

Wednesday, July 19, 2017

**NOTICE OF DECISION**  
**CONSENT**  
**(Section 53 of the Planning Act)**

File Number:	B0098/16NY	Zoning	R4/RD[ZONING]
Owner(s):	RUTH VAILLANCOURT	Ward:	Willowdale (23)
Agent:	RIDGESTONE HOMES	Heritage:	Not Applicable
Property Address:	<b>71 POYNTZ AVE</b>	Community:	North York
Legal Description:	PLAN 1743 LOT 634 TO 635		

Notice was given and the application considered on Wednesday, July 19, 2017, as required by the Planning Act.

**THE CONSENT REQUESTED:**

To obtain consent to sever the property into two undersized lots.

**RETAINED - PART 1**

Part 1 has a lot frontage of 7.62m and a lot area is 255.48m<sup>2</sup>. The lot will be redeveloped with a new detached residential dwelling.

**CONVEYED - PART 2**

Part 2 has a lot frontage of 7.62m and a lot area is 255.48m<sup>2</sup>. The lot will be redeveloped with a new detached residential dwelling.

**Applications B0098/16NY, A1146/16NY and A1147/16NY will be considered jointly.**

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Consent Application is Refused**

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

**SIGNATURE PAGE**

File Number:	B0098/16NY	Zoning	R4/RD[ZONING]
Owner(s):	RUTH VAILLANCOURT	Ward:	Willowdale (23)
Agent:	RIDGESTONE HOMES	Heritage:	Not Applicable
Property Address:	<b>71 POYNTZ AVE</b>	Community:	North York
Legal Description:	PLAN 1743 LOT 634 TO 635		

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Beth Levy (signed)

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Denise Graham (signed)

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Rick Ross (signed)

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Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

#### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

#### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**NOTE:** Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Wednesday, July 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A1146/16NY	Zoning	R4/RD[ZONING]
Owner(s):	RUTH VAILLANCOURT	Ward:	Willowdale (23)
Agent:	RIDGESTONE HOMES	Heritage:	Not Applicable
Property Address:	<b>71 POYNTZ AVE – PART 1</b>	Community:	North York
Legal Description:	PLAN 1743 LOT 634 TO 635		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.40.10.(5), By-law No. 569-2013**  
A minimum of 10.0m<sup>2</sup> of the first floor must be within 4.0m of the front main wall.  
The proposed foyer is 2.42m<sup>2</sup>.
- Chapter 10.20.30.10.(1), By-law No. 569-2013**  
The minimum required lot area is 550m<sup>2</sup>.  
The proposed lot area is 255.48m<sup>2</sup>.
- Chapter 10.20.30.20.(1), By-law No. 569-2013**  
The minimum required lot frontage is 15m.  
The proposed lot frontage is 7.62m.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 41.7% of the lot area.
- Chapter 900.3.10.(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.8m.  
The proposed east side yard setback is 0.56m.
- Chapter 900.3.10.(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.8m.  
The proposed west side yard setback is 1.2m.

7. **Section 13.2.1, By-law No. 7625**  
The minimum required lot frontage and lot width is 15m .  
The proposed lot frontage and lot width is 7.62 m.
8. **Section 13.2.2, By-law No. 7625**  
The minimum required lot area is 550m<sup>2</sup>.  
The proposed lot area is 255.48m<sup>2</sup>
9. **Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.8m.  
The proposed east side yard setback is 0.56m.
10. **Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.8m.  
The proposed west side yard setback is 1.2m.
11. **Section 13.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 41.7% of the lot area.
12. **Section 13.2.5A, By-law No. 7625**  
The maximum permitted building length is 16.8m.  
The proposed building length is 17m.
13. **Section 13.2.6, By-law No. 7625**  
The maximum permitted building height is 8m.  
The proposed building height is 10.2m.
14. **Section 6(24), By-law No. 7625**  
The maximum projection of an unexcavated deck in the rear is 2.1m from the wall if it is greater than 1m above all points of the adjacent ground.  
The proposed deck projects 2.44m and is 2.59m above the adjacent ground.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

### **The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A1146/16NY	Zoning	R4/RD[ZONING]
Owner:	RUTH VAILLANCOURT	Ward:	Willowdale (23)
Agent:	RIDGESTONE HOMES	Heritage:	Not Applicable
Property Address:	<b>71 POYNTZ AVE – PART 1</b>	Community:	North York
Legal Description:	PLAN 1743 LOT 634 TO 635		

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Beth Levy (signed)

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Denise Graham (signed)

---

Rick Ross (signed)

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Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Wednesday, July 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A1147/16NY	Zoning	R4/RD[ZONING]
Owner(s):	RUTH VAILLANCOURT	Ward:	Willowdale (23)
Agent:	RIDGESTONE HOMES	Heritage:	Not Applicable
Property Address:	<b>71 POYNTZ AVE – PART 2</b>	Community:	North York
Legal Description:	PLAN 1743 LOT 634 TO 635		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**  
A minimum of 10.0m<sup>2</sup> of the first floor must be within 4.0m of the front main wall.  
The proposed foyer is 2.42m<sup>2</sup>.
- 2. Chapter 10.20.30.10.(1), By-law No. 569-2013**  
The minimum required lot area is 550m<sup>2</sup>.  
The proposed lot area is 255.48m<sup>2</sup>.
- 3. Chapter 10.20.30.20.(1), By-law No. 569-2013**  
The minimum required lot frontage is 15m.  
The proposed lot frontage is 7.62m.
- 4. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 38.9% of the lot area.
- 5. Chapter 900.3.10.(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.8m.  
The proposed east side yard setback is 1.2m.
- 6. Chapter 900.3.10.(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.8m.  
The proposed west side yard setback is 0.56m.



7. **Section 13.2.1, By-law No. 7625**  
The minimum required lot frontage and lot width is 15m .  
The proposed lot frontage and lot width is 7.62m.
8. **Section 13.2.2, By-law No. 7625**  
The minimum required lot area is 550m<sup>2</sup>.  
The proposed lot area is 255.48m<sup>2</sup>
9. **Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.8m.  
The proposed east side yard setback is 1.2m.
10. **Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.8m.  
The proposed west side yard setback is 0.56m.
11. **Section 13.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 38.9% of the lot area.
12. **Section 13.2.5A, By-law No. 7625**  
The maximum permitted building length is 16.8m.  
The proposed building length is 17m.
13. **Section 13.2.6, By-law No. 7625**  
The maximum permitted building height is 8m.  
The proposed building height is 10.31m.
14. **Section 6(24), By-law No. 7625**  
The maximum projection of an unexcavated deck in the rear is 2.1m from the wall if it is greater than 1m above all points of the adjacent ground.  
The proposed deck projects 2.44m and is 2.59m above the adjacent ground.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

### **The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A1147/16NY	Zoning	R4/RD[ZONING]
Owner:	RUTH VAILLANCOURT	Ward:	Willowdale (23)
Agent:	RIDGESTONE HOMES	Heritage:	Not Applicable
Property Address:	<b>71 POYNTZ AVE – PART 2</b>	Community:	North York
Legal Description:	PLAN 1743 LOT 634 TO 635		

\_\_\_\_\_  
Beth Levy (signed)

\_\_\_\_\_  
Denise Graham (signed)

\_\_\_\_\_  
Rick Ross (signed)

\_\_\_\_\_  
Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

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Wednesday, July 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0360/17NY	Zoning	RD(f15.0; a550)(x5)/ R4 [ZZC]
Owner(s):	ALIREZA ZAMANIPOUR	Ward:	Willowdale (23)
Agent:	OPTIONS ARCHITECTS	Heritage:	Not Applicable
Property Address:	<b>316 PARKVIEW AVE</b>	Community:	North York
Legal Description:	PLAN 1790 LOT 820 PT LOT 821 PLAN 3194 LOT 89 PT LOT 90		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling with integral garage. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.30.40.(1) A), By-law No. 569-2013**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 31.00% of the lot area.
- 2. Chapter 10.20.40.10.(2) B)(ii), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.  
The proposed height of the side exterior main walls facing a side lot line is 7.80m.
- 3. Chapter 10.20.40.20.(1), By-law No. 569-2013**  
The maximum permitted building length not including a permitted one-storey rear extension is 17.00m.  
The proposed building length not including a permitted one-storey rear extension is 18.63m.
- 4. Chapter 10.20.40.20.(2) A), By-law No. 569-2013**  
The maximum permitted building length is 19.00m provided the extension to the building is less than 5.00m in height and is one-storey.  
The proposed building length including a one-storey rear extension is 20.60m and is 5.36m in height.
- 5. Chapter 10.20.40.30.(1), By-law No. 569-2013**  
The maximum permitted building depth is 19.00m.  
The proposed building depth is 20.60m.
- 6. Chapter 10.20.40.70.(1), By-law No. 569-2013**  
The minimum required front yard setback is 6.51m.

