

Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0850/16EYK	Zoning:	E1.0 & I.C1
Owner(s):	MARIA MANUELA OLIVEIRA VALDEMAR OLIVEIRA	Ward:	Etobicoke-Lakeshore (05)
Agent:	MARIA MANUELA OLIVEIRA	Heritage:	Not Applicable
Property Address:	277 BERING AVE	Community:	
Legal Description:	PLAN 1553 PT LOT 89		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and to maintain the existing front porch with a basement walk-out.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 60.20.20.10.(1), By-law 569-2013 and Section 304-31.(H)

The existing residential use is not permitted in an E & I.C1 zone.

REQUESTED PERMISSION UNDER SUBSECTION 45(2)(A)(i) OF THE PLANNING ACT:

The use on the site consists of an existing single family detached dwelling that is currently a legal non-conforming use. The existing front porch and basement walk-out represents an enlargement or extension of a legal non-conforming use/building. Any alterations or additions and/or changes in use of a legal non-conforming building or structure, requires the permission of the Committee of Adjustment.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance/Permission Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.
- The Committee of Adjustment considers that the application has met the requirements of subsection 45(2)(a)(i) of the Planning Act.

This decision is subject to the following condition(s):

Submission of a complete application for permit to injure or destroy privately owned trees.

SIGNATURE PAGE

File Number:	A0850/16EYK	Zoning	E1.0 & I.C1
Owner:	MARIA MANUELA OLIVEIRA VALDEMAR OLIVEIRA	Ward:	Etobicoke-Lakeshore (05)
Agent:	MARIA MANUELA OLIVEIRA	Heritage:	Not Applicable
Property Address:	277 BERING AVE	Community:	
Legal Description:	PLAN 1553 PT LOT 89		

Dominic Gulli (signed)

Allan Smithies (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0855/16EYK	Zoning	RD & R2
Owner(s):	FRANK ROBERTO	Ward:	Etobicoke-Lakeshore (05)
Agent:	JOE SABATINO	Heritage:	Not Applicable
Property Address:	44 WOOLGAR AVE	Community:	
Legal Description:	PLAN 4374 LOT 76		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and maintain the existing one-storey north west side addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.20.30.40.(1)(A), By-law 569--2013 & Section 320-59(C)

The maximum permitted lot coverage is 33% of the lot area (152.16 m²).

The existing dwelling has a lot coverage of 35.4% of the lot area (162.97 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0855/16EYK	Zoning	RD & R2
Owner:	FRANK ROBERTO	Ward:	Etobicoke-Lakeshore (05)
Agent:	JOE SABATINO	Heritage:	Not Applicable
Property Address:	44 WOOLGAR AVE	Community:	
Legal Description:	PLAN 4374 LOT 76		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

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Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 12, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0856/16EYK	Zoning:	RD & R2
Owner(s):	MARTA SOLTYSIAK MARC CANALE	Ward:	Etobicoke-Lakeshore (05)
Agent:	MICHAEL FLYNN	Heritage:	Not Applicable
Property Address:	42 ORCHARD CRES	Community:	
Legal Description:	PLAN 3451 LOT 3		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10.(18)(E), By-law 569-2013 and Section 1.(b)(1), By-law 1992-22**
The maximum permitted gross floor area is 0.45 times the area of the lot (350.5 m²).
The new dwelling will have a gross floor area of 0.45 times the area of the lot (352.6 m²).
- Section 10.20.40.70.(6)(B), By-law 569-2013**
The minimum required side yard setback abutting a street is 3 m.
Section 320-41.B
The minimum required side yard setback abutting a street is 4.55 m.
Section 10.20.40.70.(6)(B), By-law 569-2013 and Section 320-41.B
The new dwelling will be located 1.59 m from the north side lot line abutting a street (Orchard Crescent).
- Section 320-42.1(C)(2)**
The minimum required aggregate side yard setback is 3.16 m.
The new dwelling will have an aggregate side yard setback of 2.79 m.
- Section 900.3.10.(18)(A), By-law 569-2013 and Section 1.(a)(1), By-law 1992-22**
The maximum permitted building height is 8.5 m.
The new dwelling will have a height of 9.5 m.
- Section 1.(a)(2), By-law 1992-22**
The maximum permitted soffit height is 6 m.
The new dwelling will have a soffit height of 6.24 m.
- Section 900.3.10.(18).(B), By-law 569-2013**
The maximum permitted wall height is 6 m.
The new dwelling will have a wall height of 6.44 m.

7. **Section 10.20.40.30.(1), By-law 569-2013**
The maximum permitted dwelling depth is 19 m.
Section 1.(d).(1), By-law 1992-22
The maximum permitted dwelling depth is 16.5 m.
Section 10.20.40.30.(1), By-law 569-201 and Section 1.(d).(1), By-law 1992-22
The new dwelling will have a depth of 19.11 m.
8. **Section 10.5.80.40.(3)(B), By-law 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to the parking space will not be from the flanking street.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.
2. The proposal shall be constructed substantially in accordance with the plans filed with the application, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0856/16EYK	Zoning	RD & R2
Owner:	MARTA SOLTYSIAK MARC CANALE	Ward:	Etobicoke-Lakeshore (05)
Agent:	MICHAEL FLYNN	Heritage:	Not Applicable
Property Address:	42 ORCHARD CRES	Community:	
Legal Description:	PLAN 3451 LOT 3		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

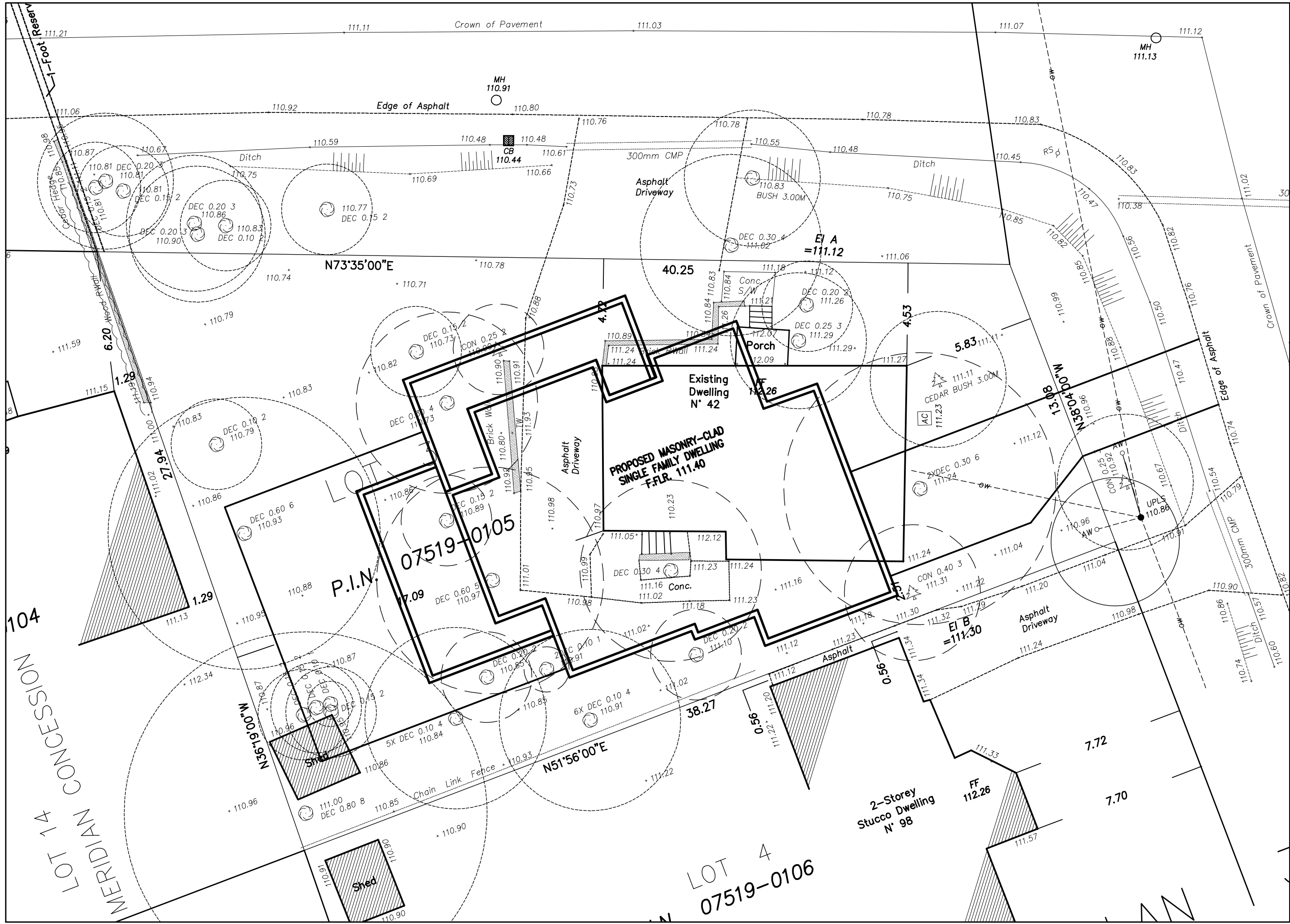
DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Issues or Revisions	
ISSUED FOR ZC	20/09/16

THOMAS BROWN ARCHITECTS
 200-197 SPADINA AVENUE TEL: 416.364.5710
 TORONTO ON FAX: 416.364.4662
 M5T 2C8 info@tbrownarch.ca

ARCHITECT'S STAMP

PROPOSED NEW SINGLE FAMILY DWELLING
42 ORCHARD CRESCENT

SITE + FOUNDATION PLAN

A0

SCALE **1:150**

DRAWN

CHECKED

18 SEPT 2016

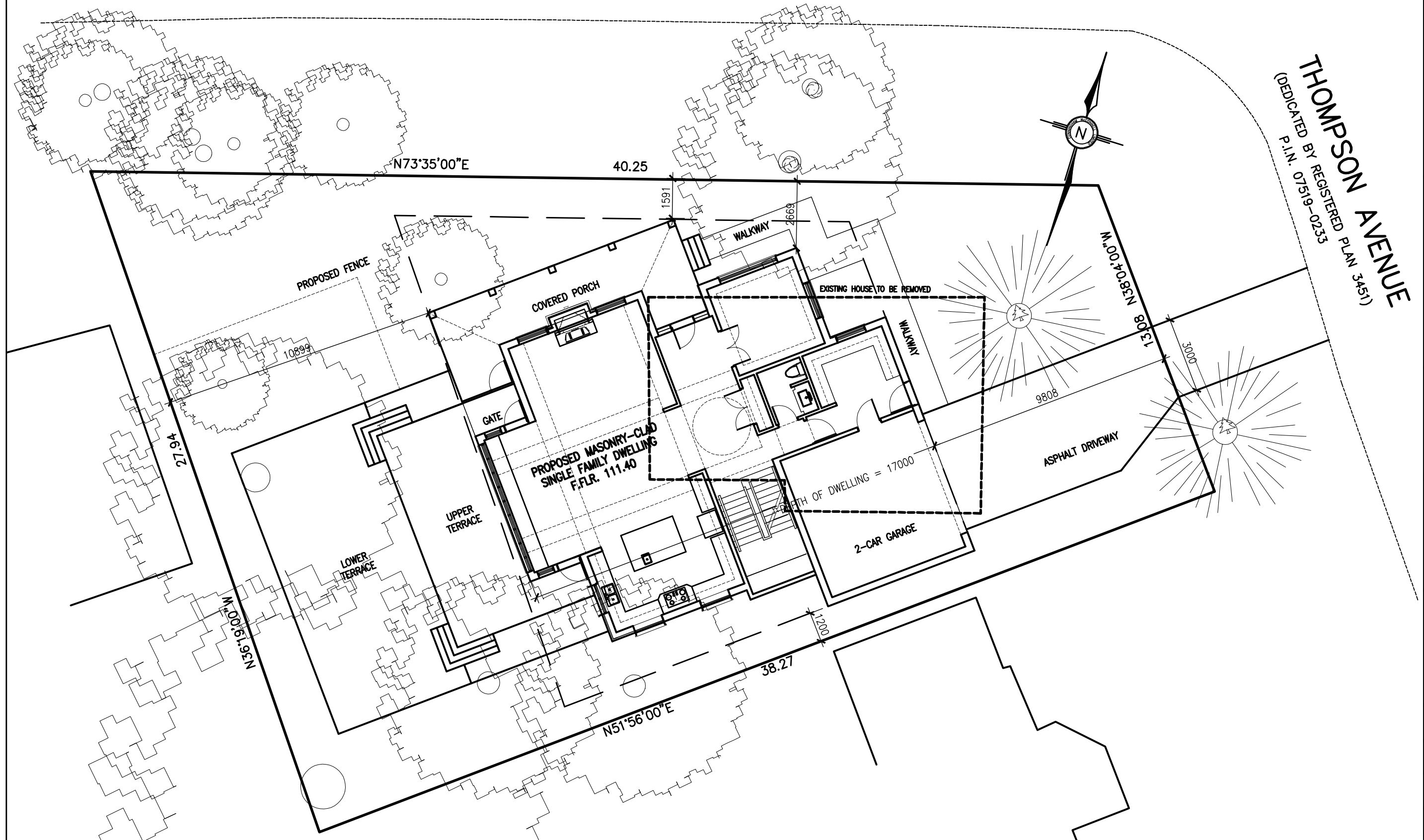
104
 MERIDIAN CONCESSION
 LOT 14

P.I.N. 07519-0105

LOT 4
 07519-0106

ORCHARD CRESCENT
 (DEDICATED BY REGISTERED PLAN 3451)
 P.I.N. 07519-0234

INFORMATION FOR THE PREPARATION OF THIS SITE PLAN TAKEN FROM SURVEY PREPARED BY CUNNINGHAM MCCONELL LIMITED ONTARIO LAND SURVEYORS, JUNE 24, 2016



Issues or Revisions	
ISSUED FOR ZC	20/09/16

THOMASBROWN ARCHITECTS
 200-197 SPADINA AVENUE TEL: 416.364.5710
 TORONTO ON FAX: 416.364.4662
 M5T 2C8 info@tbrownarch.ca

THOMPSON AVENUE
 (DEDICATED BY REGISTERED PLAN 3451)
 P.I.N. 07519-0233

ARCHITECT'S STAMP

PROPOSED NEW SINGLE FAMILY DWELLING
42 ORCHARD CRESCENT

SITE PLAN

A1

SCALE **1:150**

DRAWN

CHECKED

18 SEPT 2016

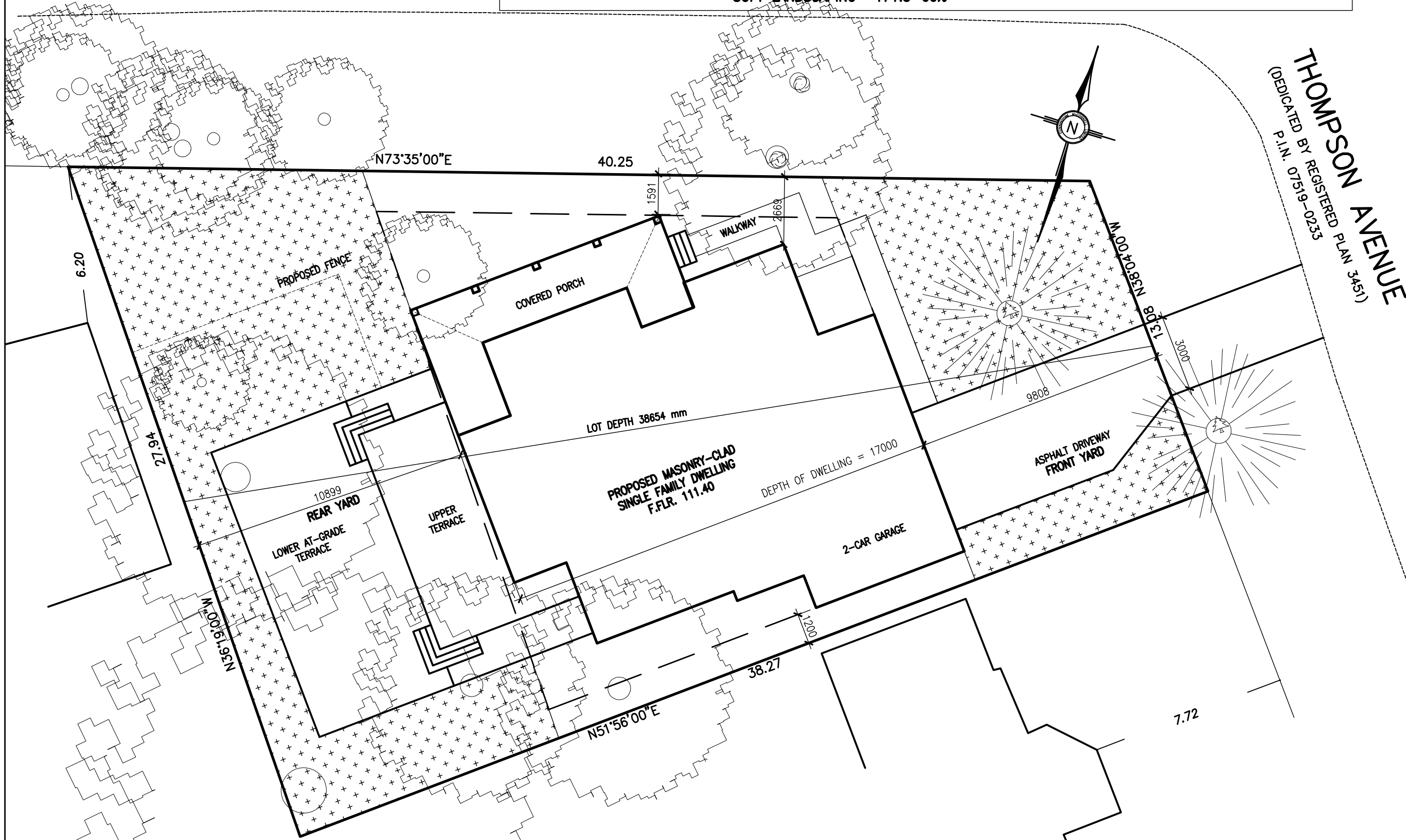
DEVELOPMENT STATISTICS

ORCHARD CRESCENT

(DEDICATED BY REGISTERED PLAN 3451)

P.I.N. 07519-0234

SITE AREA = 779 m ²	FRONT YARD SETBACK = 9.8 m	FRONT YARD AREA = 147.4 m ²
GROUND FLOOR = 160.7 m ²	REAR YARD SETBACK = 10.8 m	DRIVEWAY AREA = 45.3 m ²
SECOND FLOOR = 155.24 m ²	NORTH SIDEYARD = 1.59 m	WALKWAYS/WELLS = 14.7 m ²
COVERED PORCH = 33.4 m ²	SOUTH SIDEYARD = 1.2 m	TOTAL HARDSCAPE FRONT YARD = 40%
GARAGE = 36.2 m ²		TOTAL SOFT LANDSCAPING FRONT YARD = 60%
TOTAL GFA = 385.54 m ²	REAR YARD AREA = 285.5 m ²	DEPTH OF DWELLING = 17.0m
FSI = .49	PROPOSED HARDSCAPE = 14.12m ² =40%	AVERAGE GRADE TO TOP OF ROOF PEAK = 9.5 m
COVERAGE = 29.56%	SOFT LANDSCAPING = 171.3=60%	



ISSUED FOR ZC	20/09/16
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ARCHITECT'S STAMP

PROPOSED NEW SINGLE FAMILY DWELLING
42 ORCHARD CRESCENT

SITE SCHEMATIC

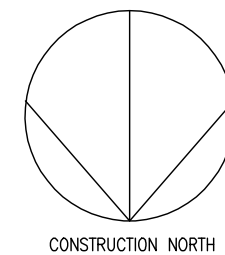
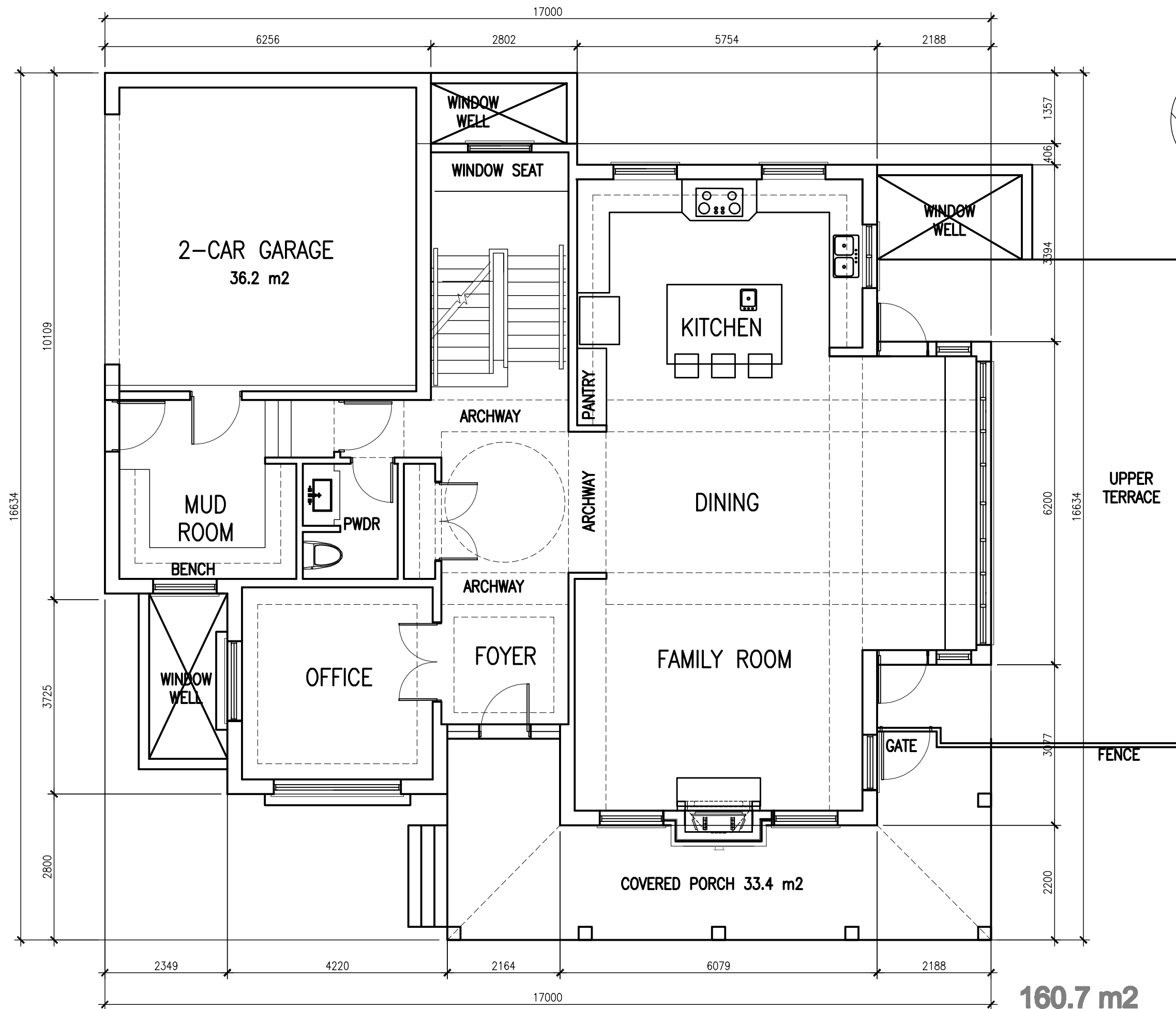
A1a

SCALE **1:150**

DRAWN

CHECKED

18 SEPT 2016



Issues or Revisions	
ISSUED FOR ZC	20/09/16

THOMASBROWN ARCHITECTS

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ARCHITECT'S STAMP

PROPOSED NEW SINGLE FAMILY DWELLING

42 ORCHARD CRESCENT

GROUND FLR. PLAN

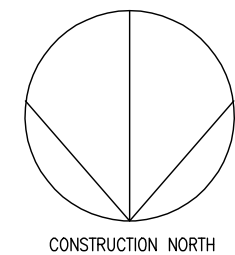
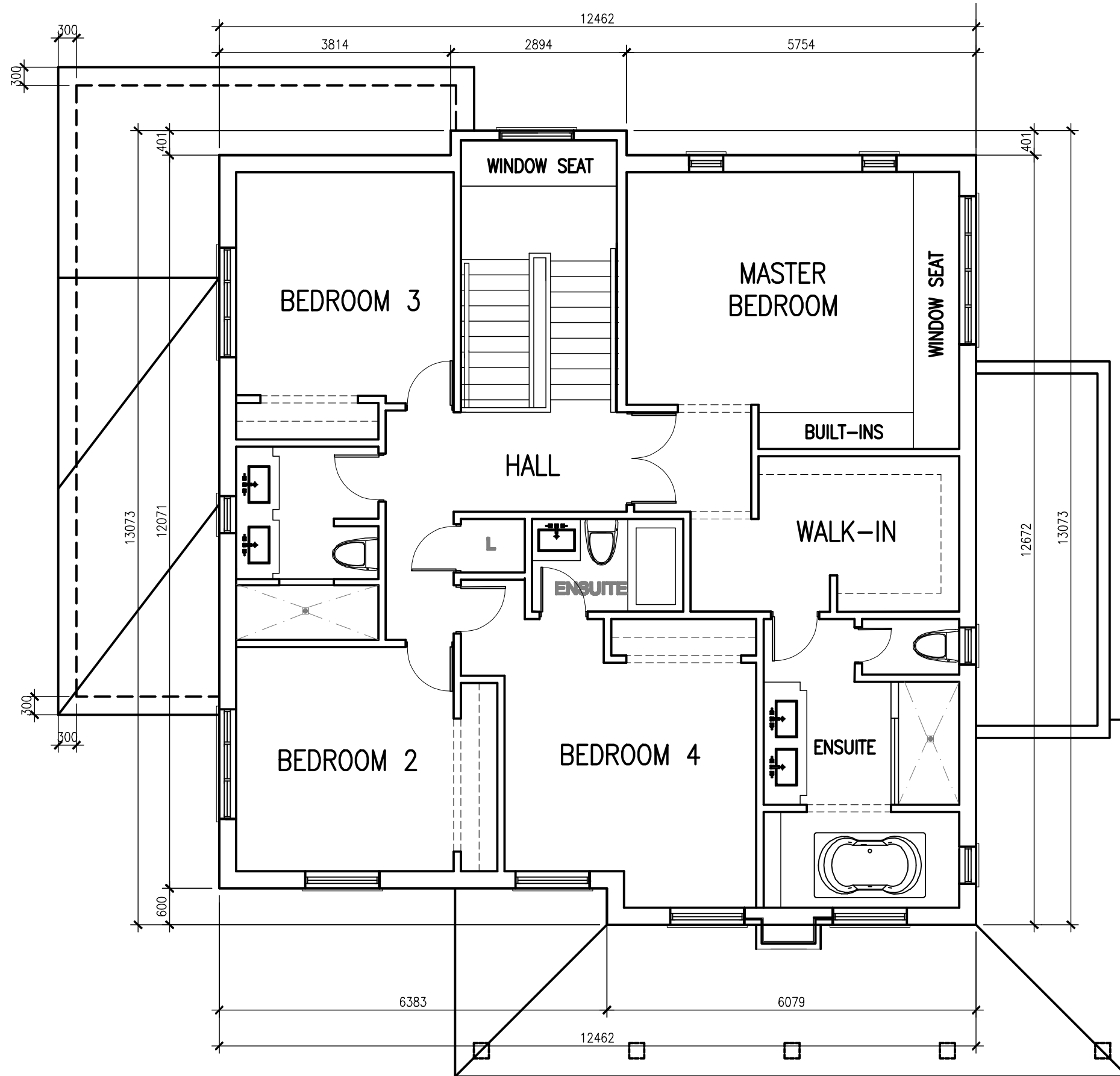
A2

SCALE 1:75

DRAWN

CHECKED

18 SEPT 2016



Issues or Revisions	
ISSUED FOR ZC	20/09/16

THOMASBROWN ARCHITECTS
 200-197 SPADINA AVENUE TEL: 416.364.5710
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ARCHITECT'S STAMP

PROPOSED NEW SINGLE FAMILY DWELLING
42 ORCHARD CRESCENT

SECOND FLR. PLAN

A3

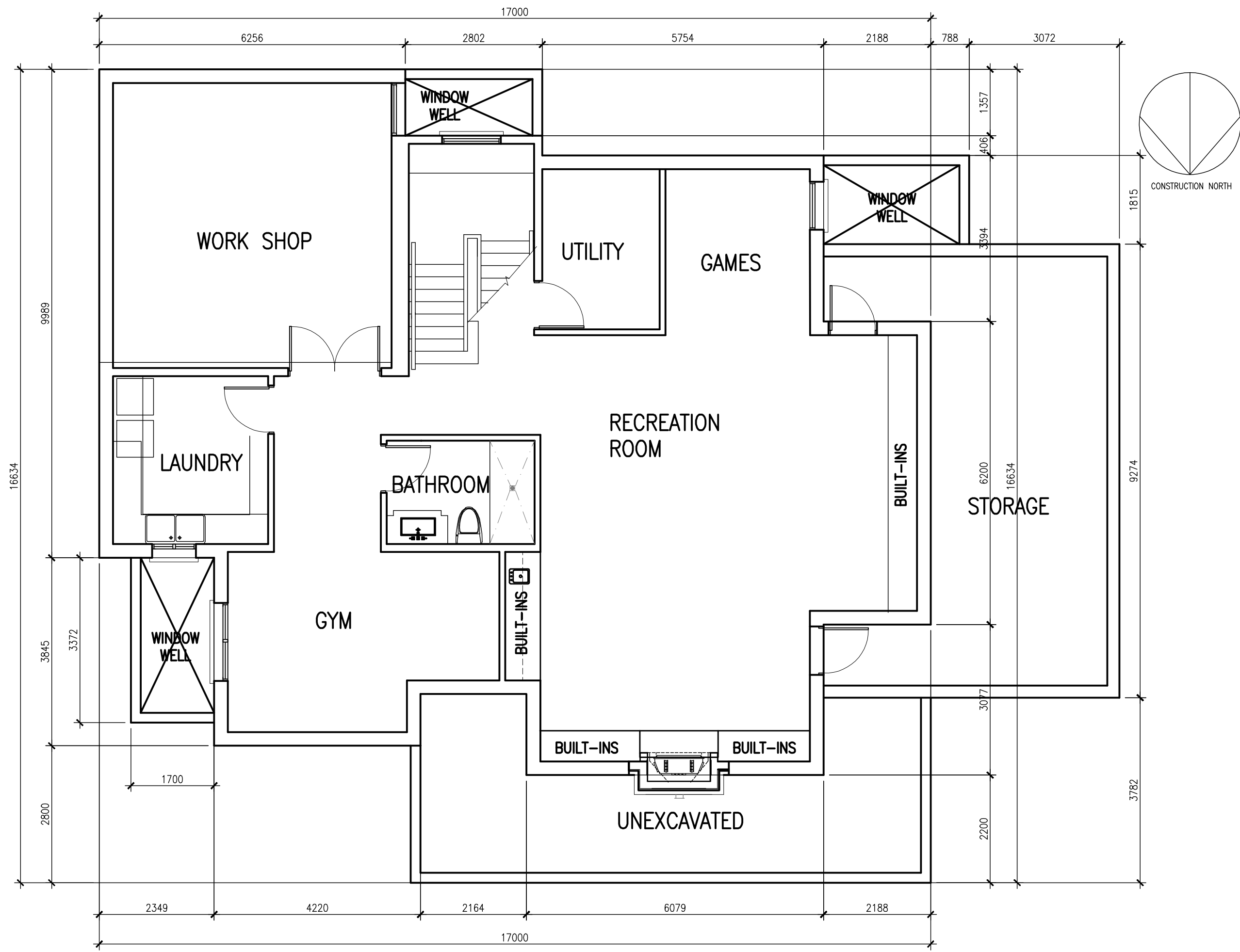
SCALE **1:75**

DRAWN

CHECKED

18 SEPT 2016

155.24



Issue or Revision	
ISSUED FOR ZC	20/09/16

THOMASBROWN ARCHITECTS
 200-197 SPADINA AVENUE TEL: 416.364.5710
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PROPOSED NEW SINGLE FAMILY DWELLING
42 ORCHARD CRESCENT

BASEMENT PLAN

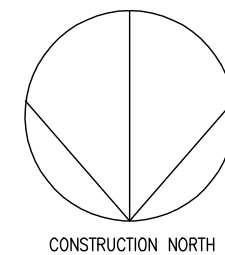
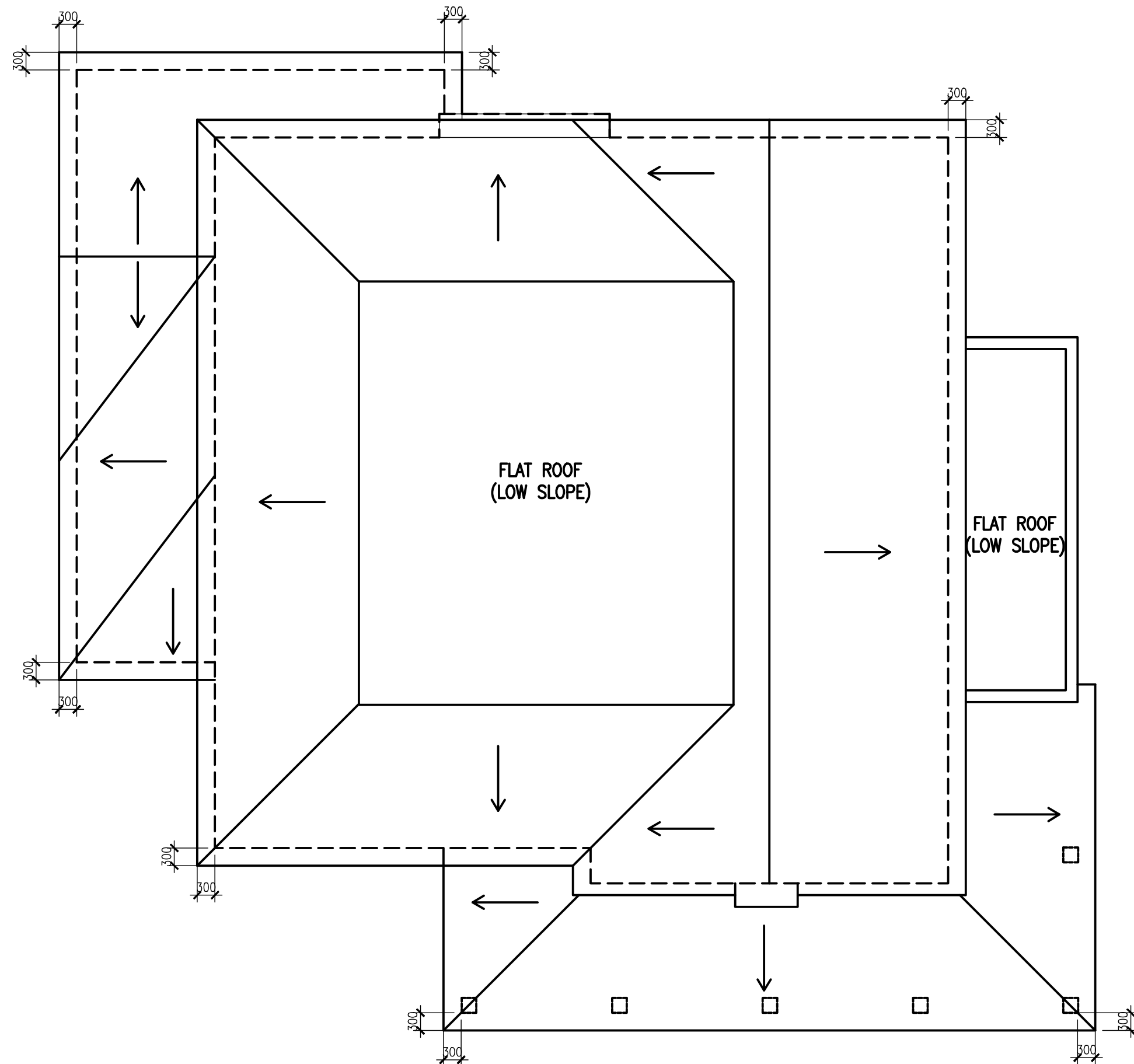
A4

SCALE **1:75**

DRAWN

CHECKED

18 SEPT 2016



TOTAL ROOF AREA = 244.73m²
 TOTAL FLAT ROOF AREA = 58.76 m² = 24.0%

Issues or Revisions	
ISSUED FOR ZC	20/09/16

THOMASBROWN
ARCHITECTS
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ARCHITECT'S STAMP

PROPOSED NEW SINGLE
 FAMILY DWELLING
**42 ORCHARD
 CRESCENT**

**ROOF
 PLAN**

A5

SCALE
1:75

DRAWN

CHECKED

18 SEPT 2016

Issues or Revisions	
ISSUED FOR ZC	20/09/16

THOMAS BROWN ARCHITECTS
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PROPOSED NEW SINGLE FAMILY DWELLING
42 ORCHARD CRESCENT

NORTH ELEVATION

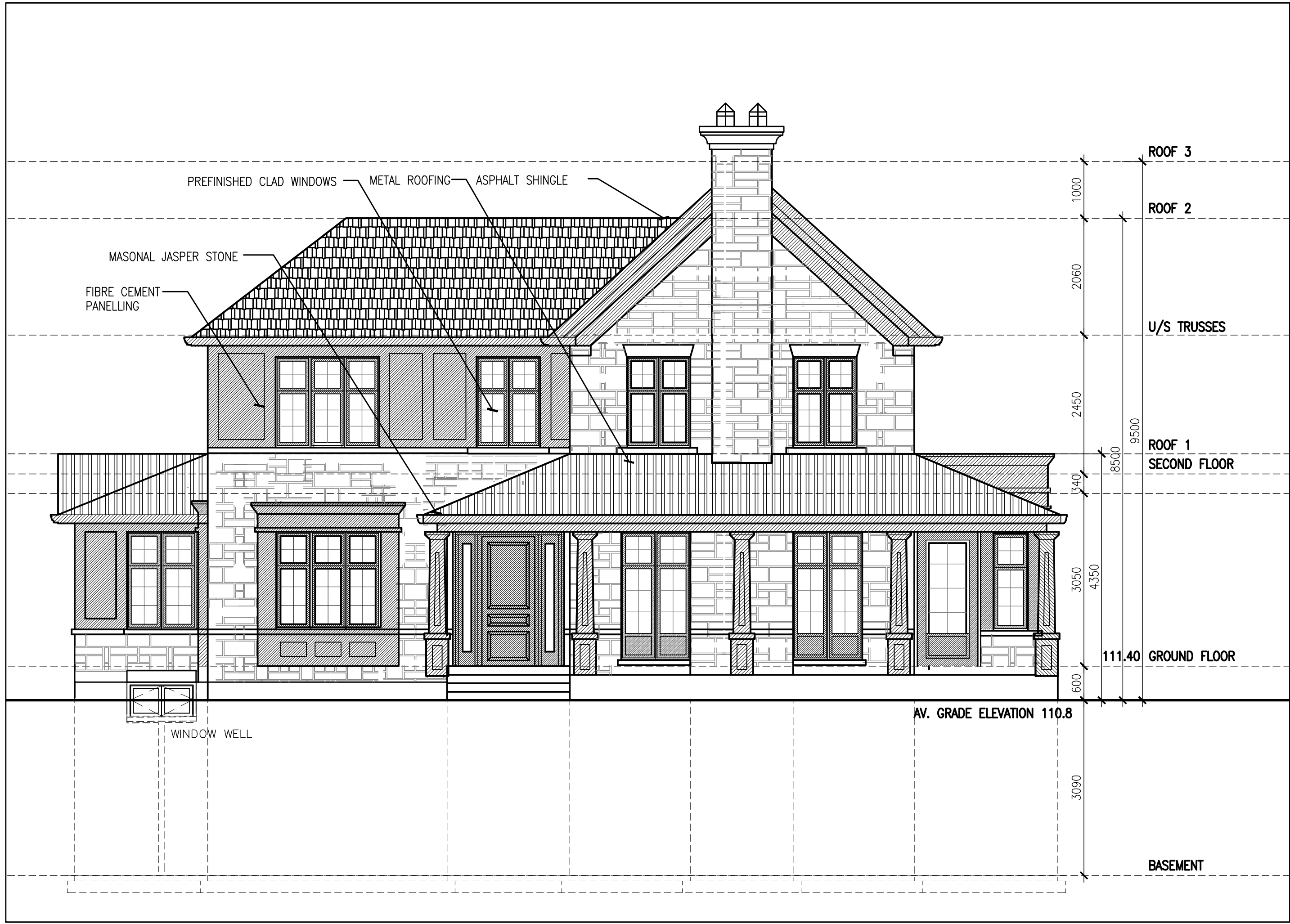
A6

SCALE **1:60**

DRAWN

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18 SEPT 2016



Issues or Revisions	
ISSUED FOR ZC	20/09/16

THOMAS BROWN ARCHITECTS
 200-197 SPADINA AVENUE TEL: 416.364.5710
 TORONTO ON FAX: 416.364.4662
 M5T 2C8 info@tbrownarch.ca

