

Thursday, June 8, 2017

NOTICE OF DECISION CONSENT (Section 53 of the Planning Act)

File Number:	B0041/16NY	Zoning	R4/RD (a550) (x685)(waiver)
Owner(s):	SONGLIN CAI HONG JU	Ward:	Willowdale (23)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	145 ELLERSLIE AVE	Community:	North York
Legal Description:	PLAN 2097 PT BLK 5 RP 66R27975 PARTS 1 AND 4		

Notice was given and the application considered on Thursday, June 8, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots. Please note a previous application with respect to the subject property, was before the Committee of Adjustment on Thursday, March 23, 2017 and was DEFERRED.

Conveyed - Part 1

Address to be assigned

The frontage is 11.295m and the lot area is 515.700m². The property will be redeveloped as the site of a new detached two-storey dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A0565/16NY.

Retained - Part 2

Address to be assigned

The frontage is 11.295m and the lot area is 515.700m². The property will be redeveloped as the site of a new detached two-storey dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A0566/16NY.

File Numbers B0041/16NY, A0565/16NY and A0566/16NY will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	B0041/16NY	Zoning	R4/RD (a550) (x685)(waiver)
Owner(s):	SONGLIN CAI HONG JU	Ward:	Willowdale (23)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	145 ELLERSLIE AVE	Community:	North York
Legal Description:	PLAN 2097 PT BLK 5 RP 66R27975 PARTS 1 AND 4		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, July 5, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, June 8, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0565/16NY	Zoning	R4/RD (a550) (x685) [WAIVER]
Owner(s):	SONGLIN CAI HONG JU	Ward:	Willowdale (23)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	145 ELLERSLIE AVE – PART 1	Community:	North York
Legal Description:	PLAN 2097 PT BLK 5 RP 66R27975 PARTS 1 AND 4		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey residential dwelling. File Numbers B0041/16NY, A0565/16NY and A0566/16NY will be considered jointly.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.10.(1), By-law No. 569-2013**
The minimum required lot area is 550.00m².
The proposed lot area is 515.70m².
- 2. Chapter 10.20.30.20.(1)(B), By-law No. 569-2013**
The minimum required lot frontage is 12.000m.
The proposed lot frontage is 11.295m.
- 3. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length for a detached house is 17.00m.
The proposed building length is **17.53m**.
- 4. Section 1, By-law No. 19955**
The minimum required lot frontage is 12.19m.
The proposed lot frontage is 11.295m.
- 5. Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550.00m².
The proposed lot area is 515.70m².

6. **Section 13.2.5A(1.1), By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is **17.65m**.
7. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setbacks are 1.50m each side.
The proposed west side yard setback is 1.23m.
8. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setbacks are 1.50m each side.
The proposed East side yard setback is 1.22m.
9. **Section 13.2.6(i), By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is **9.09m**.
10. **Section 6.30(a), By-law No. 7625**
The maximum permitted first floor height is 1.50m.
The proposed first floor height is 1.59m.
11. **Section 6(8), By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed. The minimum required lot width is 12.19m.
The proposed lot width is 11.295m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0565/16NY	Zoning	R4/RD (a550) (x685) [WAIVER]
Owner:	SONGLIN CAI HONG JU	Ward:	Willowdale (23)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	145 ELLERSLIE AVE – PART 1	Community:	North York
Legal Description:	PLAN 2097 PT BLK 5 RP 66R27975 PARTS 1 AND 4		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
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Thursday, June 8, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0566/16NY	Zoning	R4/RD (a550) (x685)(waiver)
Owner(s):	SONGLIN CAI HONG JU	Ward:	Willowdale (23)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	145 ELLERSLIE AVE – PART 2	Community:	North York
Legal Description:	PLAN 2097 PT BLK 5 RP 66R27975 PARTS 1 AND 4		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey residential dwelling. File Numbers B0041/16NY, A0565/16NY and A0566/16NY will be considered jointly.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.10.(1), By-law No. 569-2013**
The minimum required lot area is 550.00m².
The proposed lot area is 515.70m².
- 2. Chapter 10.20.30.10.(1)(B), By-law No. 569-2013**
The minimum required lot frontage is 12.000m.
The proposed lot frontage is 11.295m.
- 3. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length for a detached house is 17.00m.
The proposed building length is **17.53m**.
- 4. Section 1, By-law No. 19955**
The minimum required lot frontage is 12.19m.
The proposed lot frontage is 11.295m.
- 5. Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550.00m².
The proposed lot area is 515.70m².

6. **Section 13.2.5A(1.1), By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is **17.65m**.
7. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setbacks are 1.50m each side.
The proposed west side yard setback is 1.22m.
8. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setbacks are 1.50m each side.
The proposed east side yard setback is 1.23m.
9. **Section 13.2.6(i), By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is **9.09m**.
10. **Section 6.30(a), By-law No. 7625**
The maximum permitted first floor height is 1.50m.
The proposed first floor height is 2.21m.
11. **Section 6(8), By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed. The minimum required lot width is 12.190m.
The proposed lot width is 11.295m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0566/16NY	Zoning	R4/RD (a550) (x685)(waiver)
Owner:	SONGLIN CAI HONG JU	Ward:	Willowdale (23)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	145 ELLERSLIE AVE – PART 2	Community:	North York
Legal Description:	PLAN 2097 PT BLK 5 RP 66R27975 PARTS 1 AND 4		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0205/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	JING JIANG	Ward:	Willowdale (23)
Agent:	LORNE ROSE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	89 HILLCREST AVE	Community:	North York
Legal Description:	PLAN 1609 LOT 442		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.
The proposed first floor area is 6.78m² and is within 6.70m of the main front wall.
- Chapter 10.5.40.60.(3), By-law No. 569-2013**
Exterior stairs may encroach into a required setback provided they are no wider than 2.00m.
The proposed stairs are 3.50m wide.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 38.60% of the lot area (**32% for the dwelling, the remainder is for the deck/terrace**).
- Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 19.89m (including the proposed deck/terrace).
- Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.00m.
The proposed building depth is 19.89m (including the proposed deck/terrace).
- Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 10.00m.

The proposed building height is 10.125m.

7. **Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.20m **for the first 10m of the dwelling only.**
8. **Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.50m.
9. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.20m **for the first 10m of the dwelling only.**
10. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.50m.
11. **Section 13.2.5(A), By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 19.89m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

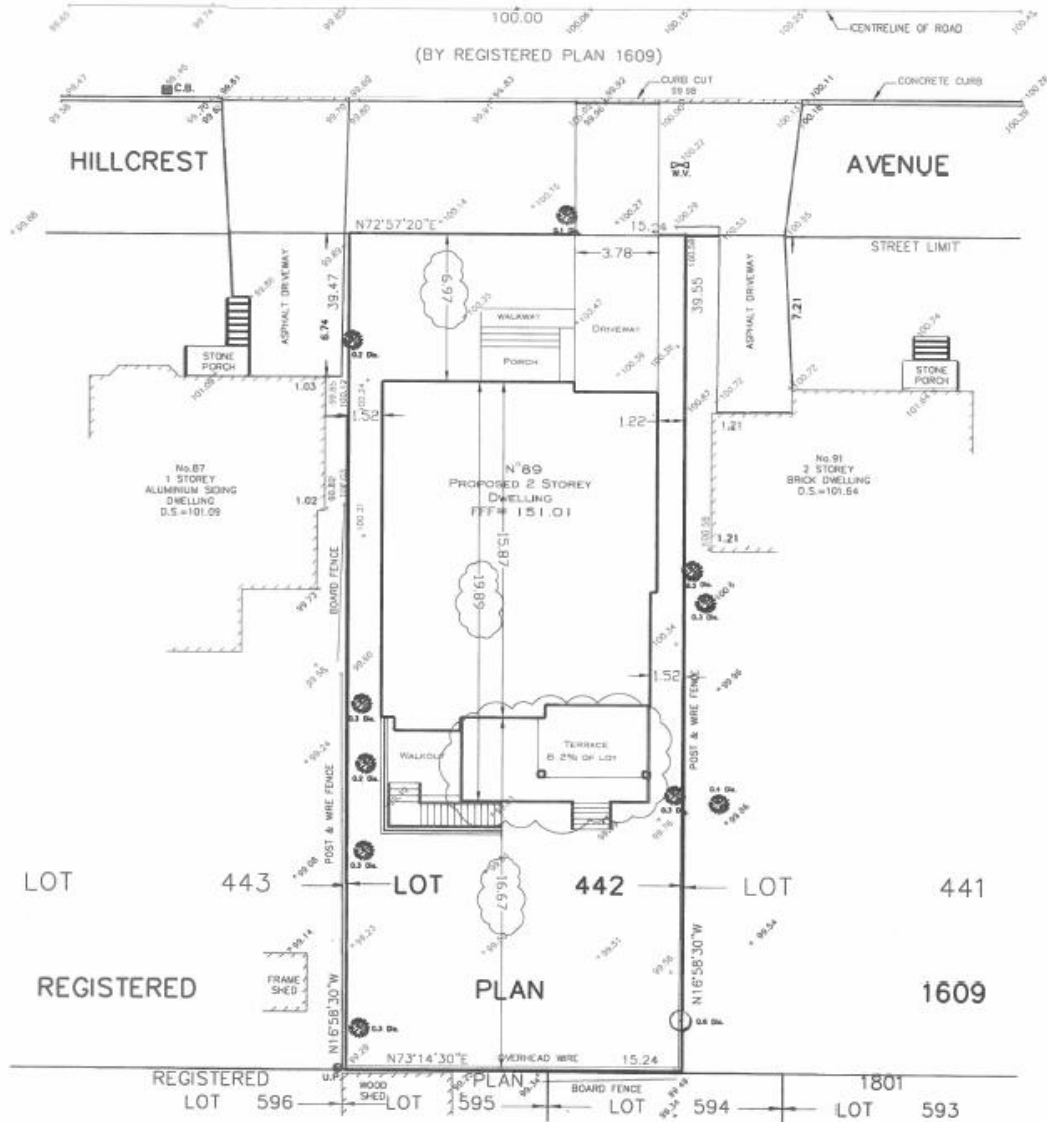
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or remove privately owned trees.
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
3. The proposal be developed in accordance with the site plan, ground floor plan, and second floor plan drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, May 29, 2017.

TOPOGRAPHIC SURVEY OF
 LOT 442
 REGISTERED PLAN 1609
 CITY OF TORONTO
 (FORMERLY CITY OF NORTH YORK)



RECEIVED

MAY 29 2017

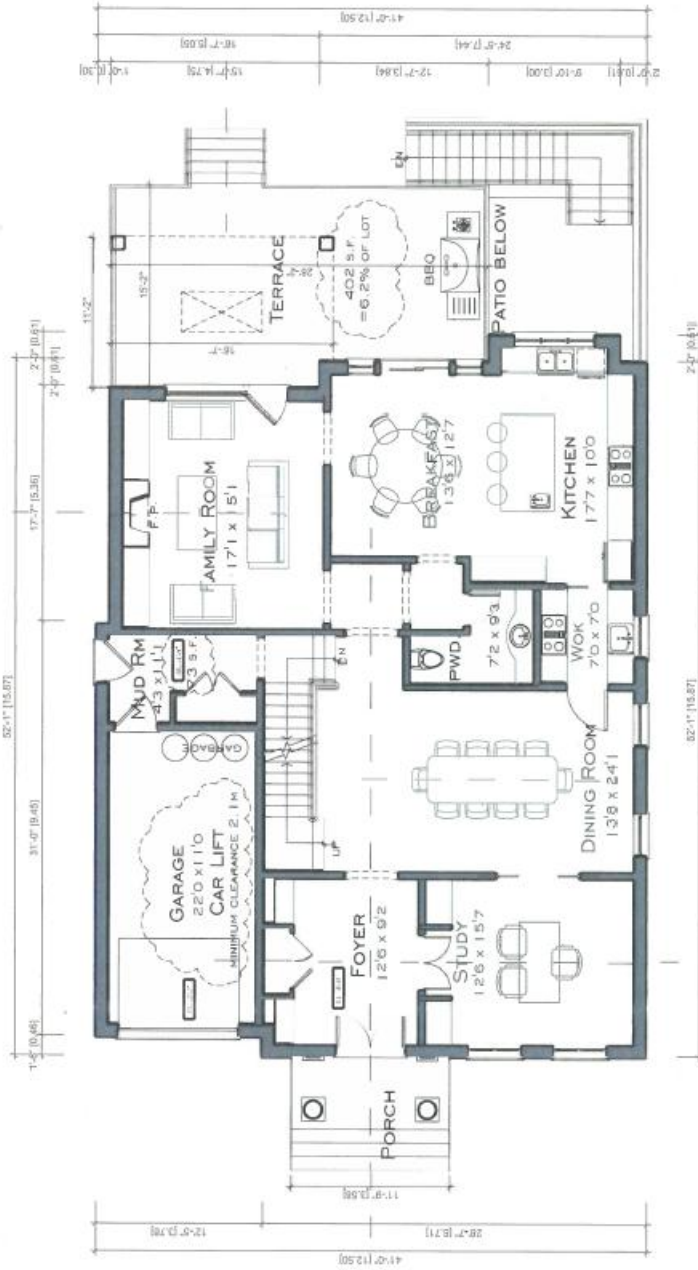
Toronto City Planning
 North York District

MANDARIN SURVEYORS LIMITED
 ONTARIO LAND SURVEYOR CANADA LANDS SURVEYOR
 WWW.MANDARINSURVEYOR.COM
 42 RAVENHURD DRIVE TORONTO, ONTARIO, M1T 1R8
 PHONE: (416) 436-1368 FAX: (416) 799-4058
 E-MAIL: MANDARINSURVEYOR@GMAIL.COM

PROPOSED SITE PLAN

SCALE: 1:200

RESIDENCE
 89 HILLCREST BLVD.
 North York, Ontario
 Project # 15-01



GROUND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 O/A = 1 623 S.F.
 Footprint = 2 205 S.F. (31.89 %)
 LOT AREA = 5 461 S.F.



1501 - Dec 11/16-A
 1 February 2017

RECEIVED

MAY 29 2017

Toronto City Planning
 North York District

RESIDENCE
 89 HILLCREST BLVD.
 North York, Ontario
 Project # 15-01



1501 - Drawn 11
 6 December 2015

SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 SFA = 2,085 S.F.

RECEIVED
 MAY 29 2017
 Toronto City Planning
 North York District

SIGNATURE PAGE

File Number:	A0205/17NY	Zoning	RD/R4 [ZZC]
Owner:	JING JIANG	Ward:	Willowdale (23)
Agent:	LORNE ROSE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	89 HILLCREST AVE	Community:	North York
Legal Description:	PLAN 1609 LOT 442		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0215/17NY	Zoning:	RD/R6(20) [ZZC]
Owner(s):	MAX IZEN BRENDA IZEN	Ward:	Eglinton-Lawrence (16)
Agent:	BRENDA IZEN	Heritage:	Not Applicable
Property Address:	66 MARMION AVE	Community:	North York
Legal Description:	PLAN 2370 PT LOTS 199 & 200		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new covered carport to the east side of the existing two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 200.5.1.10, By-law No. 569-2013**
The minimum required parking space width is 3.20m.
The proposed parking space width is 3.04m.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.20m.
The proposed east side yard setback is 0.00m.
- Chapter 10.5.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.90m provided that they are no closer than 0.30m to a lot line.
The proposed eaves are 0.00m from the east lot line.
- Section 14-A(5)c, By-law No. 7625**
The minimum required side yard setback is 1.20m.
The proposed east side yard setback is 0.00m.
- Section 6(9), By-law No. 7625**
Roof eaves may project a maximum of 0.50m provided that they are no closer than 0.30m to a lot line.
The proposed eaves are 0.00m from the east lot line.

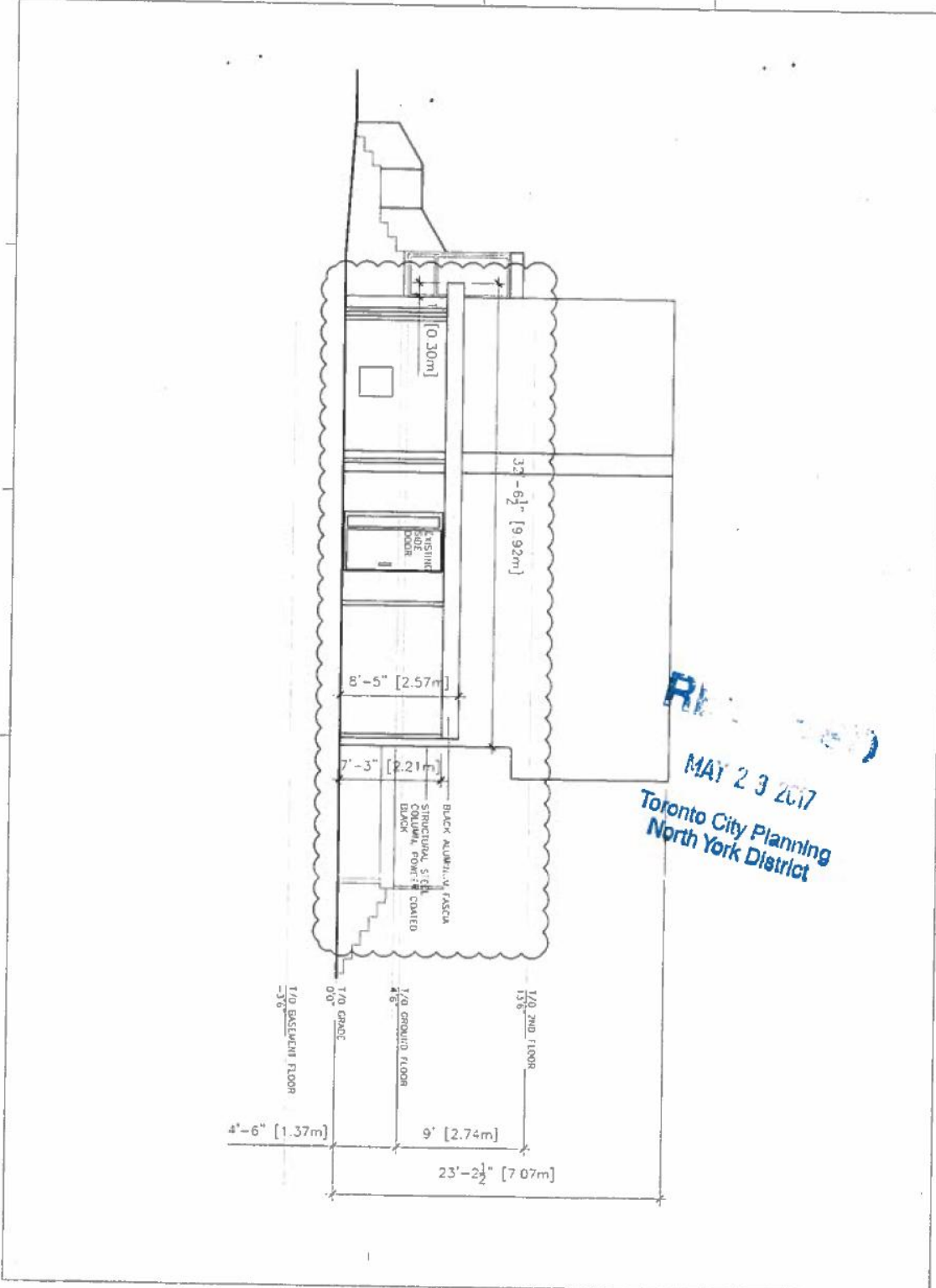
The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be constructed in accordance with the east elevation submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, May 23, 2017.
2. The covered carport is to remain open and unenclosed on three sides.



RECEIVED
MAY 23 2017
Toronto City Planning
North York District

NO. 107 SCALE: 1/8"=1'-0"
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ALL RIGHTS RESERVED. THE EXCLUSIVE
PROPERTY OF DEN ARCHITECTURE INC. AND
FRANCO ARCHITECTS INC. ANY REPRODUCTION
OR TRANSMISSION IN ANY FORM OR BY ANY
MEANS IS STRICTLY PROHIBITED.
THE DESIGNATION OF THIS PLAN AS A
PROVISIONAL PLAN DOES NOT IMPLY THAT
DEN ARCHITECTURE INC. OR FRANCO ARCHITECTS
INC. ARE PROVIDING ANY GUARANTEE OF
ACCURACY OR COMPLETION OF THE PROJECT.
IT IS THE RESPONSIBILITY OF THE CLIENT TO
VERIFY ALL INFORMATION AND TO OBTAIN ALL
NECESSARY PERMITS AND APPROVALS FROM
THE APPROPRIATE AGENCIES.

1. FRANCO ARCHITECTS INC. 107-1111

66 SANDHURST AVENUE
NORTH YORK, ON M2N 1Y1

IZEN
ARCHITECTURE AND DESIGN



DATE: DECEMBER 2016
SCALE: 1/8"=1'-0"
DRAWN BY: EAST ELEVATION

A4.2

SIGNATURE PAGE

File Number:	A0215/17NY	Zoning	RD/R6(20) [ZZC]
Owner:	MAX IZEN BRENDA IZEN	Ward:	Eglinton-Lawrence (16)
Agent:	BRENDA IZEN	Heritage:	Not Applicable
Property Address:	66 MARMION AVE	Community:	North York
Legal Description:	PLAN 2370 PT LOTS 199 & 200		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, June 8, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0195/17NY	Zoning	RD(f15;a600)(x5)/R3[ZONING]
Owner(s):	MOHAMMAD RAZAGHI	Ward:	York Centre (10)
Agent:	OE DESIGN	Heritage:	Not Applicable
Property Address:	150 SANDRINGHAM DR	Community:	North York
Legal Description:	PLAN 2456 LOT 146		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is **8.1m**.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0m.
The proposed building length is 26.04m.
- 3. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.0m.
The proposed building depth is 25.19m.
- 4. Chapter 10.20.40.50.(1), By-law No. 569-2013**
The maximum permitted area of each platform at or above the second storey of a detached house is 4.0m².
The proposed area of the rear platform at or above the second storey is 16.95m².
- 5. Chapter 5.10.40.80.(1), By-law No. 569-2013**
On lands under the jurisdiction of the Toronto and Region Conservation Authority, a building or structure on a lot must be no closer than 10m from a shoreline hazard limit or a stable top-of-bank not on that lot.
The proposed building or structure is **7.35m** from a shoreline hazard limit or a stable top-of-bank not on that lot.
- 6. Section 12.4(b), By-law No. 7625**

The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.23m.

7. Section 12.7, By-law No. 7625

The maximum permitted building height is 8.8m.
The proposed building height is **9.23m**.

8. Section 12.5A, By-law No. 7625

The maximum permitted building length is 16.8m.
The proposed building length is 29.1m.

9. Section 12.7A, By-law No. 7625

The maximum permitted balcony area is 3.8m².
The proposed balcony area is 16.95m².

10. Section 6(24), By-law No. 7625

The maximum width of an unexcavated deck in the rear that projects less than 2.1m from the wall and is greater than 1m above all points of the adjacent ground is 50% of the width of the dwelling.
The proposed deck is 74.3% of the width.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0195/17NY	Zoning	RD(f15;a600)(x5)/R3[ZONING]
Owner:	MOHAMMAD RAZAGHI	Ward:	York Centre (10)
Agent:	OE DESIGN	Heritage:	Not Applicable
Property Address:	150 SANDRINGHAM DR	Community:	North York
Legal Description:	PLAN 2456 LOT 146		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, June 8, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0170/17NY	Zoning	M2(2) [WAV]
Owner(s):	INDUSTRIAL STREET DEVELOPMENTS LTD 2498000 ONTARIO INC	Ward:	Don Valley West (26)
Agent:	TERRENCE TYERS	Heritage:	Not Applicable
Property Address:	43 INDUSTRIAL ST	Community:	East York
Legal Description:	PLAN 2643 PT BLK B NOW RP 64R15937 PART 1 2		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit the construction of thirteen (13) industrial condominium units. Block "A" would consist of five (5) units, Block "B" would consist of eight (8), in conjunction with a garbage enclosure.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 8.2.1., By-law No. 1916**
An Office use is not a permitted use in a M2(2) zone.
- 2. Section 5.19., By-law No. 1916**
The minimum required number of loading spaces is two (2).
The proposed number of loading spaces is zero (0).
- 3. Section 8.3.2, By-law No. 1916**
The minimum required front yard setback is 6.00m.
The proposed front yard setback to the architectural screen is 0.91m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.

- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0170/17NY	Zoning	M2(2) [WAV]
Owner:	INDUSTRIAL STREET DEVELOPMENTS LTD 2498000 ONTARIO INC	Ward:	Don Valley West (26)
Agent:	TERRENCE TYERS	Heritage:	Not Applicable
Property Address:	43 INDUSTRIAL ST	Community:	East York
Legal Description:	PLAN 2643 PT BLK B NOW RP 64R15937 PART 1 2		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0246/17NY	Zoning	RD/R1 Z0.6 [ZZC]
Owner(s):	NICOLE JENNIFER RAUSCH BRADLEY ARTHUR SAGE	Ward:	Eglinton-Lawrence (16)
Agent:	DREW LASZLO ARCHITECT	Heritage:	Not Applicable
Property Address:	69 CASTLEWOOD RD	Community:	Toronto
Legal Description:	PLAN M387 PT LOT 98		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey addition to the rear of the existing two-storey dwelling, in conjunction with a new deck and detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.69 times the lot area.
The proposed floor space index is 0.78 times the lot area.
- Chapter 10.5.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.90m provided that they are no closer than 0.30m to a lot line.
The proposed eaves are 0.11m from the north lot line.
- Chapter 10.5.50.10(1), By-law No. 569-2013**
The minimum required side yard landscaping is 75.00%.
The proposed side yard landscaping is 57.00%.
- Chapter 10.5.60.20(6), By-law No. 569-2013**
The minimum required side yard setback for an ancillary building or structure containing a parking space where it is on a corner lot, and vehicle access is from the street abutting the side lot line, is 6.00m.
The proposed north side yard setback for the ancillary building is 0.57m.
- Chapter 10.5.60.60.(7), By-law No. 569-2013**
The eaves of a roof on an ancillary building may encroach into a building setback a maximum of 0.30m, if the eaves are no closer to a lot line than 0.15m.
The proposed eaves are 0.00m from the south and east lot line and 0.12m from the north lot line.

6. Section 6(3) Part II (II) A, By-law No. 438-86

The minimum required side yard setback for an accessory structure is 4.50m to an adjacent residential building.

The proposed setback to the adjacent building at the rear is 0.89m.

7. Section 6(3) Part I 1, By-law No. 438-86

The maximum permitted gross floor area is 0.69 times the lot area.

The proposed gross floor area is 0.78 times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0246/17NY	Zoning	RD/R1 Z0.6 [ZZC]
Owner:	NICOLE JENNIFER RAUSCH BRADLEY ARTHUR SAGE	Ward:	Eglinton-Lawrence (16)
Agent:	DREW LASZLO ARCHITECT	Heritage:	Not Applicable
Property Address:	69 CASTLEWOOD RD	Community:	Toronto
Legal Description:	PLAN M387 PT LOT 98		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0247/17NY	Zoning	RD / R4 (ZR)
Owner(s):	WANFENG WANG	Ward:	Willowdale (24)
Agent:	CHAUN LIANG	Heritage:	Not Applicable
Property Address:	43 GOODYEAR CRES	Community:	North York
Legal Description:	PLAN M1096 L 531		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new residential dwelling with attached garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
There permitted maximum lot coverage is 30% of the lot.
The proposed lot coverage is 32% of the lot.
- 2. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed north side yard setback is 1.5 m.
- 3. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed south side yard setback is 1.27 m.
- 4. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed north side yard setback is 1.5 m.
- 5. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed south side yard setback is 1.27 m.
- 6. Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the Site Plan and South Elevation drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, May 30, 2017.

GOODYEAR CRESCENT
(BY REGISTERED PLAN M-1096)

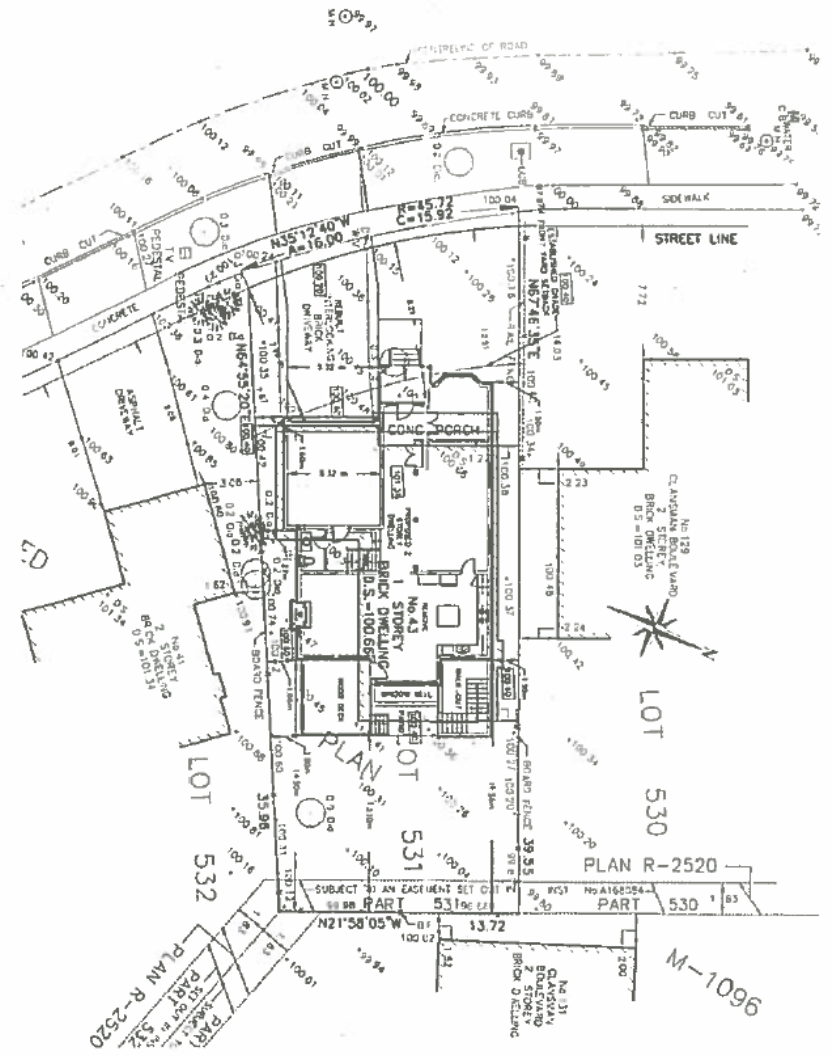
STATISTICS

SITE AREA 580.34 M²
 BUILDING AREA 179.49 M²
 COVERED 32 M²
 BUILDING STOREY 2
 BUILDING HEIGHT FROM ESTABLISHED GRADE 9.58 M
 BUILDING LENGTH 16.03 M
 FLAT ROOF/TOTAL ROOF AREA 24.56 M²
 FRONT YARD LANDSCAPE/TOTAL FRONT YARD 65.12 M²
 SOFT LANDSCAPE/LANDSCAPE FRONT YARD 66.27 M²
 SOFT LANDSCAPE/BACK YARD AREA 81.01 M²
 MAIN WALL HEIGHT 6.91 M

SITE PLAN 1:250

TOTAL FRONT YARD AREA 135.01 M²
 PAVED DRIVEWAY AREA 47.09 M²
 TOTAL LANDSCAPE AREA 12.07 M²
 PORCH & WALKWAY AREA 75.85 M²
 SOFT LANDSCAPE AREA

TOTAL BACK YARD AREA 198.47 M²
 W/DECK & PATIO AREA 24.31 M²
 WALK-OUT AREA 13.38 M²
 SOFT LANDSCAPE AREA 160.78 M²



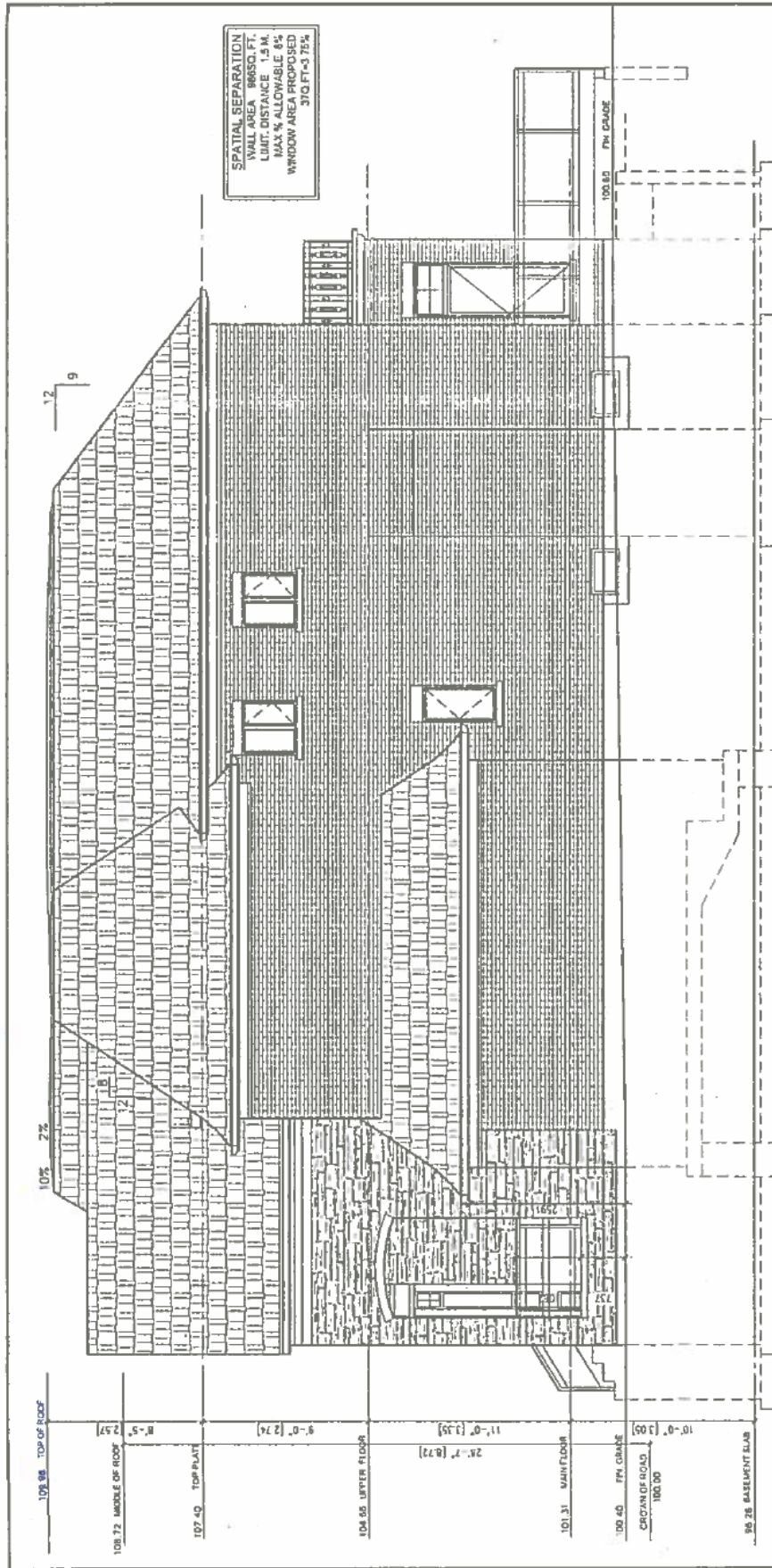
RECEIVED

MAY 30 2017

Toronto City Planning
North York District

LEGAL DESCRIPTION
 TORONTO CITY OF
 ACCREDITED SURVEY OF
 LOT 531
 CITY OF TORONTO
 (FORMERLY CITY OF NORTH YORK)
 SHOWN AS SANCTIONS LIMITED, O.S.

CHUAN LIANG ARCHITECTS 106 Thomas Foster Street Markham, ON, L6C 2A6 T: 416 578 3068 Email: info@clarchitects.co		PROJECT INFORMATION PROJECT PURPOSE: 1607 PROJECT NUMBER: CL DRAWN BY: JB CHECKED BY: JB DATE: OCT. 2016 SCALE: 1:250	PROJECT 43 GOODYEAR CRES. RESIDENCE NORTH YORK, ON	CLIENT INFORMATION WANG WANG 43 GOODYEAR CRES. Toronto, ON M2H 1A7 Email: wang.wang168@hotmail.com Tel: 416 655 1619	NO. ISSUED/REVISED DATE
		GRADING FILE SITE PLAN	DRAWING NO. A1,1	3 2 CITY COMMENTS MAR. 8/17 1 CITY COMMENTS FEB 7/17	



SPATIAL SEPARATION
 WALL AREA 9650.0 FT²
 LIMIT DISTANCE 1.5 M
 MAX % ALLOWABLE 65
 WINDOW AREA PROPOSED
 370.0 FT² 3.75%

106 98 TOP OF ROOF
 108 72 IMBULE OF ROOF 2.57
 107 40 TOP PLATE 8'-5" (2.57)
 104 85 LOWER FLOOR 9'-0" (2.74)
 101 31 MAIN FLOOR 11'-0" (3.35)
 100 40 FIN GRADE 28'-7" (8.72)
 98 26 BASEMENT SLAB 10'-0" (3.05)
 CROWN OF ROAD 100.00

SOUTH ELEVATION
 3/16=1'

CHUAN LIANG ARCHITECTS 108 Thomas Foster Street Markham, ON, L3C 2W6 T: 416.578.3088 Email: info@chuanliangarchitects.ca		ONARIO ASSOCIATION OF ARCHITECTS CHUAN LIANG LICENCE 7430		PROJECT INFORMATION PROGRAM/PROJ: 1607 PROJECT NUMBER: C CHECKED BY: TB DATE: AUG 2016 SCALE: 3/16"=1'-0" DRAWING TITLE: SOUTH ELEVATION		CLIENT INFORMATION WANGENG WANG 41 GARDEN LAKES TORONTO, ON M2H 1P7 TEL: 416.853.1681		PROJECT 43 GOOD YEAR CRES. SERVICE CENTER NORTH YORK, ON		NO. 1 ISSUED/REVISED DATE FEB 7/17	
DRAWING NO. A3.4				CITY COMMENTS							

RECEIVED

MAY 30 2017
 Toronto City Planning
 North York District

SIGNATURE PAGE

File Number:	A0247/17NY	Zoning	RD / R4 (ZR)
Owner:	WANFENG WANG	Ward:	Willowdale (24)
Agent:	CHAUN LIANG	Heritage:	Not Applicable
Property Address:	43 GOODYEAR CRES	Community:	North York
Legal Description:	PLAN M1096 L 531		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, June 8, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0248/17NY	Zoning	RD/ R3 [WAIVER]
Owner(s):	SAHAR PASHAPOUR SAHAR PASHAPOUR	Ward:	Don Valley West (25)
Agent:	SAEED ALIREZA	Heritage:	Not Applicable
Property Address:	11 MALABAR PL	Community:	North York
Legal Description:	PLAN 4758 LOT 12		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished. Please note a previous application (File # A0670/16NY) with respect to the subject property, was before the Committee of Adjustment on Thursday, September 8, 2016, which was ultimately approved on condition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.20, By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 17.50m.
- 2. Chapter 10.5.40.60.(3), By-law No. 569-213**
Exterior stairs providing pedestrian access to a building may encroach into a required building setback if the stairs are no wider than 2.00m.
The proposed front stairs are 3.00m wide.
- 3. Section 12.5A, By-law No. 7625**
The maximum permitted length of the dwelling with a one-storey rear extension is 16.80m.
The proposed building length including the one-storey rear extension is 22.90m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0248/17NY	Zoning	RD/ R3 [WAIVER]
Owner:	SAHAR PASHAPOUR SAHAR PASHAPOUR	Ward:	Don Valley West (25)
Agent:	SAEED ALIREZA	Heritage:	Not Applicable
Property Address:	11 MALABAR PL	Community:	North York
Legal Description:	PLAN 4758 LOT 12		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, June 8, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0249/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZONING]
Owner(s):	DANIEL CHIH-HSIU YEH	Ward:	Don Valley West (25)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	32 RIPPLETON RD	Community:	North York
Legal Description:	PLAN 4758 LOT 265		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.60.(3), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2.0m.
The proposed stairs are 2.84m wide.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing the east side lot line is 7.92m.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing the west side lot line is 8m.
- Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0m.
The proposed building length is 18.74m.
- Chapter 10.5.80.40.(3), By-law No. 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is not from the flanking street.
- Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.

The proposed building length is 18.74m.

7. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.8m.

The proposed building height is 9.28m.

8. Section 6(9)(c), By-law No. 7625

The maximum permitted area of a porch in a side yard is 2.3m².

The proposed side porch is 4.26m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

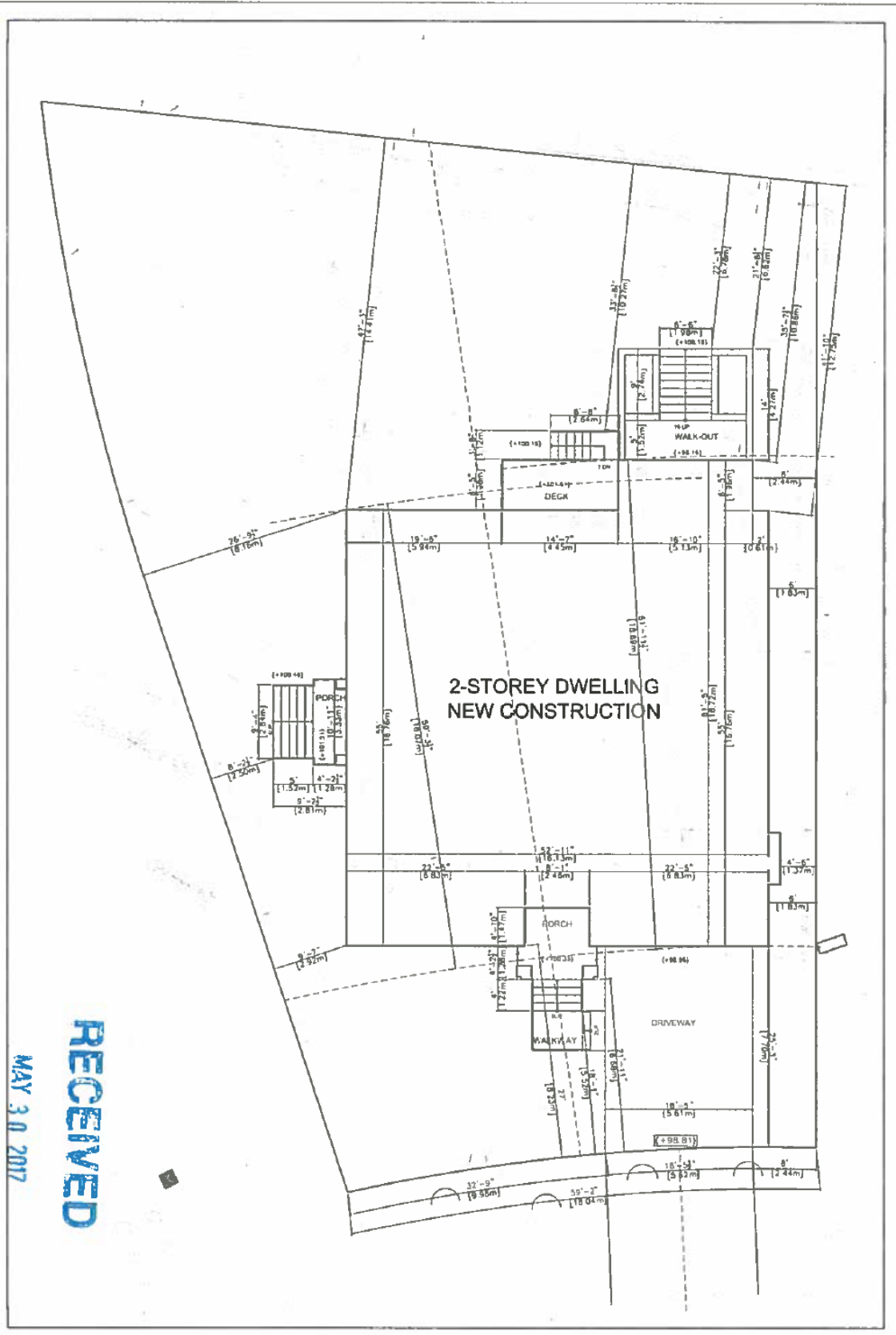
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the Site Plan, Side Elevation (East) and Side Elevation (West) drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, May 30, 2017.



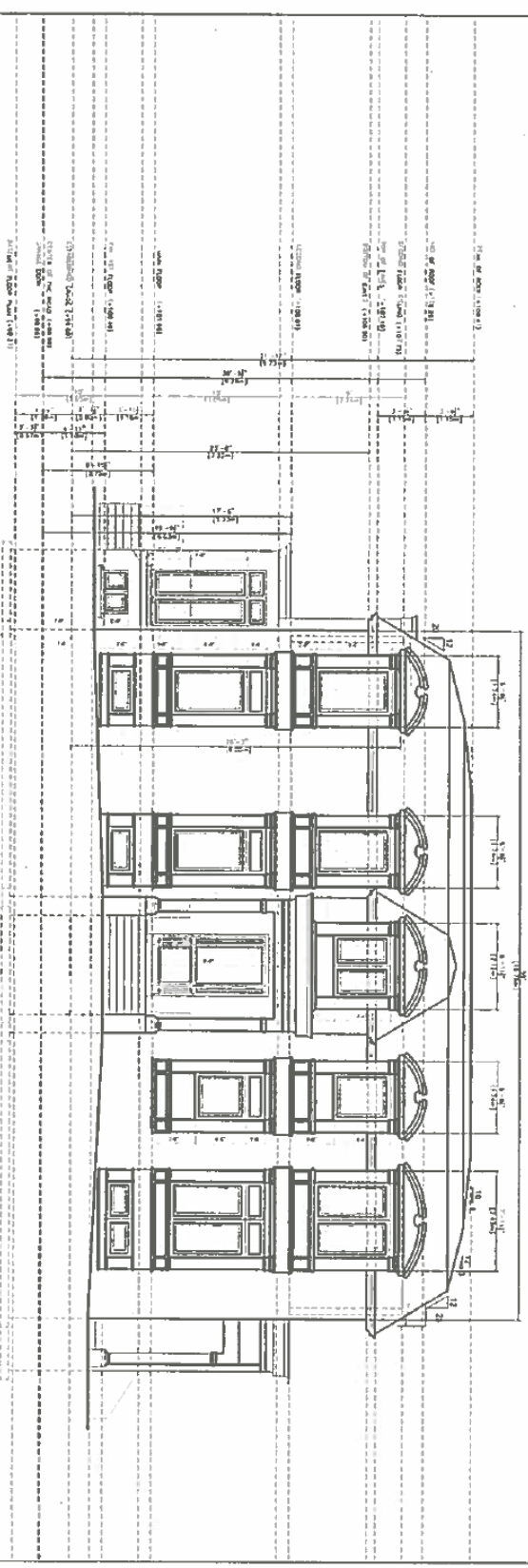
RECEIVED
 MAY 30 2017
 TO: City of Toronto

PROJECT TITLE
 32 RIPPLETON ROAD
 TORONTO, ONTARIO

SHEET NUMBER
A1

DRAWING TITLE
SITE PLAN
 SCALE: 1/32"=1'-0"

DATE	DESCRIPTION	BY	CHKD
2007.05.22	ISSUED FOR PERMIT	...	...
2007.05.22	...	...	...
2007.05.22	...	...	...



