

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0283/17TEY	Zoning	R d0.6 H10.0M x 729) & R2 Z0.6 H10.0 M) (ZZC)
Owner(s):	ZOE VON NOSTITZ-TAIT LEE KUHNLE	Ward:	Davenport (18)
Agent:	ZOE VON NOSTITZ-TAIT	Heritage:	Not Applicable
Property Address:	44 ST ANNES RD	Community:	Toronto
Legal Description:	PLAN 313 PT LOT D		

Notice was given and a Public Hearing was held on **Wednesday, July 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter a two-storey semi-detached dwelling by constructing a front addition with a deck above.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.30.(1)(A), By-law 569-2013**
The maximum permitted building depth for a semi-detached house is 17.0 m.
The building depth will be 17.85 m.
 - 2. Chapter 10.10.40.40.(1) A), By-law 569-2013**
The maximum permitted floor space index is 0.60 times the area of the lot (104.23 m²).
The floor space index will be 1.16 times the area of the lot (201.37 m²).
 - 3. Chapter 10.50.40.70(1), By-law 569-2013**
The minimum required front yard setback is 5.48 m.
The front yard setback will be 2.88 m.
-
- 1. Section 6(3) Part II 5(II), By-law 438-86**
The maximum permitted building depth for a semi-detached house is 17.0 m.
The building depth will be 17.85 m.
 - 2. Section 6(3) Part I 1, by-law 438-86**
The maximum permitted residential gross floor area is 0.60 times the area of the lot (104.23m²).
The residential gross floor area will be 1.16 times the area of the lot (201.37 m²).

3. Section 6(3) Part II 2(I), By-law 438-86

The minimum required front lot line setback is 5.48 m.

The front lot line setback will be 2.88 m.

4. Section (3) Part II 3.C(II), By-law 438-86

The minimum required side lot line setback is 0.90 m where the side wall contains openings.

The east side lot line setback will be 0.15 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

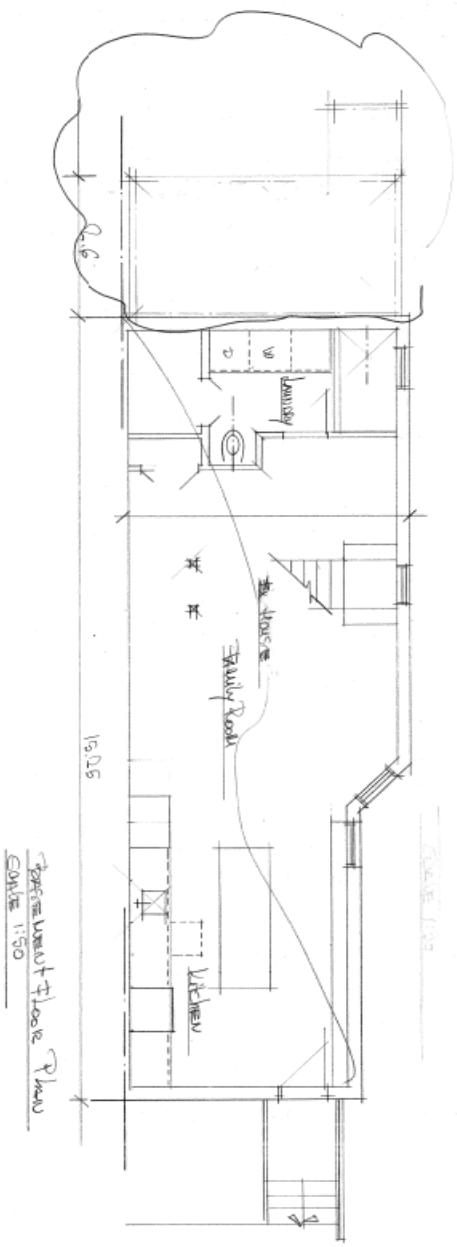
It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

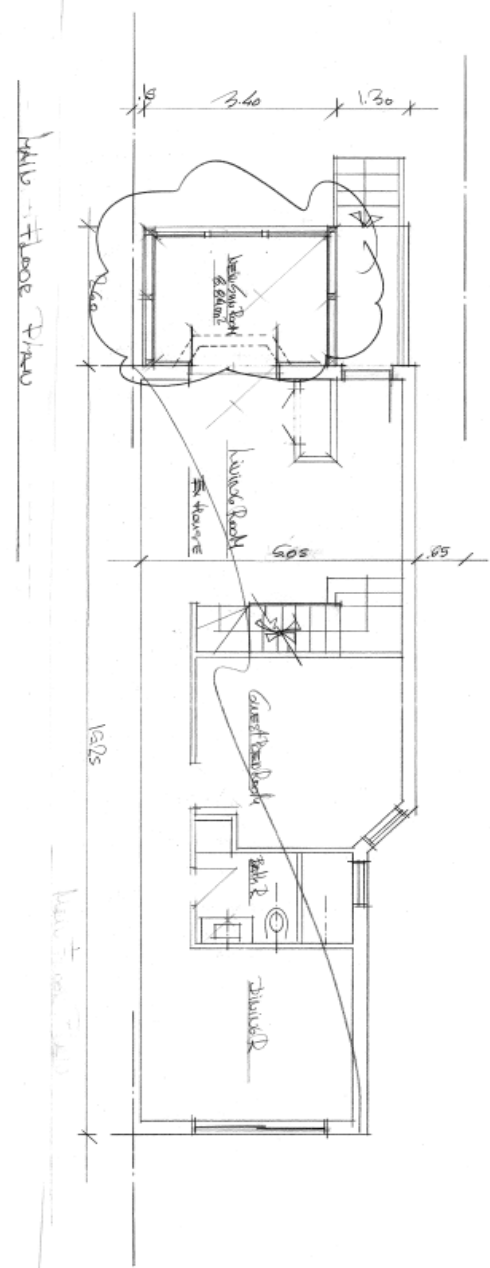
The front yard setback of 2.88 m shall be limited to one-storey in height and the second storey deck, as illustrated on the plans received by the Committee of Adjustment on March 10, 2017.

14 St AVENUE No - Toronto - Front Sun Room Addition - Dec 2016

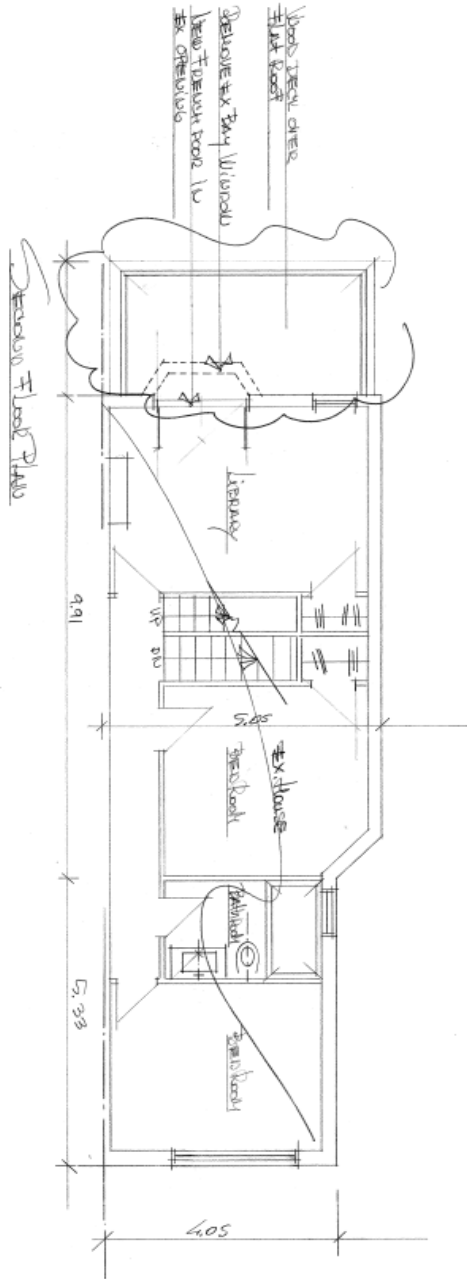


Front Sun Room Floor Plan
SCALE 1:50

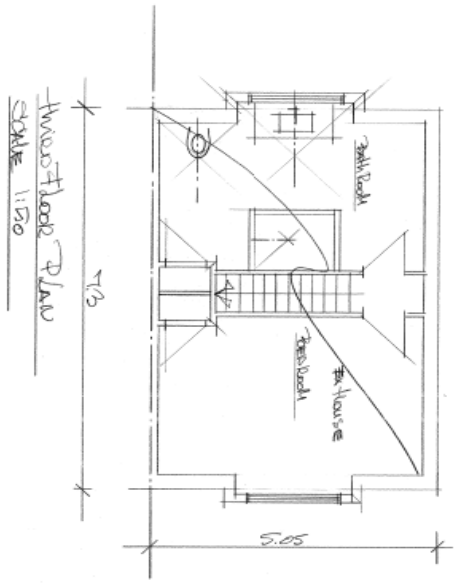
41st Avenue Pk., Toronto, Front and back porches Proposed Dec 2016



44 STAINES Dr. Toronto. First Sun Room Addition Proposal. Dec 2016



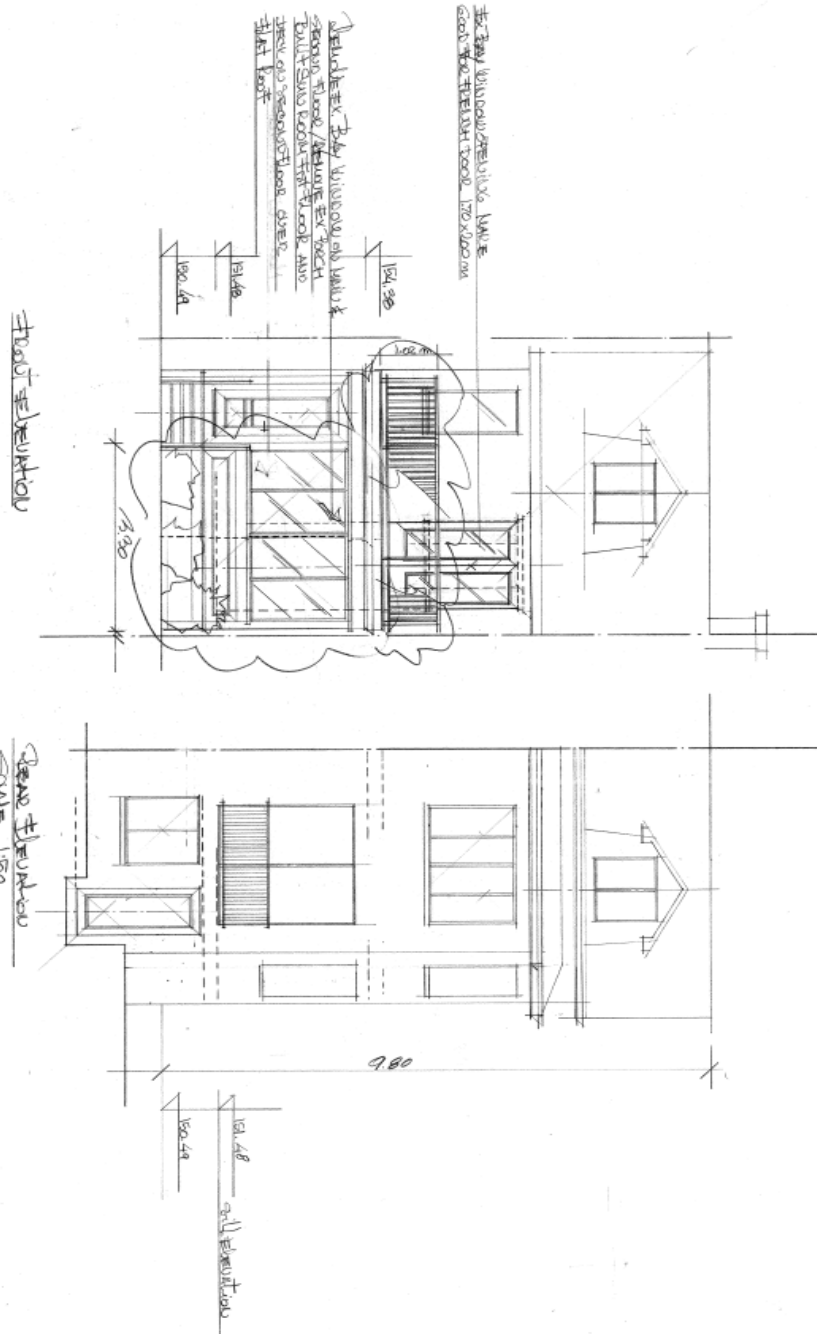
1/4 St ANNES Dr. Toronto. Front SW Pool Addition Proposal June 2016



House Floor Plan
Scale 1:50

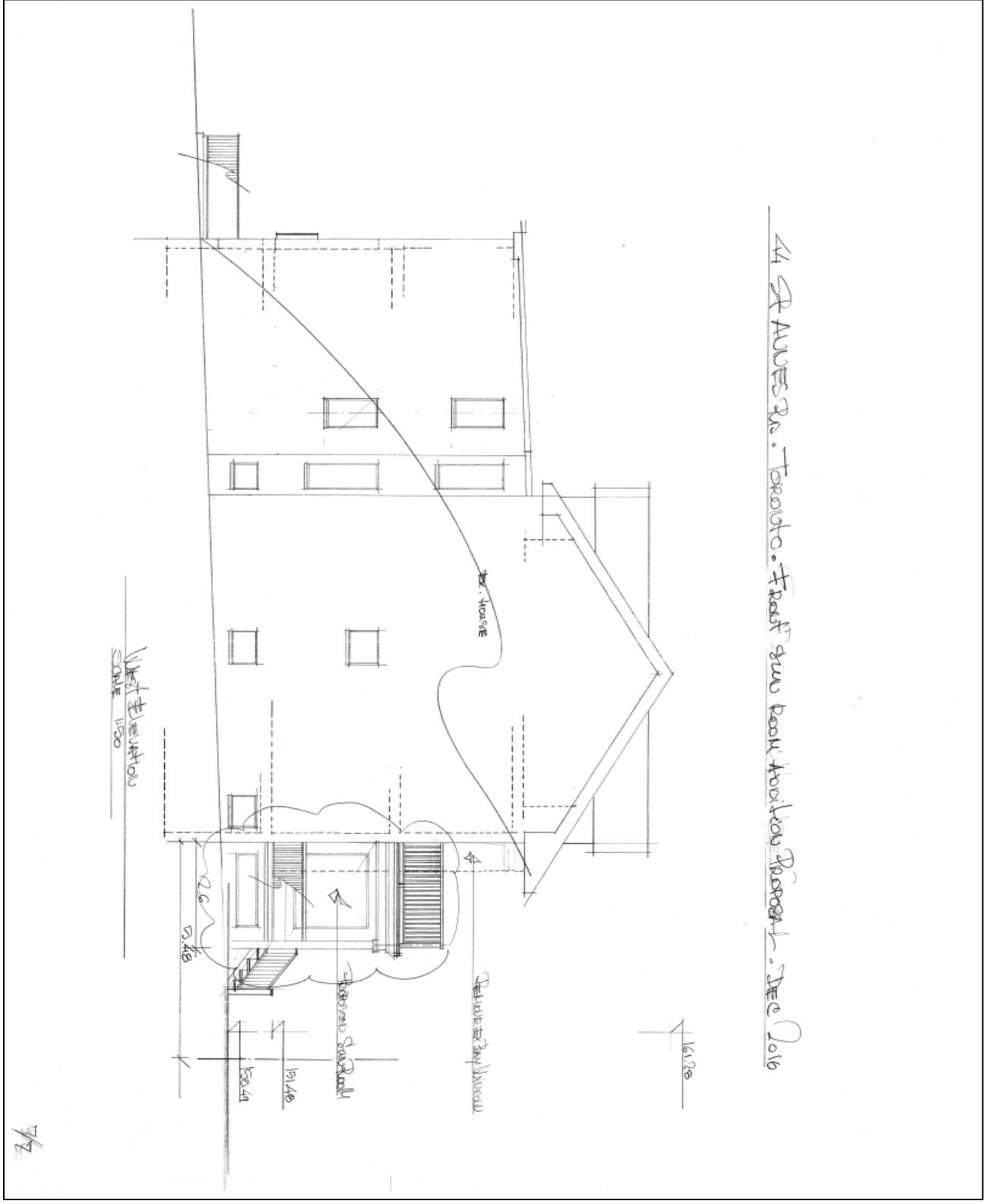
5/7

44 St Anne's Dr. Toronto. Sunroom proposal. Dec 2016



4/4

41 ST AVES RD. Toronto. Front view from North Position Proposed. Dec 2016



West Elevation
Scale 1/20



7/2

SIGNATURE PAGE

File Number:	A0283/17TEY	Zoning	R d0.6 H10.0M x 729) & R2 Z0.6 H10.0 M) (ZZC)
Owner(s):	ZOE VON NOSTITZ-TAIT LEE KUHNLE	Ward:	Davenport (18)
Agent:	ZOE VON NOSTITZ-TAIT	Heritage:	Not Applicable
Property Address:	44 ST ANNES RD	Community:	Toronto
Legal Description:	PLAN 313 PT LOT D		

Michael Clark (Signed)

Carl Knipfel (Signed)

Lisa Valentini (Signed)

Donald Granatstein (Signed)

DATE DECISION MAILED ON: **TUESDAY, August 1, 2017**

LAST DATE OF APPEAL: **MONDAY, August 15, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0286/17TEY	Zoning	RD (f12.0; d0.65)(x1321) & R1 Z0.6 (ZZC)
Owner(s):	JACLYN BIELAK	Ward:	St. Paul's (21)
Agent:	ERIN WALSH	Heritage:	Not Applicable
Property Address:	215 GLENAYR RD	Community:	Toronto
Legal Description:	PLAN M348 LOT 41		

Notice was given and a Public Hearing was held on **Wednesday, July 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the approved building permit plans for alterations to a two-storey detached dwelling by constructing a third floor addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.60.(1)(F)(ii), By-law 569-2013

A platform without main walls, attached to or less than 0.3 m from a building, with a floor higher than the first floor of the building above established grade may not encroach into the required side yard setback as it does not abut a street.