ARCHITECT'S STAMP

PROPOSED NEW SINGLE FAMILY DWELLING
42 ORCHARD CRESCENT

WEST ELEVATION

A7

SCALE **1:60**

DRAWN

CHECKED

18 SEPT 2016



Issues or Revisions	
ISSUED FOR ZC	20/09/16

THOMASBROWN
ARCHITECTS

200-197 SPADINA AVENUE TEL: 416.364.5710
TORONTO ON FAX: 416.364.4662
M5T 2C8 info@tbrownarch.ca

ARCHITECT'S STAMP

PROPOSED NEW SINGLE
FAMILY DWELLING

**42 ORCHARD
CRESCENT**

**SOUTH
ELEVATION**

A8

SCALE
1:60

DRAWN

CHECKED

18 SEPT 2016



Issues or Revisions	
ISSUED FOR ZC	20/09/16

THOMAS BROWN ARCHITECTS
 200-197 SPADINA AVENUE TEL: 416.364.5710
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PROPOSED NEW SINGLE FAMILY DWELLING
42 ORCHARD CRESCENT

EAST ELEVATION

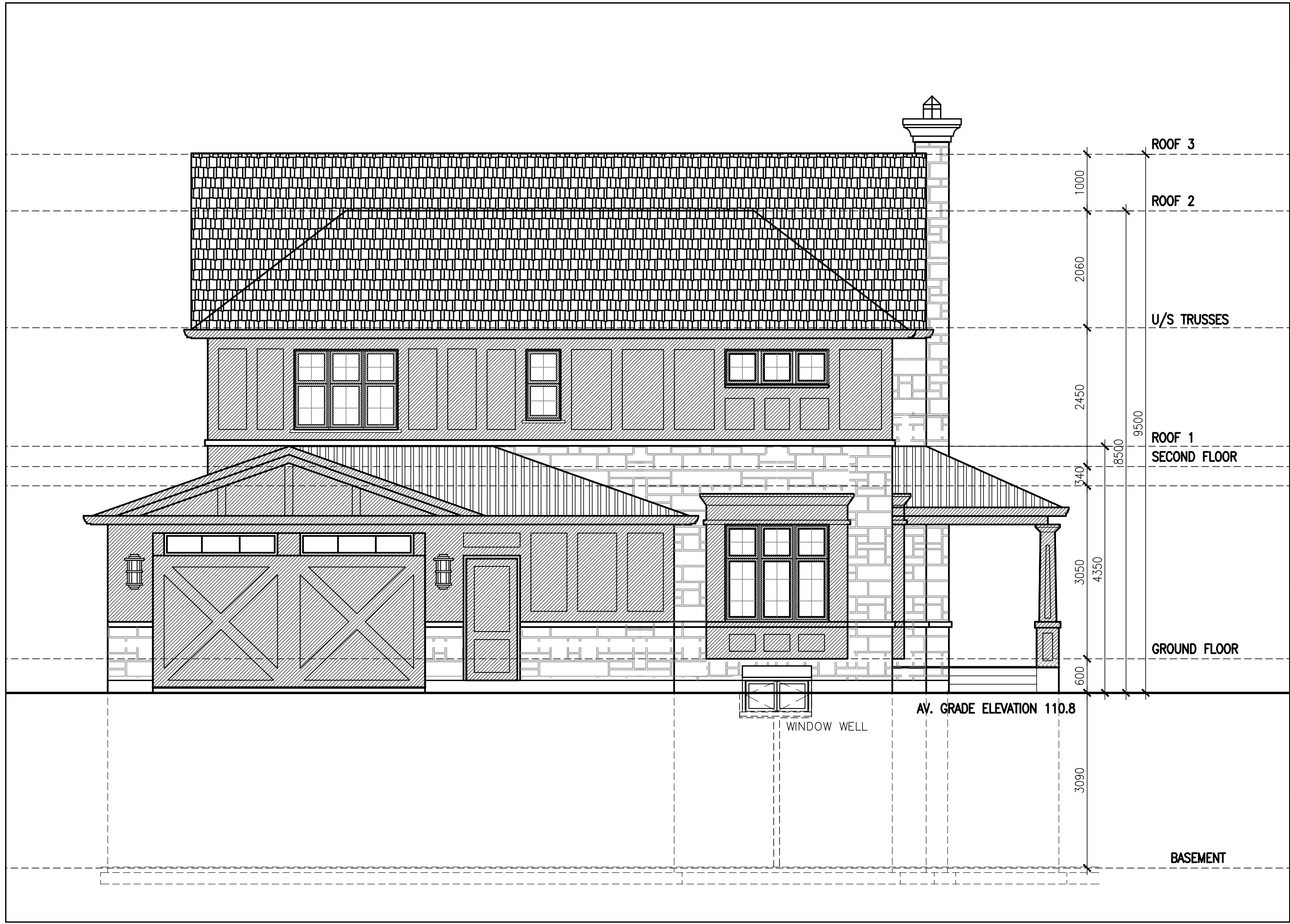
A9

SCALE **1:60**

DRAWN

CHECKED

18 SEPT 2016



ROOF 3

ROOF 2

U/S TRUSSES

ROOF 1
SECOND FLOOR

GROUND FLOOR

BASEMENT

AV. GRADE ELEVATION 110.8

WINDOW WELL

1000

2060

2450

340

3050

600

3090

8500

4350

9500

Wednesday, March 1, 2017

REVISED
NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0858/16EYK	Zoning	RD & R1
Owner(s):	KIM MICHELE PAULSEN	Ward:	Etobicoke-Lakeshore (06)
Agent:	KIM MICHELE PAULSEN	Heritage:	Not Applicable
Property Address:	14 SIXTH ST	Community:	
Legal Description:	PLAN 1592 PT LOTS 319 & 320		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second floor addition with a roof top terrace, a covered front porch and a rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 350-31.F.(1)**
The maximum permitted floor space index is 0.4 times the area of the lot (104.36 m²).
The altered dwelling will have a floor space index of 0.79 times the area of the lot (206.8 m²).
- Section 10.20.40.70.(1), By-law 569-2013 and Section 350-31.A.(3)**
The minimum required front yard setback is 6 m.
The altered dwelling will be located 2.46 m from the front lot line.
- Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 350-31.A.(4)
The minimum required side yard setback is 0.6 m.
Section 10.20.40.70.(3)(C), By-law 569-2013 and Section 350-31.A.(4)
The altered dwelling will be located 0 m from the south side lot line.
- Section 10.20.40.10.(1)(A), By-law 569-2013 and Section 350-31.A.(8)**
The maximum permitted building height is 9.5 m.
The altered dwelling will have a height of 11.68 m.
- Section 10.20.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7 m.
The altered dwelling will have a side exterior main wall height of 10.14 m facing a side lot line.
- Section 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above the second storey is 4 m².
The proposed roof top terrace will have an area of 35 m².

7. Section 10.5.50.10.(1)(D), By-law 569-2013 and Section 350-30.9.A.

A minimum of 75% of the front yard, not covered by a permitted driveway, shall be maintained as soft landscaping (15.75 m²).

A total of 31% of the front yard, not covered by a permitted driveway, will be maintained as soft landscaping (6.5 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The proposal shall be constructed substantially in accordance with the revised plans submitted and held on file by the Committee of Adjustment office and date stamped as received on January 11, 2017. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0858/16EYK	Zoning	RD & R1
Owner:	KIM MICHELE PAULSEN	Ward:	Etobicoke-Lakeshore (06)
Agent:	KIM MICHELE PAULSEN	Heritage:	Not Applicable
Property Address:	14 SIXTH ST	Community:	
Legal Description:	PLAN 1592 PT LOTS 319 & 320		

Allan Smithies (signed)

Dominic Gulli (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY


Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

IMPERIAL
Distances shown on this plan are in Feet and can be converted to Metres by Multiplying by 0.3048

REVISED
8:10 am, Jan 11, 2017

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1271383



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3).

REF. N° 99-105

SURVEYOR'S REAL PROPERTY REPORT
PLAN OF SURVEY OF **PART OF LOTS**
319 & 320, REGISTERED PLAN 1592
Formerly Etobicoke, Now In
CITY OF TORONTO
Scale 1/4" = 15 Feet.



Note - This Plan must be read in conjunction with Survey Report Dated 1st December 1999. This Plan and Report were prepared for James R. Anderson. The undersigned accepts No Responsibility for use by other Parties.

© Copyright Dunning & Taylor Limited 1999

BEARING NOTE
Bearings shown hereon are astronomic and are referred to the West Limit of Sixth Street on a course of N16°47'W in accordance with Plan BA-2494

LEGEND

□	Denotes Survey Monument Planted
■	Found
S.I.B.	Standard Iron Bar
I.B.	Iron Bar
I.T.	Iron Tube
C.C.	Cut Cross
WIT.	Witness
φ	Round
D+T.	Dunning & Taylor
PL.	Registered Plan 1592
Deed	Inst. No. N.T. 25215
N.T.	New Toronto
B.I.	Plan BA-2493.
C.	R. Bryce Code, O.L.S.
PIN.	Property Identification Number

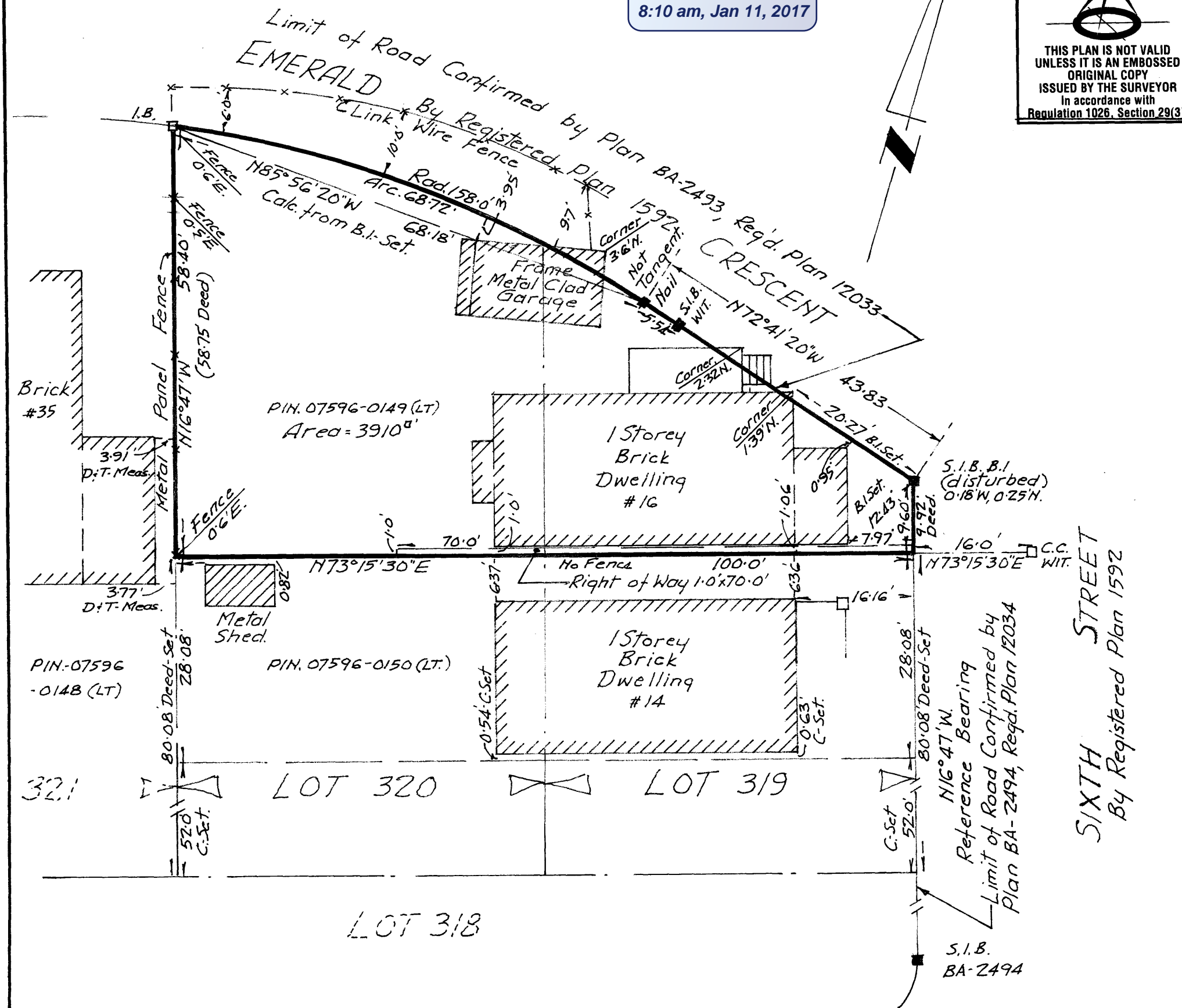
SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- This survey and plan are correct and in accordance with The Surveys Act and The Surveyors Act and the regulations made thereunder.
- This Survey was completed on 30th Nov. 1999

1st Dec. 1999. Date

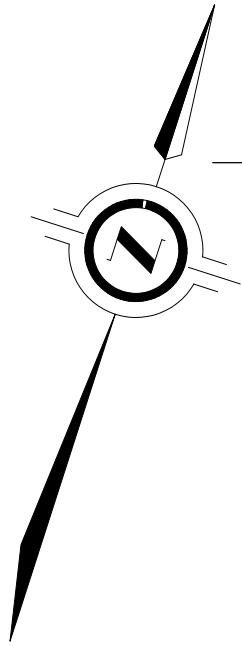
E. Taylor
E. Taylor
Ontario Land Surveyor



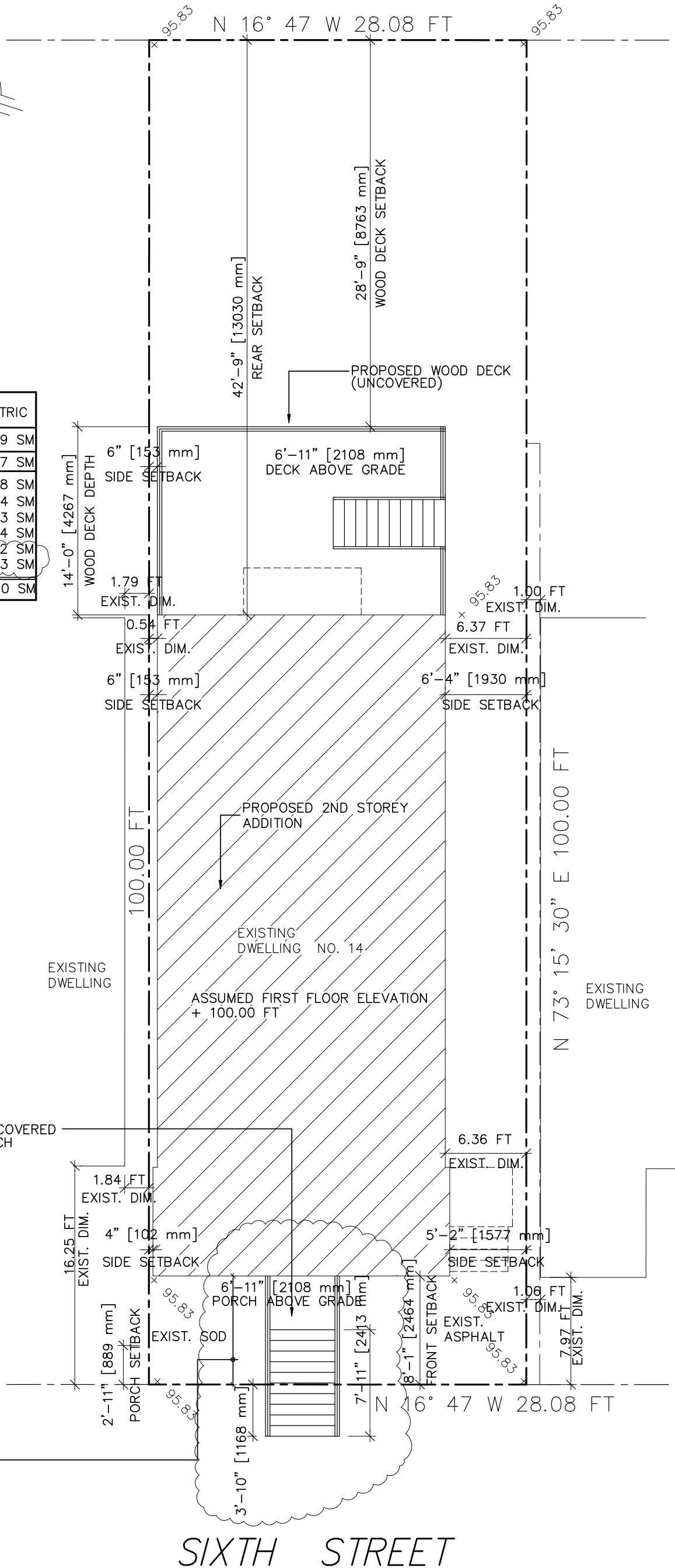
SIXTH STREET
By Registered Plan 1592

DUNNING & TAYLOR LIMITED
ONTARIO LAND SURVEYORS
770 BROWN'S LINE
TORONTO M8W 3W2 (416) 251-6803

REVISED
8:10 am, Jan 11, 2017



SITE STATISTICS	IMPERIAL	METRIC
SITE AREA	2,808 S.F.	260.9 SM
PROPOSED COVERAGE	41.7 %	1,170 S.F.
EXISTING BASEMENT FLOOR AREA	880 S.F.	81.8 SM
EXISTING FIRST FLOOR AREA	1,059 S.F.	98.4 SM
PROPOSED COVERED PORCH	111 S.F.	10.3 SM
PROPOSED SECOND FLOOR ADDITION	1,059 S.F.	98.4 SM
PROPOSED STAIR TERRACE ENCLASURE	110 S.F.	10.2 SM
PROPOSED OPEN ROOF TERRACE	207 S.F.	19.23 SM
TOTAL LIVING AREA (S.F.)	79.4 %	2,228 S.F.
		207.0 SM



FRONT AREA	226 S.F.	100.0 %
DRIVEWAY AREA	112 S.F.	49.5 %
HARDSURFACE - WALKWAY	44 S.F.	19.5 %
SOFTSURFACE- SODDED AREA	70 S.F.	31.0 %

Architectural CADD Studio
ACS
 Residential • Retail • Industrial • Commercial
 Construction Drawings • Design Drawings • Measured Drawings
 Details • Interior Design • Site Planning
 27 Gillespie Avenue
 Toronto, Ontario M6N 2Y5
 Tel: (416) 656-1454

DATE: AUG. 15 2016
 DRAWN: S.J.P.
 SCALE: 1:100

THE CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER PRIOR TO PROCEEDING WITH THE WORK.

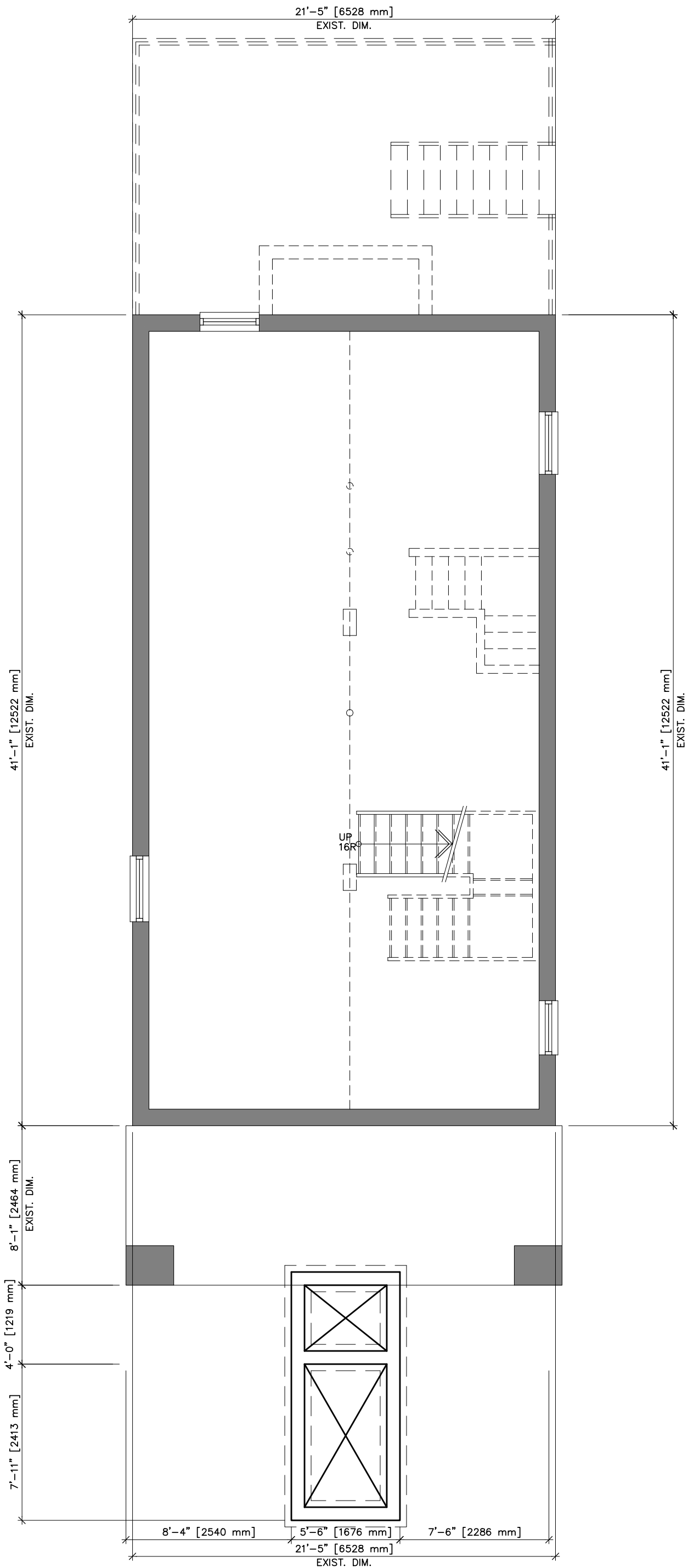
ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER AND SHALL BE RETURNED UPON COMPLETION OF THE CONSTRUCTION WORK.

PROJECT: PROPOSED 2nd STOREY ADDITION FOR:
EBRAHIMI RESIDENCE
 14 SIXTH STREET
 TORONTO ONTARIO

SHEET TITLE: **SITE PLAN**

A5

AI



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Details • Interior Design • Site Planning

27 Gillespie Avenue
Toronto, Ontario M6N 2Y5

Tel: (416) 656-1454

DATE
AUG., 15 2016

DRAWN
S.J.P.

SCALE
3/16"=1'-0"

THE CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER PRIOR TO PROCEEDING WITH THE WORK

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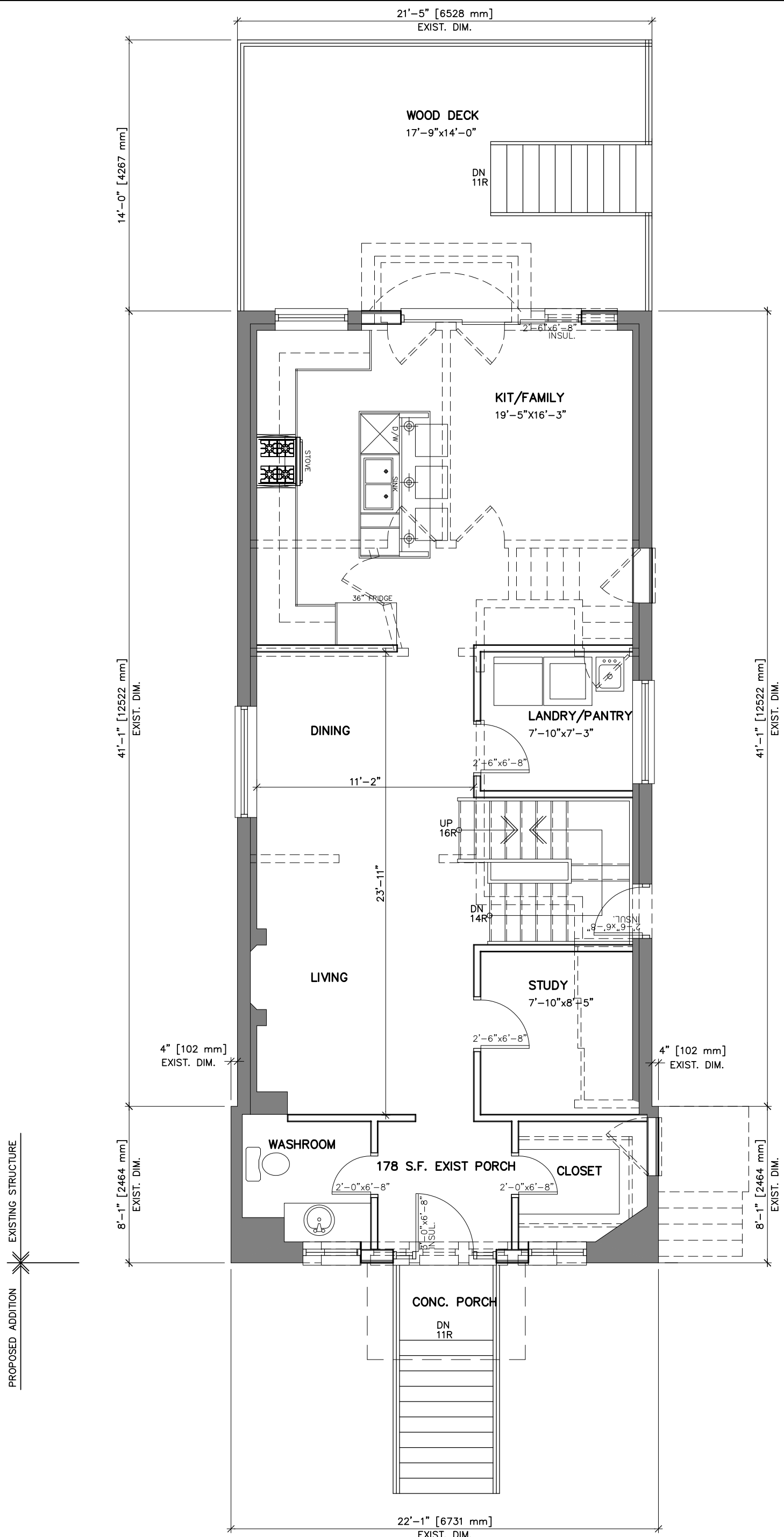
PROJECT
PROPOSED 2nd STOREY ADDITION FOR:
EBRAHIMI RESIDENCE
14 SIXTH STREET
TORONTO

ONTARIO

SHEET TITLE
**PROPOSED BASEMENT
FLOOR PLAN**

A5

A2



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ACS

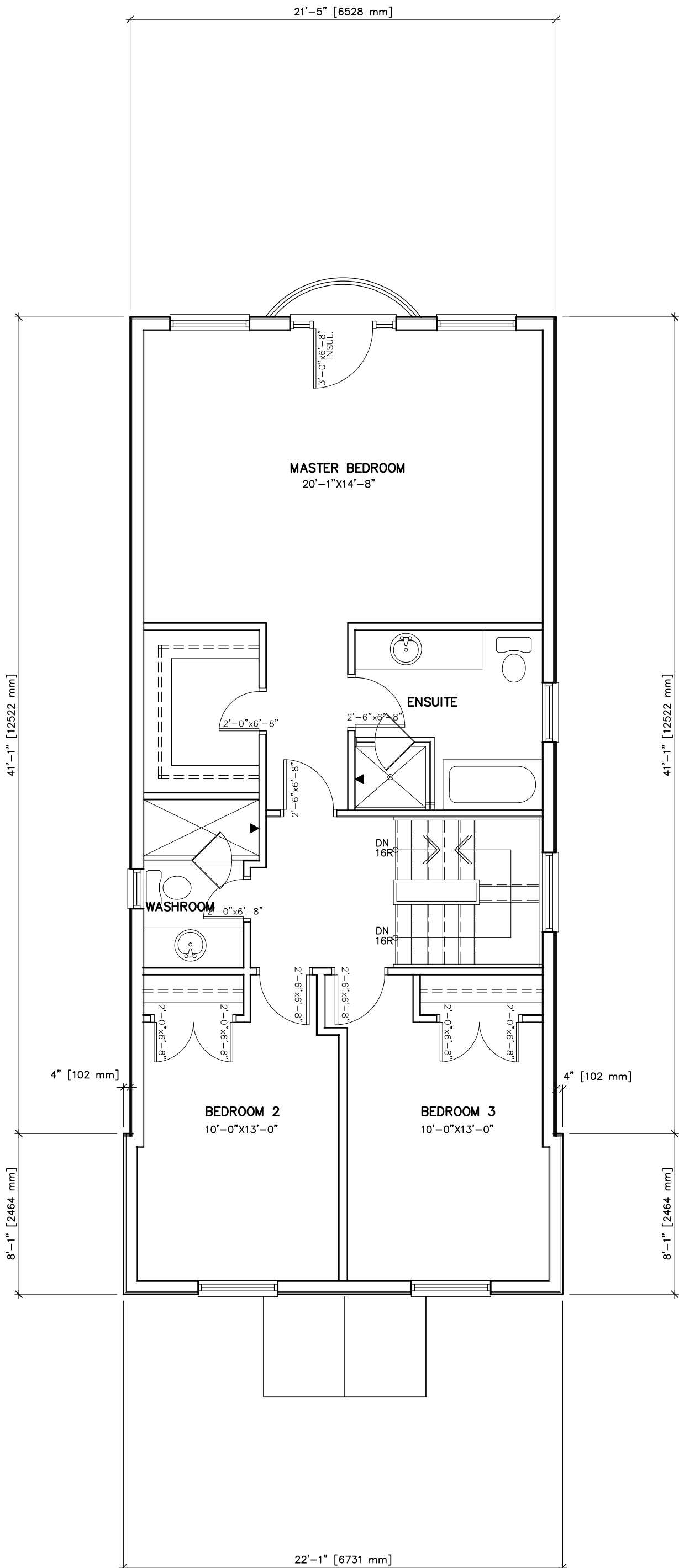
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Details • Interior Design • Site Planning

27 Gillespie Avenue
Toronto, Ontario M6N 2Y5
Tel: (416) 656-1454

DATE AUG., 15 2016	DRAWN S.J.P.	SCALE 3/16" = 1'-0"
<p>THE CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER PRIOR TO PROCEEDING WITH THE WORK</p> <p>ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER AND SHALL BE RETURNED UPON COMPLETION OF THE CONSTRUCTION WORK.</p>		

PROJECT PROPOSED 2nd STOREY ADDITION FOR: EBRAHIMI RESIDENCE 14 SIXTH STREET TORONTO	ONTARIO
SHEET TITLE PROPOSED FIRST FLOOR PLAN	A5
A3	



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Details • Interior Design • Site Planning

27 Gillespie Avenue
Toronto, Ontario M6N 2Y5

Tel: (416) 656-1454

DATE
AUG., 15 2016

DRAWN
S.J.P.

SCALE
3/16" = 1'-0"

THE CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER PRIOR TO PROCEEDING WITH THE WORK.

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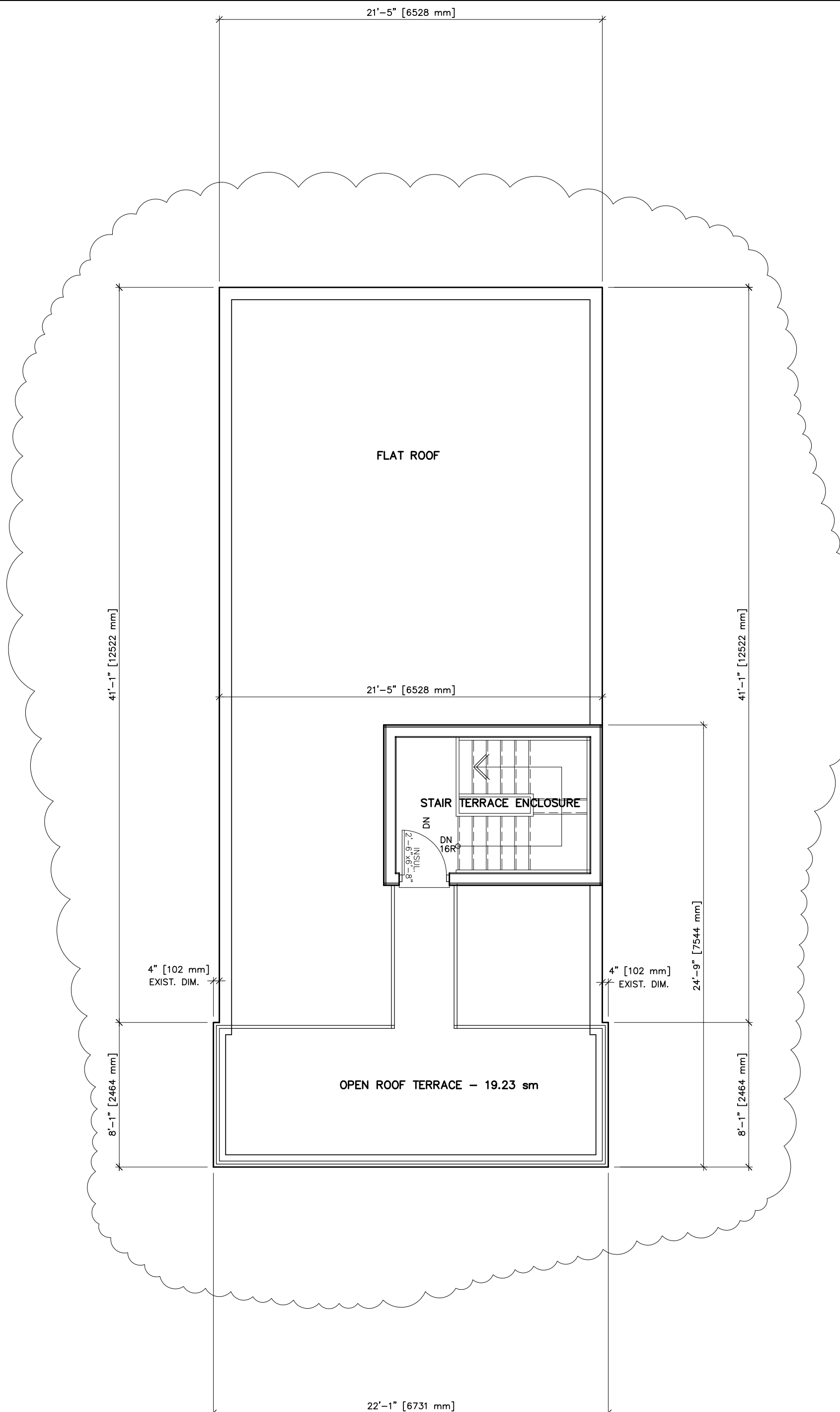
PROJECT
**PROPOSED 2nd STOREY ADDITION FOR:
EBRAHIMI RESIDENCE
14 SIXTH STREET**
TORONTO

ONTARIO

SHEET TITLE
**PROPOSED SECOND
FLOOR PLAN**

A5

A4

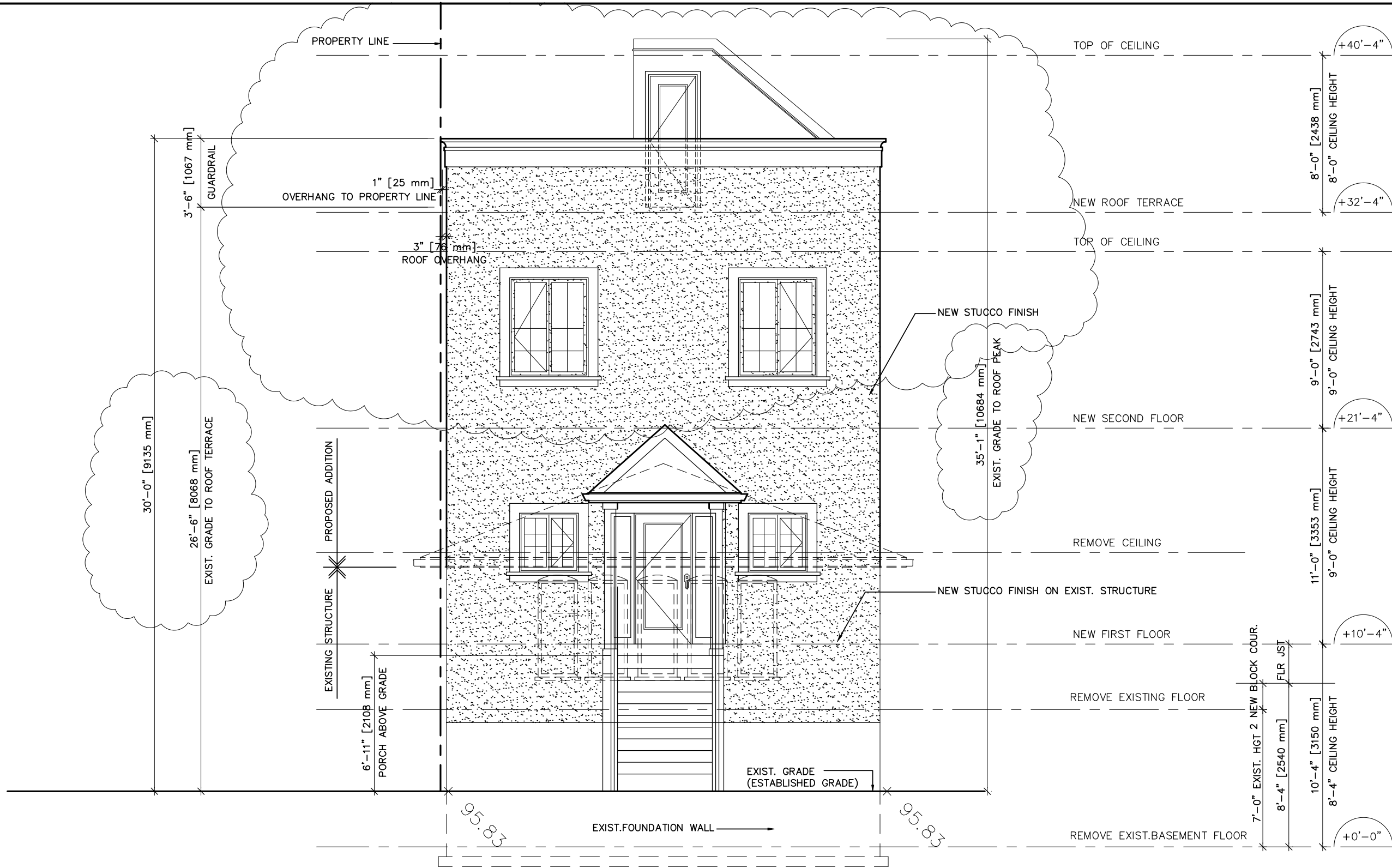


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 Details • Interior Design • Site Planning
 27 Gillespie Avenue
 Toronto, Ontario M6N 2Y5
 Tel: (416) 656-1454

DATE AUG., 15 2016	DRAWN S.J.P.	SCALE 3/16"=1'-0"
THE CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER PRIOR TO PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER AND SHALL BE RETURNED UPON COMPLETION OF THE CONSTRUCTION WORK.		