RECEIVED
 MAY 30 2017
 Toronto City Planning
 North York District

PROJECT TITLE:
 32 RIPPLETON ROAD
 TORONTO, ONTARIO

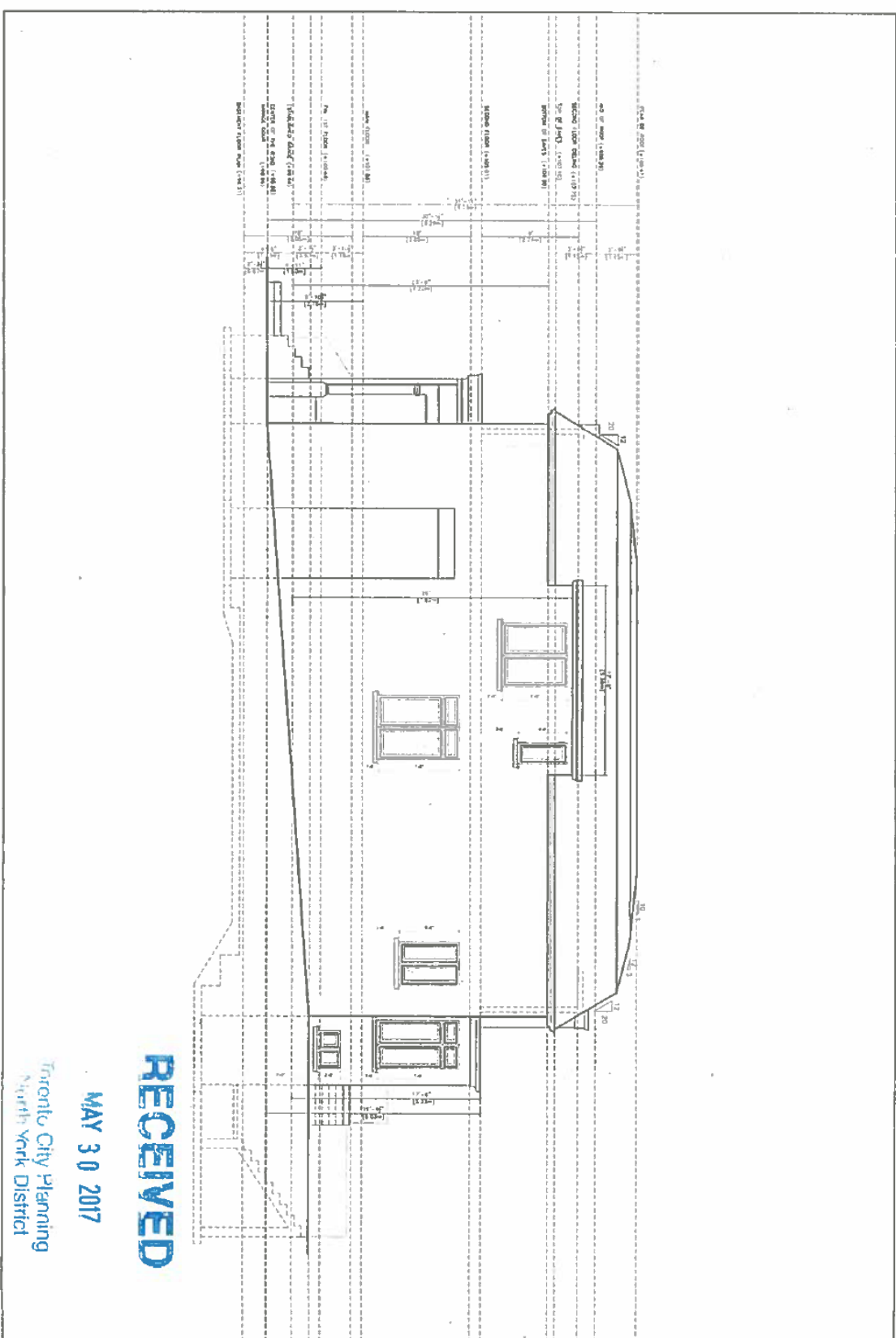
SHEET NUMBER

A8

DRAWING TITLE: **SIDE ELEVATION (WEST)**

SCALE: 1/8"=1'-0"

NO.	DATE	BY	CHKD.
1	05/17/2017	...	...
2	05/17/2017	...	...



PROJECT TITLE
 32 RIPPLETON ROAD
 TORONTO, ONTARIO

SHEET NUMBER :

A9

DRAWING TITLE: **SIDE ELEVATION (EAST)**

SCALE: 1/8"=1'-0"

NO.	BY/DATE	DESCRIPTION
1	JEP/05 & C/M	32 17 2016
2	CDM	11 04 2017

RECEIVED
 MAY 30 2017
 Toronto City Planning
 North York District

SIGNATURE PAGE

File Number:	A0249/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZONING]
Owner:	DANIEL CHIH-HSIU YEH	Ward:	Don Valley West (25)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	32 RIPPLETON RD	Community:	North York
Legal Description:	PLAN 4758 LOT 265		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0250/17NY	Zoning	RD / R1 (ZR)
Owner(s):	DYLAN ASTER DYLAN ASTER	Ward:	Eglinton-Lawrence (16)
Agent:	WILL HUDSON	Heritage:	Not Applicable
Property Address:	189 GLENGROVE AVE W	Community:	Toronto
Legal Description:	PLAN M87 PT LOTS 109 & 110		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new second storey addition to the existing dwelling. To increase the existing footprint of the current rear yard deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.35 times the area of the lot.
The proposed floor space index is 0.38 times the area of the lot.
- Section 6(3) Part I 1, By-law No. 438-86**
Residential gross floor area is limited in an R1 zone to 0.35 times the area of the lot.
The proposed gross floor area is 0.38 times the area of the lot.
- Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum side lot line setback is 0.9 m for the portion of the building not exceeding 17.0 m in depth.
The proposed west side lot line setback is 0.77 m

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.

- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0250/17NY	Zoning	RD / R1 (ZR)
Owner:	DYLAN ASTER DYLAN ASTER	Ward:	Eglinton-Lawrence (16)
Agent:	WILL HUDSON	Heritage:	Not Applicable
Property Address:	189 GLENGROVE AVE W	Community:	Toronto
Legal Description:	PLAN M87 PT LOTS 109 & 110		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 8, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0251/17NY	Zoning	RD/R4 [WAV]
Owner(s):	TARANEH FEYZBAKSH WAGHEF MOHAMMAD SAEED MIRFAKHRAEI	Ward:	Willowdale (23)
Agent:	MEHRAN HEYDARI	Heritage:	Not Applicable
Property Address:	214 HOMEWOOD AVE	Community:	North York
Legal Description:	PLAN 2366 LT 113		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit a two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.20% of the lot area.
- 2. Chapter 10.20.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 7.87m.
The proposed front yard setback is 7.27m.
- 3. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 17.36m.
- 4. Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.20% of the lot area.
- 5. Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 17.36m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

SIGNATURE PAGE

File Number:	A0251/17NY	Zoning	RD/R4 [WAV]
Owner:	TARANEH FEYZBAKSH WAGHEF MOHAMMAD SAEED MIRFAKHRAEI	Ward:	Willowdale (23)
Agent:	MEHRAN HEYDARI	Heritage:	Not Applicable
Property Address:	214 HOMEWOOD AVE	Community:	North York
Legal Description:	PLAN 2366 LT 113		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0253/17NY	Zoning	RD/ R4 [ZZC]
Owner(s):	MICHAEL CHARLES YASSKIN MICHAEL CHARLES YASSKIN	Ward:	York Centre (10)
Agent:	STUDIO ARCHITECTONIC INC	Heritage:	Not Applicable
Property Address:	95 CHARLESWOOD DR	Community:	North York
Legal Description:	PLAN 3746 LOT 133		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a rear two-storey addition to the existing dwelling and new detached garage. The existing garage would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.70.(3) C), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed side yard setback is 1.24m.
- 2. Section 13.2.2 By-law No. 7625**
The minimum required lot area is 550.00m².
The proposed lot area is 465.35m².
- 3. Section 13.2.1, By-law No. 7625**
The minimum required lot frontage is 15.00m.
The proposed lot frontage is 12.22m.
- 4. Section 6(8), By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.
- 5. Section 13.2.3(a), By-law No. 7625**
The minimum required front yard setback is 6.50m.
The existing and proposed front yard setback is 6.16m.

6. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The existing and proposed east side yard setback is 1.24m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0253/17NY	Zoning	RD/ R4 [ZZC]
Owner:	MICHAEL CHARLES YASSKIN MICHAEL CHARLES YASSKIN	Ward:	York Centre (10)
Agent:	STUDIO ARCHITECTONIC INC	Heritage:	Not Applicable
Property Address:	95 CHARLESWOOD DR	Community:	North York
Legal Description:	PLAN 3746 LOT 133		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 8, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0254/17NY	Zoning	RD/R6[ZONING]
Owner(s):	KHADIJEH JAFARINAMIN OMRAN JAFARINAMIN	Ward:	Willowdale (23)
Agent:	OMRAN JAFARINAMIN	Heritage:	Not Applicable
Property Address:	56 GWENDOLEN AVE	Community:	North York
Legal Description:	PLAN M442 W PT LOT 103		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished. Please be advised the subject property went before the Committee of Adjustment on February 9, 2017, approved development application.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 31.9% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0254/17NY	Zoning	RD/R6[ZONING]
Owner:	KHADIJEH JAFARINAMIN OMRAN JAFARINAMIN	Ward:	Willowdale (23)
Agent:	OMRAN JAFARINAMIN	Heritage:	Not Applicable
Property Address:	56 GWENDOLEN AVE	Community:	North York
Legal Description:	PLAN M442 W PT LOT 103		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0255/17NY	Zoning	RD / R5 (ZR)
Owner(s):	LUCIA D'ALFONSO- IANTOSCA ANGELO IANTOSCA	Ward:	Eglinton-Lawrence (15)
Agent:	PAUL CARAVAGGIO B ARCH	Heritage:	Not Applicable
Property Address:	3 DELO RD	Community:	North York
Legal Description:	PLAN 4786 LOT 29		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

Proposed one storey front yard addition to the existing structure.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 35 percent of the lot area.
The proposed lot coverage is **39 percent** of the lot area.
- 2. Chapter 900 Exception 5, By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed side yard setback is 1.214 m.
- 3. Chapter 10.5.40.60.(1), By-law No. 569-2013**
The maximum deck encroachment into the rear yard setback is 2.5 m.
The proposed deck encroachment is 3.150 m.
- 4. Section 14.2.4, By-law No. 7625**
The maximum permitted lot coverage is 35 percent of the lot area.
The proposed lot coverage is **39 percent** of the lot area.
- 5. Section 14.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed south side yard setback is 1.214
- 6. Section 69240, By-law No. 7625**
The maximum permitted projection for a deck is 2.1 m and the maximum permitted height is 1.0 m.

The proposed deck projection is 3.150 m and the proposed height is 1.092 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0255/17NY	Zoning	RD / R5 (ZR)
Owner:	LUCIA D'ALFONSO- IANTOSCA	Ward:	Eglinton-Lawrence (15)
Agent:	ANGELO IANTOSCA	Heritage:	Not Applicable
Property Address:	PAUL CARAVAGGIO B ARCH	Community:	North York
Legal Description:	3 DELO RD PLAN 4786 LOT 29		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0256/17NY	Zoning:	R/R1S Z0.6 [ZZC]
Owner(s):	CARLA GLICK ARI GLICK	Ward:	Eglinton-Lawrence (16)
Agent:	CASALDOM ARCHITECT	Heritage:	Not Applicable
Property Address:	165 BRIAR HILL AVE	Community:	Toronto
Legal Description:	PLAN M25 PT LOT 45		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 900.2.10.(949), By-law No. 569-2013**
The maximum permitted building depth is 14.00m.
The proposed building depth is **17.8m**.
- Chapter 10.10.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.60 times the lot area.
The proposed floor space index is 0.72 times the lot area.
- Chapter 10.10.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 0.90m.
The proposed east side yard setback is **0.50m**.
- Chapter 10.10.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 0.90m.
The proposed west side yard setback is 0.61m.
- Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.
The proposed first floor area is 0.00m² within 4.00m of the main front wall.
- Chapter 10.5.50.10(1), By-law No. 569-2013**
The minimum required front yard soft landscaping is 75.00%.
The proposed front yard soft landscaping is **55%**.

7. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.00m.
The proposed height of the side exterior main walls facing a side lot line is **8.30m**.
8. **Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted gross floor area is 0.60 times the lot area.
The proposed gross floor area is 0.72 times the lot area.
9. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side yard setback is 7.50m for the portion of the dwelling exceeding 17.00m in depth.
The proposed east side yard setback is **0.50m** for the portion of the dwelling exceeding 17.00m in depth.
10. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side yard setback is 7.50m for the portion of the dwelling exceeding 17.00m in depth.
The proposed west side yard setback is 0.61m for the portion of the dwelling exceeding 17.00m in depth.
11. **Section 6(3) Part III 3.B(d)(i)(D), By-law No. 438-86**
The minimum required front yard soft landscaping is 75.00%.
The proposed front yard soft landscaping is **55%**.
12. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side yard setback is 0.90m.
The proposed east side yard setback is **0.36m**.
13. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side yard setback is 0.90m.
The proposed west side yard setback is 0.45m.
14. **Section 12(2) 112, By-law No. 438-86**
The maximum permitted building depth is 14.00m.
The proposed building depth is 22.18m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0256/17NY	Zoning	R/R1S Z0.6 [ZZC]
Owner:	CARLA GLICK ARI GLICK	Ward:	Eglinton-Lawrence (16)
Agent:	CASALDOM ARCHITECT	Heritage:	Not Applicable
Property Address:	165 BRIAR HILL AVE	Community:	Toronto
Legal Description:	PLAN M25 PT LOT 45		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0257/17NY	Zoning:	RD / R1 (ZR)
Owner(s):	BRYAN CHRISTOPHER WOLFF	Ward:	Don Valley West (25)
Agent:	PETER HIGGINS ARCHITECT INC	Heritage:	Not Applicable
Property Address:	227 SHELDRAKE BLVD	Community:	Toronto
Legal Description:	PLAN 691 BLK E PT LOT 22		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

Addition to the existing accessory structure.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.60.50.(2), By-law No. 569-2013

The maximum total floor area of all accessory buildings or structures on a lot is 60.0 m² for a lot frontage of 12.0 m or more.

The proposed total floor area of all accessory building is 69.3 m².

2. Section 7(3) Part II 6(A), By-law No. 438-86

The portion of a building above grade must be set back a distance of at least 3 m from a lot in a residential district.

The proposed building setback is 0.60 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0257/17NY	Zoning	RD / R1 (ZR)
Owner:	BRYAN CHRISTOPHER WOLFF	Ward:	Don Valley West (25)
Agent:	PETER HIGGINS ARCHITECT INC	Heritage:	Not Applicable
Property Address:	227 SHELDRAKE BLVD	Community:	Toronto
Legal Description:	PLAN 691 BLK E PT LOT 22		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, June 8, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0258/17NY	Zoning	RD/ R4 [ZR]
Owner(s):	YOUFEI LIN	Ward:	Don Valley West (25)
Agent:	RAMONDO ENGINEERING	Heritage:	Not Applicable
Property Address:	13 ELKPATH AVE	Community:	North York
Legal Description:	PLAN M1452 LOT 236		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey rear addition to the existing building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum building length is 17.00m.
The proposed building length is 17.60m.
- 2. Chapter 10.20.30.40.(1) A), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 31.00% of the lot area.
- 3. Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 31.00% of the lot area.
- 4. Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 17.6m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0258/17NY	Zoning	RD/ R4 [ZR]
Owner:	YOUFEI LIN	Ward:	Don Valley West (25)
Agent:	RAMONDO ENGINEERING	Heritage:	Not Applicable
Property Address:	13 ELKPATH AVE	Community:	North York
Legal Description:	PLAN M1452 LOT 236		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0259/17NY	Zoning	RD/R3[ZONING]
Owner(s):	NAHID KEYVANI HAMIDREZA ALMASIAN	Ward:	Willowdale (24)
Agent:	JS BARMİ ARCHİTECT	Heritage:	Not Applicable
Property Address:	19 CITATION DR	Community:	North York
Legal Description:	PLAN M676 LOT 204		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all front exterior main wall is 7.5m.
The proposed height of the front exterior main wall is 8.65m.
- 2. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.0m.
The proposed building depth is 20.64m.
- 3. Chapter 10.20.40.20.(2), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 19.86m.
- 4. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.52m.
- 5. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.53m.
- 6. Chapter 10.20.40.10.(7), By-law No. 569-2013**
The permitted maximum width of dormers is 40% of the total width of the building's main walls.
The proposed width of dormers is 68.97% of the total width of main wall.

7. **Section 12.4(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.52m.
8. **Section 12.4(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.53m.
9. **Section 12.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 18.59m.
10. **Section 12.7, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.06m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
2. The proposal be developed in accordance with the Site Plan, East Elevation, and West Elevation drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, May 30, 2017.

GENERAL NOTES/SPH/16/AL/11/196

1. THIS DRAWING IS THE PROPERTY OF JS BARNI ARCHITECT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF JS BARNI ARCHITECT IS STRICTLY PROHIBITED. THE CLIENT ACCEPTS FULL RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED TO JS BARNI ARCHITECT AND FOR THE RESULTS OF THE DESIGN AND CONSTRUCTION OF THE PROJECT.

2. ALL DIMENSIONS ARE GIVEN IN METERS UNLESS OTHERWISE SPECIFIED.

3. ALL MATERIALS AND FINISHES TO BE USED SHALL BE AS SPECIFIED IN THE SCHEDULE OF FINISHES.

4. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.

5. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT IN ACCORDANCE WITH THE RELEVANT CODES AND STANDARDS.

6. THE CLIENT SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY SERVICES AND UTILITIES.

7. THE DESIGNER SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY SERVICES AND UTILITIES.

8. THE CLIENT SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY SERVICES AND UTILITIES.

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18. THE CLIENT SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY SERVICES AND UTILITIES.

19. THE DESIGNER SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY SERVICES AND UTILITIES.

20. THE CLIENT SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL NECESSARY SERVICES AND UTILITIES.

NO.	DATE	DESCRIPTION
01	2017.05.30	ISSUED FOR PERMIT
02	2017.05.30	ISSUED FOR PERMIT
03	2017.05.30	ISSUED FOR PERMIT
04	2017.05.30	ISSUED FOR PERMIT
05	2017.05.30	ISSUED FOR PERMIT
06	2017.05.30	ISSUED FOR PERMIT
07	2017.05.30	ISSUED FOR PERMIT
08	2017.05.30	ISSUED FOR PERMIT
09	2017.05.30	ISSUED FOR PERMIT
10	2017.05.30	ISSUED FOR PERMIT



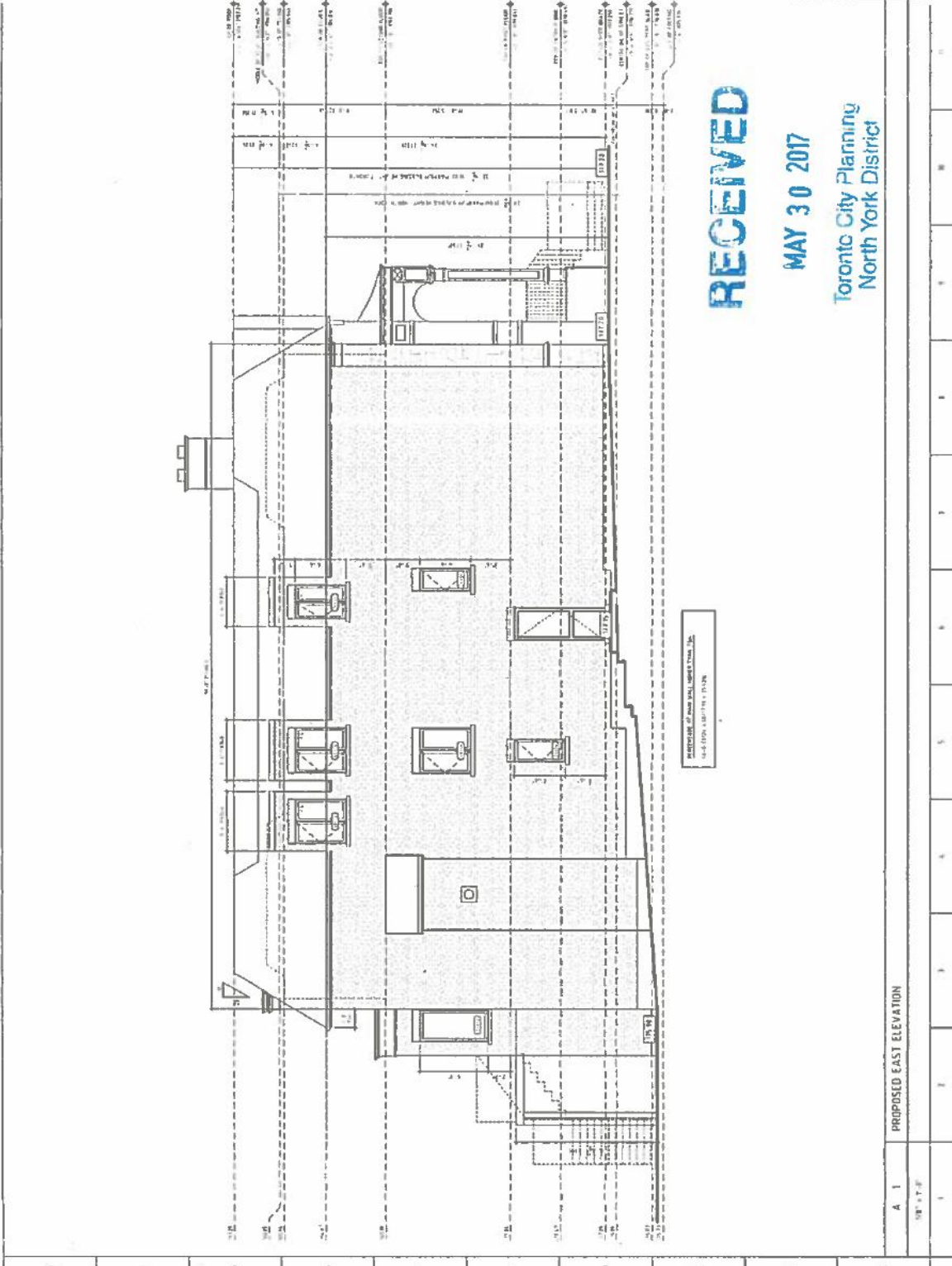
PROJECT TITLE
 LOCATION
 PROJECT NO.

JS BARNI ARCHITECT

A 201

PROPOSED EAST ELEVATION

11. 1111 BAYVIEW AVE. #1111
 TORONTO, ONT. M2N 6L1
 TEL: (416) 461-1111
 WWW.JSBARNI.COM



RECEIVED

MAY 30 2017

Toronto City Planning
 North York District

PROPOSED EAST ELEVATION

A 1

GENERAL NOTIFICATION NOTES

1. DRAWINGS AND SPECIFICATIONS ARE TO BE USED IN CONJUNCTION WITH THE CONTRACT DOCUMENTS AND THE PROJECT MANUAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES.