- The proposed front yard setback is 6.04m.
7. **Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 1.22m.
  8. **Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 1.52m.
  9. **Section 13.2.3(a), By-law No. 7625**  
The minimum required front yard setback is 7.50m +/- 1.00m.  
The proposed front yard setback is 6.04m.
  10. **Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 1.22m.
  11. **Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 1.52m.
  12. **Section 13.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 31.00% of the lot area.
  13. **Section 13.2.5A, By-law No. 7625**  
The maximum permitted building length not including a permitted one-storey rear extension is 16.80m.  
The proposed building length not including a permitted one-storey rear extension is 18.63m.
  14. **Section 13.2.6, By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 9.66m.
  15. **Section 6(30)a, By-law No. 7625**  
The maximum permitted finished first floor height is 1.50m.  
The proposed finished first floor height is 1.70m.
  16. **Section 13.2.6, By-law No. 7625**  
The maximum permitted number of storeys is two.  
The proposed number of storeys is three.
  17. **Section 13.2.5A(3), By-law No. 7625**  
The maximum permitted building length, including a permitted one-storey rear extension is 18.90m provided the extension to the building is less than 5.00m in height and is one-storey.  
The proposed building length including a one-storey rear extension is 20.60m and is 6.04m in height.
  18. **Section 13.2.6A, By-law No. 7625**  
The maximum permitted balcony area is 3.80m<sup>2</sup>.  
The proposed front porch is 4.95m<sup>2</sup>.
  19. **Section 13.2.6A, By-law No. 7625**  
The maximum permitted balcony area is 3.80m<sup>2</sup>.

The proposed rear deck is 35.85m<sup>2</sup>.

**20. Section 6(9)(k), By-law No. 7625**

The maximum permitted projection of a balcony is 1.60m from the wall.  
The rear deck projects 5.51m from the wall.

**21. Section 6(9)(k), By-law No. 7625**

The maximum permitted projection of a balcony is 1.60m from the wall.  
The front porch projects 1.82m from the wall.

**22. Section 13.2.6A(b), By-law No. 7625**

The maximum number of balconies per side of a dwelling is one.  
The proposed number of balconies on the rear wall of the dwelling is two.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

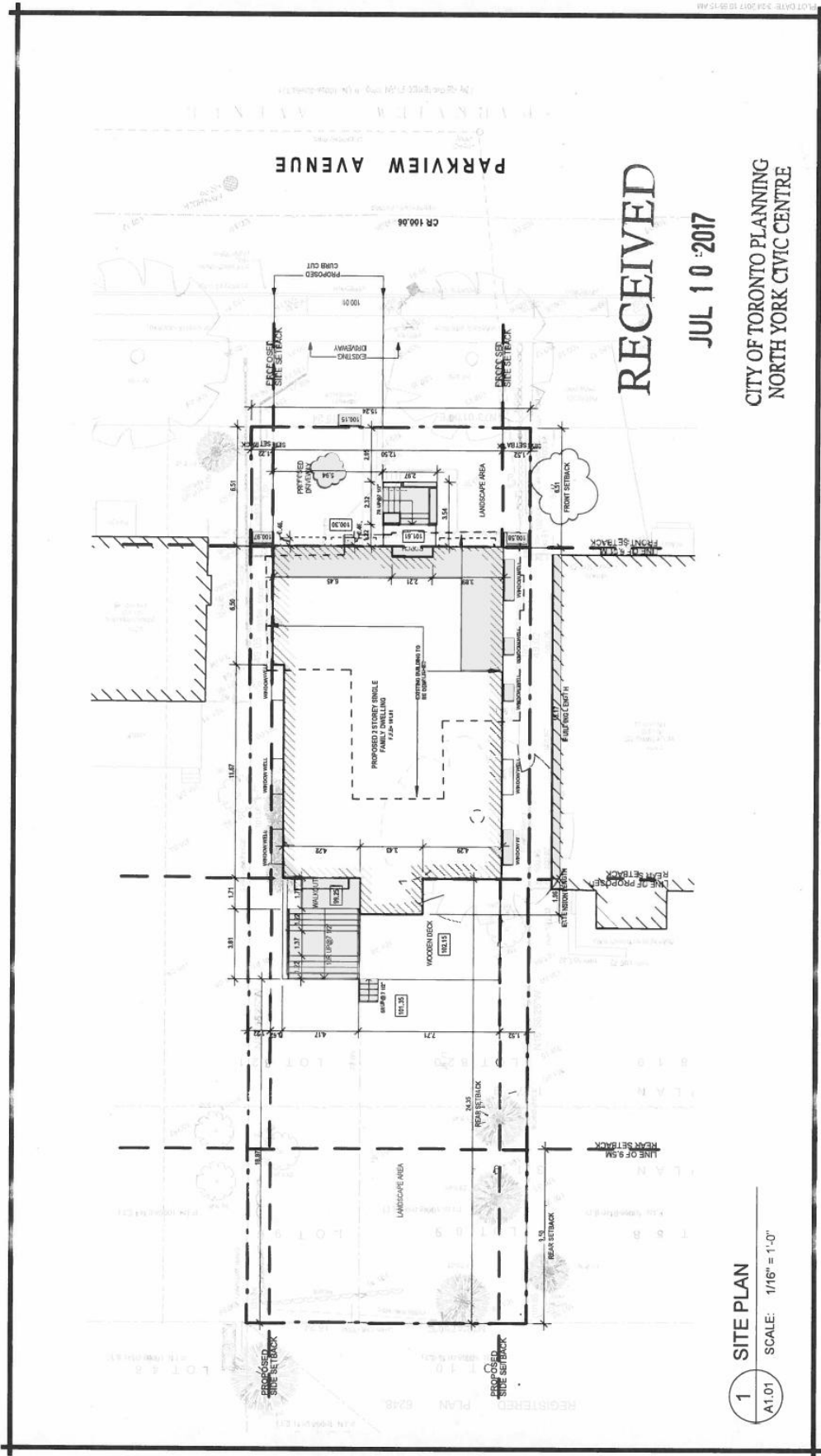
**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the site plan, basement floor plan, main floor plan, and second floor plan drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, July 10, 2017.  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



RECEIVED

JUL 10 2017

CITY OF TORONTO PLANNING  
NORTH YORK CIVIC CENTRE

**Options**  
GROUP  
644-5783 Yonge St.  
Toronto, ON M2J 2Y5  
Tel: 416-593-5442  
Fax: 416-593-5475

Client: **316 PARKVIEW AVE.**  
Sheet No: **A1.01**  
Scale: **1/16" = 1'-0"**

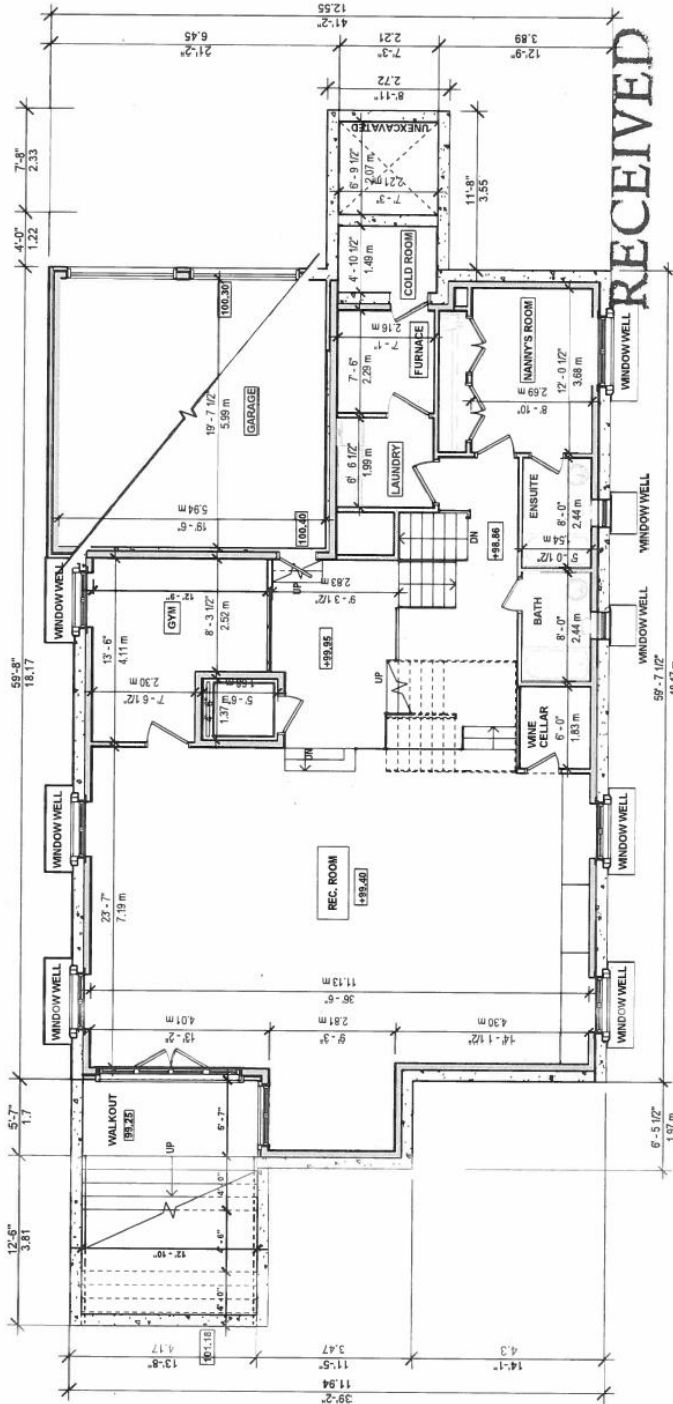
Project: **SINGLE FAMILY DWELLING**  
Location: **TORONTO, ONTARIO**  
Sheet No:

No.	Date	Issued For	By
1		FOR PERMITTING	
2		FOR PERMITTING	
3		FOR PERMITTING	
4		FOR PERMITTING	
5		FOR PERMITTING	
6		FOR PERMITTING	
7		FOR PERMITTING	
8		FOR PERMITTING	
9		FOR PERMITTING	
10		FOR PERMITTING	



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1 SITE PLAN  
SCALE: 1/16" = 1'-0"



JUL 10 2017

CITY OF TORONTO PLANNING  
NORTH YORK CIVIC CENTRE

1 BASEMENT FLOOR PLAN  
A2.02 SCALE: 1/8" = 1'-0"

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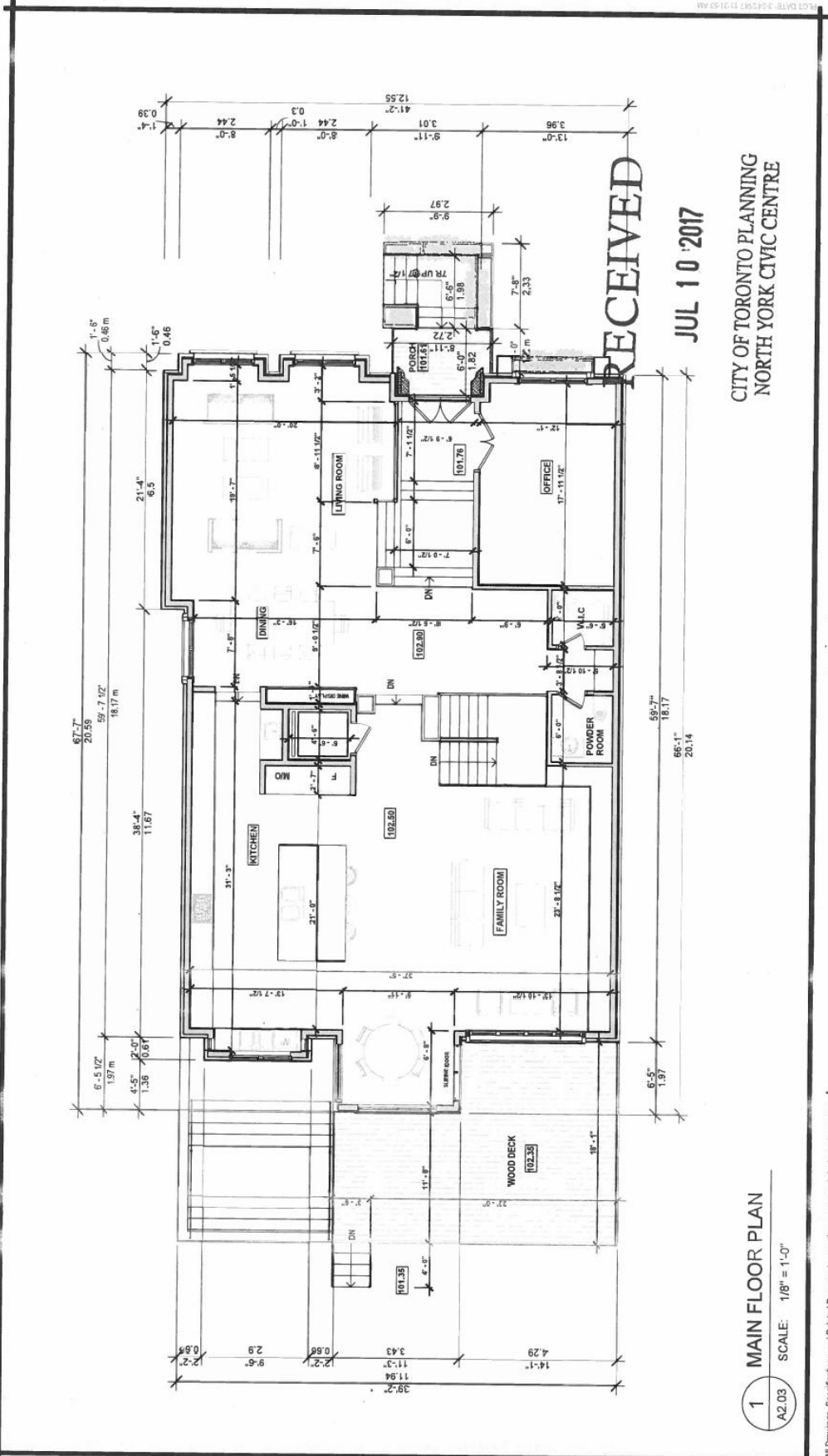


No.	Date	Issued For	By
1	2017.07.10	Final Iss. Drawing	AW
2	2017.07.10	Final Iss. Drawing	AW
3	2017.07.10	Final Iss. Drawing	AW
4	2017.07.10	Final Iss. Drawing	AW

Client	Project No.	Sheet No.
316 PARKVIEW AVE.	121-16	A2.02
316 PARKVIEW AVE.	JAN 2017	1/8" = 1'-0"

Options GROUP  
644-978 Yonge St.  
Toronto, ON M5S 1Y5  
Tel: 416-315-1445  
Fax: 416-315-8375





1 MAIN FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

CITY OF TORONTO PLANNING  
 NORTH YORK CIVIC CENTRE

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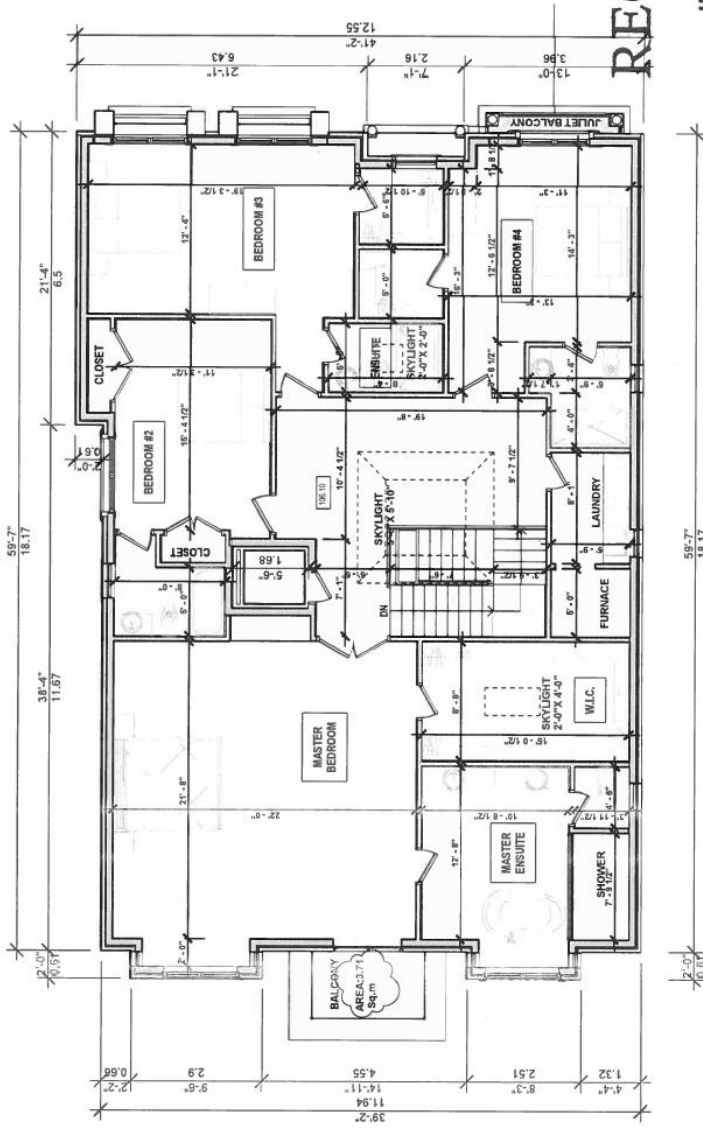


No.	Date	Issued For	By
1	2017.01.17	Approved for Construction	DLK
2	2017.01.17	AS BUILT CITY	DLK
3	2017.01.17	Revised for Submission	DLK

Project: SINGLE FAMILY DWELLING  
 TORONTO, ONTARIO  
 Sheet Title: MAIN FLOOR PLAN

Client: 316 PARKVIEW AVE.  
 Owner: AM  
 Architect: Options GROUP  
 Permit No: 121-116  
 Date: JAN 2017  
 Scale: 1/8" = 1'-0"