In this case, the platform will encroach 0.3 m into the required side yard setback and the side yard does not abut a street.

2. Chapter 10.20.40.10.(2)(B)(ii), By-law 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 8.5 m.

The height of the side exterior main walls facing the side lot lines will be 10.78 m.

3. Chapter 10.20.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index is 0.60 times the area of the lot (290.11 m²).

The altered dwelling will have a floor space index equal to 0.797 times the area of the lot (385.42 m²).

1. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area is 0.6 times the area of the lot (290.11 m²).

The altered dwelling will have a residential gross floor area equal to 0.797 times the area of the lot (385.42 m²).

2. Section 6(3) Part II 8 D, By-law 438-86

The maximum permitted projection of an uncovered platform into the required setbacks is 2.5 m from the front and rear wall. A platform projection from the side wall is not permitted. In this case, the new uncovered platform will project 0.68 m from the side wall.

3. Section 6(3) Part II 8 D (II), By-law 438-86

The maximum permitted height of an uncovered platform which projects into the required setbacks is 1.2 m above grade. In this case, the new uncovered platform will have a height of 7.24 m above grade.

4. Section 6(3) Part II 8 D (I), By-law 438-86

An uncovered platform is permitted to project into the required setbacks provided it does not extend beyond the side wall of the building as projected. The new uncovered platform will project beyond the side walls.

5. Section 4(2), By-law 438-86

The maximum permitted building height is 11 m. The altered dwelling will have a height of 11.23 m.

6. Section 6(3) Part II 8 A, By-law 438-86

The maximum permitted projection of the eaves or cornices into the required setback is 0.45 m. In this case, the eaves or cornices will project 0.47 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

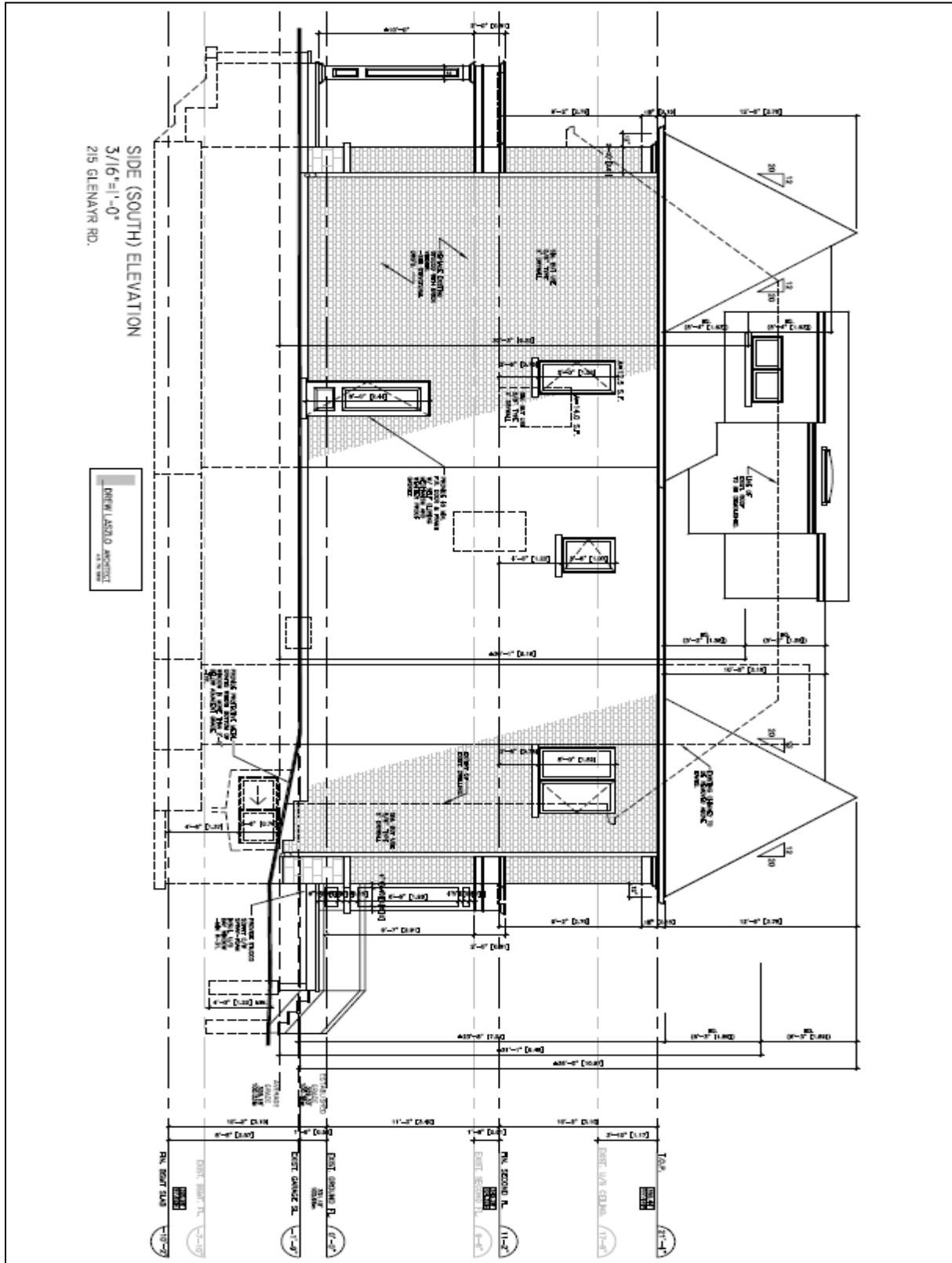
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The side exterior main wall height shall be limited to the dormers on north and south elevations, as illustrated on the side elevation plans received by the Committee of Adjustment on March 21, 2017.



SIGNATURE PAGE

File Number:	A0286/17TEY	Zoning	RD (f12.0; d0.65)(x1321) & R1 Z0.6 (ZZC)
Owner(s):	JACLYN BIELAK	Ward:	St. Paul's (21)
Agent:	ERIN WALSH	Heritage:	Not Applicable
Property Address:	215 GLENAYR RD	Community:	Toronto
Legal Description:	PLAN M348 LOT 41		

Michael Clark (Signed)

Carl Knipfel (Signed)

Lisa Valentini (Signed)

Donald Granatstein (Signed)

DATE DECISION MAILED ON: **TUESDAY, August 1, 2017**

LAST DATE OF APPEAL: **MONDAY, August 15, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0291/17TEY	Zoning	R (d1.0) (x984) & R3 Z1.0 (BLD)
Owner(s):	XIU HUA DU GUI PING LI	Ward:	Toronto Centre-Rosedale (27)
Agent:	QIYANG AI	Heritage:	Not Applicable
Property Address:	3 PEMBROKE ST	Community:	Toronto
Legal Description:	PLAN D73 PT LOTS 32 33		

Notice was given and a Public Hearing was held on **Wednesday, July 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing three-storey semi-detached dwelling by constructing a rear second storey deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 6(3)Part II 3.C(I), By-law 438-86**
The minimum required side lot line setback where the side wall contains no openings is 0.45 m.
The altered dwelling will be located 0.0 m to the south side lot line.
- Section 6(3) Part II 5(I), By-law 438-86**
The maximum permitted building depth is 14.0 m.
The altered dwelling will have a building depth equal to 21.67 m.
- Section 4(14)(A), By-law 438-86**
The minimum required building setback from the centre line of a public lane is 2.5 m.
In this case, the dwelling will be located 2.0 m from the centre line of a public lane.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0291/17TEY	Zoning	R (d1.0) (x984) & R3 Z1.0 (BLD)
Owner(s):	XIU HUA DU GUI PING LI	Ward:	Toronto Centre-Rosedale (27)
Agent:	QIYANG AI	Heritage:	Not Applicable
Property Address:	3 PEMBROKE ST	Community:	Toronto
Legal Description:	PLAN D73 PT LOTS 32 33		

DISSENTED

Michael Clark (Signed)

Carl Knipfel

Lisa Valentini (Signed)

Donald Granatstein (Signed)

DATE DECISION MAILED ON: **TUESDAY, August 1, 2017**

LAST DATE OF APPEAL: **MONDAY, August 15, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0293/17TEY	Zoning	R (d0.6)(931) & R2 Z0.6 (ZZC)
Owner(s):	VINCENT TAM JESSICA LESLIE MIKLOS	Ward:	St. Paul's (22)
Agent:	ERIC CALHOUN	Heritage:	Not Applicable
Property Address:	19 GLEBE RD E	Community:	Toronto
Legal Description:	PLAN 1789 PT LOT 29		

Notice was given and a Public Hearing was held on **Wednesday, July 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by constructing a rear ground floor deck and a rear detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.60.70.(1), By-law 569-2013**
The total area on a lot covered by ancillary buildings or structures may not exceed 10 % of the lot area (27.9 m²).
In this case, the ancillary building will cover 14.12 % of the lot area (39.4 m²).
- Chapter 10.5.50.10.(3)(A), By-law 569-2013**
A lot with a residential building, other than an apartment building, must have a minimum of 50 % of the rear yard for soft landscaping (69.76 m²).
The rear yard landscaping area will be equal to 31.2 % (43.44 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

SIGNATURE PAGE

File Number:	A0293/17TEY	Zoning	R (d0.6)(931) & R2 Z0.6 (ZZC)
Owner(s):	VINCENT TAM JESSICA LESLIE MIKLOS	Ward:	St. Paul's (22)
Agent:	ERIC CALHOUN	Heritage:	Not Applicable
Property Address:	19 GLEBE RD E	Community:	Toronto
Legal Description:	PLAN 1789 PT LOT 29		

Michael Clark (Signed)

Carl Knipfel (Signed)

Lisa Valentini (Signed)

Donald Granatstein (Signed)

DATE DECISION MAILED ON: **TUESDAY, August 1, 2017**

LAST DATE OF APPEAL: **MONDAY, August 15, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0296/17TEY	Zoning:	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	NATASHA MIRCHANDANI JONATHAN NELSON TRYANSKY	Ward:	Toronto-Danforth (29)
Agent:	OLIVER DANG	Heritage:	Not Applicable
Property Address:	159 BROWNING AVE	Community:	Toronto
Legal Description:	PLAN M368 PT LOTS 134 & 135		

Notice was given and a Public Hearing was held on **Wednesday, July 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing 2½-storey semi-detached dwelling by constructing a rear third storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.40.10.(2)(A)(ii), By-law 569-2013**
The maximum permitted height of all rear exterior main walls is 7.5 m.
The height of the rear exterior main walls will be 9.56 m.
- Chapter 10.10.40.40.(2)(A), By-law 569-2013**
Additions to the rear of a semi-detached dwelling erected before October 15, 1953 are permitted provided the residential floor space index of the building, as enlarged, does not exceed 0.69 times the area of the lot (117.3 m²).
The altered semi-detached dwelling will have a floor space index equal to 1.01 times the area of the lot (172.11 m²).
- Section 6(3) Part VI 1(I), By-law 438-86**
Additions to the rear of a semi-detached dwelling erected before October 15, 1953, or to a converted house, are permitted provided the residential gross floor area of the building, as enlarged, does not exceed 0.69 times the area of the lot (117.3 m²).
The altered semi-detached dwelling will have a gross floor area equal to 1.01 times the area of the lot (172.11 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0296/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	NATASHA MIRCHANDANI JONATHAN NELSON TRYANSKY	Ward:	Toronto-Danforth (29)
Agent:	OLIVER DANG	Heritage:	Not Applicable
Property Address:	159 BROWNING AVE	Community:	Toronto
Legal Description:	PLAN M368 PT LOTS 134 & 135		

Michael Clark (Signed)

Carl Knipfel (Signed)

Lisa Valentini (Signed)

Donald Granatstein (Signed)

DATE DECISION MAILED ON: **TUESDAY, August 1, 2017**

LAST DATE OF APPEAL: **MONDAY, August 15, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0299/17TEY	Zoning	RM (f12.0;u2;d0.8)(x252) & R2 (ZZC)
Owner(s):	JUSTYN GREEN	Ward:	St. Paul's (21)
Agent:	JUSTYN GREEN	Heritage:	Not Applicable
Property Address:	20 DURHAM AVE	Community:	York
Legal Description:	PLAN 1527 LOT 39		

Notice was given and a Public Hearing was held on **Wednesday, July 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing one-storey detached dwelling by constructing a second-storey addition, a rear two-storey addition and a rear second-storey balcony.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.80.40.70.(3)(A), By-law 569-2013

The minimum required side yard setback for a detached house is 1.2 m.

The altered dwelling will be located 0.29 m from the west side lot line and 1.14 m from the east side lot line.

2. Chapter 10.5.40.60.(7), By-law 569-2013

Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.3 m to a lot line.

The roof eaves will be 0.0 m from the west side lot line.

1. Section 3(a), By-law 3623-97

The minimum required side yard setback is 0.5 m from one side lot line and 1.2 m from the other.

The altered dwelling will be located 0.29 m from the west side lot line and 1.14 m from the east side lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0299/17TEY	Zoning	RM (f12.0;u2;d0.8)(x252) & R2 (ZZC)
Owner(s):	JUSTYN GREEN	Ward:	St. Paul's (21)
Agent:	JUSTYN GREEN	Heritage:	Not Applicable
Property Address:	20 DURHAM AVE	Community:	York
Legal Description:	PLAN 1527 LOT 39		

Michael Clark (Signed)

Carl Knipfel (Signed)

Lisa Valentini (Signed)

Donald Granatstein (Signed)

DATE DECISION MAILED ON: **TUESDAY, August 1, 2017**

LAST DATE OF APPEAL: **MONDAY, August 15, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

The minimum required setback from the side wall of an adjacent building that does not contain any openings is 0.9 m.

The altered rowhouse will be located 0.0 m from the side wall of the east adjacent building.

3. Section 6(3) Part II 5(I), By-law 438-86

The maximum permitted depth of a rowhouse is 14.0 m.

The altered rowhouse will have a depth of 17.51 m.

4. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area of a detached dwelling is 0.60 times the area of the lot (99.50 m²).

The altered rowhouse will have a gross floor area equal to 0.84 times the area of the lot (139.96 m²).

5. Section 6(2), 1(iii)A, By-law 438-86

The maximum permitted floor space of an addition to a converted house is 0.15 times the area of the lot (24.87 m²).

The addition will have an area equal to 0.18 times the area of the lot (29.20 m²).

6. Section 6(2) 1(v), By-law 438-86

A converted dwelling is permitted provided that there is no substantial change in the appearance of the dwelling as the result of the conversion.