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DATE: 2017-05-03
 DRAWN BY: J.B.
 CHECKED BY: J.B.
 STAMP

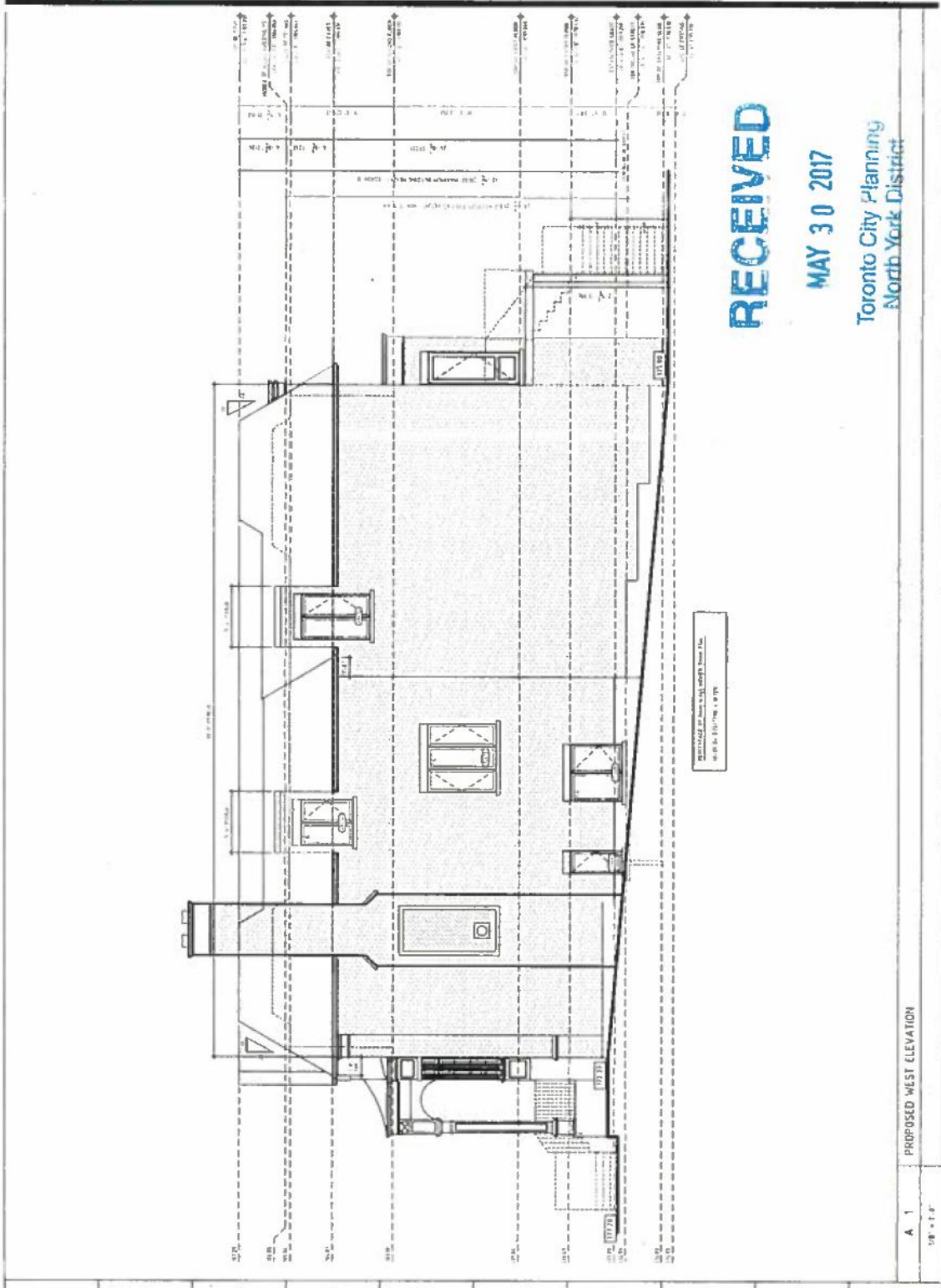


PROJECT TITLE
 ELEVATION (WEST ELEVATION)
 TORONTO ON
 PROJECT NO. 11

JS BARMİ ARCHITECT

A 203
 PROPOSED WEST ELEVATION

1100 BAYVIEW AVE. TORONTO, ONT. M2N 6L2
 TEL: (416) 461-1111
 WWW.JSBARMİ.COM



RECEIVED
 MAY 30 2017
 Toronto City Planning
 North York District

A 1
 1/8" = 1'-0"
 PROPOSED WEST ELEVATION

SIGNATURE PAGE

File Number:	A0259/17NY	Zoning	RD/R3[ZONING]
Owner:	NAHID KEYVANI HAMIDREZA ALMASIAN	Ward:	Willowdale (24)
Agent:	JS BARMİ ARCHİTECT	Heritage:	Not Applicable
Property Address:	19 CITATION DR	Community:	North York
Legal Description:	PLAN M676 LOT 204		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0261/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	MING DI HONG	Ward:	Willowdale (24)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	16 OSCAR CRT	Community:	North York
Legal Description:	PLAN 5482 L 103		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 31.40% of the lot area.
- 2. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 10.00m.
The proposed building height is **10.13m**.
- 3. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the north side exterior main walls facing a side lot line is 8.57m.
- 4. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the south side exterior main walls facing a side lot line is 8.44m.
- 5. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 20.22m.
- 6. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.00m.
The proposed building depth is 20.22m.

7. **Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.50m.
8. **Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.50m.
9. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.50m.
10. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.50m.
11. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 31.40% of the lot area.
12. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 20.22m.
13. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.15m.
14. **Section 6(9)(c), By-law No. 7625**
Exterior stairways, wheelchair ramps, and porches and decks 2.30m² or less in area, shall be permitted to project into one minimum side yard setback only, not more than 1.60m, but no closer than 0.60m from any side lot line.
The proposed exterior side yard stairs are 3.80m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 31.40% of the lot area.
2. **Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 10.00m.
The proposed building height is **10.13m**.
3. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the north side exterior main walls facing a side lot line is 8.57m.

4. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the south side exterior main walls facing a side lot line is 8.44m.
11. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 31.40% of the lot area.
14. **Section 6(9)(c), By-law No. 7625**
Exterior stairways, wheelchair ramps, and porches and decks 2.30m² or less in area, shall be permitted to project into one minimum side yard setback only, not more than 1.60m, but no closer than 0.60m from any side lot line.
The proposed exterior side yard stairs are 3.80m².

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

5. **Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 20.22m.
6. **Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.00m.
The proposed building depth is 20.22m.
7. **Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.50m.
8. **Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.50m.
9. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.50m.
10. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.50m.
12. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 20.22m.
13. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.

The proposed building height is 9.15m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or remove privately owned trees.
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0261/17NY	Zoning	RD/R4 [ZZC]
Owner:	MING DI HONG	Ward:	Willowdale (24)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	16 OSCAR CRT	Community:	North York
Legal Description:	PLAN 5482 L 103		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0262/17NY	Zoning	RD/ R1B [ZZC]
Owner(s):	ADIL ELIDRISSI NATHALIE CHIASSON	Ward:	Don Valley West (26)
Agent:	NATHALIE CHIASSON	Heritage:	Not Applicable
Property Address:	6 MACNAUGHTON RD	Community:	East York
Legal Description:	PLAN 2121 PT LOT 123		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition to the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.7, By-law No. 569-2013**
The minimum required side yard setback for the addition is 0.41m.
The proposed addition has a north side yard setback of 0.24m.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 38.00% of the lot area.
- Chapter 10.5.60.30.(1), By-law No. 569-2013**
An ancillary building or structure with a height greater than 2.50m, or a gross floor area greater than 10.00m², must be at least 1.80m from a residential building on the same lot.
The proposed ancillary building is 0.785m from the residential building.
- Chapter 10.5.60.20.(3), By-law No. 569-2013**
The minimum required side yard setback for an ancillary structure is 1.20m.
The south side yard setback for the ancillary building is 0.30m.
- Section 6.3.3, By-law No. 1916**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 40.83% of the lot area.
- Section 6.3.3, By-law No. 1916**
The minimum required side yard setback is .90m.

The proposed north side yard setback is 0.24m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0262/17NY	Zoning	RD/ R1B [ZZC]
Owner:	ADIL ELIDRISSI NATHALIE CHIASSON	Ward:	Don Valley West (26)
Agent:	NATHALIE CHIASSON	Heritage:	Not Applicable
Property Address:	6 MACNAUGHTON RD	Community:	East York
Legal Description:	PLAN 2121 PT LOT 123		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0252/17NY	Zoning:	RD/ R4 [PPR]
Owner(s):	ROCHELLE HELLER RACHELLE HELLER	Ward:	Eglinton-Lawrence (16)
Agent:	SARAH IFRAH ARCHITECT	Heritage:	Not Applicable
Property Address:	22 FRONTENAC AVE	Community:	North York
Legal Description:	PLAN 1786 LOT 295		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(4), By-law No. 569-2013**
The maximum permitted height of a building with a flat roof is 7.200m.
The proposed height of the building is 9.867m
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length for a detached house is 17.00m.
The proposed building length is **22.18m**.
- 3. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth for a detached house is 19.00m.
The proposed building depth is **22.18m**
- 4. Chapter 10.20.40.70.(2), By-law No. 569-2013**
The minimum required rear yard setback is 8.92m
The proposed rear yard setback is **7.09m**.
- 5. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is **43.45%** of the lot area.
- 6. Chapter 10.20.40.10.(3), By-law No. 569-2013**
The maximum permitted number of storeys is two.
The proposed number of storeys is three.

7. **Chapter 10.20.40.10.(7), By-law No. 569-2013**
The maximum permitted width of dormers is 40.00% of the total width of the building's main walls.
The proposed width of dormers is 70.00% of the total width of the building's main walls.
8. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 8.96m.
9. **Section 13.2.5 A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is **22.18m**.
10. **Section 13.2.3(a), By-law No. 7625**
The minimum required front yard setback is 7.50 +/- 1.00m.
The proposed front yard setback is 6.40m.
11. **Section 13.2.3, By-law No. 7625**
The minimum required rear yard setback is 9.50m.
The proposed rear yard setback is **7.09m**.
12. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is **43.45%** of the lot area.
13. **Section 13.2.6, By-law No. 7625**
The maximum permitted number of storeys is two.
The proposed number of storeys is three

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

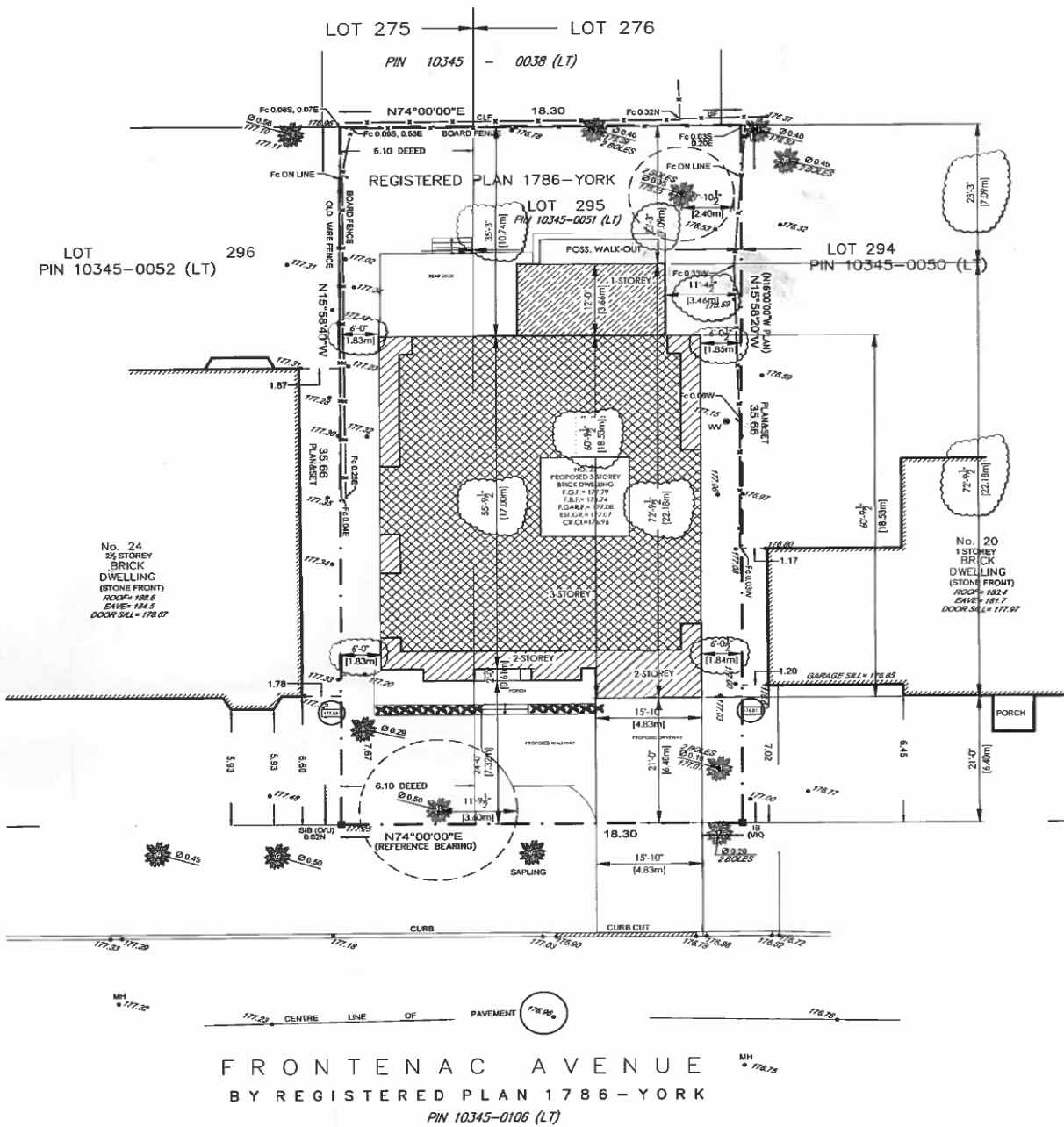
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or remove privately owned trees.
2. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

3. The property being developed essentially in accordance with the site plan attached to this decision dated May 16, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*

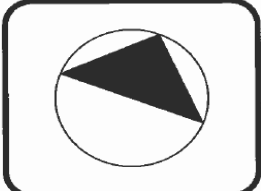
4. The proposed lot coverage of 39.68% for the main portion of the dwelling plus 3.77% for the one-storey rear addition portion only.



SURVEY INFO TAKEN FROM SURVEY PREPARED BY:
AKSAN PILLER CORP. LTD.
ONTARIO LAND SURVEYORS
943 MT PLEASANT ROAD
TORONTO, ON, M4P 2L7
PHONE(416) 488-1174 FAX(416) 488-7843

1 SITE PLAN
A1 SCALE: 1/16"=1'-0"

Project Name and Address
RESIDENCE
22 FRONTENAC AVENUE
NORTH YORK, ONTARIO



sarahifrah
ARCHITECTY INC
75 Dufflaw Road 201A, Toronto M5A 2W4
416.784.0787

Project	16.16	Sheet	A1
Date	MAY.16.17		
Issue	AS NOTED		

SIGNATURE PAGE

File Number:	A0252/17NY	Zoning	RD/ R4 [PPR]
Owner:	ROCHELLE HELLER RACHELLE HELLER	Ward:	Eglinton-Lawrence (16)
Agent:	SARAH IFRAH ARCHITECT	Heritage:	Not Applicable
Property Address:	22 FRONTENAC AVE	Community:	North York
Legal Description:	PLAN 1786 LOT 295		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0264/17NY	Zoning	RD/ R3 [ZZC]
Owner(s):	FARHAD HAJKAZEMIAN	Ward:	Don Valley West (25)
Agent:	BORTOLOTTI DESIGN ARCHITECTS	Heritage:	Not Applicable
Property Address:	108 STRATFORD CRES	Community:	North York
Legal Description:	PLAN 3678 LOT 15		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.60.10.(1), By-law No. 569-2013**
An ancillary structure may not be located in the front yard.
The proposed ancillary structure (pool) is located in the front yard.
- Chapter 10.5.60.20.(9), By-law No. 569-2013**
The minimum side yard setback for an ancillary structure used to hold water is 1.20m.
The proposed side yard setback for the structure holding water is approximately 0.96m.
- Chapter 10.5.60.30.(1), By-law No. 569-2013**
The ancillary structure must be at least 1.80m from a residential building on the same lot.
The proposed ancillary structure is 1.50m from the residential building on the same lot.
- Chapter 10.5.80.40.(2), By-law No. 569-2013**
For a detached house or semi-detached house, and for an individual townhouse dwelling unit where an individual private driveway leads directly to the dwelling unit, the elevation of the lowest point of a vehicle entrance in a main wall of the building must be higher than the elevation of the centreline of the driveway at the point where it intersects a lot line abutting a street: 100.65.
The proposed elevation of the lowest point of a vehicle entrance in a main wall of the building is 100.26.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 37.70% of the lot area.

6. **Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 18.85m.
7. **Chapter 10.5.40.70 (1) (B), By-law No. 569-2013**
The minimum required front yard setback is 7.02m.
The proposed front yard setback is 5.35m.
8. **Section 12.4(a), By-law No. 7625**
The minimum required front yard setback is 7.50m +/- 1.00m.
The proposed front yard setback is 5.35m.
9. **Section 12.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 18.85m.
10. **Section 12.6, By-law No. 7625**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 37.70% of the lot area.
11. **Section 12.7, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 10.14m.
12. **Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.50m.
The proposed finished first floor height is 1.82m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The driveway to maintain a minimum of 2% positive slope from the street to the entry of the integral garage.

SIGNATURE PAGE

File Number:	A0264/17NY	Zoning	RD/ R3 [ZZC]
Owner:	FARHAD HAJKAZEMIAN	Ward:	Don Valley West (25)
Agent:	BORTOLOTTO DESIGN ARCHITECTS	Heritage:	Not Applicable
Property Address:	108 STRATFORD CRES	Community:	North York
Legal Description:	PLAN 3678 LOT 15		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0265/17NY	Zoning	RD (f 15 ; a 550) (x 5)/R4[ZONING]
Owner(s):	HAO HUI TANG	Ward:	Willowdale (23)
Agent:	D+R DESIGN GROUP INC	Heritage:	Not Applicable
Property Address:	99 EMPRESS AVE	Community:	North York
Legal Description:	PLAN 1751 LOT 24		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 30.6% of the lot area.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 8.69m.
- 3. Section 13.2.3(a), By-law No. 7625**
The minimum required front yard setback 7.5m.
The proposed front yard setback is 5.99m.
- 4. Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 30.6% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

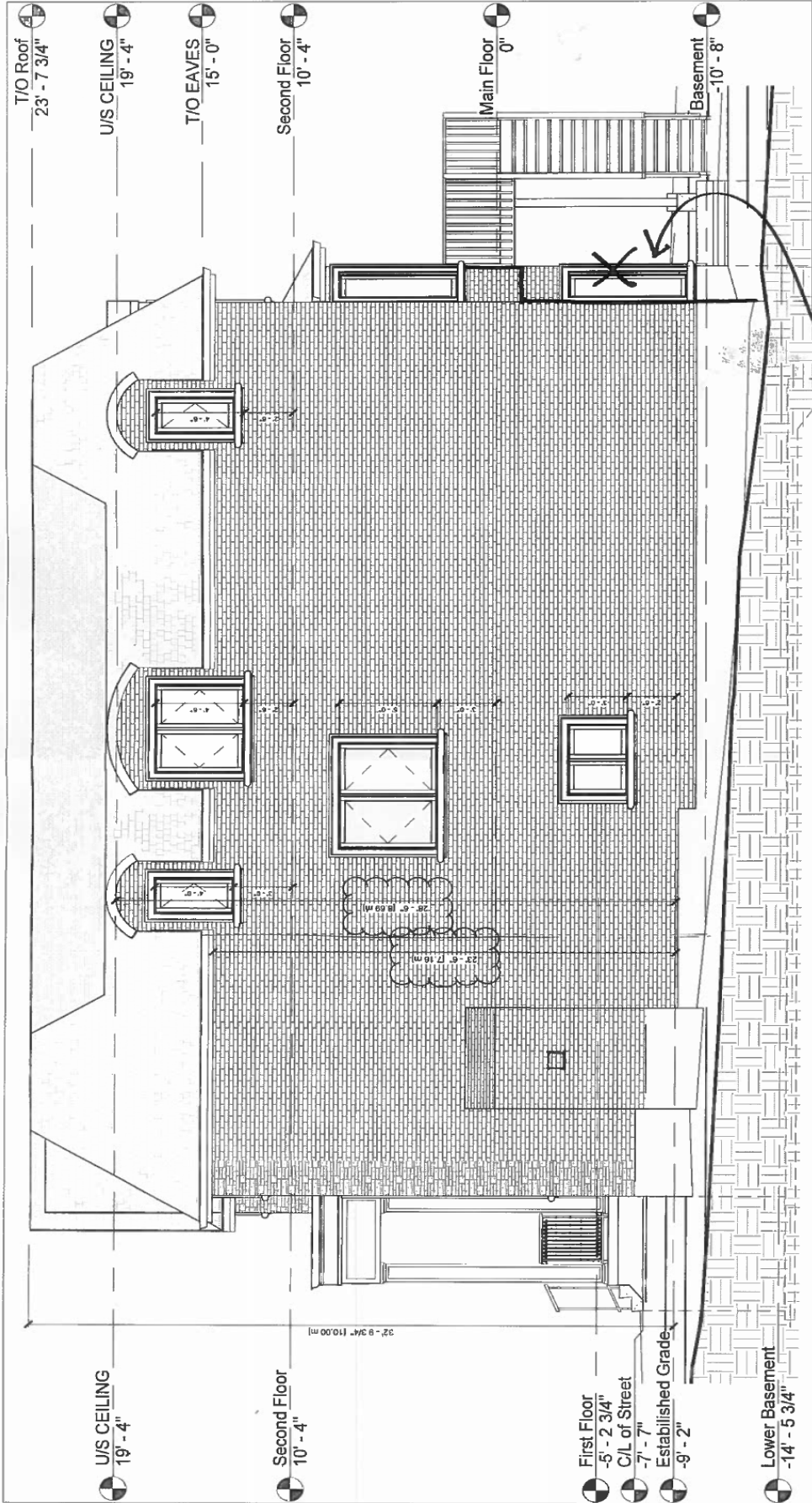
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The property being developed essentially in accordance with the east and west elevation attached to this decision dated on June 8, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



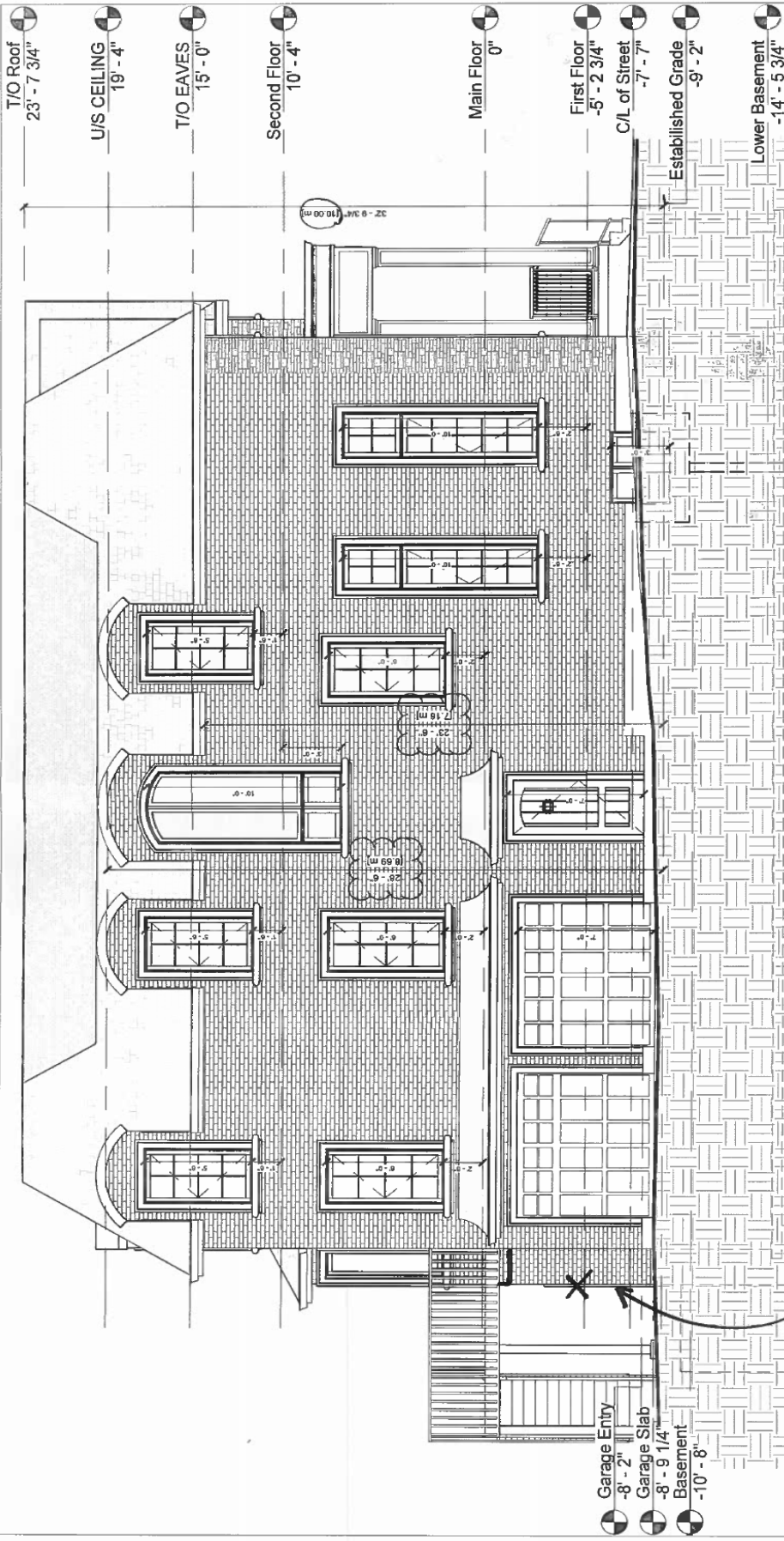
d+r
design group

40 Ferner St, 2nd Flr.
Marlham ON L3R 2Z5
(905)940-3134
info@drdesigngroupinc.com

location:	98 EMPRESS AVE	dwg no.:	A9
date:	2017-02-22	proj. no.:	16096

*No FOUNDATION
BELOW BAY WINDOW
2017/06/08
[Signature]*

1 West Elevation
A9 3/16" = 1'-0"



40 Ferrer St, 2nd Flr
 Methuen ON L3R 2Z5
 (508)840.3134
 info@drdesigngroup.com

location: 99 EMPRESS AVE
 date: 2017-02-22
 proj. no.: 16096

dwg no.: **A8**

*No FOUNDATION
 BELOW BAY WINDOW
 2017/06/08*

1 East Elevation
 A8 3/16" = 1'-0"

SIGNATURE PAGE

File Number:	A0265/17NY	Zoning	RD (f 15 ; a 550) (x 5)/R4[ZONING]
Owner:	HAO HUI TANG	Ward:	Willowdale (23)
Agent:	D+R DESIGN GROUP INC	Heritage:	Not Applicable
Property Address:	99 EMPRESS AVE	Community:	North York
Legal Description:	PLAN 1751 LOT 24		

Beth Levy (signed)

Denise Graham (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0266/17NY	Zoning	RD / R3 (ZR)
Owner(s):	BRIAN HOWARD RUDOLPH	Ward:	York Centre (10)
Agent:	ARMANDO BARBINI	Heritage:	Not Applicable
Property Address:	103 ARMOUR BLVD	Community:	North York
Legal Description:	PLAN 2044 PT LOT 739		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new second storey addition to the existing dwelling and to construct a new deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.3.10(5)(a), By-law No. 569-2013**
The minimum side yard setback is 1.8 m.
The east side yard setback to the existing garage and proposed second storey addition is 0.63 m.
- 2. Chapter 10.5.40.50.(2), By-law No. 569-2013**
A platform without main walls such as a deck, porch or similar structure attached to or within 0.3 m of a building must have a minimum setback of 1.8 m.
The proposed deck will be 1.36 m from the west lot line.
- 3. Chapter 10.5.40.60, By-law No. 569-2013**
The eaves of a roof may encroach into a required minimum building setback a maximum of 0.9 m if they are no closer than 0.3 m to the lot line.
The proposed roof eaves will project 1.59 m into the required building setback of 1.8 m and will be setback 0.21 m from the east side yard.
- 4. Section 12.4 (B)(i), By-law 7625**
The required side yard setback is 1.8 m.
The east side yard setback to the existing garage and proposed additions will be 0.63 m.
- 5. Section 12.4(a) (i)(ii), By-law 7625**
The required front yard setback is 6.5 m
The proposed addition will maintain a front yard setback of 6.3 m.
- 6. Section 6(24)(d)(ii)(A), By-law 7625**

In the rear yard, unexcavated porches or decks attached to or detached from the main building shall not be located closer to the side lot lines than 1.8 m.

