project No: 015-16 Date: MAR 13 2017 Scale: 3/8" = 1'-0" Drawing No: 015-16

SIGNATURE PAGE

File Number:	A0021/17TEY	Zoning	R (u2;d1.0) & R1S Z1.0 (Waiver)
Owner(s):	7 RELMAR GARDENS INC	Ward:	St. Paul's (21)
Agent:	MAHIR MANIOS	Heritage:	Not Applicable
Property Address:	7 RELMAR GDNS	Community:	Toronto
Legal Description:	PLAN M408 PT LOTS 7 & 8		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0022/17TEY	Zoning	RD (f12.0, d0.65) & R1 Z0.6 (ZZC)
Owner(s):	AZAR ABBASI-TAVI	Ward:	St. Paul's (21)
Agent:	LORNE ROSE	Heritage:	Not Applicable
Property Address:	319 RICHVIEW AVE	Community:	Toronto
Legal Description:	PLAN M335 LOT 69		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey detached dwelling with a covered front porch, a rear ground floor deck, and a rear basement walkout.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.10.(1)(A), By-law 569-2013**
The maximum permitted building height is 11.0 m.
The new detached dwelling will have a height of 11.16 m.
- Chapter 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length for a detached dwelling is 17.0 m.
The new detached dwelling will have a building length of 21.01 m.
- Chapter 10.20.40.30.(1), By-law 569-2013**
The maximum permitted depth of a detached dwelling is 19.0 m.
The new detached dwelling will have a depth of 21.01 m.
- Chapter 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index of a detached dwelling is 0.65 times the area of the lot (309.81 m²).
The new detached dwelling will have a floor space index equal to 0.80 times the area of the lot (380.5 m²).
- Chapter 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
The new detached dwelling will be located 0.90 m from the north side lot line, and 0.93 m from the south side lot line.

1. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (285.99 m²).

The new detached dwelling will have a gross floor area equal to 0.80 times the area of the lot (380.5 m²).

2. Section 6(3) Part II 3.B(II), By-law 438-86

The minimum required side lot line setback for the portion of the building exceeding a depth of 17.0 m is 7.5 m.

The 1.99 m portion of the new detached dwelling, exceeding the 17.0 m depth, will be located 1.47 m from the north side lot line, and 6.01 m from the south side lot line.

3. Section 6(3) Part II 8 D, By-law 438-86

The projection of an uncovered platform into the required setbacks is restricted to a maximum of 2.50 m from the front or rear wall.

The rear ground floor deck will project 4.01 m from the rear wall.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The new three-storey dwelling be constructed substantially in accordance with the plans date stamped received by Committee of Adjustment on January 11, 2017. Any variances that may appear on these plans that are not listed in the written decision are not authorized.

BRICK Dwelling

Benchmark
 City of Toronto
 Benchmark No. 1364
 Elevation 168.530



1631 - SITE PLAN 3
 NOVEMBER 14, 2016

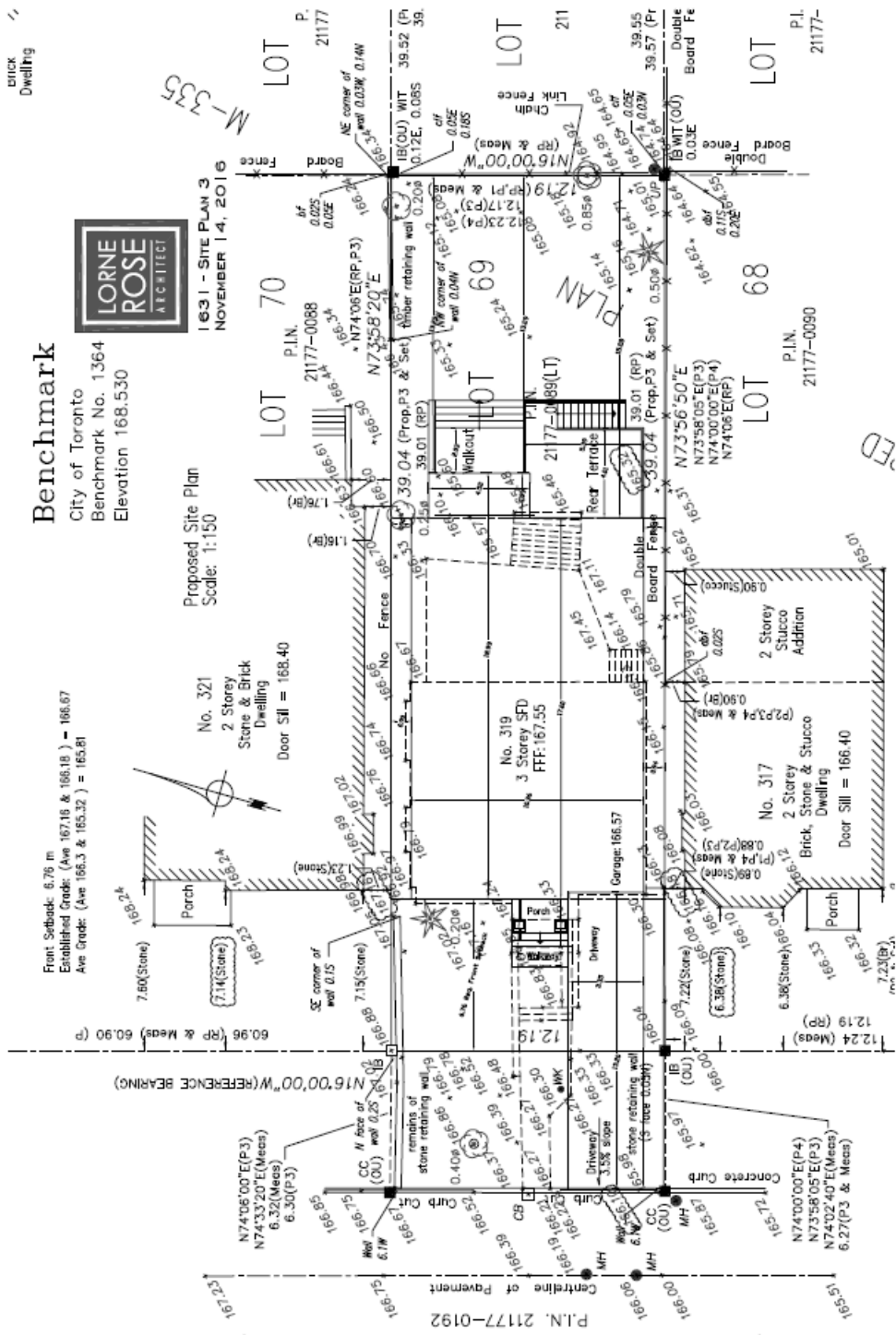
Proposed Site Plan
 Scale: 1:150

Front Setback: 6.78 m
 Established Grade: (Ave 167.16 & 166.18) = 166.67
 Ave Grade: (Ave 166.3 & 165.32) = 165.81