646-738-7066 or  
 Toronto, ON M9S 1S7  
 Tel: 416-315-5145  
 Fax: 416-315-5125



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JUL 10 2017

CITY OF TORONTO PLANNING  
NORTH YORK CIVIC CENTRE

1 SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

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No.	Date	Issued For	By
1	2017.07.10	Issued for Planning	AW
2	2017.07.10	AS-BUILT SET	AW
3	2017.07.10	Issued for Approval	AW
4	2017.07.10	Issued for Approval	AW

Project: SINGLE FAMILY DWELLING  
TORONTO, ONTARIO  
Sheet No: **A2.04**  
Second Floor PLAN

Client: 316 PARKVIEW AVE.  
Scale: 1/8" = 1'-0"  
Project No: 17-116  
Year: 2017  
Date: 18" x 1'-0"

Options GROUP  
644-578 Yonge St  
Toronto, ON M4M 3J5  
Tel: 416-333-3441  
Fax: 416-333-6373

**SIGNATURE PAGE**

File Number:	A0360/17NY	Zoning	RD(f15.0; a550)(x5)/ R4 [ZZC]
Owner:	ALIREZA ZAMANIPOUR	Ward:	Willowdale (23)
Agent:	OPTIONS ARCHITECTS	Heritage:	Not Applicable
Property Address:	<b>316 PARKVIEW AVE</b>	Community:	North York
Legal Description:	PLAN 1790 LOT 820 PT LOT 821 PLAN 3194 LOT 89 PT LOT 90		

\_\_\_\_\_  
Beth Levy (signed)

\_\_\_\_\_  
Denise Graham (signed)

\_\_\_\_\_  
Rick Ross (signed)

\_\_\_\_\_  
Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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Wednesday, July 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0389/17NY	Zoning	RD / R1B (ZR)
Owner(s):	WARREN DOUGLAS STEVENS	Ward:	Don Valley West (26)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>36 ROLPH RD</b>	Community:	East York
Legal Description:	PLAN 2880 LOT 272		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new rear and second storey addition to the existing dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.40.(1), By-law No. 569-2013**  
The permitted maximum floor space index is 0.6 times the area of the lot.  
The proposed floor space index is 0.618 times the area of the lot.
- 2. Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The required minimum side yard setback is 1.2 m where the required minimum lot frontage is 12.0 m to less than 15.0 m.  
The proposed southeast side yard setback is 0.68 m.
- 3. Chapter 10.5.40.71.(4), By-law No. 569-2013**  
The minimum building setback for a side lot line for any addition or extension to the rear or the side of a lawfully existing building or structure on a lot with a lot frontage of 9.0 m to 12.2 m is 0.6 m.  
The proposed minimum building said yard setback is 0.44 from the northwest lot line.
- 4. Chapter 10.5.40.60.(8), By-law No. 569-2013**  
Equipment may encroach into a required setback 0.6 m if it is no closer to a lot line than 0.3 m.  
The proposed shutter is 0.15 m from the northwest side lot line.
- 5. Chapter 10.5.80.10.(3), By-law No. 569-2013**  
A parking space may not be located in a front yard or a side yard abutting a street.  
The proposed parking spot is located in a front yard.

6. **Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The permitted maximum lot coverage is 35% of the lot area.  
The proposed lot coverage is 35.3% of the lot area.
7. **Chapter 200.5.1.10(2), By-law No. 569-2013**  
The required parking space must have a minimum dimension of 3.2 m in width and 5.6 m in length.  
The proposed parking space is 2.64 m in width and 5.55 m in length.
8. **Section 6.3.3, By-law No. 1916**  
The maximum permitted floor space index is 0.6 times the lot area.  
The proposed floor space index is 0.618 times the lot area.
9. **Section 6.3.3, By-law No. 1916**  
The minimum required side yard setback is 0.9 m.  
The proposed southeast side yard setback is 0.68 m.
10. **Section 5.40, By-law No. 1916**  
The minimum required parking space size is 5.6 m by 3.2 m.  
The proposed parking space size is 5.55 m by 2.64 m.
11. **Section 6.3.3, By-law No. 1916**  
The maximum permitted lot coverage is 35.0 % of the lot area.  
The proposed lot coverage is 36.2% of the lot area.
12. **Section 6.9 , By-law No. 1916**  
The parking space must be located behind the main front wall.  
The proposed parking space is located in front of the main front wall.
13. **Section 6.1.1(1), By-law No. 1916**  
The minimum required northwest side yard setback is 0.45 m  
The proposed northwest side yard setback is 0.44 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

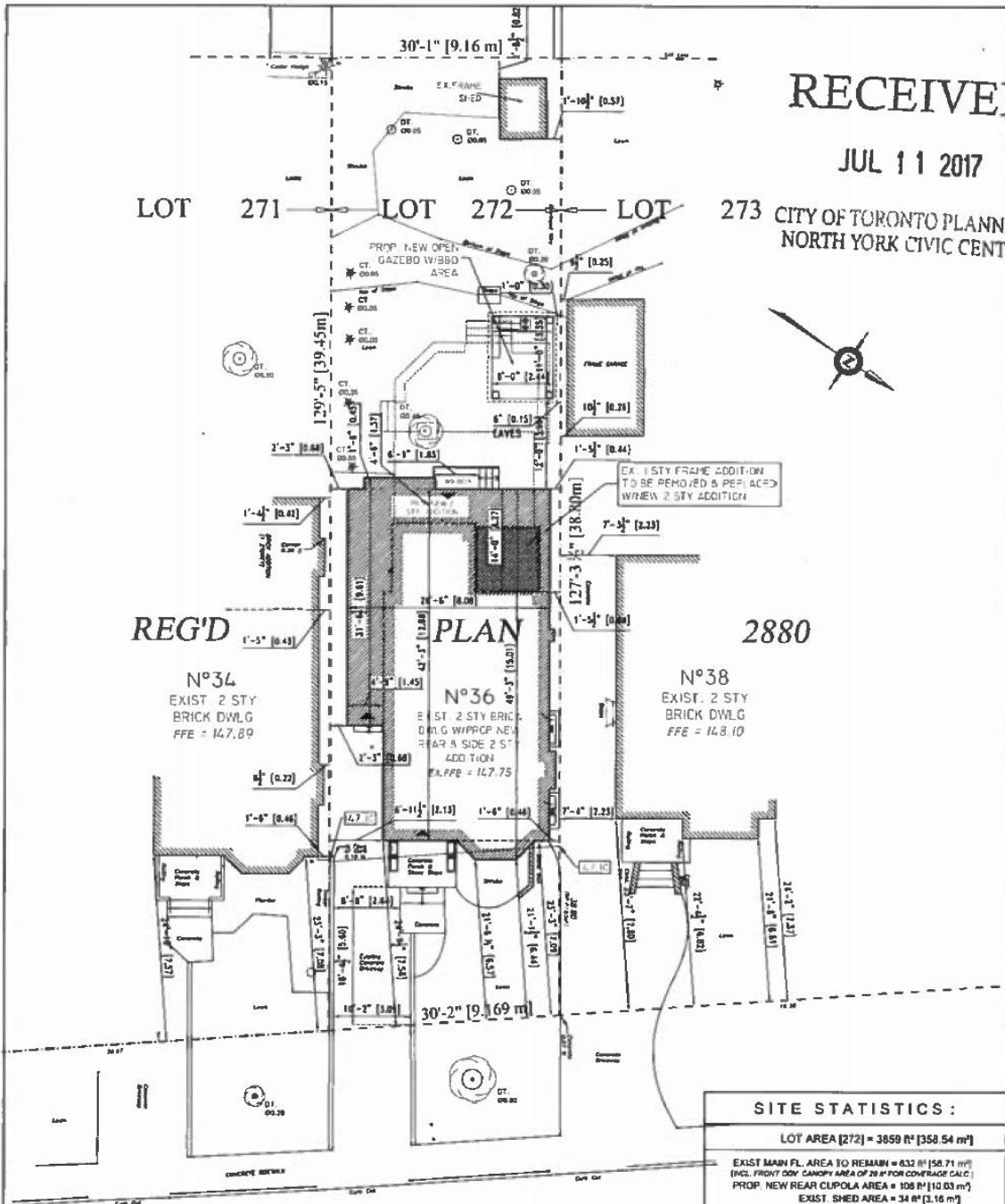
1. The proposal be developed in accordance with the Site Plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, July 11,2017.  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*

RECEIVED

JUL 11 2017

CITY OF TORONTO PLANNING  
NORTH YORK CIVIC CENTRE

LOT 271 LOT 272 LOT 273



REG'D  
N°34  
EXIST. 2 STY  
BRICK DWLG  
FFE = 147.89

PLAN  
N°36  
EXIST. 2 STY BRICK  
DWLG W/PROP NEW  
REAR SIDE 2 STY  
ADDITION  
EX.FFE = 147.75

2880  
N°38  
EXIST. 2 STY  
BRICK DWLG  
FFE = 148.10

ROLPH ROAD  
(DEDICATED BY REGISTERED PLAN 3120)

SITE STATISTICS :