PROJECT PROPOSED 2nd STOREY ADDITION FOR: EBRAHIMI RESIDENCE 14 SIXTH STREET TORONTO	ONTARIO
SHEET TITLE PROPOSED SECOND FLOOR PLAN	A5

A5



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Details • Interior Design • Site Planning

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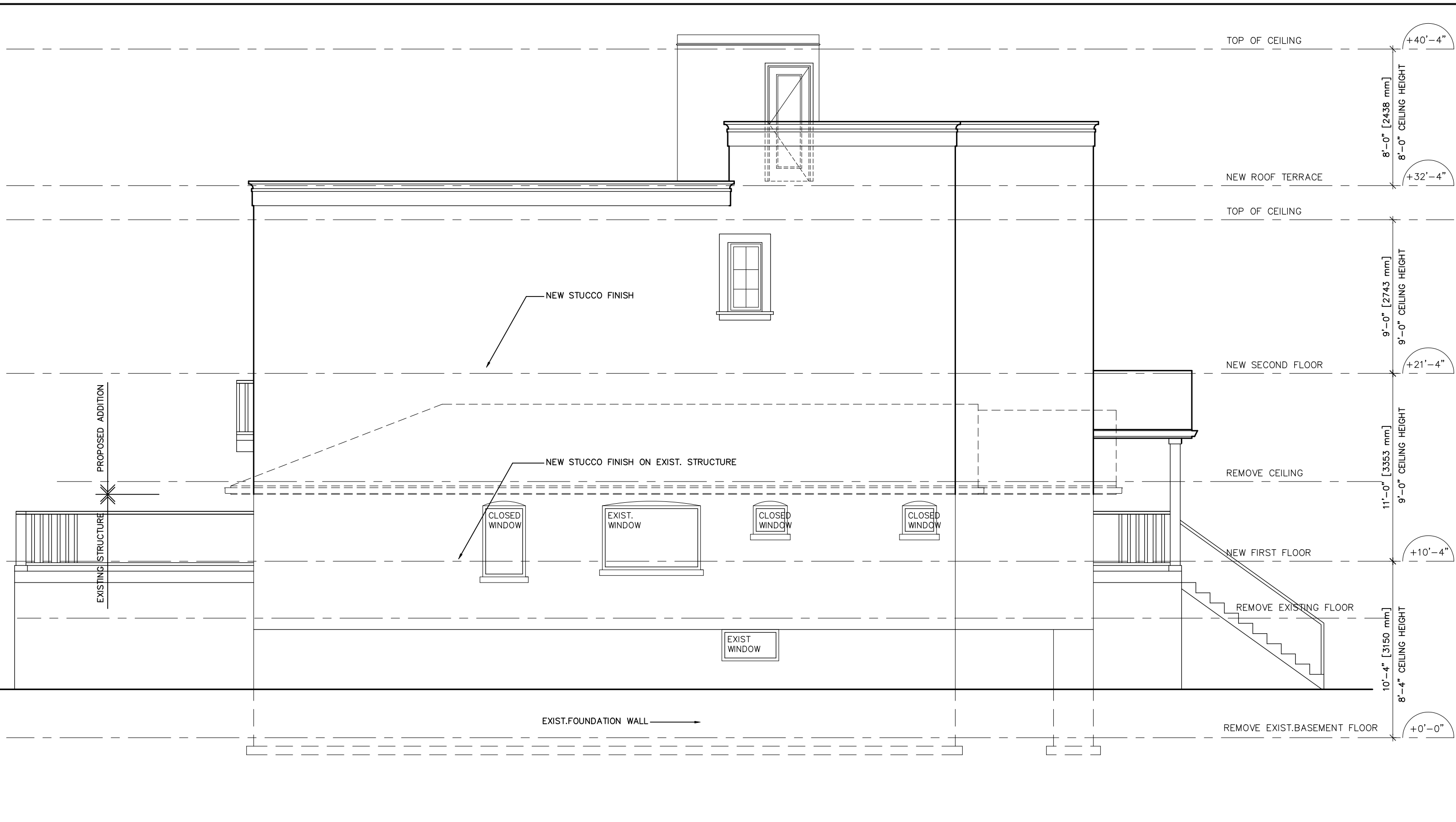
DATE AUG., 15 2016	DRAWN S.J.P.	SCALE 3/16" = 1'-0"
<p>THE CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER PRIOR TO PROCEEDING WITH THE WORK.</p> <p>ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER AND SHALL BE RETURNED UPON COMPLETION OF THE CONSTRUCTION WORK.</p>		

PROJECT
**PROPOSED 2nd STOREY ADDITION FOR:
EBRAHIMI RESIDENCE
14 SIXTH STREET
TORONTO**

ONTARIO

SHEET TITLE
**PROPOSED EAST
ELEVATION**

A6



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Construction Drawings • Design Drawings • Measured Drawings
 Details • Interior Design • Site Planning

27 Gillespie Avenue
 Toronto, Ontario M6N 2Y5 Tel: (416) 656-1454

DATE AUG., 15 2016	DRAWN S.J.P.	SCALE 3/16" = 1'-0"
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THE CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER PRIOR TO PROCEEDING WITH THE WORK.

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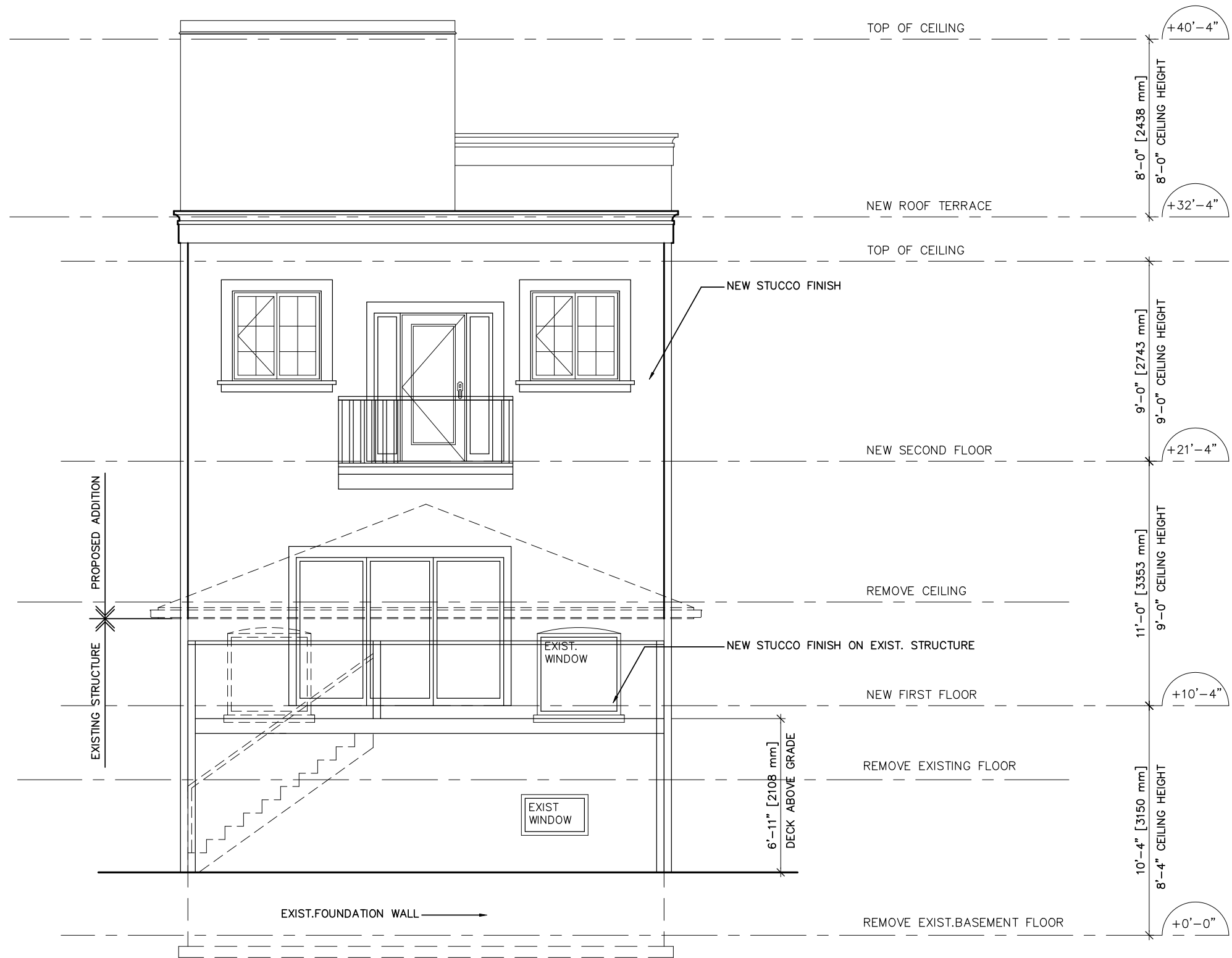
PROJECT
**PROPOSED 2nd STOREY ADDITION FOR:
 EBRAHIMI RESIDENCE
 14 SIXTH STREET
 TORONTO**

ONTARIO

SHEET TITLE
**PROPOSED SOUTH
 ELEVATION**

A5

A7



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ACS

Residential • Retail • Industrial • Commercial

Construction Drawings • Design Drawings • Measured Drawings
Details • Interior Design • Site Planning

27 Gillespie Avenue
Toronto, Ontario M6N 2Y5 Tel: (416) 656-1454

DATE: AUG., 15 2016
DRAWN: S.J.P.
SCALE: 3/16" = 1'-0"

THE CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER PRIOR TO PROCEEDING WITH THE WORK.

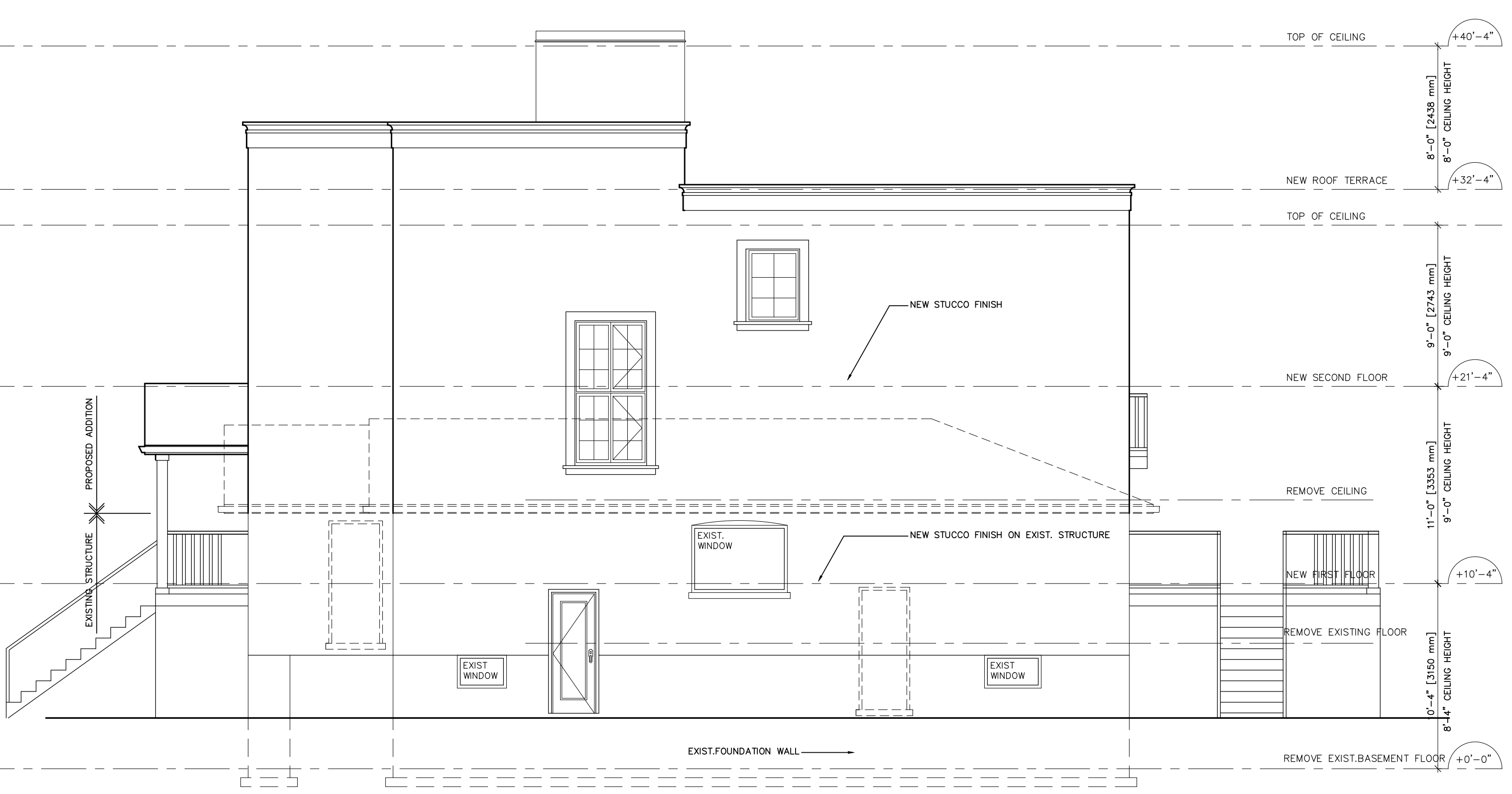
ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER AND SHALL BE RETURNED UPON COMPLETION OF THE CONSTRUCTION WORK.

PROJECT
**PROPOSED 2nd STOREY ADDITION FOR:
EBRAHIMI RESIDENCE
14 SIXTH STREET
TORONTO**

ONTARIO

SHEET TITLE
**PROPOSED WEST
ELEVATION**

A5
A8



Architectural CADD Studio

ACS

Residential • Retail • Industrial • Commercial

Construction Drawings • Design Drawings • Measured Drawings
 Details • Interior Design • Site Planning

27 Gillespie Avenue
 Toronto, Ontario M6N 2Y5 Tel: (416) 656-1454

DATE AUG., 15 2016	DRAWN S.J.P.	SCALE 3/16" = 1'-0"
THE CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER PRIOR TO PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER AND SHALL BE RETURNED UPON COMPLETION OF THE CONSTRUCTION WORK.		

PROJECT
**PROPOSED 2nd STOREY ADDITION FOR:
 EBRAHIMI RESIDENCE
 14 SIXTH STREET
 TORONTO** ONTARIO

SHEET TITLE
**PROPOSED NORTH
 ELEVATION**

A9

Thursday, January 12, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0860/16EYK	Zoning:	RT & R4G
Owner(s):	ORLIN STOEV GUERGANA KARAKJOVA- STOEV	Ward:	Etobicoke-Lakeshore (05)
Agent:	GUERGANA KARAKJOVA- STOEV	Heritage:	Not Applicable
Property Address:	346 PARK LAWN RD 10	Community:	
Legal Description:	RANGE 2 KMR PT LOT 4 RP 66R17393 PART 16 & 61		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To extend the existing rear patio.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 2(i), By-law 1995-212**
The maximum permitted area of a rear patio is 10 m².
The altered rear patio will have an area of 22.1 m².
- 2. Section 2(e), By-law 1995-212**
The minimum required setbacks shall not be less than schedule "B"
The altered rear patio is located closer to the lot lines than the measurements shown on Schedule "B".
- 3. Section 2(j), By-law 1995-212**
No setbacks shall be obstructed by any construction other than steps to grade, chimney breasts, eaves, bay windows or other projections extending a maximum of 0.4 m from any exterior wall or building.
The altered rear patio projects into the required setbacks and projects 3.91 m from the rear lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for permit to injure or destroy privately owned trees.

SIGNATURE PAGE

File Number:	A0860/16EYK	Zoning	RT & R4G
Owner:	ORLIN STOEV GUERGANA KARAKJOVA- STOEV	Ward:	Etobicoke-Lakeshore (05)
Agent:	GUERGANA KARAKJOVA- STOEV	Heritage:	Not Applicable
Property Address:	346 PARK LAWN RD 10	Community:	
Legal Description:	RANGE 2 KMR PT LOT 4 RP 66R17393 PART 16 & 61		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0865/16EYK	Zoning	RD & R1
Owner(s):	AMANDA VAN DER POL	Ward:	Etobicoke Centre (04)
Agent:	ALAN DIAZ ARK DESIGN CONCEPTS	Heritage:	Not Applicable
Property Address:	83 RAVENSBOURNE CRES	Community:	
Legal Description:	PLAN 5116 LOT 139		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling, a one-storey front addition and covered front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.20.40.70.(3)(F), By-law 569-2013

The minimum required side yard setback is 2.4 m.

The altered dwelling will be located 1.81 m from the east side lot line and 1.85 m from the west side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0865/16EYK	Zoning	RD & R1
Owner:	AMANDA VAN DER POL	Ward:	Etobicoke Centre (04)
Agent:	ALAN DIAZ	Heritage:	Not Applicable
	ARK DESIGN CONCEPTS		
Property Address:	83 RAVENSBOURNE CRES	Community:	
Legal Description:	PLAN 5116 LOT 139		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 12, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0866/16EYK	Zoning	RD & R2
Owner(s):	DHARMJIT MAND	Ward:	Etobicoke-Lakeshore (05)
Agent:	ALBERT YERUSHALMI	Heritage:	Not Applicable
Property Address:	233 PARK LAWN RD	Community:	
Legal Description:	PLAN M428 PT LOT 6		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage and a rear yard deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 320-59.C**
The maximum permitted lot coverage is 33% of the lot area (104.3 m²).
The new dwelling will cover 34.6% of the lot area (109.53 m²).
- Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 320-42.1A.(1)**
The maximum permitted floor space index is 0.45 times the lot area (142.2 m²).
Section 10.20.40.40.(1)(A), By-law 569-2013
The new dwelling will have a floor space index of 0.94 times the lot area (269.9 m²).
Section 320-42.1A.(1)
The new dwelling will have a floor space index of 0.91 times the lot area (288.2 m²).
- Section 10.20.40.10.(1)(A), By-law 569-2013 and Section 320-42.1.B.(1)**
The maximum permitted height is 9.5 m from the established grade.
The new dwelling will have a height of 9.98 m.
- Section 10.20.40.10.(2)(B), By-law 569-2013**
The maximum permitted height for pairs of walls from the established grade is 7 m.
The new dwelling will have wall height of 8.1 m from the established grade.
- Section 320-42.1.B.(2)**
The maximum permitted soffit height is 6.5 m.
The new dwelling will have a soffit height of 7.49 m.
- Section 10.5.40.60.(1)(D), By-law 569-2013**
The maximum permitted encroachment for a platform in the rear yard is 1.82 m, provided it is no closer to the side lot line than 3 m.
Section 320-42.E
The maximum permitted encroachment for a platform into the required rear yard setback is 1.92 m.
Section 10.5.40.60.(1)(D), By-law 569-2013 and Section 320-42.E
The proposed rear yard deck will encroach 3.4 m into the required rear yard setback and will be located 1.57 m from the south side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The proposal shall be constructed substantially in accordance with the revised plans submitted and held on file by the Committee of Adjustment office and date stamped as received on January 5, 2016, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0866/16EYK	Zoning	RD & R2
Owner:	DHARMJIT MAND	Ward:	Etobicoke-Lakeshore (05)
Agent:	ALBERT YERUSHALMI	Heritage:	Not Applicable
Property Address:	233 PARK LAWN RD	Community:	
Legal Description:	PLAN M428 PT LOT 6		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

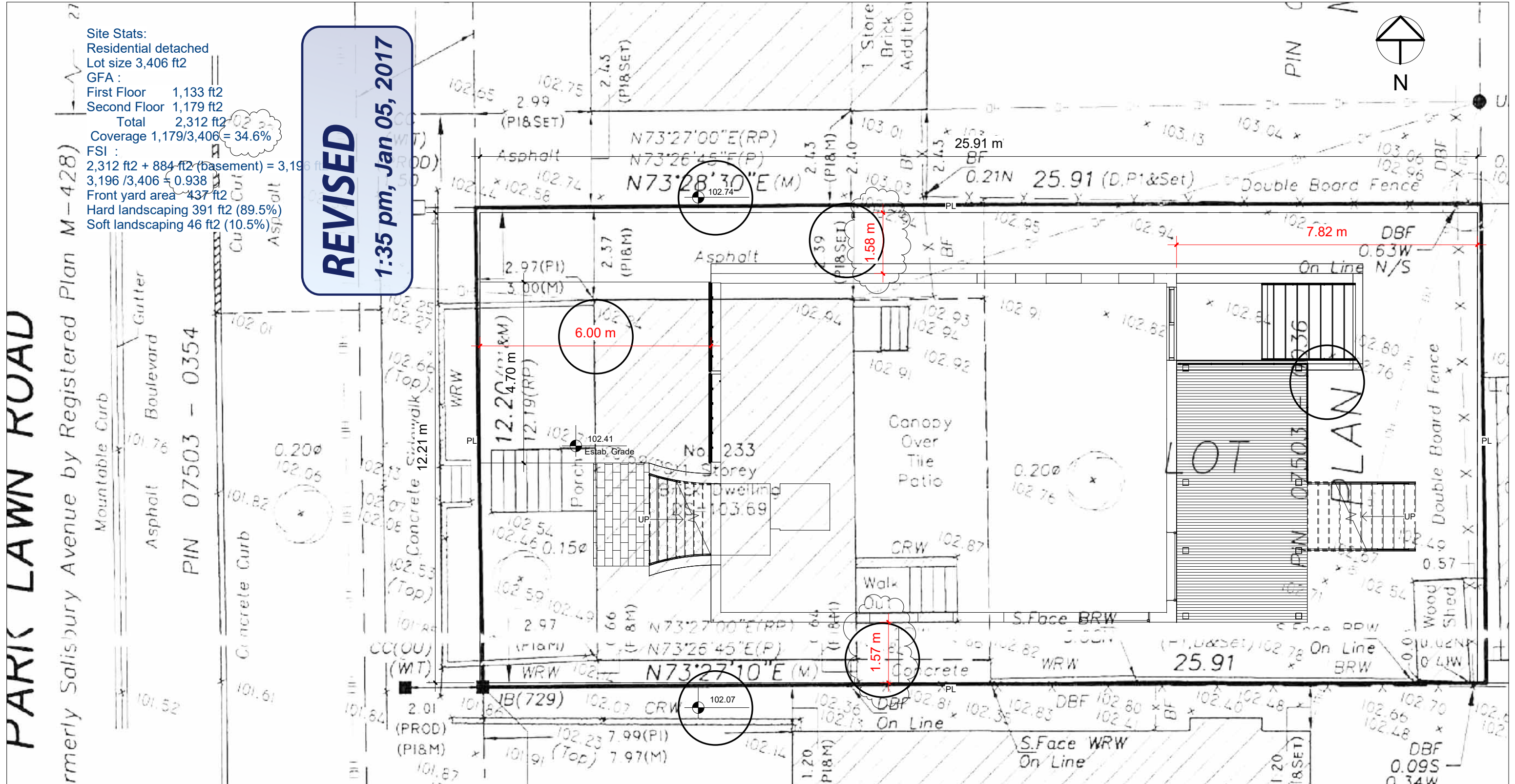
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PARK LAWN ROAD

Formerly Salisbury Avenue by Registered Plan M-428)

Site Stats:
 Residential detached
 Lot size 3,406 ft²
 GFA :
 First Floor 1,133 ft²
 Second Floor 1,179 ft²
 Total 2,312 ft²
 Coverage 1,179/3,406 = 34.6%
 FSI :
 2,312 ft² + 884 ft² (Basement) = 3,196 ft²
 3,196 / 3,406 = 0.938
 Front yard area 437 ft²
 Hard landscaping 391 ft² (89.5%)
 Soft landscaping 46 ft² (10.5%)

REVISED
 1:35 pm, Jan 05, 2017



Drawn By	AY	Contractor to check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the works. This drawing is the property of "Eden Engineering & Design" and any use of it should have the designer consent. Drawings are not to be scaled
Checked By	AY	
Date	1.8.2016	



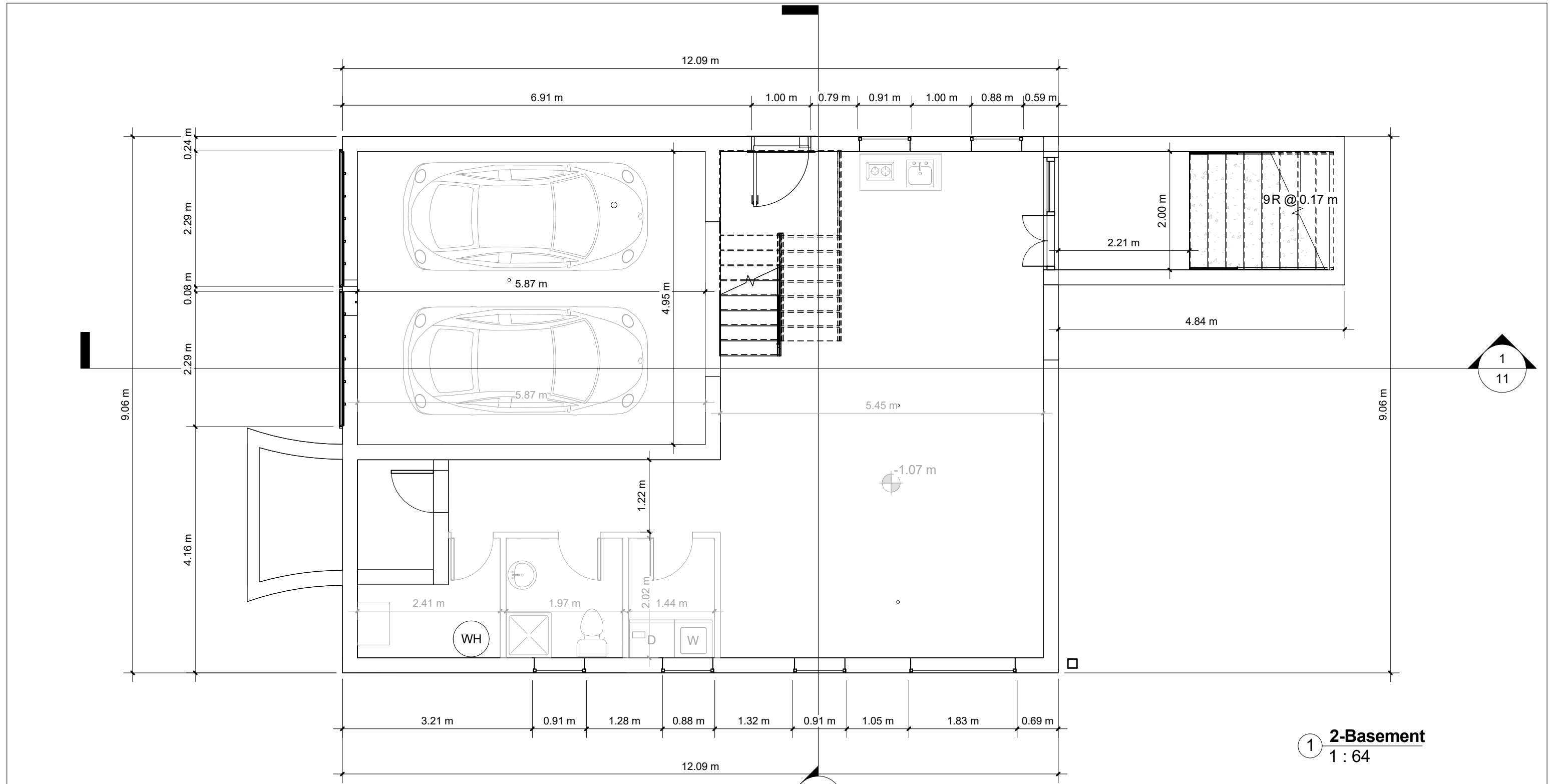
Eden Engineering & Design Inc.
 Consulting Engineers

34 Pheasant Valley Ct.
 Markham, ON L3T2H1
 Tel : 416-876-0957
 Fax : 905-248-3595
 E-mail : info@edenengineering.ca

Date	Revision
29.12.2016	Revisions as per The City's request

1
 1-Grade
 1 : 96

233 Park Lawn Road
 Toronto, ON.



1 **2-Basement**
1 : 64

Drawn By	AY	Contractor to check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the works. This drawing is the property of "Eden Engineering & Design" and any use of it should have the designer consent. Drawings are not to be scaled
Checked By	AY	
Date	1.8.2016	



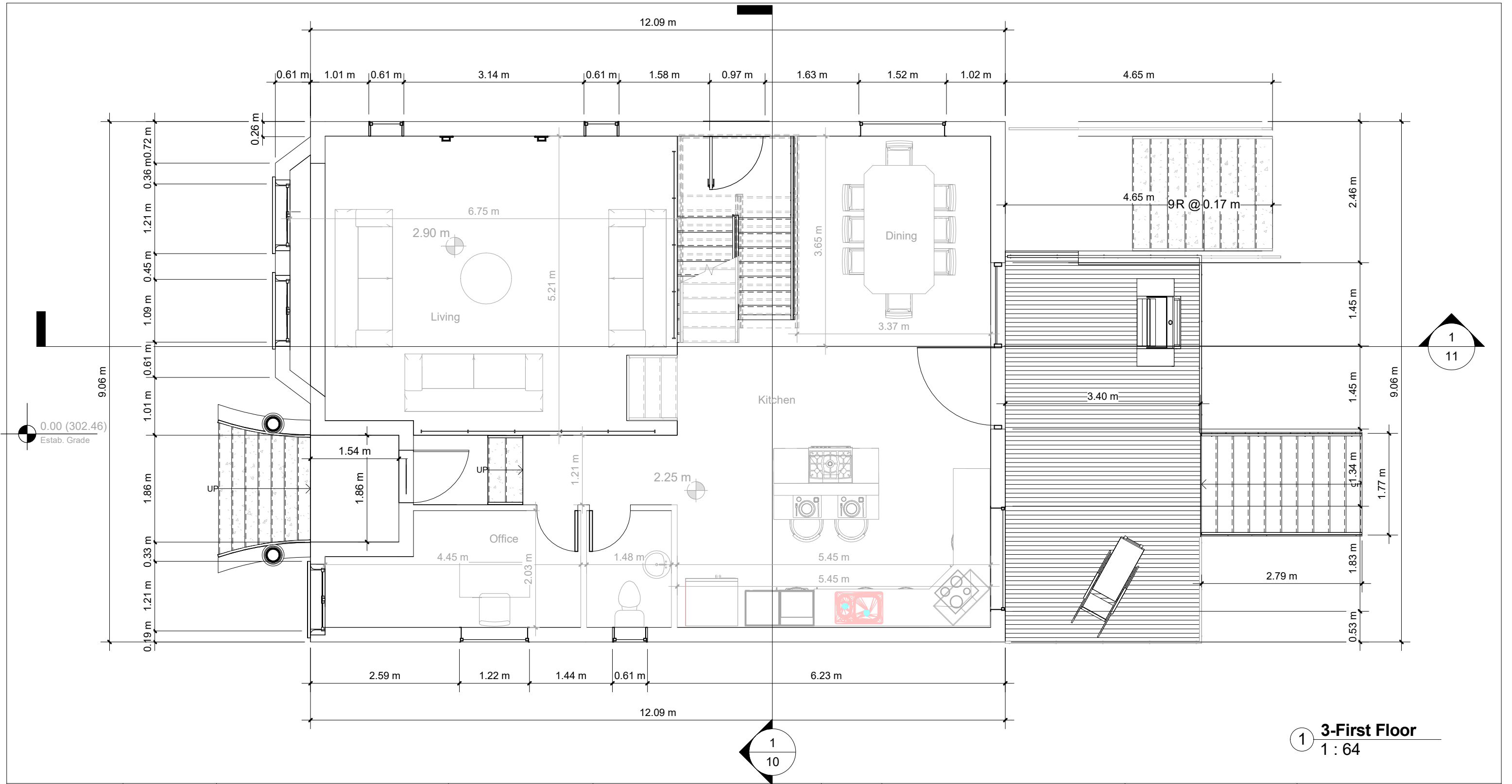
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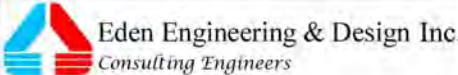
Date	Revision
29.12.2016	Revisions as per The City's request

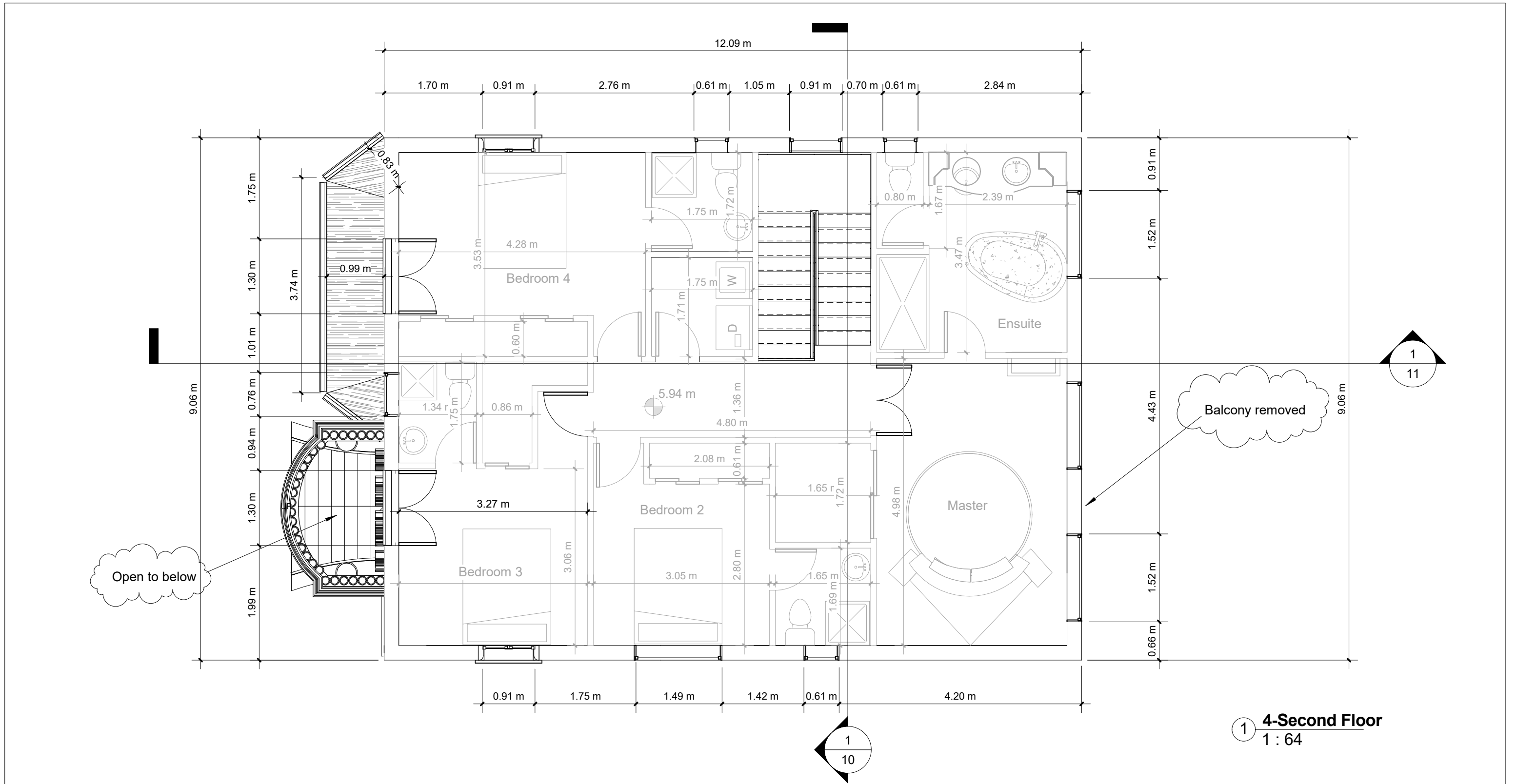
2

233 Park Lawn Road
Toronto, ON.



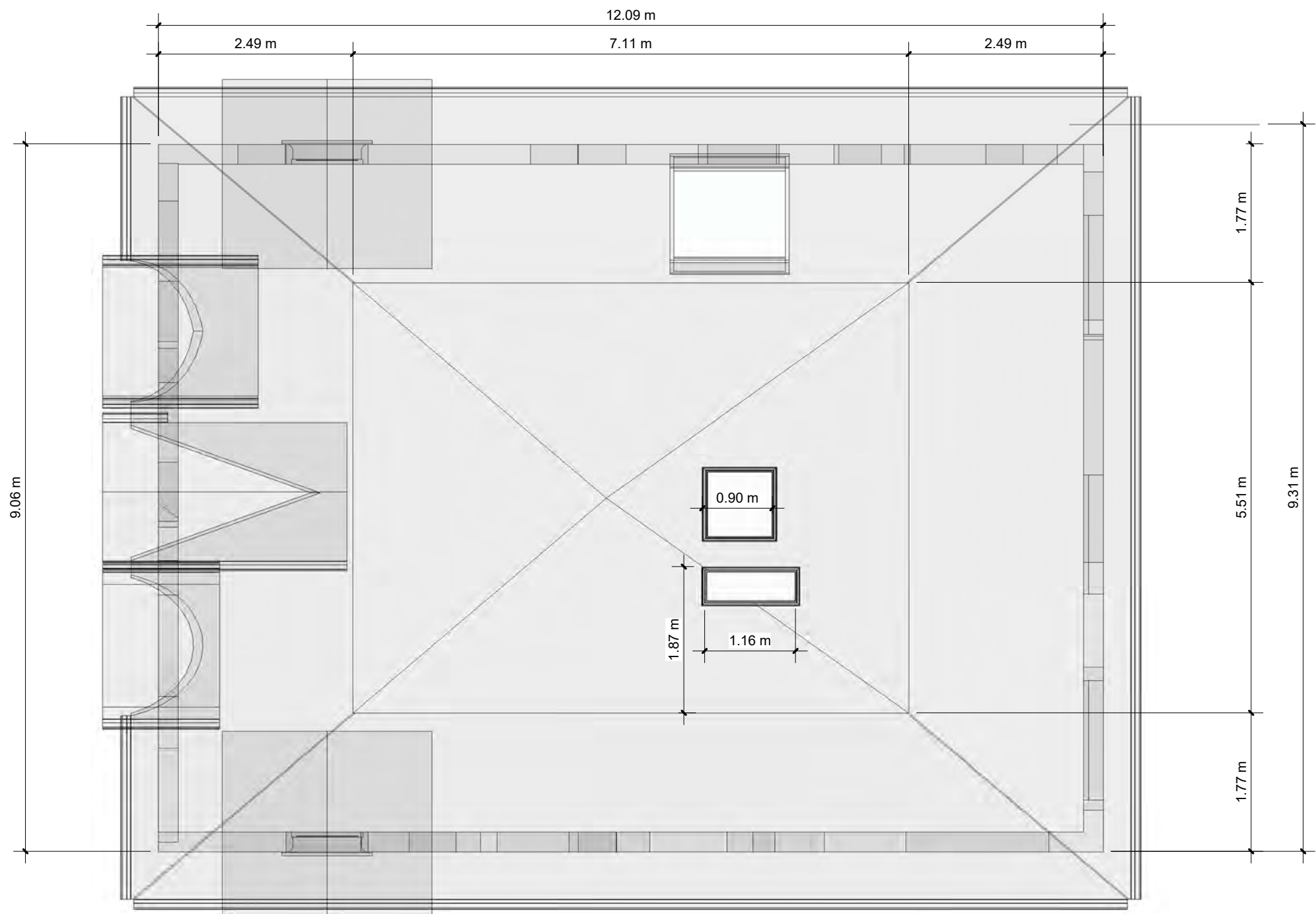
1 **3-First Floor**
1 : 64

Drawn By	AY	Contractor to check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the works. This drawing is the property of "Eden Engineering & Design" and any use of it should have the designer consent. Drawings are not to be scaled		 <p>Eden Engineering & Design Inc. Consulting Engineers</p> <p>34 Pheasant Valley Ct. Markham, ON L3T2H1 Tel : 416-876-0957 Fax : 905-248-3595 E-mail : info@edenengineering.ca</p>	Date	Revision	3	233 Park Lawn Road Toronto, ON.
Checked By	AY				29.12.2016	Revisions as per The City's request		
Date	1.8.2016							