The proposed deck at the rear west side of the dwelling will be 1.36 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0266/17NY	Zoning	RD / R3 (ZR)
Owner:	BRIAN HOWARD RUDOLPH	Ward:	York Centre (10)
Agent:	ARMANDO BARBINI	Heritage:	Not Applicable
Property Address:	103 ARMOUR BLVD	Community:	North York
Legal Description:	PLAN 2044 PT LOT 739		

Beth Levy (signed)

Wayne McEachern (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0267/17NY	Zoning:	RD/R1 Z0.35 [ZZC]
Owner(s):	DARLENE FENECH DENNIS DI PASQUALE	Ward:	Eglinton-Lawrence (16)
Agent:	DREW MANDEL ARCHITECTS	Heritage:	Not Applicable
Property Address:	49 GLENVIEW AVE	Community:	Toronto
Legal Description:	PLAN M87 PT LOT 167		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey and one-storey addition to the rear of the existing dwelling, in conjunction with a new storage shed and other interior and exterior alterations. The applicant is also proposing to legalize and maintain the habitable space of the third floor.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(4), By-law No. 569-2013**
The maximum permitted building height for flat roof is 7.20m.
The proposed building height is 9.60m.
- 2. Chapter 10.20.40.10.(4), By-law No. 569-2013**
The maximum number of storeys permitted is two (2).
The number of storeys is three (3).
- 3. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 22.16m.
- 4. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.00m.
The proposed building depth is 22.16m.
- 5. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.35 times the lot area.
The existing floor space index is 0.39 times the lot area.
The proposed floor space index is 0.55 times the lot area.

6. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.20m.
The existing east side yard setback is 0.03m.
7. **Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted gross floor area is 0.35 times the lot area.
The existing gross floor area is 0.39 times the lot area.
The proposed gross floor area is 0.55 times the lot area.
8. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side yard setback is 1.20m.
The existing east side yard setback is 0.03m.
9. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side yard setback is 7.50m for the portion of the dwelling exceeding 17.00m in depth.
The existing east side yard setback is 0.03m for the portion of the dwelling exceeding 17.00m in depth.
10. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side yard setback is 7.50m for the portion of the dwelling exceeding 17.00m in depth.
The existing and proposed west side yard setback is 2.90m for the portion of the dwelling exceeding 17.00m in depth.
11. **Section 6(3) Part II 7, By-law No. 438-86**
An accessory building (storage shed) with an area greater than 9.00m² requires a 3.00m setback from all lot lines.
The proposed accessory building is setback 0.30m from the east lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or remove privately owned trees.
2. The proposal be constructed in accordance with the north (front) elevation and site plan submitted to the Committee of Adjustment date stamped received by the City of Toronto Planning Division, May 24, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

**DREW
MANDEL
ARCHITECTS**

174 AVENUE BRUCE, SUITE 1101
TORONTO, ONTARIO M5G 1R2
416-922-1111
www.drewmandel.com

Indicate the use of materials & finishes to be used, and indicate the location of the materials & finishes to be used.

NO.	REVISIONS AND ISSUES	DATE
1	ISSUED FOR PERMIT	2017.04.20
2	ISSUED FOR PERMIT	2017.04.20
3	ISSUED FOR PERMIT	2017.04.20
4	ISSUED FOR PERMIT	2017.04.20
5	ISSUED FOR PERMIT	2017.04.20
6	ISSUED FOR PERMIT	2017.04.20
7	ISSUED FOR PERMIT	2017.04.20
8	ISSUED FOR PERMIT	2017.04.20
9	ISSUED FOR PERMIT	2017.04.20
10	ISSUED FOR PERMIT	2017.04.20
11	ISSUED FOR PERMIT	2017.04.20
12	ISSUED FOR PERMIT	2017.04.20
13	ISSUED FOR PERMIT	2017.04.20
14	ISSUED FOR PERMIT	2017.04.20
15	ISSUED FOR PERMIT	2017.04.20
16	ISSUED FOR PERMIT	2017.04.20
17	ISSUED FOR PERMIT	2017.04.20
18	ISSUED FOR PERMIT	2017.04.20
19	ISSUED FOR PERMIT	2017.04.20
20	ISSUED FOR PERMIT	2017.04.20

SCALE 1:200

LENGTH POINT



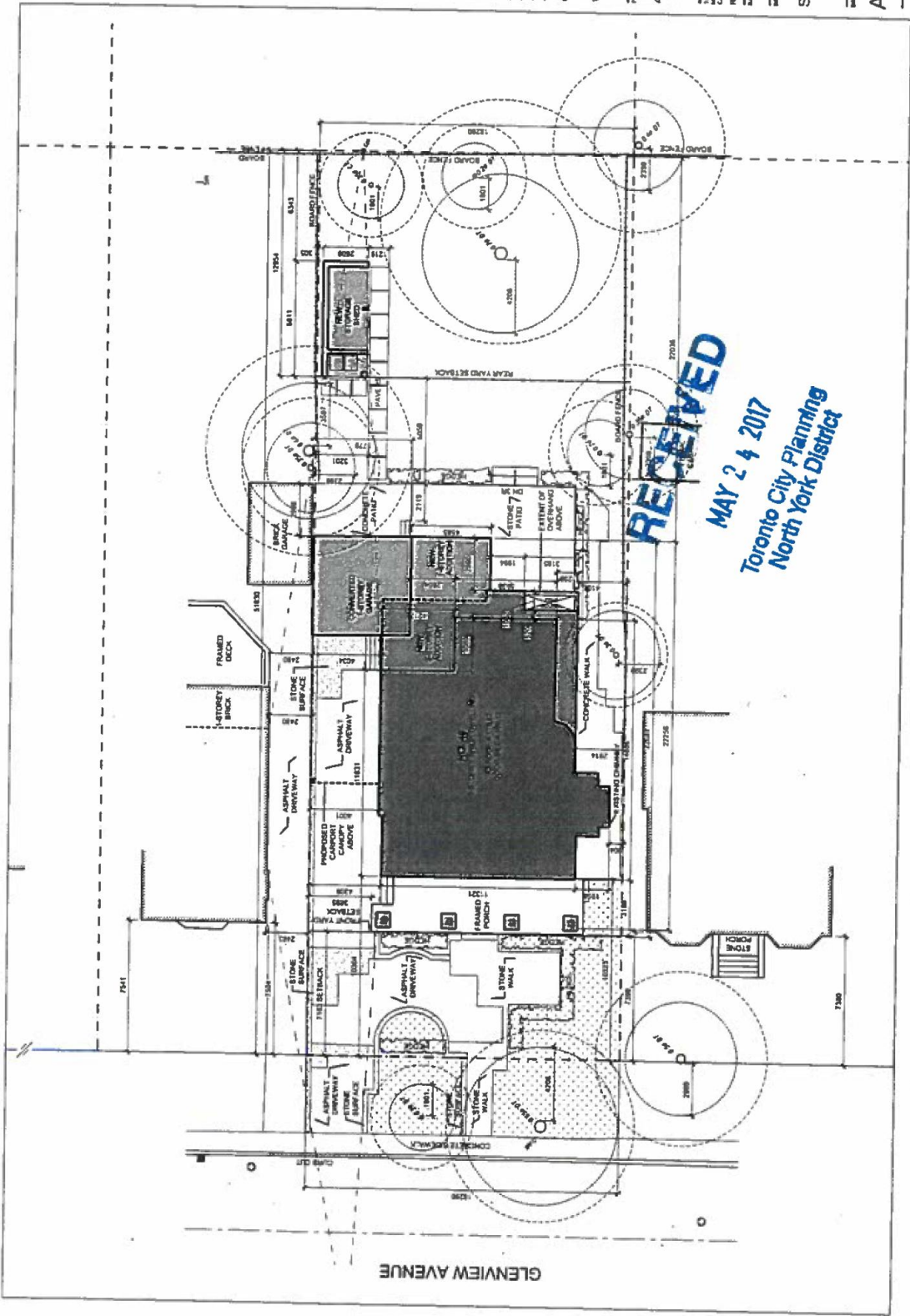
PROJECT TITLE & ADDRESS
49 GLENVIEW

PREPARED BY: DREW
MANDEL ARCHITECTS
DATE: 2017.04.20

REVISIONS
DATE: 2017.04.20

DATE: 2017.04.20

PROJECT NUMBER
A001-03



SIGNATURE PAGE

File Number:	A0267/17NY	Zoning	RD/R1 Z0.35 [ZZC]
Owner:	DARLENE FENECH DENNIS DI PASQUALE	Ward:	Eglinton-Lawrence (16)
Agent:	DREW MANDEL ARCHITECTS	Heritage:	Not Applicable
Property Address:	49 GLENVIEW AVE	Community:	Toronto
Legal Description:	PLAN M87 PT LOT 167		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0268/17NY	Zoning	RD (f 12 ; a 370)/ R6 [ZZC]
Owner(s):	ALI GHORBANKHANI	Ward:	Willowdale (24)
Agent:	OROD TAJDARAN	Heritage:	Not Applicable
Property Address:	63 ATHABASKA AVE	Community:	North York
Legal Description:	PLAN 2385 LOT 242		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1) A), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **32%** of the lot area.
- 2. Chapter 10.20.40.10.(2) B)(ii), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is approximately 8.62m.
- 3. Chapter 10.20.40.10.(6) 6), By-law No. 569-2013**
The maximum permitted height of the first floor above established grade is 1.20m.
The proposed height of the first floor above established grade is 1.33m.
- 4. Section 14-A(6), By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **32%** of the lot area.
- 5. Section 14-A(8) , By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 8.98m.
- 6. Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.20m.
The proposed finished first floor height is 1.66m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

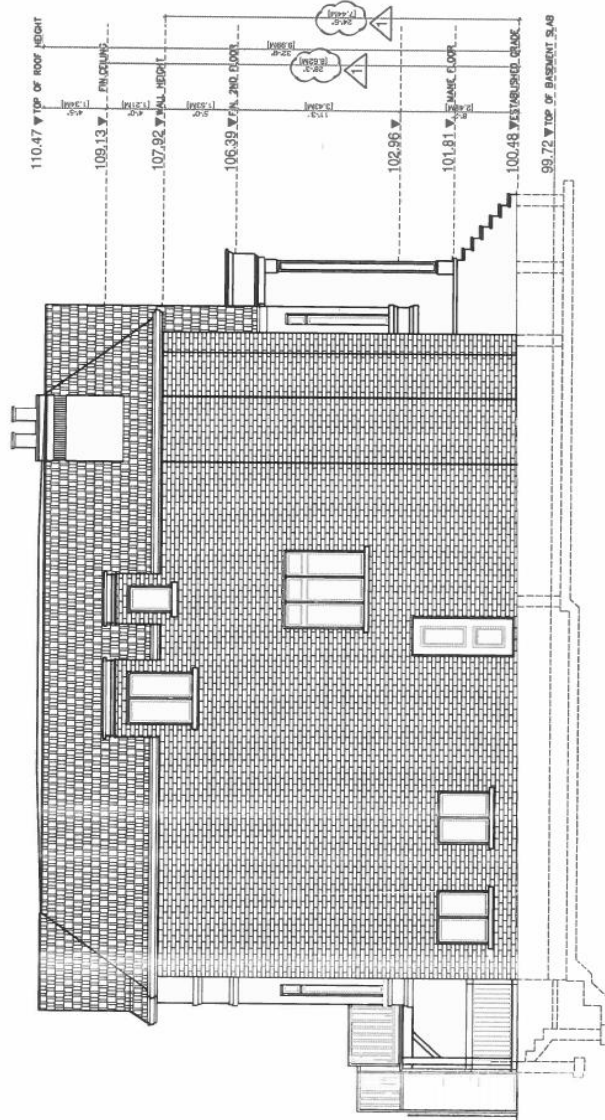
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
2. The proposal be developed in accordance with the east and west elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, May 29, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*

ALL DIMENSIONS AND RELATED DOCUMENTS ARE
 CONSIDERED TO BE THE PROPERTY OF THE
 ARCHITECT. ANY REPRODUCTION OF THIS
 DRAWING WITHOUT THE WRITTEN CONSENT OF
 THE ARCHITECT IS STRICTLY PROHIBITED.
 ALL WORK SHALL MEET THE REQUIREMENTS OF
 THE NATIONAL BUILDING CODE AND ALL APPLICABLE
 MUNICIPAL ORDINANCES AND ALL APPLICABLE
 LAWS AND REGULATIONS. THE PROJECT AND
 RELATED DESIGN SYSTEMS, MATERIALS AND
 METHODS SHALL BE THE PROPERTY OF THE
 ARCHITECT. THE ARCHITECT SHALL BE
 RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION
 OF ANY WORK.
 PRIOR TO CONSTRUCTION, CONTRACTORS SHALL
 CONSULT WITH THE ARCHITECT FOR ALL
 NECESSARY PERMITS AND APPROVALS. THE
 CONTRACTOR SHALL BE RESPONSIBLE FOR
 OBTAINING ALL NECESSARY PERMITS AND
 APPROVALS FROM THE APPROPRIATE
 AUTHORITIES. THE ARCHITECT SHALL NOT BE
 RESPONSIBLE FOR THE OBTAINING OF ANY
 PERMITS OR APPROVALS.



8 EAST ELEVATION
 A-8 SCALE: 1/8" = 1'-0"

RECEIVED
 MAY 29 2017
 Toronto City Planning
 North York District

PROJECT		63 AITHABASKI AVE	
DRAWING TITLE			
BASEMENT FLOOR PLAN AND			
DESIGNED BY	DATE	SCALE	DATE
DRAWN BY	DATE	SCALE	DATE
CHECKED BY	DATE	SCALE	DATE
PROJECT NO.	DATE	SCALE	DATE

NO.	DATE	DESCRIPTION/REVISION
1	FEB. 17, 2017	REV
2	MAY 26, 2017	LOT COVERAGE

ALL DIMENSIONS AND RELATED CONDITIONS ARE TO BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.

NO.	DATE	DESCRIPTION
1	FEB. 17, 2017	REV
2	MAY 29, 2017	LOT COVERAGE

NO.	DATE	DESCRIPTION
1	FEB. 17, 2017	REV
2	MAY 29, 2017	LOT COVERAGE

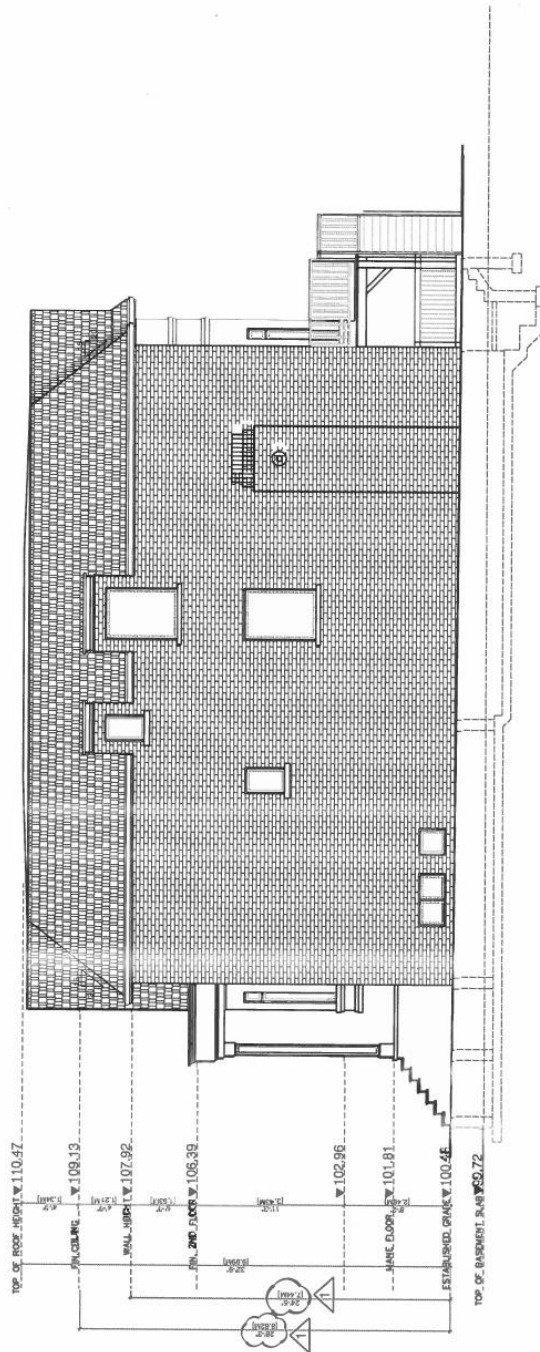
NO.	DATE	DESCRIPTION
1	FEB. 17, 2017	REV
2	MAY 29, 2017	LOT COVERAGE

NO.	DATE	DESCRIPTION
1	FEB. 17, 2017	REV
2	MAY 29, 2017	LOT COVERAGE

PROJECT
63 ATHABASKA AVE

DRAWING TITLE
BASEMENT FLOOR PLAN AND

CHECKED BY	DATE	SCALE
DRAWN BY	DATE	SCALE
PROJECT NO.		



7 WEST ELEVATION
A-7 SCALE: 1/8" = 1'-0"

RECEIVED
MAY 29 2017
Toronto City Planning
North York District

SIGNATURE PAGE

File Number:	A0268/17NY	Zoning	RD (f 12 ; a 370)/ R6 [ZZC]
Owner:	ALI GHORBANKHANI	Ward:	Willowdale (24)
Agent:	OROD TAJDARAN	Heritage:	Not Applicable
Property Address:	63 ATHABASKA AVE	Community:	North York
Legal Description:	PLAN 2385 LOT 242		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0269/17NY	Zoning	R4/RD(x5)[ZONING]
Owner(s):	NAVID AZIZI	Ward:	Don Valley East (34)
Agent:	NAVID AZIZI	Heritage:	Not Applicable
Property Address:	6 CAMWOOD CRES	Community:	North York
Legal Description:	PLAN 5542 L 84		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second floor addition above the existing one-storey dwelling, a two-storey rear addition and a rear deck. Please be advised the subject property went before the Committee of Adjustment on January 12, 2017, approved development application.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.6.10.(5), By-law No. 569-2013**
The minimum required north side yard setback is 1.8m.
The proposed north side yard setback is 1.56m.
- 2. Section 13.2.3(b), By-law No. 7625**
The minimum required north side yard setback is 1.8m.
The proposed north side yard setback is 1.56m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0269/17NY	Zoning	R4/RD(x5)[ZONING]
Owner:	NAVID AZIZI	Ward:	Don Valley East (34)
Agent:	NAVID AZIZI	Heritage:	Not Applicable
Property Address:	6 CAMWOOD CRES	Community:	North York
Legal Description:	PLAN 5542 L 84		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0270/17NY	Zoning	RD / R3 (ZW)
Owner(s):	ALAA KABAH	Ward:	Don Valley West (25)
Agent:	DUYEN NGUYEN	Heritage:	Not Applicable
Property Address:	12 MEDALIST RD	Community:	North York
Legal Description:	PLAN M866 LOT 310		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

TO construct a new detached dwelling with attached garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10(5), By-law No. 569-2013**
The permitted minimum of 10.0 m² of first floor must be within 4.0 m of the front main wall.
The proposed mud room/office is not within 4.0 m of the front main wall.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the side exterior main walls facing a side lot line is 7.67 m.
- Chapter 10.5.40.70, By-law No. 569-2013**
The required minimum front yard setback is the average of the front yard setbacks of those building on the abutting lots in this case is 10.85 m.
There proposed front yard setback is 9.24 m.
- Chapter 10.20.4.70.(3), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m where the required minimum lot frontage is 18.0 m.
The proposed south side yard setback is 1.5 m.
- Chapter 10.20.40.50.(1), By-law No. 569-2013**
The permitted maximum number of platforms at or above the second story located on the rear wall of a detached house is 1.
The proposed number of platforms located on the rear wall is 2.
- Chapter 10.20.40.50.(1), By-law No. 569-2013**
The permitted maximum area of each platform at or above the second story of a detached house is 4.0 m².

The proposed area of the platform at or above the second storey is: 9.96 m² and 11.83 m².

7. Chapter 10.5.40.50.(1), By-law No. 569-2013

The required building setback for exterior stairs providing pedestrian access to a building or structure may encroach are no wider than 2.0 m.

The proposed front stairs are 3.73 m wide.

8. Chapter 5.10.40.70.(6), By-law No. 569-2013

The permitted maximum building length for a detached house is 17 m.

The proposed building length is 20.10 m.

9. Chapter 5.10.40.70.(6), By-law No. 569-2013

The Toronto and Region Conservation Authority determines that a shoreline hazard limit or a stable top-of-bank crosses a lot building or structure on that lot must be set back a minimum of 10 metres from that shoreline hazard limit or stable top-of-bank.

The proposed building setback from the south shoreline hazard limit or stable top-of-bank is 7.84 m.

10. Chapter 5.10.40.70.(6), By-law No. 569-2013

The Toronto and Region Conservation Authority determines that a shoreline hazard limit or a stable top-of-bank crosses a lot building or structure on that lot must be set back a minimum of 10 metres from that shoreline hazard limit or stable top-of-bank.

The proposed building setback from the north shoreline hazard limit or stable top-of-bank is 1.75 m.