No. 321
 2 Storey
 Stone & Brick
 Dwelling
 Door Sill = 168.40



KNOWN AS RICHVIEW AVENUE (FORMERLY ALBANY AVENUE, BY REGISTERED PLAN M-335)
 P.I.N. 21177-0192



ED

M-335

PLAN

LOT 69

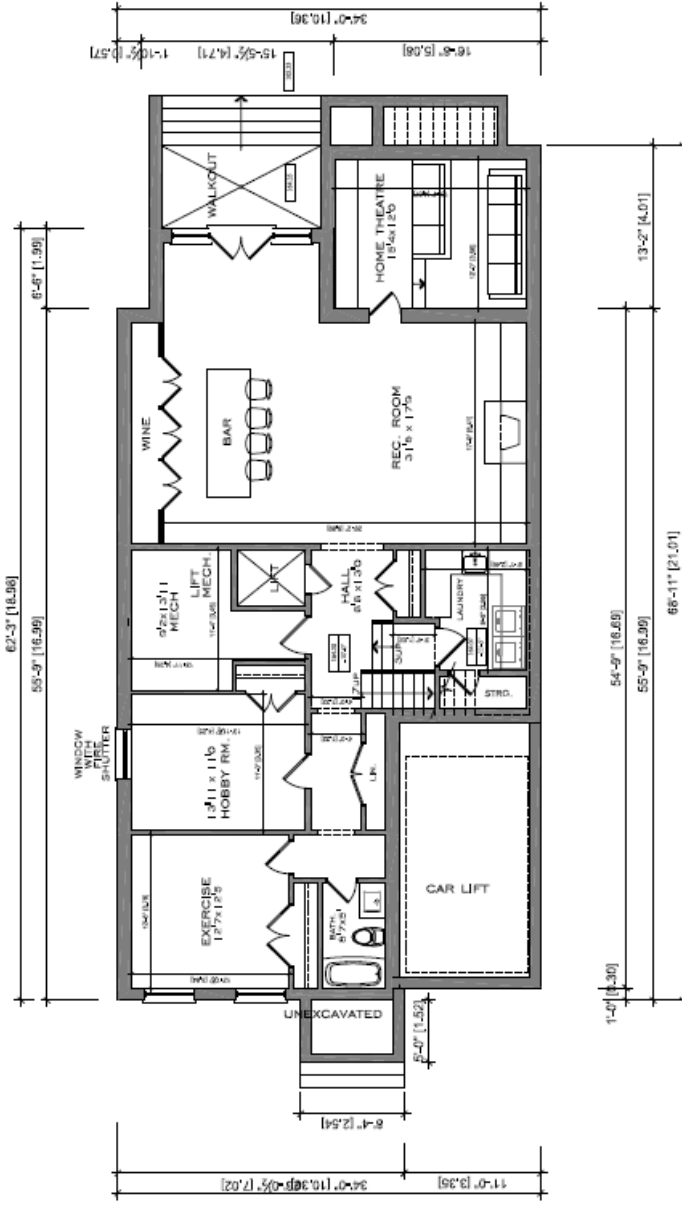
LOT 70

LOT 68

P.I.N. 21177-0090

P.I. 21177-

319 Richview Ave
 Toronto, Ontario
 Project # 1631



BASEMENT FLOOR PLAN
 SCALE: 1/8" = 1'-0"