In this case, substantial change will occur in the appearance of the dwelling.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0300/17TEY	Zoning	R(d0.6)(x740) & R2 Z0.6 (ZZC)
Owner(s):	ASHRAF MOHAMMAD UDDIN HELAL AHMED	Ward:	Davenport (18)
Agent:	ANDREW TROTTER	Heritage:	Not Applicable
Property Address:	89 MILLICENT ST	Community:	Toronto
Legal Description:	PLAN 862 PT LOTS 23 & 24 RP 63R521 PART 1		

Michael Clark (Signed)

Carl Knipfel (Signed)

Lisa Valentini (Signed)

Donald Granatstein (Signed)

DATE DECISION MAILED ON: **TUESDAY, August 1, 2017**

LAST DATE OF APPEAL: **MONDAY, August 15, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0301/17TEY	Zoning:	(d0.6) (x296) & R2 Z0.6 (ZZC)
Owner(s):	LORNA HALFON SHANI HALFON	Ward:	Parkdale-High Park (14)
Agent:	MICHAEL BOXER	Heritage:	Not Applicable
Property Address:	180 PEARSON AVE	Community:	Toronto
Legal Description:	PLAN 552 PT LOT 4 PT LOT 5		

Notice was given and a Public Hearing was held on **Wednesday, July 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing 2½-storey semi-detached dwelling by constructing a rear two-storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Chapter 10.10.40.40.(2)(A), By-law 569-2013

Additions to the rear of a semi-detached dwelling erected before October 15, 1953 are permitted provided the residential floor space index of the building, as enlarged, does not exceed 0.69 times the area of the lot (217.95 m²).

The altered dwelling will have a floor space index equal to 0.80 times the area of the lot (254.14 m²).

Section 6(3) Part VI 1(I), By-law 438-86

Additions to the rear of a semi-detached dwelling erected before October 15, 1953, or to a converted house, are permitted provided the residential gross floor area of the building, as enlarged, does not exceed 0.69 times the area of the lot (217.95 m²).

The altered dwelling will have a gross floor area equal to 0.80 times the area of the lot (254.14 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0301/17TEY	Zoning	(d0.6) (x296) & R2 Z0.6 (ZZC)
Owner(s):	LORNA HALFON SHANI HALFON	Ward:	Parkdale-High Park (14)
Agent:	MICHAEL BOXER	Heritage:	Not Applicable
Property Address:	180 PEARSON AVE	Community:	Toronto
Legal Description:	PLAN 552 PT LOT 4 PT LOT 5		

DISSENTED

Michael Clark (Signed)

Carl Knipfel

Lisa Valentini (Signed)

Donald Granatstein (Signed)

DATE DECISION MAILED ON: **TUESDAY, August 1, 2017**

LAST DATE OF APPEAL: **MONDAY, August 15, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0303/17TEY	Zoning	R(d0.6)(x290) & R2 Z0.6 (ZZC)
Owner(s):	FIONA MENZIES MATTHEW FURROW	Ward:	Parkdale-High Park (14)
Agent:	ALISON MILNE	Heritage:	Not Applicable
Property Address:	230 PEARSON AVE	Community:	Toronto
Legal Description:	PLAN 590 PT LOT 9		

Notice was given and a Public Hearing was held on **Wednesday, July 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing existing three-storey dwelling, by constructing a third floor dormer addition and to reestablish the building as a single family dwelling by removing the three existing dwelling units.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.70.(3)A(i) By-law 569-2013**
The minimum required side yard setback is 0.90 m.
The third floor dormer addition will have an east side yard setback of 0.65 m.
 - 2. Chapter 10.10.40.10.(1)(B), By-law 569-2013**
The maximum permitted height of a building or structure is 10.00 m.
The third floor dormer addition will be 10.30 m.
 - 3. Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50 m.
The height of the side exterior main walls facing a side lot line of the third floor dormer addition will be 9.98 m.
-
- 1. Section 6(3) Part II 3.B(II), By-law 438-86**
The minimum required side lot line setback is 0.90 m.
The east side lot line setback will be 0.65 m.
 - 2. Section 6(3) Part II 3.B(II), By-law 438-86**
A minimum building separation distance of 1.20 m is required.
The east side dormer addition will have a building separation distance of 0.87 m.

3. Section 4(2)(a), By-law 438-86

The maximum permitted height of a building or structure is 10.00 m.
The third floor dormer addition will be 10.30 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0303/17TEY	Zoning	R(d0.6)(x290) & R2 Z0.6 (ZZC)
Owner(s):	FIONA MENZIES MATTHEW FURROW	Ward:	Parkdale-High Park (14)
Agent:	ALISON MILNE	Heritage:	Not Applicable
Property Address:	230 PEARSON AVE	Community:	Toronto
Legal Description:	PLAN 590 PT LOT 9		

Michael Clark (Signed)

Carl Knipfel (Signed)

Lisa Valentini (Signed)

Donald Granatstein (Signed)

DATE DECISION MAILED ON: **TUESDAY, August 1, 2017**

LAST DATE OF APPEAL: **MONDAY, August 15, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



City Planning Division

Committee of Adjustment
Toronto and East York District

100 Queen Street West, 1st Floor
Toronto, Ontario M5H 2N2
Tel: 416-392-7565
Fax: 416-392-0580

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0306/17TEY	Zoning:	CR T3.0 C2.0 R3.0 (ZPR)
Owner(s):	THE RESIDENCES OF ALTER INC	Ward:	Toronto Centre-Rosedale (27)
Agent:	PAUL COPE	Heritage:	Not Applicable
Property Address:	355 CHURCH ST	Community:	Toronto
Legal Description:	PL 203 LTS 1 & 2 SUBJ TO ROW		

Notice was given and a Public Hearing was held on **Wednesday, July 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the redevelopment plan for a 33-storey mixed use building, approved under Site-specific By-law 837-2015(OMB), by reducing the required parking stall length for three of the required parking spaces.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 4(17)(a)(ii), By-law 438-86

The minimum required parking space length is 5.6 m.

In this case, three parking spaces for residential occupants will have a length of 5.2 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0306/17TEY	Zoning	CR T3.0 C2.0 R3.0 & Site-Specific By-law 837-2015(OMB) (ZPR)
Owner(s):	THE RESIDENCES OF ALTER INC	Ward:	Toronto Centre-Rosedale (27)
Agent:	PAUL COPE	Heritage:	Not Applicable
Property Address:	355 CHURCH ST	Community:	Toronto
Legal Description:	PL 203 LTS 1 & 2 SUBJ TO ROW		

Michael Clark (Signed)

Carl Knipfel (Signed)

Lisa Valentini (Signed)

Donald Granatstein (Signed)

DATE DECISION MAILED ON: **TUESDAY, August 1, 2017**

LAST DATE OF APPEAL: **MONDAY, August 15, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0314/17TEY	Zoning	R(d0.6)(x312) & R2 Z0.6 (ZZC)
Owner(s):	SARAH MASSIE DANIEL MC CONVILLE	Ward:	Toronto-Danforth (29)
Agent:	TREVOR WALLACE	Heritage:	Not Applicable
Property Address:	1038 LOGAN AVE	Community:	Toronto
Legal Description:	PLAN M368 PT LOTS 26 & 27		

Notice was given and a Public Hearing was held on **Wednesday, July 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the 2½-storey semi-detached dwelling by constructing a rear third-floor addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The height of the side exterior main walls facing a side lot line will be 9.23 m.
- 2. Chapter 10.10.40.40(2)(A), By-law 569-2013**
Additions to the rear of a semi-detached house erected before October 15, 1953, are permitted provided the floor space index as enlarged does not exceed 0.69 times the area of the lot (127.93 m²).
The altered dwelling will have a floor space index equal to 0.97 times the area of the lot (179.4 m²).
- 1. Section 6(3) Part VI 1(I), By-law 438-86**
Additions to the rear of a semi-detached house erected before October 15, 1953, or to a converted house are permitted provided the residential gross floor area as enlarged does not exceed 0.69 times the area of the lot (127.93 m²).
The altered dwelling will have a residential gross floor area equal to 0.97 times the area of the lot (179.4 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0314/17TEY	Zoning	R(d0.6)(x312) & R2 Z0.6 (ZZC)
Owner(s):	SARAH MASSIE DANIEL MC CONVILLE	Ward:	Toronto-Danforth (29)
Agent:	TREVOR WALLACE	Heritage:	Not Applicable
Property Address:	1038 LOGAN AVE	Community:	Toronto
Legal Description:	PLAN M368 PT LOTS 26 & 27		

Michael Clark (Signed)

Carl Knipfel (Signed)

Lisa Valentini (Signed)

Donald Granatstein (Signed)

DATE DECISION MAILED ON: **TUESDAY, August 1, 2017**

LAST DATE OF APPEAL: **MONDAY, August 15, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0319/17TEY	Zoning:	RD(d0.35)(x961) & R1 Z0.35 (ZZC)
Owner(s):	KATHERINE HECZKO SANJAY KULKARNI	Ward:	Beaches-East York (32)
Agent:	PHILIPPE BEAUPARLANT	Heritage:	Not Applicable
Property Address:	162 HAMMERSMITH AVE	Community:	Toronto
Legal Description:	PLAN M390 PT LOT 32 PT LOT 33		

Notice was given and a Public Hearing was held on **Wednesday, July 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by constructing a rear one-storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index of a detached dwelling is 0.35 times the area of the lot (126.81 m²).

The altered detached dwelling will have a floor space index equal to 0.51 times the area of the lot (183.5 m²).

1. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area of a detached dwelling is 0.35 times the area of the lot (126.81 m²).

The altered detached dwelling will have a gross floor area equal to 0.51 times the area of the lot (183.5 m²).

2. Section 6(3) Part II 3.B(II), By-law 438-86

The minimum required side lot line setback for the portion of a detached dwelling not exceeding a depth of 17 m is 0.9 m.

The portion of the altered detached dwelling, not exceeding a depth of 17 m, will be located 0.63 m from the south side lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0319/17TEY	Zoning	RD(d0.35)(x961) & R1 Z0.35 (ZZC)
Owner(s):	KATHERINE HECZKO SANJAY KULKARNI	Ward:	Beaches-East York (32)
Agent:	PHILIPPE BEAUPARLANT	Heritage:	Not Applicable
Property Address:	162 HAMMERSMITH AVE	Community:	Toronto
Legal Description:	PLAN M390 PT LOT 32 PT LOT 33		

DECLARED AN INTEREST

Michael Clark (Signed)

Carl Knipfel (Signed)

Lisa Valentini

Donald Granatstein (Signed)

DATE DECISION MAILED ON: **TUESDAY, August 1, 2017**

LAST DATE OF APPEAL: **MONDAY, August 15, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0320/17TEY	Zoning	RD (f6.0, a185, d0.75) & R1C (ZZC)
Owner(s):	ANGELO MANTONAKIS	Ward:	Toronto-Danforth (29)
Agent:	DEMETRE BAZIOS	Heritage:	Not Applicable
Property Address:	484 DONLANDS AVE	Community:	East York
Legal Description:	PLAN M444 PT LOTS 341 & 342		

Notice was given and a Public Hearing was held on **Wednesday, July 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing one-storey detached dwelling by constructing a complete second-storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 200.5.1.10.(2), By-law 569-2013

A parking space is required to have minimum dimensions of 2.9 m in width by 5.6 m in length. The parking space on the west side of the dwelling will have a width of 2.7 m.

2. Chapter 10.20.40.10.(1)(A), By-law 569-2013

The maximum permitted building height is 8.5 m. The altered dwelling will have a height of 8.99 m.

1. Section 5.6, By-law 6752

The front stairs shall not be closer than 1.5 m to the front lot line. In this case, the front stairs will be located 1.4 m from the north front lot line.

2. Section 4.23, By-law 6752

A parking space is required to have minimum dimensions of 2.9 m in width by 5.6 m in length. The parking space on the west side of the dwelling will have a width of 2.7 m.

3. Section 7.1.6, By-law 6752

A minimum of 75% (18.6 m²) of the front yard must be maintained as soft landscaping. In this case, 63% (15.5 m²) of the front yard will be maintained as soft landscaping.

4. Section 7.4.3, By-law 6752

The minimum required rear yard setback is 9 m.

The altered dwelling will be located 8.77 m from the south rear lot line.

5. Section 7.4.3, By-law 6752

The maximum permitted building height is 8.5 m.

The altered dwelling will have a height of 8.99 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0320/17TEY	Zoning	RD (f6.0, a185, d0.75) & R1C (ZZC)
Owner(s):	ANGELO MANTONAKIS	Ward:	Toronto-Danforth (29)
Agent:	DEMETRE BAZIOS	Heritage:	Not Applicable
Property Address:	484 DONLANDS AVE	Community:	East York
Legal Description:	PLAN M444 PT LOTS 341 & 342		

Michael Clark (Signed)

Carl Knipfel (Signed)

Lisa Valentini (Signed)

Donald Granatstein (Signed)

DATE DECISION MAILED ON: **TUESDAY, August 1, 2017**

LAST DATE OF APPEAL: **MONDAY, August 15, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0328/17TEY	Zoning:	RS (f10.5; a325; d0.75) (x312) & R2A (WAIVER)
Owner(s):	ROSALIND HEIDI KERN SEAN DOUGLAS SMITH	Ward:	Beaches-East York (31)
Agent:	SEAN DOUGLAS SMITH	Heritage:	Not Applicable
Property Address:	248 SPRINGDALE BLVD	Community:	Toronto
Legal Description:	PLAN M394 LOT 350		

Notice was given and a Public Hearing was held on **Wednesday, July 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by constructing a rear two-storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.40.30.(1), By-law 569-2013**
The maximum permitted lot coverage is 35% of the lot area (65.0 m²).
The lot coverage will be 37% of the lot area (68.5 m²).
- Chapter 10.5.40.60.(7), By-law 569-2013**
Roof eaves are permitted to project provided they are no closer to a lot line than 0.3 m.
The roof eaves will be located 0.15 m from the west lot line.
- Section 7.8, By-law 6752**
The maximum permitted lot coverage is 35% of the lot area (65.03 m²).
Minor Variance Decision A0158/08TEY approved a lot coverage of 39% of the lot area (72.9 m²).
The lot coverage will be 37% of the lot area (68.5 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0328/17TEY	Zoning	RS (f10.5; a325; d0.75) (x312) & R2A (WAIVER)
Owner(s):	ROSALIND HEIDI KERN SEAN DOUGLAS SMITH	Ward:	Beaches-East York (31)
Agent:	SEAN DOUGLAS SMITH	Heritage:	Not Applicable
Property Address:	248 SPRINGDALE BLVD	Community:	Toronto
Legal Description:	PLAN M394 LOT 350		

Michael Clark (Signed)

Carl Knipfel (Signed)

Lisa Valentini (Signed)

Donald Granatstein (Signed)

DATE DECISION MAILED ON: **TUESDAY, August 1, 2017**

LAST DATE OF APPEAL: **MONDAY, August 15, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0330/17TEY	Zoning	R (f7.5; u2; d0.6)(x957) & R1S Z0.6 (ZZC)
Owner(s):	BARBARA COLLINS	Ward:	Toronto Centre-Rosedale (27)
Agent:	GLORIA APOSTOLOU	Heritage:	Not Applicable
Property Address:	14 MOORE AVE	Community:	Toronto
Legal Description:	PLAN 895 PT LOT 9		

Notice was given and a Public Hearing was held on **Wednesday, July 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by constructing a one-storey front addition, a new front porch and a one-storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 4.75 m.
The altered detached dwelling will be located 2.33 m from the front lot line.
- 2. Chapter 10.5.40.60.(1)(A)(i), By-law 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach 2.38 m into the required front yard setback, if it is no closer to a side lot line than the required side yard setback (0.9 m).
In this case, the new front porch will encroach 2.43 m into the required front yard setback and will be located 0.23 m from the west side lot line. The new front landing will encroach 4.15 m into the required front yard setback.
- 3. Chapter 10.5.50.10.(1)(D), By-law 569-2013**
A minimum of 75% of the required front yard landscaping must be soft landscaping (11.42 m²).
In this case, 56.99% (8.68 m²) of the front yard will be soft landscaping.
- 1. Section 6(3) Part II 2 (II), By-law 438-86**
The minimum required front yard setback of a building on an inside lot is 4.75 m.
The altered dwelling will be located 2.33 m from the front lot line.
- 2. Section 6(3) Part II 3.C(II)(i), By-law 438-86**

The minimum required side lot line setback of a detached house is 0.9 m where the side wall contains openings.

The altered dwelling will be located 0.3 m from the west side lot line.

3. Section 6(3) Part III 3.(d), By-law 438-86

A minimum of 75% (23.81 m²) of the front yard area (area between the front lot line and the main front wall of the dwelling extending to the side lot lines and not covered by a permitted driveway), shall be maintained as soft landscaping.

