

Thursday, April 20, 2017

## NOTICE OF DECISION

### CONSENT

(Section 53 of the Planning Act)

File Number:	B0095/16NY	Zoning	R1S Z0.6/R(f9.0; u2; d0.6)(x954)(ZR)
Owner(s):	MARIAN BERINZON MARIAN BERINZON	Ward:	Don Valley West (25)
Agent:	WALKER NOTT DRAGICEVIC ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	<b>64 KEEWATIN AVE</b>	Community:	Toronto
Legal Description:	PLAN 756 PT LOT 11		

Notice was given and the application considered on Thursday, April 20, 2017, as required by the Planning Act.

#### **THE CONSENT REQUESTED:**

To obtain consent to sever the property into two undersized residential lots (frontage only).

#### **Conveyed - Part 2**

Address to be determined

The frontage is 7.62m and the lot area is 456.7m<sup>2</sup>. A new two-storey detached residential dwelling is proposed requiring variances to the applicable zoning by-laws.

#### **Retained - Part 1**

Address to be determined

The frontage is 7.62m and the lot area is 456.4m<sup>2</sup>. A new two-storey detached residential dwelling is proposed requiring variances to the applicable zoning by-laws.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

#### **The Consent Application is Approved on Condition**

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of the this Decision:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- (5) **The applicant to satisfy the requirements of the requirements of Heritage Preservations Services;**
  - i) The applicant shall retain a consultant archaeologist, licensed by the Ministry of Tourism, Culture and Sport, under the provisions of the Ontario Heritage Act (R.S.O 1990 as amended) to carry out a Stage 1- 2 archaeological assessment of the entire development property and follow through on recommendations to mitigate, through preservation or resource removal and documentation, adverse impacts to any significant archaeological resources found. The assessment is to be completed in accordance with the 2011 Standards and Guidelines for Consulting Archaeologists, Ministry of Tourism, Culture and Sport.
  - ii) The consultant archaeologist shall submit a copy of the relevant assessment report(s) to the Heritage Preservation Services Unit in both hard copy format and as an Acrobat PDF file on CD.
  - iii) No demolition, construction, grading or other soil disturbances shall take place on the subject property prior to the City's Planning Division (Heritage Preservation Services Unit) and the Ministry of Tourism, Culture and Sport (Heritage Operations Unit) confirming in writing that all archaeological licensing and technical review requirements have been satisfied.
- (6) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

**BEARING NOTE**

BEARINGS SHOWN ARE GRID BEARINGS AND DERIVED FROM OBSERVED REFERENCE POINTS (ORP'S) 1 AND 2 BY REAL TIME NETWORK OBSERVATIONS, W83 ZONE 10, NAD 83 (CRS) (1987.0 EPOCH).  
 DISTANCES BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.000000.

**DRAFT**

**INTEGRATION DATA**

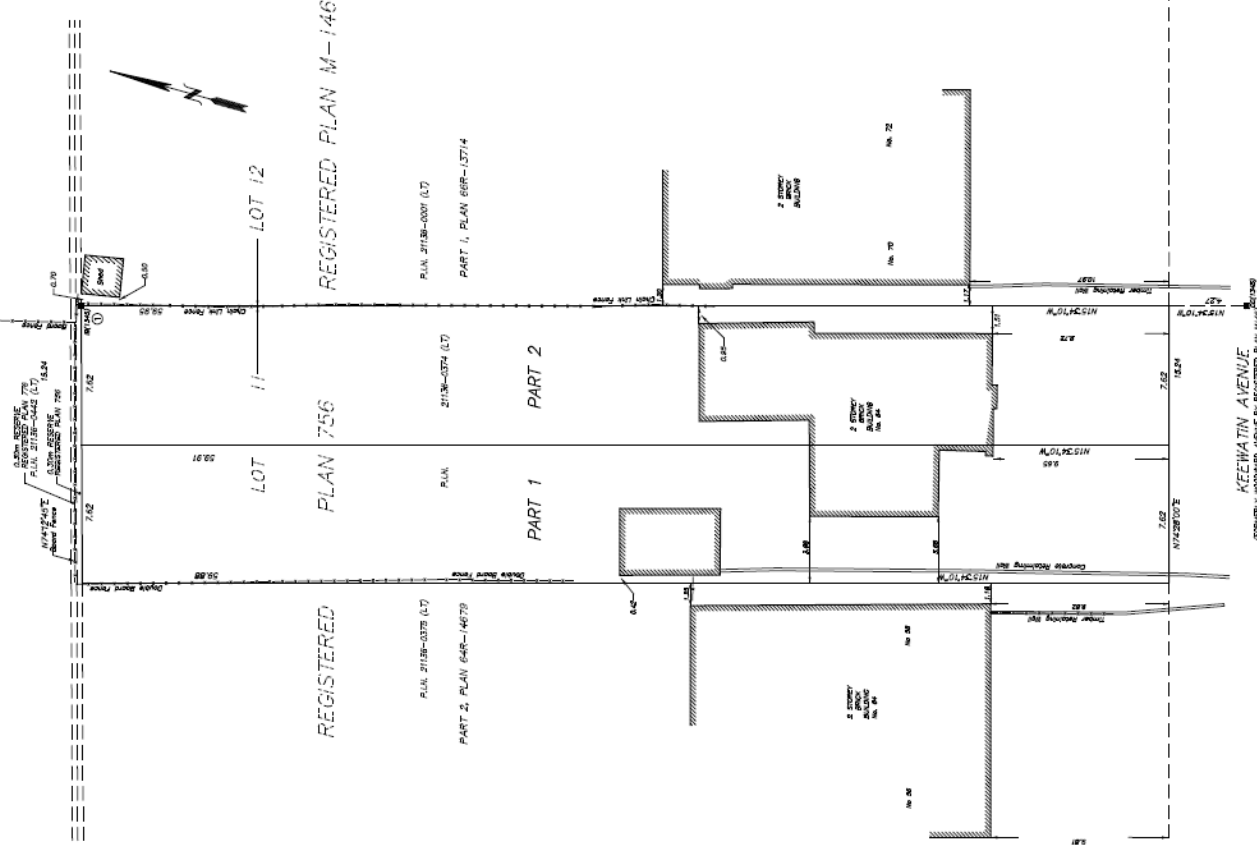
PROCESSED NETWORKS DATA (W83) USING REAL TIME OBSERVATIONS FROM THE NETWORK OBSERVATION POINTS AND ARE REFERRED TO W83 ZONE 10, NAD 83 (CRS) (1987.0 EPOCH).  
 COORDINATES ARE IN METRES AND ARE REFERRED TO W83 ZONE 10, NAD 83 (CRS) (1987.0 EPOCH).  
 COORDINATE ACCURACY PER SECTION 14 (3) OF THE SURVEY ACT, 1990 IS 0.01 METRES.  
 COORDINATES CANNOT IN METRES, BE USED TO RE-ESTABLISH CORNERS OF BOUNDARIES SHOWN ON THE PLAN.

POINT ID	NORTHING	EASTING
ORP 1	0.000000000	0.000000000
ORP 2	0.000000000	0.000000000

PLAN 66R—  
 RECEIVED AND DEPOSITED  
 DATE \_\_\_\_\_  
 REPRESENTATIVE FOR LAND REGISTRY FOR THE LAND TILES CITY OF TORONTO  
 ALEX MARTON  
 ONTARIO LAND SURVEYOR  
 REGISTRY OFFICE (No. 66)

**SCHEDULE**

PART	PART OF LOT	REGISTERED PLAN	ALL OF PIN	AREA SQ.M
1	39	756	21136-0374 (L7)	498.4
2	11			498.7



SCALE 1 : 150  
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 ONTARIO LAND SURVEYORS  
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 METRIC  
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**LEGEND**

- DEVIATES
- STAKES
- BENCH MARKS
- SURVEY INSTRUMENT PLANTED
- BENCH MARKS
- MOUNTAIN
- CLOUD POINT, O.L.S
- CLOUD POINT, O.L.S
- NORTH, SOUTH, EAST, WEST
- REFERENCE POINT
- REGISTERED NUMBER
- PLAN

**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT I AM A REGISTERED SURVEYOR AND IN ACCORDANCE WITH THE SURVEY ACT, 1990, I HAVE CONDUCTED THIS SURVEY AND THE LAND TILES AND THE REGULATIONS MADE UNDER THEM.  
 1. THE SURVEYOR HAS CONDUCTED THIS SURVEY IN ACCORDANCE WITH THE SURVEY ACT, 1990.  
 2. THE SURVEY WAS COMPLETED ON AUGUST \_\_\_\_\_, 2018.

ALEX MARTON LIMITED  
 ONTARIO LAND SURVEYORS  
 100 APPRIHOOD CREST, UNIT A  
 GERRARD, ONTARIO, L4E 2G9  
 TEL: 416-299-4444 FAX: 416-299-4444  
 WWW.ALEXMARTON.COM

PARTY CHIEF: S.E. FILE NO: 2018-105-RP-PLAN/IMG  
 PROJECT NO: 2018-105  
 CRED: S.L.

**SIGNATURE PAGE**

File Number:	B0095/16NY	Zoning	R1S Z0.6/R(f9.0; u2; d0.6)(x954)(ZR)
Owner(s):	MARIAN BERINZON MARIAN BERINZON	Ward:	Don Valley West (25)
Agent:	WALKER NOTT DRAGICEVIC ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	<b>64 KEEWATIN AVE</b>	Community:	Toronto
Legal Description:	PLAN 756 PT LOT 11		

\_\_\_\_\_  
Bruce Mullock (signed)                      Derek Lett (signed)                      Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 17, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

**Appeal Information**

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

**Appeals filed prior to May 3, 2017:** Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

**Appeals filed on or after May 3, 2017:** Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017\*; or

- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.\*\*

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

\* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

\*\* To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

**Ontario Municipal Board Appeal Information:** To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

**Toronto Local Appeal Body Appeal Information:** To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

**NOTE:** Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, April 20, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A1079/16NY	Zoning	R (f9.0; u2; d0.6)(x954)/ R1S Z0.6 [ZR]
Owner(s):	GUITA MIRZAEI MARIAN BERINZON	Ward:	Don Valley West (25)
Agent:	WALKER NOTT DRAGICEVIC ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	<b>64 KEEWATIN AVE (PART 1)</b>	Community:	Toronto
Legal Description:	PLAN 756 PT LOT 11		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey single family detached dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.40.10(5) and 10.10.40.10 (6), By-law No. 569-213**  
The required minimum floor area of the First Floor (as defined) is 10.0m<sup>2</sup>.  
The proposed first floor area is 7.5m<sup>2</sup>.
- Chapter 10.10.30.20.(1), By-law No. 569-2013**  
The minimum required lot frontage is 9.0m.  
The proposed lot frontage is 7.62m.
- Chapter 10.10.40.10.(1) A), By-law No. 569-2013**  
The maximum permitted height of a building is 9.00m.  
The proposed height of the building is 10.11m.
- Chapter 10.10.40.30.(1) A), By-law No. 569-2013**  
The maximum permitted building depth for a detached house is 17.0m.  
The proposed building depth is 18.5m.
- Chapter 10.10.40.10.(6) 6), By-law No. 569-2013**  
The maximum permitted height of the first floor above established grade is 1.2m.  
The proposed height of the first floor above established grade is 1.38m.

6. **Chapter 10.10.40.10.(2) A(i), By-law No. 569-2013**  
The maximum permitted height of all exterior main walls is 7.5m.  
The proposed height of the exterior main walls is 9.09m.
7. **Section 6(3) Part II 3.B(II), By-law No. 438-86**  
The required minimum side lot line setback is 0.9 m for that portion of the building not exceeding 17.0 m in depth.  
The proposed side lot line setback is 0.6 m from the east side lot line.
8. **Section 6(3) Part II 3.B(II), By-law No. 438-86**  
The required minimum side lot line setback is 7.5 m from the side lot line for that portion of the building exceeding 17.0 m in depth.  
The proposed side lot line setback is 0.6 m on the east side.
9. **Section 6(3) Part II 3.B(II), By-law No. 438-86**  
The required minimum side lot line setback is 7.5 m from the side lot line for that portion of the building exceeding 17.0 m in depth.  
The proposed side lot line setback is 0.9 m on the west side.
10. **Section 6(3) Part IX 1(A), By-law No. 438-86**  
The proposed lot(s) must be capable of being conveyed in accordance with the provisions of the Planning Act.  
The proposed lots require severance consent from the Committee of Adjustment prior to the issuance of a building permit.
11. **Section 6(3) Part VII 1(I), By-law No. 438-86**  
The minimum required lot frontage is 9.1m.  
The proposed lot frontage is 7.62m.
12. **Section 6(3) Part II 8 D(I), By-law No. 438-86**  
The permitted maximum height of an uncovered platform which projects into the required setbacks to a maximum of 1.2 m above grade.  
The proposed height of the uncovered platform at the front is 1.6 m above grade.
13. **Section 6(3) Part II 8 D(I), By-law No. 438-86**  
The permitted maximum height of an uncovered platform which projects into the required setbacks is maximum of 1.2 m above grade.  
The proposed height of the uncovered platform at the rear is 3.22 m above grade.
14. **Section 4(2), By-law No. 438-86**  
The maximum permitted height of a building is 9.0m.  
The proposed height of the building is 9.09m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.

- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) **The applicant to satisfy the requirements of the Engineering and Construction Services Division;**

- i) The driveway for 64B Keewatin Ave. being narrowed so that there is a minimum of 1.00m between the driveway and the existing utility box.



**SIGNATURE PAGE**

File Number:	A1079/16NY	Zoning	R (f9.0; u2; d0.6)(x954)/ R1S Z0.6 [ZR]
Owner:	GUITA MIRZAEI MARIAN BERINZON	Ward:	Don Valley West (25)
Agent:	WALKER NOTT DRAGICEVIC ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	<b>64 KEEWATIN AVE (PART 1)</b>	Community:	Toronto
Legal Description:	PLAN 756 PT LOT 11		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 10, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

**Appeal Information**

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- the Committee of Adjustment decision was already appealed before May 3, 2017\*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.\*\*

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

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Thursday, April 20, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A1080/16NY	Zoning	R (f9.0; u2; d0.6) (x954)/ R1S Z0.6. [ZR]
Owner(s):	MARIAN BERINZON MARIAN BERINZON	Ward:	Don Valley West (25)
Agent:	WALKER NOTT DRAGICEVIC ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	<b>64 KEEWATIN AVE (PART 2)</b>	Community:	Toronto
Legal Description:	PLAN 756 PT LOT 11		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey single family detached dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.40.10(5) and 10.10.40.10 (6), By-law No. 569-2013**  
The required minimum floor area of the First Floor (as defined) is 10.0 m<sup>2</sup>.  
The proposed floor area of the First Floor is 7.5 m<sup>2</sup>.
- Chapter 10.10.330.20.(1) A), By-law No. 569-2013**  
The required minimum lot frontage is 9.0m.  
The proposed lot frontage is 7.62m.
- Chapter 10.10.40.10.(1) A), By-law No. 569-2013**  
The maximum permitted height of a building is 9.01m.  
The proposed height of the building is 9.98m.
- Chapter 10.10.40.30.(1) A), By-law No. 569-2013**  
The maximum permitted building depth is 17.0m.  
The proposed building depth is 18.5m.
- Chapter 10.20.40.10.(6) 6), By-law No. 569-2013**  
The maximum permitted height of the first floor above established grade is 1.20m.  
The proposed height of the first floor above established grade is 1.32m.

6. **Chapter 10.10.40.10.(2) A(i), By-law No. 569-2013**  
The maximum permitted height of all front exterior main walls is 7.5m.  
The proposed height of the exterior main walls is 9.15m.
7. **Section 6(3) Part II 3.B(II), By-law No. 438-86**  
The required minimum side lot line setback is 7.5 m from the side lot line for that portion of the building exceeding 17.0 m in depth.  
The proposed west side lot setback is 0.6m.
8. **Section 6(3) Part II 3.B(II), By-law No. 438-86**  
The required minimum side lot line setback is 7.5 m from the side lot line for that portion of the building exceeding 17.0 m in depth.  
The proposed east side lot setback is 0.9m.
9. **Section 6(3) Part II 3.B(II), By-law No. 438-86**  
The required minimum side lot line setback is 0.9 m for that portion of the building not exceeding 17.0 m in depth.  
The proposed side lot line setback is 0.6 m from the west side lot line.
10. **Section 6(3) Part II 8 D(I), By-law No. 438-86**  
The maximum permitted height of an uncovered platform projecting in required setbacks is 1.20m above grade.  
The proposed height of the uncovered platform at the front is 1.27 m above grade.
11. **Section 6(3) Part II 8 D(I), By-law No. 438-86**  
The maximum permitted height of an uncovered platform projecting in required setbacks is 1.20m above grade.  
The proposed height of the uncovered platform at the rear is 2.73 m above grade.
12. **Section 6(3) Part IX 1(A), By-law No. 438-86**  
The by-law requires the proposed lot(s) to be capable of being conveyed in accordance with provisions of the Planning Act.  
The proposed lots require severance consent from the Committee of Adjustment prior to the issuance of a building permit.
13. **Section 6(3) Part VII 1(I), By-law No. 438-86**  
The minimum required lot frontage is 9.1m.  
The proposed lot frontage is 7.62m.
14. **Section 4(2), By-law No. 438-86**  
The maximum permitted height of a detached house is 9.0m.  
The proposed height is 9.13m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.

- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

**1) The applicant to satisfy the requirements of the Engineering and Construction Services Division;**

- i) The driveway for 64B Keewatin Ave. being narrowed so that there is a minimum of 1.00m between the driveway and the existing utility box.

**2) The applicant to satisfy the requirements of the Parks and Recreation, Urban Forestry Division;**

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

**SIGNATURE PAGE**

File Number:	A1080/16NY	Zoning	R (f9.0; u2; d0.6) (x954)/ R1S Z0.6. [ZR]
Owner:	MARIAN BERINZON MARIAN BERINZON	Ward:	Don Valley West (25)
Agent:	WALKER NOTT DRAGICEVIC ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	<b>64 KEEWATIN AVE (PART 2)</b>	Community:	Toronto
Legal Description:	PLAN 756 PT LOT 11		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

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Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 10, 2017

CERTIFIED TRUE COPY

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Thursday, April 20, 2017

**NOTICE OF DECISION**  
**CONSENT**  
**(Section 53 of the Planning Act)**

File Number:	B0049/16NY	Zoning	RD / R4 (ZR)
Owner(s):	2321219 ONTARIO INC.	Ward:	Willowdale (23)
Agent:	PETER HIGGINS	Heritage:	Not Applicable
Property Address:	<b>25 WILFRED AVE</b>	Community:	North York
Legal Description:	PLAN M372 PT LOT 130 RP 66R16834 PART 1		

Notice was given and the application considered on Thursday, April 20, 2017, as required by the Planning Act.

**THE CONSENT REQUESTED:**

To obtain consent to sever the property into two undersized residential lots.

**Retained - Part 1 (B)**

Address to be assigned

The proposed lot frontage is 9.22m. The proposed lot area is 299.28m<sup>2</sup>.

The property will be redeveloped as the site of a new detached dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A0692/16NY.

**Conveyed - Part 2 (A)**

Address to be assigned

The proposed lot frontage is 9.22m. The proposed lot area is 284.8m<sup>2</sup>.

The property will be redeveloped as the site of a new detached dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A0693/16NY.

**PART 3** – Part 3 is a corner rounding to be conveyed to the City.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Consent Application is Refused**

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.



- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

Plan 66R-  
RECEIVED AND DEPOSITED :

DATE : 2016

DATE : 2016

LAWRENCE O. ERTL,  
ONTARIO LAND SURVEYOR

REPRESENTATIVE OF THE LAND REGISTRAR  
FOR THE LAND TITLES DIVISION OF THE  
TORONTO LAND REGISTRY OFFICE (No. 66)

Metric DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

### Schedule

PART	PART OF LOT	REGISTERED PLAN	ALL OF P.I.N.	AREA Sq.m.
1	130	M-372	10066 - 0226	299.5
2				288.8

PLAN OF SURVEY OF  
PART OF LOT 130  
REGISTERED PLAN M-372  
CITY OF TORONTO  
(FORMERLY CITY OF NORTH YORK)



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ertl surveyors 2016  
Ontario Land Surveyors

### Integration

DISTANCES HEREON ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999888

BEARINGS AND COORDINATES HEREON ARE MTM GRID, DERIVED FROM GPS REAL TIME NETWORK OBSERVATIONS IN NAD83 (GSR5) (2010.0) AND ARE REFERRED TO THE CENTRAL MERIDIAN OF MTM ZONE 10, LONGITUDE 79°30'W.

THE GRID BEARINGS SHOWN HEREON CAN BE CONVERTED TO ASTRONOMIC BY APPLYING A CLOCKWISE ROTATION OF 0°18'30".

COORDINATES CANNOT IN THEMSELVES BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN. COORDINATE VALUES ARE TO AN URBAN ACCURACY IN ACCORDANCE WITH SEC. 14(2) OF O. REG. 216/10.

### Surveyor's Certificate

I CERTIFY THAT :

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON THE DAY OF , 2016

DATE 2016

Lawrence O. Ertl  
Ontario Land Surveyor

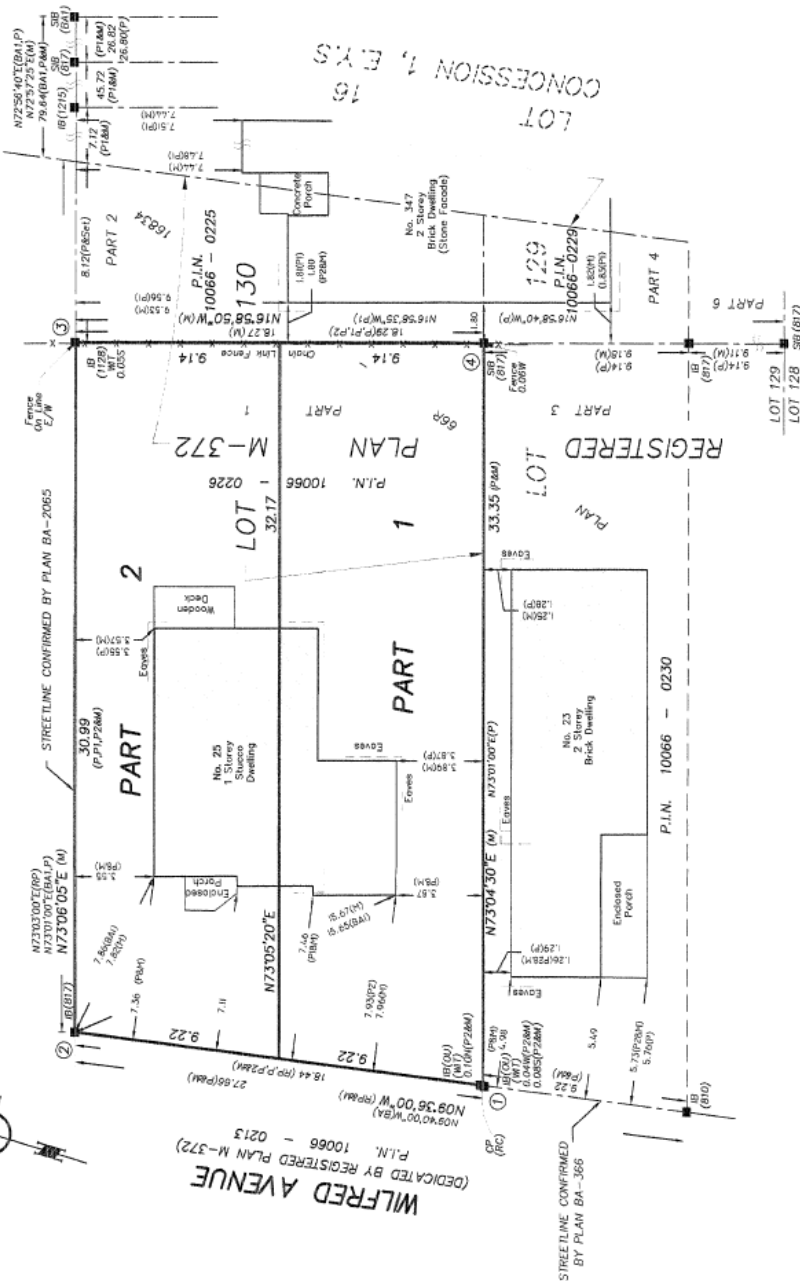


ertl surveyors  
Ontario Land Surveyors  
www.es-ols.com

1234 REID STREET, UNIT 10, RICHMOND HILL L4B 1C1  
TELEPHONE (905) 731-7834 FAX (905) 731-7832 EMAIL info@es-ols.com  
DRAWING : 15704--wilfred25--rp.dwg PROJECT : 15704  
CALC. BY AL, DRAWN BY DH, CHECKED BY \*\*

GREENFIELD AVENUE (BY BY-LAW No. 16830)  
(FORMERLY GREENFIELD ROAD BY REGISTERED PLAN M-372)

P.I.N. 10066 - 0211



### Coordinated Points

POINT ID	NORTHING	EASTING
1	4843015.050	312307.044
2	4843022.790	312333.386
3	4843006.280	312309.628
4	4843012.600	312331.130

### Legend

- SURVEY MONUMENT FOUND
- SURVEY MONUMENT SET
- IRON BAR
- DENOTES CONCRETE PIN
- DENOTES WITNESS
- DENOTES PLANKWOOD
- DENOTES REGISTERED PLAN M-372
- DENOTES PLAN BA-366
- DENOTES PLAN BA-2065
- DENOTES PLAN 66R-16634
- DENOTES SURVEY BY ERTL SURVEYORS, O.L.S.
- DENOTES SURVEY BY RABIDEAU & CZERNIWSKI, O.L.S.
- DENOTES DATED OCTOBER 18, 2006
- DENOTES JOHN MCKIMMING, O.L.S.
- DENOTES D. S. MCINTOSH, O.L.S.
- DENOTES L. O. SURVEYORS, O.L.S.
- DENOTES MEASURED

**SIGNATURE PAGE**

File Number:	B0049/16NY	Zoning	RD / R4 (ZR)
Owner(s):	2321219 ONTARIO INC.	Ward:	Willowdale (23)
Agent:	PETER HIGGINS	Heritage:	Not Applicable
Property Address:	<b>25 WILFRED AVE</b>	Community:	North York
Legal Description:	PLAN M372 PT LOT 130 RP 66R16834 PART 1		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 17, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

**Appeal Information**

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

**Appeals filed prior to May 3, 2017:** Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

**Appeals filed on or after May 3, 2017:** Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017\*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City

of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.\*\*

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

\* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

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**Ontario Municipal Board Appeal Information:** To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

**Toronto Local Appeal Body Appeal Information:** To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

**NOTE:** Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, April 20, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0692/16NY	Zoning	RD / R4 (ZR)
Owner(s):	2321219 ONTARIO INC.	Ward:	Willowdale (23)
Agent:	PETER HIGGINS	Heritage:	Not Applicable
Property Address:	<b>25 WILFRED AVE</b> <b>(PART 1)</b>	Community:	North York
Legal Description:	PLAN M372 PT LOT 130 RP 66R16834 PART 1		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 900.3.10(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.8 m.  
The proposed north side yard setback is 0.61 m.
- 2. Chapter 900.3.10(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.8 m.  
The proposed south side yard setback is 1.22 m.
- 3. Chapter 10.5.40.10(5), By-law No. 569-2013**  
The minimum of 10.0 m<sup>2</sup> of first floor must be within 4.0 m of the front main wall.  
The proposed foyer is 5.79 m<sup>2</sup>.
- 4. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.  
The proposed height of the side exterior main walls facing a side lot line is 7.82 m.
- 5. Chapter 10.20.30.10.(1), By-law No. 569-2013**  
The required minimum lot area is 550 m<sup>2</sup>.  
The proposed lot area is 299.28 m<sup>2</sup>
- 6. Chapter 10.20.30.20.(1), By-law No. 569-2013**  
The required minimum lot frontage is 15 m.  
The proposed lot frontage is 9.22 m.