1 **4-Second Floor**
1 : 64

Drawn By	AY	Contractor to check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the works. This drawing is the property of "Eden Engineering & Design" and any use of it should have the designer consent. Drawings are not to be scaled		 <p>34 Pheasant Valley Ct. Markham, ON L3T2H1 Tel : 416-876-0957 Fax : 905-248-3595 E-mail : info@edenengineering.ca</p>	Date	Revision	4	233 Park Lawn Road Toronto, ON.
Checked By	AY				29.12.2016	Revisions as per The City's request		
Date	1.8.2016							



① **5-Roof**
1 : 64

Drawn By	AY	Contractor to check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the works. This drawing is the property of "Eden Engineering & Design" and any use of it should have the designer consent. Drawings are not to be scaled
Checked By	AY	
Date	1.8.2016	



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Date	Revision
29.12.2016	Revisions as per The City's request

5

233 Park Lawn Road
Toronto, ON.



① South
1 : 64

Date	Revision
29.12.2016	Revisions as per The City's request

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Drawn By	AY
Checked By	AY
Date	1.8.2016

6

Date	Revision
29.12.2016	Revisions as per The City's request

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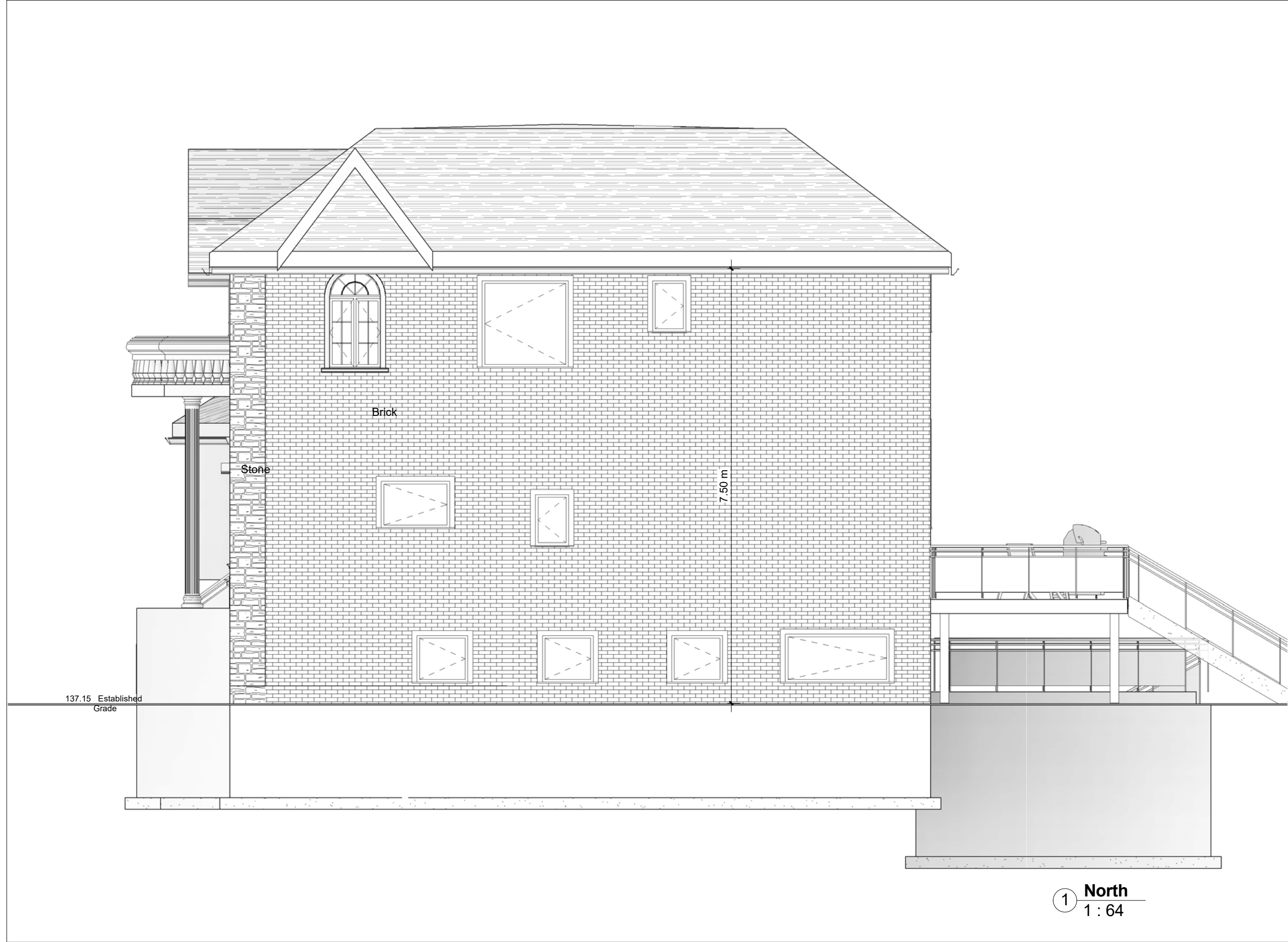
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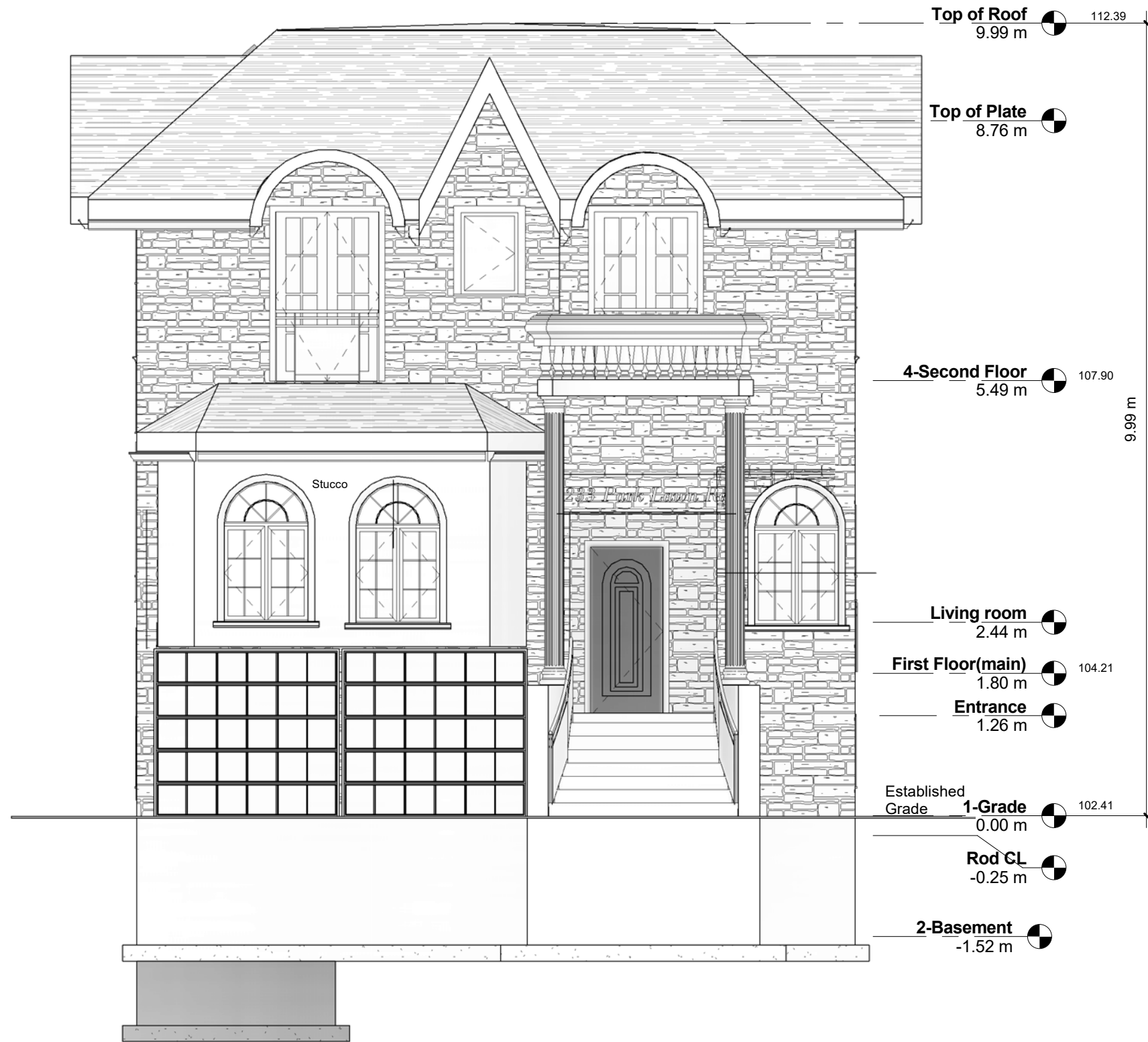
233 Park Lawn Road
Toronto, ON.



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34 Pheasant Valley Ct.
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Fax : 905-248-3595
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Drawn By	AY
Checked By	AY
Date	1.8.2016





① West
1 : 64

Date	Revision
29.12.2016	Revisions as per The City's request

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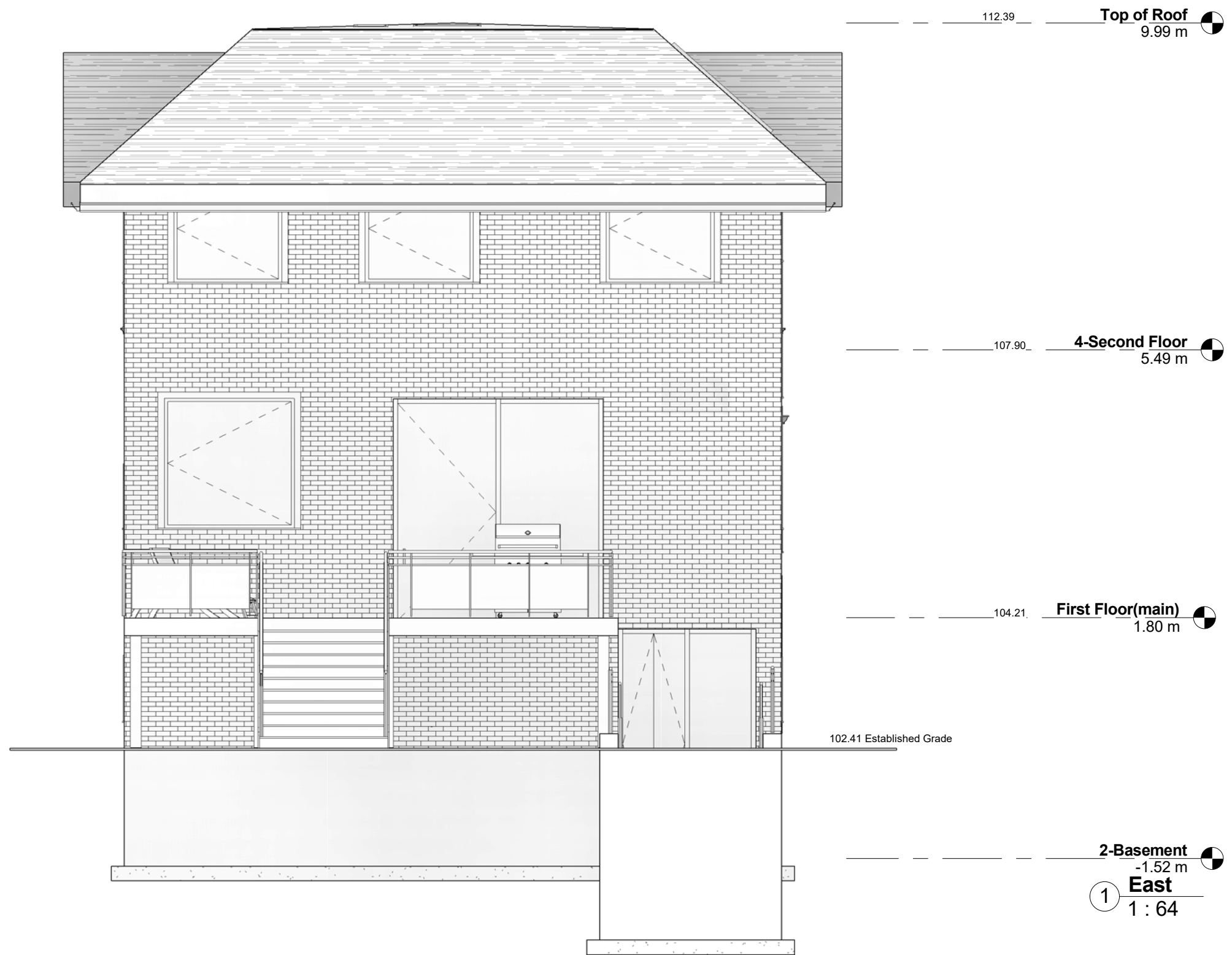
Project :

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Drawn By	AY
Checked By	AY
Date	1.8.2016



Date	Revision
29.12.2016	Revisions as per The City's request

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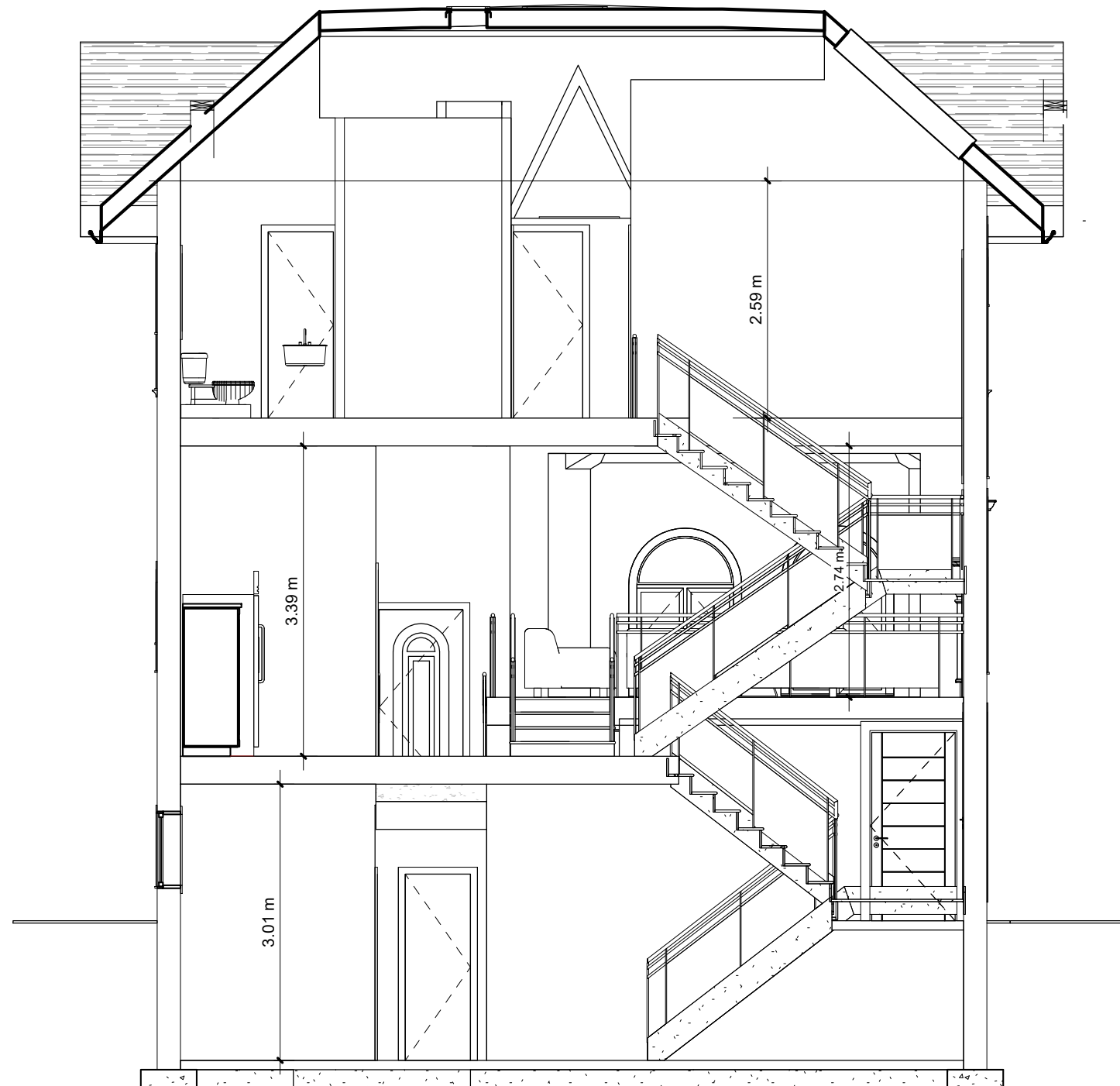
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Tel : 416-876-0957
Fax : 905-248-3595
E-mail : info@edenengineering.ca

Drawn By	AY
Checked By	AY
Date	1.8.2016



1 Section1
1 : 64

Date	Revision
29.12.2016	Revisions as per The City's request

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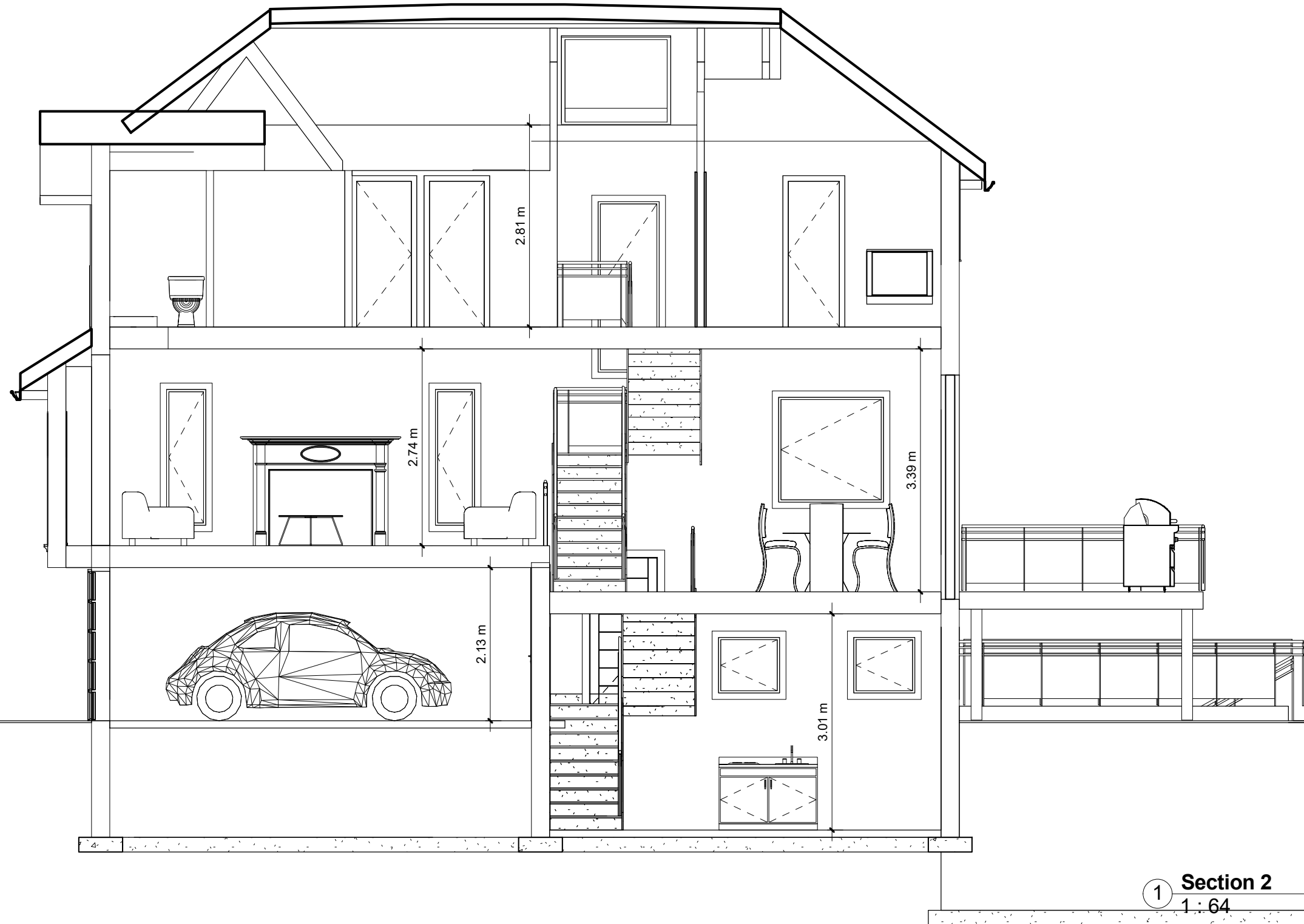
Project :

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Fax : 905-248-3595
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Drawn By	AY
Checked By	AY
Date	1.8.2016



Date	Revision
29.12.2016	Revisions as per The City's request

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Drawn By	AY
Checked By	AY
Date	1.8.2016



① 3D1

Date	Revision
29.12.2016	Revisions as per The City's request

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Drawn By	AY
Checked By	AY
Date	1.8.2016



① 3D2

Date	Revision
29.12.2016	Revisions as per The City's request

Contractor to check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the works. This drawing is the property of "Eden Engineering & Design" and any use of it should have the designer consent.
Drawings are not to be scaled

Project :

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Toronto, ON.



Eden Engineering & Design Inc.
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Tel : 416-876-0957
Fax : 905-248-3595
E-mail : info@edenengineering.ca

Drawn By	AY
Checked By	AY
Date	1.8.2016

Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0867/16EYK	Zoning:	RD & R2
Owner(s):	LUCIE GILCHRIST GREG GRYS	Ward:	Etobicoke-Lakeshore (05)
Agent:	ROY CHAN	Heritage:	Not Applicable
Property Address:	40 KENWAY RD	Community:	
Legal Description:	PLAN 3958 LOT 16		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey west and east side addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 & Section 320-59(c)**
The maximum permitted lot coverage is 33% of the lot area (188.4 m²).
The altered dwelling will have a lot coverage of 35.2% of the lot area (201 m²).
- Section 320-41(B)**
The minimum required side yard setback flanking a street is 3.79 m.
The proposed dwelling will be located 3.7 m from the west side lot line, flanking Kenway Road.
- Section 10.20.40.70.(2)(B), By-law 569-2013 & Section 320-42(A)**
The minimum required rear yard setback is 9.75 m.
The altered dwelling will be located 9.64 m from the rear lot line.
- Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The altered dwelling will have length of 21.7 m.
- Section 320-18(A)(4)**
A minimum of 6 m shall be provided in front of a parking space.
A total of 0 m will be provided in front of the parking space.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:

1. Remove the existing 6.0m wide driveway along the Kenway Road frontage.
2. Provide a new 3.2 m wide driveway, as measured from the Kenway Road right-of-way limit fronting the proposed 3.2 m wide by 6.0 m long parking pad.
3. The applicant is required to restore the Kenway Road municipal boulevard with sod, with the exception of the proposed 3.2 m wide driveway.
4. Insert a notation on the site plan stating that, "The applicant shall obtain the necessary authorizations and permits from the City's Right-of-Way Management Unit before excavating within or encroaching into the municipal road allowance. The applicant shall also submit a Municipal Road Damage Deposit (MRDD) prior to obtaining a Building Permit." The applicant is required to contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 regarding municipal road damage deposit requirements; and
5. The applicant shall submit a revised site plan (1:200 or 1:250 in metric scale) illustrating the above-noted Condition No.'s 1 through 4, to the satisfaction of Transportation Services Division and at no cost to the City, no later than September 1, 2018.

SIGNATURE PAGE

File Number:	A0867/16EYK	Zoning	RD & R2
Owner:	LUCIE GILCHRIST GREG GRYS	Ward:	Etobicoke-Lakeshore (05)
Agent:	ROY CHAN	Heritage:	Not Applicable
Property Address:	40 KENWAY RD	Community:	
Legal Description:	PLAN 3958 LOT 16		

Dominic Gulli (signed)

David Peacock (signed)

Allan Smithies (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, January 12, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0870/16EYK	Zoning:	RD & R2
Owner(s):	KENNETH RAMSAY	Ward:	Etobicoke-Lakeshore (05)
Agent:	IAN CUNHA	Heritage:	Not Applicable
Property Address:	16 GREENFIELD DR	Community:	
Legal Description:	PLAN 5209 LOT 4		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 320-59.C.**
The maximum permitted lot coverage is 33% of the lot area (233.2 m²).
The new dwelling will cover 34% of the lot area (239.5 m²).
- 2. Section 900.3.10.(21)(C), By-law 569-2013 and Section 1(b)(1), By-law 1992-23**
The maximum permitted gross floor area, including an attached garage, is 135 m² plus 25% of the lot area (311.67 m²).
The new dwelling, including the attached garage, will have a gross floor area equal to 135 m² plus 41% of the lot area (426.17 m²).
- 3. Section 900.3.10.(21)(A), By-law 569-2013 and Section 1(a)(2), By-law 1992-23**
The maximum permitted building height for flat roofed dwellings is 6.5 m.
Section 900.3.10.(21)(A), By-law 569-2013
The proposed flat roofed dwelling will have a height of 7.6 m.
Section 1(a)(2), By-law 1992-23
The proposed flat roofed dwelling will have a height of 7.9 m.
- 4. Section 1(d)(1), By-law 1992-23**
The maximum permitted dwelling depth is 16.5 m.
The new dwelling will have a depth of 18.16 m.
- 5. Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The new dwelling will have a length of 18.16 m.
- 6. Section 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of each platform at or above the second storey is 4 m².
The proposed second storey balcony will have an area of 10.6 m².

7. **Section 10.5.100.1.(1)(C), By-law 569-2013 and Section 320-44.A.(1).(c)**
The maximum permitted width of a driveway is 6 m.
The proposed driveway will have a width of 6.66 m.
8. **Section 10.5.50.10.(1)(C), By-law 569-2013 and Section 320-24.9.(C)**
A minimum of 60% of the front yard shall be maintained as landscaping (79.73 m²).
A total of 55% of the front yard will be maintained as landscaping (72.82 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:

1. Illustrate a maximum width of 6.0m for the proposed driveway and the associated depressed curb, as measured between the south property limit to the curb line of Greenfield Drive.
2. Remove the proposed driveway extension and indicate a proposed pedestrian walkway width along the east side of the proposed driveway.
3. Insert a notation on the site plan stating that, "The applicant is required to reinstate the redundant portion of the existing driveway that is being removed with sod within the municipal boulevard. The existing unused depressed curb must be restored with poured raised concrete curb according to City of Toronto Design Standard No. T-600.11-1."
4. Insert a notation on the site plan stating that, "The applicant shall obtain the necessary authorizations and permits from the City's Right-of-Way Management Unit before excavating within or encroaching into the municipal road allowance. The applicant shall also submit a Municipal Road Damage Deposit (MRDD) prior to obtaining a Building Permit." The applicant is required to contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 regarding municipal road damage deposit requirements; and
5. The applicant shall submit a revised site plan (1:200 or 1:250 in metric scale) illustrating the above-noted Condition No.'s 1 through 5, to the satisfaction of Transportation Services Division and at no cost to the City, no later than September 1, 2018.

SIGNATURE PAGE

File Number:	A0870/16EYK	Zoning	RD & R2 (ZR)
Owner:	KENNETH RAMSAY	Ward:	Etobicoke-Lakeshore (05)
Agent:	IAN CUNHA	Heritage:	Not Applicable
Property Address:	16 GREENFIELD DR	Community:	
Legal Description:	PLAN 5209 LOT 4		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Wednesday, January 25, 2017

REVISED NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0871/16EYK	Zoning	I.C2
Owner(s):	BROVI INVESTMENTS LTD SHELTER CDN PROPERTIES LTD	Ward:	Etobicoke North (01)
Agent:	DOUG PATTISON	Heritage:	Not Applicable
Property Address:	397 HUMBERLINE DR	Community:	
Legal Description:	CON 3 FTH PT LOTS 38 & 39 RP 66R8025 PARTS 4 & 5		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act. [from Notice of Hearing]

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The Committee of Adjustment's decision of approval shall be valid for a period of 10 years, expiring on December 16, 2027.

SIGNATURE PAGE

File Number:	A0871/16EYK	Zoning	I.C2
Owner:	BROVI INVESTMENTS LTD SHELTER CDN PROPERTIES LTD	Ward:	Etobicoke North (01)
Agent:	DOUG PATTISON	Heritage:	Not Applicable
Property Address:	397 HUMBERLINE DR	Community:	
Legal Description:	CON 3 FTH PT LOTS 38 & 39 RP 66R8025 PARTS 4 & 5		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0877/16EYK	Zoning	Rm & R2
Owner(s):	VIRGILIO LUONGO	Ward:	Etobicoke-Lakeshore (06)
Agent:	MEAGAN SANDERSON	Heritage:	Not Applicable
Property Address:	28 A THIRD ST	Community:	
Legal Description:	PLAN 1478 PT LOT 73		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To maintain the existing 6 unit apartment building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.80.20.10.(1), By-law 569-2013 & Section 350-34

An apartment building is not a permitted use in a RM & R2 zone.

REQUESTED PERMISSION UNDER SUBSECTION 45(2)(A)(i) OF THE PLANNING ACT:

The use on the site consists of an existing 6 unit apartment building with 6 existing parking spaces that is currently a legal non-conforming use. The 2 existing units that were built in the basement represent an enlargement or extension of a legal non-conforming use/building. Any alterations or additions and/or changes in use of a legal non-conforming building or structure, requires the permission of the Committee of Adjustment.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance/Permission Application is Approved

It is the decision of the Committee of Adjustment to authorize this application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.
- The Committee of Adjustment considers that the application has met the requirements of subsection 45(2)(a)(i) of the Planning Act.

SIGNATURE PAGE

File Number:	A0877/16EYK	Zoning	Rm& R2 (ZR)
Owner:	VIRGILIO LUONGO	Ward:	Etobicoke-Lakeshore (06)
Agent:	MEAGAN SANDERSON	Heritage:	Not Applicable
Property Address:	28 A THIRD ST	Community:	
Legal Description:	PLAN 1478 PT LOT 73		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

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Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 12, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0881/16EYK	Zoning	RD & R2
Owner(s):	JULIE STEFKO	Ward:	Etobicoke-Lakeshore (05)
Agent:	CARLOS CANEJO	Heritage:	Not Applicable
Property Address:	42 SMITHWOOD DR	Community:	
Legal Description:	PLAN 4014 LOT 14		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage, a rear deck, and a second storey rear balcony.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10.(21)(C), By-law 569-2013 and Section 1(b), By-law 1992-23**
The maximum permitted gross floor area, including an attached or detached garage, is 135 m² plus 25% of the lot area (374.9 m²).
The proposed dwelling, including the attached garage, will have a gross floor area equal to 135 m² plus 33% of the lot area (456.2 m²).
- Section 10.20.40.70.(1), By-law 569-2013 and Section 320-40.(C)(1)**
The minimum required front yard setback is 8.28 m.
The new dwelling will be located 5.76 m from the front lot line.
- Section 10.20.40.10.(1)(A), By-law 569-2013 and Section 1.a)(1), By-law 1992-23**
The maximum permitted dwelling height is 9.5 m.
The new dwelling will have a height of 9.93 m.
- Section 1.a)(2), By-law 1992-23**
The maximum permitted soffit height is 6.5 m.
The new dwelling will have a soffit height of 6.68 m.
- Section 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above a second storey is 4 m².
The proposed second storey rear platform will have an area of 20 m².
- Section 320-18.(A) as amended by By-law 497-2007**
A minimum of 6 m of access be provided in front of all parking spaces.
A total of 5.76 m will be provided in front of the parking space.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.
2. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
3. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
4. The proposal shall be constructed substantially in accordance with the site plan submitted to City Planning, dated January 3, 2017, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
5. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 5.1 The site plan must be revised to illustrate the abutting municipal boulevard along Smithwood Drive, including the portion of the proposed driveway within the municipal boulevard and the edge-of-pavement along Smithwood Drive;
 - 5.2 The site plan must be revised to include a notation on the drawing stating: "The proposed new driveway shall be constructed to the applicable City of Toronto Design Standard(s)";
 - 5.3 The site plan must be revised to include a notation on the drawing stating: "The applicant must provide a Municipal Road Damage Deposit (MRDD) for the proposed driveway construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at 416-338-1045 in this regard; and

- 5.4 The site plan must be revised to include a notation on the drawing stating: “The applicant must obtain all required permits to construct the proposed driveways from the Right-of-Way Management Section of Transportation Services (i.e. curb cut permits, etc.)”

SIGNATURE PAGE

File Number:	A0881/16EYK	Zoning	RD & R2
Owner:	JULIE STEFKO	Ward:	Etobicoke-Lakeshore (05)
Agent:	CARLOS CANEJO	Heritage:	Not Applicable
Property Address:	42 SMITHWOOD DR	Community:	
Legal Description:	PLAN 4014 LOT 14		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

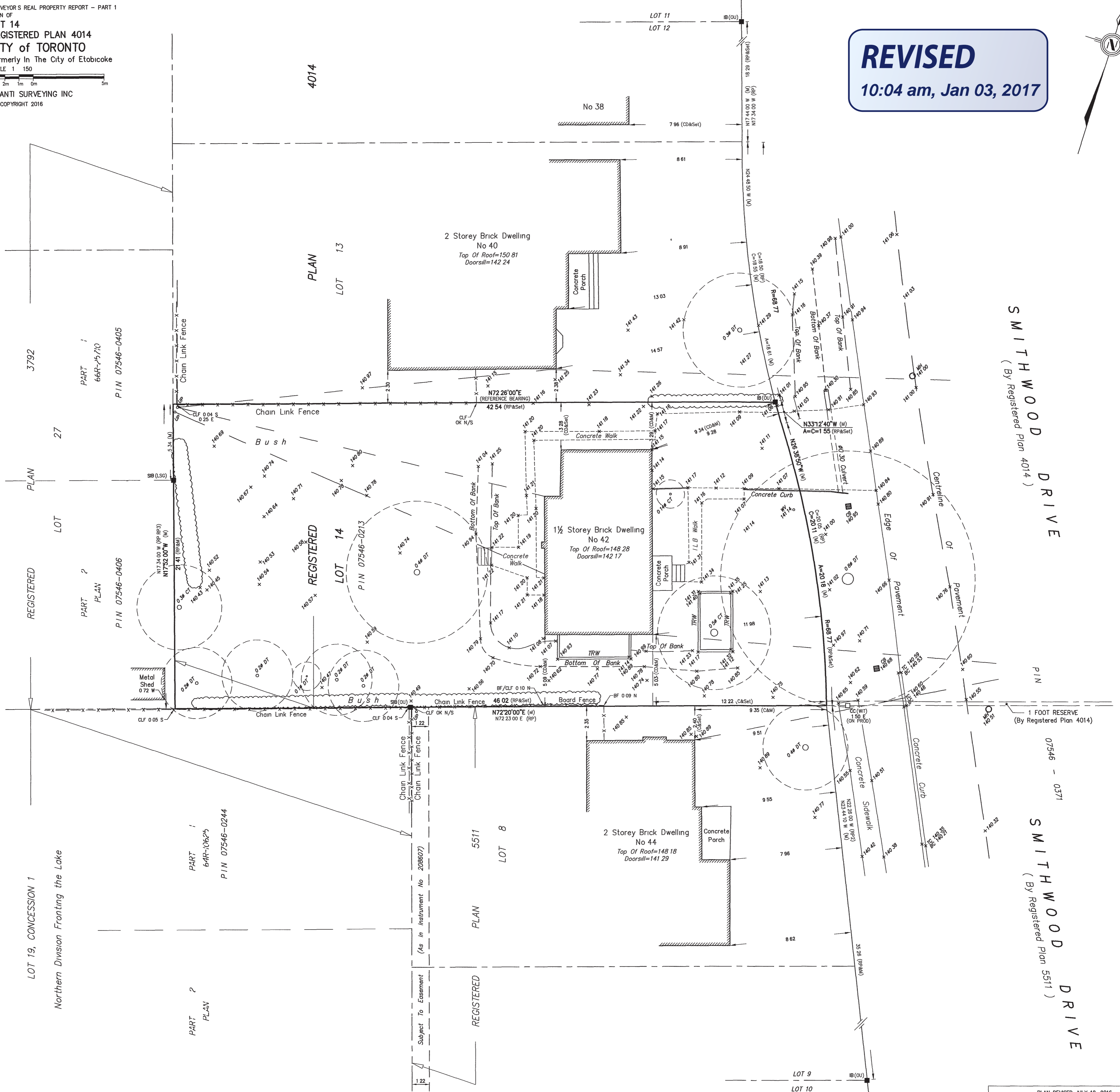
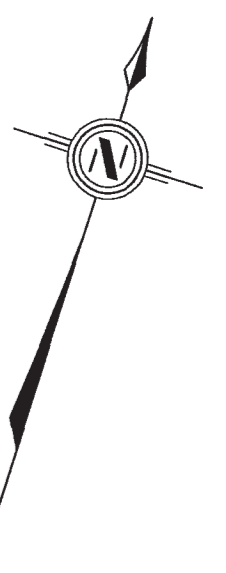
CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

SURVEYOR'S REAL PROPERTY REPORT - PART 1
 PLAN OF
LOT 14
REGISTERED PLAN 4014
CITY OF TORONTO
 Formerly In The City of Etobicoke
 SCALE 1:150
 3m 2m 1m 0m 5m
AVANTI SURVEYING INC
 © COPYRIGHT 2016

REVISED
 10:04 am, Jan 03, 2017



METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT
 1 THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT THE SURVEYORS ACT THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM
 2 THE SURVEY WAS COMPLETED ON THE 23rd DAY OF JUNE 2016

JUNE 30 2016
 DATE
 CHRIS BERESNEWCZ
 ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
1978966

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1028 Section 29(3)

- LEGEND**
- DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT SET
 - RP REGISTERED PLAN 4014
 - RP2 REGISTERED PLAN 5511
 - RP3 REGISTERED PLAN 3792
 - N S E W NORTH SOUTH EAST WEST
 - M MEASURED
 - SB STANDARD IRON BAR
 - IB IRON BAR
 - CC CUT CROSS
 - WT WITNESS
 - PROD PRODUCTION
 - LSG LAND SURVEY GROUP OLS
 - PLAN BY B CODE OLS
 - DATED NOVEMBER 12 1958

- LEGEND (Cont)**
- CLF DENOTES CHAIN LINK FENCE
 - BF BOARD FENCE
 - WV WATER VALVE
 - ILB INTERLOCKING BRICK
 - DT DECIDUOUS TREE
 - CT CONIFEROUS TREE
 - Ø DIAMETER
 - TC TOP OF CURB
 - BC BOTTOM OF CURB
 - PIN PROPERTY IDENTIFIER NUMBER
 - OW OVERHEAD WIRES
 - UP UTILITY POLE
 - CD PLAN BY COOK & DUNNING OLS DATED JULY 3 1951

ELEVATION NOTE
 ELEVATIONS ARE GEOMETRIC AND ARE REFERRED TO THE CITY OF TORONTO BENCH MARK NO E427 HAVING A PUBLISHED ELEVATION OF 138.68 METRES

BEARING NOTE
 BEARINGS ARE ASTROMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF LOT 14 HAVING A BEARING OF N72.23.00"E ACCORDING TO REGISTERED PLAN 4014