LOT AREA (272) = 3859 N <sup>2</sup> [358.54 m <sup>2</sup> ]
EXIST. MAIN FL. AREA TO REMAIN = 632 N <sup>2</sup> [58.71 m <sup>2</sup> ] (INCL. FRONT DOOR CANOPY AREA OF 28 N <sup>2</sup> FOR COVERAGE CALC.)
PROP. NEW REAR PORCH AREA = 308 N <sup>2</sup> [28.33 m <sup>2</sup> ]
EXIST. SHED AREA = 34 N <sup>2</sup> [3.16 m <sup>2</sup> ]
PROP. NEW MAIN FL. AREA = 554 N <sup>2</sup> [51.63 m <sup>2</sup> ]
COVERAGE = 1362 N <sup>2</sup> [126.53 m <sup>2</sup> ]
EXIST. 2ND FL. AREA TO REMAIN = 712 N <sup>2</sup> [66.13 m <sup>2</sup> ]
PROP. NEW 2ND FL. AREA = 468 N <sup>2</sup> [43.48 m <sup>2</sup> ]
TOTAL NEW 2ND FL. AREA = 1180 N <sup>2</sup> [109.63 m <sup>2</sup> ]
PROP. NEW COVERAGE = 1362 N <sup>2</sup> [126.53 m <sup>2</sup> ] [35.3%]
PROP. NEW FSI = 2380 N <sup>2</sup> [221.11 m <sup>2</sup> ] [61.4%]
EXIST. COVERAGE = 632 N <sup>2</sup> [58.71 m <sup>2</sup> ] [16.4%]
EXIST. DENSITY = 1344 N <sup>2</sup> [124.86 m <sup>2</sup> ] [34.8%]

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE OBTAINING BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION  
NAME: [Signature] 22370  
SIGNATURE: [Signature] 22370  
REG. NO.: 22370

REGISTRATION INFORMATION  
NAME: RUBINOFF DESIGN GROUP 27283  
REG. NO.: 27283

CLIENT: PRIVATE RESIDENCE

PROJECT: SITE PLAN

PROJECT: 36 ROLPH ROAD TORONTO, ONTARIO

**R**ubinoff Design Group  
697 MOUNT PLEASANT ROAD  
Toronto, Ontario M4S 2M6  
TEL. 416.667-0322 FAX.416.667.0751 EMAIL: info@rubinoffdesign.com

PROJECT DESIGNER: G.R.	PROJECT NO.	DRAWING NO <b>A</b>
DRAWN BY: P.N.	DATE: APRIL/11/2017	
CHECKED BY:	SCALE: 1/16" = 1'-0"	

**SIGNATURE PAGE**

File Number:	A0389/17NY	Zoning	RD / R1B (ZR)
Owner:	WARREN DOUGLAS STEVENS	Ward:	Don Valley West (26)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>36 ROLPH RD</b>	Community:	East York
Legal Description:	PLAN 2880 LOT 272		

\_\_\_\_\_  
Beth Levy (signed)

\_\_\_\_\_  
Denise Graham (signed)

\_\_\_\_\_  
Rick Ross (signed)

\_\_\_\_\_  
Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel



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Wednesday, July 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0397/17NY	Zoning	RD / R1 (ZR)
Owner(s):	ROBERTA CARANO	Ward:	Don Valley West (25)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>176 DINNICK CRES</b>	Community:	Toronto
Legal Description:	PLAN 1534 LOT 191		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new 2 storey dwelling with integral garage. The existing dwelling will be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**  
The required minimum first floor area within 4.0 m of the front main wall is 10 m<sup>2</sup>.  
The proposed first floor area within 4.0 m of the main wall is 0 m<sup>2</sup>.
- 2. Chapter 10.20.40.10.(2)(a), By-law No. 569-2013**  
The permitted maximum height of all front exterior main walls is 7.5 m  
The proposed height of the front exterior main wall is 7.87 m.
- 3. Chapter 10.20.40.20.(1), By-law No. 569-2013**  
The permitted maximum building length for a detached house is 17.0 m.  
The proposed building length is **18.72 m**.
- 4. Chapter 10.20.4.030.(1), By-law No. 569-2013**  
The permitted maximum building depth for a detached house is 19.0 m.  
The proposed building depth is **18.72 m**.
- 5. Chapter 10.20.40.40.(1), By-law No. 569-2013**  
The permitted maximum floor space index is 0.35 times the area of the lot.  
The proposed floor space index is **0.58** times the area of the lot.
- 6. Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The required minimum side yard setback is 1.5 m where the required minimum lot frontage is 15.0 m to less than 18.0 m .  
The proposed west side yard setback is 1.24 m.

7. **Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The required minimum side yard setback is 1.5 m where the required minimum lot frontage is 15.0 m to less than 18.0 m .  
The proposed east side yard setback is 1.01 m.
8. **Section 6(3) Part I 1, By-law No. 438-86**  
The permitted maximum gross floor area is 0.35 times the area of the lot.  
The proposed gross floor area is **0.58** times the area of the lot
9. **Section 6(3) part II 3.B (II), By-law No. 438-86**  
The minimum side lot line setback is 7.5 m from the side lot line for the portion of the building exceeding 17.0 m in depth.  
The proposed west side yard setback is 1.24 m.
10. **Section 6(3) part II 3.B (II), By-law No. 438-86**  
The minimum side lot line setback is 7.5 m from the side lot line for the portion of the building exceeding 17.0 m in depth.  
The proposed east side yard setback is 1.01 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

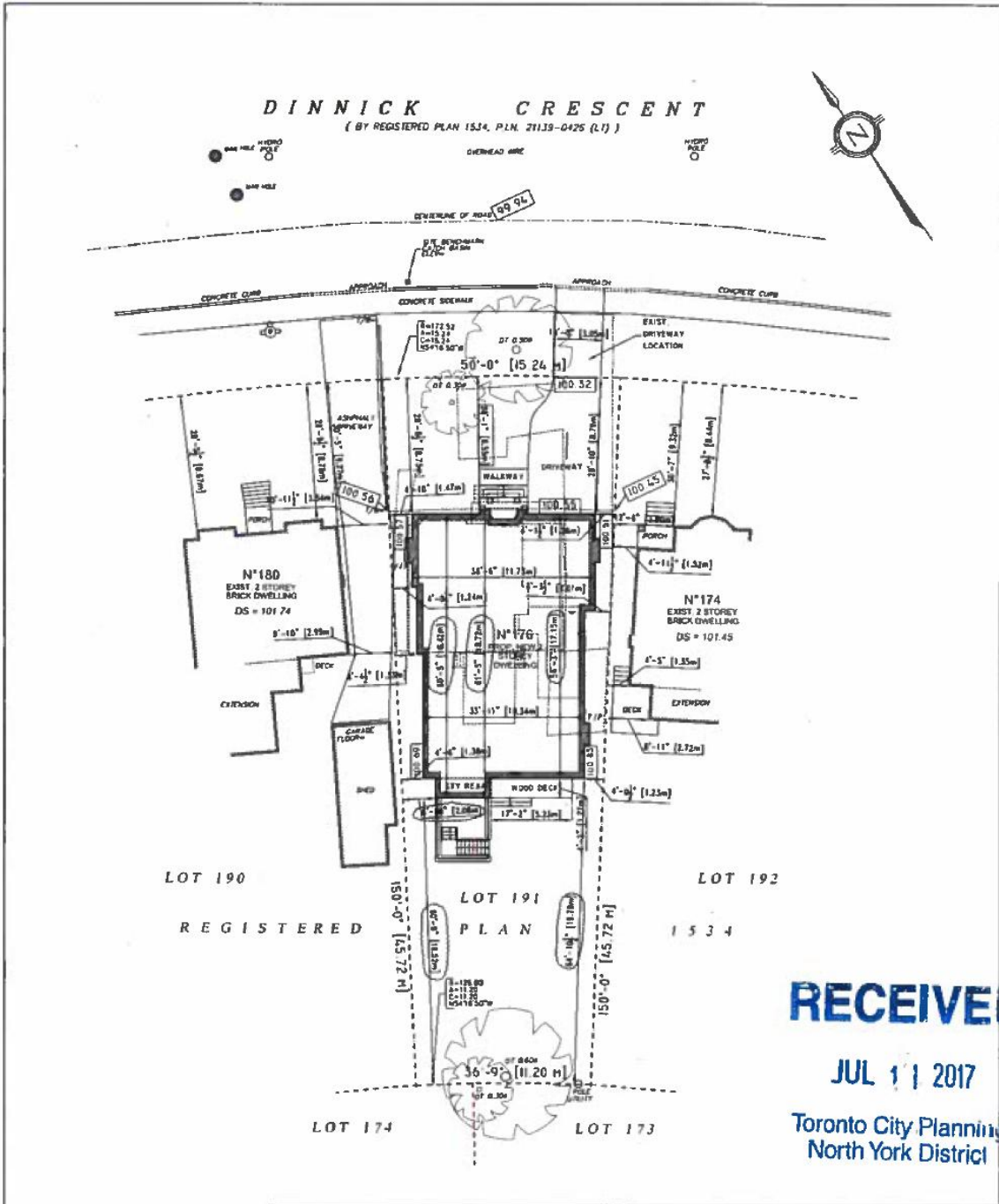
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the Site Plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, July 11,2017.  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*