7. **Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The permitted maximum lot coverage is 30% of the lot area.  
The proposed lot coverage is 35.4% of the lot area.
8. **Section 13.2.3(a), By-law No. 7625**  
The minimum required front yard setback is 6.5 m.  
The proposed front yard setback is 6 m.
9. **Section 13.2.6, By-law No. 7625**  
The maximum permitted building height is 8.8 m.  
The proposed building height is 9.28 m.
10. **Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.5 m.  
The proposed north side yard setback is 0.61 m.
11. **Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.5 m.  
The proposed south side yard setback is 1.22 m.
12. **Section 13.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 35.4% of the lot area.
13. **Section 6A(2)a, By-law No. 7625**  
The minimum required number of parking spaces is 2 spaces.  
The proposed number of parking spaces is 1 space.
14. **Section 6(8), By-law No. 7625**  
The minimum required lot frontage and width is 15 m.  
The proposed lot frontage and width is 9.22 m.
15. **Section 13.2.2, By-law No. 7625**  
The minimum required lot area is 550 m<sup>2</sup>.  
The minimum lot area is 299.28 m<sup>2</sup>.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

### **The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

## SIGNATURE PAGE

File Number:	A0692/16NY	Zoning	RD / R4 (ZR)
Owner:	2321219 ONTARIO INC.	Ward:	Willowdale (23)
Agent:	PETER HIGGINS	Heritage:	Not Applicable
Property Address:	<b>25 WILFRED AVE (PART 1)</b>	Community:	North York
Legal Description:	PLAN M372 PT LOT 130 RP 66R16834 PART 1		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 10, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

**Appeals filed prior to May 3, 2017:** Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

**Appeals filed on or after May 3, 2017:** Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017\*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.\*\*

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

\* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

\*\* To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

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Thursday, April 20, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0693/16NY	Zoning	RD / R4 (ZR)
Owner(s):	2321219 ONTARIO INC.	Ward:	Willowdale (23)
Agent:	PETER HIGGINS	Heritage:	Not Applicable
Property Address:	<b>25 WILFRED AVE</b> <b>(PART 2)</b>	Community:	North York
Legal Description:	PLAN M372 PT LOT 130 RP 66R16834 PART 1		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 900.3.10(5), By-law No. 569-2013**  
The minimum permitted side yard setback is 1.8 m.  
The proposed north side yard setback is 0.91 m.
- Chapter 900.3.10(5), By-law No. 569-2013**  
The minimum permitted side yard setback is 1.8 m.  
The proposed south side yard setback is 0.62 m.
- Chapter 10.5.40.10(5), By-law No. 569-2013**  
A minimum of 10.0 m<sup>2</sup> of the first floor must be within 4.0 m of the front main wall.  
The proposed foyer is 8.17 m<sup>2</sup>.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m  
The proposed height of the side exterior main walls facing a side lot line is 7.85 m.
- Chapter 10.20.30.10.(1), By-law No. 569-2013**  
The required minimum lot area is 550 m<sup>2</sup>.  
The proposed lot area is 284.8 m<sup>2</sup>.
- Chapter 10.20.30.20.(1), By-law No. 569-2013**  
The required minimum lot frontage is 15 m.  
The proposed lot frontage is 9.22 m.

7. **Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The permitted maximum lot coverage is 30% of the lot area.  
The proposed maximum lot coverage is 35.7%.
8. **Chapter 10.5.80.40.(3), By-law No. 569-2013**  
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.  
The proposed vehicle access to a parking space is not from the flanking street.
9. **Chapter 10.20.40.10.(3), By-law No. 569-2013**  
The permitted maximum number of storeys is 2.  
The proposed number of storeys is 3.
10. **Section 13.2.1, By-law No. 7625**  
The minimum required lot frontage and width is 15 m.  
The proposed lot frontage and width is 9.22 m.
11. **Section 13.2.2, By-law No. 7625**  
The minimum required lot area is 550 m<sup>2</sup>  
The proposed lot area is 284.8 m<sup>2</sup>
12. **Section 13.2.6(i), By-law No. 7625**  
The maximum permitted building height is 8.0 m.  
The proposed building height is 10.27 m.
13. **Section 13.2.3(a), By-law No. 7625**  
The minimum required front yard setback is 6.5 m.  
The proposed front yard setback is 6 m.
14. **Section 13.2.3(b), By-law No. 7625**  
The minimum required north side yard setback is 3 m.  
The proposed north side yard setback is 0.9 m.
15. **Section 13.2.3(b), By-law No. 7625**  
The minimum required south side yard setback is 1.5 m.  
The proposed south side yard setback is 0.62 m.
16. **Section 13.2.6, By-law No. 7625**  
The maximum permitted number of storeys is 2  
The proposed number of storeys is 3.
17. **Section 13.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 35.7% of the lot area.
18. **Section 6A(2)a, By-law No. 7625**  
The minimum required number of parking spaces is 2 spaces.  
The proposed number of parking spaces is 1 space

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

## **The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0693/16NY	Zoning	RD / R4 (ZR)
Owner:	2321219 ONTARIO INC.	Ward:	Willowdale (23)
Agent:	PETER HIGGINS	Heritage:	Not Applicable
Property Address:	<b>25 WILFRED AVE (PART 2)</b>	Community:	North York
Legal Description:	PLAN M372 PT LOT 130 RP 66R16834 PART 1		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 10, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

**Appeal Information**

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

**Appeals filed prior to May 3, 2017:** Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

**Appeals filed on or after May 3, 2017:** Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017\*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.\*\*

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Thursday, April 20, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0114/17NY	Zoning	RD/R4 [BLD]
Owner(s):	SEYEDEHMARYAM JAFARY MOHAMMAD-REZA JAFARY	Ward:	Don Valley East (33)
Agent:	MOHAMMAD-REZA JAFARY	Heritage:	Not Applicable
Property Address:	<b>19 CLAREVILLE CRES</b>	Community:	North York
Legal Description:	PLAN M956 LOT 139		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To convert the existing carport to an attached garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 900.3.10.(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed north side yard setback is 0.91m.
- Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.20m.  
The proposed north side yard setback is 0.91m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

- Chapter 900.3.10.(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed north side yard setback is **1.20m**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.

- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

**2. Section 13.2.3(b), By-law No. 7625**

The minimum required side yard setback is 1.20m.

The proposed north side yard setback is 0.91m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0114/17NY	Zoning	RD/R4 [BLD]
Owner:	SEYEDEHMARYAM JAFARY MOHAMMAD-REZA JAFARY	Ward:	Don Valley East (33)
Agent:	MOHAMMAD-REZA JAFARY	Heritage:	Not Applicable
Property Address:	<b>19 CLAREVILLE CRES</b>	Community:	North York
Legal Description:	PLAN M956 LOT 139		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL TO: Wednesday, May 10, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

**Appeal Information**

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- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.\*\*

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

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Thursday, April 20, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0115/17NY	Zoning	RD(F15.0, D0.35)/R1Z0.35[ZONING]
Owner(s):	HEDIJEH MEDAMY MEHRDAD SADEGUI	Ward:	Don Valley West (25)
Agent:	MAHIR MANIOS	Heritage:	Not Applicable
Property Address:	<b>160 DINNICK CRES</b>	Community:	Toronto
Legal Description:	PLAN 1534 LOT 197		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling with an integral at grade garage. The existing dwelling would be demolished but the accessory structure at the rear of the property will remain.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.40.(1), By-law No. 569-2013**  
The maximum permitted Floor Space Index is 0.35 times the lot area.  
The proposed Floor Space Index is 0.54 times the lot area.
- 2. Chapter 10.5.60.20.(2)(B), By-law No. 569-2013**  
The minimum required rear yard setback for the ancillary building is 1.93m.  
The proposed rear yard setback for the ancillary building is 0.67m.
- 3. Chapter 10.5.80.40.(3), By-law No. 569-2013**  
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.  
The proposed vehicle access to the parking space is from the front.
- 4. Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.5m.  
The proposed north side yard setback is 1.22m.
- 5. Section 6(3) Part I 1, By-law No. 438-86**  
The maximum permitted Gross Floor Area is 0.35 times the lot area.  
The proposed Gross Floor Area is 0.54 times the lot area.

6. **Section 6(3) Part II 3.A (II), By-law No. 438-86**  
The by-law requires a building to have a minimum flanking street setback of 6.0m.  
The proposed flanking street setback is 2.14m.
7. **Section 6(3) Part II 7(i), By-law No. 438-86**  
The minimum required north side lot line setback for an accessory structure is 3.0m  
The proposed north side lot line setback is 0.4m.
8. **Section 6(3) Part II 7(i), By-law No. 438-86**  
The minimum required side lot line setback for an accessory structure is 3.0m  
The proposed west side lot line setback is 0.67m.
9. **Section 6(3) Part IV2, By-law No. 438-86**  
The vehicle access to the parking space must be from a flanking street or public lane.  
The proposed vehicle access to the parking space is from the main street.
10. **Section 6(3) part II 7(II)A, By-law No. 438-86**  
The by-law requires an accessory structure to have a minimum setback is 4.5m to an adjacent residential building.  
The proposed setback to the adjacent building at 82 Lawrence Crescent is 2.27m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

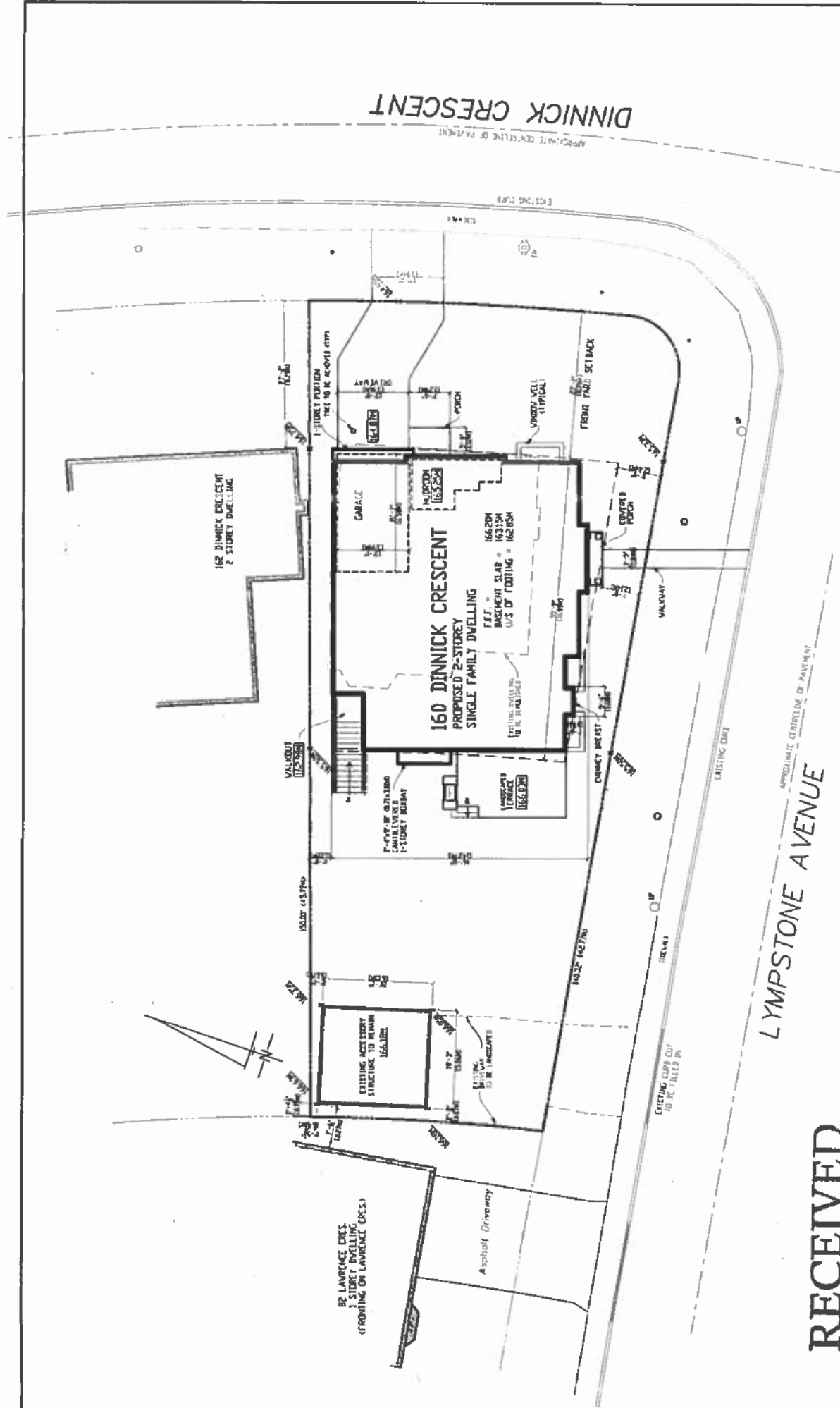
**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the Site Plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, April 11, 2017.  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