PLAN REVISED JULY 12 2016
 PLAN REVISED JULY 8 2016
 THIS PLAN WAS PREPARED FOR JULIA STEFKO

PART 2 - SURVEY REPORT

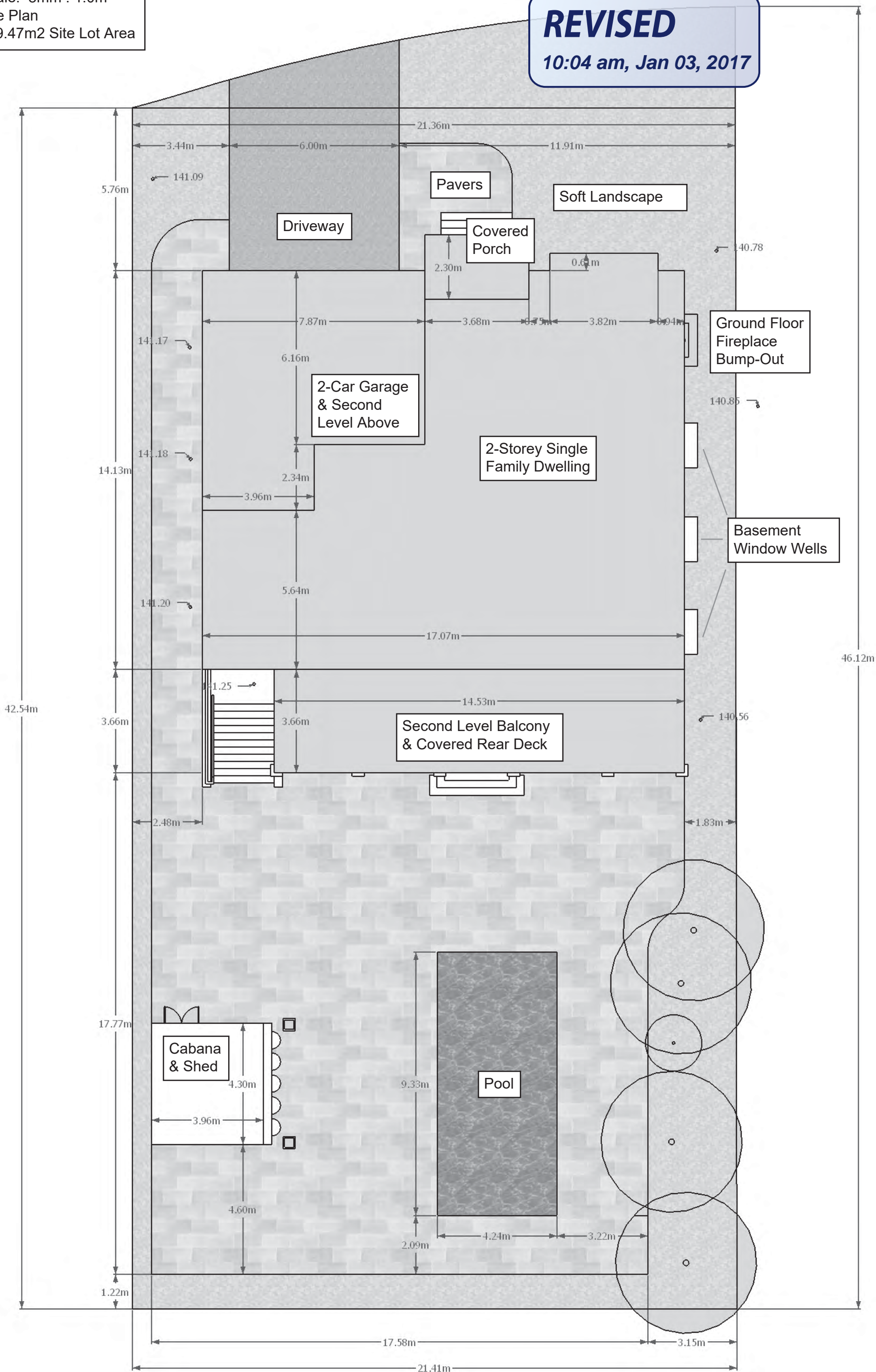
- 1) PLEASE NOTE LOCATION OF FENCES AND OVERHEAD WIRES
- 2) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY NONE
- 3) THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

Avanti
SURVEYING INC
 310 North Queen St., Unit 102, Toronto ON M9C-5K4
 Tel (416) 231-1174 - Fax (416) 621-3360
 E-MAIL info@avantisurveying.com

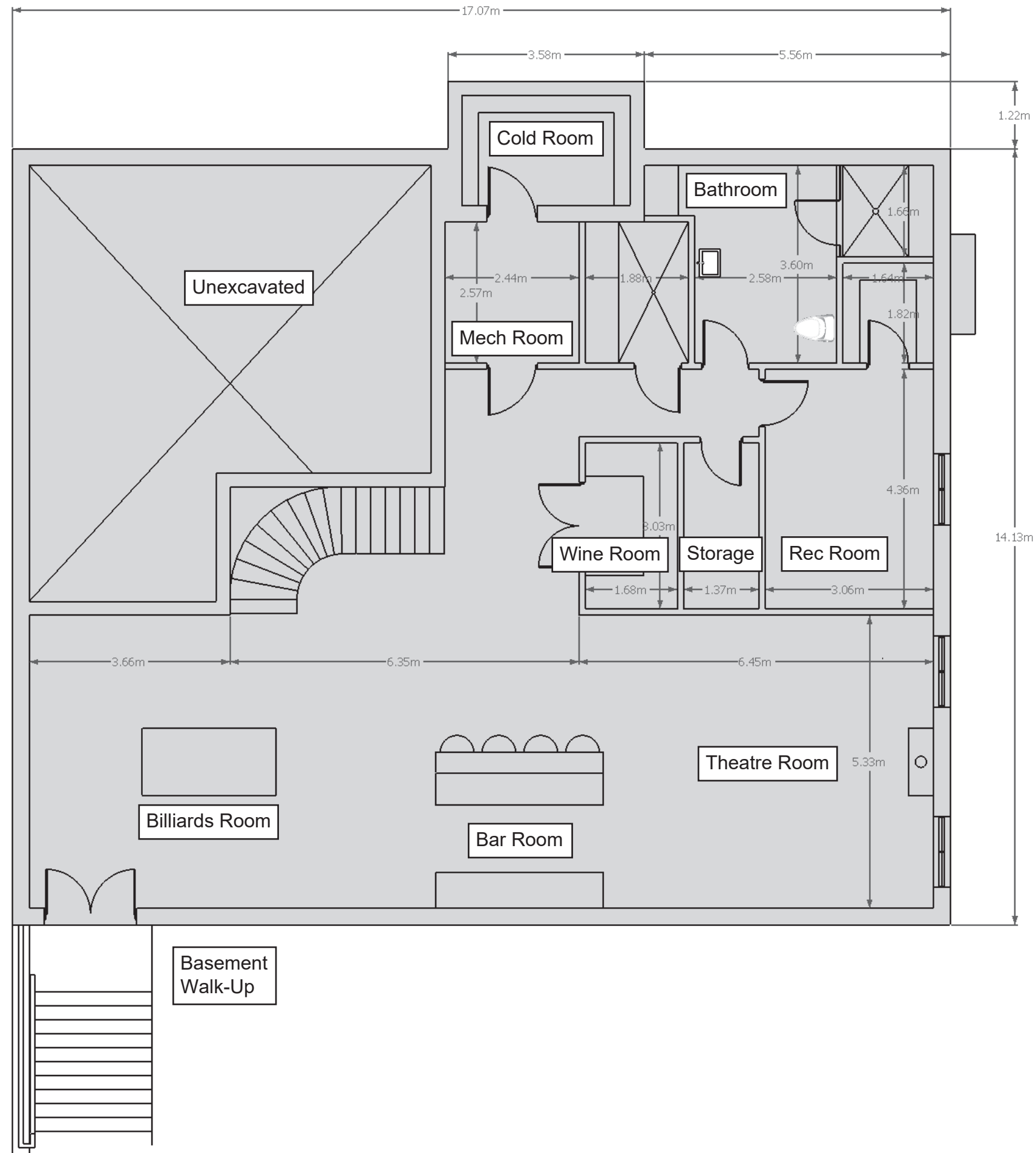
DRAWN PM CHECKED BC/CB PROJECT 16-178

42 Smithwood Drive
Scale: 8mm : 1.0m
Site Plan
959.47m² Site Lot Area

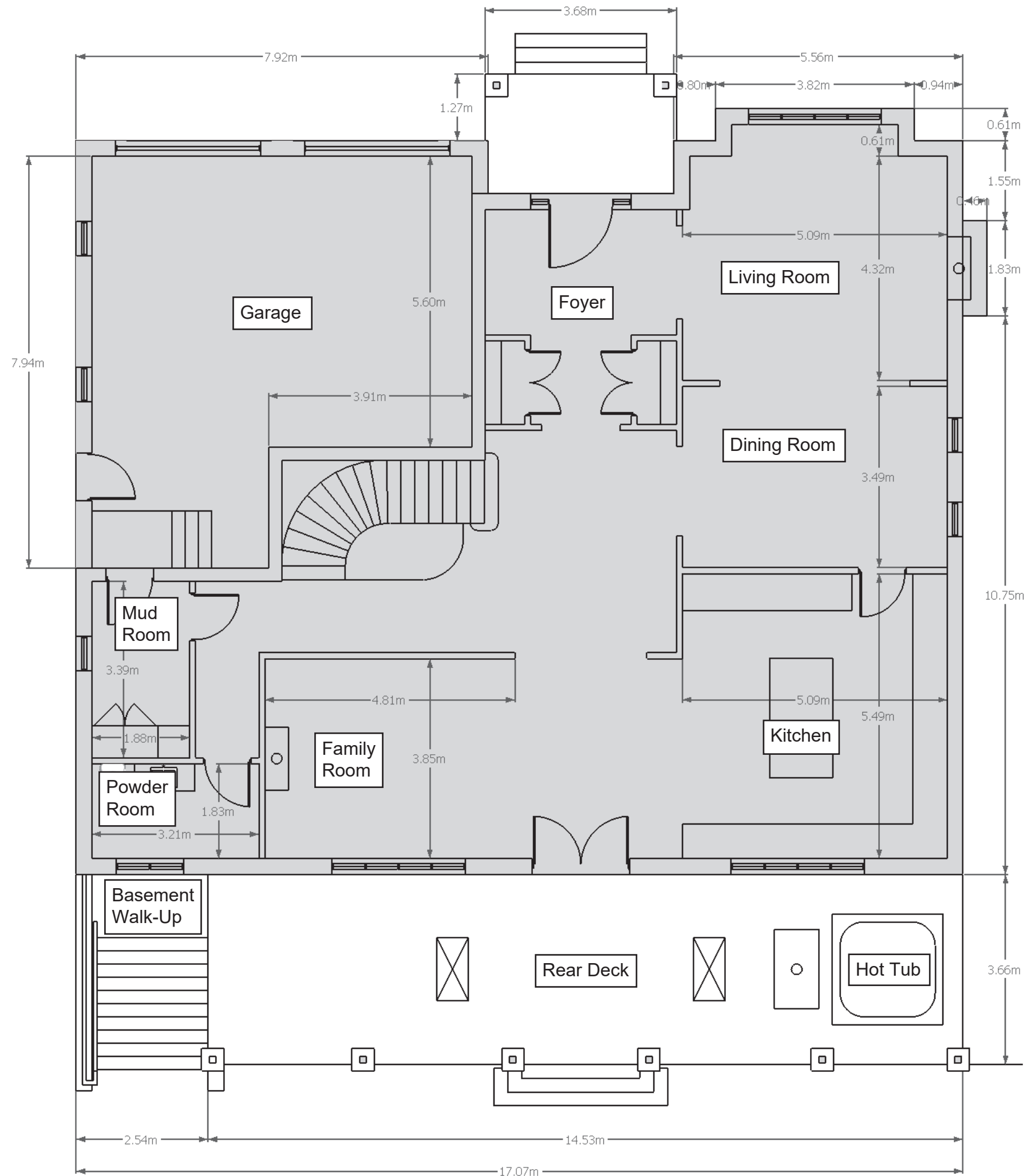
REVISED
10:04 am, Jan 03, 2017



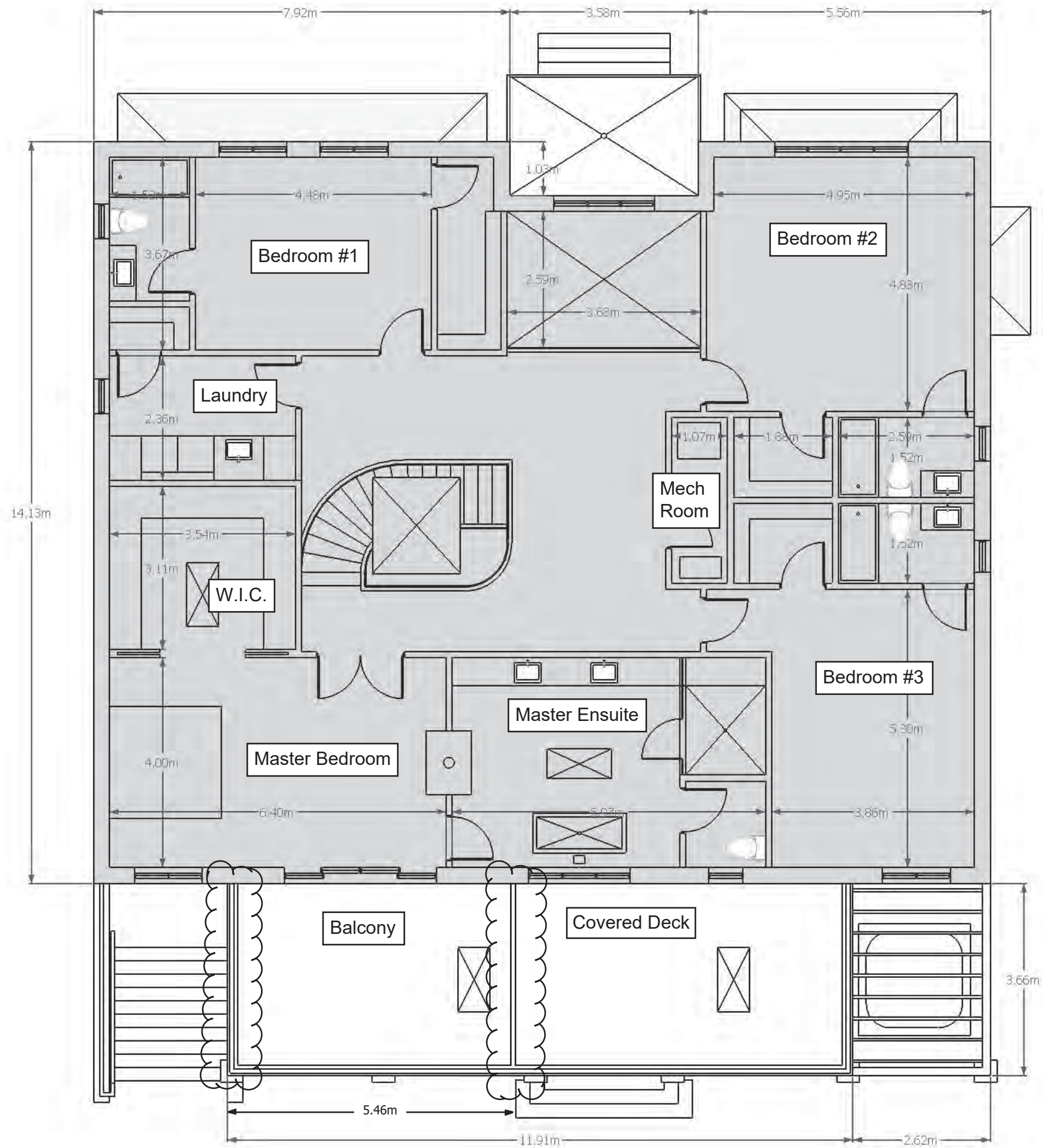
42 Smithwood Drive
Scale: 12mm : 1.0m
Basement Floor Plan



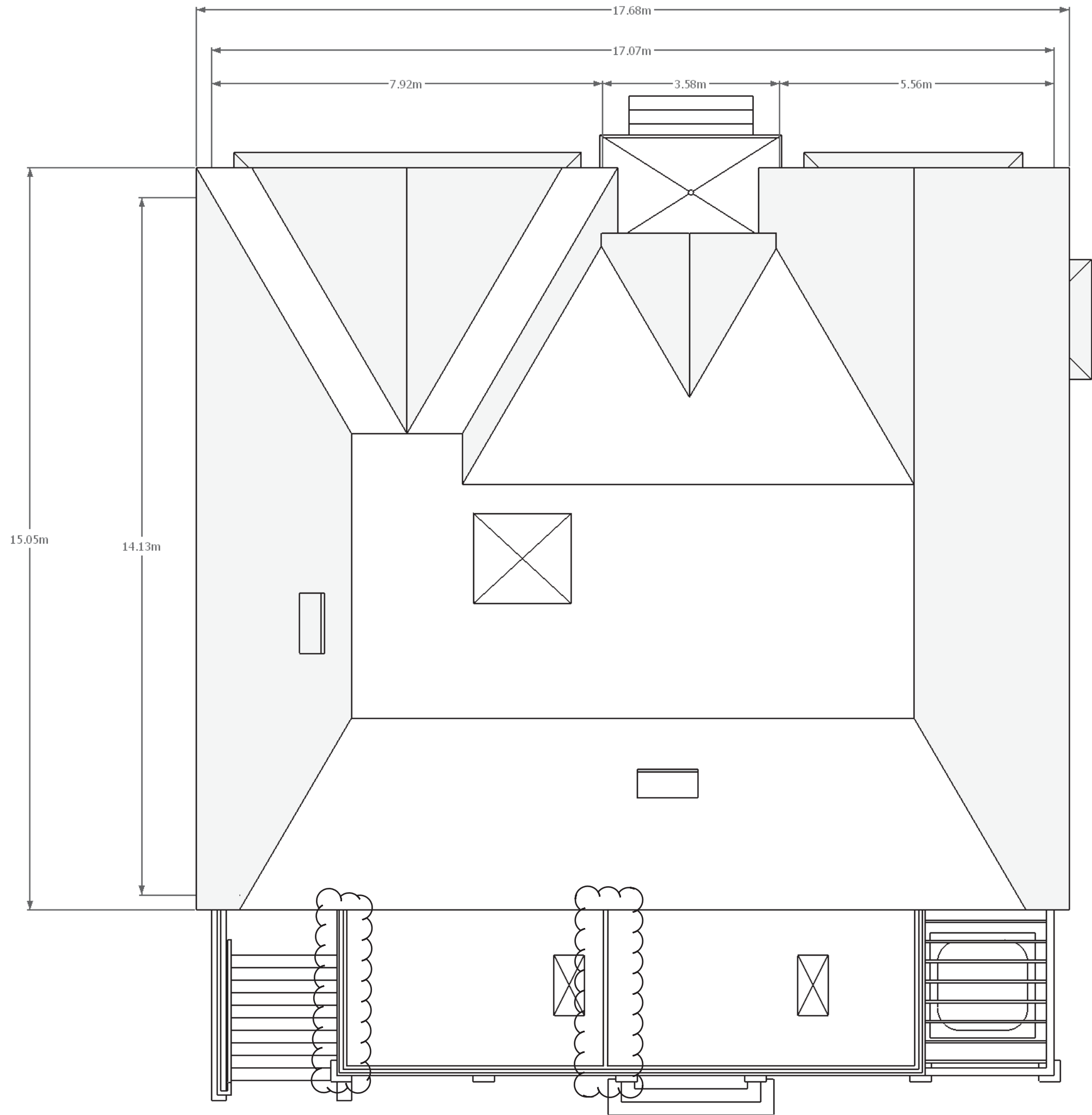
42 Smithwood Drive
Scale: 12mm : 1.0m
Ground Floor Plan



42 Smithwood Drive
Scale: 12mm : 1.0m
Second Floor Plan



42 Smithwood Drive
Scale: 12mm : 1.0m
Roof Plan



42 Smithwood Drive
Scale: 15mm : 1.0m
Front Elevation

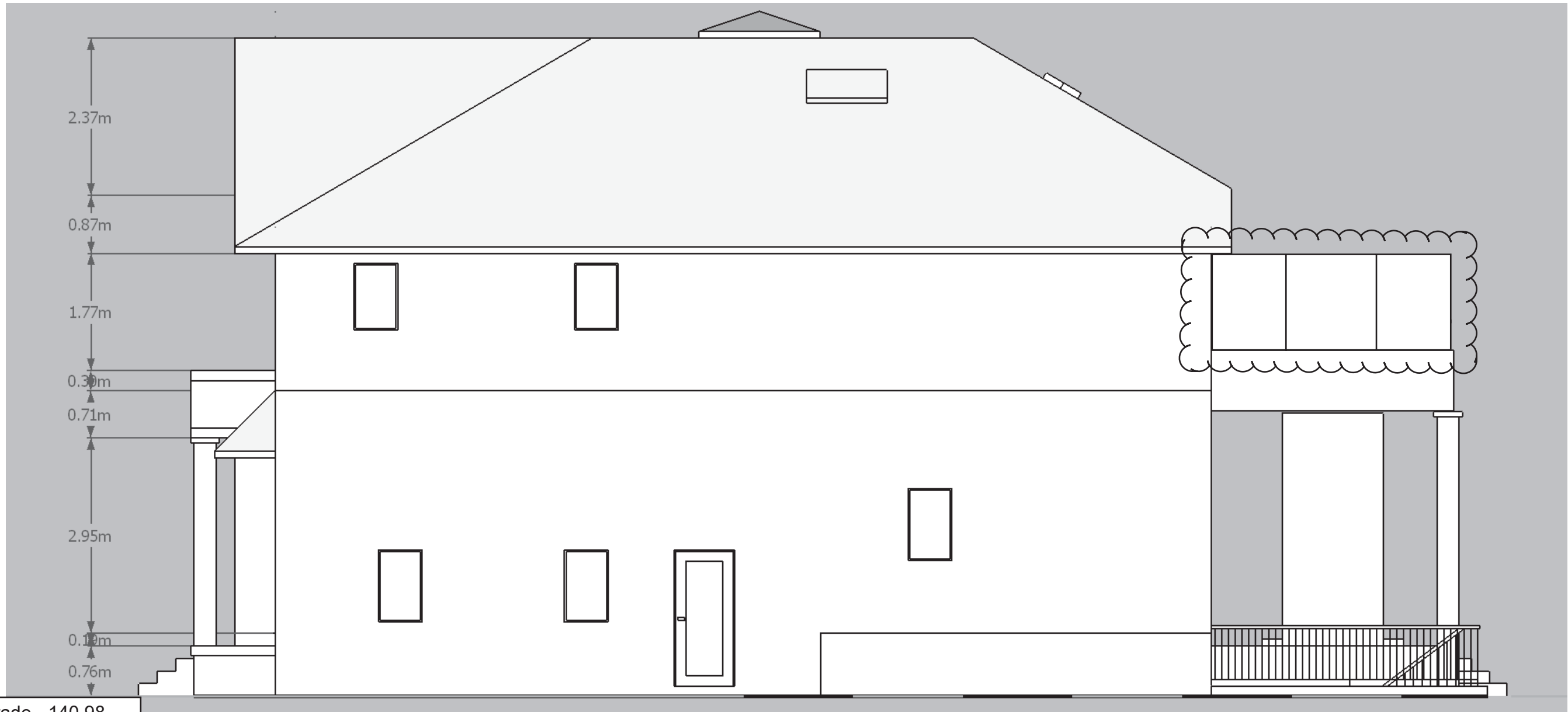


42 Smithwood Drive
Scale: 15mm : 1.0m
Rear Elevation



Established Grade - 140.98
Average Grade 140.98

42 Smithwood Drive
Scale: 15mm : 1.0m
Drive Elevation



Established Grade - 140.98
Average Grade 140.98

42 Smithwood Drive
Scale: 15mm : 1.0m
Side Elevation



Established Grade - 140.98
Average Grade 140.98

Thursday, January 12, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0882/16EYK	Zoning	RD & R2
Owner(s):	GREGORY DAE KEWLEY	Ward:	Etobicoke Centre (03)
Agent:	SAM SALIS	Heritage:	Not Applicable
Property Address:	11 RANDOM ST	Community:	
Legal Description:	PLAN 3274 LOT 58		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 & Section 320-59(C)**
The maximum permitted lot coverage is 33% of the lot area (161.76 m²).
Section 10.20.30.40.(1)(A), By-law 569-2013
The proposed dwelling will have a lot coverage of 34% of the lot area (168.43 m²).
Section 320-59(C)
The proposed dwelling will have a lot coverage of 35% of the lot area (173.18 m²).
- Section 900.3.10.(37)(C), By-law 569-2013 & Section 1.(b)(1), By-law 1992-25**
The maximum permitted floor space index is 0.5 times the lot area (245.09 m²).
The proposed dwelling will have a floor space index of 0.62 times the lot area (302.16 m²).
- Section 320-41.B.**
The minimum required side yard setback from a side lot line abutting a street is 3 m.
The proposed dwelling will be located 2.74 m from the north side lot line along Random Street.
- Section 10.20.40.70.(2)(B), By-law 569-2013 & Section 320-42.A**
The minimum required rear yard setback is 8.94 m.
The proposed dwelling will be located 7.86 m.
- Section 10.5.40.60.(1)(C), By-law 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade, may encroach into the required rear yard setback 2.5 m.
The proposed platform will encroach 2.68 m into the required rear yard setback.
Section 320-42(E)
The maximum projection for a deck into the required rear yard setback is 1.6 m.
The proposed deck will project 2.68 m into the required rear yard setback.

6. **Section 10.20.40.30.(1), By-law 569-2013 & Section 1.(d)(1), By-law 1992-25**
The maximum permitted dwelling depth is 19 m.
The proposed dwelling will have a depth of 19.27 m.
7. **Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The proposed dwelling will have a length of 19.27 m.
8. **Section 320-41.F**
A minimum of 6 m must be provided in front of a garage facing a flanking street.
The proposed garage facing the flanking street (Random Street) will be located 4.26 m from the north side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
2. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 2.1 Illustrate the existing unused pedestrian walkway that will be removed within the Random Street municipal boulevard as being restored with sod.
 - 2.2 Reduce the proposed pedestrian walkway to 2.0m in width within the Random Street municipal boulevard.
 - 2.3 Illustrate the proposed pedestrian walkway as being constructed according to City of Toronto Design Standard No. T-310.010-2.
 - 2.4 Illustrate the existing unused driveway and depressed curb that will be removed within the Random Street municipal boulevard as being restored with sod and poured raised concrete curb according to City of Toronto Design Standard No. T-600.11-1.

- 2.5 Insert a notation on the site plan stating that, "The applicant shall obtain the necessary authorizations and permits from the City's Right-of-Way Management Unit before excavating within or encroaching into the municipal road allowance. The applicant shall also submit a Municipal Road Damage Deposit (MRDD) prior to obtaining a Building Permit." The applicant is required to contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 regarding municipal road damage deposit requirements; and
- 2.6 The applicant shall submit a revised site plan (1:200 or 1:250 in metric scale) illustrating the above-noted Condition No.'s 1 through 5, to the satisfaction of Transportation Services Division and at no cost to the City, no later than September 1, 2018.

SIGNATURE PAGE

File Number:	A0882/16EYK	Zoning	RD & R2 (ZR)
Owner:	GREGORY DAE KEWLEY	Ward:	Etobicoke Centre (03)
Agent:	SAM SALIS	Heritage:	Not Applicable
Property Address:	11 RANDOM ST	Community:	
Legal Description:	PLAN 3274 LOT 58		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 12, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0883/16EYK	Zoning	RD & R1
Owner(s):	HEATHER DIANE VALENTINO DANIELE VALENTINO	Ward:	Etobicoke Centre (04)
Agent:	HEATHER DIANE VALENTINO	Heritage:	Not Applicable
Property Address:	553 THE KINGSWAY	Community:	
Legal Description:	PLAN 5530 LOT 6 WDNS		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling and a new covered front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.70.(3)(F), By-law 569-2013**
The minimum required side yard setback is 2.4 m.
The altered dwelling will be located 2.03 m from the west side lot line.
- Section 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above the second storey is 4 m².
The proposed second storey balcony will have an area of 16.42 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

A0883/16EYK

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or destroy privately owned trees.

2. The proposal shall be constructed substantially in accordance with the revised plans submitted and held on file by the Committee of Adjustment, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0883/16EYK	Zoning	RD & R1 (ZR)
Owner:	HEATHER DIANE VALENTINO	Ward:	Etobicoke Centre (04)
Agent:	DANIELE VALENTINO HEATHER DIANE VALENTINO	Heritage:	Not Applicable
Property Address:	553 THE KINGSWAY	Community:	
Legal Description:	PLAN 5530 LOT 6 WDNS		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

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Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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905.505.0781
class5design@gmail.com

PRIVATE RESIDENCE

553 The Kingsway,
Etobicoke, ON.

PROJECT TITLE:
Proposed Renovation

ISSUED FOR:
REVIEW

DESIGNED BY:
J.B.

PROJECT ID:
C5D_153

PLOT DATE:
2016-11-10

PAGE NUMBER:
A-101

DRAWING INDEX

PAGE	DRAWING
A-101	COVER PAGE
A-102	SITE STATISTICS
A-103	SITE PLAN
A-104	FOUNDATION PLAN - EXISTING
A-105	FOUNDATION PLAN - PROPOSED
A-106	1st FLOOR PLAN - EXISTING
A-107	1st FLOOR PLAN - PROPOSED
A-108	2nd FLOOR PLAN - PROPOSED
A-109	EXISTING ELEV - FRONT
A-110	EXISTING ELEV - REAR
A-111	EXISTING ELEV - LEFT
A-112	EXISTING ELEV - RIGHT
A-113	PROPOSED - FRONT ELEVATION
A-114	PROPOSED - REAR ELEVATION
A-115	PROPOSED - LEFT ELEVATION
A-116	PROPOSED - RIGHT ELEVATION

AREA MATRIX:

Unfinished Basement:	444 sq.ft. (41.25 sq.m.)
Finished Basement:	974 sq.ft. (90.49 sq.m.)
Main Floor:	1,472 sq.ft. (136.75 sq.m.)
Second Floor:	1,650 sq.ft. (153.29 sq.m.)
Garage:	402 sq.ft. (37.35 sq.m.)
Covered Entry:	92 sq.ft. (8.55 sq.m.)
Balcony:	182 sq.ft. (16.91 sq.m.)

**PLAN OF SURVEY OF
LOT 6 - REGISTERED PLAN 5530**

**COUNTY OF YORK
TOWNSHIP OF ETOBICOKE**

SURVEY INFORMATION DERIVED FROM A SURVEY BY
BROWNE, CAVELL AND ASSOCIATES
ONTARIO LAND SURVEYORS
279 HUMBERCREST BLVD. TORONTO, ON.
DATED: AUGUST 18th, 1999

SITE ANALYSIS

LOT AREA:	10,305 SQ.FT.	(957.37 SQ.M.)
EXISTING HOUSE (FOOTPRINT):	2,068 SQ.FT.	(192.12 SQ.M.)
PROPOSED HOUSE (FOOTPRINT):	2,061 SQ.FT.	(191.47 SQ.M.)
PROPOSED COVERED PORCH:	96 SQ.FT.	(8.92 SQ.M.)
TOTAL EXISTING LOT COVERAGE	2,068 SQ.FT. (20.07%)	(192.12 SQ.M.)
TOTAL PROPOSED LOT COVERAGE:	2,157 SQ.FT. (20.93%)	(200.39 SQ.M.)
EXISTING G.F.A.:	1,474 SQ.FT.	(136.94 SQ.M.)
PROPOSED G.F.A.:	3,100 SQ.FT.	(287.99 SQ.M.)

REQUIREMENTS FOR SINGLE
FAMILY DWELLING
CITY OF TORONTO
"RD" ZONING REQUIREMENTS
(f24.0: a555: d0.45):

	BY-LAW	EXISTING	PROPOSED
LOT FRONTAGE	24.0m	20.49m	20.49m
FRONT YARD SETBACK	6.0m	10.87m	10.87m
SIDE YARD SETBACK	2.4m	2.03m	2.03m
REAR YARD SETBACK	10.43m	15.34m	15.34m
MAXIMUM HEIGHT	9.5m	5.38m	9.35m
MAXIMUM LOT COVERAGE	33%	20.07%	20.93%

UNPROTECTED OPENINGS

OBC Table 9.10.14.4

ELEVATION	LIMITING DIST.	EXPOSED BLDG. FACE	ALLOWABLE	PROPOSED
SOUTH (FRONT)	10.87m	FACE 1 = 51.10 sq.m. (550 sq.ft.)	100%	24.36%
	19.66m	FACE 2 = 27.96 sq.m. (301 sq.ft.)	100%	30.56%
	19.30m	FACE 3 = 34.84 sq.m. (375 sq.ft.)	100%	21.33%
NORTH (REAR)	15.44m	FACE 1 = 96.34 sq.m. (1037 sq.ft.)	100%	24.59%
WEST (LEFT)	2.03m	FACE 1 = 94.85 sq.m. (1021 sq.ft.)	9%	4.11%
EAST (RIGHT)	13.18m	FACE 1 = 51.75 sq.m. (557 sq.ft.)	100%	15.08%
	2.54m	FACE 2 = 47.66 sq.m. (513 sq.ft.)	14%	4.87%



905.505.0781
class5design@gmail.com

PRIVATE RESIDENCE

553 The Kingsway,
Etobicoke, ON.

PROJECT TITLE:

Proposed Renovation

ISSUED FOR:

REVIEW

DESIGNED BY:

J.B.

PROJECT ID:

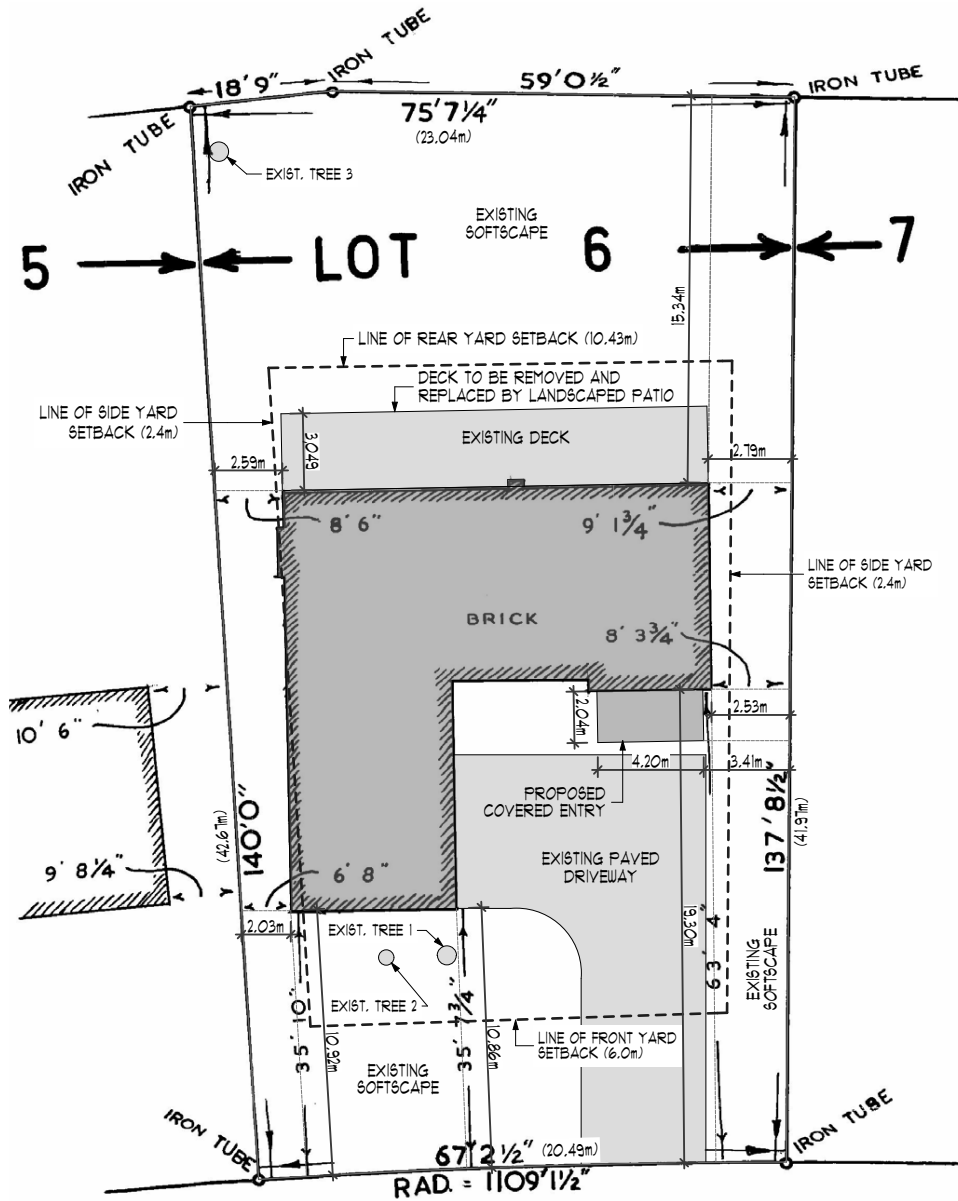
C5D_153

PLOT DATE:

2016-11-10

PAGE NUMBER:

A-102



THE KINGSWAY

SITE PLAN

SCALE: 1:300



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class5design@gmail.com

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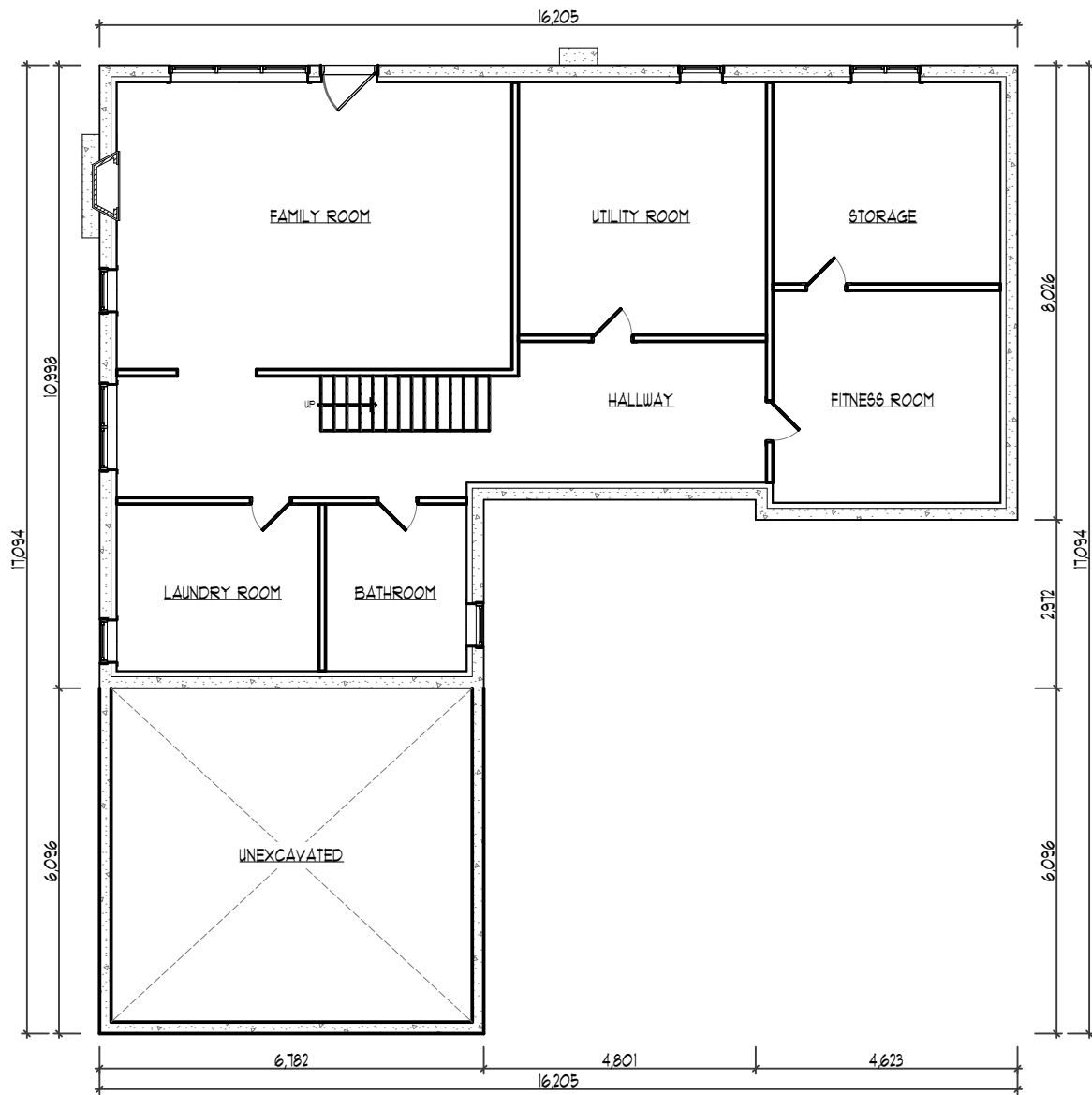
PLOT DATE:

2016-11-10

PAGE NUMBER:

A-103

PRIVATE TREES:
SPECIMEN: BLACK OAK
HEALTH: GOOD
SIZE (DIA.):
TREE 1 = 1.07m
TREE 2 = 0.86m
TREE 3 = 0.87m



FOUNDATION PLAN (EXISTING)

SCALE: 1:125



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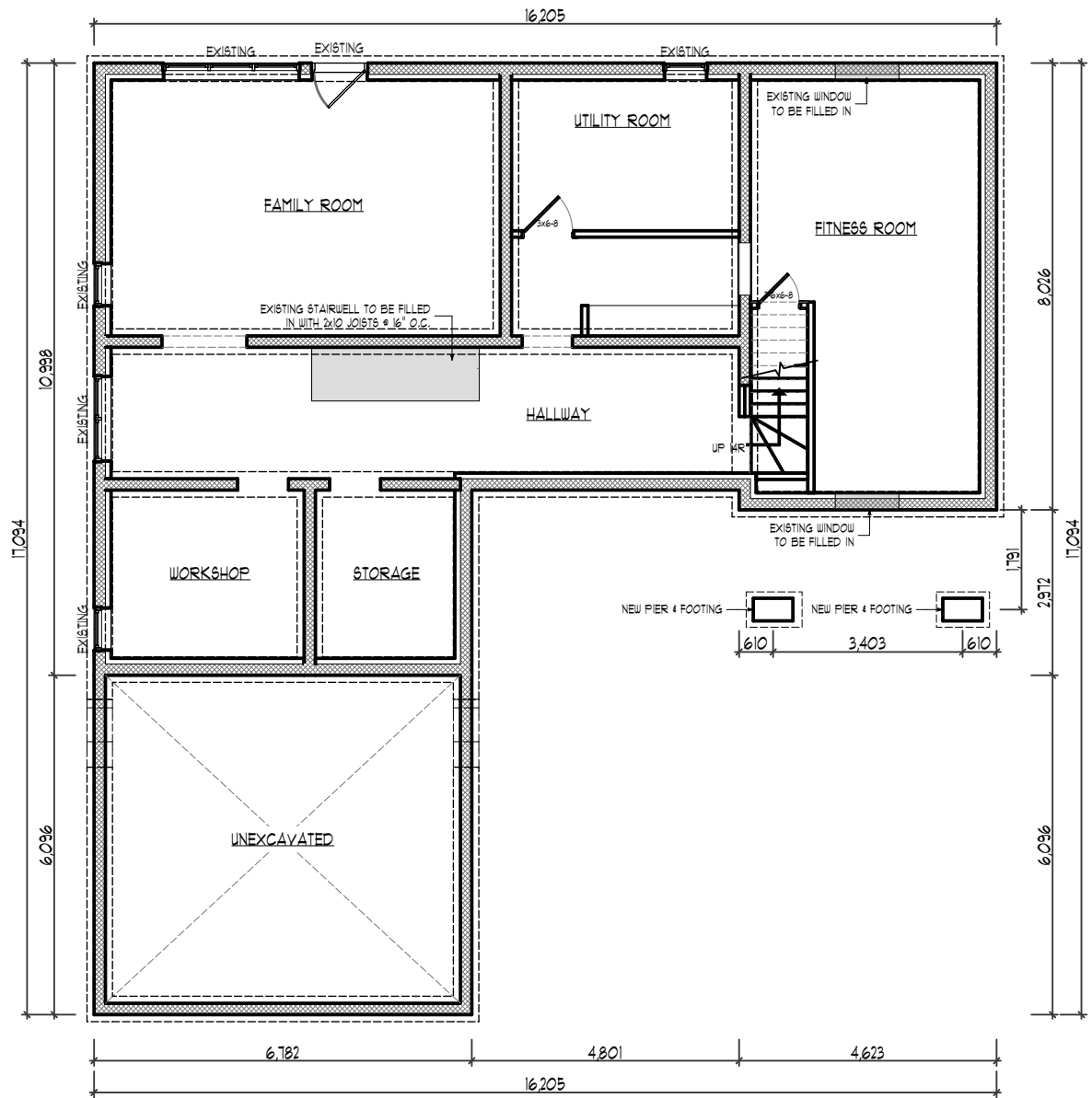
ISSUED FOR:
REVIEW

DESIGNED BY:
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PROJECT ID:
C5D_153

PLOT DATE:
2016-11-10

PAGE NUMBER:
A-104



FOUNDATION PLAN (PROPOSED)

SCALE: 1:125



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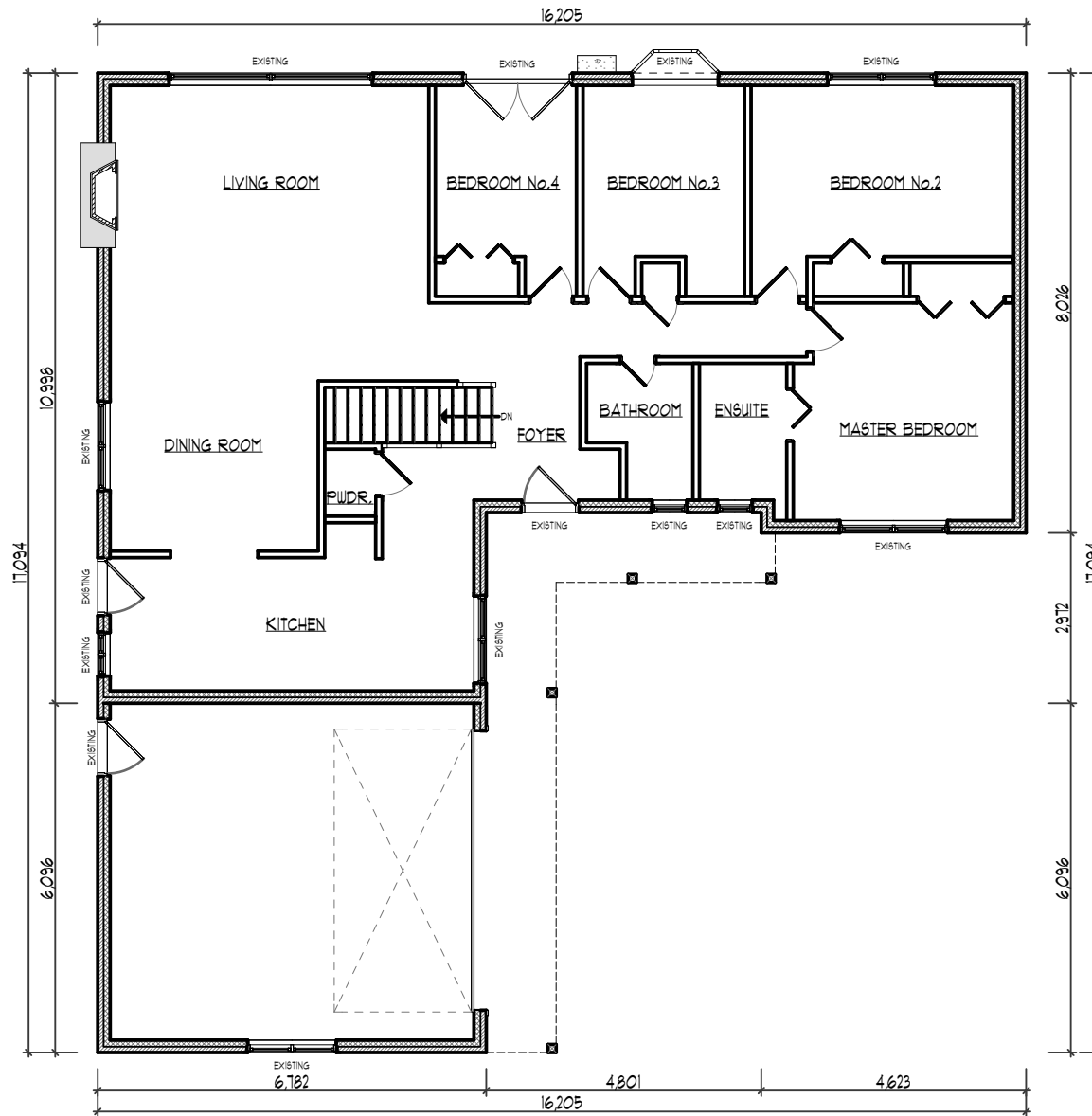
C5D_153

PLOT DATE:

2016-11-10

PAGE NUMBER:

A-105



1st FLOOR PLAN (EXISTING)

SCALE: 1:125



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class5design@gmail.com

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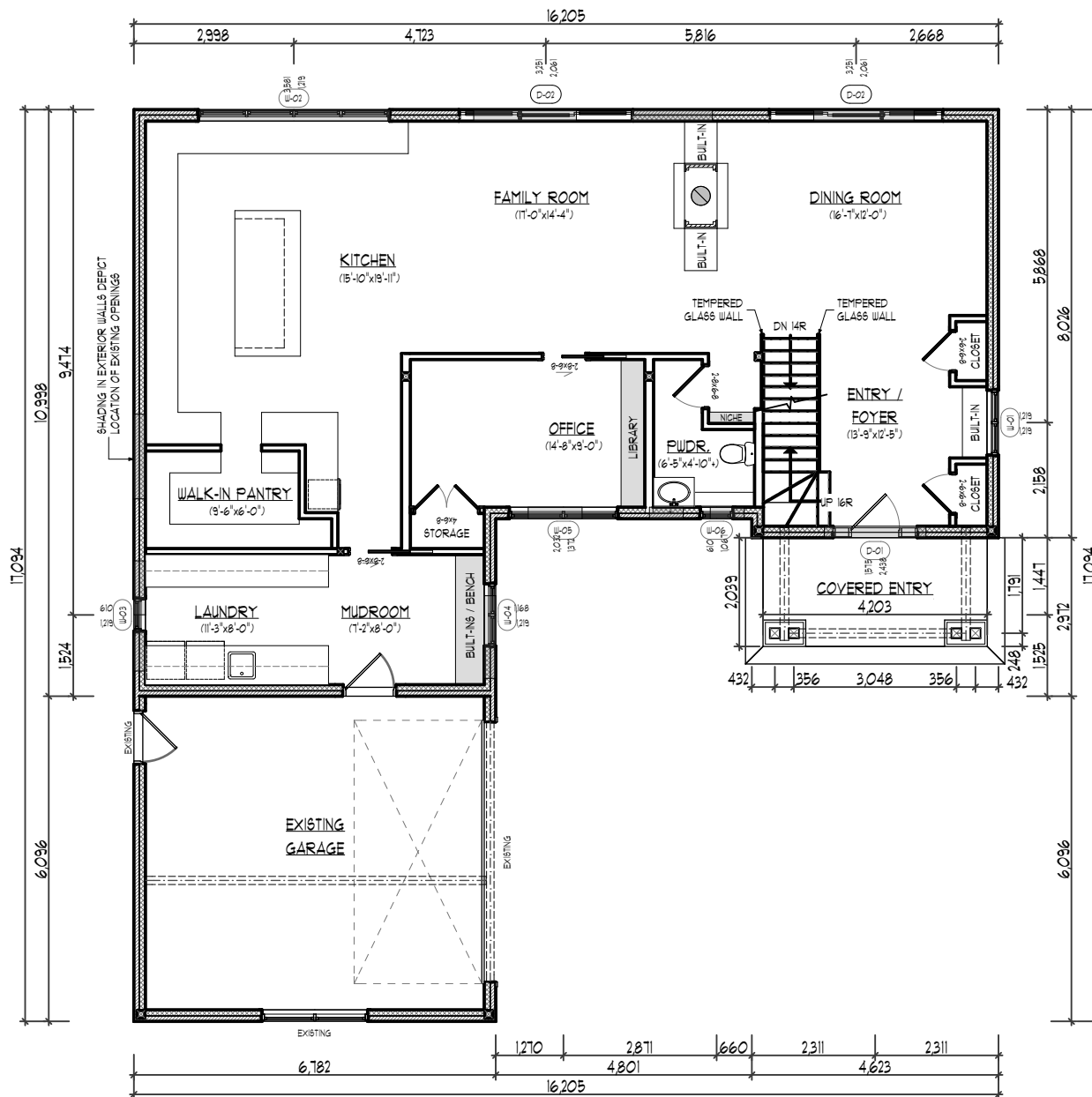
C5D_153

PLOT DATE:

2016-11-10

PAGE NUMBER:

A-106



1st FLOOR PLAN (PROPOSED)

SCALE: 1:125



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J.B.

PROJECT ID:

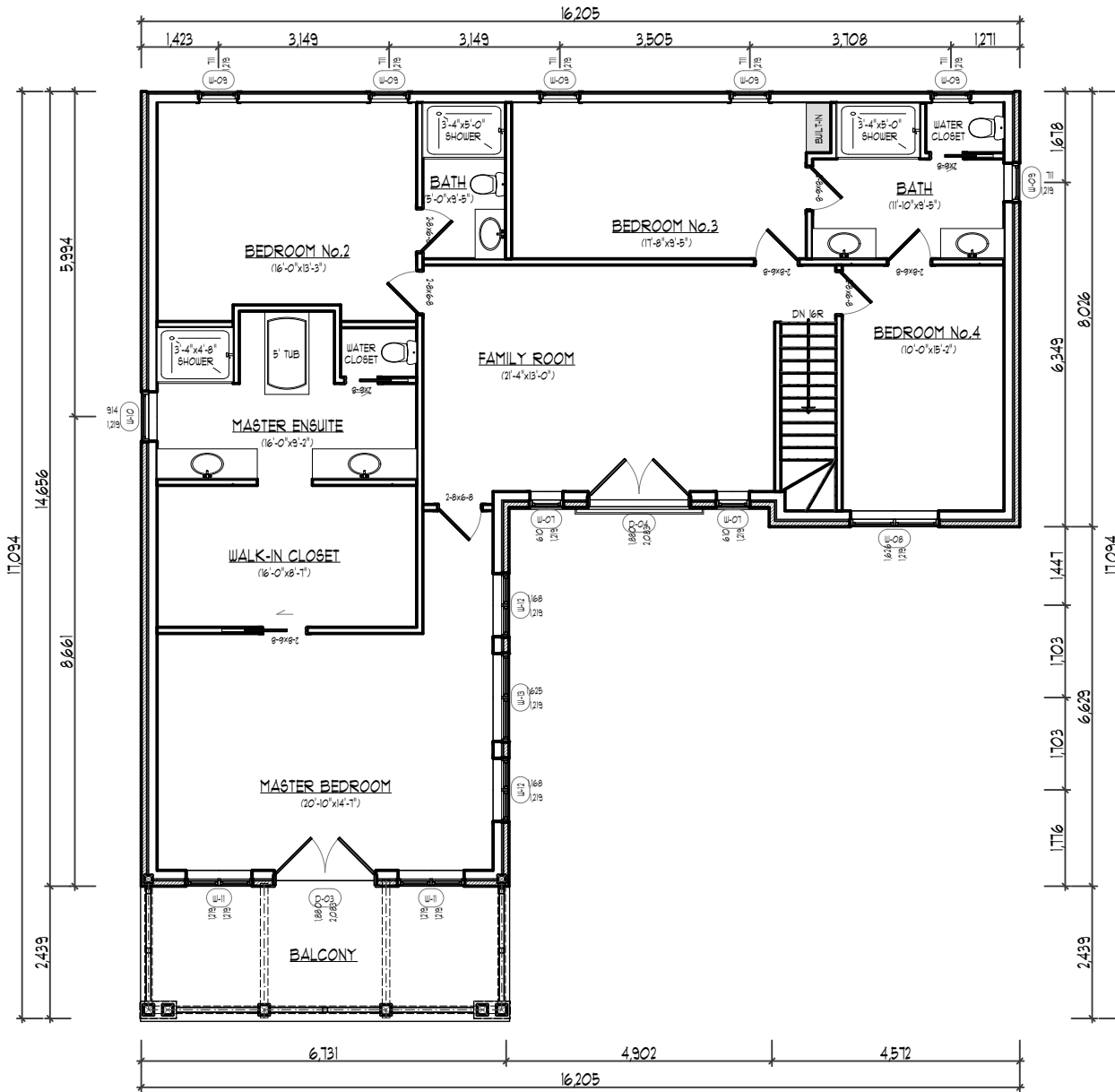
C5D_153

PLOT DATE:

2016-11-10

PAGE NUMBER:

A-101



2nd FLOOR PLAN (PROPOSED)

SCALE: 1:125



905.505.0781
class5design@gmail.com

PRIVATE RESIDENCE

553 The Kingsway,
Etobicoke, ON.

PROJECT TITLE:

Proposed Renovation

ISSUED FOR:

REVIEW

DESIGNED BY:

J.B.

PROJECT ID:

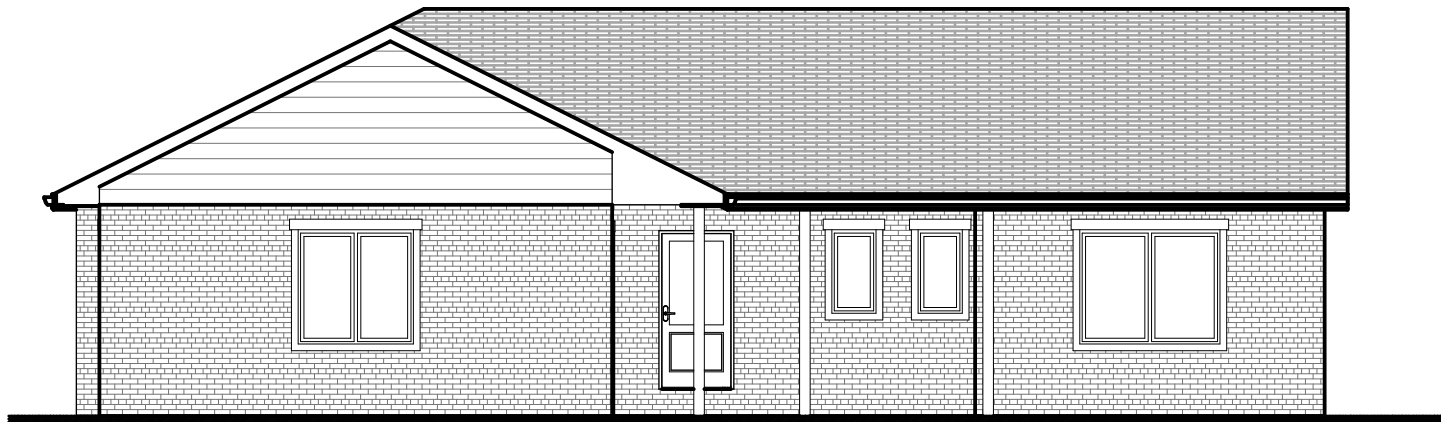
C5D_153

PLOT DATE:

2016-11-10

PAGE NUMBER:

A-108



FRONT ELEVATION (EXISTING)

SCALE: 1:100



905.505.0781
class5design@gmail.com

PRIVATE RESIDENCE

553 The Kingsway,
Etobicoke, ON.

PROJECT TITLE:

Proposed Renovation

ISSUED FOR:

REVIEW

DESIGNED BY:

J.B.

PROJECT ID:

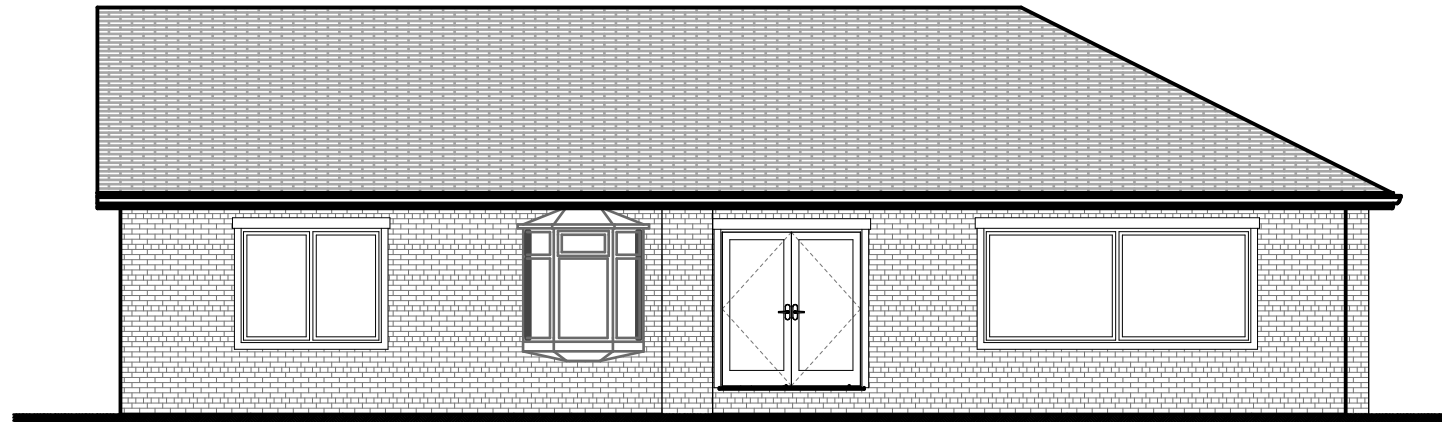
C5D_153

PLOT DATE:

2016-11-10

PAGE NUMBER:

A-109



REAR ELEVATION (EXISTING)

SCALE: 1:100

CLASS
5
DESIGN

905.505.0781
class5design@gmail.com

PRIVATE RESIDENCE

553 The Kingsway,
Etobicoke, ON.

PROJECT TITLE:

Proposed Renovation

ISSUED FOR:

REVIEW

DESIGNED BY:

J.B.

PROJECT ID:

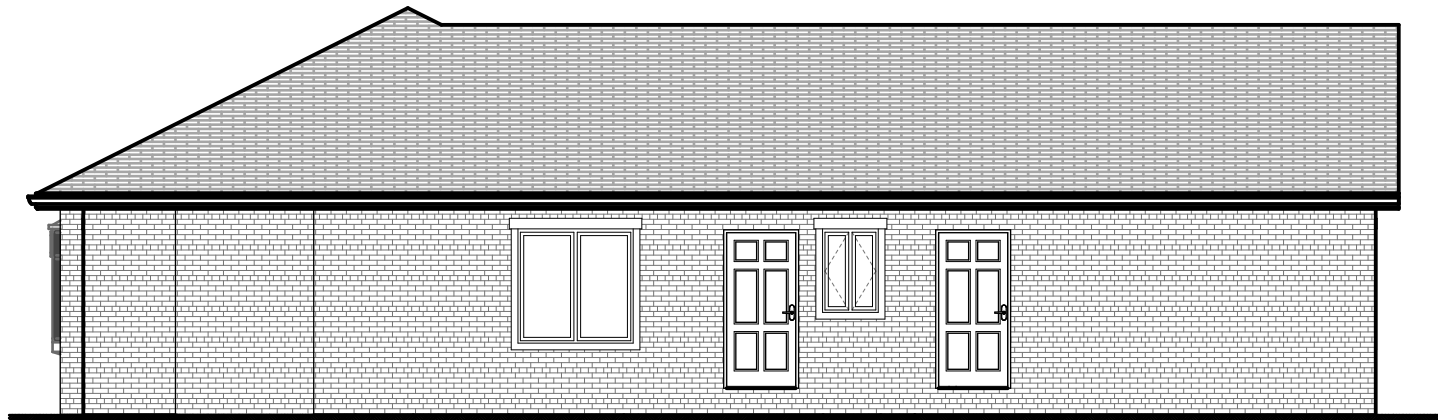
C5D_153

PLOT DATE:

2016-11-10

PAGE NUMBER:

A-110



LEFT ELEVATION (EXISTING)

SCALE: 1:100

CLASS
5
DESIGN

905.505.0781
class5design@gmail.com

PRIVATE RESIDENCE

553 The Kingsway,
Etobicoke, ON.

PROJECT TITLE:

Proposed Renovation

ISSUED FOR:

REVIEW

DESIGNED BY:

J.B.

PROJECT ID:

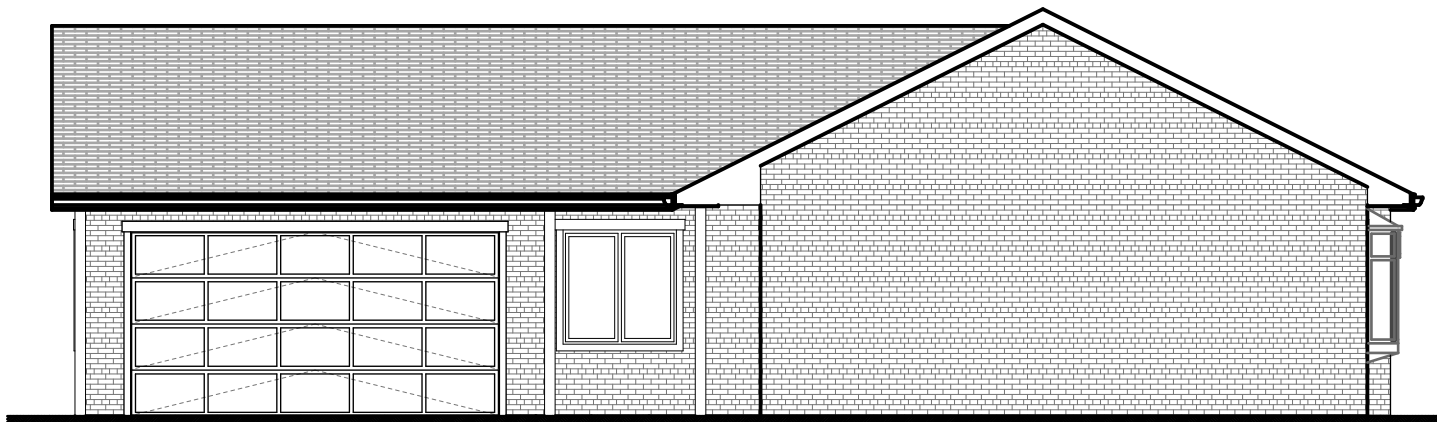
C5D_153

PLOT DATE:

2016-11-10

PAGE NUMBER:

A-111



RIGHT ELEVATION (EXISTING)

SCALE: 1:100



905.505.0781
class5design@gmail.com

PRIVATE RESIDENCE

553 The Kingsway,
Etobicoke, ON.

PROJECT TITLE:

Proposed Renovation

ISSUED FOR:

REVIEW

DESIGNED BY:

J.B.

PROJECT ID:

C5D_153

PLOT DATE:

2016-11-10

PAGE NUMBER:

A-112



FRONT ELEVATION (PROPOSED)

SCALE: 1:100



905.505.0781
class5design@gmail.com

PRIVATE RESIDENCE

553 The Kingsway,
Etobicoke, ON.

PROJECT TITLE:

Proposed Renovation

ISSUED FOR:

REVIEW

DESIGNED BY:

J.B.

PROJECT ID:

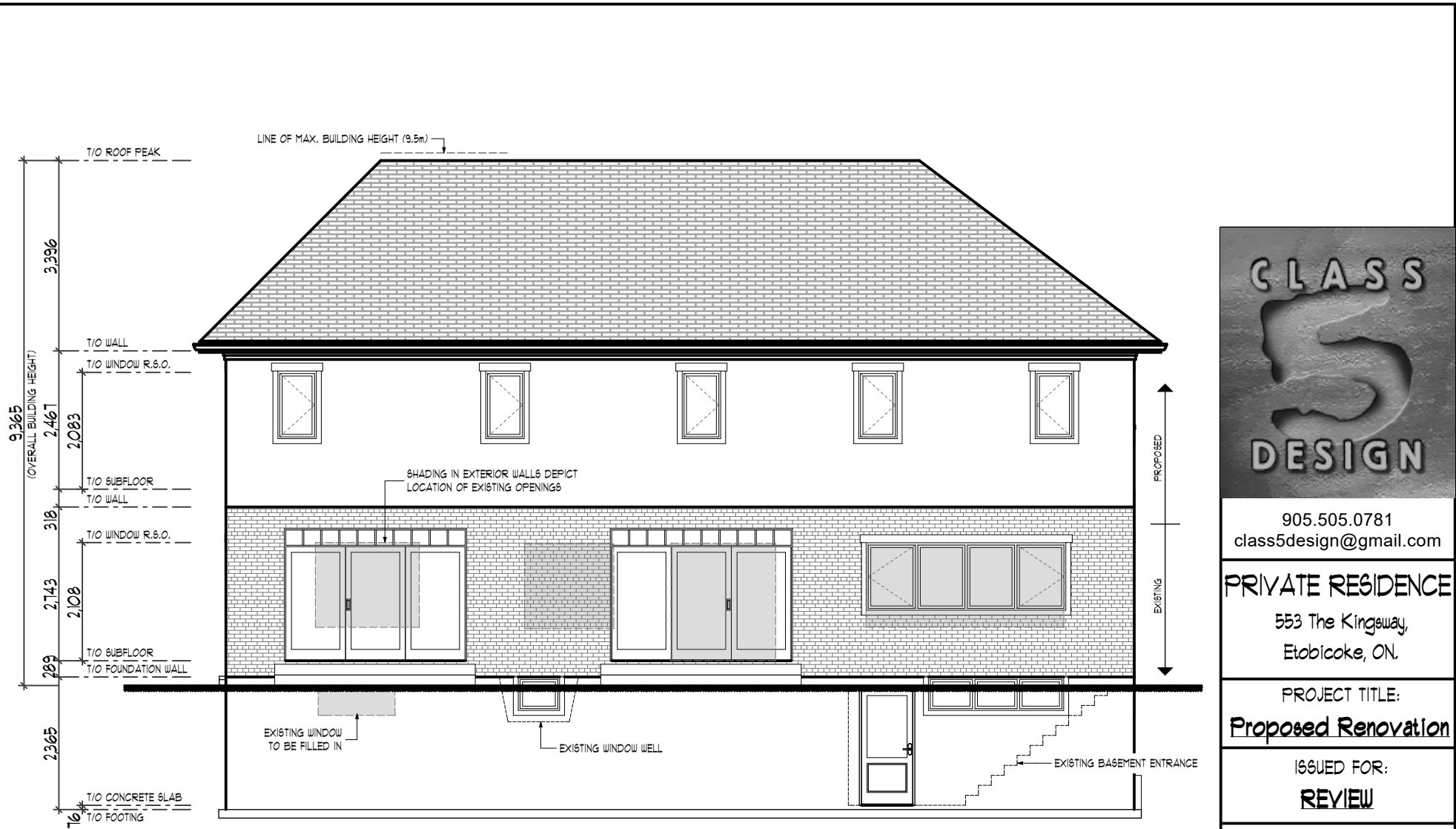
C5D_153

PLOT DATE:

2016-11-10

PAGE NUMBER:

A-113



REAR ELEVATION (PROPOSED)

SCALE: 1:100



905.505.0781
class5design@gmail.com

PRIVATE RESIDENCE

553 The Kingsway,
Etobicoke, ON.

PROJECT TITLE:
Proposed Renovation

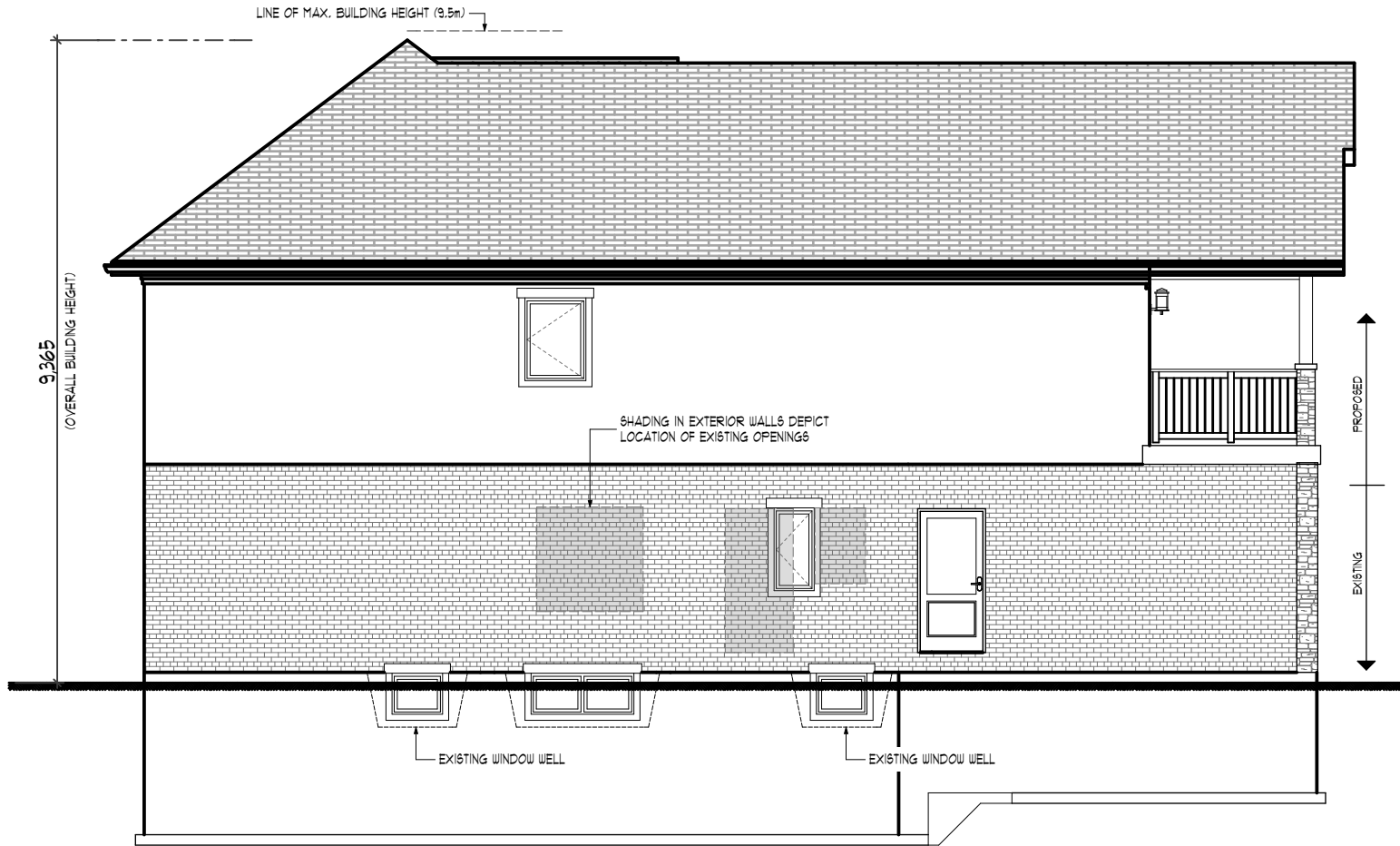
ISSUED FOR:
REVIEW

DESIGNED BY:
J.B.

PROJECT ID:
C5D_153

PLOT DATE:
2016-11-10

PAGE NUMBER:
A-114



LEFT ELEVATION (PROPOSED)

SCALE: 1:100



905.505.0781
class5design@gmail.com

PRIVATE RESIDENCE

553 The Kingsway,
Etobicoke, ON.

PROJECT TITLE:

Proposed Renovation

ISSUED FOR:

REVIEW

DESIGNED BY:

J.B.

PROJECT ID:

C5D_153

PLOT DATE:

2016-11-10

PAGE NUMBER:

A-115



RIGHT ELEVATION (PROPOSED)

SCALE: 1:100



905.505.0781
class5design@gmail.com

PRIVATE RESIDENCE

553 The Kingsway,
Etobicoke, ON.

PROJECT TITLE:

Proposed Renovation

ISSUED FOR:

REVIEW

DESIGNED BY:

J.B.

PROJECT ID:

C5D_153

PLOT DATE:

2016-11-10

PAGE NUMBER:

A-116

Thursday, January 12, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0884/16EYK	Zoning	RD & R2
Owner(s):	ROBERT JONES	Ward:	Etobicoke-Lakeshore (05)
Agent:	SEROUJ KALOUSTIAN	Heritage:	Not Applicable
Property Address:	39 THE KINGSWAY	Community:	
Legal Description:	PLAN 1686 LOT 197 N PT LOT 196		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage. A previous Committee of Adjustment Decision (A57/16EYK and A347/16EYK) approved variances related to lot coverage, gross floor area, soffit height, height, wall height and front yard setback.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 5.10.40.70.(6), By-law 569-2013

A building or structure shall not be located within 10 m of a shoreline hazard limit or a stable top-of-bank identified by the Toronto and Region Conservation Authority.
The proposed dwelling will be located 1.4 m from that stable top-of-bank.

2. Section 320-44.A.(1)(d)

The maximum permitted width for a driveway is 6 m.
The proposed driveway will have a width of 6.71 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or destroy privately owned trees.
2. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

SIGNATURE PAGE

File Number:	A0884/16EYK	Zoning	RD & R2
Owner:	ROBERT JONES	Ward:	Etobicoke-Lakeshore (05)
Agent:	SEROUJ KALOUSTIAN	Heritage:	Not Applicable
Property Address:	39 THE KINGSWAY	Community:	
Legal Description:	PLAN 1686 LOT 197 N PT LOT 196		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0887/16EYK	Zoning:	RM & R3
Owner(s):	MIOARA CARMEN BALAN VASILE BALAN	Ward:	Etobicoke-Lakeshore (06)
Agent:	DANTES PARASCHIV	Heritage:	Not Applicable
Property Address:	450 A VALERMO DR	Community:	
Legal Description:	PLAN 3360 LOT 31		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage that is currently under construction. A previous Committee of Adjustment application (A398/15EYK) approved variances relating to lot area, lot frontage, lot coverage, floor space index, front yard setback, side yard setback, rear yard setback, building length, dwelling depth, building height and projection from the main rear wall.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 900.6.(18)(A)(B), By-law 569-2013 and Section 1.(a), By-law 1979-67 and By-law 1981-272

The maximum permitted gross floor area is 0.4 times the area of the lot (99.4 m²).

A previous Committee of Adjustment application (A398/15EYK) approved a floor space index of 0.72 times the area of the lot (178 m²).

The new dwelling that is currently under construction will have a floor space index of 0.75 times the area of the lot (186.26 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.

SIGNATURE PAGE

File Number:	A0887/16EYK	Zoning	RM & R3
Owner:	MIOARA CARMEN BALAN VASILE BALAN	Ward:	Etobicoke-Lakeshore (06)
Agent:	DANTES PARASCHIV	Heritage:	Not Applicable
Property Address:	450 A VALERMO DR	Community:	
Legal Description:	PLAN 3360 LOT 31		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 12, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0888/16EYK	Zoning	RM & R3
Owner(s):	DANTES PARASCHIV	Ward:	Etobicoke-Lakeshore (06)
Agent:	DANTES PARASCHIV	Heritage:	Not Applicable
Property Address:	450 B VALERMO DR	Community:	
Legal Description:	PLAN 3360 LOT 31		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage that is currently under construction. A previous Committee of Adjustment application (A397/15EYK) approved variances relating to lot area, lot frontage, lot coverage, floor space index, front yard setback, side yard setback, rear yard setback, building length, dwelling depth, building height and projection from the main rear wall.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 900.6.(18)(A)(B), By-law 569-2013 and Section 1.(a), By-law 1979-67 and By-law 1981-272

The maximum permitted gross floor area is 0.4 times the area of the lot (99.4 m²).