In this case, 27.35% (8.68 m²) of the front yard area will be soft landscaping.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

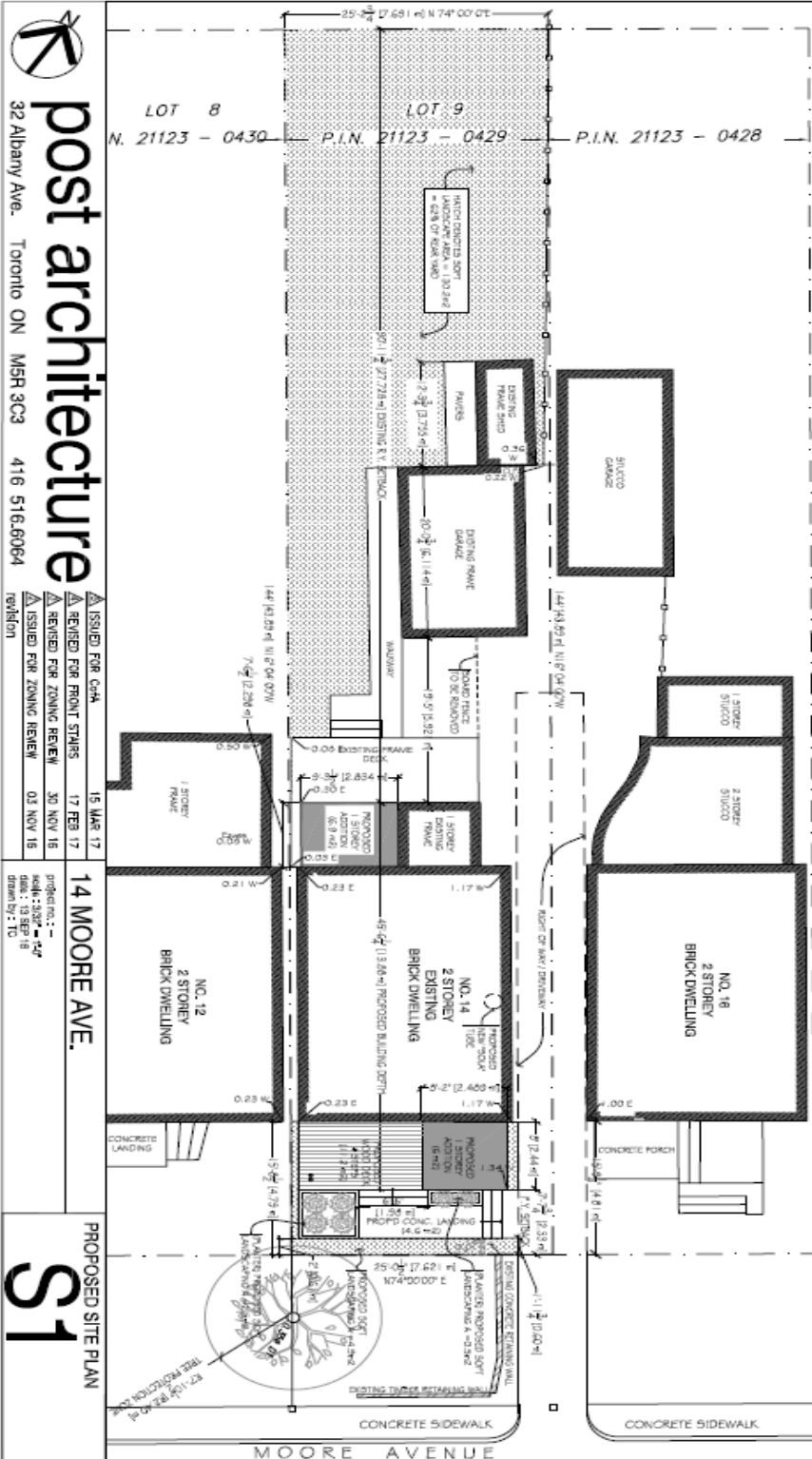
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The front yard setback variance of 2.33 m shall be limited to the front one-storey addition, as illustrated on plans received by the Committee of Adjustment on March 15, 2017.
- (2) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

14 Moore Avenue		R (7.5:0.2:0.6)(957)	
Use	Existing	Proposed	
Lot Area	335.04m ²	No Change	335.04m ²
GFA			
Ground Flr.	63 m ²	82.6 m ²	
Second Flr.	58.3 m ²	58.3 m ²	
Basement	63 m ²	63 m ²	
Total GFA (excl. base)	121.3 m ²	140.9 m ²	
Density	36.20%	42.05%	
Height	8m	8m	
Parking	1	1	
Depth	11.47m	13.91m	
Setbacks, Min.			
Front yard	4.29m	2.33m	
Side yard (E)	1.17m	1.17m	
Side yard (W)	0.23m	0.23m	
Rear yard	27.71m	27.71m	

NOTE:
 SURVEY INFORMATION OBTAINED FROM
 SURVEYOR'S REAL PROPERTY REPORT PART 1 PLAN OF LOT 9
 REGISTERED PLAN 895, CITY OF TORONTO,
 MUNICIPALITY OF METROPOLITAN TORONTO,
 PREPARED BY AVANTI SURVEYING INC.,
 ONTARIO LAND SURVEYOR, 2016



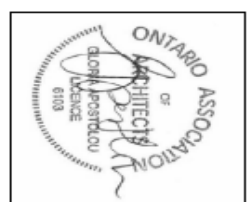
post architecture
 32 Albany Ave. Toronto ON M5H 3C3 416 516.6064

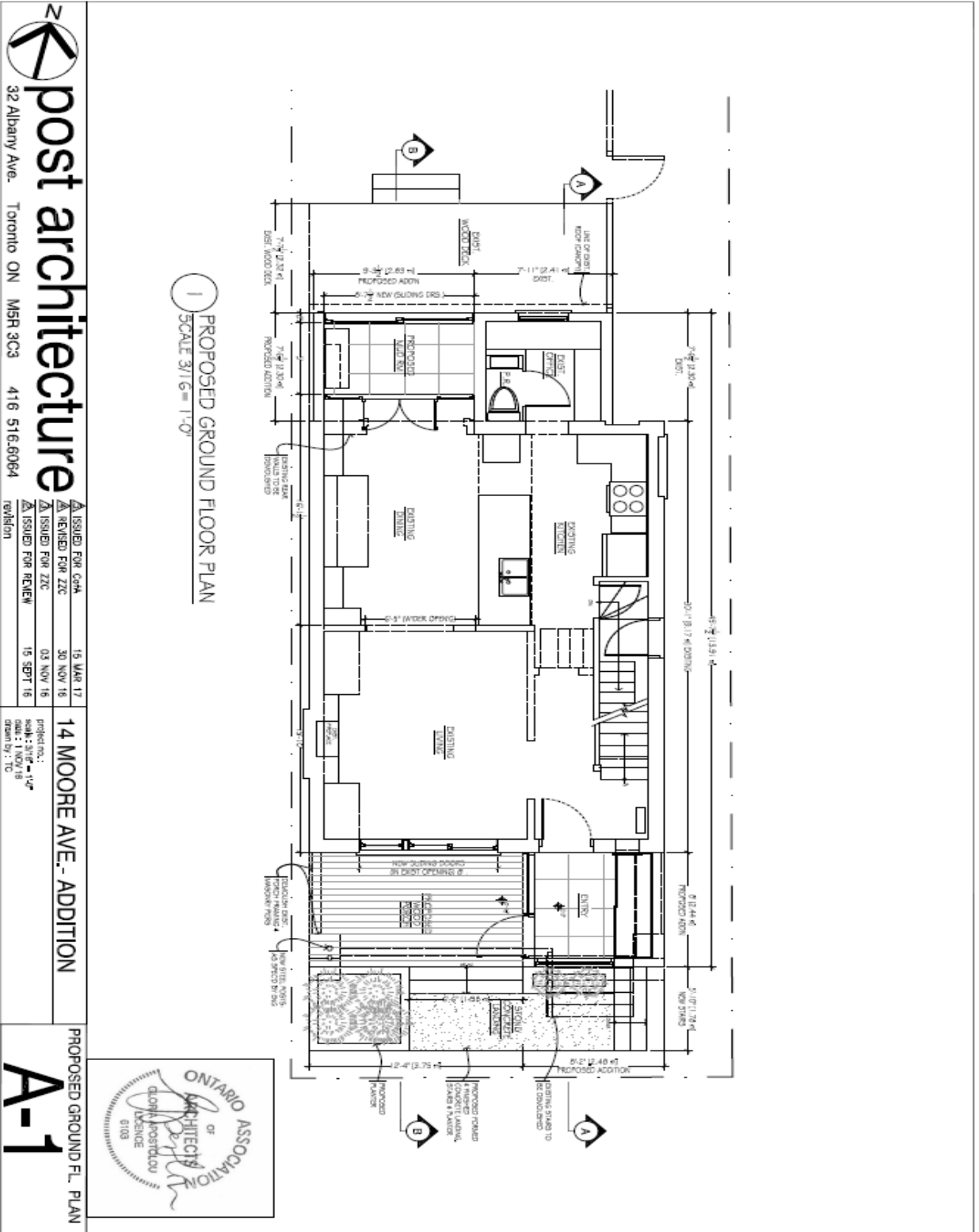
ISSUED FOR CMA	15 MAR 17
REVISED FOR FRONT STAIRS	17 FEB 17
REVISED FOR ZONING REVIEW	30 NOV 16
ISSUED FOR ZONING REVIEW	03 NOV 16

14 MOORE AVE.
 PROPOSED SITE PLAN

project no.: --
 scale: 1/32" = 1'-0"
 date: 13 SEP 18
 drawn by: TD

S1





1 PROPOSED GROUND FLOOR PLAN
SCALE 3/16" = 1'-0"

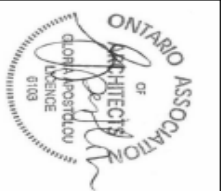


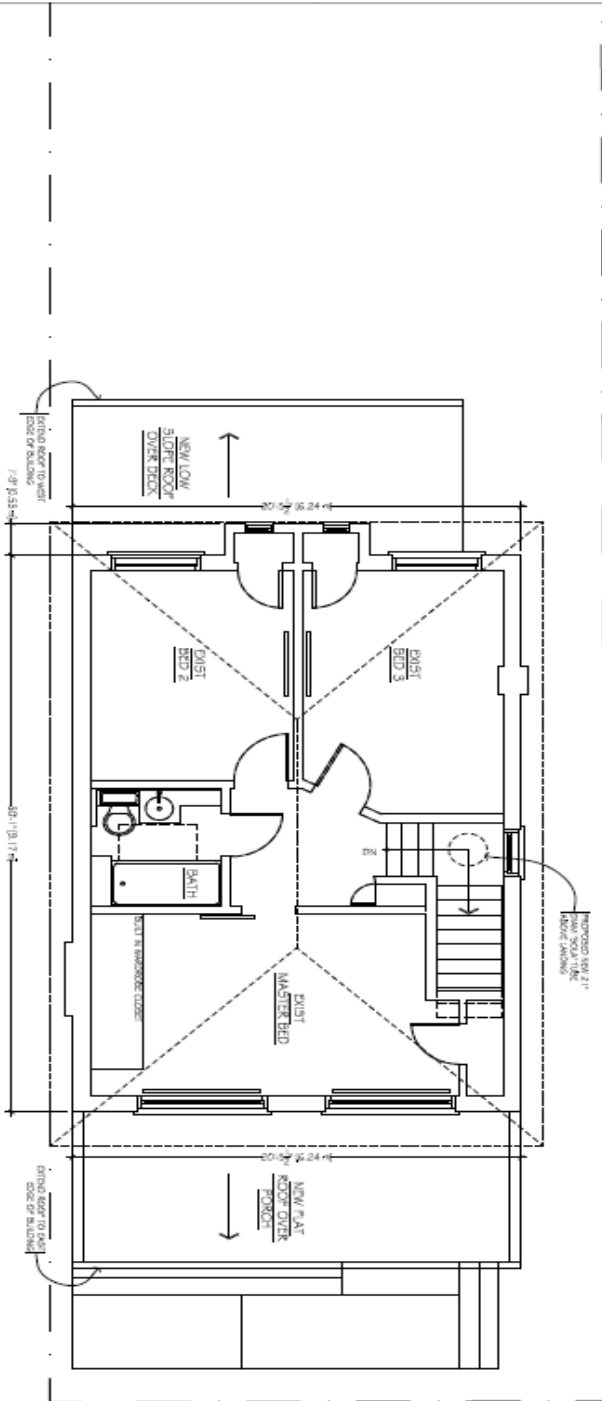
post architecture
32 Albany Ave. Toronto ON M5R 3C3 416 516.6064

ISSUED FOR CMA	15 MAR 17
REVIEWED FOR ZTC	30 NOV 16
ISSUED FOR ZTC	03 NOV 16
ISSUED FOR REVIEW	15 SEPT 16
revision	

14 MOORE AVE.- ADDITION
project no.:
scale: 3/16" = 1'-0"
date: 1 NOV 16
drawn by: TO

PROPOSED GROUND FL. PLAN
A-1





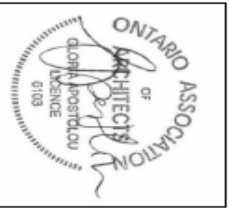
1 PROPOSED SECOND FLOOR PLAN
SCALE 3/16 = 1'-0"

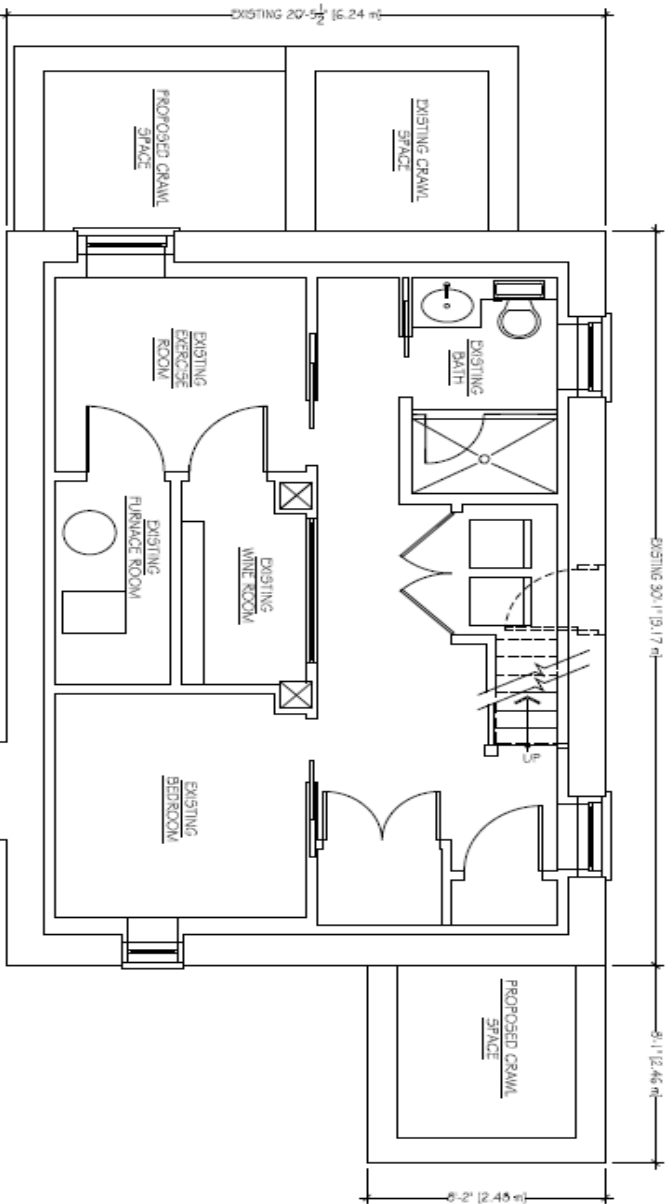
post architecture
32 Albany Ave. Toronto ON M5R 3C3 416 516.6064

ISSUED FOR C.A.	15 MAR 17
ISSUED FOR ZTC	03 NOV 16
ISSUED FOR PRELIM BUDGET	13 JUN 16
ISSUED FOR REVIEW	25 MAY 16
revision	