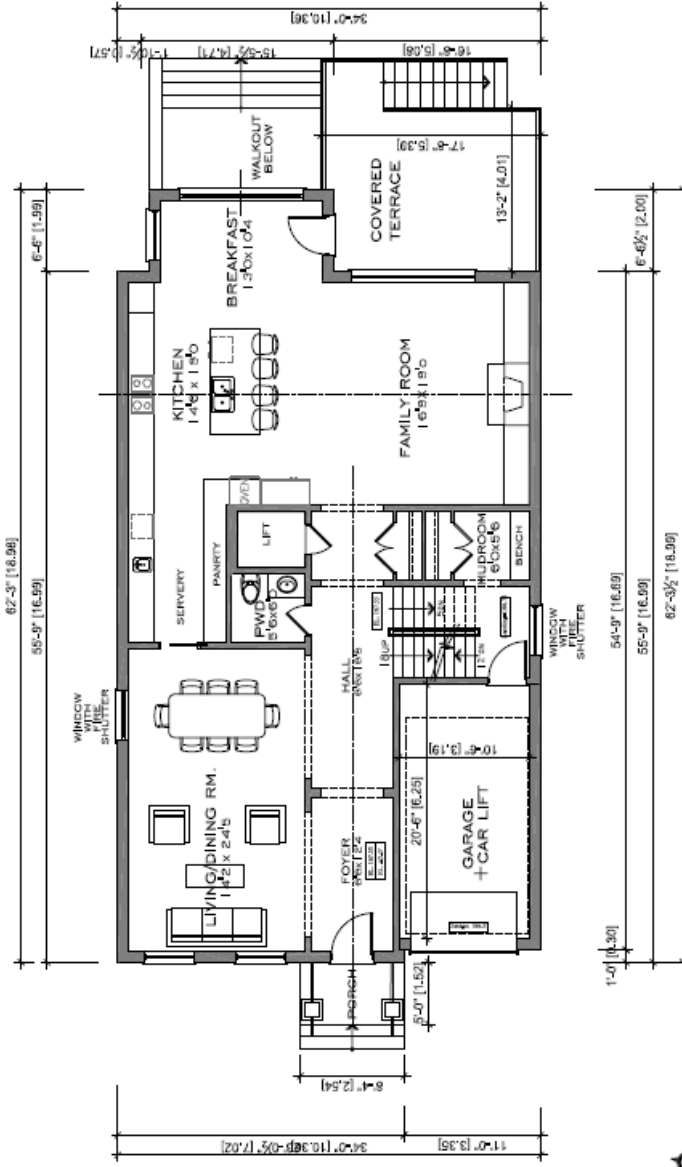


1631 - Detail #
 November 14, 2016

319 Richview Ave
 Toronto, Ontario
 Project # 1631



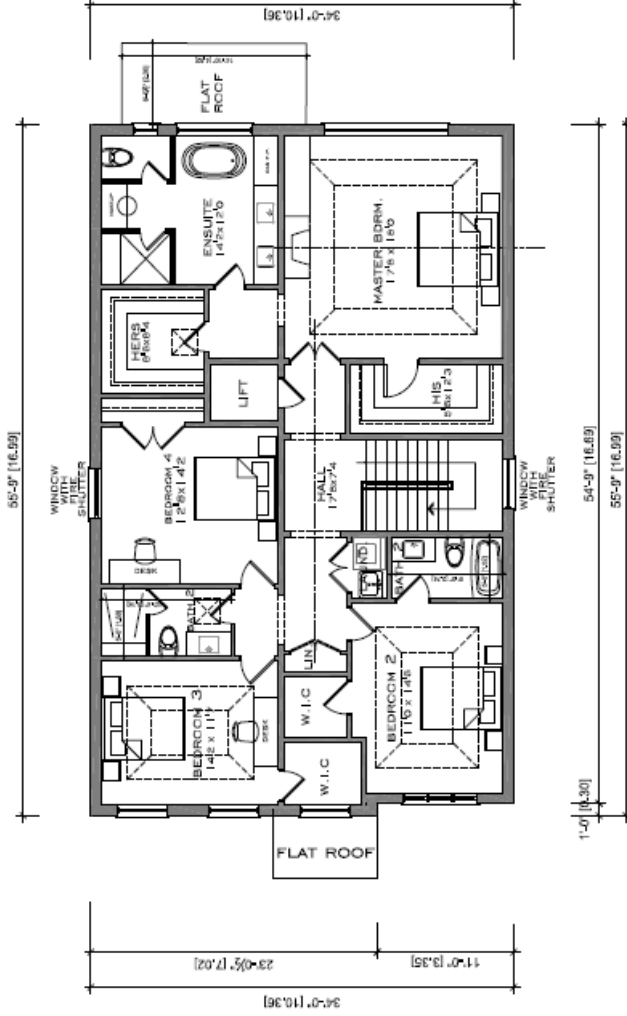
1631 - Detail #
 November 14, 2016



GROUND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 DATE: 17th OCT 2016
 TOTAL GARAGE + CAR LIFT: 178 SQM
 LOT AREA: 3188.7 SQ FT



319 Richview Ave
 Toronto, Ontario
 Project # 1631



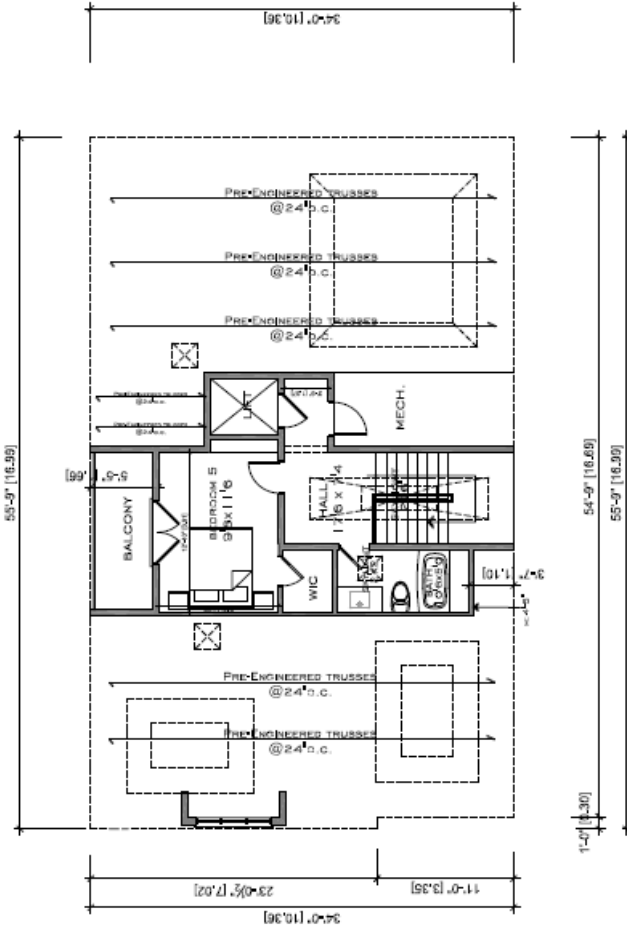
SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 GRA: 1885 S.F.


LORNE ROSE
 ARCHITECTS
 1631 - Design #
 November 14, 2016

319 Richview Ave
 Toronto, Ontario
 Project # 1631



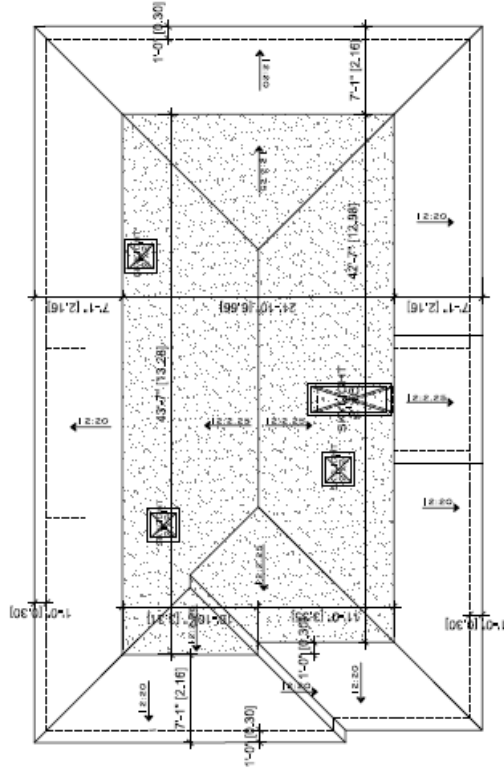
1631 - Detail #
 November 14, 2016



THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 800-468-817
 MICHIGAN 74 517



319 Richview Ave
Toronto, Ontario
Project # 1631

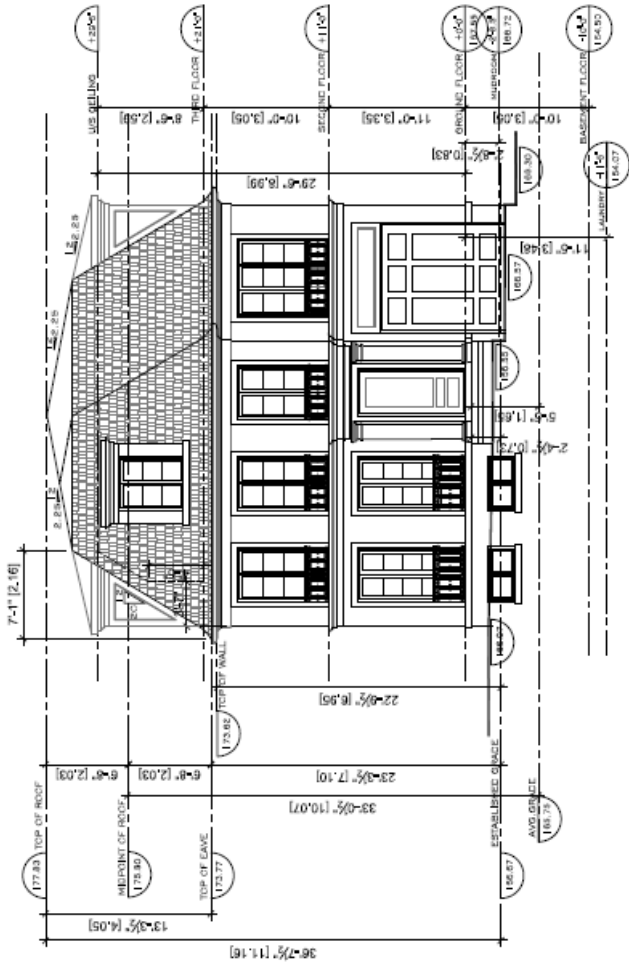


ROOF PLAN
SCALE: 1/8" = 1'-0"