A previous Committee of Adjustment application (A397/15EYK) approved a floor space index of 0.72 times the area of the lot (178 m²).

The new dwelling that is currently under construction will have a floor space index of 0.75 times the area of the lot (186.26 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.

SIGNATURE PAGE

File Number:	A0888/16EYK	Zoning	RM & R3
Owner:	DANTES PARASCHIV	Ward:	Etobicoke-Lakeshore (06)
Agent:	DANTES PARASCHIV	Heritage:	Not Applicable
Property Address:	450 B VALERMO DR	Community:	
Legal Description:	PLAN 3360 LOT 31		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

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Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0889/16EYK	Zoning:	RD & R1
Owner(s):	BRENDAN DOLAN ANSHU KHANNA	Ward:	Etobicoke-Lakeshore (06)
Agent:	FRESHWATER PREFAB	Heritage:	Not Applicable
Property Address:	130 LAKE SHORE DR	Community:	
Legal Description:	PLAN 1592 PT LOTS 153 & 154		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage and two rooftop platforms.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 350-31(F)(1)**
The maximum permitted gross floor area is 0.4 times the lot area (121.9 m²).
The proposed dwelling will have a gross floor area of 0.57 times the lot area (172.6 m²).
- Section 10.20.40.10.(4)(A), By-law 569-2013**
The maximum permitted height for a flat roof is 7.2 m.
The proposed dwelling will have a flat roof height of 9.09 m.
- Section 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above the second storey is 4 m².
The proposed lower and upper rooftop platforms will have areas of 20.9 m² and 44.4 m². The platform at or above the second storey will have an area of 15.4 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or destroy privately owned trees.
2. The proposal shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment office. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0889/16EYK	Zoning	RD & R1
Owner:	BRENDAN DOLAN ANSHU KHANNA	Ward:	Etobicoke-Lakeshore (06)
Agent:	FRESHWATER PREFAB	Heritage:	Not Applicable
Property Address:	130 LAKE SHORE DR	Community:	
Legal Description:	PLAN 1592 PT LOTS 153 & 154		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

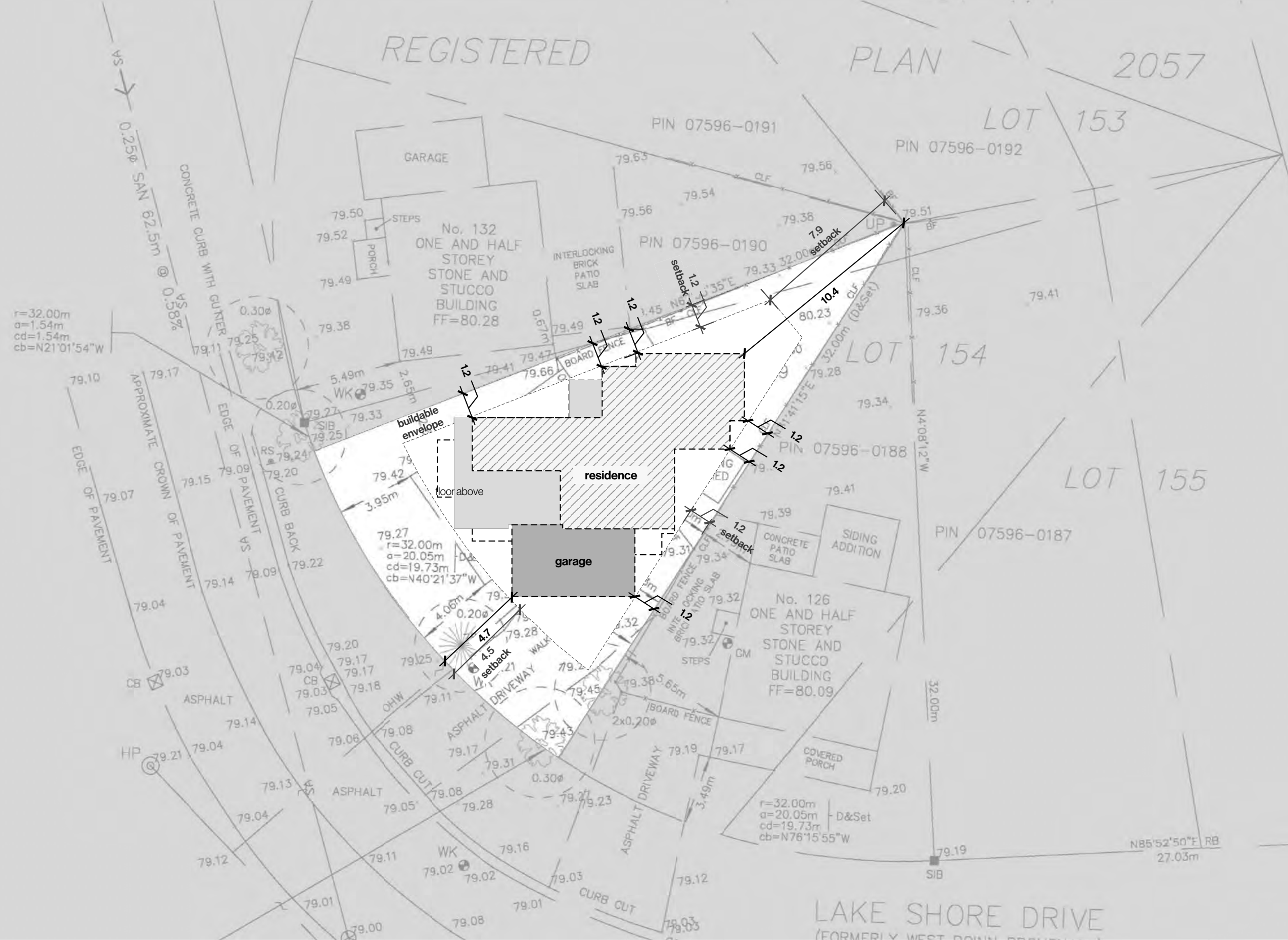
DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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SITE PLAN LAYOUT OF PROPOSED

PERMITTED ZONING STATISTICS

Zoning: RD (f7.5, a230, d0.40)

MINIMUM LOT AREA: 230 sq.m. (2475.70 sq.ft)
 MINIMUM LOT FRONTAGE: 7.5 m (24.61 ft.)
 MAXIMUM LOT COVERAGE: Does not apply
 MAXIMUM HEIGHT OF STRUCTURE: 10 m (32.80 ft.). If however more than half the structures roof is $\frac{3}{4}$ " pitch roof (flat roof) or less, then maximum height is set at 7.2 m (23.62 ft.)
 MINIMUM PERMITTED SETBACKS:
 Front: 6 m (19.69 ft.)
 Rear: 7.5 m (24.61 ft.) or 25% of lot depth (whichever greater) Side: 0.9 m (2.95 ft.)
 MAXIMUM FLOOR SPACE INDEX: 0.40 (40% of lot area)
 LOT AREA: 304.70 sq.m. (3,280 sq.ft.)
 MAXIMUM BUILDING LENGTH: 17 m (55.77 ft.)
 MAXIMUM BUILDING DEPTH: 19 m (62.34 ft.)

SITE PLAN DERIVED FROM TOPOGRAPHICAL SURVEY

LOTS 153 AND 154
 REGISTERED PLAN 1592
 CITY OF TORONTO

130 LAKE SHORE DRIVE
 TORONTO, ONTARIO

SCALE 1 : 200



© SERP 2000 INC

UNDERGROUND SERVICES

THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS PLAN IS ONLY APPROXIMATE AND IS FOR PLANNING AND DESIGN PURPOSES ONLY. THIS INFORMATION MUST NOT BE ASSUMED TO BE COMPLETE OR UP-TO-DATE. THE UNDERSIGNED COMPANY AND EACH UTILITY ACCEPTS NO RESPONSIBILITY FOR ANY CLAIMS OR LOSSES DUE TO IMPROPER USE OF THE INFORMATION SHOWN HEREON AND EACH UTILITY MUST BE CONTACTED FOR AN ON-SITE LOCATE PRIOR TO ANY EXCAVATION.

BENCHMARK NOTE
 ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE CITY OF TORONTO BENCH MARK NO E90 HAVING AN ELEVATION OF 81.337 METERS.

LEGEND

- " TREE CANOPY
- ⊗ " DECIDUOUS TREE
- " CONIFEROUS TREE
- ∅ " DIAMETER
- FF " FINISHED FLOOR
- D " INST. No. TB94864B
- HP " HYDRO POLE
- UP " UTILITY POLE
- MH " MAINTENANCE HOLE
- WK " WATER KEY
- RS " ROAD SIGN
- GM " GAS METER
- CLF " CHAIN LINK FENCE
- VP " VENT PIPE
- QHW " OVERHEAD WRES
- N " NORTH
- S " SOUTH
- E " EAST
- W " WEST
- CB " CATCH BASIN
- BF " BOARD FENCE
- Ms " MEASURED
- SIB " STANDARD IRON BAR
- IB " IRON BAR
- " MONUMENT FOUND

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTE

ALL MEASUREMENTS ARE As SHOWN ON THIS PLAN UNLESS OTHERWISE NOTED.

NOTE

ALL BUILDING TIES ARE TAKEN TO THE CONCRETE CORNERS UNLESS OTHERWISE NOTED

SERP 2000 INC

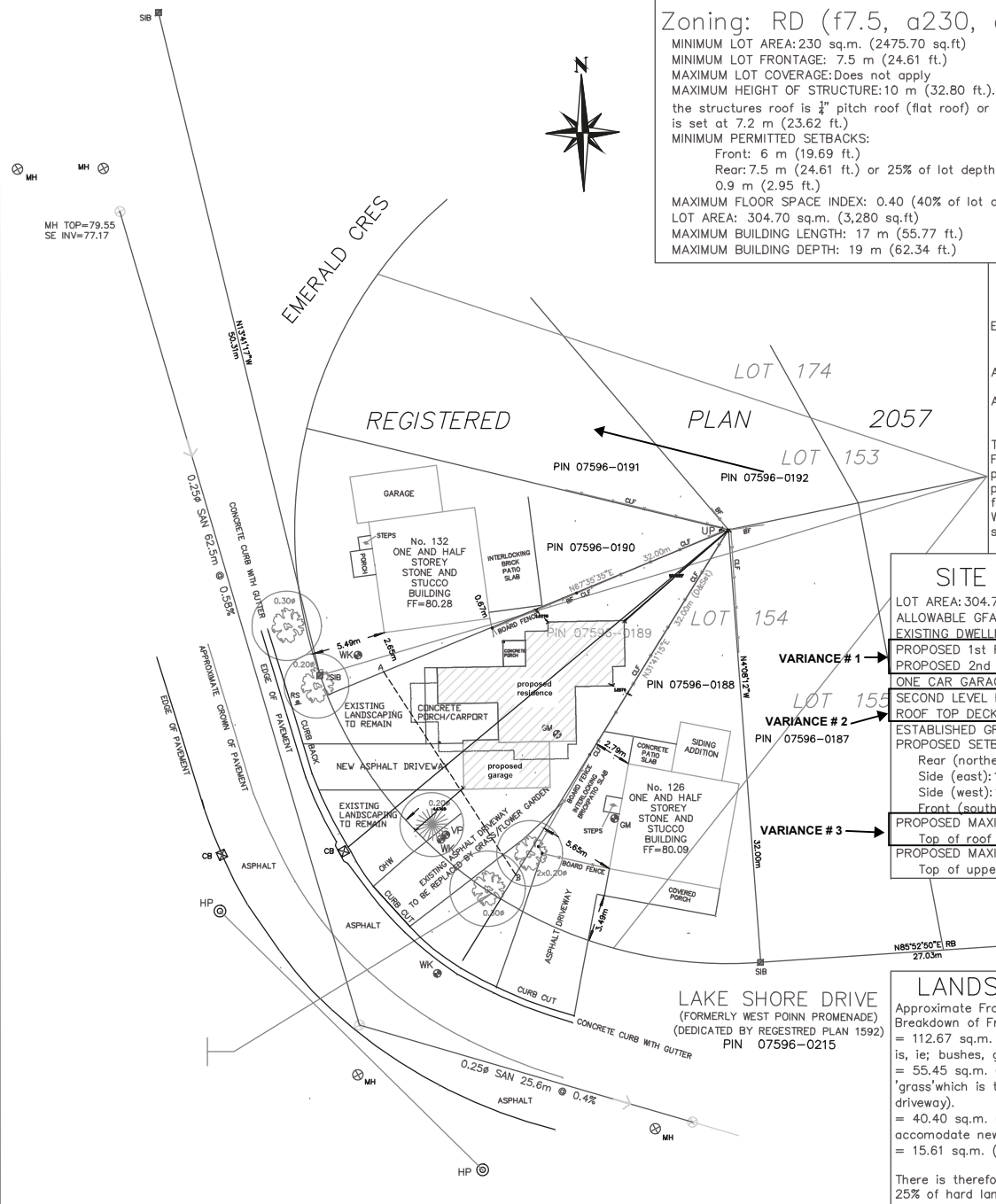
PROFESSIONAL SURVEYORS

4640 LLOYDTOWN-AURORA RD
 KING, ONTARIO
 L7B 0E3
 647-686-2553

FILE:15-101T.DWG

JOB N° 15-101

PLOTTED FEB. 24, 2015



ADDITIONAL ZONING INFO:

ESTABLISHED GRADE CALCULATION:
 (A+B)/2
 = 79.33+79.45/2=79.39
 ADJACENT PROPERTY #126 INFO:
 Front Yard Setback: 3.49 m.
 ADJACENT PROPERTY #132 INFO:
 Front Yard Setback: 5.49 m.

Therefore required minimum Front Yard Setback for our property as per using adjacent property numbers would be the following: 4.49 m.
 We are proposing a front yard setback of: 4.67 meters.

SITE STATISTICS:

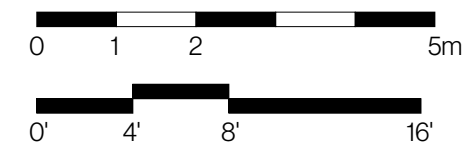
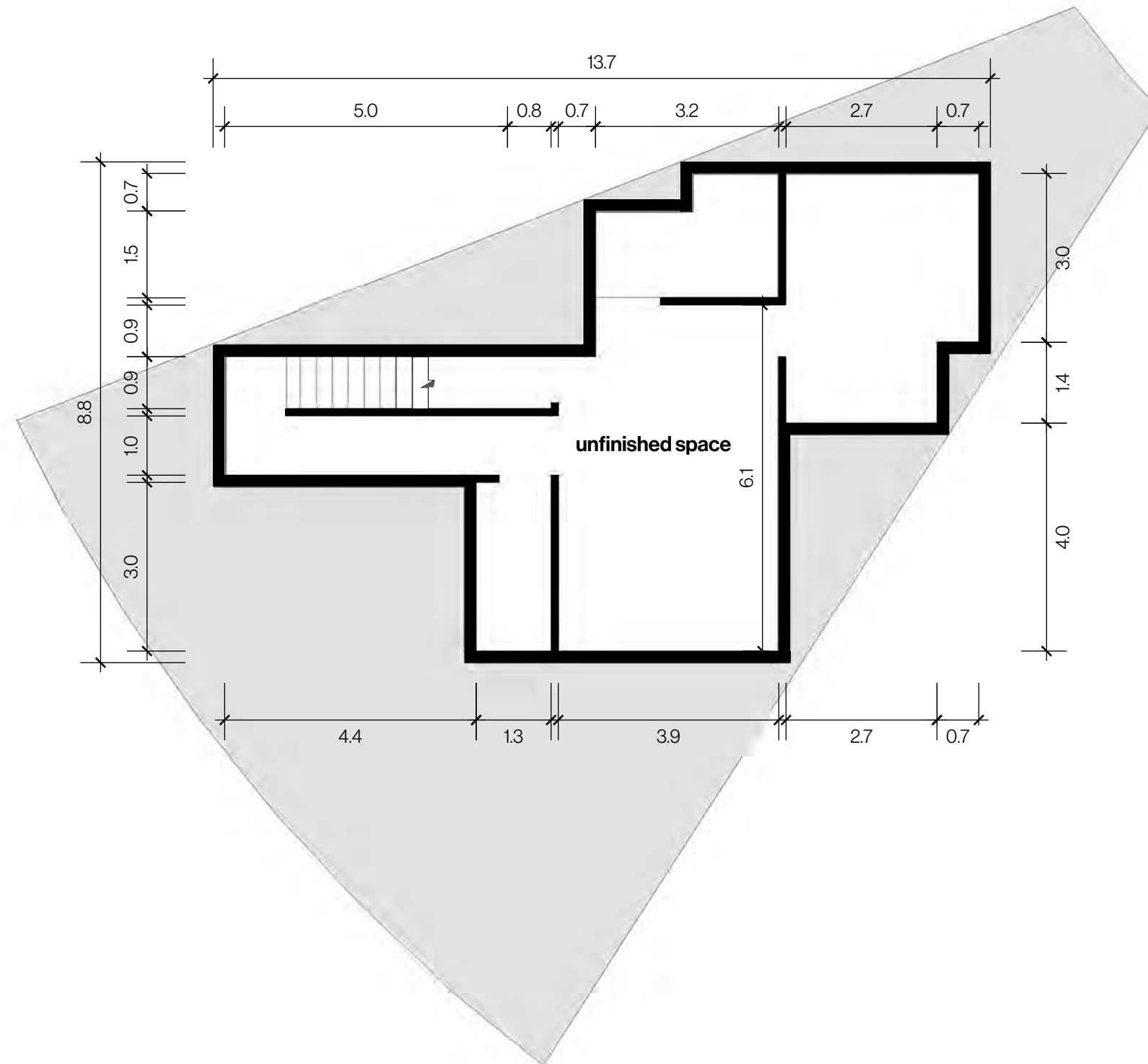
LOT AREA: 304.70 sq.m. (3,280 sq.ft.)
 ALLOWABLE GFA: 121.89 sq.m. (1312.01 sq.ft.)
 EXISTING DWELLING: 143 sq.m. (1,540 sq.ft.)
 PROPOSED 1st FLOOR: 67.17 sq.m. (723 sq.ft.)
 PROPOSED 2nd FLOOR: 98.01 sq.m. (1,055 sq.ft.)
 ONE CAR GARAGE: 21.74 sq.m. (234 sq.ft.)
 SECOND LEVEL BALCONY: 15.05 sq.m. (162 sq.ft.)
 ROOF TOP DECK: 65.31 sq.m. (703 sq.ft.)
 ESTABLISHED GRADE: 79.39 m (260.47 ft.)
 PROPOSED SETBACKS:
 Rear (northeast): 10.07 m (33.04 ft.)
 Side (east): 1.21 m (3.97 ft.)
 Side (west): 1.23 m (4.04 ft.)
 Front (south): 4.67 m (15.35 ft.)
 PROPOSED MAXIMUM HEIGHT #1:
 Top of roof deck priv.wall): 8.79 m (28.84 ft.)
 PROPOSED MAXIMUM HEIGHT #2:
 Top of upper roof): 6.86 m (22.5 ft.)

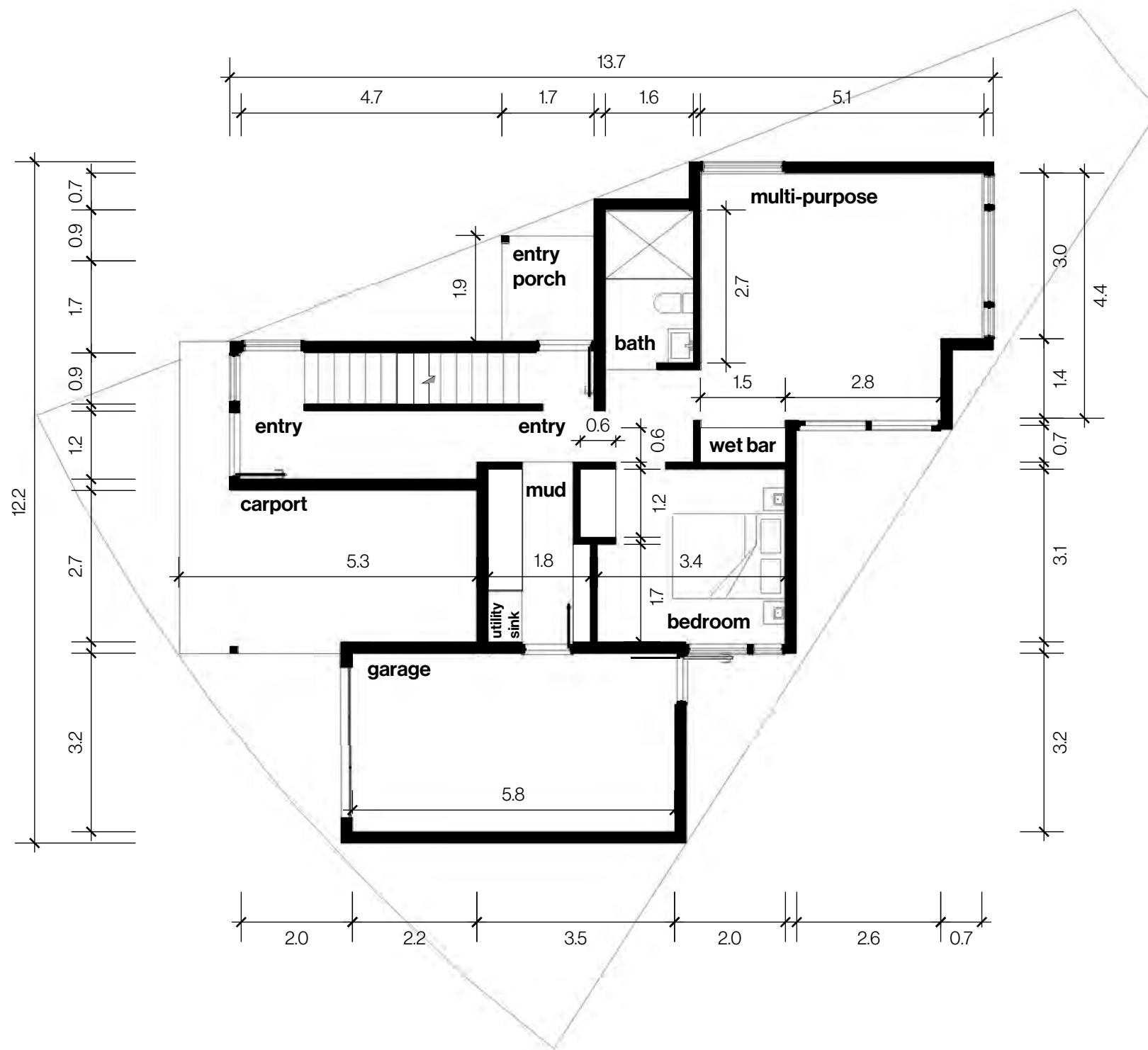
LANDSCAPING STATS:

Approximate Front Yard Coverage: 224.13 sq.m.
 Breakdown of Front Yard Landscaping:
 = 112.67 sq.m. (Existing landscaping staying as is, ie; bushes, grass, shrubs, etc.)
 = 55.45 sq.m. (New front soft landscaping 'grass' which is to replace existing asphalt driveway).
 = 40.40 sq.m. (New Asphalt Driveway so to accommodate new proposed garage/house)
 = 15.61 sq.m. (New asphalt carport)

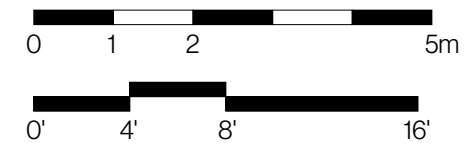
There is therefore 75% of soft landscaping and 25% of hard landscaping for the front yard.

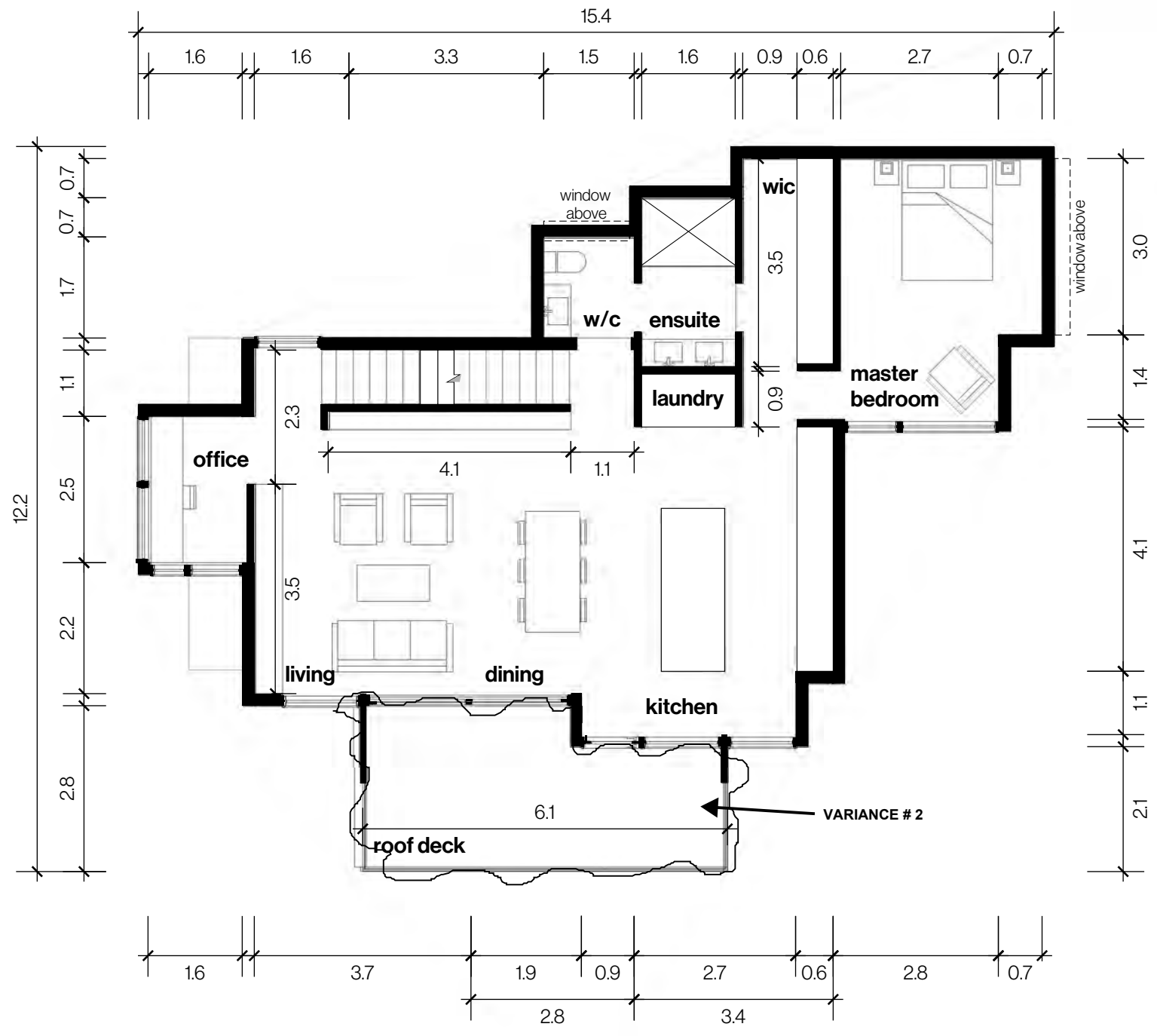
LAKE SHORE DRIVE
 (FORMERLY WEST POINN PROMENADE)
 (DEDICATED BY REGESTRED PLAN 1592)
 PIN 07596-0215





VARIANCE #1:
 -Proposing an overall floor space index of 0.57 times the are of the lot (172.6 sq.m.)
 - The permitted floor space index is 0.4 times the area of the lot (121.9 sq.m.)



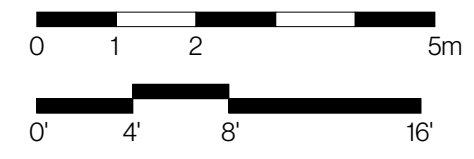


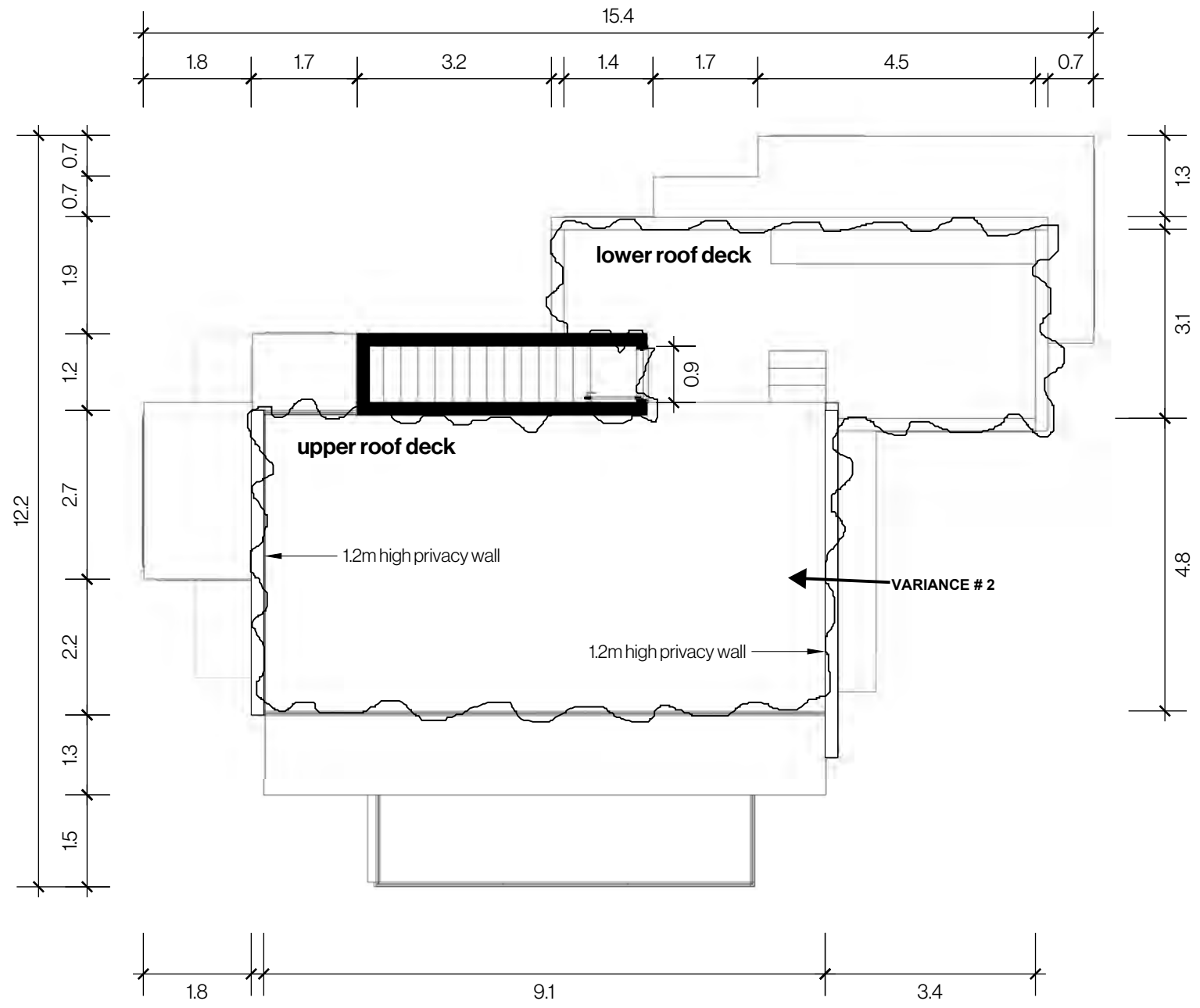
VARIANCE #1:

- Proposing an overall space index of 0.57 times the area of the lot (172.6 sq.m)
- The permitted floor space index is 0.4 times the area of the lot (121.9 sq.m.)

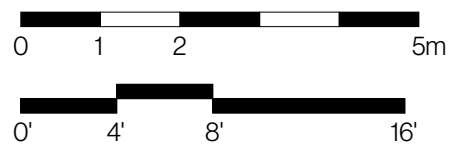
VARIANCE #2:

- Requesting an increase on the permitted second level balcony area.
- Permitted area is 4 sq.m.
- We are proposing an area of 15.4 sq.m.





VARIANCE # 2
 - Requesting a rooftop patio of 20.9 sq.m. on the lower level and another 44.4 sq.m. on the upper level for a total of 65.3 sq.m.
 - The allowable area for a balcony at and above the second level is 4 sq.m. at each side of the house).



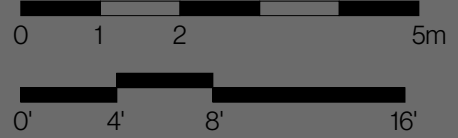
height limit = 88.89m (291.63 ft)

VARIANCE # 3 (OVERALL HEIGHT)

VARIANCE # 3:
- Proposing an overall height of 9.09 m.
- Allowable height is 7.2 m. for a flat/shallow roof design.



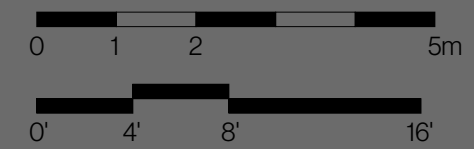
established grade = 79.39 m (260.47 ft)



height limit = 88.89m (291.63 ft)



established grade = 79.39 m (260.47 ft)



height limit = 88.89m (291.63 ft)



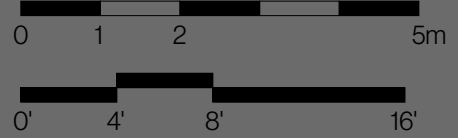
established grade = 79.39 m (260.47 ft)



height limit = 88.89m (291.63 ft)



established grade = 79.39 m (260.47 ft)



Thursday, January 12, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0893/16EYK	Zoning	RD & R2
Owner(s):	EDDIE HEDAYAT	Ward:	Etobicoke Centre (03)
Agent:	LEMCAD CONSULTANTS	Heritage:	Not Applicable
Property Address:	96 COWLEY AVE	Community:	
Legal Description:	PLAN 3289 PT LOTS 109 AND 110 AND RP 66R17594 PARTS 1 AND 6		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling, a two-storey rear addition, a new front porch and rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 320-42.1.C.(3)

The minimum required side yard setback is 1.8 m provided that the aggregate width of both side yards is 4.57 m.

The altered dwelling will be located 1.25 m from the east side lot line, 1.24 m from the west side lot line and will have a total aggregate side yard width of 2.49 m.

2. Section 320-42.1.B.(2)

The maximum permitted height of a flat roofed building is 6.5 m.

The altered dwelling will have a flat roof height of 9.41 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for permit to injure or destroy privately owned trees.

SIGNATURE PAGE

File Number:	A0893/16EYK	Zoning	RD & R2
Owner:	EDDIE HEDAYAT	Ward:	Etobicoke Centre (03)
Agent:	LEMCAD CONSULTANTS	Heritage:	Not Applicable
Property Address:	96 COWLEY AVE	Community:	
Legal Description:	PLAN 3289 PT LOTS 109 AND 110 AND RP 66R17594 PARTS 1 AND 6		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 12, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0894/16EYK	Zoning	RD & R2
Owner(s):	PAULINA CARBONARO	Ward:	Etobicoke-Lakeshore (05)
Agent:	PH D DESIGN INC	Heritage:	Not Applicable
Property Address:	5 REVERE PL	Community:	
Legal Description:	PLAN 3744 LOT 18		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new second storey addition, a covered front porch and a rear covered deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 12.97 m.
The altered dwelling will be located 9.59 m from the front lot line.
- Section 10.5.40.60.(1)(A)(i), By-law 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required front yard setback (2.5 m) if it is no closer to a side lot line than the required side yard setback.
Section 320-40.D.(2)
The maximum permitted projection of a porch into the required front yard is 1.6 m.
Section 10.5.40.60.(1)(A)(i), By-law 569-2013 and Section 320-40.D.(2)
The proposed platform/ porch will encroach 4.9 m into the required front yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0894/16EYK	Zoning	RD & R2
Owner:	PAULINA CARBONARO	Ward:	Etobicoke-Lakeshore (05)
Agent:	PH D DESIGN INC	Heritage:	Not Applicable
Property Address:	5 REVERE PL	Community:	
Legal Description:	PLAN 3744 LOT 18		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

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Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0904/16EYK	Zoning:	RD & R2
Owner(s):	BARBARA JANE ROSCOE	Ward:	Etobicoke-Lakeshore (05)
Agent:	TONY DECARIA	Heritage:	Not Applicable
Property Address:	94 QUEEN ANNE RD	Community:	
Legal Description:	PLAN 1733 PT BLK A RANGE 1 PT LOT 9		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey rear addition (covered terrace) and a rear accessory pool cabana.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 320-59.C**
The maximum permitted lot coverage is 33% of the lot area (236.63 m²).
Section 10.20.30.40.(1)(A), By-law 569-2013
The altered dwelling will cover 38.44% of the lot area (275.64 m²).
Section 320-59.C
The altered dwelling will cover 34.6% of the lot area (248.14 m²).
- Section 320-43.E(1)**
The maximum permitted coverage of an accessory structure is 2% of the lot area (14.34 m²).
The proposed rear yard accessory structure (pool cabana) will cover 3.83% of the lot area (27.5 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0904/16EYK	Zoning	RD & R2
Owner:	BARBARA JANE ROSCOE	Ward:	Etobicoke-Lakeshore (05)
Agent:	TONY DECARIA	Heritage:	Not Applicable
Property Address:	94 QUEEN ANNE RD	Community:	
Legal Description:	PLAN 1733 PT BLK A RANGE 1 PT LOT 9		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

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Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 12, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0910/16EYK	Zoning	CR & C
Owner(s):	SQUARE G 406-410 LIMITED	Ward:	Etobicoke-Lakeshore (06)
Agent:	SQUARE G 406-410 LIMITED	Heritage:	Not Applicable
Property Address:	406 - 410 ROYAL YORK RD	Community:	
Legal Description:	PLAN 1007 LOT 3		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To convert the basement portion of the existing building into self storage units and to construct a third floor addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 40.10.20.10., Section 40.10.20.20., Section 40.10.20.40., By-law 569-2013 & Section 320-37(1)-(26)**
A self storage use is not permitted in a CR and C zone.
- Section 40.10.40.70.(2)(C), By-law 569-2013**
The main wall of a building that has windows or openings must be set back a minimum of 5.5 m from the lot line that is not adjacent to a street or lane
The proposed main wall of the building will be located 1.8 m from the north side lot line.
- Section 200.5.10.1, By-law 569-2013 & Section 340-40**
A minimum of 17 legal parking spaces are required for the office building (excluding medical office).
Section 340-40
A minimum of 13 legal parking spaces are required for the office building (excluding medical office).
Section 200.5.10.1, By-law 569-2013 & Section 340-40
A total of 6 legal parking spaces are being provided.
- Section 40.10.150.1.(1), By-law 569-2013**
All waste material must be stored in an enclosed building.
No storage building for the waste is being proposed.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The self storage use shall be limited to the basement portion of the existing building.