<b>MD</b> ManArch Design Inc. 1000 Bay Street, Suite 100 Toronto, ON M5G 1A5 Tel: (416) 593-2800 Fax: (416) 593-2801 Email: info@manarch.com		Project Name and Number <b>PROPOSED RESIDENCE AT          160 DINNICK CRESCENT          LAWRENCE PARK</b>
Site Plan <b>JAN 27 2017</b>	Scale <b>1/16" = 1'-0"</b>	Drawing & Cell # <b>201703 &amp; Cell 22/26/17</b>

**RECEIVED**

**APR 11 2017**

**CITY OF TORONTO PLANNING  
 NORTH YORK CIVIC CENTRE**

## 2) SIGNATURE PAGE

File Number:	A0115/17NY	Zoning	RD(F15.0, D0.35)/R1Z0.35[ZONING]
Owner:	HEDIJEH MEDAMY MEHRDAD SADEGUI	Ward:	Don Valley West (25)
Agent:	MAHIR MANIOS	Heritage:	Not Applicable
Property Address:	<b>160 DINNICK CRES</b>	Community:	Toronto
Legal Description:	PLAN 1534 LOT 197		

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Nazila Atarodi (signed)

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Derek Lett (signed)

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Isaac Lallouz (signed)

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Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 10, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

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Thursday, April 20, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0116/17NY	Zoning:	RD (fl 5.0; a550)(x)/ R4
Owner(s):	MARK STEINMAN MARIEL HELLER	Ward:	Eglinton-Lawrence (15)
Agent:	MAHIR MANIOS	Heritage:	Not Applicable
Property Address:	<b>149 VIEWMOUNT AVE</b>	Community:	North York
Legal Description:	PLAN 1766 W PT LOT 279 E PT LOT 280		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a two-storey rear addition to the existing building.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.20.(1), By-law No. 569-2013**  
The maximum permitted length of a building is 17.00m.  
The proposed building length is 18.59m.
- 2. Chapter 10.5.40.50.(2), By-law No. 569-2013**  
A platform without main walls attached to or within 0.30m of a building, must comply with minimum required building setbacks for the zone.  
The proposed side yard setback for the deck is 1.15m.
- 3. Chapter 10.5.80.40.(2), By-law No. 569-2013**  
Where an individual private driveway leads directly to the dwelling unit, the elevation of the lowest point of a vehicle entrance in a main wall of the building must be higher than the elevation of the centreline of the driveway at the point where it intersects a lot line abutting a street: 100.14m.  
The proposed elevation of the lowest point of a vehicle entrance in a main wall of the building is 99.26m.
- 4. Chapter 900.3.10(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 1.15m.
- 5. Chapter 900.3.10(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 1.29m.

- 6. Section 13.2.5a, By-law No. 7625**  
The maximum permitted length of a building is 16.80m.  
The proposed building length is 18.59m.
- 7. Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 1.15m.
- 8. Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 1.29m.
- 9. Section 6A(7)(d), By-law No. 7625**  
The elevation of the lowest point of an opening to an area may be used for parking or storage of a vehicle located inside or abutting the dwelling shall be:  
A) higher than the elevation of the street, arterial road or minor arterial road, the lot abuts measured at its centreline directly across from the driveway leading to the parking space, and  
B) higher than the elevation of a public lane that the lot abuts measured at its centreline directly across from the driveway leading to the parking space  
The proposal does not comply.
- 10. Section 6(24)(d), By-law No. 7625**  
The minimum side yard setback is 1.80m.  
The proposed deck is located 1.15m from the side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

### **The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The applicant is to provide permanent opaque screening or fencing along the northern edge of the proposed rear balcony/platform; with a minimum height of 1.5 metres from the floor of the balcony/platform.



## SIGNATURE PAGE

File Number:	A0116/17NY	Zoning	RD (fl 5.0; a550)(x)/ R4
Owner:	MARK STEINMAN MARIEL HELLER	Ward:	Eglinton-Lawrence (15)
Agent:	MAHIR MANIOS	Heritage:	Not Applicable
Property Address:	<b>149 VIEWMOUNT AVE</b>	Community:	North York
Legal Description:	PLAN 1766 W PT LOT 279 E PT LOT 280		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 10, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

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Thursday, April 20, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0117/17NY	Zoning	RD (ZW)
Owner(s):	GROVEPARK HOLDINGS LIMITED GROVEPARK HOLDINGS LIMITED	Ward:	Willowdale (23)
Agent:	GROVEPARK HOLDINGS LIMITED	Heritage:	Not Applicable
Property Address:	<b>157 FLORENCE AVE</b>	Community:	North York
Legal Description:	PLAN 1743 PT LOT 524 LOTS 525 TO 527 RP 66R28109 PARTS 1 TO 3		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached dwelling with attached garage. The existing structure will be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.5.80.40.(3), By-law No. 569-2013**

Vehicle access to a parking space on a corner lot must be from a flanking street that is a not a major street.  
The proposed vehicle access to a parking space is not from a flanking street.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0117/17NY	Zoning	RD (ZW)
Owner:	GROVEPARK HOLDINGS LIMITED GROVEPARK HOLDINGS LIMITED	Ward:	Willowdale (23)
Agent:	GROVEPARK HOLDINGS LIMITED	Heritage:	Not Applicable
Property Address:	<b>157 FLORENCE AVE</b>	Community:	North York
Legal Description:	PLAN 1743 PT LOT 524 LOTS 525 TO 527 RP 66R28109 PARTS 1 TO 3		

\_\_\_\_\_  
Bruce Mullock (signed)                      Nazila Atarodi (signed)                      Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 10, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

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Thursday, April 20, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0118/17NY	Zoning	RD/R4 [BLD]
Owner(s):	SAMANTHA FARJO	Ward:	Don Valley East (34)
Agent:	SKETCHWORKS INC	Heritage:	Not Applicable
Property Address:	<b>18 WIGMORE DR</b>	Community:	North York
Legal Description:	PLAN M683 LOT 227		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a second storey addition over the existing one-storey dwelling, in conjunction with a new attached garage, along with other interior and exterior alterations.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 900.3.10.(5)(X5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The existing and proposed north side yard setback is 1.33m.
- 2. Chapter 900.3.10.(5)(X5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed south side yard setback is 0.558m.
- 3. Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The existing and proposed north side yard setback is 1.33m.
- 4. Section 6(9)a, By-law No. 7625**  
The maximum permitted eave projection is 0.50m.  
The proposed eaves project 0.609m.
- 5. Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed south side yard setback is 0.558m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

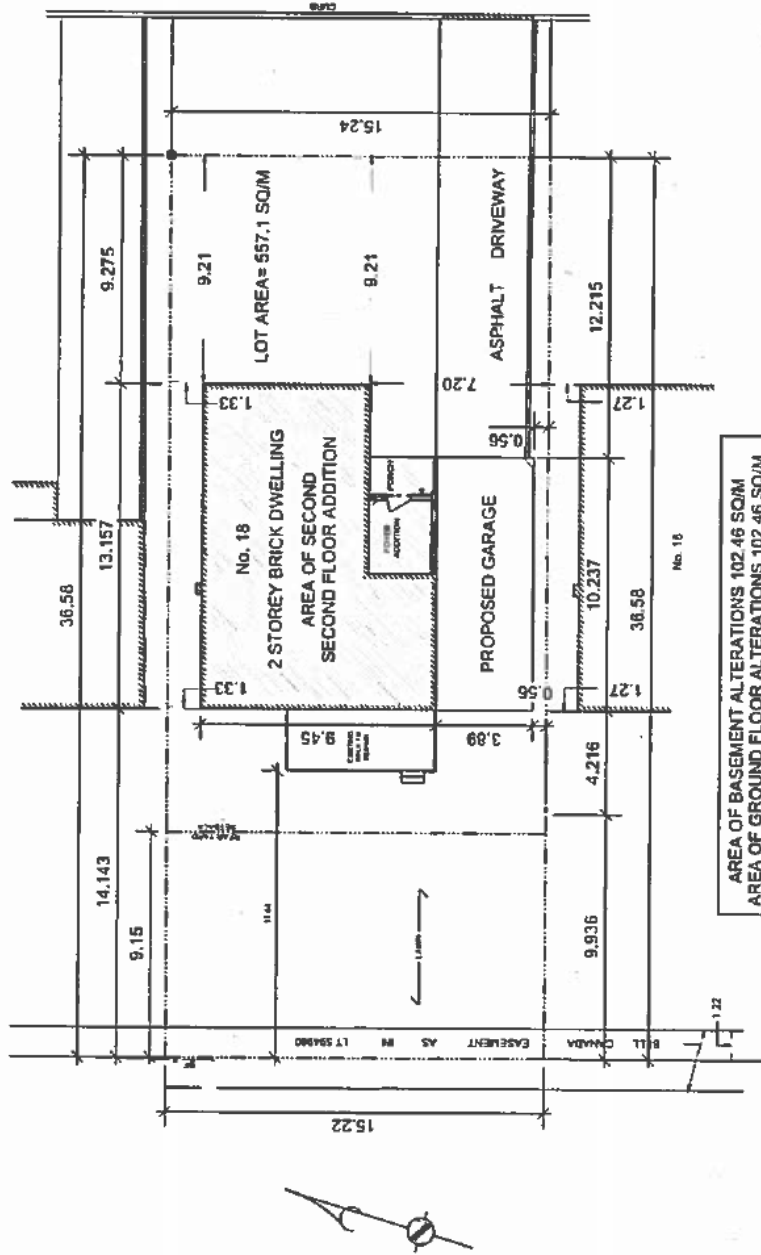
## **The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

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- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the Site Plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, April 11, 2017.  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



WIGMORE DRIVE

Site Statistics			
Lot Area	557.1 sq/m		
Zoning	RD' (R5, O; A550) (A5)		
Height			
Allowable Height	10.00 m		
Existing Height	4.58 m		
Proposed Height	8.98 m		
Lot Coverage			
Allowable	35.00%	194.98 sq/m	
Existing	25.90%	144.36 sq/m	
Proposed	30.55%	170.23 sq/m	
Gross Floor Area			
Existing	102.46 sq/m		
Proposed	222.48 sq/m		
Building Depth			
Allowable	17.0 m		
Existing	16.43 m		
Proposed	16.43 m		
Setbacks	Allowable	Existing	Proposed
Front	6.0 m	9.21 m	No Change
South Side	1.8 m	1.33 m	No Change
North Side	1.8 m	4.44 m	0.58 m
Rear	9.15 m	11.64 m	No Change
Backyard Landscape Coverage			(No Change)
Front Yard Landscape Coverage			(No Change)

RECEIVED

APR 11 2017

CITY OF TORONTO PLANNING  
NORTH YORK CIVIC CENTRE

<b>Sketchworks</b> Permits & Design	Check all dimensions on site and report all discrepancies to Sketchworks Inc. before proceeding. All original drawings and related documents are the copyright property of Sketchworks Inc. Reproduction in whole or in part is forbidden without prior written consent of the principals of Sketchworks Inc. These drawings and documents may not be used for any purposes other than for the project which they are prepared.	Sketchworks Inc. 2814 Hollington Cres. Mississauga, ON L4X 1E8	Project No. WIGMORE ADDITION 18 Wigmors Dr. Toronto, ON	Project No. 1,200 Sheet No. 1 of 14	
		Wigmors C of A	Date 02/05/2017 Case No. Wigmors C of A	The Fifth Ward Zone No. J5 Submitted by 	Site Plan



## SIGNATURE PAGE

File Number:	A0118/17NY	Zoning	RD/R4 [BLD]
Owner:	SAMANTHA FARJO	Ward:	Don Valley East (34)
Agent:	SKETCHWORKS INC	Heritage:	Not Applicable
Property Address:	<b>18 WIGMORE DR</b>	Community:	North York
Legal Description:	PLAN M683 LOT 227		

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Bruce Mullock (signed)

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Derek Lett (signed)