14 MOORE AVE.- ADDITION
project no.:
scale: 3/16 = 1'-0"
date: 1 NOV 18
drawn by: TO

PROPOSED SECOND FL PLAN
A-2





1 PROPOSED BASEMENT FLOOR PLAN
SCALE 3/16 = 1'-0"

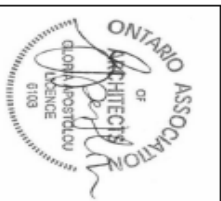


post architecture
32 Albany Ave. Toronto ON M5R 3C3 416 516-6064

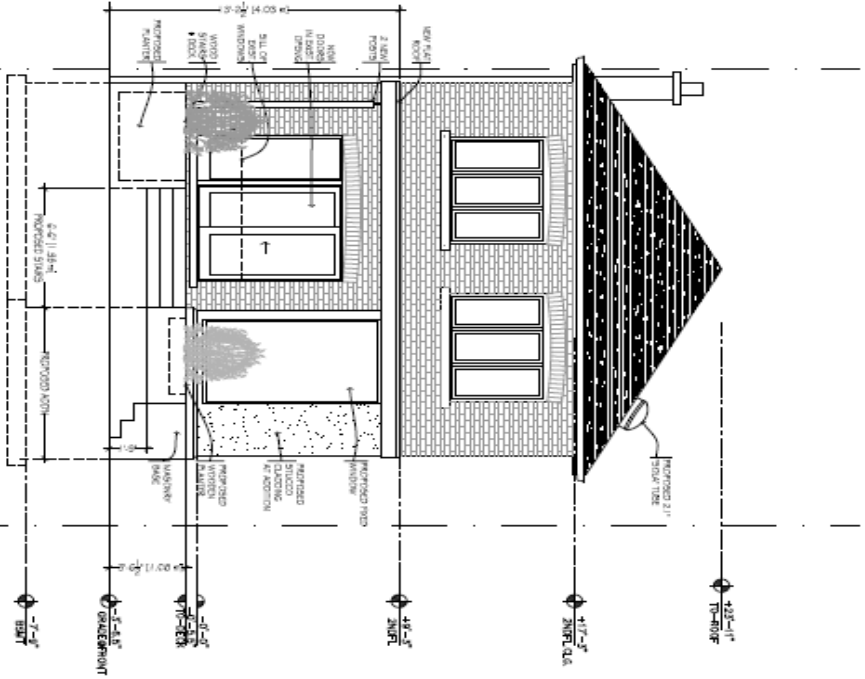
ISSUED FOR C.A.	15 MAR 17
ISSUED FOR Z.C.	03 NOV 16
ISSUED FOR PERM. BUDGET	13 JUN 16
ISSUED FOR REVIEW	25 MAY 16
revision	

14 MOORE AVE. - ADDITION
project no.:
scale: 3/16" = 1'-0"
date: 1 NOV 18
drawn by: TC

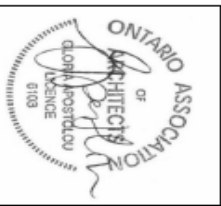
PROPOSED BASEMENT PLAN
A-3

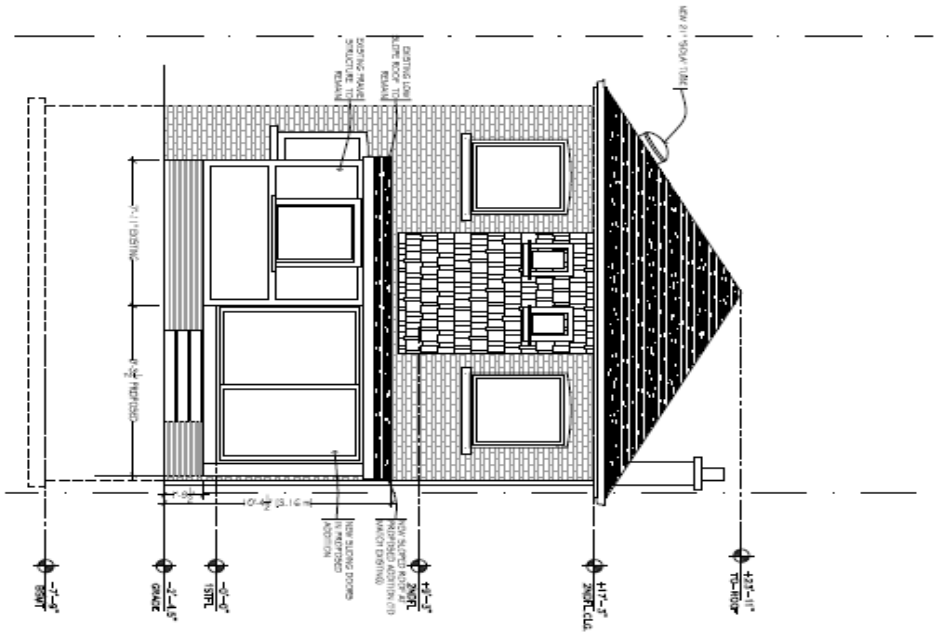


1 PROPOSED SOUTH (FRONT) ELEVATION
SCALE 3/16" = 1'-0"



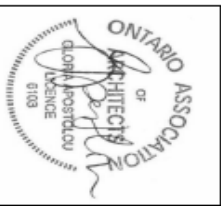
<p>post architecture</p> <p>32 Albany Ave. Toronto ON M5R 3C3 416 516.6064</p>	<p>15 MAR 17</p> <p>Δ ISSUED FOR CMA</p>	<p>14 MOORE AVE.</p> <p>project no.: -44</p> <p>scale: 3/16" = 1'-0"</p> <p>date: 1 NOV/18</p> <p>drawn by: TO</p>	<p>PROPOSED SOUTH ELEVATION</p> <p>A-4</p>
	<p>30 NOV 16</p> <p>Δ REVISED FOR ZTC</p>		
	<p>03 NOV 16</p> <p>Δ ISSUED FOR ZTC</p>		
	<p>17 JUNE 16</p> <p>Δ ISSUED FOR REVIEW</p> <p>revision</p>		

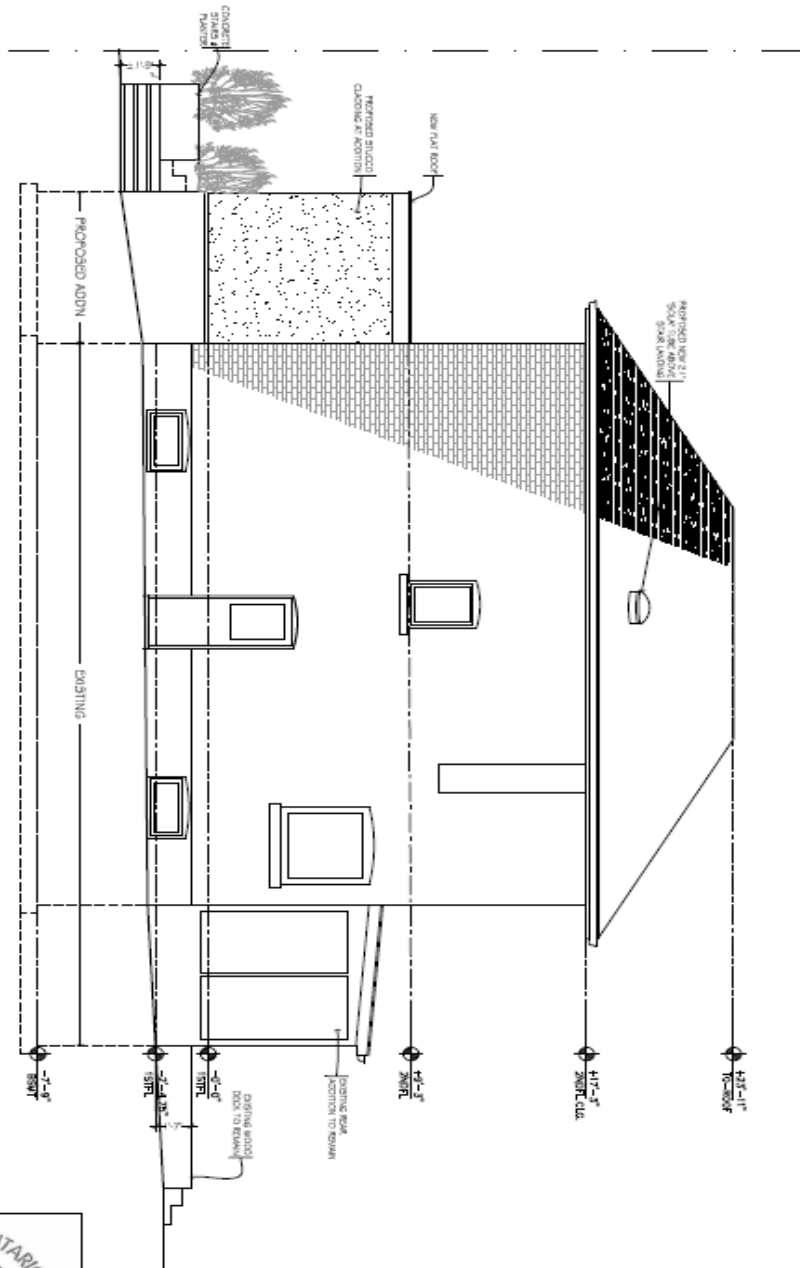




2 PROPOSED NORTH (REAR) ELEVATION
SCALE 3/16 = 1"0"

<p>post architecture</p> <p>32 Albany Ave. Toronto ON M5R 3C3 416 516.6064</p>	<p>Δ ISSUED FOR CMA 15 MAR 17</p>	<p>14 MOORE AVE.</p> <p>PROPOSED NORTH ELEVATION</p>
	<p>Δ REVISED FOR ZTC 30 NOV 16</p>	
	<p>Δ ISSUED FOR ZTC 03 NOV 16</p>	
	<p>Δ ISSUED FOR REVIEW 17 JUNE 16</p>	
<p>revision</p>	<p>project no.: 14 MOORE AVE</p> <p>scale: 3/16" = 1"0"</p> <p>date: 1 NOV 16</p> <p>drawn by: TO</p>	<p>A-5</p>





1 PROPOSED EAST ELEVATION
 SCALE 3/16 = 1'-0"

post architecture

32 Albany Ave. Toronto ON M5R 3C3 416 516.6064

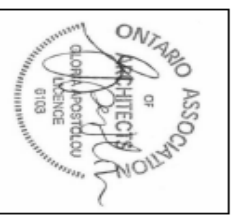
Δ ISSUED FOR CMA	15 MAR 17
Δ REVISED FOR ZTC	30 NOV 16
Δ ISSUED FOR ZTC	03 NOV 16
Δ ISSUED FOR REVIEW	17 JUNE 16
revision	

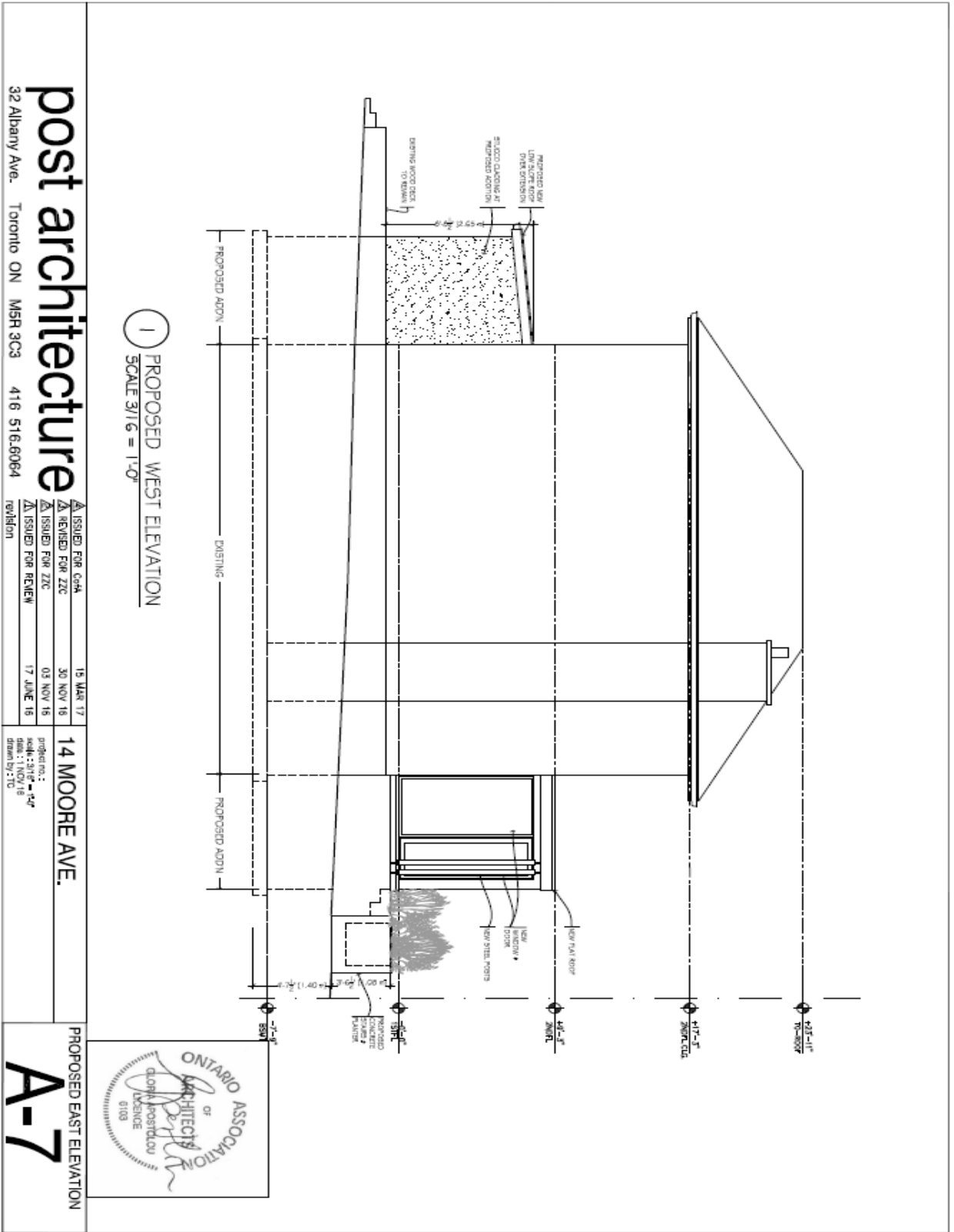
14 MOORE AVE.