11. Section 12.7, By-law No. 7625

The maximum permitted building height is 8.0 m for a flat roof.

The proposed building height is 9.7 m for the flat roof.

12. Section 12.4(b), By-law No. 7625

The minimum side yard setback is 1.8 m

The proposed south side yard setback is 1.5 m.

13. Section 12.7A, By-law No. 7625

The maximum permitted balcony area is 3.8 m²

The proposed balcony areas are: 9.96 m² and 11.83 m²

14. Section 12.7A, By-law No. 7625

The permitted maximum number of platforms at or above the second storey located on the rear wall of a detached house is 1.

The proposed number of platforms located on the rear wall is 2.

15. Section 6(9)(b), By-law No. 7625

Exterior stairways shall be permitted to project into the minimum rear yard setback no more than 2.1 m.

The proposed rear stairs project approximately 12.63 m into the rear yard.

16. Section 12.5A, By-law No. 7625

The maximum permitted building length is 16.80 m.

The proposed building length is 20.84 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

SIGNATURE PAGE

File Number:	A0270/17NY	Zoning	RD / R3 (ZW)
Owner:	ALAA KABAH	Ward:	Don Valley West (25)
Agent:	DUYEN NGUYEN	Heritage:	Not Applicable
Property Address:	12 MEDALIST RD	Community:	North York
Legal Description:	PLAN M866 LOT 310		

Beth Levy (signed) Denise Graham (signed) Giacomo Tonon (signed)

Rick Ross (signed) Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0273/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	SYLVIA LAU	Ward:	Willowdale (23)
Agent:	ANTONIO MIKE CIOCIOLA GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	138 BURNDALE AVE	Community:	North York
Legal Description:	PLAN M40 W PT LOT 387		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.100.1.(1), By-law No. 569-2013**
The maximum permitted driveway width is 3.10m.
The proposed driveway width is 3.68m.
- Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.
The proposed first floor area is 3.67m² within 4.00m of the main front wall.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **32%** of the lot area.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted main wall height is 7.50m.
The proposed main wall height is 7.92m.
- Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 0.90m.
- Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 0.90m.

7. Chapter 10.5.40.50.(2), By-law No. 569-2013

A platform without main walls such as a deck, porch or balcony must comply with the required minimum building setbacks for the zone; 1.80m.

The proposed front porch and rear deck would have a side yard setback of 0.90m.

8. Chapter 200.5.1.10.(2), By-law No. 569-2013

The minimum required parking space must have minimum required dimensions of 3.20m in width and 5.60m in length.

The proposed parking space is 3.10m in width and 5.90m in length.

9. Section 13.2.1 & 6(8), By-law No. 7625

The minimum required lot frontage and width is 15.00m.

The existing lot frontage and width is 7.62m.

10. Section 13.2.2, By-law No. 7625

The minimum required lot area is 550.00m².

The existing lot area is 272.90m².

11. Section 13.2.3(a), By-law No. 7625

The minimum required front yard setback is 6.50m.

The proposed front yard setback is 6.33m.

12. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.50m.

The proposed west side yard setback is 0.90m.

13. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.50m.

The proposed east side yard setback is 0.90m.

14. Section 13.2.4, By-law No. 7625

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is **32%** of the lot area.

15. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is **9.50m**.

16. Section 6(30), By-law No. 7625

The maximum permitted finished first floor height is 1.50m.

The proposed finished first floor height is **1.70m**.

17. Section 6A(3), By-law No. 7625

The minimum required parking space must have minimum required dimensions of 3.20m in width and 5.60m in length.

The proposed parking space is 3.10m in width and 5.90m in length.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0273/17NY	Zoning	RD/R4 [ZZC]
Owner:	SYLVIA LAU ANTONIO MIKE CIOCIOLA	Ward:	Willowdale (23)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	138 BURNDALE AVE	Community:	North York
Legal Description:	PLAN M40 W PT LOT 387		

Beth Levy (signed) Denise Graham (signed) Giacomo Tonon (signed)

Rick Ross (signed) Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0274/17NY	Zoning	RD/ R4 [ZZC]
Owner(s):	BERNARD MARTIN WOLF	Ward:	Willowdale (24)
Agent:	EY1	Heritage:	Not Applicable
Property Address:	68 CENTRE AVE	Community:	North York
Legal Description:	PLAN 3475 W PT LOT 21		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum building length for a detached house is 17.00m.
The proposed building length is **17.95m**.
- 2. Chapter 10.20.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 15.00m.
The proposed front yard setback is 12.20m.
- 3. Chapter 10.20.40.70.(4), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.53m.
- 4. Chapter 10.20.40.70.(4), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.22m.
- 5. Chapter 10.20.40.10.(2) B(ii), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is **7.72m**.
- 6. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.53m.

7. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.22m.

8. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m and 18.90m with a one-storey rear extension.
The proposed building length is **17.95m** with a one-storey rear extension.

9. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.
The proposed building height is **9.31m**.

10. Section 6(30)a, By-law No. 7625

The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is **1.83m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

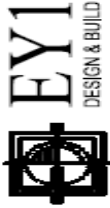
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or remove privately owned trees.
2. The proposal be developed in accordance with the site plan drawing submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, May 29, 2017. The proposal be developed in accordance with the east elevation drawing submitted to the Committee of Adjustment. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*

PROJECT DESIGNER:



319 Elmwood Ave,
Richmond Hill,
ONTARIO, L4C 1L7
Tel: 416 428 6360
Fax: 905 884 2382

REGISTRATION INFORMATION
Required unless design is exempt under 217.4.1. of the building code.
EYI INC. 33885
PRO. NO. 18870

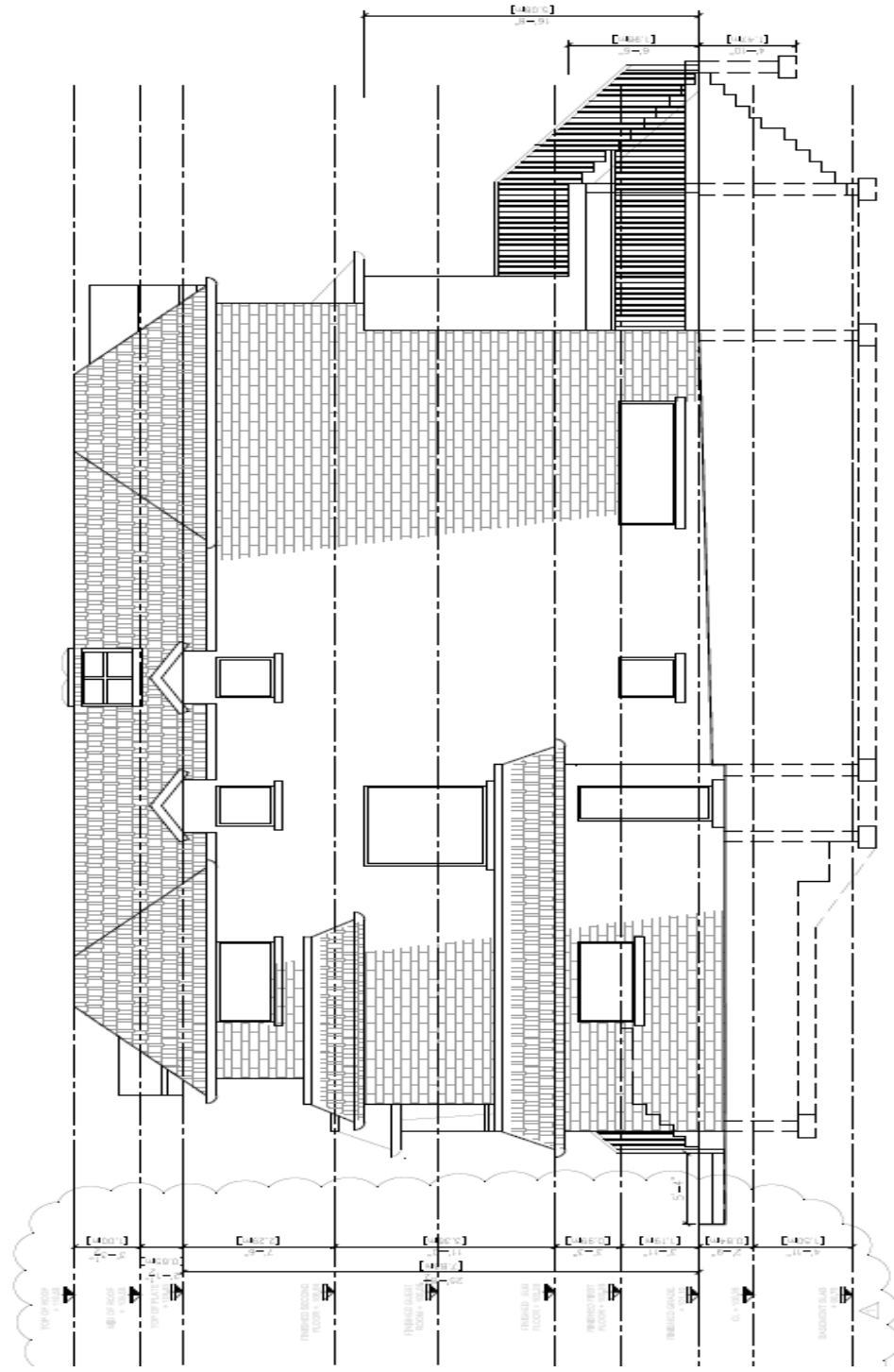
QUALIFICATION INFORMATION
Required unless design is exempt under 217.5.1. of the building code.
The subcontractor has reviewed and taken responsibility for this design and for the construction of the work in accordance with the Ontario Building Code to the Designer.

PROFESSIONAL DESIGNER 25870
DATE: 10/11/11

ENGINEER'S STAMP:

PROJECT TITLE:
NEW
SINGLE FAMILY DWELLING
88 Center Avenue
North York, Ontario

DRAWING TITLE:
FAST FIVATION



DATE	NO.	DESCRIPTION
MAY24/17	1	AS INDICATED

PROJECT DESIGNER

EYI
DESIGN & BUILD
 319 Elmwood Ave.
 Richmond Hill,
 ONTARIO, L4C 1L7
 Tel: 416 428 6360
 Fax: 905 884 2352

REGISTRATION INFORMATION
 Required unless design is exempt under 2.17.4.1 of the building code
 EIT REG. NO. 23885
 PROFESSION: ARCHITECTURE

QUALIFICATION INFORMATION
 Required unless exempt under 2.17.5.1 of the building code
 The undersigned has reviewed and taken responsibility for this design and that the contractor shall comply with the requirements set out in the Contract Documents for the design.

PROFESSIONAL INFORMATION
 28870
 28870

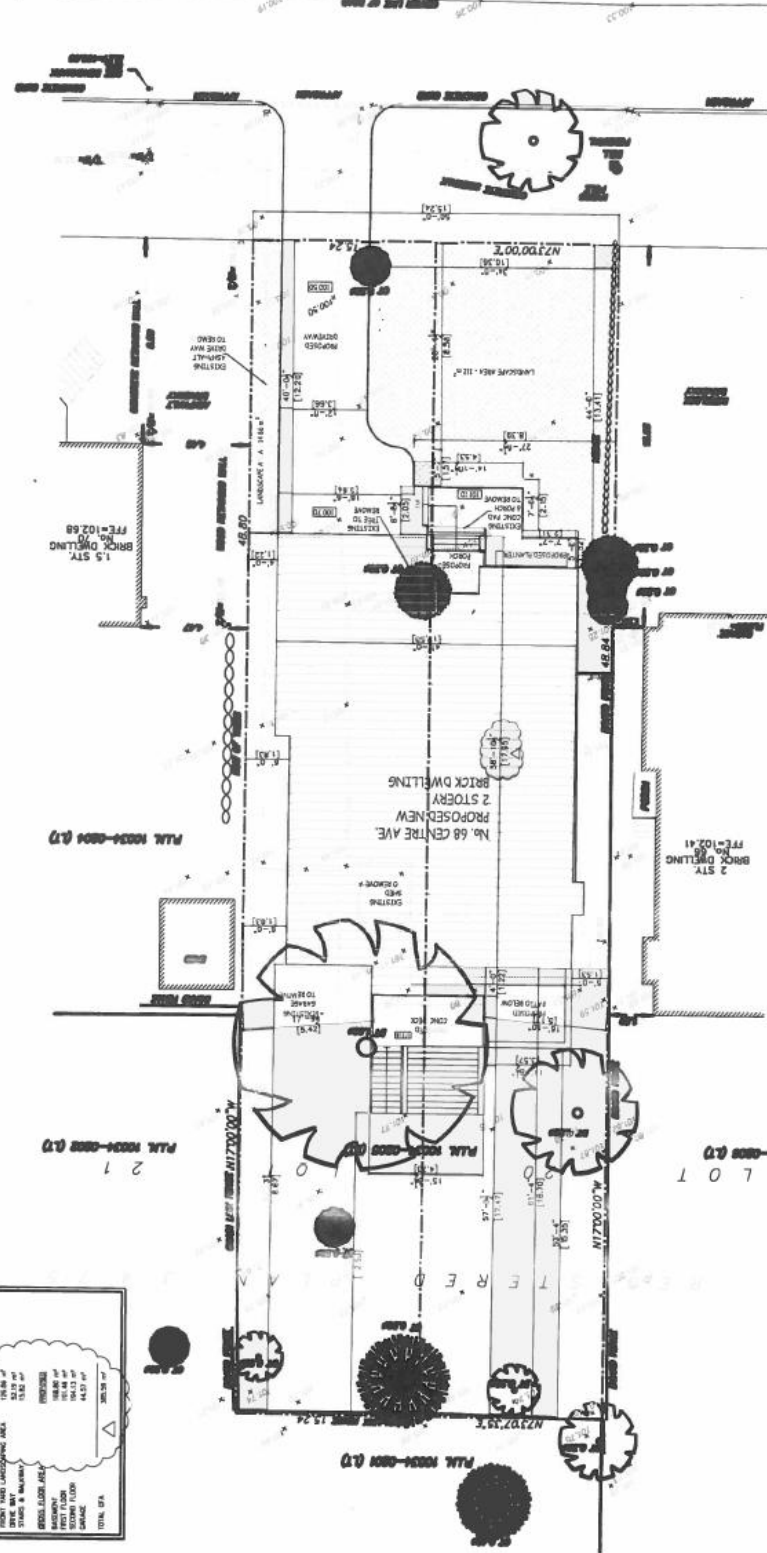
ENGINEER'S STAMP

PROJECT TITLE
NEW SINGLE FAMILY DWELLING
 68 Centre Avenue
 North York, Ontario

DRAWING TITLE
SITE PLAN

Scale:	As Noted
Drawn by:	H.E.
Date Started:	JANUARY-2017
PROJECT No.	161204
DRAWING No.	A1

CENTRE AVENUE
 (BY REFERENCED PLAN 3026, PLAN N003-0008 (L7))
 (AS COMPARED BY PLAN 04-000)



GENERAL STATISTICS	
LOT AREA	14,157 sq. ft. (CR 48)
CONCRETE	23,338 sq. ft. (CR 48)
LOT FRONT	33.4 m
LOT DEPTH	33.4 m
LOT FRONTAGE	19.8 m
MAXIMUM LOT WIDTH	33.4 m
MAXIMUM LOT DEPTH	33.4 m
MAXIMUM LOT AREA	14,157 sq. ft.
MAXIMUM LOT PERCENTAGE	100%
REQUIREMENTS	
MINIMUM FRONT SETBACK	3.0 m
MINIMUM SIDE SETBACK	1.5 m
MINIMUM REAR SETBACK	1.5 m
MINIMUM FRONT YARD LANDSCAPING AREA	10.0 sq. m
MINIMUM SIDE YARD LANDSCAPING AREA	10.0 sq. m
MINIMUM REAR YARD LANDSCAPING AREA	10.0 sq. m
MINIMUM FRONT YARD LANDSCAPING HEIGHT	1.5 m
MINIMUM SIDE YARD LANDSCAPING HEIGHT	1.5 m
MINIMUM REAR YARD LANDSCAPING HEIGHT	1.5 m
MINIMUM FRONT YARD LANDSCAPING WIDTH	1.5 m
MINIMUM SIDE YARD LANDSCAPING WIDTH	1.5 m
MINIMUM REAR YARD LANDSCAPING WIDTH	1.5 m
MINIMUM FRONT YARD LANDSCAPING DEPTH	1.5 m
MINIMUM SIDE YARD LANDSCAPING DEPTH	1.5 m
MINIMUM REAR YARD LANDSCAPING DEPTH	1.5 m
TOTAL GFA	28,676 sq. ft.

RECEIVED
 MAY 29 2017
 Toronto City Planning
 North York District

1 SITE PLAN
 A1 SCALE: 1/16" = 1'-0"

SIGNATURE PAGE

File Number:	A0274/17NY	Zoning	RD/ R4 [ZZC]
Owner:	BERNARD MARTIN WOLF	Ward:	Willowdale (24)
Agent:	EY1	Heritage:	Not Applicable
Property Address:	68 CENTRE AVE	Community:	North York
Legal Description:	PLAN 3475 W PT LOT 21		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0275/17NY	Zoning	RD/R5[ZONING]
Owner(s):	LUCE BOUCHARD FRANCOIS DESAULNIERS	Ward:	Don Valley West (25)
Agent:	ERIC BORDELEAU	Heritage:	Not Applicable
Property Address:	7 CASSIDY PL	Community:	North York
Legal Description:	PLAN 4332 LOT 65		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 7.2m.
The proposed building height is 7.5m.
- 2. Chapter 10.5.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 10.03m.
The proposed front yard setback is 7.92m.
- 3. Chapter 10.20.40.70.(2), By-law No. 569-2013**
The minimum required rear yard setback is 8.8m.
The proposed rear yard setback is 5.56m.
- 4. Chapter 10.5.40.10.(5), By-law No. 569-2013**
An area of 10m² of the first floor must be within 4m of the front main wall.
The proposed area is 8.1m² within 4m of the front main wall.
- 5. Chapter 10.5.40.60.(3), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2.0m.
The proposed front exterior stair is 3m wide.
- 6. Section 13.2.3c, By-law No. 7625**
The minimum required rear yard setback is 9.5m.

The proposed rear yard setback is 5.56m.

7. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.8m.

The proposed building length is 18.6m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0275/17NY	Zoning	RD/R5[ZONING]
Owner:	LUCE BOUCHARD FRANCOIS DESAULNIERS	Ward:	Don Valley West (25)
Agent:	ERIC BORDELEAU	Heritage:	Not Applicable
Property Address:	7 CASSIDY PL	Community:	North York
Legal Description:	PLAN 4332 LOT 65		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, June 8, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0276/17NY	Zoning	RD / R3 (ZR)
Owner(s):	BARBARA H JOHNSON	Ward:	Eglinton-Lawrence (16)
Agent:	DAVID STICKNEY	Heritage:	Not Applicable
Property Address:	40 DE VERE GDNS	Community:	North York
Legal Description:	PLAN 1965 LOT 276		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new covered porch on the front of the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.50, By-law No. 569-2013

A platform without main walls such as a deck, porch, balcony or similar structure, attached to or within 0.3 m of a building, must comply with the required building setbacks (1.5 m) for the zone.
The proposed side yard setback is 0.89 m.

2. Chapter 10.20.40.70.(3), By-law No. 569-2013

The required minimum side yard setback is 1.5 m where the required minimum lot frontage is 15.0 m to less than 18.0 m.
The proposed side yard setback is 0.89 m.

3. Section 6(9)(f), By-law No. 7625

Porches and decks, either excavated or unexcavated, shall be permitted into the minimum front yard setback not more than 2.10m but not closer to the side lot line than the minimum side yard setback for the main building; 1.80m.

The proposed front porch projects 2.77m into the required front yard setback with a side yard setback of 0.89m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

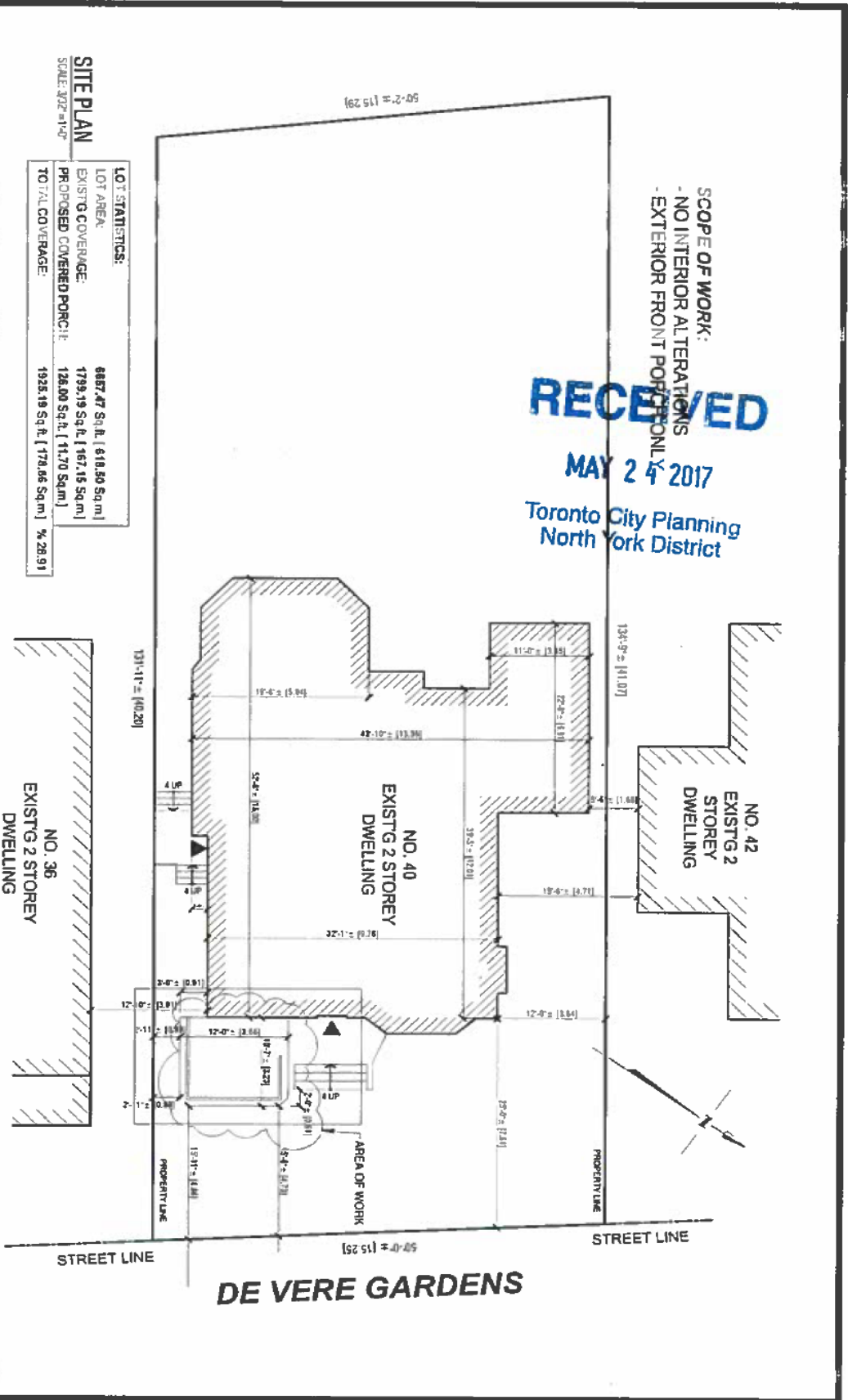
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be constructed in accordance with the front elevation and site plan submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, May 24, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*
2. The covered front porch is to remain open and unenclosed on three sides.