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Isaac Lallouz (signed)

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Nadini Sankar (signed)

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Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 10, 2017

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Thursday, April 20, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0119/17NY	Zoning	EH(1) X (45)/M3[ZONING]
Owner(s):	D F CONTROLS INC	Ward:	York West (08)
Agent:	GEORGE PAOLANTONIO AREUS DESIGN	Heritage:	Not Applicable
Property Address:	<b>79 BRISBANE RD</b>	Community:	North York
Legal Description:	PLAN M1060 PT BLK H RP R2877 PART 1		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a second floor addition above the existing one-storey building.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 60.30.40.70.(2), By-law No. 569-2013**  
The minimum required side yard setback is 3.0m.  
The existing and proposed side yard setback is 2.84m.
- 2. Chapter 60.5.80.10.(2), By-law No. 569-2013**  
The maximum permitted number of parking spaces is 5 for the first 15m of main wall.  
The proposed number of parking spaces is 22.
- 3. Section 32(5)a, By-law No. 7625**  
The minimum required side yard setback is 3.0m.  
The proposed east side yard setback is 2.84m.
- 4. Section 6A(2)a, By-law No. 7625**  
The minimum required number of parking spaces is 42.  
The proposed number parking spaces is 38.
- 5. Section 6(A), By-law No. 7625**  
The maximum permitted number of parking spaces in the front yard is 4.  
The proposed number of parking spaces is 22.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

## **The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0119/17NY	Zoning	EH(1) X (45)/M3[ZONING]
Owner:	D F CONTROLS INC	Ward:	York West (08)
Agent:	GEORGE PAOLANTONIO AREUS DESIGN	Heritage:	Not Applicable
Property Address:	<b>79 BRISBANE RD</b>	Community:	North York
Legal Description:	PLAN M1060 PT BLK H RP R2877 PART 1		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 10, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

**Appeal Information**

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- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.\*\*

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

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Thursday, April 20, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0121/17NY	Zoning	RD / R6 (ZW)
Owner(s):	MARIE ROY MARIE ROY	Ward:	Willowdale (23)
Agent:	AJT DESIGN	Heritage:	Not Applicable
Property Address:	<b>89 POYNTZ AVE</b>	Community:	North York
Legal Description:	PLAN 1743 LOTS 640 & 641		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct an addition to the existing dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.100.1.(2), By-law No. 569-2017**  
The permitted driveway width is 3.17 m.  
The proposed driveway width is **5.50m**.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2017**  
In the RD zone with a minimum required lot frontage of 18.0 metres or less, the permitted maximum building length for detached house is 17.0 m.  
The proposed length will be 17.17 m.
- 3. Chapter 10.20.40.30.(1), By-law No. 569-2017**  
The permitted maximum building depth for a detached house is 19.0 m.  
The proposed building depth is 19.11 m.
- 4. Section 14-A(5)c, By-law No. 7625**  
The minimum required side yard setback is 1.8 m from lots with a frontage greater than 15 m.  
The proposed west side yard setback is 1.2 m.
- 5. Section 14-A(9), By-law No. 7625**  
The maximum permitted building length is 17 m.  
The proposed building length is 17.7 m

**6. 6(9)(j), By-law No. 7625**

Canopies 2.3 m<sup>2</sup> or less in area shall be permitted to project into one minimum side yard setback no more than 1.6 m, but no closer than 0.6 m from any side lot line.

The proposed canopy is 4.17 m<sup>2</sup>.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.



**SIGNATURE PAGE**

File Number:	A0121/17NY	Zoning	RD / R6 (ZW)
Owner:	MARIE ROY MARIE ROY	Ward:	Willowdale (23)
Agent:	AJT DESIGN	Heritage:	Not Applicable
Property Address:	<b>89 POYNTZ AVE</b>	Community:	North York
Legal Description:	PLAN 1743 LOTS 640 & 641		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 10, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

**Appeal Information**

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Thursday, April 20, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0122/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	PANAGIOTS PENESIS	Ward:	Don Valley East (34)
Agent:	PANAGIOTS PENESIS	Heritage:	Not Applicable
Property Address:	<b>4 WIGMORE DR</b>	Community:	North York
Legal Description:	PLAN M683 LOT 220		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a two-storey addition to the south west portion of the existing one-storey dwelling, in conjunction with a second storey addition over the existing garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 900.3.10.(5)(X5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The existing and proposed south side yard setback is 1.28m.
- 2. Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The existing and proposed south side yard setback is 1.28m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

## SIGNATURE PAGE

File Number:	A0122/17NY	Zoning	RD/R4 [ZZC]
Owner:	PANAGIOTS PENESIS	Ward:	Don Valley East (34)
Agent:	PANAGIOTS PENESIS	Heritage:	Not Applicable
Property Address:	<b>4 WIGMORE DR</b>	Community:	North York
Legal Description:	PLAN M683 LOT 220		

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Bruce Mullock (signed)

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Derek Lett (signed)

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Isaac Lallouz (signed)

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Nadini Sankar (signed)

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Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 10, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

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Thursday, April 20, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0123/17NY	Zoning	RD/R3[ZONING]
Owner(s):	LESLEY SPITZEN JORDAN GOODMAN	Ward:	York Centre (10)
Agent:	MICHAEL COGAN ARCHITECT	Heritage:	Not Applicable
Property Address:	<b>89 BIDEWELL AVE</b>	Community:	North York
Legal Description:	PLAN 1841 LOT 350		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.70.(2), By-law No. 569-2013**  
The minimum required rear yard setback 9.70m.  
The proposed rear yard setback is 7.9m.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 30.87% of the lot area.
- 3. Section 12.6, By-law No. 7625**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 30.87% of the lot area.
- 4. Section 12.5A, By-law No. 7625**  
The maximum permitted building length is 16.8m.  
The proposed building length is 16.99m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

## **The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

**1) The requirements of the Parks and Recreation, Urban Forestry Division;**

- i) Submission of a complete application for permit to injure or remove privately owned trees.

**SIGNATURE PAGE**

File Number:	A0123/17NY	Zoning	RD/R3[ZONING]
Owner:	LESLEY SPITZEN JORDAN GOODMAN	Ward:	York Centre (10)
Agent:	MICHAEL COGAN ARCHITECT	Heritage:	Not Applicable
Property Address:	<b>89 BIDEWELL AVE</b>	Community:	North York
Legal Description:	PLAN 1841 LOT 350		

\_\_\_\_\_  
Bruce Mullock (signed)                      Derek Lett (signed)                      Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)                      Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 10, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

**Appeal Information**

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Thursday, April 20, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0124/17NY	Zoning	RD(f7.5; d0.6)(x1410) / R1 (0.6) [ZZC]
Owner(s):	M2C INVESTMENTS LIMITED	Ward:	Eglinton-Lawrence (16)
Agent:	ANDREW DEANE	Heritage:	Not Applicable
Property Address:	<b>23 LATIMER AVE</b>	Community:	Toronto
Legal Description:	PLAN M387 PT LOT 52		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new three-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.40.10.(5), By-law No. 569-2013**  
A minimum of 10.00m<sup>2</sup> of the first floor area must be within 4.00m of the front wall.  
There is **5.85m<sup>2</sup>** floor area proposed within 4.00m of the front wall.
- Chapter 10.5.50.10.(1) (B), By-law No. 569-2013**  
A minimum of 50.00% of the front yard must be landscaping: 27.31m<sup>2</sup>.  
The proposed front yard landscaping area is 42.00%: 23.04m<sup>2</sup>.
- Chapter 10.5.50.10.(1) (D), By-law No. 569-2013**  
A minimum of 75.00% of the required front yard landscaping must be soft landscaping: 20.48m<sup>2</sup>.  
The proposed front yard soft landscaping area is 70.00%: 19.30m<sup>2</sup>.
- Chapter 10.20.40.10.(4) (A), By-law No. 569-2013**  
The maximum permitted building height is 7.20m.  
The proposed height of the building is **9.00m**.
- Chapter 10.20.40.10.(4) (C), By-law No. 569-2013**  
The maximum permitted number of storeys is two.  
The proposed number of storeys is three.
- Chapter 10.20.40.10.(6) 6), By-law No. 569-2013**  
The maximum permitted height of the first floor is 1.20m.  
The proposed height of the first floor is **2.54m**.

7. **Chapter 10.20.40.20.(1), By-law No. 569-2013**  
The maximum permitted building length for a detached house is 17.00m.  
The proposed building length is **18.03m**.
8. **Chapter 10.20.40.40.(1) A), By-law No. 569-2013**  
The maximum permitted floor space index is 0.60 times the area of the lot.  
The proposed floor space index is **1.09** times the area of the lot.
9. **Chapter 10.20.40.50.(1) B), By-law No. 569-2013**  
The maximum area of each platform at or above the second storey is 4.00m<sup>2</sup>.  
The proposed area of each platform at or above the second storey is **6.82m<sup>2</sup>**.
10. **Chapter 10.20.40.70.(1), By-law No. 569-2013**  
The minimum required front yard setback is 7.65m.  
The proposed front yard setback is 6.73m.
11. **Chapter 10.20.40.70.(3) B), By-law No. 569-2013**  
The minimum required side yard setback is 0.90m.  
The proposed north side yard setback is 0.75m.
12. **Chapter 10.5.40.60.(1) (D), By-law No. 569-2013**  
A platform without main walls, attached to a building, with a floor higher than the first floor of the building above established grade may encroach into the setback 1.50m if it is no closer than 3.00m to a side lot line.  
The proposed platform encroaches **1.45m** into the rear yard setback, is 1.37m from the north side lot line.
13. **Chapter 10.5.40.60.(1) (D), By-law No. 569-2013**  
A platform without main walls, attached to a building, with a floor higher than the first floor of the building above established grade may encroach into the setback 1.50m if it is no closer than 3.00m to a side lot line.  
The proposed platform encroaches **1.45m** into the rear yard setback, and 1.66m from the south side lot line.
14. **Section 6(3) Part I 1, By-law No. 438-86**  
The maximum gross floor area is 0.60 times the area of the lot.  
The proposed gross floor area **0.84** times the area of the lot.
15. **Section 6(3) Part II 2(II), By-law No. 438-86**  
The minimum required front yard setback is 7.65m.  
The proposed front yard setback is 6.73m.
16. **Section 6(3) Part III 3(A), By-law No. 438-86**  
The minimum required landscaped area is 50.00% of the area between the front lot line and front main wall: 27.32m<sup>2</sup>.  
The proposed landscaped space is 23.04m<sup>2</sup>.
17. **Section Part II 3.B(II), By-law No. 438-86**  
The minimum required side lot setback is 0.90m.  
The proposed north side yard setback is 0.75m.
18. **Section 4(2) A) By-law No. 438-86**  
The maximum required height of a building is 9.00m.  
The proposed height of the building is **8.70m**.
19. **Section 6(3) Part IV 3(I), by-law No. 438-86**  
The by-law does not permit a lot having frontage less than 7.62m where access to the garage is located below grade and on a wall facing the front lot line.  
The proposed integral garage is on a wall facing the front lot line.

20. **Section 6(3) Part IV 3(II), By-law No. 438-86**  
The by-law does not permit a lot where the floor level of the garage is located below grade and access to the garage is on a wall facing the front lot line.  
The proposed integral garage is below grade.
21. **Section 6(3) Part II 3.B(II), By-law No. 438-86**  
The minimum required side yard setback after 17.00m of building depth is 7.50m.  
The proposed north side yard setback is 0.75m.
22. **Section 6(3) Part II 3.B(II), By-law No. 438-86**  
The minimum required side yard setback after 17.00m of building depth is 7.50m.  
The proposed south side yard setback is 1.04m.
23. **Section 6(3) Part II 8 D(I), By-law No. 438-86**  
The height of an uncovered platform projecting into setbacks can be no more than 1.20m above grade.  
The proposed height of the platform is **1.65m** above grade.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

### **The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

## SIGNATURE PAGE

File Number:	A0124/17NY	Zoning	RD(f7.5; d0.6)(x1410) / R1 (0.6) [ZZC]
Owner:	M2C INVESTMENTS LIMITED	Ward:	Eglinton-Lawrence (16)
Agent:	ANDREW DEANE	Heritage:	Not Applicable
Property Address:	<b>23 LATIMER AVE</b>	Community:	Toronto
Legal Description:	PLAN M387 PT LOT 52		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 10, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

### Appeal Information

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Thursday, April 20, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0125/17NY	Zoning	RD / R6 (ZW)
Owner(s):	BABAK HAJI GHASSEMI	Ward:	Willowdale (23)
Agent:	ARKLAB INC	Heritage:	Not Applicable
Property Address:	<b>223 FLORENCE AVE</b>	Community:	North York
Legal Description:	PLAN 1743 PT LOTS 569 & 570		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new dwelling with attached garage. The existing dwelling will be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**  
A minimum of 10 m<sup>2</sup> of first floor area must be within 4 m of the front wall.  
There is 6.81 m<sup>2</sup> proposed within 4 m of the front wall.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The permitted maximum lot coverage is 30% of lot area.  
The proposed lot coverage is 31.98%.
- 3. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of all front exterior main walls is 7.5 m.  
The proposed height of the front exterior main wall is 8.51 m.
- 4. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of all rear exterior main walls is 7.5 m.  
The proposed height of the rear exterior main wall is 8.51 m.
- 6. Section 14-A(6), By-law No. 7625**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 31.98% of the lot area.
- 7. Section 14-A(8), By-law No. 7625**  
The maximum permitted building height is 8.8 m.  
The proposed building height is 9.02 m.