**DINNICK CRESCENT**  
(BY REGISTERED PLAN 1534, PLN. 21139-0425 (2/1))



**RECEIVED**  
JUL 11 2017  
Toronto City Planning  
North York District

<p>THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER</p> <p><b>QUALIFICATION INFORMATION</b> REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1. OF THE BUILDING CODE</p> <p>GLENN RUBINOFF 22370 NAME SIGNATURE BCMA/BCOM</p> <p><b>REGISTRATION INFORMATION</b> REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1. OF THE BUILDING CODE</p> <p>RUBINOFF DESIGN GROUP 27293 FIRM NAME BCMA/BCOM</p>	<p><b>SITE STATISTICS :</b></p> <p>LOT AREA [LOT 191] = 6,506.14 ft<sup>2</sup> [604.44 m<sup>2</sup>]</p> <p>FRONT YARD AREA = 1399 ft<sup>2</sup> [129.97 m<sup>2</sup>]                  PORCH &amp; STEPS + WALKWAY AREA = 87 ft<sup>2</sup> [8.08 m<sup>2</sup>]                  DRIVEWAY = 392 ft<sup>2</sup> [36.42 m<sup>2</sup>]</p> <p>FRONT YARD HARD SURFACE AREA = 479 ft<sup>2</sup> [44.50 m<sup>2</sup>]                  (PORCH, STEPS, WALKWAY &amp; DRIVEWAY) = 34.2% (45% MAX. PERMITTED)</p> <p>FRONT YARD SOFT LANDSCAPED AREA = 920 ft<sup>2</sup> [85.47 m<sup>2</sup>]                  (FRONT YARD AREA) - (DRIVEWAY) = 1007 ft<sup>2</sup> [93.55 m<sup>2</sup>]                  PORCH &amp; STEPS AREA = 87 ft<sup>2</sup> (8.6%)                  SOFT LANDSCAPED AREA = 920 ft<sup>2</sup> (91.4%) MIN 75% REQ'D</p> <p align="center">DENSITY = 3774 ft<sup>2</sup> [350.62 m<sup>2</sup>] = 58 %</p>	<p><b>ubisoft Design Group</b> 637 Mount Pleasant Road Toronto, Ontario M4M 2M4 TEL: 416.667-0322 FAX: 416.667-0751 EMAIL: info@rubinoffdesigngroup.com</p> <table border="1"> <tr> <td>PROJECT DESIGNER: G. RUBINOFF</td> <td>PROJECT NO.</td> <td>DRAWING NO.</td> </tr> <tr> <td>DRAWN BY: P. NARANJO</td> <td>DATE: JULY/10/2017</td> <td rowspan="2" style="font-size: 48pt; text-align: center;"><b>A</b></td> </tr> <tr> <td>CHECKED BY:</td> <td>SCALE: 1 : 150</td> </tr> </table> <p>CLIENT: <b>PRIVATE RESIDENCE</b></p> <p>PROJECT: <b>SITE PLAN</b></p> <p>PROJECT: 176 DINNICK CRESCENT TORONTO, ONTARIO</p>	PROJECT DESIGNER: G. RUBINOFF	PROJECT NO.	DRAWING NO.	DRAWN BY: P. NARANJO	DATE: JULY/10/2017	<b>A</b>	CHECKED BY:	SCALE: 1 : 150
	PROJECT DESIGNER: G. RUBINOFF	PROJECT NO.	DRAWING NO.							
DRAWN BY: P. NARANJO	DATE: JULY/10/2017	<b>A</b>								
CHECKED BY:	SCALE: 1 : 150									

**SIGNATURE PAGE**

File Number:	A0397/17NY	Zoning	RD / R1 (ZR)
Owner:	ROBERTA CARANO	Ward:	Don Valley West (25)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>176 DINNICK CRES</b>	Community:	Toronto
Legal Description:	PLAN 1534 LOT 191		

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Beth Levy (signed)

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Denise Graham (signed)

---

Rick Ross (signed)

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Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

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Wednesday, July 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0360/17NY	Zoning	RD(f15.0; a550)(x5)/ R4 [ZZC]
Owner(s):	ALIREZA ZAMANIPOUR	Ward:	Willowdale (23)
Agent:	OPTIONS ARCHITECTS	Heritage:	Not Applicable
Property Address:	<b>316 PARKVIEW AVE</b>	Community:	North York
Legal Description:	PLAN 1790 LOT 820 PT LOT 821 PLAN 3194 LOT 89 PT LOT 90		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling with integral garage. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.30.40.(1) A), By-law No. 569-2013**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 31.00% of the lot area.
- Chapter 10.20.40.10.(2) B)(ii), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.  
The proposed height of the side exterior main walls facing a side lot line is 7.80m.
- Chapter 10.20.40.20.(1), By-law No. 569-2013**  
The maximum permitted building length not including a permitted one-storey rear extension is 17.00m.  
The proposed building length not including a permitted one-storey rear extension is 18.63m.
- Chapter 10.20.40.20.(2) A), By-law No. 569-2013**  
The maximum permitted building length is 19.00m provided the extension to the building is less than 5.00m in height and is one-storey.  
The proposed building length including a one-storey rear extension is 20.60m and is 5.36m in height.
- Chapter 10.20.40.30.(1), By-law No. 569-2013**  
The maximum permitted building depth is 19.00m.  
The proposed building depth is 20.60m.
- Chapter 10.20.40.70.(1), By-law No. 569-2013**  
The minimum required front yard setback is 6.51m.

- The proposed front yard setback is 6.04m.
7. **Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 1.22m.
  8. **Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 1.52m.
  9. **Section 13.2.3(a), By-law No. 7625**  
The minimum required front yard setback is 7.50m +/- 1.00m.  
The proposed front yard setback is 6.04m.
  10. **Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 1.22m.
  11. **Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 1.52m.
  12. **Section 13.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 31.00% of the lot area.
  13. **Section 13.2.5A, By-law No. 7625**  
The maximum permitted building length not including a permitted one-storey rear extension is 16.80m.  
The proposed building length not including a permitted one-storey rear extension is 18.63m.
  14. **Section 13.2.6, By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 9.66m.
  15. **Section 6(30)a, By-law No. 7625**  
The maximum permitted finished first floor height is 1.50m.  
The proposed finished first floor height is 1.70m.
  16. **Section 13.2.6, By-law No. 7625**  
The maximum permitted number of storeys is two.  
The proposed number of storeys is three.
  17. **Section 13.2.5A(3), By-law No. 7625**  
The maximum permitted building length, including a permitted one-storey rear extension is 18.90m provided the extension to the building is less than 5.00m in height and is one-storey.  
The proposed building length including a one-storey rear extension is 20.60m and is 6.04m in height.
  18. **Section 13.2.6A, By-law No. 7625**  
The maximum permitted balcony area is 3.80m<sup>2</sup>.  
The proposed front porch is 4.95m<sup>2</sup>.
  19. **Section 13.2.6A, By-law No. 7625**  
The maximum permitted balcony area is 3.80m<sup>2</sup>.



The proposed rear deck is 35.85m<sup>2</sup>.

**20. Section 6(9)(k), By-law No. 7625**

The maximum permitted projection of a balcony is 1.60m from the wall.  
The rear deck projects 5.51m from the wall.

**21. Section 6(9)(k), By-law No. 7625**

The maximum permitted projection of a balcony is 1.60m from the wall.  
The front porch projects 1.82m from the wall.

**22. Section 13.2.6A(b), By-law No. 7625**

The maximum number of balconies per side of a dwelling is one.  
The proposed number of balconies on the rear wall of the dwelling is two.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