1631 - Detail #
November 14, 2016

319 Richview Ave
 Toronto, Ontario
 Project # 1631



FRONT ELEVATION
 SCALE: 1/8" = 1'-0"

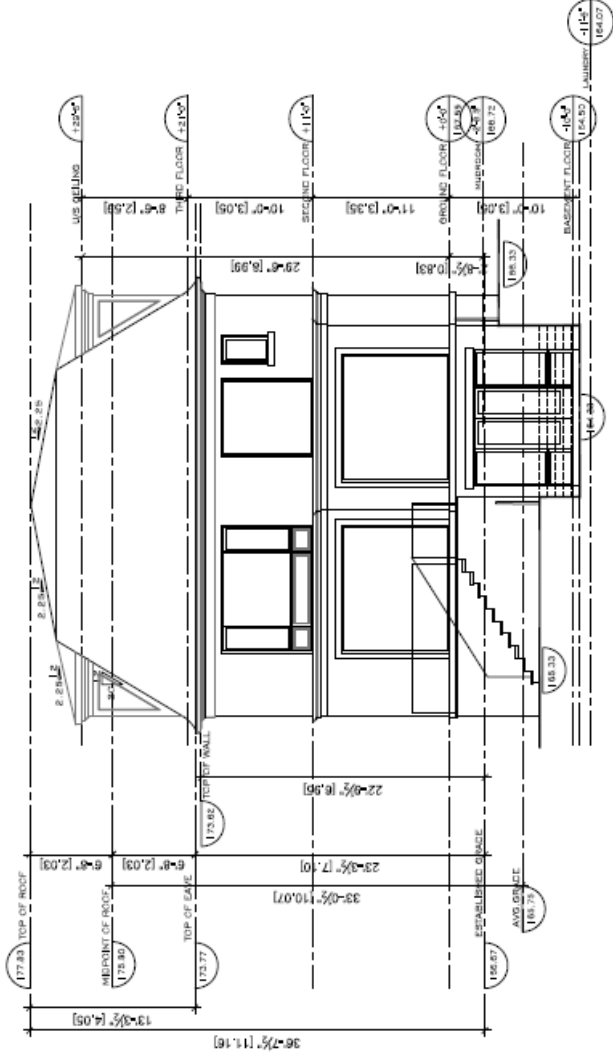


1631 - Design #
 November 14, 2016

319 Richview Ave
 Toronto, Ontario
 Project # 1631

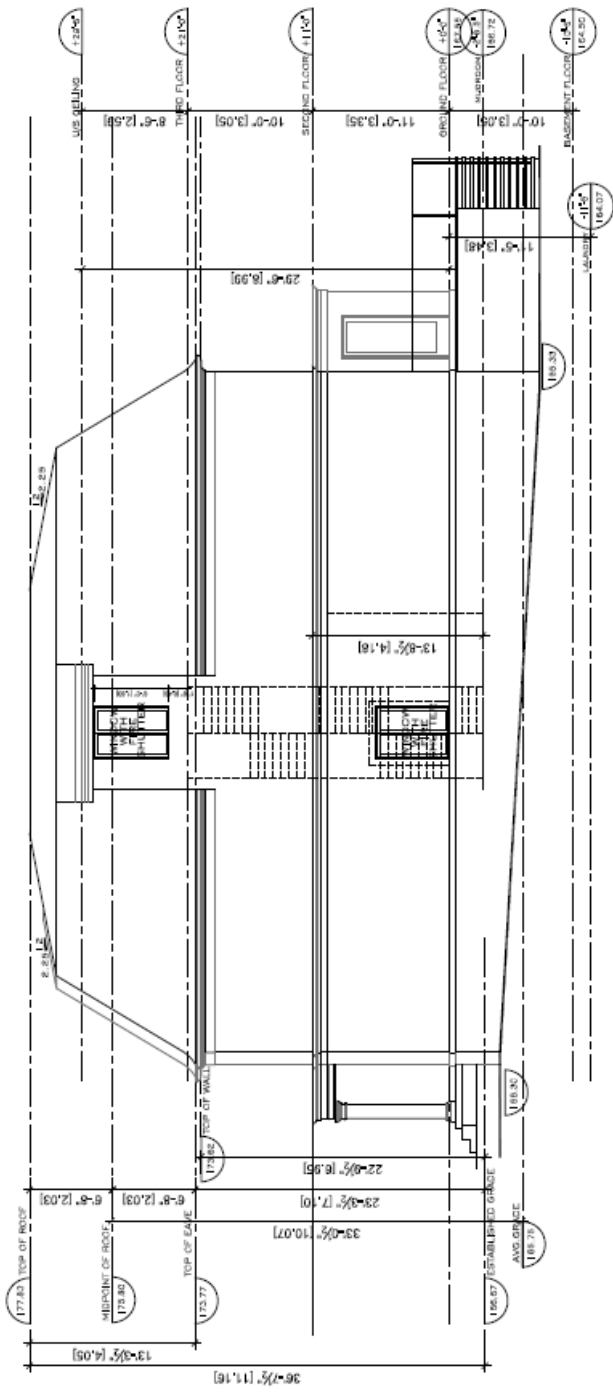


1631 - Detail #
 November 14, 2016



REAR ELEVATION
 SCALE: 1/8" = 1'-0"