project no.:
 scale: 3/16" = 1'-0"
 date: 1 NOV 16
 drawn by: TIC

PROPOSED EAST ELEVATION

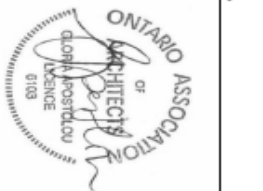
A-6

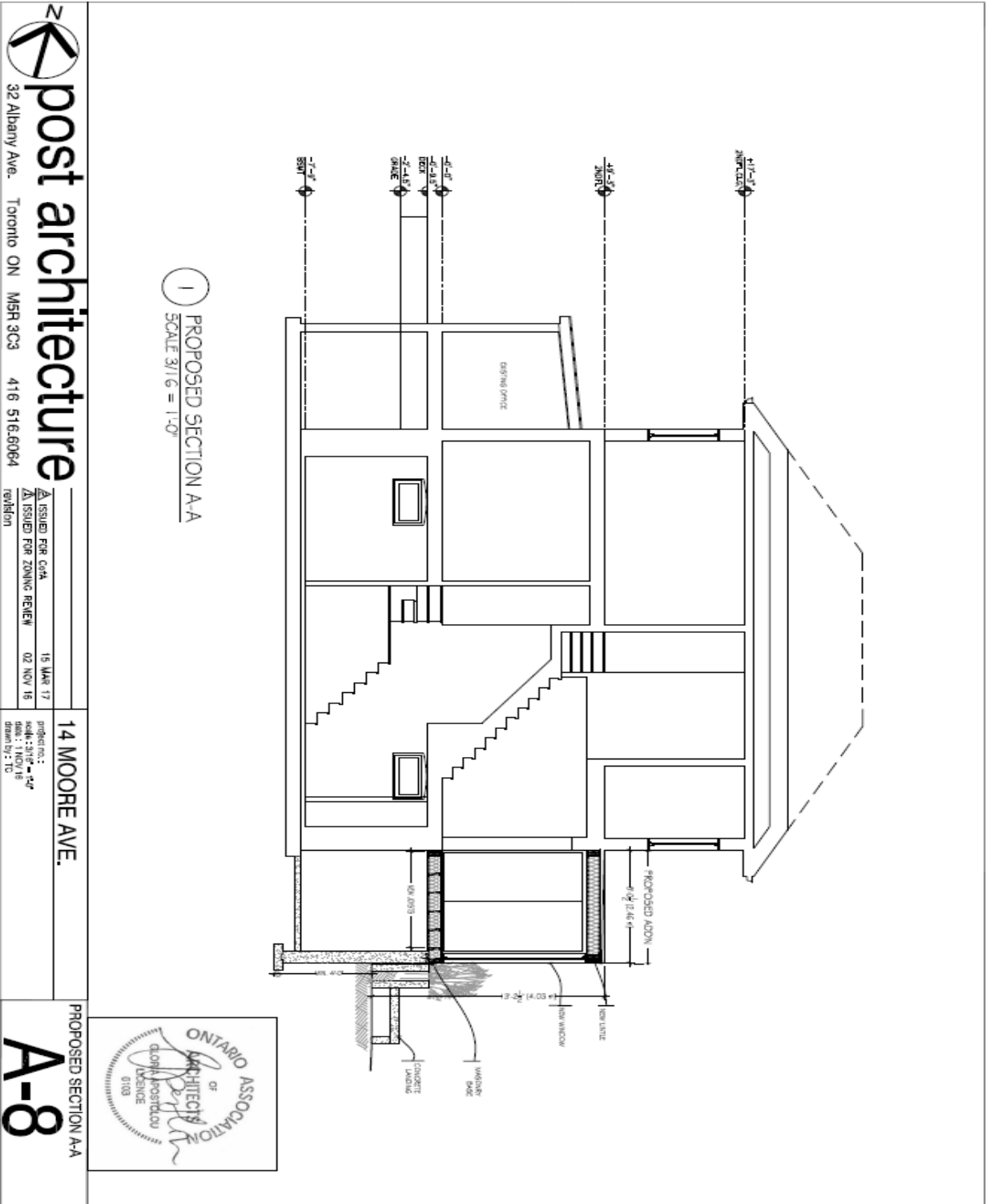





1 PROPOSED WEST ELEVATION
 SCALE 3/16 = 1'-0"

post architecture 32 Albany Ave. Toronto ON M5R 3C3 416 516.6064 revision	▲ ISSUED FOR CMA 15 MAR 17	14 MOORE AVE. project no.: scale: 3/16 = 1'-0" date: 1 NOV 16 drawn by: TO	PROPOSED EAST ELEVATION A-7
	▲ REVISED FOR ZTC 30 NOV 16		
	▲ ISSUED FOR ZTC 03 NOV 16		
	▲ ISSUED FOR REVIEW 17 JUNE 16		







post architecture

32 Albany Ave. Toronto ON M5R 3C3 416 516.6064

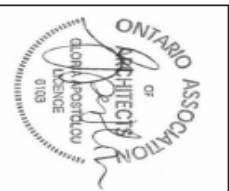
15 MAR 17
 Δ ISSUED FOR CMA
 Δ ISSUED FOR ZONING REVIEW
 02 NOV 16
 revision

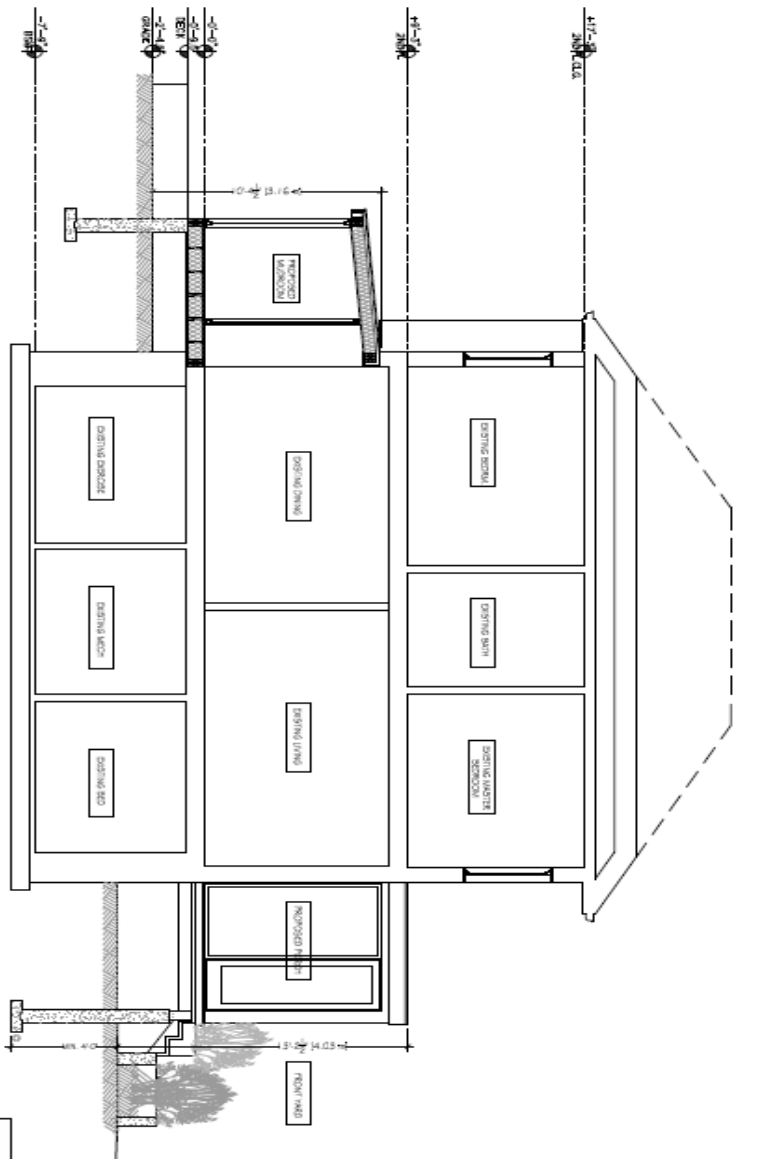
14 MOORE AVE.

project no.:
 scale: 3/16" = 1'-0"
 date: 1 NOV 16
 drawn by: TC

PROPOSED SECTION A-A

A-8





1 PROPOSED SECTION B-B
SCALE 3/16" = 1'-0"

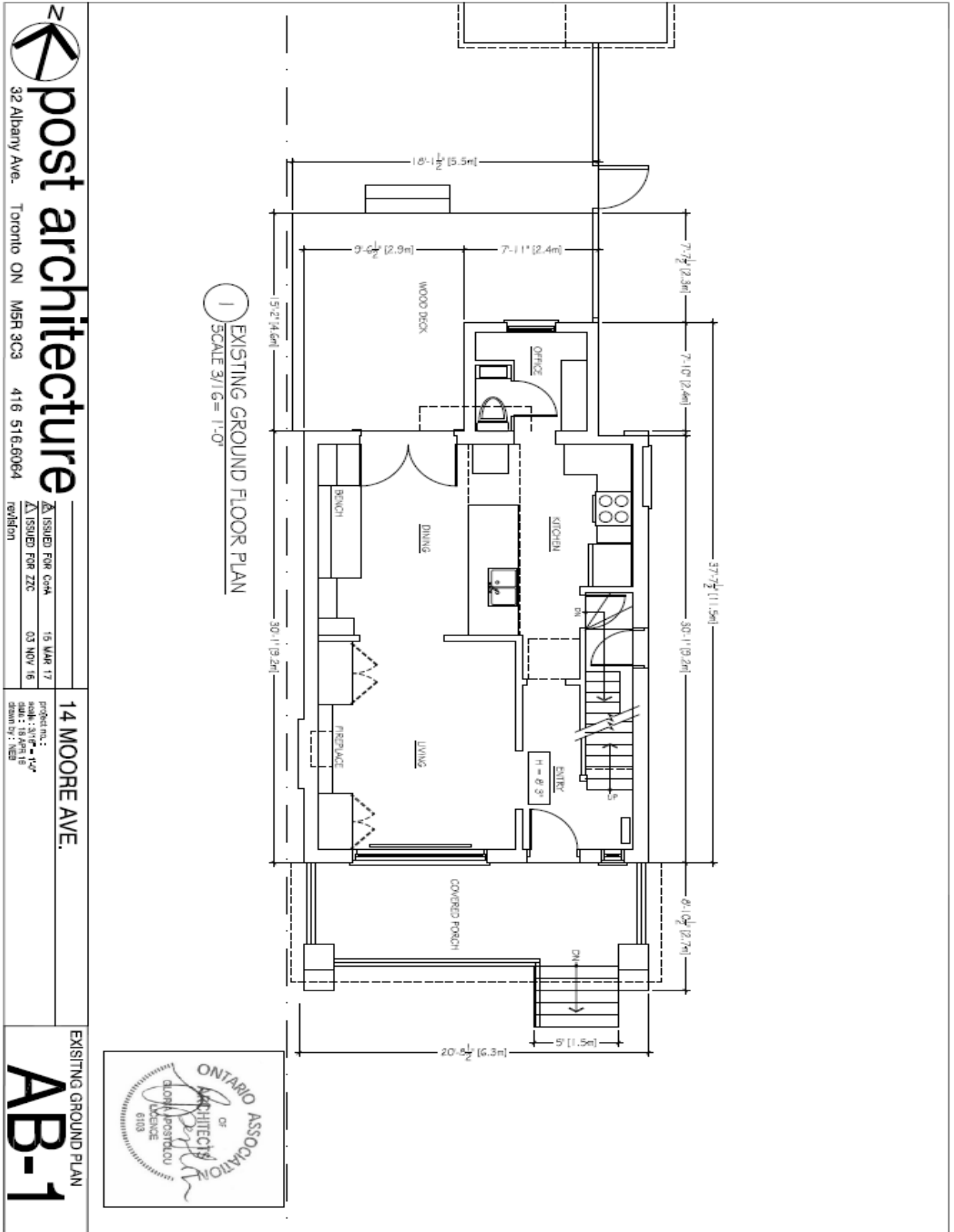
post architecture

32 Albany Ave. Toronto ON M5R 3C3 416 516.6064
 revision
 ISSUED FOR CMA 15 MAR 17
 ISSUED FOR ZTC 03 NOV 16

14 MOORE AVE.
 project no.:
 scale: 3/16" = 1'-0"
 date: 1 NOV 16
 drawn by: TC

PROPOSED SECTION B-B
A-9



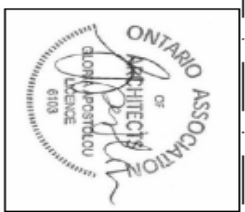


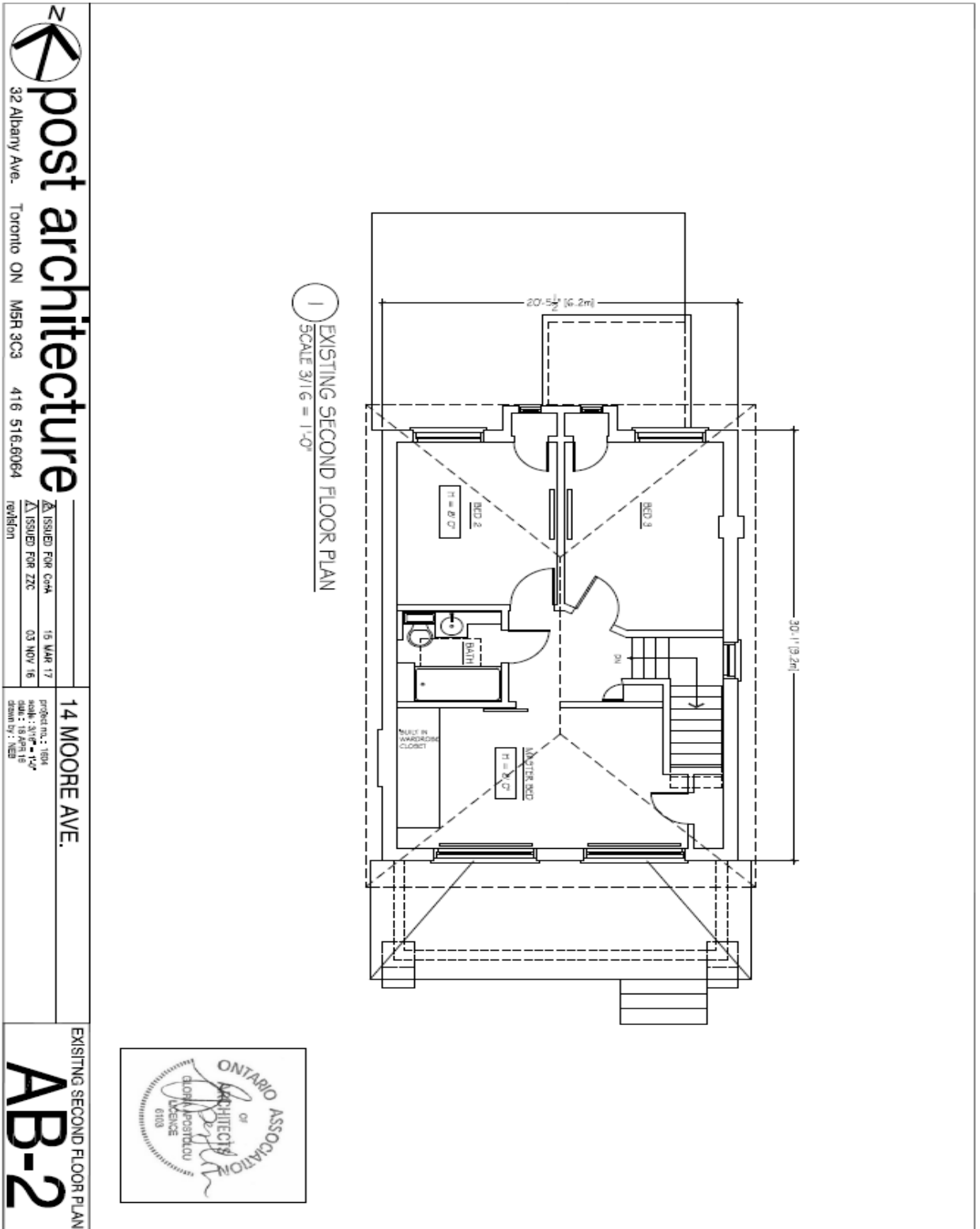
post architecture
 32 Albany Ave. Toronto ON M5R 3C3 416 516-6064

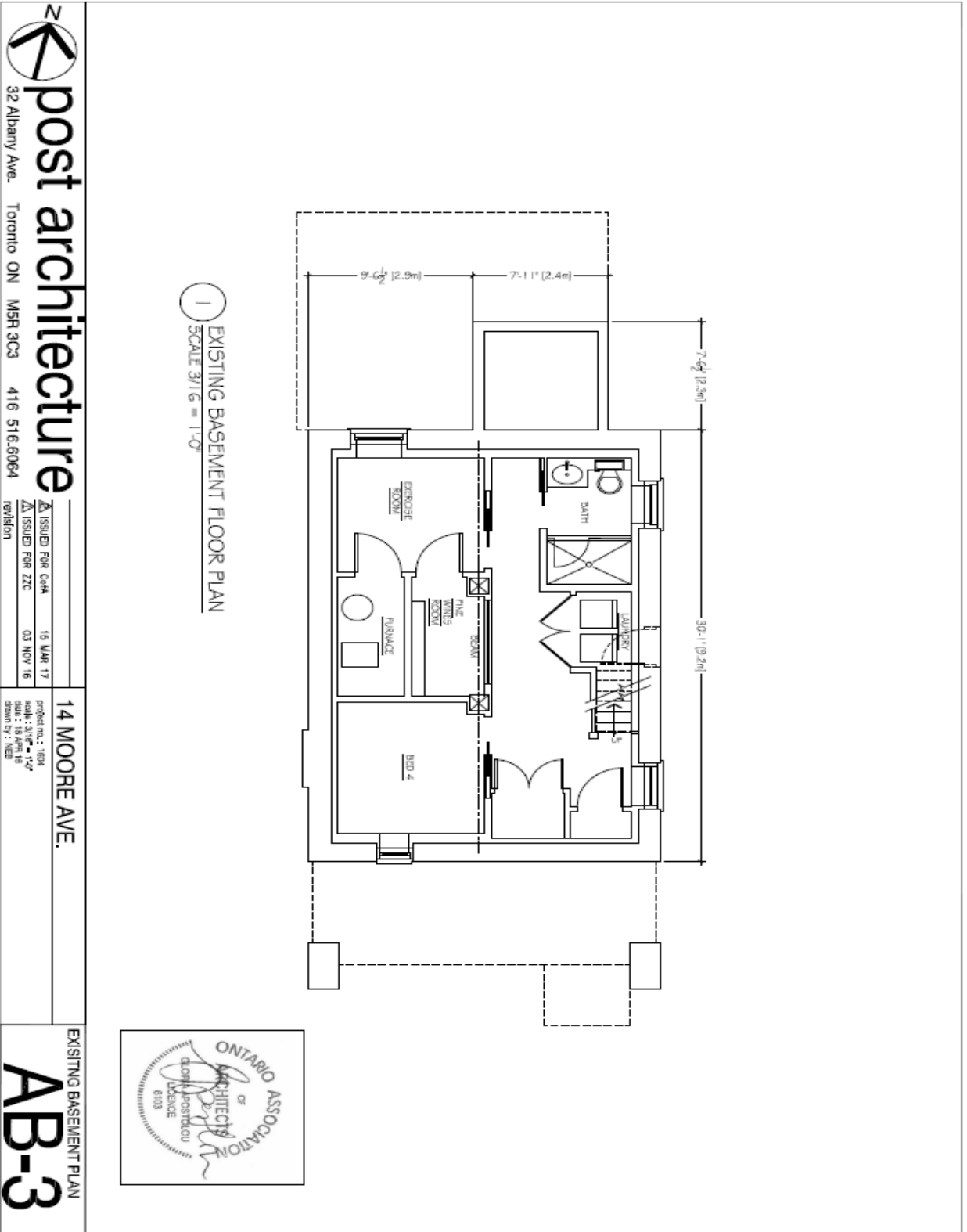
ISSUED FOR CASH	15 MAR 17
ISSUED FOR ZCC	03 NOV 16
revision	