SCOPE OF WORK:
 - NO INTERIOR ALTERATIONS
 - EXTERIOR FRONT PORCH ONLY

RECEIVED
MAY 24 2017
 Toronto City Planning
 North York District



SITE PLAN
 SCALE: 1/32" = 1'-0"

LOT STATISTICS:
 LOT AREA: 6887.47 Sq. Ft. (638.50 Sq.m)
 EXIST'G COVERAGE: 1793.19 Sq. Ft. (167.15 Sq.m)
 PROPOSED COVERAGE: 126.00 Sq. Ft. (11.70 Sq.m)
 TOTAL COVERAGE: 1923.19 Sq. Ft. (178.06 Sq.m) % 28.91

ALL DIMENSIONS ARE THE PORTION OF THE STRUCTURE.
 THE DIMENSIONS ARE NOT TO BE INTERFERED BY
 PROJECTIONS FROM THE STRUCTURE.
 CONSTRUCTION TO BE IN ACCORDANCE WITH ALL
 APPLICABLE CODES AND REGULATIONS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR
 OBTAINING ALL NECESSARY PERMITS AND
 APPROVALS FROM THE APPLICABLE AGENCIES.
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 OBTAINING ALL NECESSARY PERMITS AND
 APPROVALS FROM THE APPLICABLE AGENCIES.

SCOPE OF WORK:



TAG STRUCTURAL GROUP Inc.
 1288 BLOOR ST. W., SUITE 203
 TORONTO, ONTARIO, M6H 1N9
 WWW.TAGINC.COM T 416 645 0550 F 416 532 7179

No.	Date	Revisions

Project Name And Address: **40 DE VERE GARDENS NORTH YORK**

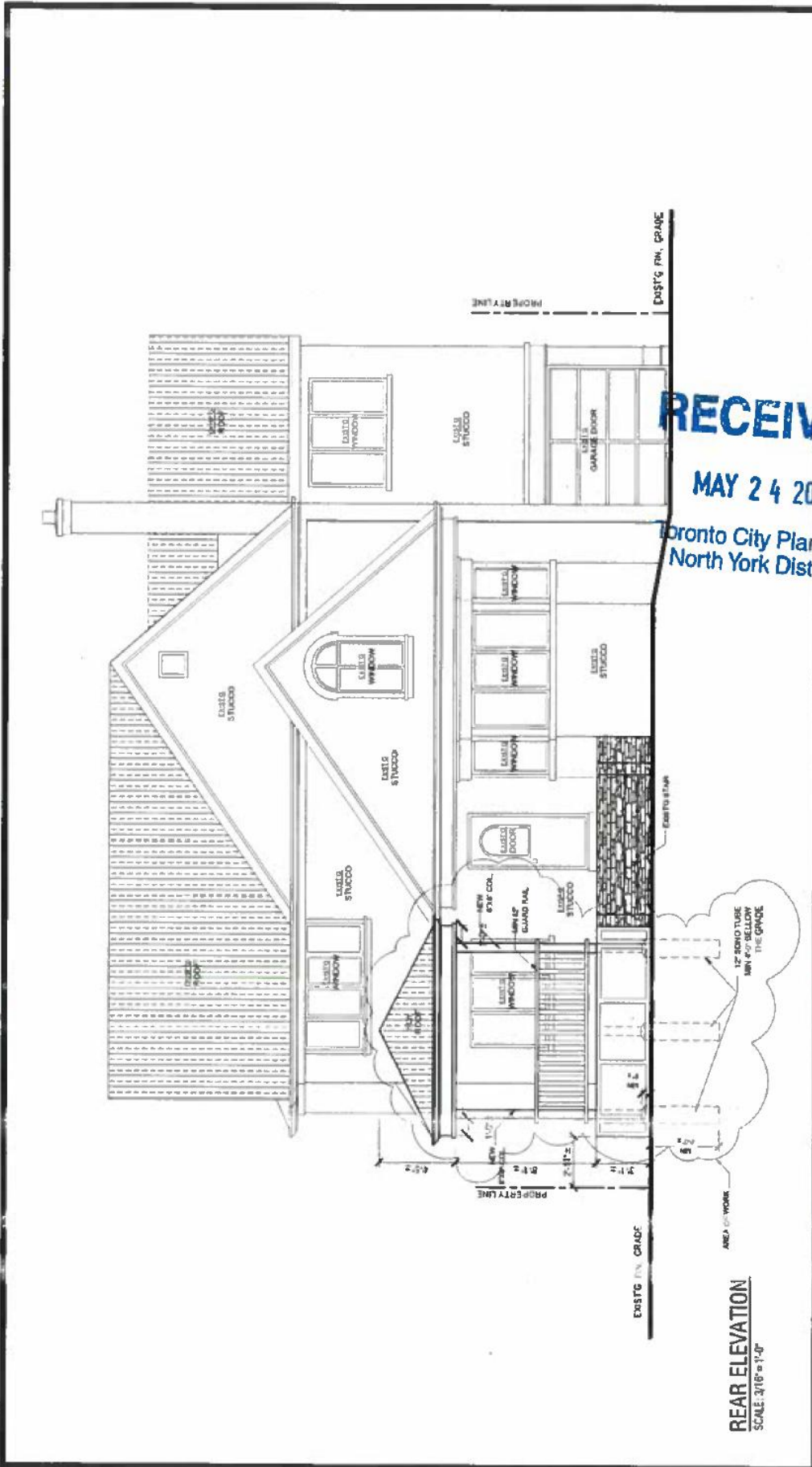
Drawing Title: **SITE PLAN**

Scale As Shown: **Drawn All**

Checked By: **St. Talebi**

Drawing No.: **A-01**

Date: **APR. 2016**



RECEIVED

MAY 24 2007

Toronto City Planning
North York District

REAR ELEVATION
SCALE: 3/16" = 1'-0"

ALL DRAWINGS ARE THE PROPERTY OF TAG STRUCTURAL INC. AND THEY ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT WRITTEN PERMISSION FROM TAG STRUCTURAL INC. CONTRACTOR TO CHECK AND VERIFY ALL CONDITIONS AND TO REPORT ANY DISCREPANCIES ON PLANS TO THE ARCHITECT IMMEDIATELY. DRAWINGS ARE TO BE USED FOR CONSTRUCTION ONLY. ACCORDING TO THE BEST BUILDING CODE ENACTED AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS APPROVED AND SIGNED BY A REGISTERED PROFESSIONAL ENGINEER.

SCOPE OF WORK:



TAG STRUCTURAL GROUP Inc.
Architectural & Engineering Services
1288 BLOOR ST. W. SUITE 203
TORONTO, ONTARIO, M6H 3H9
www.taginc.ca T 416 655 0550 F 416 552 7479

Project Name	40 DE VERE GARDENS NORTH YORK
Drawing Title	ELEVATION
Scale	As Shown
Drawn	ALT
Checked By	Sh. Talar
Date	
Revised	

Drawing No.	A-05 16-T15
Date	APR. 20 06

SIGNATURE PAGE

File Number:	A0276/17NY	Zoning	RD / R3 (ZR)
Owner:	BARBARA H JOHNSON	Ward:	Eglinton-Lawrence (16)
Agent:	DAVID STICKNEY	Heritage:	Not Applicable
Property Address:	40 DE VERE GDNS	Community:	North York
Legal Description:	PLAN 1965 LOT 276		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0277/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	MAJID RAHIMIAN MASHHADI	Ward:	Willowdale (24)
Agent:	MAJID RAHIMIAN MASHHADI	Heritage:	Not Applicable
Property Address:	192 NEWTON DR	Community:	North York
Legal Description:	PLAN 4855 LOT 125		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.50m.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 17.61m.
- 3. Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.50m.
- 4. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.50m.
- 5. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.50m.
- 6. Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.

The proposed building length is 17.61m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0277/17NY	Zoning	RD/R4 [ZZC]
Owner:	MAJID RAHIMIAN MASHHADI	Ward:	Willowdale (24)
Agent:	MAJID RAHIMIAN MASHHADI	Heritage:	Not Applicable
Property Address:	192 NEWTON DR	Community:	North York
Legal Description:	PLAN 4855 LOT 125		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0278/17NY	Zoning	R (f7.5; d0.6) x933/ R2 Z0.6 [ZZC]
Owner(s):	ROBERT W HALL ROBERT W HALL	Ward:	Don Valley West (25)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	185 BOWOOD AVE	Community:	Toronto
Legal Description:	PLAN M260 PT LOT 259		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.50.10.(1), By-law No. 569-2013**
A minimum of 75.00% of the required front yard landscaping must be soft landscaping.
The proposed front yard soft landscaping area is 42.10%.
- 2. Chapter 10.10.40.30.(1), By-law No., 569-2013**
The maximum permitted building depth for a detached or semi-detached house is 17.00m.
The proposed building depth is 18.67m.
- 3. Chapter 10.10.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.60 times the area of the lot.
The proposed floor space index is 0.66 times the area of the lot.
- 4. Chapter 10.10.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 9.36m.
- 5. Section 6(3) Part I 1, By-law No. 438-86**
The maximum residential gross floor area is 0.60 times the area of the lot.
The proposed residential gross floor area of the building exceeds the maximum permitted by approximately 18.15m².
- 6. Section 6(3) Part II 3(I), By-law No. 438-86**

The by-law requires a building to be located no closer than 1.20m to the side wall of an adjacent building that contains no openings.

The proposed building is located 0.46 from the adjacent building.

7. Section 6(3) Part II 3.B(II), By-law No. 438-86

The by-law requires a detached house to have a minimum side lot line setback of 7.50m from the side lot line for that portion of the building exceeding 17.00m in depth.

The proposed side lot line setback is 0.46m on the east side.

8. Section 6(3) Part II 3.B(II), By-law No. 438-86

The by-law requires a detached house to have a minimum side lot line setback of 7.50m from the side lot line for that portion of the building exceeding 17.00m in depth.

The proposed side lot line setback is 1.06m on the west side.

9. Section 6(3) Part III 3(d)i(D), By-law No. 438-86

The by-law requires 75.00% of the minimum required front yard landscaped open space to be in the form of soft landscaping.

The proposed soft landscaping open space is 42.10%.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

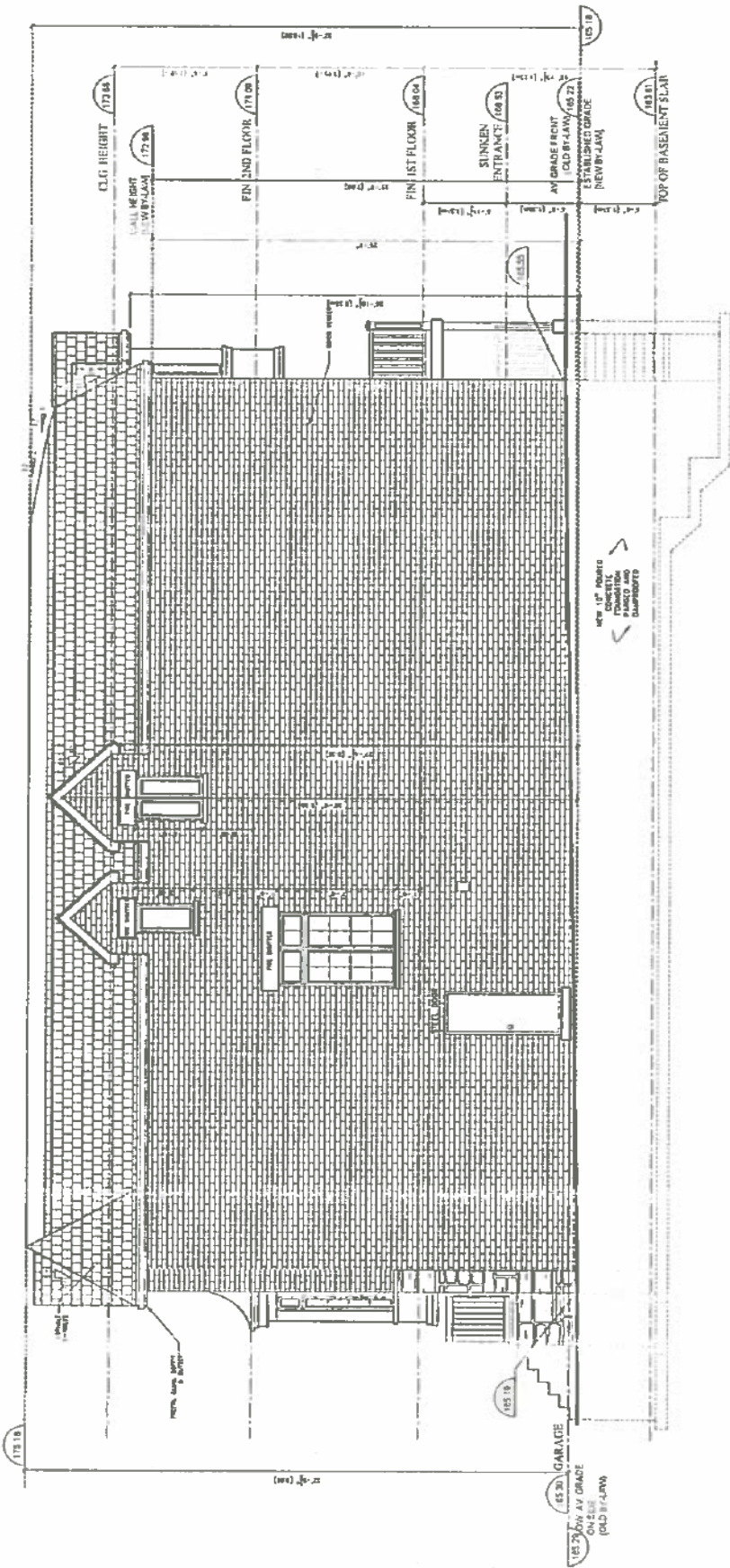
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
2. The proposal be developed in accordance with the Site Plan, Right Side Elevation, and Left Side Elevation drawings submitted to the Committee of Adjustment date stamped received by the City of Toronto Planning Division, May 30, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



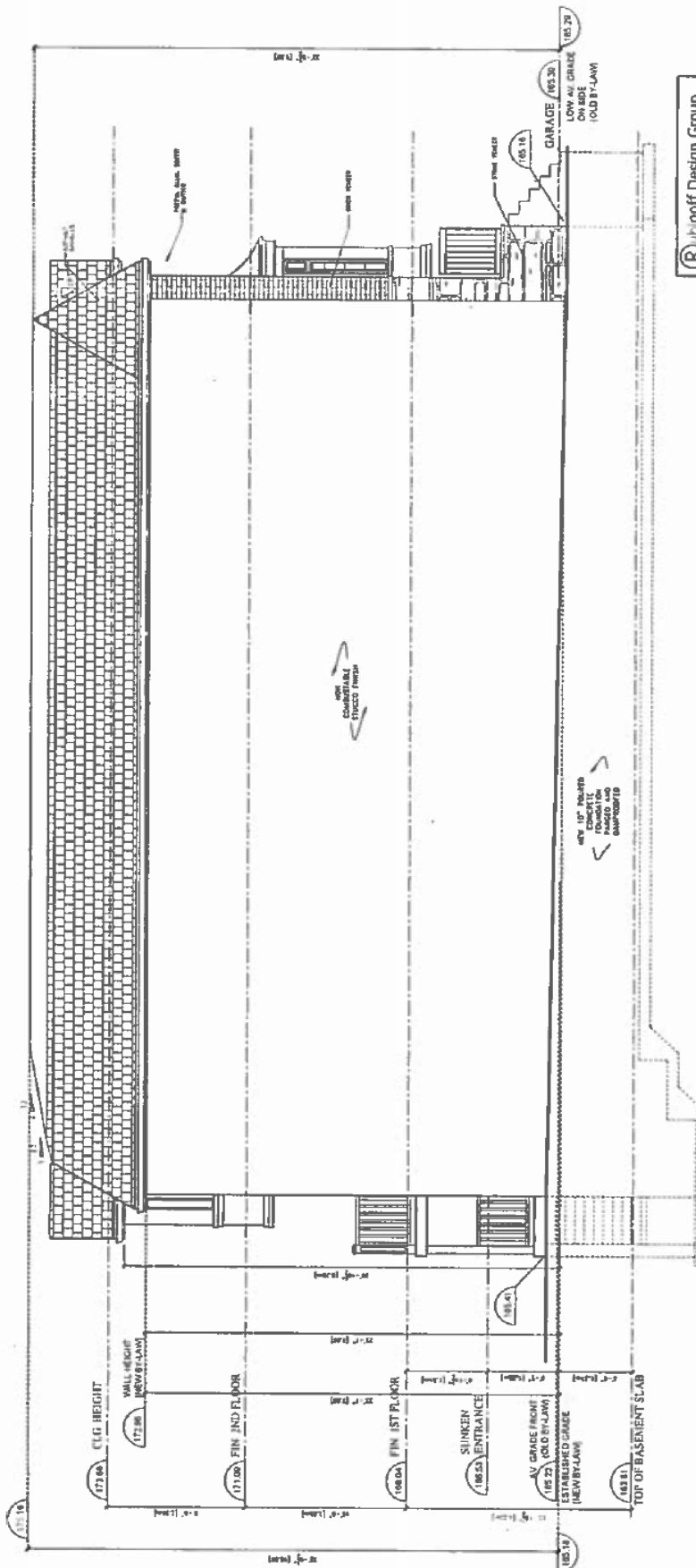
Rubinoff Design Group
 697 Mount Pleasant Road
 Toronto, Ontario M4S 3M4
 Tel: (416) 461-2111 Fax: (416) 461-2112
 www.rubinoffdesign.com
 166 BOWOOD AVE
 TORONTO, ONTARIO
 M 1 Y 1H (416) 11 3911

RIGHT SIDE ELEVATION
 WEST

RECEIVED

MAY 30 2017

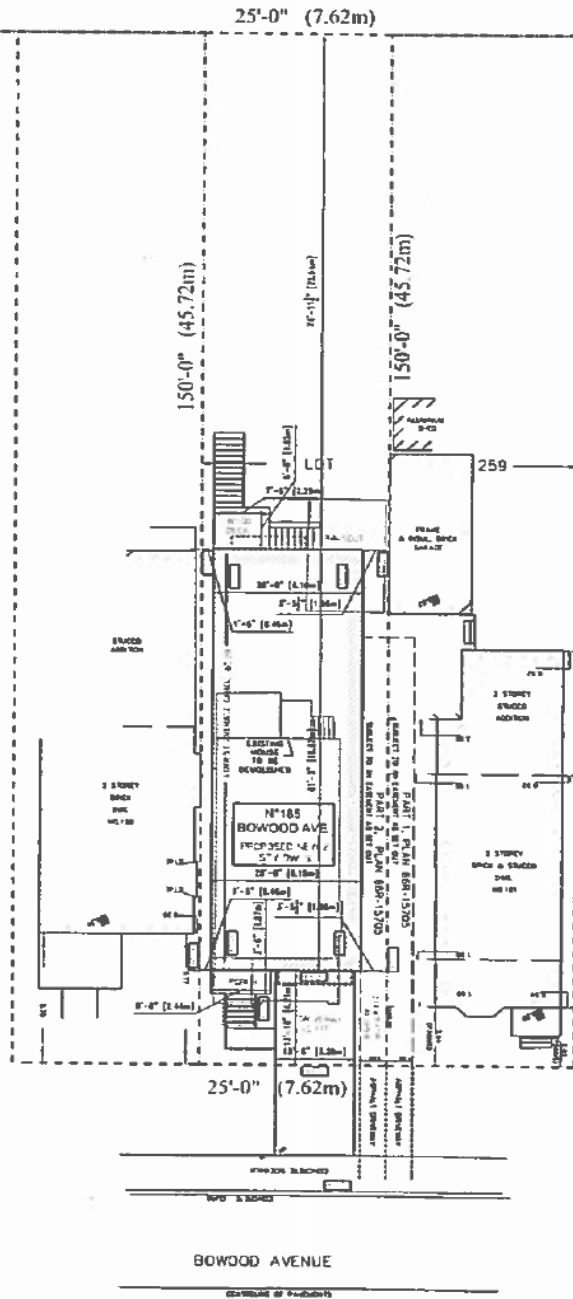
Toronto City Planning
 North York District



R Jirnof Design Group
 437 Mount Pleasant Road
 Toronto, Ontario M5S 2M4
 Tel: (416) 461-1111 Fax: (416) 461-1112
 155 BOWWOOD AVE
 TORONTO, ONTARIO
 M5P 1Y1

LEFT SIDE ELEVATION
 EAST

REGISTERED PLAN M-260



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
 DESIGNER'S NUMBER OR EXPIRY UNDER S.17.1.1. OF THE BUILDING CODE

DESIGNER'S NAME: *G.R.* 22370
 SIGNATURE: *G.R.* SIGN/REGD

REGISTRATION INFORMATION
 DESIGNER'S NUMBER OR EXPIRY UNDER S.17.1.1. OF THE BUILDING CODE

DESIGNER'S GROUP: 27283
 FIRM NAME: RCM/RCMA

SITE PLAN	
PROJECT: 185 BOWOOD AVE TORONTO, ONTARIO	
SITE STATISTICS: COVERAGE: 1225 SQ.FT. (113.8 SQ.M.) (31.7%) FSI: 2449 SQ.FT. (227.550 M.) (65.3%) SITE AREA: 3750 SQ.FT. (348.4 SQ.M.)	

SITE STATISTICS:	
TOTAL FRONT YARD AREA: 365 FT ² (32.1 M ²) DRIVEWAY + R.O.W. OF WALK AREA: 195 FT ² (17.9 M ²) TOTAL FRONT YARD EXCLUD. DRIVEWAY: 152 FT ² (14. M ²) PORCH & STAIR WALKWAY AREA: 68 FT ² (6.3 M ²)	
FRONT YARD HARD SURFACE AREA: 261 FT ² (2.2 M ²) 75.6%	FRONT YARD SOFT LANDSCAPING AREA: 84 FT ² (7.9 M ²) 55.3%

Rubinoff Design Group	
487 AL. Pleasance Road, Toronto Ontario, M4S 2H4 TEL: 416.667.0322 FAX: 416.667.0751 EMAIL: info@rubinoffdesign.com	
PROJECT DESIGNER: G.R.	DRAWING NO
DRAWN BY: N.V.	DATE: MARCH 2017
CHECKED BY:	SCALE: 1/16" = 1'-0"
	A

SIGNATURE PAGE

File Number:	A0278/17NY	Zoning	R (f7.5; d0.6) x933/ R2 Z0.6 [ZZC]
Owner:	ROBERT W HALL ROBERT W HALL	Ward:	Don Valley West (25)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	185 BOWOOD AVE	Community:	Toronto
Legal Description:	PLAN M260 PT LOT 259		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0279/17NY	Zoning	R(f15.0; d0.6) x761/R2 Z0.6[ZONING]
Owner(s):	DAVID PANNETON EMMA CORY	Ward:	Eglinton-Lawrence (16)
Agent:	DAVID PANNETON	Heritage:	Not Applicable
Property Address:	1185 AVENUE RD	Community:	Toronto
Legal Description:	PLAN M346 PT LOT 58		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a third floor above the existing two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 8.5m.
The proposed height of the side exterior main walls facing a side lot line is 9.89m.
- 2. Chapter 200.5.1.10(2), By-law No. 569-2013**
The minimum required parking space must have a minimum width of 3.2m x 5.6m.
The proposed parking space will have a width of 2.84m x 5.54m in width.
- 3. Section 4(17), By-law No. 438-86**
The minimum required parking space must have a minimum width of 3.2m x 5.6m.
The proposed parking space will have a width of 2.84m x 5.54m in width.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.

- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0279/17NY	Zoning	R(f15.0; d0.6) x761/R2 Z0.6[ZONING]
Owner:	DAVID PANNETON EMMA CORY	Ward:	Eglinton-Lawrence (16)
Agent:	DAVID PANNETON	Heritage:	Not Applicable
Property Address:	1185 AVENUE RD	Community:	Toronto
Legal Description:	PLAN M346 PT LOT 58		

Wayne McEachern (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0280/17NY	Zoning	R / R2 (ZR)
Owner(s):	STEPHANIE STALEY	Ward:	Eglinton-Lawrence (16)
Agent:	AMBIENT DESIGN LTD	Heritage:	Not Applicable
Property Address:	164 BEDFORD PARK AVE	Community:	Toronto
Legal Description:	PLAN M108 LOT 666		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second and third storey addition to the existing dwelling, in conjunction with other interior and exterior alterations.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the side exterior main walls facing a side lot line is 9.47 m.
- 2. Chapter 10.10.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.60 times the area of the lot.
The proposed floor space index is 0.96 times the area of the lot.
- 3. Chapter 10.5.50.10.(3), By-law No. 569-2013**
A lot with a residential building, other than an apartment building, must have a minimum of 50% of the rear yard for soft landscaping, if the lot frontage is greater than 6.0 m.
The proposed rear yard landscaping area is 45.34%.
- 4. Section 6(3) Part I 1, By-law No. 438-86**
The by-law limits the residential gross floor area in an area zoned R2 to 0.60 times the area of the lot.
The proposed residential gross floor area of the building exceeds the maximum permitted by approximately 83.05 m².
- 5. Section 6(3) Part II 3.B(II), By-law No. 438-86**
The by-law requires a detached house in a R2 district to have a minimum side lot setback of 0.9 m for that portion of the building not exceeding 17.0 m in depth, where the side wall contains opening.
The proposed west side lot line setback is 0.16 m.