319 Richview Ave
 Toronto, Ontario
 Project # 1631

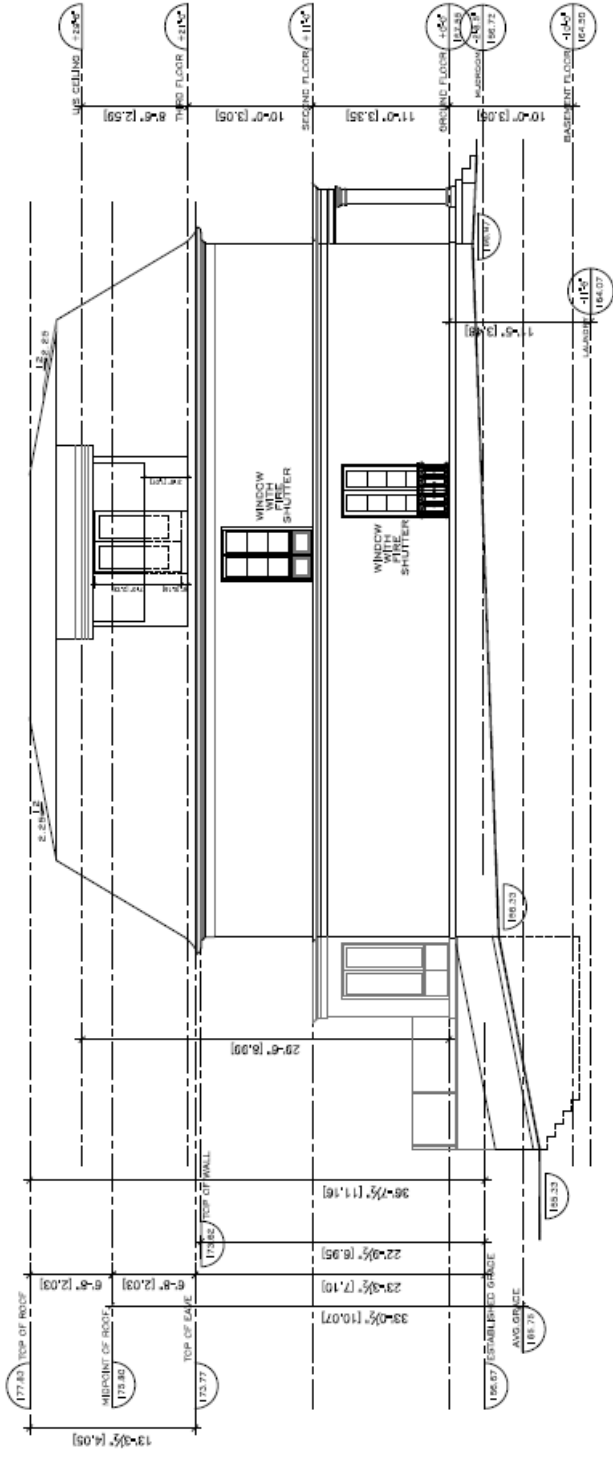


SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



1631 - Detail #
 November 14, 2016

319 Richview Ave
Toronto, Ontario
Project # 1631



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



1631 - Detail #
November 14, 2016

SIGNATURE PAGE

File Number:	A0022/17TEY	Zoning	RD (f12.0, d0.65) & R1 Z0.6 (ZZC)
Owner(s):	AZAR ABBASI-TAVI	Ward:	St. Paul's (21)
Agent:	LORNE ROSE	Heritage:	Not Applicable
Property Address:	319 RICHVIEW AVE	Community:	Toronto
Legal Description:	PLAN M335 LOT 69		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

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- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0023/17TEY	Zoning	RD (f10.0; d0.35)(x1392) & R1 Z0.35 (ZZC)
Owner(s):	GABRIELA CAROLINA COCCIMIGLIO	Ward:	Beaches-East York (32)
Agent:	JENNIFER SCHOLES	Heritage:	Not Applicable
Property Address:	37 GLEN AMES	Community:	Toronto
Legal Description:	PLAN M568 LOT 76		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing 1½-storey detached dwelling by constructing a second-storey addition, a rear two-storey addition, a rear basement walkout, a covered front porch, and a rear ground floor deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 4.35 m.
The altered dwelling will be located 3.09 m from the north front lot line, measured to the garbage enclosure.
- 2. Chapter 10.5.40.60.(3)(A)(ii), By-law 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2.0 m.
The front porch stairs will be 2.36 m wide.
- 3. Chapter 10.5.40.60.(7), By-law 569-2013**
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.
The roof eaves will be located 0.02 m from the east side lot line.
- 4. Chapter 10.5.40.71.(4)(B), By-law 569-2013**
The minimum required east side yard setback for an addition or extension to the rear or side of a lawfully existing building or structure is 0.64 m.
The altered dwelling will be located 0.59 m from the east side lot line.

5. Chapter 10.20.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index of a detached dwelling is 0.35 times the area of the lot (118.72 m²).

The altered dwelling will have a floor space index equal to 0.71 times the area of the lot (241.14 m²).

6. Chapter 10.20.40.20.(1), By-law 569-2013

The maximum permitted building length for a detached dwelling is 17.0 m.

The altered dwelling will have a building length of 17.88 m, measured to the rear attached bike storage shed.

7. Chapter 200.5.10.1.(1), By-law 569-2013

A minimum of one parking space is required to be provided.

In this case, zero parking spaces will be provided.

1. Section 4(4)(b), By-law 438-86

A minimum of one parking space is required to be provided.

In this case, zero parking spaces will be provided.

2. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area of a detached dwelling is 0.35 times the area of the lot (118.72 m²).

The altered dwelling will have a gross floor area equal to 0.71 times the area of the lot (241.14 m²).

3. Section 6(3) Part II 2(II), By-law 438-86

The minimum required front yard setback is 4.35 m.

The altered dwelling will be located 3.09 m from the north front lot line, measured to the garbage enclosure.

4. Section 6(3) Part II 3.B(II), By-law 438-86

The minimum required side lot line setback for the portion of a detached dwelling not exceeding a depth of 17 m is 0.9 m.

The portion of the altered dwelling, not exceeding a depth of 17 m will be located 0.59 m from the east side lot line.

5. Section 6(3) Part II 8 A, By-law 438-86

The maximum permitted projection of the eaves or cornices into the required setbacks is 0.45 m.

The eaves will project 0.57 m.

6. Section 6(3) Part III 3(d)(i)D, By-law 438-86

A minimum of 75% (28.43 m²) of the front yard must be maintained as soft landscaping.

In this case, 45.7% (17.32 m²) of the front yard will be maintained as soft landscaping.

7. Section 6(3) Part II 3.B(II), By-law 438-86

The minimum required side lot line setback for the portion of the building exceeding a depth of 17.0 m is 7.5 m.

The 2.33 m portion of the altered dwelling, exceeding the 17.0 m depth, will be located 1.27 m from the west side lot line, and 6.45 m from the east side lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0023/17TEY	Zoning	RD (f10.0; d0.35)(x1392) & R1 Z0.35 (ZZC)
Owner(s):	GABRIELA CAROLINA COCCIMIGLIO	Ward:	Beaches-East York (32)
Agent:	JENNIFER SCHOLES	Heritage:	Not Applicable
Property Address:	37 GLEN AMES	Community:	Toronto
Legal Description:	PLAN M568 LOT 76		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

Appeal Information

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1222/16TEY	Zoning:	I1 D2 (ZPR)
Owner(s):	HULLMARK (376 DUFFERIN STREET) LTD.	Ward:	Parkdale-High Park (14)
Agent:	JAMES SA'D	Heritage:	Not Applicable
Property Address:	376R DUFFERIN ST	Community:	Toronto
Legal Description:	PLAN 418 BLK C PT LOTS 27 AND 28 RP 66R28839 PART 9		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To renovate the existing one-storey industrial building to include a craft brewery, retail store and associated outdoor patio.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 9(1)(f), By-law 438-86**
A restaurant with associated outdoor patio is not a permitted use.
The altered industrial building will contain a restaurant and associated outdoor patio accessory to a beer production facility.
- Section 9(1)(f), By-law 438-86**
A retail store is not a permitted use.
The altered industrial building will contain a retail store.
- Section 9(3) Part VIII 1, By-law 438-86**
Where either limit of a public or private lane, alley, driveway or right-of-way constitutes the boundary or part of the boundary between an I or Tr district and an R district, no person shall, in an I or Tr district, use land or erect or use a building or structure on land that fronts on the lane, alley, driveway or right-of-way for an I or Tr use if the only means of access to the land is by the lane, alley, driveway or right-of-way.
In this case, the building fronts on a lane and the only means of access for the building is from a lane and right-of-way.
- Section 9(3) Part VI 4, By-law 438-8**
No person shall, on a lot in an I1 district, erect or use an I building or structure including an accessory loading area that is not wholly enclosed.
In this case, the patios will not be wholly enclosed within the building.