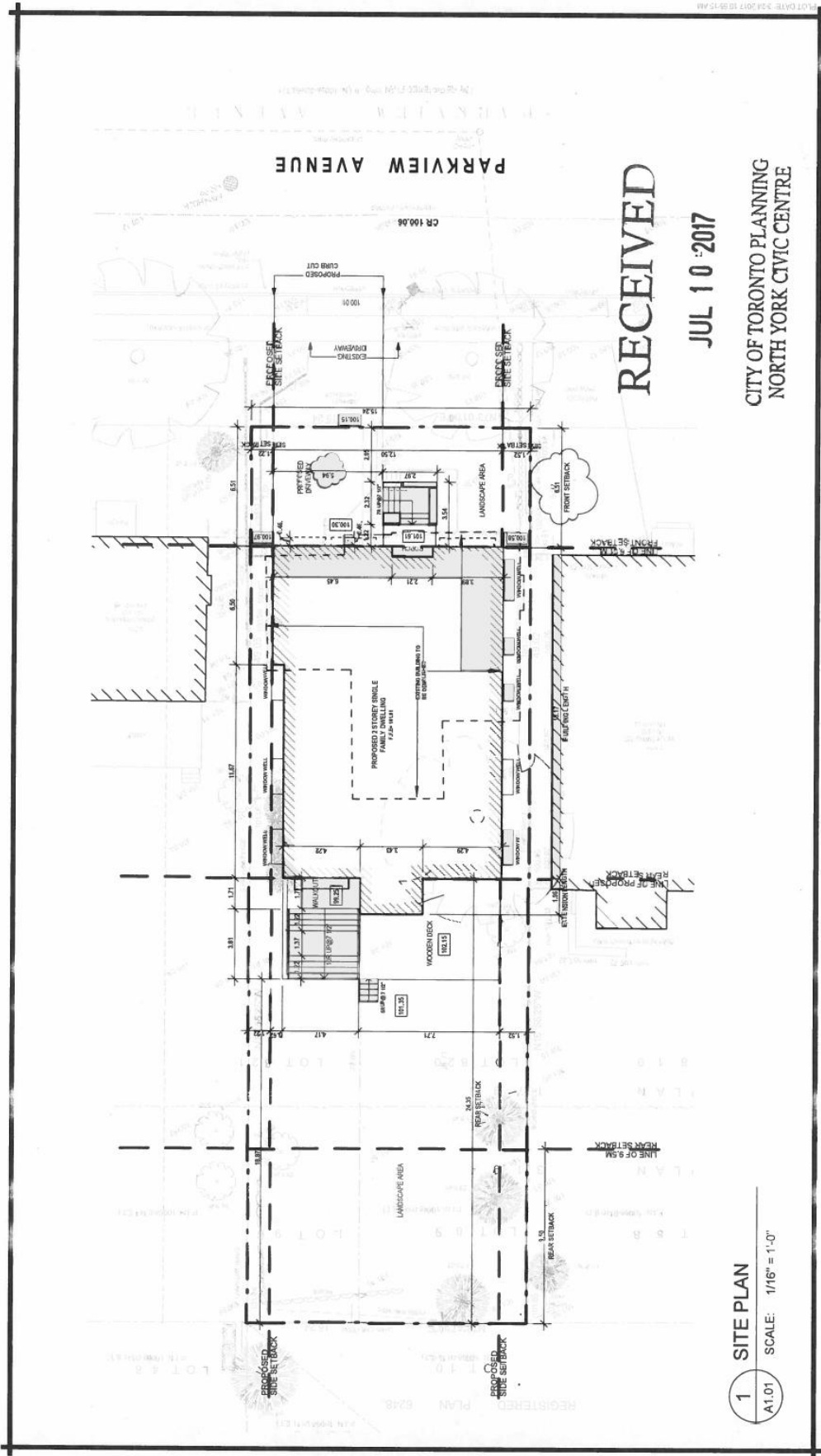
**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the site plan, basement floor plan, main floor plan, and second floor plan drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, July 10, 2017.  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



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JUL 10 2017

CITY OF TORONTO PLANNING  
NORTH YORK CIVIC CENTRE

**Options**  
GROUP  
644-5783 Yonge St.  
Toronto, ON M2M 1P5  
Tel: 416-315-5442  
Fax: 416-315-5475

Client: **316 PARKVIEW AVE.**  
Sheet No: **A1.01**  
Scale: **1/16" = 1'-0"**

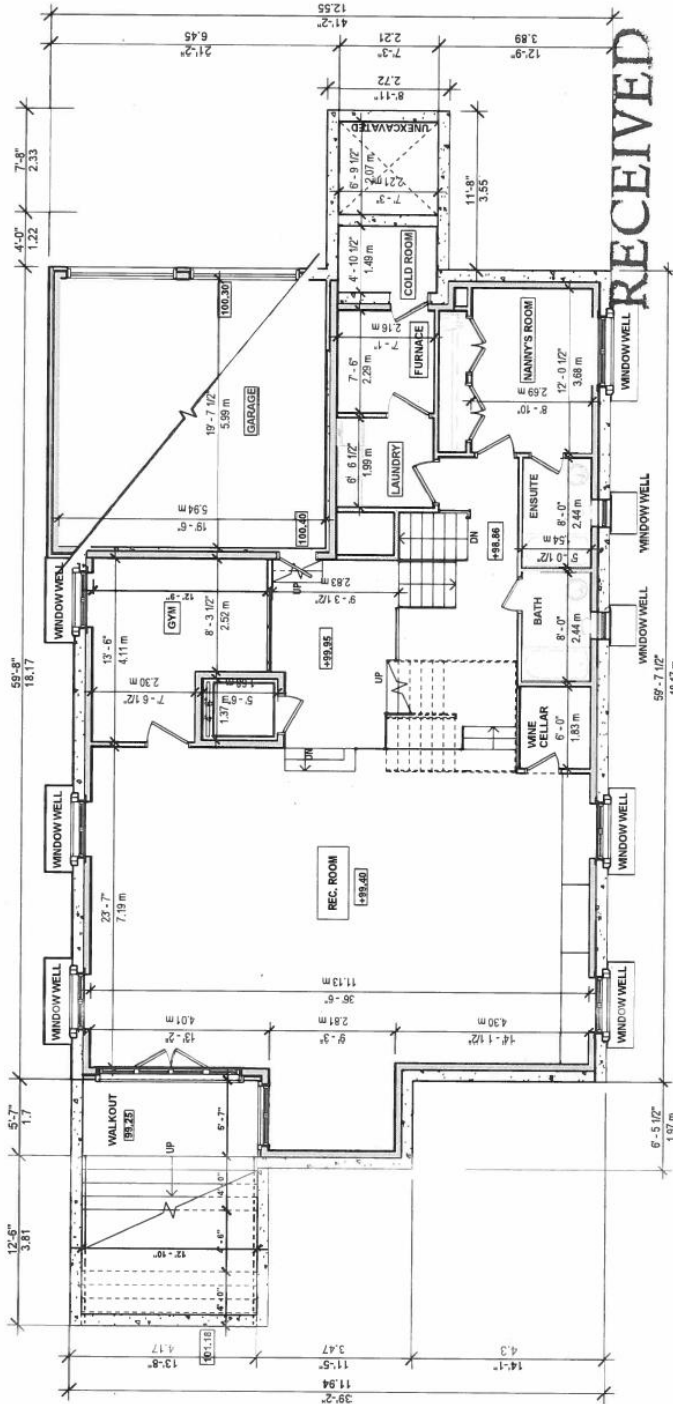
Project: **SINGLE FAMILY DWELLING**  
Location: **TORONTO, ONTARIO**  
Sheet No: \_\_\_\_\_

No.	Date	Issued For	By
1		FOR REVIEW	
2		FOR APPROVAL	
3		FOR RECORD	
4		FOR ARCHIVE	
5		FOR DESTRUCTION	



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**1 SITE PLAN**  
SCALE: 1/16" = 1'-0"



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CITY OF TORONTO PLANNING  
NORTH YORK CIVIC CENTRE

1 BASEMENT FLOOR PLAN  
A2.02 SCALE: 1/8" = 1'-0"

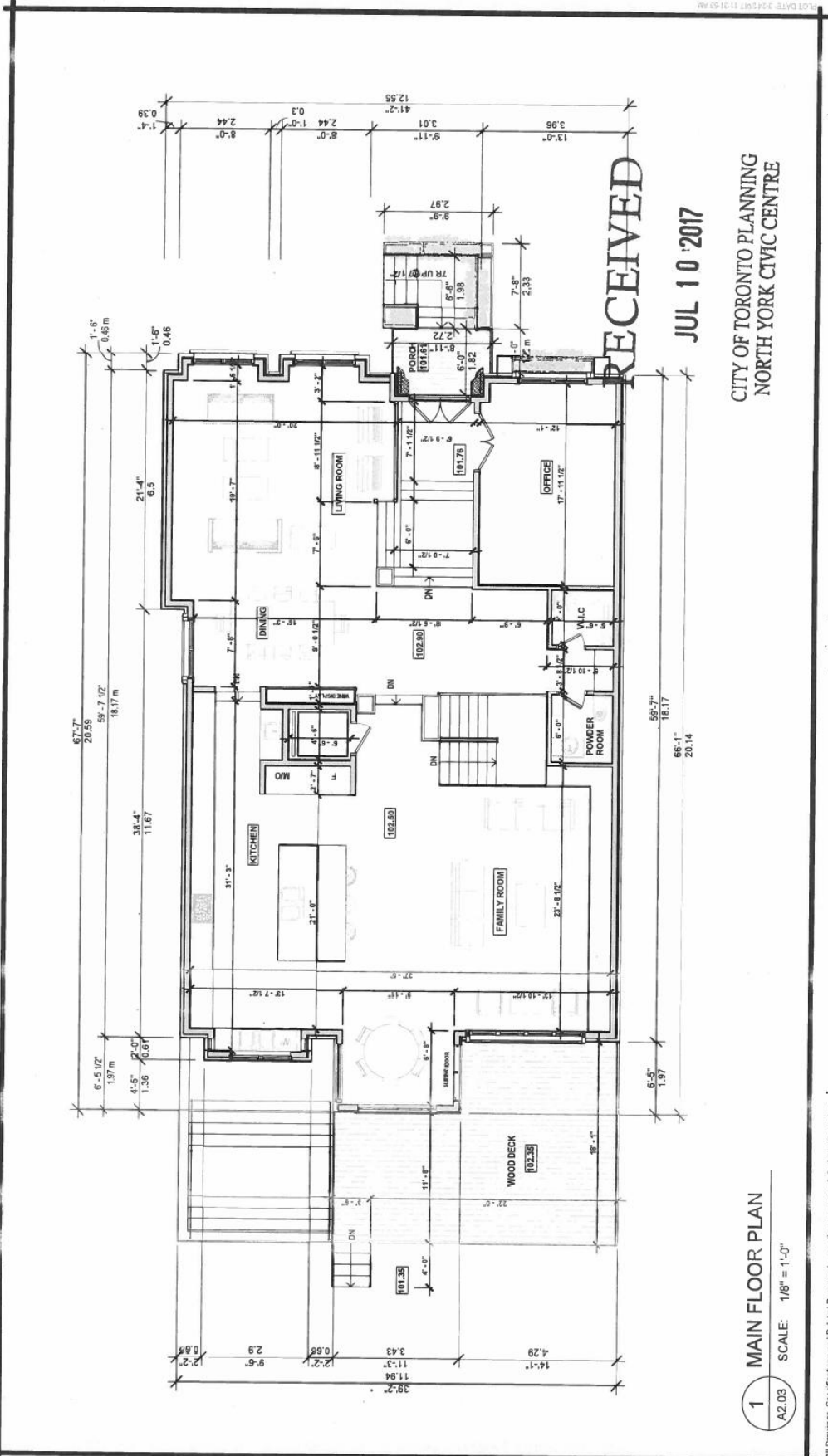
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No.	Date	Issued For	By
1	2017.07.10	Final Iss. Drawing	AW
2	2017.07.10	Final Iss. Drawing	AW
3	2017.07.10	Final Iss. Drawing	AW
4	2017.07.10	Final Iss. Drawing	AW