14 MOORE AVE.
 project no.:
 scale: 3/16" = 1'-0"
 date: 16 APR 16
 drawn by: NEB

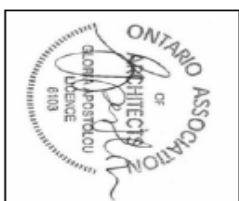
EXISTING GROUND PLAN
AB-1







1 EXISTING BASEMENT FLOOR PLAN
 SCALE 3/16" = 1'-0"




post architecture
 32 Albany Ave. Toronto ON M5R 3C3 416 516-6064

ISSUED FOR C&M	15 MAR 17
ISSUED FOR ZOC	03 NOV 16
revision	

14 MOORE AVE.
 project no.: 1604
 scale: 3/16" = 1'-0"
 date: 18 APR 18
 drawn by: MB

EXISTING BASEMENT PLAN
AB-3



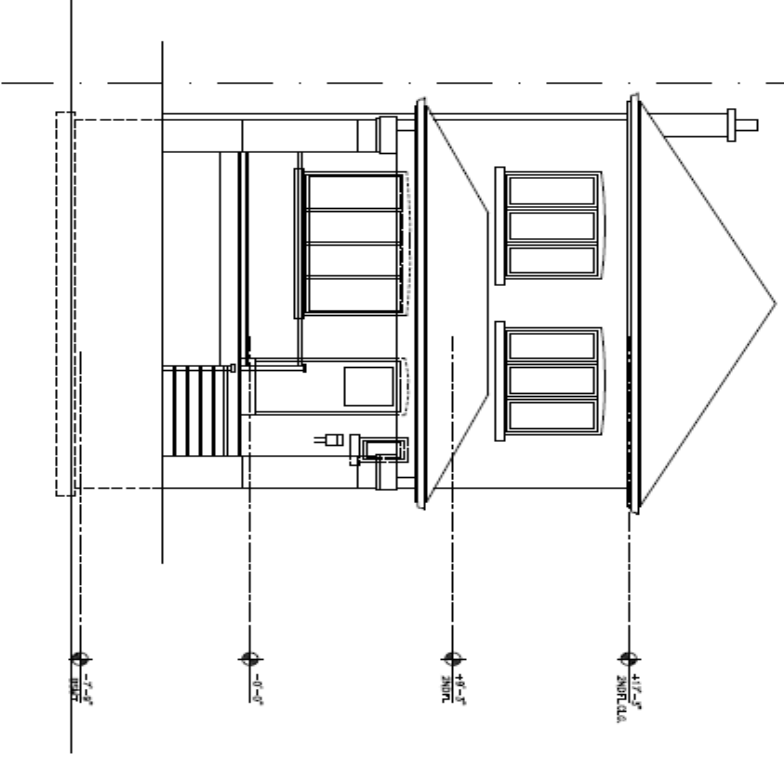
post architecture
32 Albany Ave. Toronto ON M5R 3C3 416 516.6064

ISSUED FOR CMA	15 MAR 17
ISSUED FOR ZTC	03 NOV 16
revision	


14 MOORE AVE.

project no.: 1004
scale: 3/16" = 1'-0"
date: 18 APR 16
drawn by: MB

1 EXISTING SOUTH ELEVATION
SCALE 3/16" = 1'-0"



EXISTING SOUTH / NORTH ELEV.
AB-4





post architecture

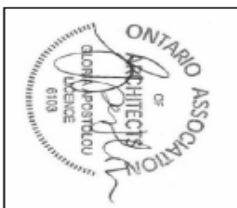
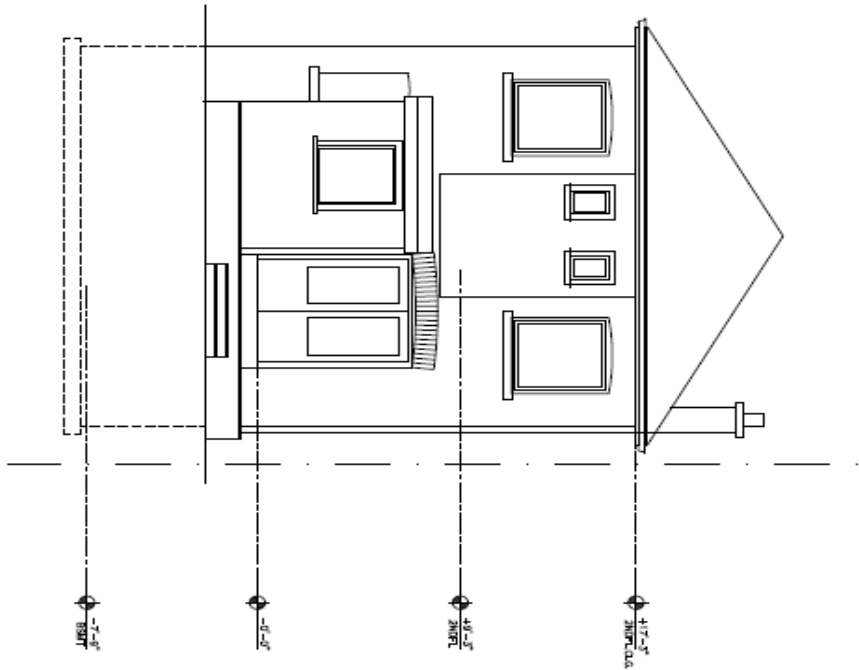
32 Albany Ave. Toronto ON M5R 3C3 416 516-6064

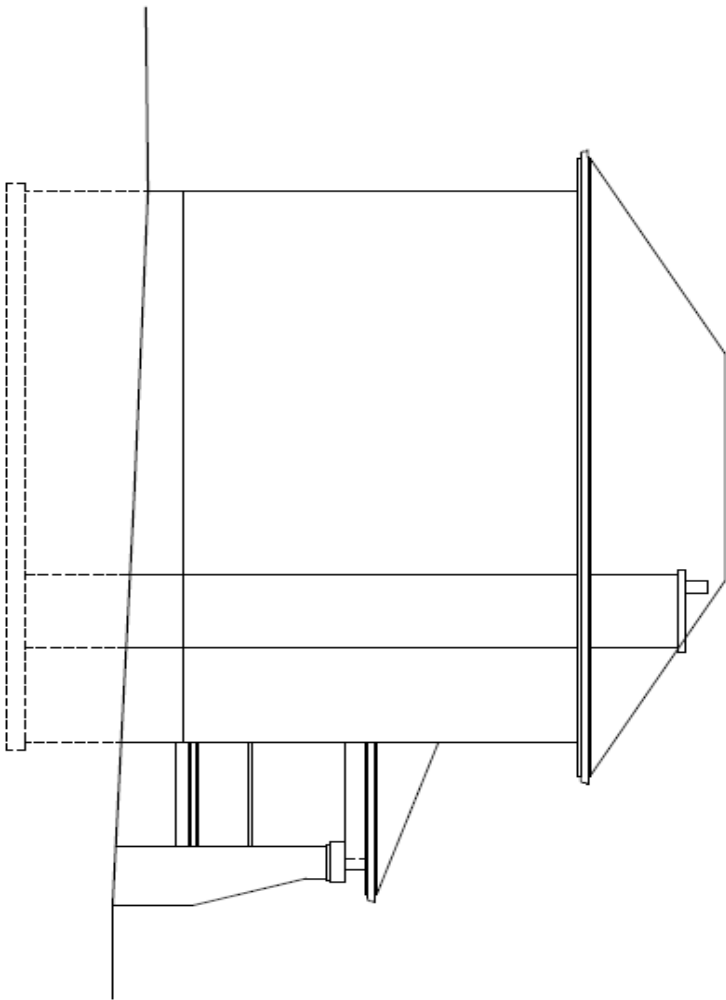
ISSUED FOR CMA	15 MAR 17
ISSUED FOR ZOC	03 NOV 16
revision	

14 MOORE AVE.
 project no.: 1604
 scale: 3/16" = 1'-0"
 date: 16 APR 16
 drawn by: NEB

EXISTING NORTH ELEV.
AB-5

1 EXISTING NORTH ELEVATION
 SCALE 3/16" = 1'-0"





1 EXISTING WEST ELEVATION
 SCALE 3/16" = 1'-0"

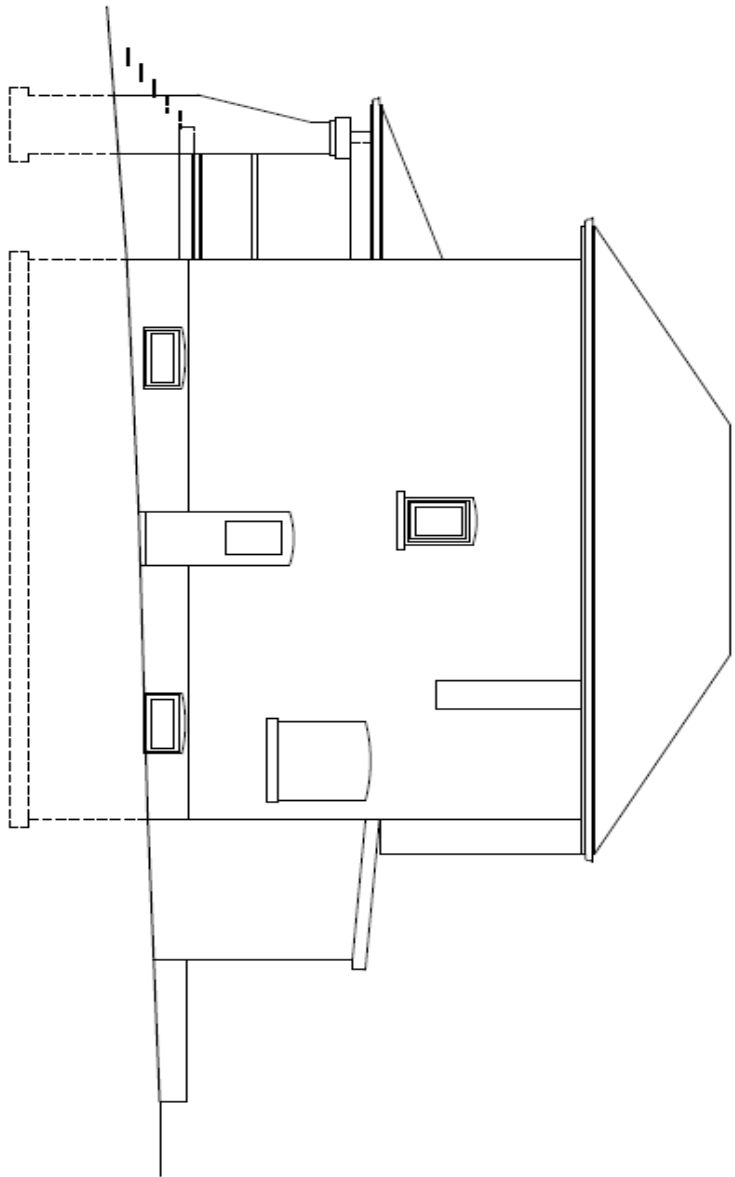


post architecture
 32 Albany Ave. Toronto ON M5R 3C3 416 516-6064

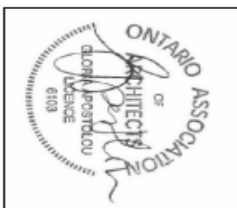
ISSUED FOR CMA	15 MAR 17
ISSUED FOR ZOC	03 NOV 16
revision	

14 MOORE AVE.
 project no.: 1004
 scale: 3/16" = 1'-0"
 date: 18 APR 16
 drawn by: MEB

EXISTING WEST ELEVATION
AB-6



1 EXISTING EAST ELEVATION
SCALE 3/16" = 1'-0"




post architecture
 32 Albany Ave. Toronto ON M5R 3C3 416 516.6064

ISSUED FOR CMA	15 MAR 17
ISSUED FOR ZTC	03 NOV 16
revision	

14 MOORE AVE.
 project no.: 1004
 scale: 3/16" = 1'-0"
 date: 15 APR 16
 drawn by: NEB

EXISTING EAST ELEVATION
AB-7

SIGNATURE PAGE

File Number:	A0330/17TEY	Zoning	R (f7.5; u2; d0.6)(x957) & R1S Z0.6 (ZZC)
Owner(s):	BARBARA COLLINS	Ward:	Toronto Centre-Rosedale (27)
Agent:	GLORIA APOSTOLOU	Heritage:	Not Applicable
Property Address:	14 MOORE AVE	Community:	Toronto
Legal Description:	PLAN 895 PT LOT 9		

Michael Clark (Signed)

Carl Knipfel (Signed)

Lisa Valentini (Signed)

Donald Granatstein (Signed)

DATE DECISION MAILED ON: **TUESDAY, August 1, 2017**

LAST DATE OF APPEAL: **MONDAY, August 15, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0334/17TEY	Zoning	R (d0.6) (x905) & R2 Z0.6 (ZZC)
Owner(s):	RACHEL MARIE-CLAIRE PAIEMENT JAMES DOUGLAS VALLANCE	Ward:	St. Paul's (22)
Agent:	TINA MCMULLEN	Heritage:	Not Applicable
Property Address:	40 ORIOLE GDNS	Community:	Toronto
Legal Description:	PLAN 544 LOT 29 E PT LOT 30		

Notice was given and a Public Hearing was held on **Wednesday, July 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new pergola and freestanding gas fireplace in the rear yard of the existing detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Chapter 10.5.60.50.(2)(A), By-law 569-2013

The maximum permitted floor area of all ancillary buildings or structures on a lot is 60.0 m². In this case, the total area of all ancillary buildings is 62.0 m².

Section 6(3) Part II 7(I), By-law 438-86

The minimum required side lot line setback for an accessory structure is 3.0 m from all lot lines. In this case, the accessory structure will be located 1.82 m from the rear lot line and 2.66 m from the side lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.

- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0334/17TEY	Zoning	R (d0.6) (x905) & R2 Z0.6 (ZZC)
Owner(s):	RACHEL MARIE-CLAIRE PAIEMENT JAMES DOUGLAS VALLANCE	Ward:	St. Paul's (22)
Agent:	TINA MCMULLEN	Heritage:	Not Applicable
Property Address:	40 ORIOLE GDNS	Community:	Toronto
Legal Description:	PLAN 544 LOT 29 E PT LOT 30		

Michael Clark (Signed)

Carl Knipfel (Signed)

Lisa Valentini (Signed)

Donald Granatstein (Signed)

DATE DECISION MAILED ON: **TUESDAY, August 1, 2017**

LAST DATE OF APPEAL: **MONDAY, August 15, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0336/17TEY	Zoning	R (f7.5; d0.6) & R2 Z0.6 (ZZC)
Owner(s):	MALINI BUDHIRAJA DONALD CRAIG HYLAND	Ward:	Beaches-East York (32)
Agent:	LARRY DANG	Heritage:	Not Applicable
Property Address:	64 ORCHARD PARK BLVD	Community:	Toronto
Legal Description:	PLAN 607E PT LOTS 21 & 22		

Notice was given and a Public Hearing was held on **Wednesday, July 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey semi-detached dwelling by constructing a rear two-storey addition and a rear ground floor deck. The existing rear detached garage will be demolished and a rear parking pad will be maintained.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Chapter 10.10.40.40.(2)(A), By-law 569-2013

Additions to the rear of a semi-detached dwelling erected before October 15, 1953 are permitted provided the residential floor space index of the building, as enlarged, does not exceed 0.69 times the area of the lot (154.43 m²).