5. Section 4(4)(b), By-law 438-86

The minimum required number of parking spaces for the manufacturing firm (brewery) is 9. In this case, 0 parking spaces will be provided on the lot.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to refuse this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A1222/16TEY	Zoning	I1 D2 (ZPR)
Owner(s):	HULLMARK (376 DUFFERIN STREET) LTD.	Ward:	Parkdale-High Park (14)
Agent:	JAMES SA'D	Heritage:	Not Applicable
Property Address:	376R DUFFERIN ST	Community:	Toronto
Legal Description:	PLAN 418 BLK C PT LOTS 27 AND 28 RP 66R28839 PART 9		

DISSENTED

Alex Bednar (signed)

Michael Clark

Donald Granatstein (signed)

DISSENTED

Carl Knipfel (signed)

Lisa Valentini

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

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City Planning Division

Committee of Adjustment
Toronto and East York District

100 Queen Street West, 1st Floor
Toronto, Ontario M5H 2N2
Tel: 416-392-7565
Fax: 416-392-0580

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0284/17TEY	Zoning:	I1 D2 (ZPR)
Owner(s):	HALLMARK (360 DUFFERIN) LP	Ward:	Parkdale-High Park (14)
Agent:	KENDRA FITZRANDOLPH	Heritage:	Not Applicable
Property Address:	360 DUFFERIN ST	Community:	Toronto
Legal Description:	PLAN 418 BLK C PT LOT 23 TO PT LOT 26		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To facilitate an outdoor patio which is partially located on the subject lands in conjunction with the proposed brewery on 376R Dufferin Street.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 9(1)(f), By-law 438-86**
An outdoor patio is not a permitted use.
In this case, an outdoor patio will be permitted.
- Section 9(3) Part XI 4, By-law 438-86**
No person shall, on a lot in an I1 district, erect or use an I building or structure including an accessory loading area that is not wholly enclosed.
In this case, the patios will not be wholly enclosed within the building.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to refuse this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0284/17TEY	Zoning	I1 D2 (ZPR)
Owner(s):	HALLMARK (360 DUFFERIN) LP	Ward:	Parkdale-High Park (14)
Agent:	KENDRA FITZRANDOLPH	Heritage:	Not Applicable
Property Address:	360 DUFFERIN ST	Community:	Toronto
Legal Description:	PLAN 418 BLK C PT LOT 23 TO PT LOT 26		

DISSENTED

Alex Bednar (signed)

Michael Clark

Donald Granatstein (signed)

DISSENTED

Carl Knipfel (signed)

Lisa Valentini

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**
LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0902/16TEY	Zoning:	RA & Site-specific By-law 588-2006 (Waiver)
Owner(s):	URBAN CAPITAL (RIVER CITY 4) INC	Ward:	Toronto Centre-Rosedale (28)
Agent:	EMILY REISMAN	Heritage:	Not Applicable
Property Address:	170 EASTERN AVE	Community:	Toronto
Legal Description:	PLAN 66M2473 BLK 5		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To modify the redevelopment plan for a 13-storey mixed-use building, approved under Site-specific By-law 588-2006, by increasing the building height, altering the building envelope and balcony projections; and reducing parking stall lengths. A concurrent Site Plan Application (2016 270213 STE 28 SA) is being reviewed.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 4(d)(B), Site-specific By-law 588-2006

Maximum height shall be in accordance with by-law 438-86 4(2), except that no building shall contain more than 10 storeys plus residential penthouse above grade within a 36 m height district. In this case, the mixed-use building will be 44.7 m with 12 storeys plus residential penthouse.

1. Section 12(1)467(b) and Section 2(1), By-law 438-86

The definition of a parking space is an unobstructed area, at least 5.9 m in length and at least 2.6 m in width except in the case of alternative housing, a rooming house, a converted house, or a converted dwelling and rooming house where the total number of required parking spaces is three or less, is readily accessible at all times for the parking and removal of a motor vehicle without the necessity of moving another motor vehicle.

In this case, parking spaces are defined as 5.6 m by 2.6 m following the minimum standards consistent with Zoning By-law 569-2013 Section 200.5. A drive aisle shall be 6 m wide. Notwithstanding the foregoing, a small portion of the drive aisle is permitted to be 5.6 m.

2. Section 12(1)467(f)(i), By-law 438-86

Setbacks shall be provided in accordance with section 7(3)Part II, except that:

- (i) for the purposes of section 7(3) Part II 1(i) a building or structure in an RA district may be erected to within 5.5 m to a side lot line or a rear lot line, excluding any part of a building or structure located within 30 m of a lot line that abuts a street, other than a public lane, or a public park; and,
- (ii) section 7(3)Part II 7 does not apply.

In this case, the building will have a rear lot setback of 4.74 m on some northern portions of floors 7, 8, and 9.

3. Section 12(1)467(o)(iii), By-law 438-86

“Residential penthouse” means the uppermost storey of a building, other than a residential tower penthouse, which is used for residential purposes; has an aggregate horizontal area not exceeding 50% of that part of the roof of the building which is not occupied by a tower; and is set back at least 3 m from an outside wall of the storey below it, when such outside wall faces Bayview Avenue, Block 54 (future River Street) as identified on Map 3, King Street, Old Eastern Avenue, River Square, St. Lawrence Street, the easterly frontage of Block 24 as identified on Map 3, or the easterly frontage of Block 22 as identified on Map 3.

In this case, the residential penthouse is 95% of the area of the roof, and no setbacks are incorporated into its design.

4. Section 12(1)467(e)(i)(B)(C), By-law 438-86

Section 12(1)467(d), maximum height, does not prevent the erection or use of the following: A stair tower, elevator shaft, or other heating, cooling or ventilating equipment or window washing equipment or electrical energy generating equipment on the roof of the building or a fence, wall or structure enclosing such elements, provided the aggregate horizontal area of such elements, including the area contained within an enclosure, does not exceed 40% of the area of the top storey or residential penthouse or residential tower penthouse of the building, whichever is highest; and the width of any such elements, including the width of an enclosure, located within 6 m of a lot line that is a street line, does not exceed 30% of the width of the main wall of the building facing the lot line provided the width is to be measured parallel to the lot line boundary.

In this case, the mechanical penthouse is 65% of the area of the residential penthouse below, and the width of the mechanical elements exceeds 30% of the width of the walls facing the streetline.