SIGNATURE PAGE

File Number:	A0910/16EYK	Zoning	CR & C
Owner:	SQUARE G 406-410 LIMITED	Ward:	Etobicoke-Lakeshore (06)
Agent:	SQUARE G 406-410 LIMITED	Heritage:	Not Applicable
Property Address:	406 – 410 ROYAL YORK RD	Community:	
Legal Description:	PLAN 1007 LOT 3		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 12, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0912/16EYK	Zoning:	RM & R3
Owner(s):	KIMBERLEE ANN BROWN STEVEN CHEYNE BROWN	Ward:	Etobicoke-Lakeshore (06)
Agent:	LINDY CONSULTING LIMITED	Heritage:	Not Applicable
Property Address:	63 WOODBURY RD	Community:	
Legal Description:	PLAN 2175 E PT LOT 181		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 1.(a), By-laws 1979-67**
The maximum permitted gross floor area is 0.4 times the lot area (167.2 m²).
The proposed dwelling will have a gross floor area equal to 0.58 times the area of the lot (243.5 m²).
- Section 10.80.40.70.(1), By-law 569-2013 and Section 320-40.C(1)**
The minimum required front yard setback is 7.21 m.
The proposed dwelling will be located 6.64 m from the front lot line.
- Section 10.80.40.70.(3)(A), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 320-42.1(C)(1)
The minimum required side yard setback is 0.9 m, with an aggregate of 2.1 m.
Section 10.80.40.70.(3)(A), By-law 569-2013 & Section 320-42.1(C)(1)
The proposed dwelling will be located 0.89 m from the east side lot line, 0.91 m from the west side lot line and will have an aggregate side yard setback of 1.8 m.
- Section 3, By-law 1979-67**
The maximum permitted dwelling height is 7.5 m.
The proposed dwelling will have a dwelling height of 8.11 m.
- Section 10.80.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7 m.
The proposed dwelling will have a front exterior main wall height of 7.6 m.

6. Section 10.80.40.10.(4), By-law 569-2013

The maximum permitted height of the first floor above established grade is 1.2 m.

The proposed dwelling will have a first floor height of 1.47 m above established grade.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0912/16EYK	Zoning	RM & R3
Owner:	KIMBERLEE ANN BROWN STEVEN CHEYNE BROWN	Ward:	Etobicoke-Lakeshore (06)
Agent:	LINDY CONSULTING LIMITED	Heritage:	Not Applicable
Property Address:	63 WOODBURY RD	Community:	
Legal Description:	PLAN 2175 E PT LOT 181		

Dominic Gulli (signed)

David Peacock (signed)

Allan Smithies (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

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Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 12, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0915/16EYK	Zoning:	RM & R4
Owner(s):	HEGEDUS OLD MILL LIMITED	Ward:	Etobicoke-Lakeshore (05)
Agent:	MICHAEL FLYNN	Heritage:	Not Applicable
Property Address:	62 OLD MILL RD	Community:	
Legal Description:	PLAN M416 PT LOT 4		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To rebuild the existing second and third floor walls above an existing attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.40.70.(3)(D), By-law 569-2013**
The minimum required side yard setback is 2.4 m.

Section 320-67.E.(1)(e)
The minimum required side yard setback is 5.05 m.

Section 10.80.40.70.(3)(D), By-law 569-2013 and Section 320-67.E.(1)(e)
The reconstruction of the existing roof structure above existing foundation wall will be located 0.01 m from the east side lot line and the reconstruction of the existing sunroom on the second and third floors will be located 0.67 m from the east side lot line.
- Section 5.10.40.70.(6), By-law 569-2013**
A building or structure shall not be located within 10 m of a shoreline hazard limit or a stable top-of-bank identified by the Toronto and Region Conservation Authority.
The proposed reconstruction of the existing roof structure above existing foundation wall and the reconstruction of the existing sunroom walls on the second and third floors will be located 2.53 m from that stable top-of-bank to the closest point in the rear yard.
- Section 5.10.40.80.(1), By-law 569-2013**
On lands under the jurisdiction of the Toronto and Region Conservation Authority, a building or structure may not be closer than 10 m to a shoreline hazard limit or stable top-of-bank not on that lot.
The proposed reconstruction of the existing roof structure above existing foundation wall and the reconstruction of the existing sunroom walls on the second and third floors will be located 2.53 m from that stable top-of-bank to the closest point in the rear yard.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for permit to injure or destroy privately owned trees.

SIGNATURE PAGE

File Number:	A0915/16EYK	Zoning	RM & R4
Owner:	HEGEDUS OLD MILL LIMITED	Ward:	Etobicoke-Lakeshore (05)
Agent:	MICHAEL FLYNN	Heritage:	Not Applicable
Property Address:	62 OLD MILL RD	Community:	
Legal Description:	PLAN M416 PT LOT 4		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Tuesday, January 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0921/16EYK	Zoning	MH-U
Owner(s):	WATER VIEW CORPORATION	Ward:	Etobicoke-Lakeshore (06)
Agent:	MONARCH WATERVIEW DEVELOPMENT LIMITED	Heritage:	Not Applicable
Property Address:	110 MARINE PARADE DR	Community:	
Legal Description:	PLAN 1229 LOTS 6 & 7 WATER LOT		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit 14 non-standard parking spaces within a proposed shared condominium parking garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 200.5.1.10.(2)(A)(iv), By-law 569-2013 & Section 2, By-law 494-2007**
The minimum required parking space width for a parking space where one side is obstructed is 2.9 m.
Nine obstructed parking spaces within the proposed parking garage will have a width of 2.6 m.
- Section 200.5.1.10.(2)(A)(ii), By-law 569-2013 & Section 2, By-law 494-2007**
The minimum required width of a parking space is 2.6 m.
Three obstructed parking spaces within the proposed parking garage will have a width of 2.3 m.
- Section 200.5.1.10.(2)(A) (i), By-law 569-2013 and Section 2.(17)(a), By-law 494-2007**
The minimum required length of a parking space is 5.6 m.
Two parking spaces within the proposed parking garage will have a length of 5.3 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0921/16EYK	Zoning	MH-U
Owner:	WATER VIEW CORPORATION	Ward:	Etobicoke-Lakeshore (06)
Agent:	MONARCH WATERVIEW DEVELOPMENT LIMITED	Heritage:	Not Applicable
Property Address:	110 MARINE PARADE DR	Community:	
Legal Description:	PLAN 1229 LOTS 6 & 7 WATER LOT		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Tuesday, January 17, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0929/16EYK	Zoning:	E & IC1
Owner(s):	TIFFANY GATE FOODS INC	Ward:	Etobicoke North (01)
Agent:	MAPLE REINDERS CONSTRUCTORS LTD	Heritage:	Not Applicable
Property Address:	195 STEINWAY BLVD	Community:	
Legal Description:	PLAN 66M2260 BLOCK 13 & 18		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey east side addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 60.20.40.70.(3), By-law 569-2013

The minimum required rear yard setback is 7.5 m.

The altered building will be located 6.28 m from the rear lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0929/16EYK	Zoning	E & IC1
Owner:	TIFFANY GATE FOODS INC	Ward:	Etobicoke North (01)
Agent:	MAPLE REINDERS CONSTRUCTORS LTD	Heritage:	Not Applicable
Property Address:	195 STEINWAY BLVD	Community:	
Legal Description:	PLAN 66M2260 BLOCK 13 & 18		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Tuesday, January 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0930/16EYK	Zoning:	MU-H
Owner(s):	MONARCH WATERVIEW DEVELOPMENT LIMITED	Ward:	Etobicoke-Lakeshore (06)
Agent:	MONARCH HERONS HILL DEVELOPMENT LIMITED	Heritage:	Not Applicable
Property Address:	56 ANNIE CRAIG DRIVE	Community:	
Legal Description:	PLAN 1229 LOT 8 WATER LOT		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit 45 non-standard parking spaces within a proposed shared condominium parking garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 200.5.1.10.(2)(A)(iv), By-law 569-2013 & Section 2, By-law 494-2007

The minimum required parking space width for a parking space where one side is obstructed is 2.9 m. Forty-five obstructed parking spaces within the proposed parking garage will have a width of 2.6 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0930/16EYK	Zoning	MU-H
Owner:	MONARCH WATERVIEW DEVELOPMENT LIMITED	Ward:	Etobicoke-Lakeshore (06)
Agent:	MONARCH HERONS HILL DEVELOPMENT LIMITED	Heritage:	Not Applicable
Property Address:	56 ANNIE CRAIG DRIVE	Community:	
Legal Description:	PLAN 1229 LOT 8 WATER LOT		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 12, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0070/16EYK	Zoning	RM & R3
Owner(s):	NAIF TOR	Ward:	Etobicoke-Lakeshore (06)
Agent:	OREST STOYANOVSKYY	Heritage:	Not Applicable
Property Address:	435 VALERMO DR	Community:	
Legal Description:	PLAN 2195 PT LOT 245		

Notice was given and the application considered on Thursday, January 12, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Retained - Part 1

Address to be assigned

The lot frontage is 7.35 m and the lot area is 309.66 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling with an integral garage, requiring variances to the Zoning By-law, as outlined in Application A0749/16EYK.

Conveyed - Part 2

Address to be assigned

The lot frontage is 7.35 m and the lot area is 309.95 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling with an integral garage, requiring variances to the Zoning By-law, as outlined in Application A0750/16EYK.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the attached plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of Survey and Mapping Services, Engineering Services, Engineering and Construction Services. Contact: John Fligg @ (416) 338-5031 or Elizabeth Machynia @ (416) 338-5029.
3. The applicant shall satisfy all conditions concerning City/Private owned trees, to the satisfaction of Urban Forestry Services.
4. Where no street trees exist, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting each new lot created, to the satisfaction of Urban Forestry Services.
5. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, of Property Records, at 416 392-8338; jhouse@toronto.ca
6. **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services, shall be filed with the Committee of Adjustment.
7. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act* , as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0070/16EYK	Zoning	RM & R3
Owner(s):	NAIF TOR	Ward:	Etobicoke-Lakeshore (06)
Agent:	OREST STOYANOVSKYY	Heritage:	Not Applicable
Property Address:	435 VALERMO DR	Community:	
Legal Description:	PLAN 2195 PT LOT 245		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Thursday, February 9, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

NOTE: Only individuals, corporations and public agencies may appeal a decision to the Ontario Municipal Board. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Tuesday, January 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0749/16EYK	Zoning	RM & R3
Owner(s):	NAIF TOR	Ward:	Etobicoke-Lakeshore (06)
Agent:	OREST STOYANOVSKYY	Heritage:	Not Applicable
Property Address:	435 VALERMO DR – PART 1	Community:	
Legal Description:	PLAN 2195 PT LOT 245		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.6.10(18)(B)(i), By-law 569-2013 & Section 320-63(A)(1)**
The minimum required lot frontage is 12 m.
The lot frontage will be 7.35 m.
- Section 900.6.10(18)(A)(i), By-law 569-2013 & Section 320-63(A)(2)**
The minimum required lot area is 465 m².
The lot area will be 309.66 m².
- Section 900.6.10(18)(E), By-law 569-2013**
The maximum permitted gross floor area is 0.45 times the lot area (139.3 m²).
Section (1)(a), By-law 1979-67
The maximum permitted gross floor area is 0.4 times the lot area (123.9 m²).
Section 900.6.10(18)(E), By-law 569-2013 & Section (1)(a), By-law 1979-67
The new dwelling will have a gross floor area of 0.56 times the lot area (173.9 m²).
- Section 10.80.40.70.(3)(A), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 320-42.1(C)(1)
The minimum required side yard setback is 0.9 m, with an aggregate of 2.1 m.
Section 10.80.40.70.(3)(A), By-law 569-2013 & Section 320-42.1(C)(1)
The new dwelling will be located 0.93 m from the west side lot line , 0.61 m from the east side lot line and will have an aggregate side yard setback of 1.54 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0070/16EYK**.
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
3. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
4. The following conditions shall be fulfilled to the satisfaction of the Engineering and Construction Services Division:
 - 4.1 Submit a revised Site Plan with the following revisions:
 - a. Demonstrate compliance with the parking space dimensional requirements of the Zoning By-Law
 - b. Show clearly the portions of the existing curb cuts that will be closed and the proposed new curb cuts for the new entrance driveways.
 - 4.2 Add the following notations to the Site Plan:
 - a. "All existing redundant curb cuts that are no longer required will be restored to the satisfaction of the City of Toronto at no cost to the municipality";
 - b. "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards";
 - c. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - d. "The applicant must obtain all required permits to construct the proposed driveways from the Right-of-Way Management Section of Transportation Services".

SIGNATURE PAGE

File Number:	A0749/16EYK	Zoning	RM & R3
Owner:	NAIF TOR	Ward:	Etobicoke-Lakeshore (06)
Agent:	OREST STOYANOVSKYY	Heritage:	Not Applicable
Property Address:	435 VALERMO DR – PART 1	Community:	
Legal Description:	PLAN 2195 PT LOT 245		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Tuesday, January 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0750/16EYK	Zoning	RM & R3
Owner(s):	NAIF TOR	Ward:	Etobicoke-Lakeshore (06)
Agent:	OREST STOYANOVSKYY	Heritage:	Not Applicable
Property Address:	435 VALERMO DR – PART 2	Community:	
Legal Description:	PLAN 2195 PT LOT 245		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 900.6.10(18)(B)(i), By-law 569-2013 & Section 320-63(A)(1)**
The minimum required lot frontage is 12 m.
The lot frontage will be 7.35 m.
- 2. Section 900.6.10(18)(A)(i), By-law 569-2013 & Section 320-63(A)(2)**
The minimum required lot area is 465 m².
The lot area will be 309.95 m².
- 3. Section 900.6.10(18)(E), By-law 569-2013**
The maximum permitted gross floor area is 0.45 times the lot area (139.4 m²).
Section (1)(a), By-law 1979-67
The maximum permitted gross floor area is 0.4 times the lot area (123.9 m²).
Section 900.6.10(18)(E), By-law 569-2013 & Section (1)(a), By-law 1979-67
The new dwelling will have a gross floor area of 0.56 times the lot area (173.9 m²).
- 4. Section 10.80.40.70.(3)(A), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 320-42.1(C)(1)
The minimum required side yard setback is 0.9 m, with an aggregate of 2.1 m.
Section 10.80.40.70.(3)(A), By-law 569-2013 & Section 320-42.1(C)(1)
The new dwelling will be located 0.93 m from the east side lot line , 0.61 m from the west side lot line and will have an aggregate side yard setback of 1.54 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0070/16EYK**.
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
3. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
4. The following conditions shall be fulfilled to the satisfaction of the Engineering and Construction Services Division:
 - 4.1 Submit a revised Site Plan with the following revisions:
 - a. Demonstrate compliance with the parking space dimensional requirements of the Zoning By-Law
 - b. Show clearly the portions of the existing curb cuts that will be closed and the proposed new curb cuts for the new entrance driveways.
 - 4.2 Add the following notations to the Site Plan:
 - a. "All existing redundant curb cuts that are no longer required will be restored to the satisfaction of the City of Toronto at no cost to the municipality";
 - b. "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards";
 - c. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - d. "The applicant must obtain all required permits to construct the proposed driveways from the Right-of-Way Management Section of Transportation Services".

SIGNATURE PAGE

File Number:	A0750/16EYK	Zoning	RM & R3
Owner:	NAIF TOR	Ward:	Etobicoke-Lakeshore (06)
Agent:	OREST STOYANOVSKYY	Heritage:	Not Applicable
Property Address:	435 VALERMO DR – PART 2	Community:	
Legal Description:	PLAN 2195 PT LOT 245		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Tuesday, January 17, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0076/16EYK	Zoning	RT & RM1
Owner(s):	4-29 LP	Ward:	Etobicoke-Lakeshore (06)
Agent:	4-29 LP	Heritage:	Not Applicable
Property Address:	4 TWENTY NINTH ST	Community:	
Legal Description:	PLAN 1572 S PT LOT 50		

Notice was given and the application considered on Thursday, January 12, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Retained - Part 1

Address to be assigned

The lot frontage is 6.85 m and the lot area is 256.1 m². The existing dwelling, garage and shed will be demolished and the property will be developed as the site of the north half of a pair of semi-detached dwellings with an integral garage, requiring variances to the Zoning By-law, as outlined in Application A0801/16EYK.

Conveyed - Part 2

Address to be assigned

The lot frontage is 6.85 m and the lot area is 256.5 m². The existing dwelling, garage and shed will be demolished and the property will be developed as the site of the south half of a pair of semi-detached dwellings with an integral garage, requiring variances to the Zoning By-law, as outlined in Application A0802/16EYK.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the attached plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of Survey and Mapping Services, Engineering Services, Engineering and Construction Services. Contact: John Fligg @ (416) 338-5031 or Elizabeth Machynia @ (416) 338-5029.
3. The applicant shall satisfy all conditions concerning City/Private owned trees, to the satisfaction of Urban Forestry Services.
4. Where no street trees exist, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting each new lot created, to the satisfaction of Urban Forestry Services.
5. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, of Property Records, at 416 392-8338; jhouse@toronto.ca
6. **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services, shall be filed with the Committee of Adjustment.
7. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act* , as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0076/16EYK	Zoning	RT & RM1
Owner(s):	4-29 LP	Ward:	Etobicoke-Lakeshore (06)
Agent:	4-29 LP	Heritage:	Not Applicable
Property Address:	4 TWENTY NINTH ST	Community:	
Legal Description:	PLAN 1572 S PT LOT 50		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Thursday, February 9, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Tuesday, January 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0801/16EYK	Zoning	RT & RM1
Owner(s):	4-29 LP	Ward:	Etobicoke-Lakeshore (06)
Agent:	4-29 LP	Heritage:	Not Applicable
Property Address:	4 TWENTY NINTH ST – PART 1	Community:	
Legal Description:	PLAN 1572 S PT LOT 50		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new semi-detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 330-26(B)(4)**
The minimum required lot frontage is 10.5 m.
The new lot frontage will be 6.85 m.
- Section 330-26(B)(4)**
The minimum required lot area is 325 m².
The new lot area will be 256.1 m².
- Section 330-26(B)(8)**
The maximum permitted gross floor area is 0.6 times the area of the lot (153.7 m²).
The new dwelling will have a floor space index of 1.06 times the area of the lot (271.5 m²).
- Section 330-26(B)(5)**
The minimum required front yard setback is 6 m.
The new dwelling will be located 5.42 m from the front lot line.
- Section 330-26(B)(1)**
The maximum permitted building height is 11 m.
The new dwelling will have a height of 11.47 m.
- Section 330-9(A)(4)**
A minimum of 6 m of access is required in front of a parking space.
A total of 5.42 m will be provided.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0076/16EYK**.
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
3. The following conditions shall be fulfilled to the satisfaction of the Engineering and Construction Services Division:
 - 3.1 The applicant shall submit one revised site plan (metric scale of 1:200 or 1:250 – shown to scale) illustrating the requirements specified in the following points to the satisfaction of Development Engineering Services and Transportation Services, at no cost to the City;
 - a. The site plan drawing should illustrate a positive slope from the roadway to the garage and have a minimum driveway slope of 2% and maximum driveway slope of 8%. Driveway slopes should be identified on all proposed lots; and,
 - b. The site plan should show existing structures, i.e. house, garage, driveway; and,
 - c. Insert advisory notation on the site plan stating which existing structures to be removed, i.e. shed, driveway; and,
 - d. Clearly dimension and illustrate the portions of existing curb cut(s) that will be closed; and,
 - e. Clearly dimension and illustrate the proposed new curb cuts for each dwelling unit that match the widths of the proposed driveways; and,
 - f. Eliminate the existing iron fence and stone wall area within the Twenty Ninth Street public right-of-way; and,

- g. The applicant must revised the site plan drawing to include the following notations:
- i. "All existing redundant curb cut(s) that are no longer required will be restored to the satisfaction of the City of Toronto at no cost to the municipality";
 - ii. "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards";
 - iii. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - iv. "The applicant must obtain all required permits to construct the proposed driveways from the Right-of-Way Management Section of Transportation Services".

SIGNATURE PAGE

File Number:	A0801/16EYK	Zoning	RT & RM1
Owner:	4-29 LP	Ward:	Etobicoke-Lakeshore (06)
Agent:	4-29 LP	Heritage:	Not Applicable
Property Address:	4 TWENTY NINTH ST – PART 1	Community:	
Legal Description:	PLAN 1572 S PT LOT 50		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Tuesday, January 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0802/16EYK	Zoning	RT & RM1
Owner(s):	4-29 LP	Ward:	Etobicoke-Lakeshore (06)
Agent:	4-29 LP	Heritage:	Not Applicable
Property Address:	4 TWENTY NINTH ST – PART 2	Community:	
Legal Description:	PLAN 1572 S PT LOT 50		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new semi-detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 330-26(B)(4)**
The minimum required lot frontage is 10.5 m.
The new lot frontage will be 6.85 m.
- Section 330-26(B)(4)**
The minimum required lot area is 325 m².
The new lot area will be 256.5 m².
- Section 330-26(B)(8)**
The maximum permitted gross floor area is 0.6 times the area of the lot (153.9 m²).
The new dwelling will have a floor space index of 1.06 times the area of the lot (271.5 m²).
- Section 330-26(B)(5)**
The minimum required front yard setback is 6 m.
The new dwelling will be located 5.42 m from the front lot line.
- Section 330-26(B)(1)**
The maximum permitted building height is 11 m.
The new dwelling will have a height of 11.47 m.
- Section 330-9(A)(4)**
A minimum of 6 m of access is required in front of a parking space.
A total of 5.42 m will be provided.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0076/16EYK**.
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
3. The following conditions shall be fulfilled to the satisfaction of the Engineering and Construction Services Division:
 - 3.1 The applicant shall submit one revised site plan (metric scale of 1:200 or 1:250 – shown to scale) illustrating the requirements specified in the following points to the satisfaction of Development Engineering Services and Transportation Services, at no cost to the City;
 - a. The site plan drawing should illustrate a positive slope from the roadway to the garage and have a minimum driveway slope of 2% and maximum driveway slope of 8%. Driveway slopes should be identified on all proposed lots; and,
 - b. The site plan should show existing structures, i.e. house, garage, driveway; and,
 - c. Insert advisory notation on the site plan stating which existing structures to be removed, i.e. shed, driveway; and,
 - d. Clearly dimension and illustrate the portions of existing curb cut(s) that will be closed; and,
 - e. Clearly dimension and illustrate the proposed new curb cuts for each dwelling unit that match the widths of the proposed driveways; and,
 - f. Eliminate the existing iron fence and stone wall area within the Twenty Ninth Street public right-of-way; and,

- g. The applicant must revised the site plan drawing to include the following notations:
- i. "All existing redundant curb cut(s) that are no longer required will be restored to the satisfaction of the City of Toronto at no cost to the municipality";
 - ii. "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards";
 - iii. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - iv. "The applicant must obtain all required permits to construct the proposed driveways from the Right-of-Way Management Section of Transportation Services".

SIGNATURE PAGE

File Number:	A0802/16EYK	Zoning	RT & RM1
Owner:	4-29 LP	Ward:	Etobicoke-Lakeshore (06)
Agent:	4-29 LP	Heritage:	Not Applicable
Property Address:	4 TWENTY NINTH ST – PART 2	Community:	
Legal Description:	PLAN 1572 S PT LOT 50		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Tuesday, January 17, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0077/16EYK	Zoning:	RM & R2
Owner(s):	HORIA MANZAR MANZAR QAYYUM	Ward:	Etobicoke-Lakeshore (06)
Agent:	LINA RODRIGUEZ	Heritage:	Not Applicable
Property Address:	108 NINTH ST	Community:	
Legal Description:	PLAN 1592 LOT 126		

Notice was given and the application considered on Thursday, January 12, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two residential lots.

Retained - Part 2

Address to be assigned

The lot frontage is 7.62 m and the lot area is 262.4 m². The existing dwelling will be maintained and will require variances to the Zoning By-law, as outlined in Application A0804/16EYK.

Conveyed - Part 1

Address to be assigned

The lot frontage is 7.62 m and the lot area is 262.4 m². The existing garage will be demolished and the property will be redeveloped as the site of a new detached dwelling with an attached garage, requiring variances to the Zoning By-law, as outlined in Application A0803/16EYK.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the attached plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of Survey and Mapping Services, Engineering Services, Engineering and Construction Services. Contact: John Fligg @ (416) 338-5031 or Elizabeth Machynia @ (416) 338-5029.
3. The applicant shall satisfy all conditions concerning City/Private owned trees, to the satisfaction of Urban Forestry Services.
4. Where no street trees exist, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting each new lot created, to the satisfaction of Urban Forestry Services.
5. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, of Property Records, at 416 392-8338; jhouse@toronto.ca
6. **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services, shall be filed with the Committee of Adjustment.
7. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act* , as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0077/16EYK	Zoning	RM & R2
Owner(s):	HORIA MANZAR MANZAR QAYYUM	Ward:	Etobicoke-Lakeshore (06)
Agent:	LINA RODRIGUEZ	Heritage:	Not Applicable
Property Address:	108 NINTH ST	Community:	
Legal Description:	PLAN 1592 LOT 126		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Thursday, February 9, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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NOTE: Only individuals, corporations and public agencies may appeal a decision to the Ontario Municipal Board. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Tuesday, January 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0803/16EYK	Zoning:	RM & R2
Owner(s):	HORIA MANZAR MANZAR QAYYUM	Ward:	Etobicoke-Lakeshore (06)
Agent:	LINA RODRIGUEZ	Heritage:	Not Applicable
Property Address:	108 NINTH ST – PART 1	Community:	
Legal Description:	PLAN 1592 LOT 126		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.40.40.(1)(A), By-law 569-2013 and Section 350-31.F.(2)**
The maximum permitted floor space index is 0.6 times the area of the lot (157.46 m²).
The new dwelling will have a floor space index of 1.15 times the area of the lot (302.35 m²).
- Section 10.80.40.70.(1), By-law 569-2013 and Section 350-31.A.(3)**
The minimum required front yard setback is 6 m.
The new dwelling will be located 5.05 m from the front lot line.
- Section 900.6.10.(23)(D)(i), By-law 569-2013 and Section 350-31.A.(4)**
The minimum required side yard setback is 0.6 m.
The new dwelling will be located 0.46 m from the north side lot line and 0.91 m from the south side lot line.
- Section 10.80.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The new dwelling will have a length of 17.5 m.
- Section 10.80.40.10.(1)(A), By-law 569-2013 and Section 350-31.A.(8)**
The maximum permitted building height is 9.5 m.
The new dwelling will have a height of 10 m.
- Section 10.80.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7 m.
The new dwelling will have a front exterior main wall height of 8.31 m.
- Section 10.80.40.10.(4), By-law 569-2013**
The maximum permitted height of the first floor above established grade is 1.2 m.
The new dwelling will have a first floor height of 1.75 m above established grade.

8. **Section 10.5.40.10.(5), By-law 569-2013**
A minimum of 10 m² of the first floor must be within 4 m of the front main wall.
A total of 1.85 m² of the first floor will be located within 4 m of the front main wall.
9. **Section 10.5.40.60.(7), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m.
Section 350-13.B.
The minimum required side yard setback for eaves and other projections is 0.5 m.
Section 10.5.40.60.(7), By-law 569-2013 and Section 350-13.B.
The eaves/roof projection of the new dwelling will be located 0.06 m from the north side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0077/16EYK.**
2. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
3. The following conditions shall be fulfilled to the satisfaction of the Engineering and Construction Services Division:
 - 3.1 The applicant shall submit one revised site plan (shown to scale of 1:200 or 1:250) illustrating the requirements specified in the following points to the satisfaction of Development Engineering Services and Transportation Services, at no cost to the City;
 - a. The site plan drawing should illustrate a positive slope from the roadway to the garage and have a minimum driveway slope of 2% and maximum driveway slope of 8%. Driveway slopes should be identified on all proposed lots; and,
 - b. Show the distance of the proposed building to all lot lines; and,
 - c. The site plan drawings must clearly dimension and illustrate the portions of any existing curb cuts that will be closed and the proposed new curb cuts for the new entrance driveways; and,

- d. The site plan must include the following notations:
- i. "All existing redundant curb cuts that are no longer required must be restored to the satisfaction of the City of Toronto at no cost to the municipality"; and,
 - ii. "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards"; and,
 - iii. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and,
 - iv. "The applicant must obtain all required permits to construct the proposed driveways from the Right-of-Way Management Section of Transportation Services".

SIGNATURE PAGE

File Number:	A0803/16EYK	Zoning	RM & R2
Owner:	HORIA MANZAR MANZAR QAYYUM	Ward:	Etobicoke-Lakeshore (06)
Agent:	LINA RODRIGUEZ	Heritage:	Not Applicable
Property Address:	108 NINTH ST – PART 1	Community:	
Legal Description:	PLAN 1592 LOT 126		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Tuesday, January 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0804/16EYK	Zoning:	RM & R2
Owner(s):	HORIA MANZAR MANZAR QAYYUM	Ward:	Etobicoke-Lakeshore (06)
Agent:	LINA RODRIGUEZ	Heritage:	Not Applicable
Property Address:	108 NINTH ST – PART 2	Community:	
Legal Description:	PLAN 1592 LOT 126		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To maintain the existing detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.40.70.(1), By-law 569-2013 and Section 350-31.A.(3)**
The minimum required front yard setback is 6 m.
The existing dwelling is located 4.61 m from the front lot line.
- Section 900.6.10.(23)(D)(i), By-law 569-2013 and Section 350-31.A.(4)**
The minimum required side yard setback is 0.6 m.
The existing dwelling is located 0.46 m from the north side lot line.
- Section 10.5.80.10.(3), By-law 569-2013 and Section 350-26.B.(1)(b)(1)**
A parking space may not be located in a front yard or a side yard abutting a street.
The existing front yard parking space abutting a street will be maintained.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0077/16EYK**.
2. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
3. The following conditions shall be fulfilled to the satisfaction of the Engineering and Construction Services Division:
 - 3.1 The applicant shall submit one revised site plan (shown to scale of 1:200 or 1:250) illustrating the requirements specified in the following points to the satisfaction of Development Engineering Services and Transportation Services, at no cost to the City;
 - a. The site plan drawing should illustrate a positive slope from the roadway to the garage and have a minimum driveway slope of 2% and maximum driveway slope of 8%. Driveway slopes should be identified on all proposed lots; and,
 - b. Show the distance of the proposed building to all lot lines; and,
 - c. The site plan drawings must clearly dimension and illustrate the portions of any existing curb cuts that will be closed and the proposed new curb cuts for the new entrance driveways; and,
 - d. The site plan must include the following notations:
 - i. "All existing redundant curb cuts that are no longer required must be restored to the satisfaction of the City of Toronto at no cost to the municipality"; and,
 - ii. "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards"; and,
 - iii. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and,
 - iv. "The applicant must obtain all required permits to construct the proposed driveways from the Right-of-Way Management Section of Transportation Services".

SIGNATURE PAGE

File Number:	A0804/16EYK	Zoning	RM & R2
Owner:	HORIA MANZAR MANZAR QAYYUM	Ward:	Etobicoke-Lakeshore (06)
Agent:	LINA RODRIGUEZ	Heritage:	Not Applicable
Property Address:	108 NINTH ST – PART 2	Community:	
Legal Description:	PLAN 1592 LOT 126		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Tuesday, January 17, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A460/13EYK	Zoning	RD & R2
Owner(s):	EDWARD KRESS DIANE KRESS	Ward:	Etobicoke-Lakeshore (05)
Agent:	ADRIAN DI DOMENICO	Heritage:	Not Applicable
Property Address:	138 GOVERNMENT RD	Community:	
Legal Description:	PLAN 1016 PT LOT 244		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To enlarge the existing dwelling that is currently under construction.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10(35), By-law 560-2013 & Section 1(a), By-law 1993-108**
The maximum permitted gross floor area, including the garage, is 150 m² plus 25% of the lot area (304 m²).
The enlarged dwelling, including the garage, will have a gross floor area of 150 m² plus 36% of the lot area (371.4 m²).
- Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The enlarged dwelling will have a depth of 19.84 m.
- Section 10.20.40.30.(1), By-law 569-2013**
The maximum permitted dwelling depth is 19 m.
Section 320-42.1D
The maximum permitted dwelling depth is 16.5 m.
Section 10.20.40.30.(1), By-law 569-2013 & Section 320-42.1D
The enlarged dwelling will have a depth of 19.84 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

2. Submission of a complete application for permit to injure or destroy privately owned trees.
3. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.

SIGNATURE PAGE

File Number:	A460/13EYK	Zoning	RD & R2
Owner:	EDWARD KRESS DIANE KRESS	Ward:	Etobicoke-Lakeshore (05)
Agent:	ADRIAN DI DOMENICO	Heritage:	Not Applicable
Property Address:	138 GOVERNMENT RD	Community:	
Legal Description:	PLAN 1016 PT LOT 244		

Allan Smithies (signed)

Dominic Gulli (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Tuesday, January 17, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A538/16EYK	Zoning	E 1.0 & I.C2
Owner(s):	TKO EQUIPMENT LEASING LIMITED	Ward:	Etobicoke-Lakeshore (05)
Agent:	SAM ESPOSTO	Heritage:	Not Applicable
Property Address:	283-285 BERING AVE	Community:	
Legal Description:	PLAN 1553 PT LOT 89		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To convert the existing building into a performing arts studio.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 200.5.10.1, By-law 569-2013

A minimum of 29 parking spaces are required.

A total of 10 parking spaces will be provided.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A538/16EYK	Zoning	E 1.0 & I.C2
Owner:	TKO EQUIPMENT LEASING LIMITED	Ward:	Etobicoke-Lakeshore (05)
Agent:	SAM ESPOSTO	Heritage:	Not Applicable
Property Address:	283-285 BERING AVE	Community:	
Legal Description:	PLAN 1553 PT LOT 89		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Tuesday, January 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0794/16EYK	Zoning:	RD & R2
Owner(s):	JINHO JUNG KWANGJUN LEE	Ward:	Etobicoke-Lakeshore (05)
Agent:	ALFREDO CASSIANI	Heritage:	Not Applicable
Property Address:	166 VAN DUSEN BLVD	Community:	
Legal Description:	PLAN 3958 LOT 4		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 320-42.1(A)(1)**
The maximum permitted floor space index is 0.45 times the lot area (256.3 m²).
The proposed dwelling will have a floor space index of 0.64 times the lot area (366 m²).
- Section 10.20.40.10.(6), By-law 569-2013**
The maximum permitted height of the first floor above established grade is 1.2 m.
The first floor height of the proposed dwelling will have a height of 1.65 m above established grade.
- Section 320-42.1(B)(2)**
The maximum permitted soffit height is 6.5 m.
The soffit height of the proposed dwelling will be 6.99 m.
- Section 10.20.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7 m.
The front exterior main walls of the proposed dwelling will have a height of 8.4 m.
- Section 10.20.40.10.(1)(A), By-law 569-2013 7 Section 320-42.1(B)(1)**
The maximum permitted height is 9.5 m.
The proposed dwelling will have a height of 9.9 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

SIGNATURE PAGE

File Number:	A0794/16EYK	Zoning	RD & R2
Owner:	JINHO JUNG KWANGJUN LEE	Ward:	Etobicoke-Lakeshore (05)
Agent:	ALFREDO CASSIANI	Heritage:	Not Applicable
Property Address:	166 VAN DUSEN BLVD	Community:	
Legal Description:	PLAN 3958 LOT 4		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

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Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Tuesday, January 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0837/16EYK	Zoning:	RD & R1
Owner(s):	VINCENZA DEDA LUIS DEDA	Ward:	Etobicoke Centre (04)
Agent:	CITYSCAPE DESIGN INNOVATION INC	Heritage:	Not Applicable
Property Address:	219 EDENBRIDGE DR	Community:	
Legal Description:	PLAN M1144 LOT 3		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 320-42.1.A.(1)**
The maximum permitted floor space index is 0.45 times the lot area (453.24 m²).
The proposed dwelling will have a floor space index of 0.48 times the lot area (480 m²).
- Section 10.20.40.70.(1), By-law 569-2013 & Section 320-40.C.(1)**
The minimum required front yard setback is 9.94 m.
The proposed dwelling will be located 8.84 m from the front lot line.
- Section 10.20.40.70.(3)(E), By-law 569-2013 & Section 320-42.1.C.(3)**
The minimum required side yard setback is 1.8 m.
Section 320-42.1.C.(3)
The minimum required side yard setback is 1.23 m., providing the aggregate side yard setback is not less than 3.66 m.
Section 10.20.40.70.(3)(E), By-law 569-2013 & Section 320-42.1.C.(3)
The proposed dwelling will be located 1.2 m from the south side lot line, with an aggregate side yard setback of 3 m.
- Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The proposed dwelling will have a length of 23.52 m.
- Section 10.20.40.30.(1), By-law 569-2013**
The maximum permitted building depth is 19 m.
The proposed dwelling will have a depth of 22.42 m.
- Section 10.20.40.10.(1)(A), By-law 569-2013 & Section 320-42.1.B.(1)**
The maximum permitted dwelling height is 9.5 m.
The proposed dwelling will be a height of 9.9 m.

7. **Section 320-42.1.B.(2)**
The maximum permitted soffit height is 6.5 m.
The soffit height of the proposed dwelling will be 6.9 m.
8. **Section 10.5.100.1.(1)(C), By-law 569-2013 & Section 320-44.A.**
The maximum permitted driveway width is 6 m.
The proposed driveway will have width of 6.86 m.
9. **Section 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above the second storey is 4 m².
The proposed second storey front platform will have an area of 10.24 m² and the proposed rear second storey platform will have an area of 23.7 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

2. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 2.1 The current site plan drawings must be revised to show the provision of a maximum curb cut width along Edenbridge Drive that matches the width of the proposed garage (6.86 metres).
 - 2.2 The site plan drawings must be revised to clearly dimension and identify the portions of existing curb cut that will be closed.
 - 2.3 The site plan must include the following notations:
 - a. "All existing redundant curb cuts that are no longer required will be restored to the satisfaction of the City of Toronto at no cost to the municipality";
 - b. "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards and requirements, and must be constructed at no cost to the municipality";

- c. “The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard.” The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
- d. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services”;

SIGNATURE PAGE

File Number:	A0837/16EYK	Zoning	RD & R1
Owner:	VINCENZA DEDA LUIS DEDA	Ward:	Etobicoke Centre (04)
Agent:	CITYSCAPE DESIGN INNOVATION INC	Heritage:	Not Applicable
Property Address:	219 EDENBRIDGE DR	Community:	
Legal Description:	PLAN M1144 LOT 3		

Allan Smithies (signed)

Dominic Gulli (signed)

David Peacock (signed)

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 19, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0078/16EYK	Zoning	RD
Owner(s):	LEO ARMAS SUOKAS	Ward:	Parkdale-High Park (13)
Agent:	LORRAINE SANTOS	Heritage:	Not Applicable
Property Address:	176 & 178 OAKMOUNT RD	Community:	
Legal Description:	PLAN 587 PT LOT 14		

Notice was given and the application considered on Thursday, January 12, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to the technical severance of the property for the purpose of re-establishing two separate lots.

Retained - Part 2

176 Oakmount Road

Part 2 has a lot frontage of 7.68 m and a lot area of 343.8 m². The existing detached dwelling will be maintained.

Conveyed - Part 1

178 Oakmount Road

Part 1 has a lot frontage of 7.56 m and a lot area of 348.8m². The existing detached dwelling will be maintained.

The Deputy Secretary-Treasurer, considered the written submissions relating to the application prior to making the decision. In so doing, **IT WAS THE DECISION OF THE SECRETARY TREASURER THAT:**

The Consent Application is Approved on Condition

The Deputy Secretary-Treasurer has considered the provisions of Section 51(24) of the Planning Act, is satisfied that a plan of subdivision is not necessary for the proper and orderly development of the municipality and therefore consents to the requested transaction, pursuant to subsection 53(42) of the Planning Act, **subject to the following conditions:**

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with City Surveyor, Survey & Mapping, Technical Services. Contact: John House, Supervisor, of Property Records, at 416 392-8338; jhouse@toronto.ca

- (3) **Three copies of the registered reference plan of survey** satisfying the requirements of the City Surveyor, shall be filed with the Committee of Adjustment.
- (4) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0078/16EYK	Zoning	RD
Owner(s):	LEO ARMAS SUOKAS	Ward:	Parkdale-High Park (13)
Agent:	LORRAINE SANTOS	Heritage:	Not Applicable
Property Address:	176 & 178 OAKMOUNT RD	Community:	
Legal Description:	PLAN 587 PT LOT 14		

DATE DECISION MAILED ON: Friday, January 20, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Thursday, February 9, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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NOTE: Only individuals, corporations and public agencies may appeal a decision to the Ontario Municipal Board. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.