**8. Section 6(30)a, By-law No. 7625**  
The maximum finished first floor height is 1.5 m.  
The proposed finished first floor height is 1.65 m.

**9. Section 14-A(9), By-law No. 7625**  
The maximum permitted building length is 15.3 m.  
The proposed building length is 15.82 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.



**SIGNATURE PAGE**

File Number:	A0125/17NY	Zoning	RD / R6 (ZW)
Owner:	BABAK HAJI GHASSEMI	Ward:	Willowdale (23)
Agent:	ARKLAB INC	Heritage:	Not Applicable
Property Address:	<b>223 FLORENCE AVE</b>	Community:	North York
Legal Description:	PLAN 1743 PT LOTS 569 & 570		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 10, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

**Appeal Information**

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Thursday, April 20, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0129/17NY	Zoning	R1 Z0.35/RD (f9.0; d0.35) (x961)[ZONING]
Owner(s):	LESLIE ATILA SOOS KAREN MC GREGOR SOOS	Ward:	Eglinton-Lawrence (16)
Agent:	ANDREW DEANE	Heritage:	Not Applicable
Property Address:	<b>206 GLENVIEW AVE</b>	Community:	Toronto
Legal Description:	PLAN M299 LOT 29		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a two-storey rear addition and a third floor addition above the existing two-storey dwelling. The applicant is also proposing to construct a two-storey front bay window. .

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.10.(4), By-law No. 569-2013**  
The maximum permitted building height is 7.2m.  
The proposed building height is 9.46m.
- 2. Chapter 10.20.40.10.(4), By-law No. 569-2013**  
The maximum permitted number of storeys is 2.  
The proposed number of storeys is 3.
- 3. Chapter 10.20.40.40.(1), By-law No. 569-2013**  
The maximum permitted Floor Space Index is 0.35 times the area of the lot.  
The proposed Floor Space Index is **0.593** times the area of the lot.
- 4. Chapter 10.20.40.20.(1), By-law No. 569-2013**  
The maximum permitted building length is 17.0m.  
The proposed building length is **18.75m**.
- 5. Chapter 200.5.10.1.(1), By-law No. 569-2013**  
The minimum required number of parking spaces is 1.  
The proposed number of parking space is 0.

- 6. Section 6(3) Part I 1, By-law No. 438-86**  
The maximum permitted Gross Floor Area is 0.35 times the area of the lot.  
The proposed Gross Floor Area is **0.593** times the area of the lot.
- 7. Section 6(3) Part II 3.B(II), By-law No. 438-86**  
The minimum required side lot line setback for that portion of the building not exceeding 17.0m in depth is 0.9m.  
The proposed east side lot line setback is 0.37m.
- 8. Section 6(3) Part II 3.B(II), By-law No. 438-86**  
The minimum required side lot line setback from the side lot line for that portion of the building exceeding 17.0m in depth is 7.5m.  
The proposed east side lot line setback is 1.01m.
- 9. Section 6(3) Part II 3.B(II), By-law No. 438-86**  
The minimum required side lot line setback from the side lot line for that portion of the building exceeding 17.0m in depth is 7.5m.  
The proposed west side lot line setback is 1.04m.
- 10. Section 4(5)(B), By-law No. 438-86**  
The minimum required number of parking space is 1.  
The proposed number of parking space is 0.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

- 2. Chapter 10.20.40.10.(4), By-law No. 569-2013**  
The maximum permitted number of storeys is 2.  
The proposed number of storeys is 3.
- 5. Chapter 200.5.10.1.(1), By-law No. 569-2013**  
The minimum required number of parking spaces is 1.  
The proposed number of parking space is 0.
- 7. Section 6(3) Part II 3.B(II), By-law No. 438-86**  
The minimum required side lot line setback for that portion of the building not exceeding 17.0m in depth is 0.9m.  
The proposed east side lot line setback is 0.37m.
- 8. Section 6(3) Part II 3.B(II), By-law No. 438-86**  
The minimum required side lot line setback from the side lot line for that portion of the building exceeding 17.0m in depth is 7.5m.  
The proposed east side lot line setback is 1.01m.
- 9. Section 6(3) Part II 3.B(II), By-law No. 438-86**  
The minimum required side lot line setback from the side lot line for that portion of the building exceeding 17.0m in depth is 7.5m.  
The proposed west side lot line setback is 1.04m.

- 10. Section 4(5)(B), By-law No. 438-86**  
The minimum required number of parking space is 1.  
The proposed number of parking space is 0.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

- 1. Chapter 10.20.40.10.(4), By-law No. 569-2013**  
The maximum permitted building height is 7.2m.  
The proposed building height is **9.1m**.
- 3. Chapter 10.20.40.40.(1), By-law No. 569-2013**  
The maximum permitted Floor Space Index is 0.35 times the area of the lot.  
The proposed Floor Space Index is **0.56** times the area of the lot.
- 4. Chapter 10.20.40.20.(1), By-law No. 569-2013**  
The maximum permitted building length is 17.0m.  
The proposed building length is **17.50m**.
- 6. Section 6(3) Part I 1, By-law No. 438-86**  
The maximum permitted Gross Floor Area is 0.35 times the area of the lot.  
The proposed Gross Floor Area is **0.56** times the area of the lot.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0129/17NY	Zoning	R1 Z0.35/RD (f9.0; d0.35) (x961)[ZONING]
Owner:	LESLIE ATTILA SOOS KAREN MC GREGOR SOOS	Ward:	Eglinton-Lawrence (16)
Agent:	ANDREW DEANE	Heritage:	Not Applicable
Property Address:	<b>206 GLENVIEW AVE</b>	Community:	Toronto
Legal Description:	PLAN M299 LOT 29		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 10, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

**Appeal Information**

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Thursday, April 20, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0130/17NY	Zoning	RD (f9.0; a275; d0.45)/ R1A [ZZC]
Owner(s):	ARIO MIRIAN	Ward:	Don Valley West (26)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>210 DONLEA DR</b>	Community:	East York
Legal Description:	PLAN 1925 LOT 272		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling with integral garage. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.10.(1), By-law No. 569-2013**  
The maximum permitted height of a building is 8.50m.  
The proposed height of a building is 8.80m.
- 2. Chapter 10.20.40.40.(1), By-law No. 569-2013**  
The maximum permitted floor space index is 0.450 times the area of the lot.  
The proposed floor space index is **0.56** times the area of the lot.
- 3. Section 6.2.3, By-law No. 1916**  
The maximum permitted building height is 8.50m.  
The proposed building height is 8.80m.
- 4. Section 6.2.3, By-law No. 1916**  
The maximum permitted floor space index is 0.450 times the lot area.  
The proposed floor space index is **0.56** times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**



It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0130/17NY	Zoning	RD (f9.0; a275; d0.45)/ R1A [ZZC]
Owner:	ARIO MIRIAN	Ward:	Don Valley West (26)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>210 DONLEA DR</b>	Community:	East York
Legal Description:	PLAN 1925 LOT 272		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 10, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

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Thursday, April 20, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0131/17NY	Zoning	RD / R4 (ZR)
Owner(s):	TSUNG HUNG TSAI	Ward:	Willowdale (23)
Agent:	DREW LASZLO ARCHITECT INC	Heritage:	Not Applicable
Property Address:	<b>288 KINGSDALE AVE</b>	Community:	North York
Legal Description:	PLAN 1790 LOT 518 PT LOT 517		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new dwelling with attached garage. The existing dwelling will be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The permitted maximum lot coverage is 30% of the lot area.  
The proposed lot coverage is 31.95% of the lot area.
- 2. Chapter 10.20.40.70.(4), By-law No. 569-2013**  
The required minimum side yard setback is 1.8 m where the required minimum frontage is 12.0 m to less than 18.0 m.  
The proposed west side yard setback is 1.52 m.
- 3. Chapter 10.20.40.70.(4), By-law No. 569-2013**  
The required minimum side yard setback is 1.8 m where the required minimum frontage is 12.0 m to less than 18.0 m.  
The proposed east side yard setback is 1.37 m.
- 4. Section 13.2.2, By-law No. 7625**  
The minimum required lot area is 550 m<sup>2</sup>.  
The proposed lot area is 532.71 m<sup>2</sup>.
- 5. Section 13.2.1, By-law No. 7625**  
The minimum required lot frontage is 15 m.  
The proposed lot frontage is 14.33 m

6. **Section 6(8), By-law No. 7625**  
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.
7. **Section 13.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 31.95% of the lot area.
8. **Section 13.2.3(b), By-law No. 7625**  
The minimum required west side yard setback is 1.8 m.  
The proposed west side yard setback is 1.52 m
9. **Section 13.2.3(b), By-law No. 7625**  
The minimum required east side yard setback is 1.8 m.  
The proposed east side yard setback is 1.37 m.
10. **Section 13.2.5A, By-law No. 7625**  
The maximum permitted building length is 16.8 m  
The proposed building length is 17 m.
11. **Section 13.2.6, By-law No. 7625**  
The maximum permitted building height is 8.8 m.  
The proposed building height is 9.46 m.
12. **Section 13.2.6A, By-law No. 7625**  
The maximum permitted balcony area is 3.8 m<sup>2</sup>.  
The proposed balcony area is 3.9 m<sup>2</sup>.
13. **Section 6(24), By-law No. 7625**  
The maximum rear deck projection is 2.1 m and the width is 5.71 m.  
The proposed rear deck projection is 3.66 m and the width is 8.57 m.
14. **Section 6(30)a, By-law No. 7625**  
The maximum finished first floor height is 1.5 m.  
The proposed finished first floor height is 1.89 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

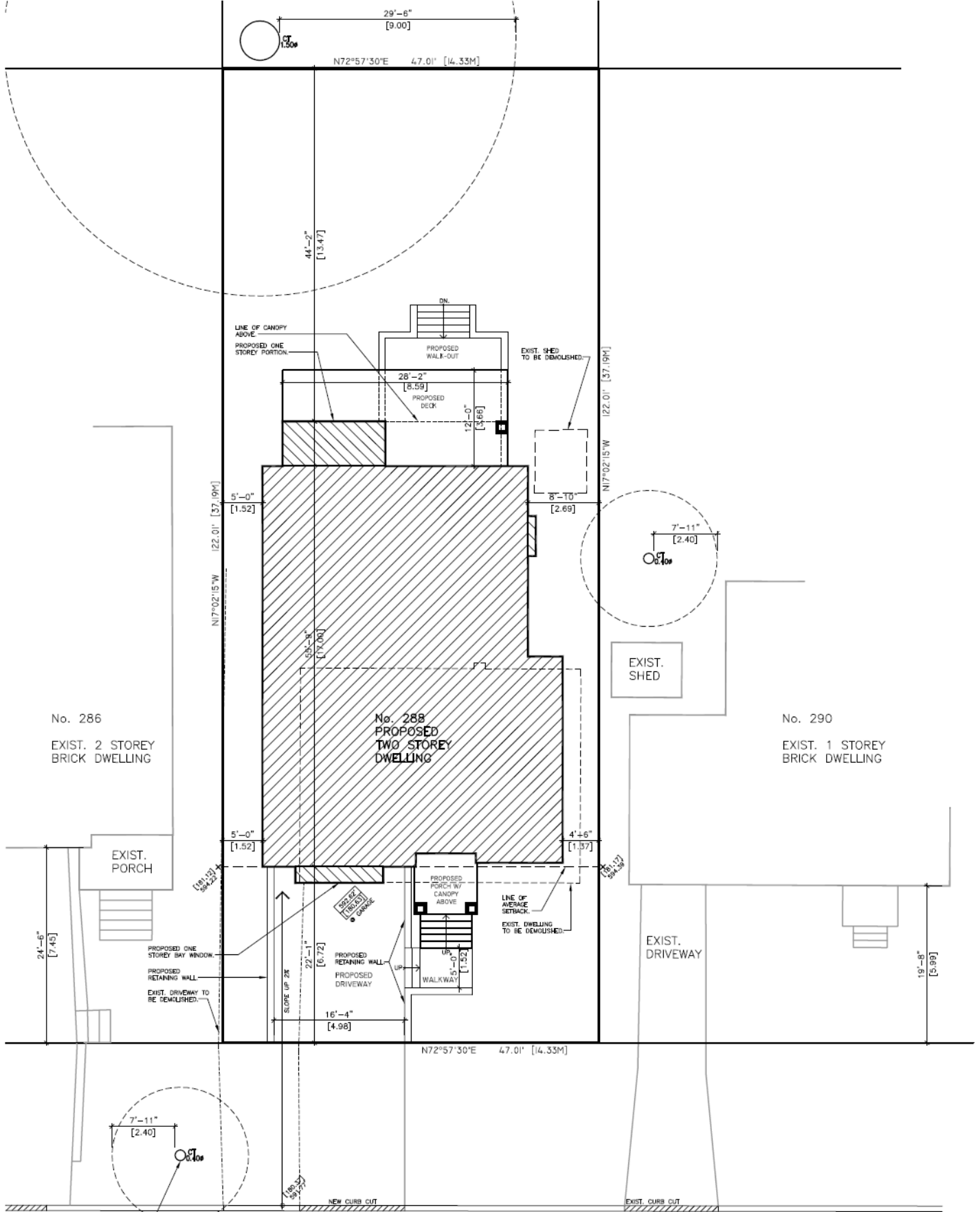
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

1) **The requirements of the Parks and Recreation, Urban Forestry Division.**

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one

street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

- 2) The property being developed essentially in accordance with the site plan attached to this decision. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



No. 286  
EXIST. 2 STOREY  
BRICK DWELLING

No. 288  
PROPOSED  
TWO STOREY  
DWELLING

No. 290  
EXIST. 1 STOREY  
BRICK DWELLING

SURVEY INFORMATION PROVIDED BY:  
MANDARIN SURVEYORS LIMITED INC.,  
ONTARIO LAND SURVEYORS,  
AUGUST, 2015.