5. Section 12(1)467(i), By-law 438-86

Notwithstanding sections (f), (g), and (h) above, the required building setbacks and stepbacks shall not apply to balconies, provided the projection does not exceed 1.5 m from the wall to which it is attached.

In this case, some balconies on some levels will project into the stepback and setback areas by up to 3.2 m, an additional 1.7 m, from the wall to which it is attached.

6. Section 12(1)467(h), By-law 438-86

Within the 36 m Height District, no building or structure may exceed 27 m, unless the portion of the building or structure above such height is set back a minimum of 3 m from the main wall of such building or structure which faces Bayview Avenue, Block 54 (future River Street) as identified on Map 3, King Street, Old Eastern Avenue, River Square, St. Lawrence Street, the easterly frontage of Block 24 as identified on Map 3, or the easterly frontage of Block 22 as identified on Map 3.

In this case, the building has 0 m stepbacks along some portions of some frontages on levels 9 and 10 and the building has 0 m stepbacks on the frontage facing St. Lawrence Street, Eastern Avenue and Lawren Harris Square, and has minimum 3.2 m stepbacks on the River Street frontage of Levels 11 and 12, where no stepbacks are currently applicable to the additional height.

7. Section 12(1)467(e)(i)(A), By-law 438-86

Section 12(1)467(d), maximum height, does not prevent the erection or use of the following: A stair tower, elevator shaft, or other heating, cooling or ventilating equipment or window washing equipment or electrical energy generating equipment on the roof of the building or a fence, wall or structure enclosing such elements, provided the maximum vertical extent of such elements or enclosure above the permitted height is no greater than 6 m.

In this case, amenity space is included in the list of items excluded from the definition of maximum height, allowing for up to 144 m² of indoor amenity space and up to 143 m² of outdoor amenity space on the mechanical penthouse level.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Condition 19 identified in the Plan of Subdivision Agreement for the part of Blocks 5, 6, and 8 on Plan 66M-2473 designated as Parts 2,4 and 6 on Plan 66R-25396 stipulating that an easement be dedicated to the City for the purposes of a bus ramp easement is in effect and must be adhered to, until such time that City Council recommends the elimination of the bus ramp easement as a long term transit solution for the Don Valley Corridor. Alternatively, should the bus ramp not be removed, the owner has the option to revise the design to completely eliminate any portion of the building (above and below grade) within part of Blocks 5, 6, and 8 on Plan 66M-2473 designated as Parts 2, 4 and 6 on Plan 66R-25396.

SIGNATURE PAGE

File Number:	A0902/16TEY	Zoning	RA & Site-specific By-law 588-2006 (Waiver)
Owner(s):	URBAN CAPITAL (RIVER CITY 4) INC	Ward:	Toronto Centre-Rosedale (28)
Agent:	EMILY REISMAN	Heritage:	Not Applicable
Property Address:	170 EASTERN AVE	Community:	Toronto
Legal Description:	PLAN 66M2473 BLK 5		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

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NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0094/16TEY	Zoning	RD (f6.0; a185; d0.75) & R1C (ZZC)
Owner(s):	GEORGE STAVROPOULOS MARY STAVROPOULOS	Ward:	Toronto-Danforth (29)
Agent:	ARISTOTLE CHRISTOU	Heritage:	Not Applicable
Property Address:	263 GAMBLE AVE	Community:	East York
Legal Description:	PLAN M39 PT LOT 55 PT LOT 56		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two residential lots.

Conveyed – Part 1, Draft R-Plan

263 Gamble Avenue

The lot frontage is 4.87 m and the lot area is 148.65 m².

A new three-storey semi-detached dwelling with an integral garage will be constructed and requires variances to the Zoning By-law as outlined in application A1295/16TEY.

Retained – Part 2, Draft R-Plan

Address to be assigned

The lot frontage is 4.87 m and the lot area is 148.65 m².

A new three-storey semi-detached dwelling with an integral garage will be constructed and requires variances to the Zoning By-law as outlined in application A1296/16TEY.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the transaction as shown on the plan filed with the Committee of Adjustment on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services.
- (3) **One electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services, shall be emailed to the Case Manager, Committee of Adjustment.
- (4) **Two copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services.
- (5) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act* as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0094/16TEY	Zoning	RD (f6.0; a185; d0.75) & R1C (ZZC)
Owner(s):	GEORGE STAVROPOULOS MARY STAVROPOULOS	Ward:	Toronto-Danforth (29)
Agent:	ARISTOTLE CHRISTOU	Heritage:	Not Applicable
Property Address:	263 GAMBLE AVE	Community:	East York
Legal Description:	PLAN M39 PT LOT 55 PT LOT 56		

DISSENTED

Alex Bednar (signed)

Michael Clark

Donald Granatstein (signed)

DISSENTED

Carl Knipfel (signed)

Lisa Valentini

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 23, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

Appeal Information

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1295/16TEY	Zoning:	RD (f6.0; a185; d0.75) & R1C (ZZC)
Owner(s):	GEORGE STAVROPOULOS MARY STAVROPOULOS	Ward:	Toronto-Danforth (29)
Agent:	ARISTOTLE CHRISTOU	Heritage:	Not Applicable
Property Address:	263 GAMBLE AVE (PART 1)	Community:	East York
Legal Description:	PLAN M39 PT LOT 55 PT LOT 56		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey semi-detached dwelling with an integral garage as described in Consent Application B0094/16TEY.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.20.40.(1), By-law 569-2013**
A dwelling unit is only permitted in a detached house.
In this case, the dwelling unit will be located in a semi-detached house.
- Chapter 10.20.20.10.(1), By-law 569-2013**
A dwelling unit use is only permitted in a detached house.
In this case, the dwelling unit use will be located in a semi-detached house.
- Chapter 10.20.30.20.(1)(A), By-law 569-2013**
The minimum required lot frontage is 6.0 m.
The lot frontage of the conveyed lot will be 4.877 m.
- Chapter 10.20.30.40.(1), By-law 569-2013**
The maximum permitted lot coverage is 35% of the area of the lot (52.03 m²).
The lot coverage will be equal to 48% of the area of the lot (71.47 m²).
- Chapter 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.75 times the area of the lot (111.49 m²).
The new semi-detached dwelling will have a floor space index equal to 1.04 times the area of the lot (155.82 m²).