The altered semi-detached dwelling will have a floor space index equal to 0.71 times the area of the lot (159.01 m²).

Section 6(3) Part VI 1(I), By-law 438-86

Additions to the rear of a semi-detached dwelling erected before October 15, 1953, or to a converted house, are permitted provided the residential gross floor area of the building, as enlarged, does not exceed 0.69 times the area of the lot (154.43 m²).

The altered semi-detached dwelling will have a gross floor area equal to 0.71 times the area of the lot (159.01 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0336/17TEY	Zoning	R (f7.5; d0.6) & R2 Z0.6 (ZZC)
Owner(s):	MALINI BUDHIRAJA DONALD CRAIG HYLAND	Ward:	Beaches-East York (32)
Agent:	LARRY DANG	Heritage:	Not Applicable
Property Address:	64 ORCHARD PARK BLVD	Community:	Toronto
Legal Description:	PLAN 607E PT LOTS 21 & 22		

Michael Clark (Signed)

Carl Knipfel (Signed)

Lisa Valentini (Signed)

Donald Granatstein (Signed)

DATE DECISION MAILED ON: **TUESDAY, August 1, 2017**

LAST DATE OF APPEAL: **MONDAY, August 15, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0339/17TEY	Zoning	RS(f10.5; a325; d0.75)(x312) & R2A (BLD)
Owner(s):	SHU Y CHO	Ward:	Beaches-East York (31)
Agent:	SHU Y CHO	Heritage:	Not Applicable
Property Address:	321 QUEENSDALE AVE	Community:	East York
Legal Description:	PLAN M394 LOT 274 PT LOT 273		

Notice was given and a Public Hearing was held on **Wednesday, July 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey semi-detached dwelling by constructing a rear two-storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Chapter 10.40.30.40.(1)(A), By-law 569-2013

The maximum permitted lot coverage is 35% of the lot area (71.2 m²).
The lot coverage will be equal to 38.8% of the lot area (78.9 m²).

Section 7.8, By-law 6752

The maximum permitted lot coverage is 35% of the lot area (71.2 m²).
The lot coverage will be equal to 38.8% of the lot area (78.9 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0339/17TEY	Zoning	RS(f10.5; a325; d0.75)(x312) & R2A (BLD)
Owner(s):	SHU Y CHO	Ward:	Beaches-East York (31)
Agent:	SHU Y CHO	Heritage:	Not Applicable
Property Address:	321 QUEENSDALE AVE	Community:	East York
Legal Description:	PLAN M394 LOT 274 PT LOT 273		

Michael Clark (Signed)

Carl Knipfel (Signed)

Lisa Valentini (Signed)

DISSENTED

Donald Granatstein

DATE DECISION MAILED ON: **TUESDAY, August 1, 2017**

LAST DATE OF APPEAL: **MONDAY, August 15, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0344/17TEY	Zoning:	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	JEFFREY GLUCK	Ward:	Toronto-Danforth (30)
Agent:	KARINE KULISH	Heritage:	Not Applicable
Property Address:	5 VICTOR AVE	Community:	Toronto
Legal Description:	PLAN 311E LOT 4 TO LOT 5		

Notice was given and a Public Hearing was held on **Wednesday, July 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing 2½-storey semi-detached dwelling containing two dwelling units by constructing a rear one-storey addition and a rear ground floor deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Chapter 10.10.40.40.(2)(A), By-law 569-2013

Additions to the rear of a semi-detached dwelling erected before October 15, 1953 are permitted provided the residential floor space index of the building, as enlarged, does not exceed 0.69 times the area of the lot (123.37 m²).

The altered dwelling will have a floor space index equal to 0.95 times the area of the lot (170.11 m²).

Section 6(3) Part VI 1(I), By-law 438-86

Additions to the rear of a semi-detached dwelling erected before October 15, 1953, or to a converted house, are permitted provided the residential gross floor area of the building, as enlarged, does not exceed 0.69 times the area of the lot (123.37 m²).

The altered dwelling will have a gross floor area equal to 0.95 times the area of the lot (170.11 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0344/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	JEFFREY GLUCK	Ward:	Toronto-Danforth (30)
Agent:	KARINE KULISH	Heritage:	Not Applicable
Property Address:	5 VICTOR AVE	Community:	Toronto
Legal Description:	PLAN 311E LOT 4 TO LOT 5		

Michael Clark (Signed)

Carl Knipfel (Signed)

Lisa Valentini (Signed)

Donald Granatstein (Signed)

DATE DECISION MAILED ON: **TUESDAY, August 1, 2017**

LAST DATE OF APPEAL: **MONDAY, August 15, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0345/17TEY	Zoning	R(d0.6) & R2 Z0.6/10M (ZZC)
Owner(s):	JULIA ANN JORDON	Ward:	Toronto-Danforth (29)
Agent:	JULIA ANN JORDON	Heritage:	Not Applicable
Property Address:	84 LANGFORD AVE	Community:	Toronto
Legal Description:	PLAN 948 PT LOT 24		

Notice was given and a Public Hearing was held on **Wednesday, July 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter a two-storey semi-detached dwelling by constructing a third storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.40.10.(2)(B)(i), By-law 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The height of the side exterior main walls facing a side lot line will be 10.0 m.

2. Chapter 10.10.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index is 0.6 times the area of the lot (101.52 m²).
The floor space index will be 0.89 times the area of the lot (149.75 m²).

3. Chapter 10.5.40.60.(7) , By-law 569-2013

Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.

The proposed eaves are 0.27 m from the north lot line.

1. Section 6(3) Part I 1, By-law 438-86

The maximum permitted residential gross floor area is 0.6 times the area of the lot (101.52 m²).
The residential gross floor area will be 0.89 times the area of the lot (149.75 m²).

2. Section 6(3) Part II 3.C(I), By-law 438-86

The minimum required side lot line setback is 0.45 m where the side wall contains no openings.
The side lot line setback will be 0.28 m to the wall and 0.14 m to the chimney stack on the north side and 0.0 m on the south side.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0345/17TEY	Zoning	R(d0.6) & R2 Z0.6/10M (ZZC)
Owner(s):	JULIA ANN JORDON	Ward:	Toronto-Danforth (29)
Agent:	JULIA ANN JORDON	Heritage:	Not Applicable
Property Address:	84 LANGFORD AVE	Community:	Toronto
Legal Description:	PLAN 948 PT LOT 24		

Michael Clark (Signed)

Carl Knipfel (Signed)

Lisa Valentini (Signed)

Donald Granatstein (Signed)

DATE DECISION MAILED ON: **TUESDAY, August 1, 2017**

LAST DATE OF APPEAL: **MONDAY, August 15, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0347/17TEY	Zoning	R (d1.0)(x851) & R3 Z1.0 (ZZC)
Owner(s):	JACOB TSENG JUDY PEI-CHEN LU	Ward:	Toronto Centre-Rosedale (28)
Agent:	STUART HATCH	Heritage:	Designated
Property Address:	51 AMELIA ST	Community:	Toronto
Legal Description:	PLAN 26 PT LOT 4		

Notice was given and a Public Hearing was held on **Wednesday, July 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To re-construct a rear detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.60.20.(4), By-law 569-2013

An ancillary building or structure may be no closer than 2.5 m from the original centerline of a lane. The ancillary building/structure will be located 1.62 m from the original centerline of a lane to the east and 2.29 m from the original centerline of a lane to the south.

2. Chapter 10.5.60.60.(1), By-law 569-2013

The eaves of a roof on an ancillary building may encroach into a building setback a maximum of 0.3 m, if the eaves are no closer to a lot line than 0.15 m. In this case, the eaves will encroach 0.45 m into a building setback, and will be 0.0 m from the south lot line.

3. Chapter 10.10.60.20.(1)(A), By-law 569-2013

The minimum required rear lot line setback is 1.0 m. The rear detached garage will be located 0.39 m from the south side lot line and 0.09 m from the east side lot line.

1. Section 4(14)(A), By-law 438-86

A building or structure may be no closer than 2.5 m from the centerline of a public lane. The ancillary building/structure will be located 1.62 m from the centerline of the public lane to the east and 2.29 m from the centerline of the public lane to the south.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0347/17TEY	Zoning	R (d1.0)(x851) & R3 Z1.0 (ZZC)
Owner(s):	JACOB TSENG JUDY PEI-CHEN LU	Ward:	Toronto Centre-Rosedale (28)
Agent:	STUART HATCH	Heritage:	Designated
Property Address:	51 AMELIA ST	Community:	Toronto
Legal Description:	PLAN 26 PT LOT 4		

Michael Clark (Signed)

Carl Knipfel (Signed)

Lisa Valentini (Signed)

Donald Granatstein (Signed)

DATE DECISION MAILED ON: **TUESDAY, August 1, 2017**

LAST DATE OF APPEAL: **MONDAY, August 15, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0348/17TEY	Zoning	RD (f12.0; a370; d0.6) & R1B (BLD)
Owner(s):	ANGELA KATIS HARRYS KATIS	Ward:	Beaches-East York (31)
Agent:	TOM KATIS	Heritage:	Not Applicable
Property Address:	53 JOANITH DR	Community:	East York
Legal Description:	PLAN 3609 LOT 54		

Notice was given and a Public Hearing was held on **Wednesday, July 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and to maintain the new two-storey detached dwelling with a rear ground floor deck.

Note: In Decision Number A0006/16TEY the Committee of Adjustment approved variances to the Zoning By-laws which permitted alterations to the former one-storey detached dwelling as follows: a complete second storey addition, a rear two-storey addition, a front two-storey addition with a front bay window, a front porch, a rear deck, and the construction of a rear detached garage. A minimum of fifty percent of the existing walls were to be maintained during construction. Less than fifty percent of the existing walls were maintained, classifying the house under construction as a new dwelling and requiring a new minor variance application.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 35% of the lot area (119.5 m²).
Decision Number A0006/16TEY permitted a lot coverage equal to 40% of the lot area (137.13 m²) for the altered dwelling and detached garage.
In this case the new dwelling and detached garage will have a lot coverage equal to 40% of the lot area (137.13 m²).
- 2. Chapter 10.20.40.10.(1)(A), By-law 569-2013**
The maximum permitted building height is 8.5 m.
Decision Number A0006/16TEY permitted the altered dwelling to have a height of 9 m.
In this case the new detached dwelling will have a height of 9 m.
- 3. Chapter 10.20.40.10.(2)(A)(i)(ii), By-law 569-2013**
The maximum permitted height of all front and rear exterior main walls is 7 m.

Decision Number A0006/16TEY permitted the front and rear exterior main walls of the altered dwelling to have heights of 8.95 m.

In this case, the height of the front exterior main wall will be 8.77 m and the rear exterior main walls will be 7.4 m.

4. Chapter 10.20.40.10.(6), By-law 569-2013

The maximum permitted height of the first floor of a detached dwelling above established grade is 1.2 m.

Decision Number A0006/16TEY permitted alterations to the dwelling that would result in a first floor height of 1.52 m above established grade.

In this case, the first floor of the new detached dwelling will have a height of 1.65 m above established grade.

5. Chapter 10.20.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (204.85 m²).

Decision Number A0006/16TEY permitted the altered dwelling to have a floor space index equal to 0.66 times the area of the lot (226.23 m²).

The new detached dwelling will have a floor space index equal to 0.66 times the area of the lot (226.23 m²).

1. Section 7.3.3, By-law 6752

The minimum required front yard setback is 6 m.

Decision Number A0006/16TEY permitted the altered dwelling to be located 4.42 m from the north front lot line.

The new detached dwelling will be located 4.42 m from the north front lot line.

2. Section 7.3.3, By-law 6752

The maximum permitted lot coverage is 35% of the lot area (119.5 m²).

Decision Number A0006/16TEY permitted a lot coverage equal to 41% of the lot area (140.69 m²) for the altered dwelling and detached garage.

The lot coverage of the new dwelling and detached garage will be equal to 41% of the lot area (140.69 m²).

3. Section 7.3.3, By-law 6752

The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (204.85 m²).

Decision Number A0006/16TEY permitted the altered dwelling to have a floor space index equal to 0.66 times the area of the lot (226.23 m²).

The new detached dwelling will have a floor space index equal to 0.66 times the area of the lot (226.23 m²).

4. Section 7.3.3, By-law 6752

The maximum permitted building height is 8.5 m.

Decision Number A0006/16TEY permitted the altered dwelling to have a building height of 9 m.

In this case, the new detached dwelling will have a height of 8.93 m.

5. Section 7.3.3, By-law 6752

The maximum permitted building length is 16.75 m.

Decision Number A0006/16TEY permitted the altered dwelling to have a building length of 17.21 m.

The new detached dwelling will have a building length of 17.21 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0348/17TEY	Zoning	RD (f12.0; a370; d0.6) & R1B (BLD)
Owner(s):	ANGELA KATIS HARRYS KATIS	Ward:	Beaches-East York (31)
Agent:	TOM KATIS	Heritage:	Not Applicable
Property Address:	53 JOANITH DR	Community:	East York
Legal Description:	PLAN 3609 LOT 54		

Michael Clark (Signed)

Carl Knipfel (Signed)

Lisa Valentini (Signed)

Donald Granatstein (Signed)

DATE DECISION MAILED ON: **TUESDAY, August 1, 2017**

LAST DATE OF APPEAL: **MONDAY, August 15, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0349/17TEY	Zoning	R(d0.6)(x736) & R2 Z0.6 (ZZC)
Owner(s):	PETER ENDL JANA ELIZABETH PECK	Ward:	Beaches-East York (32)
Agent:	CAROLYN MOSS	Heritage:	Not Applicable
Property Address:	110 WEST LYNN AVE	Community:	Toronto
Legal Description:	PLAN 461E LOT 466		

Notice was given and a Public Hearing was held on **Wednesday, July 26, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two storey detached dwelling by constructing: an new front vestibule and alterations to the porch; a front second storey addition; a side sky-light addition; and a rear one storey vestibule addition. The existing detached garage will be replaced with a new detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.40.(1) (A), By-law 569-2013**
The maximum permitted floor space index is 0.6 times the area of the lot (111.49 m²).
The floor space index will be 0.7 times the area of the lot (130.37 m²).
- 2. Chapter 10.10.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 4.83 m.
The front yard setback will be 2.87 m.
- 3. Chapter 10.10.40.70.(3)(A)(i), By-law 569-2013**
The minimum required side yard setback is 0.9 m.
The side yard setback will be 0.45 m.
- 4. Chapter 10.5.40.60.(2) (B)(i), By-law 569-2013**
A canopy, awning or similar structure not covering a platform may encroach in a front yard or rear yard 2.5 m if it is no closer to a side lot line than the minimum required side yard setback.
The proposed canopy encroaches 2.4 m and is 0.51m closer to the north side lot line than the required side yard setback of 0.81m (existing lawful).
- 5. Chapter 10.5.50.10.(3)(A), By-law 569-2013**
The minimum required rear yard soft landscaping is 50% (42.17 m²).

The rear yard landscaping area will be 38.21% (32.09 m²).

1. Section 6(3) Part I 1, By-law 438-86

The maximum permitted residential gross floor area is 0.6 times the area of the lot (111.49 m²).

The residential gross floor area will be 0.7 times the area of the lot (130.37 m²).

2. Section 6(3) Part II 2(I), by-law 438-86

Additions to the front of a dwelling are to be set back the same distance as the existing building, in this case 4.3 m.

The proposed front lot line setback will be 2.87 m.

3. Section 6(3) Part II 3.C(I), By-law 438-86

The minimum required side lot line setback is 0.45 m where the side wall contains no openings.

The lot line setback is 0.21m on the south side.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0349/17TEY	Zoning	R(d0.6)(x736) & R2 Z0.6 (ZZC)
Owner(s):	PETER ENDL JANA ELIZABETH PECK	Ward:	Beaches-East York (32)
Agent:	CAROLYN MOSS	Heritage:	Not Applicable
Property Address:	110 WEST LYNN AVE	Community:	Toronto
Legal Description:	PLAN 461E LOT 466		

Michael Clark (Signed)

Carl Knipfel (Signed)

Lisa Valentini (Signed)

Donald Granatstein (Signed)

DATE DECISION MAILED ON: **TUESDAY, August 1, 2017**

LAST DATE OF APPEAL: **MONDAY, August 15, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.