KINGSDALE AVENUE

SITE PLAN  
1:200  
288 KINGSDALE AVE.

DREW LASZLO ARCHITECT  
416 781 5800



## SIGNATURE PAGE

File Number:	A0131/17NY	Zoning	RD / R4 (ZR)
Owner:	TSUNG HUNG TSAI	Ward:	Willowdale (23)
Agent:	DREW LASZLO ARCHITECT INC	Heritage:	Not Applicable
Property Address:	<b>288 KINGSDALE AVE</b>	Community:	North York
Legal Description:	PLAN 1790 LOT 518 PT LOT 517		

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Bruce Mullock (signed)

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Derek Lett (signed)

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Isaac Lallouz (signed)

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Nadini Sankar (signed)

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Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 10, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

### Appeal Information

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- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.\*\*

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Thursday, April 20, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0132/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	CHUNMEI QIAN	Ward:	Willowdale (24)
Agent:	URBANSCAPE GROUP LIMITED	Heritage:	Not Applicable
Property Address:	<b>218 NEWTON DR</b>	Community:	North York
Legal Description:	PLAN 4855 LOT 44		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.40.50.(2), By-law No. 569-2013**  
The minimum required side yard setback for a platform is 1.80m.  
The proposed east side yard setback for the platform is 1.52m.
- 2. Chapter 900.3.10.(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 1.52m.
- 3. Chapter 900.3.10.(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 1.52m.
- 4. Chapter 10.20.40.20.(1), By-law No. 569-2013**  
The maximum permitted building length is 17.00m.  
The proposed building length is 17.63m.
- 5. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The maximum permitted height of all rear exterior main walls is 7.50m.  
The proposed height of the rear main wall is 8.30m.
- 6. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m for 100.00% of the width of the walls.

The proposed height of the east side exterior main wall is 8.91m for 12.15% of the width of the wall.

**7. Chapter 10.20.40.10.(2), By-law No. 569-2013**

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m for 100.00% of the width of the walls.

The proposed height of the west side exterior main wall is 8.75m for 8.06% of the width of the wall.

**8. Section 13.2.3(b), By-law No. 7625**

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.52m.

**9. Section 6(24), By-law No. 7625**

The minimum required side yard setback is 1.80m for rear deck.

The proposed east side yard setback is 1.52m for rear deck.

**10. Section 13.2.3(b), By-law No. 7625**

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.52m.

**11. Section 13.2.5A, By-law No. 7625**

The maximum permitted building length is 16.80m.

The proposed building length is 18.41m.

**12. Section 13.2.6, By-law No. 7625**

The maximum permitted building height is 8.80m.

The proposed building height is 9.24m.

**13. Section 6(30), By-law No. 7625**

The maximum permitted finished first floor height is 1.50m.

The proposed finished first floor height is 1.59m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

**4. Chapter 10.20.40.20.(1), By-law No. 569-2013**

The maximum permitted building length is 17.00m.

The proposed building length is 17.63m.

**5. Chapter 10.20.40.10.(2), By-law No. 569-2013**

The maximum permitted height of all rear exterior main walls is 7.50m.

The proposed height of the rear main wall is 8.30m.

**6. Chapter 10.20.40.10.(2), By-law No. 569-2013**

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m for 100.00% of the width of the walls.

The proposed height of the east side exterior main wall is 8.91m for 12.15% of the width of the wall.

7. **Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m for 100.00% of the width of the walls.  
The proposed height of the west side exterior main wall is 8.75m for 8.06% of the width of the wall.
11. **Section 13.2.5A, By-law No. 7625**  
The maximum permitted building length is 16.80m.  
The proposed building length is 18.41m.
12. **Section 13.2.6, By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 9.24m.
13. **Section 6(30), By-law No. 7625**  
The maximum permitted finished first floor height is 1.50m.  
The proposed finished first floor height is 1.59m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

1. **Chapter 10.5.40.50.(2), By-law No. 569-2013**  
The minimum required side yard setback for a platform is 1.80m.  
The proposed east side yard setback for the platform is 1.52m.
2. **Chapter 900.3.10.(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 1.52m.
3. **Chapter 900.3.10.(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 1.52m.
8. **Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 1.52m.
9. **Section 6(24), By-law No. 7625**  
The minimum required side yard setback is 1.80m for rear deck.  
The proposed east side yard setback is 1.52m for rear deck.
10. **Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 1.52m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.

- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

## SIGNATURE PAGE

File Number:	A0132/17NY	Zoning	RD/R4 [ZZC]
Owner:	CHUNMEI QIAN	Ward:	Willowdale (24)
Agent:	URBANSCAPE GROUP LIMITED	Heritage:	Not Applicable
Property Address:	<b>218 NEWTON DR</b>	Community:	North York
Legal Description:	PLAN 4855 LOT 44		

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Bruce Mullock (signed)

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Derek Lett (signed)

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Isaac Lallouz (signed)

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Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 10, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

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Thursday, April 20, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0133/17NY	Zoning	R3/RD[WAIVER]
Owner(s):	HUA FAN	Ward:	Willowdale (24)
Agent:	URBANSCAPE GROUP LIMITED	Heritage:	Not Applicable
Property Address:	<b>55 SUMNER HEIGHTS DR</b>	Community:	North York
Legal Description:	PLAN 5099 E PT LOT 136 E PT LOT 137		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage **32.88%** of the lot area.
- 2. Chapter 900.3.10(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.8m.  
The proposed west side yard setback is **1.60m**.
- 3. Chapter 10.20.40.70.(1), By-law No. 569-2013**  
The minimum required front yard setback is 8.44m.  
The proposed front yard setback is **7.80m**.
- 4. Chapter 10.20.40.10.(4), By-law No. 569-2013**  
The maximum permitted building height for a flat roof is 7.2m.  
The proposed building height is **7.57m**.
- 5. Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.8m.  
The proposed west side yard setback is **1.60m**.
- 6. Section 13.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage **32.88%** of the lot area.



7. **Section 12.7A, By-law No. 7625**  
The maximum permitted balcony area is 3.8m<sup>2</sup>.  
The proposed rear second storey balcony area is 7.46m<sup>2</sup>.

8. **Section 6.9 F, By-law No. 7625**  
The maximum permitted porch projection into the minimum front yard setback is 2.1m.  
The proposed porch projection into the minimum front yard setback is 3.16m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. **Chapter 900.3.10(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.8m.  
The proposed west side yard setback is **1.60m**.
3. **Chapter 10.20.40.70.(1), By-law No. 569-2013**  
The minimum required front yard setback is 8.44m.  
The proposed front yard setback is **7.80m**.
4. **Chapter 10.20.40.10.(4), By-law No. 569-2013**  
The maximum permitted building height for a flat roof is 7.2m.  
The proposed building height is 7.57m.
5. **Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.8m.  
The proposed west side yard setback is **1.60m**.
7. **Section 12.7A, By-law No. 7625**  
The maximum permitted balcony area is 3.8m<sup>2</sup>.  
The proposed rear second storey balcony area is 7.46m<sup>2</sup>.
8. **Section 6.9 F, By-law No. 7625**  
The maximum permitted porch projection into the minimum front yard setback is 2.1m.  
The proposed porch projection into the minimum front yard setback is 3.16m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

1. **Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage **32.88%** of the lot area.

**6. Section 13.2.4, By-law No. 7625**

The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage **32.88%** of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

1. Prior to the issuance of a demolition and/or building permit, the Owner/Applicant shall obtain a ravine permit or clearance from RNFP. The permit or clearance may be subject to conditions including:
  - a. The Owner/Applicant shall prepare a 3-year ravine stewardship plan that includes the removal of the existing stair structure located within the 10m buffer/setback from the top of bank, to the satisfaction of RNFP.
  - b. The Owner/Applicant shall submit financial security to RNFP in the form of a Letter of Credit or certified cheque payable to Treasurer, City of Toronto, in the amount is equal to 120% of the submitted cost estimate (or the City's estimated cost) of preparing, implementing, installing and/or maintaining the approved stewardship plan.
2. Prior to the issuance of a demolition and/or building permit, the Owner/Applicant shall protect all ravine protected trees on the property and adjacent properties, not approved for removal or injury, to the satisfaction of RNFP.
3. The Owner/Applicant shall plant native trees to the satisfaction of RNFP as compensation for any ravine protected trees permitted to be removed or injured and for loss of protected area to permanent hard surface features.
4. The requirements of the Toronto and Region Conservation Authority.

**SIGNATURE PAGE**

File Number:	A0133/17NY	Zoning	R3/RD[WAIVER]
Owner:	HUA FAN	Ward:	Willowdale (24)
Agent:	URBANSCAPE GROUP LIMITED	Heritage:	Not Applicable
Property Address:	<b>55 SUMNER HEIGHTS DR</b>	Community:	North York
Legal Description:	PLAN 5099 E PT LOT 136 E PT LOT 137		

\_\_\_\_\_  
Bruce Mullock (signed)                      Derek Lett (signed)                      Isaac Lallouz (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 10, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

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Thursday, April 20, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0136/17NY	Zoning	RD/R6 [ZZC]
Owner(s):	625 COLDSTREAM AVENUE INC	Ward:	Eglinton-Lawrence (15)
Agent:	STAVROS THEODORAKOPOULOS	Heritage:	Not Applicable
Property Address:	<b>625 COLDSTREAM AVE</b>	Community:	North York
Legal Description:	PLAN 3436 LOT 34		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**  
A minimum of 10.00m<sup>2</sup> of the first floor area must be within 4.00m of the main front wall.  
The proposed first floor area is less than 10.00m<sup>2</sup> and is not within 4.00m of the main front wall.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 35.00% of the lot area.  
The proposed lot coverage is 37.30% of the lot area.
- 3. Section 14-A(6), By-law No. 7625**  
The maximum permitted lot coverage is 35.00% of the lot area.  
The proposed lot coverage is 37.30% of the lot area.
- 4. Section 6(24), By-law No. 7625**  
The maximum permitted deck encroachment is 2.10m.  
The proposed deck encroaches 3.20m.
- 5. Section 6(9)(I), By-law No. 7625**  
The maximum permitted canopy encroachment is 1.80m.  
The proposed canopy encroaches 2.35m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

## SIGNATURE PAGE

File Number:	A0136/17NY	Zoning	RD/R6 [ZZC]
Owner:	625 COLDSTREAM AVENUE INC	Ward:	Eglinton-Lawrence (15)
Agent:	STAVROS THEODORAKOPOULOS	Heritage:	Not Applicable
Property Address:	<b>625 COLDSTREAM AVE</b>	Community:	North York
Legal Description:	PLAN 3436 LOT 34		

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Bruce Mullock (signed)

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Derek Lett (signed)

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Isaac Lallouz (signed)

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Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 10, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

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Thursday, April 20, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0137/17NY	Zoning	RD (f9.0; a275; d0.45)/R1A[ZONING]
Owner(s):	LASZLO PAPP ANAT PAPP	Ward:	Don Valley West (26)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>170 PARKHURST BLVD</b>	Community:	East York
Legal Description:	PLAN 1925 PT LOT 540 PT LOT 541		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 35% of the lot area.  
The proposed lot coverage is 37.6% of the lot area.
- 2. Chapter 10.20.40.40.(1), By-law No. 569-2013**  
The maximum permitted Floor Space Index is 0.45 times the area of the lot.  
The proposed Floor Space Index is 0.6 times the area of the lot.
- 3. Chapter 10.5.100.1.(1), By-law No. 569-2013**  
The maximum permitted width of the driveway is 3.25m.  
The proposed driveway is 3.66m wide.
- 4. Chapter 10.20.40.10.(1), By-law No. 569-2013**  
The maximum permitted building height is 8.5m.  
The proposed height of the building is 8.8m.
- 5. Section 6.2.3, By-law No. 1916**  
The maximum permitted Floor Space Index is 0.45 times the lot area.  
The proposed Floor Space Index is 0.6 times the lot area.