6. **Chapter 10.20.40.70.(3)(B), By-law 569-2013**
The minimum required side yard setback is 0.9 m.
The new semi-detached dwelling will be located 0.61 m from the east side lot line and 0.0 m from the west side lot line.
7. **Chapter 10.5.50.10.(1)(D), By-law 569-2013**
A minimum of 75% of the required front yard landscaping must be soft landscaping (10.24 m²).
In this case, 64% (8.8 m²) of the front yard will be soft landscaping.
8. **Chapter 10.20.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7.0 m.
The height of the front exterior main wall of the new semi-detached dwelling will be 8.17 m.
9. **Chapter 10.20.40.10.(2)(A)(ii), By-law 569-2013**
The maximum permitted height of all rear exterior main walls is 7.0 m.
The height of rear exterior main wall of the new semi-detached dwelling will be 7.52 m.
10. **Chapter 10.20.40.10.(2)(B)(i), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.0 m.
The height of the side exterior main walls facing a side lot line will be 8.0 m.
11. **Chapter 10.20.40.10.(6), By-law 569-2013**
The maximum permitted height of the first floor of a dwelling above established grade is 1.2 m.
The first floor of the new semi-detached dwelling will be located 2.65 m above established grade.
1. **Section 7.4.2, By-law 6752**
In a RIC zone, the only permitted building is a detached dwelling.
In this case, a semi-detached dwelling will be a permitted building.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1295/16TEY	Zoning	RD (f6.0; a185; d0.75) & R1C (ZZC)
Owner(s):	GEORGE STAVROPOULOS MARY STAVROPOULOS	Ward:	Toronto-Danforth (29)
Agent:	ARISTOTLE CHRISTOU	Heritage:	Not Applicable
Property Address:	263 GAMBLE AVE (PART 1)	Community:	East York
Legal Description:	PLAN M39 PT LOT 55 PT LOT 56		

DISSENTED

Alex Bednar (signed)

Michael Clark

Donald Granatstein (signed)

DISSENTED

Carl Knipfel (signed)

Lisa Valentini

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**
LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

Appeal Information

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1296/16TEY	Zoning	RD (f6.0; a185; d0.75) & R1C (ZZC)
Owner(s):	GEORGE STAVROPOULOS MARY STAVROPOULOS	Ward:	Toronto-Danforth (29)
Agent:	ARISTOTLE CHRISTOU	Heritage:	Not Applicable
Property Address:	263 GAMBLE AVE (PART 2)	Community:	East York
Legal Description:	PLAN M39 PT LOT 55 PT LOT 56		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey semi-detached dwelling with an integral garage as described in Consent Application B0094/16TEY.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.20.40.(1), By-law 569-2013**
A dwelling unit is only permitted in a detached house.
In this case, the dwelling unit will be located in a semi-detached house.
- Chapter 10.20.20.10.(1), By-law 569-2013**
A dwelling unit use is only permitted in a detached house.
In this case, the dwelling unit use will be located in a semi-detached house.
- Chapter 10.20.30.10.(1)(A), By-law 569-2013**
The minimum required lot area is 185 m².
In this case, the lot area of the retained lot will be 148.65 m².
- Chapter 10.20.30.20.(1)(A), By-law 569-2013**
The minimum required lot frontage is 6.0 m.
The lot frontage of the retained lot will be 4.877 m.
- Chapter 10.20.30.40.(1), By-law 569-2013**
The maximum permitted lot coverage is 35% of the area of the lot (52.03 m²).
The lot coverage will be equal to 48% of the area of the lot (71.47 m²).

6. **Chapter 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.75 times the area of the lot (111.49 m²).
The new semi-detached dwelling will have a floor space index equal to 1.04 times the area of the lot (155.82 m²).
7. **Chapter 10.20.40.70.(3)(B), By-law 569-2013**
The minimum required side yard setback is 0.9 m.
The new semi-detached dwelling will be located 0.61 m from the east side lot line and 0.0 m from the west side lot line.
8. **Chapter 10.5.50.10.(1)(D), By-law 569-2013**
A minimum of 75% of the required front yard landscaping must be soft landscaping (10.24 m²).
In this case, 64% (8.8 m²) of the front yard will be soft landscaping.
9. **Chapter 10.20.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7.0 m.
The height of the front exterior main wall of the new semi-detached dwelling will be 8.17 m.
10. **Chapter 10.20.40.10.(2)(A)(ii), By-law 569-2013**
The maximum permitted height of all rear exterior main walls is 7.0 m.
The height of rear exterior main wall of the new semi-detached dwelling will be 7.52 m.
11. **Chapter 10.20.40.10.(2)(B)(i), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.0 m.
The height of the side exterior main walls facing a side lot line will be 8.0 m.
12. **Chapter 10.20.40.10.(6), By-law 569-2013**
The maximum permitted height of the first floor of a dwelling above established grade is 1.2 m.
The first floor of the new semi-detached dwelling will be located 2.65 m above established grade.
1. **Section 7.4.2, By-law 6752**
In a RIC zone, the only permitted building is a detached house.
In this case, a semi-detached dwelling will be a permitted building.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

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It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1296/16TEY	Zoning	RD (f6.0; a185; d0.75) & R1C (ZZC)
Owner(s):	GEORGE STAVROPOULOS MARY STAVROPOULOS	Ward:	Toronto-Danforth (29)
Agent:	ARISTOTLE CHRISTOU	Heritage:	Not Applicable
Property Address:	263 GAMBLE AVE (PART 2)	Community:	East York
Legal Description:	PLAN M39 PT LOT 55 PT LOT 56		

DISSENTED

Alex Bednar (signed)

Michael Clark

Donald Granatstein (signed)

DISSENTED

Carl Knipfel (signed)

Lisa Valentini

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 16, 2017**

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City Planning Division

Committee of Adjustment
Toronto and East York District

100 Queen Street West, 1st Floor
Toronto, Ontario M5H 2N2
Tel: 416-392-7565
Fax: 416-392-0580

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0018/17TEY	Zoning	R (d0.6) & R2 z0.6 (ZZC)
Owner(s):	RYAN IGEL	Ward:	Beaches-East York (32)
Agent:	RYAN IGEL	Heritage:	Not Applicable
Property Address:	204 WAVERLEY RD	Community:	Toronto
Legal Description:	PLAN M25 LOT 96		

Notice was given and a Public Hearing was held on **Wednesday, April 26, 2017**, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property in two residential lots as per provisional Consent Decision B0080/15TEY which lapsed as the conditions of approval were not fulfilled within the one year time limit.

Retained - Part 2, Draft R-Plan

Address to be assigned

The lot frontage is 7.665 m and the lot area is 327.00 m². A new three-storey single detached dwelling will be constructed in accordance with Minor Variance Decision A0970/15TEY.

Conveyed - Part 1, Draft R-Plan

Address to be assigned

The lot frontage is 7.665 m and the lot area is 327.00 m². A new three-storey single detached dwelling will be constructed in accordance with Minor Variance Decision A0971/15TEY.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the transaction as shown on the plan filed with the Committee of Adjustment on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) **One electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services, shall be emailed to the Case Manager, Committee of Adjustment.
- (3) **Two copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services.
- (4) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act* as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

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Owner(s):	RYAN IGEL	Ward:	Beaches-East York (32)
Agent:	RYAN IGEL	Heritage:	Not Applicable
Property Address:	204 WAVERLEY RD	Community:	Toronto
Legal Description:	PLAN M25 LOT 96		

Alex Bednar (signed)

Michael Clark (signed)

Donald Granatstein (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **Tuesday, May 2, 2017**

LAST DATE OF APPEAL: **Tuesday, May 23, 2017**

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