6. Section 6(3) Part II 3.B (II), By-law No. 438-86

The by-law requires a detached house in a R2 district to have a minimum side lot setback of 0.9 m for that portion of the building not exceeding 17.0 m in depth, where the side wall contains opening. The proposed east side lot line setback is 0.80 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or remove privately owned trees.
2. Installation of a privacy screen of 1.8m in height on the east side of the proposed decks.

SIGNATURE PAGE

File Number:	A0280/17NY	Zoning	R / R2 (ZR)
Owner:	STEPHANIE STALEY	Ward:	Eglinton-Lawrence (16)
Agent:	AMBIENT DESIGN LTD	Heritage:	Not Applicable
Property Address:	164 BEDFORD PARK AVE	Community:	Toronto
Legal Description:	PLAN M108 LOT 666		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, June 8, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0281/17NY	Zoning	RD(x5)/R4 [ZZC]
Owner(s):	HONG LI YOU QING XUE	Ward:	Willowdale (24)
Agent:	AVM DESIGN	Heritage:	Not Applicable
Property Address:	17 GASPE RD	Community:	North York
Legal Description:	PLAN M908 LOT 54		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.
The proposed first floor area is 5.93m² within 4.00m of the main front wall.
- Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 18.44m.
- Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.77m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.

- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The property being developed essentially in accordance with the building length measured from front main wall to the rear main wall as shown on the site plan (not to exceed 16.8m) date stamped May 30th, 2017, received by the City Planning Division.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0281/17NY	Zoning	RD(x5)/R4 [ZZC]
Owner:	HONG LI YOU QING XUE	Ward:	Willowdale (24)
Agent:	AVM DESIGN	Heritage:	Not Applicable
Property Address:	17 GASPE RD	Community:	North York
Legal Description:	PLAN M908 LOT 54		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 8, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0282/17NY	Zoning	RD (f 15 ; a550)(x5)/ R4 [ZZC]
Owner(s):	RICHARD CHRISTIE MAJID RAHIMI	Ward:	Don Valley West (25)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	57 MUNRO BLVD	Community:	North York
Legal Description:	PLAN M641 E PT LOT 1		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.20(1) A), By-law No. 569-2013**
The maximum lot coverage is 35.00% of the lot area.
The proposed lot coverage is **36.86%** of the lot area.
- 2. Chapter 10.20.40.20(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 17.25m.
- 3. Chapter 10.20.40.70.(3) E), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is **1.50m**.
- 4. Chapter 10.20.40.70.(3) E), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.20m **for the first 6.22m portion of the dwelling, the remainder of the dwelling is 1.50m.**
- 5. Chapter 10.20.40.10.(2) B)(i), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 8.01m.
- 6. Section 13.2.3(b), By-law No. 7625**

The minimum required side yard setbacks is 1.80m.
The proposed east side yard setback is **1.50m**.

7. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.20m.

8. Section 13.2.4, By-law No. 7625

The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is **36.86%** of the lot area.

9. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.
The proposed building height is 9.13m.

10. Section 6(30)a, By-law No. 7625

The maximum finished first floor height is 1.50m.
The proposed finished first floor height is 1.54m.

11. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m.
The proposed building length is 17.24m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

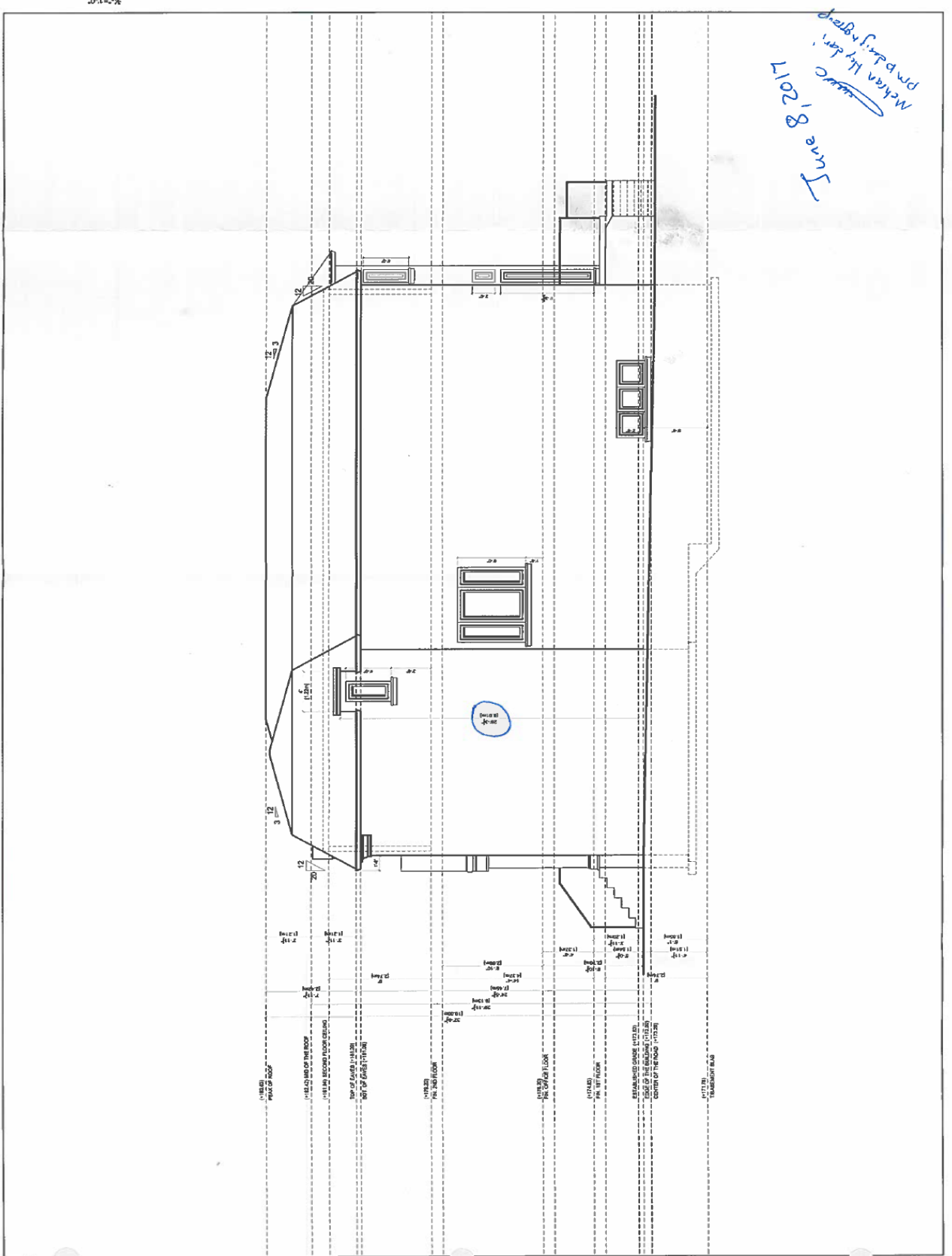
1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
2. The property being developed essentially in accordance with the east and west elevation attached to this decision date stamped on June 8, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

NO	ISSUED FOR	DATE
00	GENERAL	15.03.2017
01	CONTRACT & CO.	17.03.2017
02	CONTRACT & CO.	18.03.2017
03	CONTRACT & CO.	19.03.2017
04	CONTRACT & CO.	20.03.2017

SIDE ELEVATION (WEST)

DRAWING TITLE: SIDE ELEVATION (WEST)
 SCALE: 1/8"=1'-0"
 SHEET NUMBER: A9

PROJECT TITLE: 57 MUNRO BLVD. TORONTO, ONTARIO



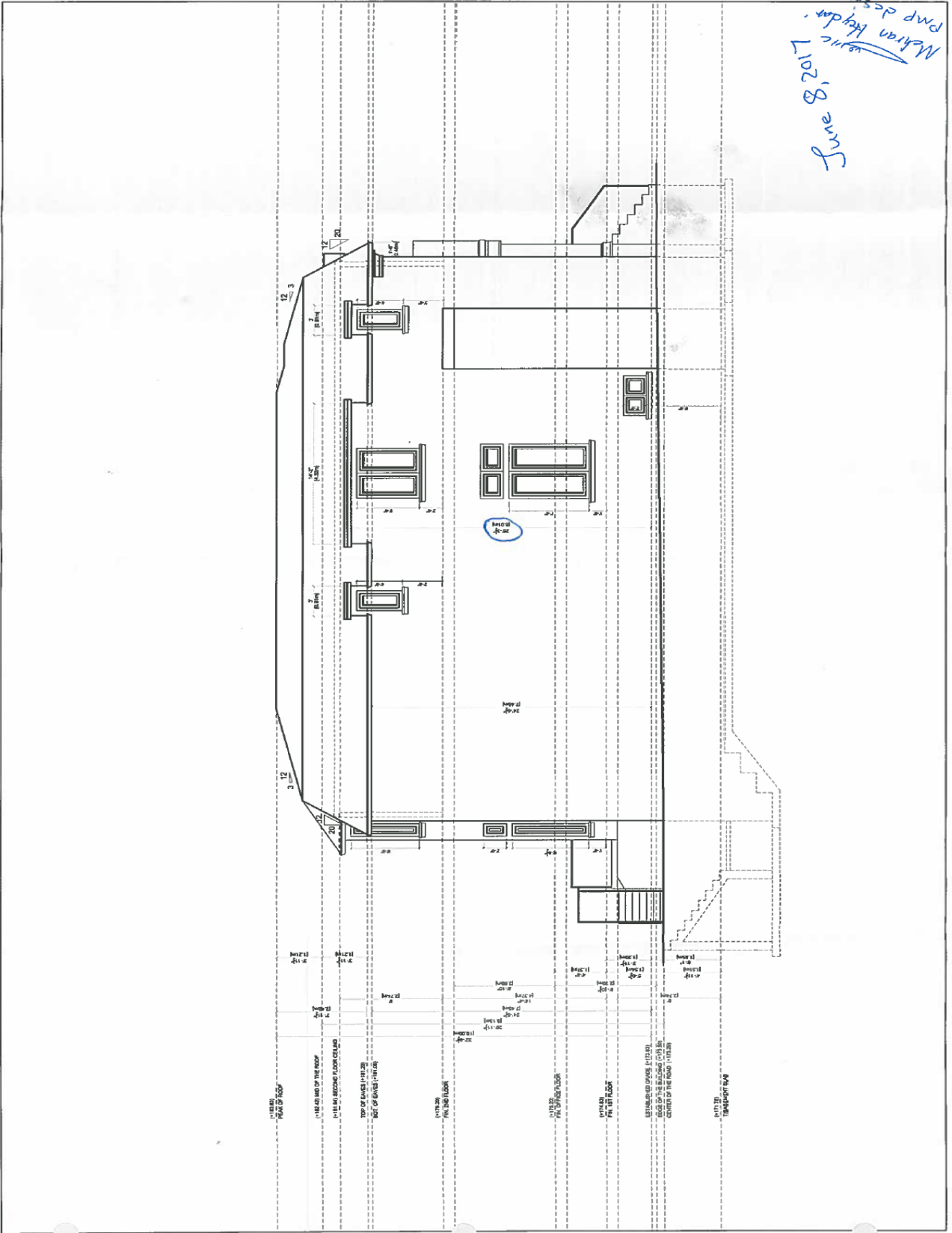
NO. ISSUED FOR	00 MAY 2017
1. DESIGN & COA	16.01.2017
2. PERMITS & COA	19.09.2017
3. COA	19.09.2017
4. COA	25.05.2017

SCALE: 1/8"=1'-0"
DRAWING TITLE: SIDE ELEVATION (EAST)
SHEET NUMBER: A8

A8

PROJECT TITLE: 57 MUNRO BLVD., TORONTO, ONTARIO

*June 8, 2017
Melvin Hayden
PMP Design Group*



SIGNATURE PAGE

File Number:	A0282/17NY	Zoning	RD (f 15 ; a550)(x5)/ R4 [ZZC]
Owner:	RICHARD CHRISTIE MAJID RAHIMI	Ward:	Don Valley West (25)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	57 MUNRO BLVD	Community:	North York
Legal Description:	PLAN M641 E PT LOT 1		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0283/17NY	Zoning	RD (f18.0; a690)/R3[ZONING]
Owner(s):	ANITA SENGAR PANKAJ SINGH SENGAR	Ward:	Don Valley West (25)
Agent:	STRICKLAND MATELJAN DESIGN ASSOCIATES	Heritage:	Not Applicable
Property Address:	95 LORD SEATON RD	Community:	North York
Legal Description:	PLAN M866 LOT 23		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.80.40.(1), By-law No. 569-2013**
The maximum combined width of all vehicle entrances through the front main wall of the residential building is 6.0m.
The proposed combined width of all vehicle entrances through the front main wall is 8.72m.
- Chapter 10.5.100.1(1), By-law No. 569-2013**
The maximum permitted driveway width is 6m.
The proposed driveway width is 8.9m.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 35% of the lot area
The proposed lot coverage is 37.2% of the lot area
- Chapter 200.5.1.10.(2), By-law No. 569-2013**
The minimum required parking space must have a minimum width of 9.4m for 3 car garage.
The proposed parking space (s) will have a width of 9.1m.
- Section 12.6, By-law No. 7625**
The permitted maximum lot coverage is 35% of the lot area
The proposed lot coverage is 37.2% of the lot area.

6. **Section 12.7, By-law No. 7625**
The maximum permitted building height is 8m.
The proposed building height is 8.86m.
7. **Section 6A(3), By-law No. 7625**
The minimum required parking space size is 9.4 m wide for 3 parking spaces.
The proposed parking space size is 9.1m wide.
8. **Section 6A(5)a, By-law No. 7625**
The maximum permitted access for parking areas is 6m.
The proposed access to parking is 8.72 m.
9. **Section 6A(5)a, By-law No. 7625**
The maximum permitted driveway width is 6.0m.
The proposed driveway width is 8.9m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s).
A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

SIGNATURE PAGE

File Number:	A0283/17NY	Zoning	RD (f18.0; a690)/R3[ZONING]
Owner:	ANITA SENGAR PANKAJ SINGH SENGAR	Ward:	Don Valley West (25)
Agent:	STRICKLAND MATELJAN DESIGN ASSOCIATES	Heritage:	Not Applicable
Property Address:	95 LORD SEATON RD	Community:	North York
Legal Description:	PLAN M866 LOT 23		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0284/17NY	Zoning	RD / R1B (ZR)
Owner(s):	LINDA GILLAND SCOTT GILLAND	Ward:	Don Valley West (26)
Agent:	SCOTT GILLAND	Heritage:	Not Applicable
Property Address:	252 HANNA RD	Community:	East York
Legal Description:	PLAN 3110 LOT 518 PT LOT 517		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with integral garage. The existing building will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.0 m² of the first floor must be within 4.0 m of the front main wall.
Zero (0) m² of the first floor is within 4.0 m of the front main wall.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.2 m where the required minimum lot frontage is 12.0 m to less than 15.0 m.
The proposed north side yard setback is 0.91 m.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.2 m where the required minimum lot frontage is 12.0 m to less than 15.0 m.
The proposed south side yard setback is 0.91 m.
- Chapter 10.5.40.60.(3), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required setback if the stairs are no wider than 2.0 m.
The proposed front porch stairs are 2.18 m wide.
- Chapter 10.5.100.1.(1), By-law No. 569-2013**
For a detached house, if an individual private driveway leads directly to the dwelling unit, a driveway that is located in or passes through the front yard may have a maximum permitted driveway width of 2.95 m, which is the width of the parking space behind the front main wall.

The proposed driveway width is 3.0 m.

6. Chapter 200.5.1.10.(2), By-law No. 569-2013

The parking space must have a minimum required width of 3.2 m.

The proposed parking space will have a width of 2.95 m.

7. Section 6.1.3 (1)(c)(ii), By-law No. 1916

The maximum permitted driveway width is 2.95 m, which is the width of parking space behind the front wall.

The proposed driveway width is 3.00 m.

8. Section 5.40 (b), By-law No. 1916

The minimum required width of a parking space shall be 3.3 m.

The proposed width of the parking space is 2.95 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0284/17NY	Zoning	RD / R1B (ZR)
Owner:	LINDA GILLAND SCOTT GILLAND	Ward:	Don Valley West (26)
Agent:	SCOTT GILLAND	Heritage:	Not Applicable
Property Address:	252 HANNA RD	Community:	East York
Legal Description:	PLAN 3110 LOT 518 PT LOT 517		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0286/17NY	Zoning	RD (x975) /R2 [ZZC]
Owner(s):	SEYED BABAEI SOLMAZ KALKHORANI	Ward:	Don Valley West (25)
Agent:	HB DESIGN	Heritage:	Not Applicable
Property Address:	28 FIFESHIRE RD	Community:	North York
Legal Description:	PLAN M866 LOT 492		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.60.(3), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building may encroach into a required building setback if the stairs are no wider than 2.00m.
The proposed stairs in the front yard is 4.27m.
- Chapter 10.5.80.40.(3), By-law No. 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from the fronting street.
- Chapter 900.3.10(975) Exception 975, B-law No. 569-2013**
The minimum front yard setback is 15.00m from Fifeshire Rd.
The proposed front yard setback is 13.13m.
- Chapter 900.3.10(975) Exception 975, By-law No. 569-2013**
The maximum permitted height of the building is 9.50m.
The proposed building height is 10.85m.
- Section 11.2.6, By-law No. 7625**
The maximum permitted building height is 9.50m.
The proposed building height is 9.95m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0286/17NY	Zoning	RD (x975) /R2 [ZZC]
Owner:	SEYED BABAEI SOLMAZ KALKHORANI	Ward:	Don Valley West (25)
Agent:	HB DESIGN	Heritage:	Not Applicable
Property Address:	28 FIFESHIRE RD	Community:	North York
Legal Description:	PLAN M866 LOT 492		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0287/17NY	Zoning	RD/R4[ZONING]
Owner(s):	JASON VARANDAS	Ward:	Eglinton-Lawrence (15)
Agent:	JASON VARANDAS	Heritage:	Not Applicable
Property Address:	153 DELL PARK AVE	Community:	North York
Legal Description:	PLAN 2049 LOT 291		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a three-storey dwelling. The existing dwelling would be demolished. Please be advised the subject property went before the Committee of Adjustment on May 12, 2016, the development proposal was refused.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35% of the lot area.
The proposed lot coverage is 41.6% of the lot area.
- 2. Chapter 10.20.40.10.(3), By-law No. 569-2013**
The maximum permitted number of storey is 2.
The proposed number of storey is 3.
- 3. Chapter 10.20.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 5.46m.
The proposed front yard setback is 5.28m.
- 4. Chapter 10.20.40.70.(4), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.22m.
- 5. Chapter 10.20.40.70.(4), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.37m.
- 6. Chapter 10.20.40.50.(1), By-law No. 569-2013**
The permitted maximum area of each platform at or above the second storey of a detached house is 4.0m².
The proposed area of each platform at or above the second storey is 7.41m².

7. **Section 13.2.6A, By-law No. 7625**
The maximum permitted balcony area is 3.8m².
The proposed balcony area is 7.41m².
8. **Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 467.54m².
9. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 35% of the lot area.
The proposed lot coverage is 41.6% of the lot area.
10. **Section 13.2.3(a), By-law No. 7625**
The minimum required front yard setback is 6.5m.
The proposed front yard setback is 5.28m.
11. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.22m.
12. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.37m.
13. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8m.
The proposed building height is 8.68m.
14. **Section 13.2.6, By-law No. 7625**
The maximum permitted number of storeys is 2.
The proposed number of storeys is 3.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0287/17NY	Zoning	RD/R4[ZONING]
Owner:	JASON VARANDAS	Ward:	Eglinton-Lawrence (15)
Agent:	JASON VARANDAS	Heritage:	Not Applicable
Property Address:	153 DELL PARK AVE	Community:	North York
Legal Description:	PLAN 2049 LOT 291		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0359/15NY	Zoning	C3(8) [WAV]
Owner(s):	CADILLAC FAIRVIEW CORPORATION LTD CF REALTY HOLDINGS INC	Ward:	Don Valley West (25)
Agent:	BOUSFIELDS INC	Heritage:	Not Applicable
Property Address:	939 LAWRENCE AVEE	Community:	North York
Legal Description:	PLAN 4545 PT BLKS A D AND F RP 64R6719 PARTS 1 TO 4 6 TO 10 13 14 20 AND 21		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To facilitate the continued operation of the existing Regional Shopping Centre.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 2.67.3, By-law No. 7625

The By-law requires a Regional Shopping Centre be a group of commercial establishments managed as a unit having a gross floor area of 50,000m² or greater and where the predominant use is retail stores. The existing Regional Shopping Centre is comprised of a group of commercial establishments managed as a unit having a gross floor area of 50,000m² or greater where the composition of retail tenancies (**units**) includes a minimum of 30.00% of retail stores.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0359/15NY	Zoning	C3(8) [WAV]
Owner:	CADILLAC FAIRVIEW CORPORATION LTD CF REALTY HOLDINGS INC	Ward:	Don Valley West (25)
Agent:	BOUSFIELDS INC	Heritage:	Not Applicable
Property Address:	939 LAWRENCE AVE E	Community:	North York
Legal Description:	PLAN 4545 PT BLKS A D AND F RP 64R6719 PARTS 1 TO 4 6 TO 10 13 14 20 AND 21		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, June 8, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A658/13NY	Zoning	C1 [BLD]
Owner(s):	2246157 ONTARIO LTD.	Ward:	Eglinton-Lawrence (15)
Agent:	2246157 ONTARIO LTD.	Heritage:	Not Applicable
Property Address:	210 MARLEE AVE	Community:	North York
Legal Description:	PLAN M360 PT LOTS 20 AND 21		

Notice was given and a Public Hearing was held on Thursday, June 8, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To bring into compliance an existing storage shed at the northwest corner of the parking lot and a walk-in freezer in the southeast corner of the lot.. Please be advised that an application with respect to the subject property was previously before the Committee of Adjustment on September 7, 2011. It was the decision of the Committee of Adjustment to APPROVE the application on CONDITION which sought a variance relating to the rear yard canopy projection. Please note, this application was previously deferred Wednesday, November 20, 2013 in order to allow the to facilitate further consultation with the applicant and Buildings staff, to determine the applicability and requirements of a Site Plan Control application and to allow for a more accurate Public Hearing Notice to be submitted to the public.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 6(9), By-law No. 7625**
The maximum canopy projection is 1.8 m into the required setback.
The proposed rear yard canopy projects 7.5 m into the required setback.
- 2. Section 23.2.1, By-law No. 7625**
The maximum permitted lot coverage is 33.3% of the lot area.
The proposed lot coverage is 45% of the lot area.
- 3. Section 23.2.2, By-law No. 7625**
The minimum required rear yard wetback is 7.5 m.
The proposed rear yard setback is 0.0 m for the shed.
- 4. Section 23.2.2(b), By-law No. 7625**
The minimum required front yard setback is 4.3 m.
The proposed front yard setback is 0.0 m for the walk-in freezer.

5. Section 23.2.2, By-law No. 7625

The minimum required side yard setback is 4.5 m.

The proposed north side yard setback is 0.0 m for the shed

6. Section 23.2.2, By-law No. 7625

The minimum required side yard setback is 4.5 m.

The proposed south side yard setback 2.07 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant to satisfy the requirements of the Transportation Services Division.

SIGNATURE PAGE

File Number:	A658/13NY	Zoning	C1 [BLD]
Owner:	2246157 ONTARIO LTD.	Ward:	Eglinton-Lawrence (15)
Agent:	2246157 ONTARIO LTD.	Heritage:	Not Applicable
Property Address:	210 MARLEE AVE	Community:	North York
Legal Description:	PLAN M360 PT LOTS 20 AND 21		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, June 15, 2017

LAST DATE OF APPEAL: Wednesday, June 28, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.