- 6. Section 6.2.3, By-law No. 1916**  
The maximum permitted building height is 8.5m.  
The proposed height of the building is 8.8m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 35% of the lot area.  
The proposed lot coverage is 37.6% of the lot area.
- 3. Chapter 10.5.100.1.(1), By-law No. 569-2013**  
The maximum permitted width of the driveway is 3.25m.  
The proposed driveway is 3.66m wide.
- 4. Chapter 10.20.40.10.(1), By-law No. 569-2013**  
The maximum permitted building height is 8.5m.  
The proposed height of the building is 8.8m.
- 6. Section 6.2.3, By-law No. 1916**  
The maximum permitted building height is 8.5m.  
The proposed height of the building is 8.8m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

- 2. Chapter 10.20.40.40.(1), By-law No. 569-2013**  
The maximum permitted Floor Space Index is 0.45 times the area of the lot.  
The proposed Floor Space Index is **0.58** times the area of the lot.
- 5. Section 6.2.3, By-law No. 1916**  
The maximum permitted Floor Space Index is 0.45 times the lot area.  
The proposed Floor Space Index is **0.58** times the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0137/17NY	Zoning	RD (f9.0; a275; d0.45)/R1A[ZONING]
Owner:	LASZLO PAPP ANAT PAPP	Ward:	Don Valley West (26)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>170 PARKHURST BLVD</b>	Community:	East York
Legal Description:	PLAN 1925 PT LOT 540 PT LOT 541		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 10, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

**Appeal Information**

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Thursday, April 20, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0138/17NY	Zoning	RD(f12.0;a370)/ R6 [ZZC]
Owner(s):	KAVEH TAHER KHANI	Ward:	Willowdale (23)
Agent:	BATTAGLIA ARCHITECT INC	Heritage:	Not Applicable
Property Address:	<b>131 PARK HOME AVE</b>	Community:	North York
Legal Description:	PLAN 3924 L 67		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey single family dwelling with integral garage. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.40.70(1)(B), By-law No. 569-2013**  
The minimum required front yard setback is 6.13m.  
The proposed front yard setback is 6.00m.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 31.70% of the lot area.
- 3. Chapter 10.5.50.10.(1)(D), By-law No. 569-2013**  
The minimum required front yard soft landscaping is 75.00%.  
The proposed front yard soft landscaping is 73.24%.
- 4. Section 14-A(6), By-law No. 7625**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 31.70% of the lot area.
- 5. Section 14-A(8), By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is **9.10m**.
- 6. Section 14-A(9), By-law No. 7625**  
The maximum permitted building length is 15.30m.  
The proposed building length is 17.00m.

**7. Section 6(30)a, By-law No. 7625**

The maximum permitted first floor height is 1.50m.  
The proposed first floor height is 1.71m.

**8. Section 7.4B, By-law No. 7625**

The minimum permitted front yard soft landscaping is 75.00%.  
The proposed front yard soft landscaping is 73.24%.

**9. Section 6(24), By-law No. 7625**

Decks greater than 1.00m in height may not project more than 2.10m from the wall and must be less than 0.50 times the width of the dwelling.  
The proposed deck is 2.58m in height, projects 3.05m from the wall and is 0.65 times the width of the building.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The applicant is to provide permanent opaque screening or fencing for the proposed rear deck; with a minimum height of 1.5 metres from the floor of the deck.
- 2) The proposed driveway be constructed of permeable pavers.

3) **SIGNATURE PAGE**

File Number:	A0138/17NY	Zoning	RD(f12.0;a370)/ R6 [ZZC]
Owner:	KAVEH TAHER KHANI	Ward:	Willowdale (23)
Agent:	BATTAGLIA ARCHITECT INC	Heritage:	Not Applicable
Property Address:	<b>131 PARK HOME AVE</b>	Community:	North York
Legal Description:	PLAN 3924 L 67		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 10, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

**Appeal Information**

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Thursday, April 20, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0209/16NY	Zoning:	R / R1S (ZR)
Owner(s):	LOIS SHEREEN WINSTOCK IAN DOUGLAS KIRBY	Ward:	Don Valley West (25)
Agent:	ANDREW DEANE	Heritage:	Not Applicable
Property Address:	<b>283 KEEWATIN AVE</b>	Community:	North York
Legal Description:	PLAN M257 LOT 23 PT LOT 24		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a three-storey dwelling with an integral garage. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.10.40.30.(1), By-law No. 569-2013**  
The permitted maximum building depth for a detached house is 17.0 m  
The proposed building depth is **19.59m**.
- 2. Chapter 10.10.40.40.(1), By-law No. 569-2013**  
The permitted maximum floor space index is 0.6 times the area of the lot.  
The proposed floor space index is **0.7642** times the area of the lot.
- 4. Chapter 10.10.40.10.(1), By-law No. 569-2013**  
The permitted maximum height of a structure is 9.0 m.  
The proposed height of the structure is **10.00m**.
- 5. Chapter 10.10.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of all exterior main walls facing a side lot line is 7.0 m.  
The proposed height of the side exterior main walls facing a side lot line is **10.00m**.
- 6. Section 6(3) Part I 1, By-law No. 438-86**  
The maximum permitted gross floor area is 0.60 times the lot area.  
The proposed gross floor area is **0.7363** times the lot area.
- 7. Section 6(3) Part II 2(II), By-law No. 438-86**  
The minimum permitted front lot line setback is 6.21 m.  
The proposed front lot line setback is **5.48m**.

- 8. Section 6(3) Part II 3.B(II), By-law No. 438-86**  
The minimum permitted side lot line setback is 7.5 m for the portion of the building exceeding 17.0 m in depth.  
The proposed side lot line setback is 0.9 m on the east side.
- 9. Section 6(3) Part II 3.B(II), By-law No. 438-86**  
The minimum permitted side lot line setback is 7.5 m for the portion of the building exceeding 17.0 m in depth.  
The proposed side lot line setback is 0.65 m on the west side.
- 10. Section Part II 2.B(II)Section 6(3) Part II 3.B(II), By-law No. 438-86**  
The minimum permitted side lot line setback is 0.9 m for the portion of the building not exceeding 17.0 m in depth.  
The proposed side lot line setback is 0.61 m on the west side.
- 11. Section 6(3) Part II 3(II), By-law No. 438-86**  
The proposed building may not be located closer than 1.2 m to the portion of the side wall of an adjacent building that contains opening. (277 Keewatin Ave)  
The proposed building location is 0.88 m from the adjacent building.
- 12. Section 4(2), By-law No. 438-86**  
The maximum permitted building height is 9.0 m.  
The proposed building height is **10.29m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

### **The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0209/16NY	Zoning	R / R1S (ZR)
Owner:	LOIS SHEREEN WINSTOCK IAN DOUGLAS KIRBY	Ward:	Don Valley West (25)
Agent:	ANDREW DEANE	Heritage:	Not Applicable
Property Address:	<b>283 KEEWATIN AVE</b>	Community:	North York
Legal Description:	PLAN M257 LOT 23 PT LOT 24		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 10, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

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Thursday, April 20, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0008/17NY	Zoning	R3/RD(f18;a690)(ZR)
Owner(s):	AIWEN XU	Ward:	Don Valley West (25)
Agent:	ANDREW DEANE	Heritage:	Not Applicable
Property Address:	<b>55 LEACROFT CRES</b>	Community:	North York
Legal Description:	PLAN 4758 LOT 126		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached two-storey dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.40.70(1)(B), Zoning By-law No. 569-2013**  
If a lot is between two abutting lots in the Residential Zone category, each with a building fronting on the same street and those buildings are both, in whole or in part, 15.0 m or less from the subject lot, the required minimum front yard setback is the average of the front yard setbacks of those buildings on the abutting lots (7.67 m).  
The proposed front yard setback is 7.14 m.
- 2. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**  
A) The permitted maximum lot coverage is 30 percent of the lot area: 281.88 m<sup>2</sup>.  
The proposed lot coverage is 35.88 percent of the lot area: 337.1 m<sup>2</sup> which includes the cabana at rear.
- 3. Chapter 10.20.40.70(2)(B), Zoning By-law No. 569-2013**  
A) The required minimum rear yard setback is 8.71 m.  
The proposed rear yard setback is 8.1 m.
- 4. Section 12.5A, Zoning By-law No. 7625**  
The maximum permitted building length is 16.8 m.  
The proposed building length is 18.31 m.
- 5. Section 12.4(c), Zoning By-law No. 7625**  
The minimum required rear yard setback is 9.5 m.  
The proposed rear yard setback is 8.1 m.

**6. Section 12.6, Zoning By-law No. 7625**

The maximum permitted lot coverage is 30 percent of the lot area.

The proposed lot coverage is 35.88 percent of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

**1. Chapter 10.5.40.70(1)(B), Zoning By-law No. 569-2013**

If a lot is between two abutting lots in the Residential Zone category, each with a building fronting on the same street and those buildings are both, in whole or in part, 15.0 m or less from the subject lot, the required minimum front yard setback is the average of the front yard setbacks of those buildings on the abutting lots (7.67 m).

The proposed front yard setback is 7.14 m.

**3. Chapter 10.20.40.70(2)(B), Zoning By-law No. 569-2013**

A) The required minimum rear yard setback is 8.71 m.

The proposed rear yard setback is 8.1 m.

**4. Section 12.5A, Zoning By-law No. 7625**

The maximum permitted building length is 16.8 m.

The proposed building length is 18.31 m.

**5. Section 12.4(c), Zoning By-law No. 7625**

The minimum required rear yard setback is 9.5 m.

The proposed rear yard setback is 8.1 m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

**2. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**

A) The permitted maximum lot coverage is 30 percent of the lot area: 281.88 m<sup>2</sup>.

The proposed lot coverage is **32.00%** of the lot area which includes the cabana at rear.

**6. Section 12.6, Zoning By-law No. 7625**

The maximum permitted lot coverage is 30 percent of the lot area.

The proposed lot coverage is **32.00%** of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0008/17NY	Zoning	R3/RD(f18;a690)(ZR)
Owner:	AIWEN XU	Ward:	Don Valley West (25)
Agent:	ANDREW DEANE	Heritage:	Not Applicable
Property Address:	<b>55 LEACROFT CRES</b>	Community:	North York
Legal Description:	PLAN 4758 LOT 126		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 10, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

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**Ontario Municipal Board Appeal Information:** To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

**Toronto Local Appeal Body Appeal Information:** To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).



Thursday, April 20, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0082/17NY	Zoning	RD / R6(20) (ZW)
Owner(s):	IRA FELDMAN	Ward:	Eglinton-Lawrence (16)
Agent:	ALEX BUGDAHN	Heritage:	Not Applicable
Property Address:	<b>95 BURNCREST DR</b>	Community:	North York
Legal Description:	PLAN 1831 PT LOT 125 TO 126		

Notice was given and a Public Hearing was held on Thursday, April 20, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**  
The permitted maximum lot coverage is 30 percent of the lot area: 128.18 m<sup>2</sup>.  
The proposed lot coverage is 35.2 percent of the lot area: 150.57 m<sup>2</sup>.
- 2. Section 14-A(6), Zoning By-law No. 7625**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 35.2% of the lot area.
- 3. Section 14-A(9) , Zoning By-law No. 7625**  
The maximum permitted building length is 15.3 m.  
The proposed building length is 15.54 m.
- 4. Section 14-A(8), Zoning By-law No. 7625**  
The maximum permitted building height is 8.8 m.  
The proposed building height is 9.33 m.
- 5. Section 6(30)a , Zoning By-law No. 7625**  
The maximum finished first floor height is 1.5 m.  
The proposed finished first floor height is 1.67 m.

**6. Section 6(24)(c)(i)(ii)(iii), Zoning By-law No. 7625**

Unexcavated porches or decks, attached to or detached from the main building shall not exceed 1.0 m in height. When 1.0 m height is exceeded, the porch shall project no more than 2.1 m from the rear main wall, or be wider than half the dwelling's width at the widest point.

The proposed deck is 2.56 m above grade and the proposed deck projects 2.44 m from the rear main wall.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

**3. Section 14-A(9) , Zoning By-law No. 7625**

The maximum permitted building length is 15.3 m.

The proposed building length is 15.54 m.

**4. Section 14-A(8), Zoning By-law No. 7625**

The maximum permitted building height is 8.8 m.

The proposed building height is 9.33 m.

**5. Section 6(30)a , Zoning By-law No. 7625**

The maximum finished first floor height is 1.5 m.

The proposed finished first floor height is 1.67 m.

**6. Section 6(24)(c)(i)(ii)(iii), Zoning By-law No. 7625**

Unexcavated porches or decks, attached to or detached from the main building shall not exceed 1.0 m in height. When 1.0 m height is exceeded, the porch shall project no more than 2.1 m from the rear main wall, or be wider than half the dwelling's width at the widest point.

The proposed deck is 2.56 m above grade and the proposed deck projects 2.44 m from the rear main wall.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

**1. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**

The permitted maximum lot coverage is 30 percent of the lot area: 128.18 m<sup>2</sup>.

The proposed lot coverage is **32.0%** of the lot area: 150.57 m<sup>2</sup>.

**2. Section 14-A(6), Zoning By-law No. 7625**

The maximum permitted lot coverage is 30% of the lot area.

The proposed lot coverage is **32.0%** of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0082/17NY	Zoning	RD / R6(20) (ZW)
Owner:	IRA FELDMAN	Ward:	Eglinton-Lawrence (16)
Agent:	ALEX BUGDAHN	Heritage:	Not Applicable
Property Address:	<b>95 BURNCREST DR</b>	Community:	North York
Legal Description:	PLAN 1831 PT LOT 125 TO 126		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 27, 2017

LAST DATE OF APPEAL: Wednesday, May 10, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

**Appeal Information**

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

**Appeals filed prior to May 3, 2017:** Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

**Appeals filed on or after May 3, 2017:** Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017\*; or

- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.\*\*

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

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