Client	Project No.	Sheet No.
316 PARKVIEW AVE.	121-16	A2.02

Options GROUP  
464-978 Yonge St.  
Toronto, ON M5S 1Y5  
Tel: 416-315-1445  
Fax: 416-315-8375



1 MAIN FLOOR PLAN  
SCALE: 1/8" = 1'-0"

CITY OF TORONTO PLANNING  
NORTH YORK CIVIC CENTRE

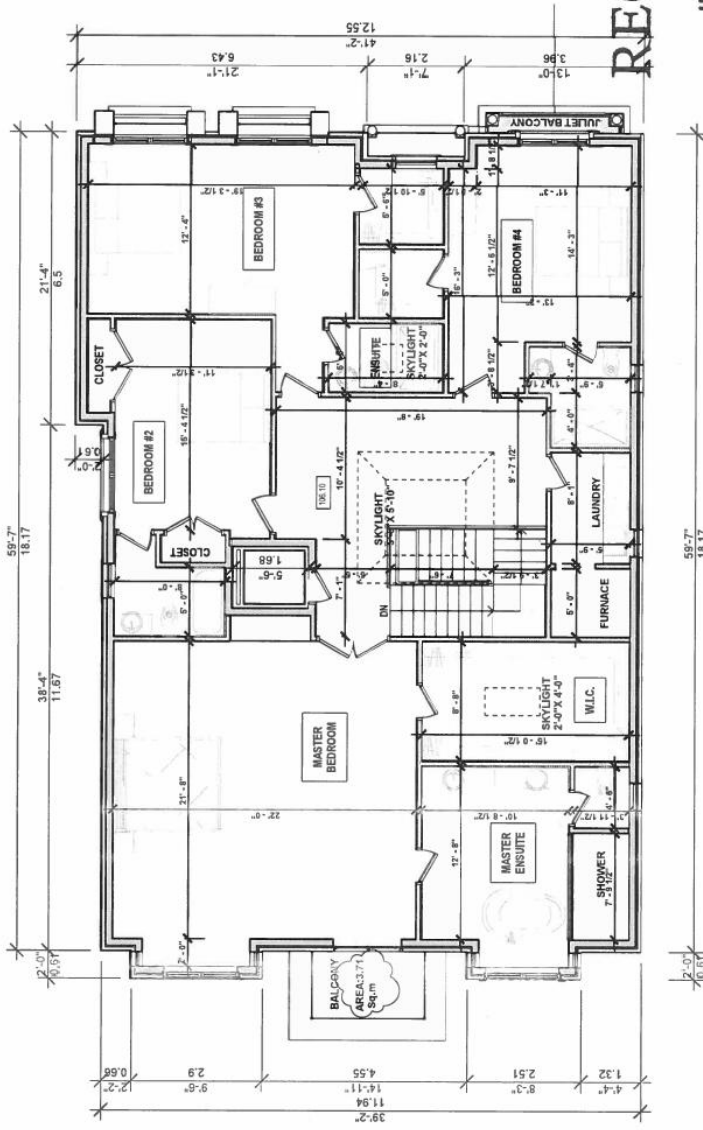
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No.	Date	Issued For	By
1	2017.01.17	Approved for Construction	DL
2	2017.01.17	AS BUILT CITY	DL
3	2017.01.17	Revised for Submission	DL

Project: SINGLE FAMILY DWELLING  
Location: TORONTO, ONTARIO  
Sheet Title: MAIN FLOOR PLAN

Client: 316 PARKVIEW AVE.  
Owner: AM  
Architect: Options GROUP  
Project No: 121-16  
Date: JAN 2017  
Scale: 1/8" = 1'-0"  
466-758 YORK ST  
TORONTO, ON M6H 3Y5  
Tel: 416-315-5445  
Fax: 416-315-5275



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JUL 10 2017

CITY OF TORONTO PLANNING  
NORTH YORK CIVIC CENTRE

1 SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

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No.	Date	Issued For	By
1	2017.07.10	Issued for Planning	AW
2	2017.07.10	AS-BUILT SET	AW
3	2017.07.10	Issued for Approval	AW
4	2017.07.10	Issued for Approval	AW

Project: SINGLE FAMILY DWELLING  
TORONTO, ONTARIO  
Sheet No: **A2.04**  
Second Floor PLAN

Client: 316 PARKVIEW AVE.  
Scale: 1/8" = 1'-0"  
Project No: 17-116  
Year: 2017  
Date: 18" x 1'-0"

Options GROUP  
644-578 Yonge St  
Toronto, ON M4M 3J5  
Tel: 416-593-5441  
Fax: 416-593-5439

**SIGNATURE PAGE**

File Number:	A0360/17NY	Zoning	RD(f15.0; a550)(x5)/ R4 [ZZC]
Owner:	ALIREZA ZAMANIPOUR	Ward:	Willowdale (23)
Agent:	OPTIONS ARCHITECTS	Heritage:	Not Applicable
Property Address:	<b>316 PARKVIEW AVE</b>	Community:	North York
Legal Description:	PLAN 1790 LOT 820 PT LOT 821 PLAN 3194 LOT 89 PT LOT 90		

\_\_\_\_\_  
Beth Levy (signed)

\_\_\_\_\_  
Denise Graham (signed)

\_\_\_\_\_  
Rick Ross (signed)

\_\_\_\_\_  
Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Wednesday, July 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0359/17NY	Zoning	R4/RD (f15.0; a550) (x5)[ZONING]
Owner(s):	AFKHAM POURMANAF	Ward:	Willowdale (23)
Agent:	OPTIONS ARCHITECTS	Heritage:	Not Applicable
Property Address:	<b>396 PRINCESS AVE</b>	Community:	North York
Legal Description:	PLAN 1609 LOT 112		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 31.9% of the lot area.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.  
The proposed height of the side exterior main walls facing a side lot line is 7.8m.
- 3. Chapter 900.3.10(5), By-law No. 569-2013**  
The required minimum side yard setback is 1.8m.  
The proposed east side yard setback is 1.22m
- 4. Chapter 900.3.10(5), By-law No. 569-2013**  
The required minimum side yard setback is 1.8m.  
The proposed west side yard setback is 1.52m.
- 5. Section 13.2.3(b), By-law No. 7625**  
The required minimum side yard setback is 1.8m.  
The proposed east side yard setback is 1.22m
- 6. Section 13.2.3(b), By-law No. 7625**  
The required minimum side yard setback is 1.8m.  
The proposed west side yard setback is 1.52m.



7. **Section 13.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 31.9% of the lot area.
8. **Section 13.2.6, By-law No. 7625**  
The maximum permitted building height is 8.8m.  
The proposed building height is 9.49m.
9. **Section 13.2.6, By-law No. 7625**  
The maximum permitted number of storeys is 2.  
The proposed number of storeys is 3.
10. **Section 13.2.6A, By-law No. 7625**  
The maximum permitted balcony area is 3.8m<sup>2</sup>.  
The proposed balcony area (porch) is 5.33m<sup>2</sup>
11. **Section 13.2.6A, By-law No. 7625**  
The maximum permitted balcony area is 3.8m<sup>2</sup>.  
The proposed balcony area (rear deck) is 26.06m<sup>2</sup>.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

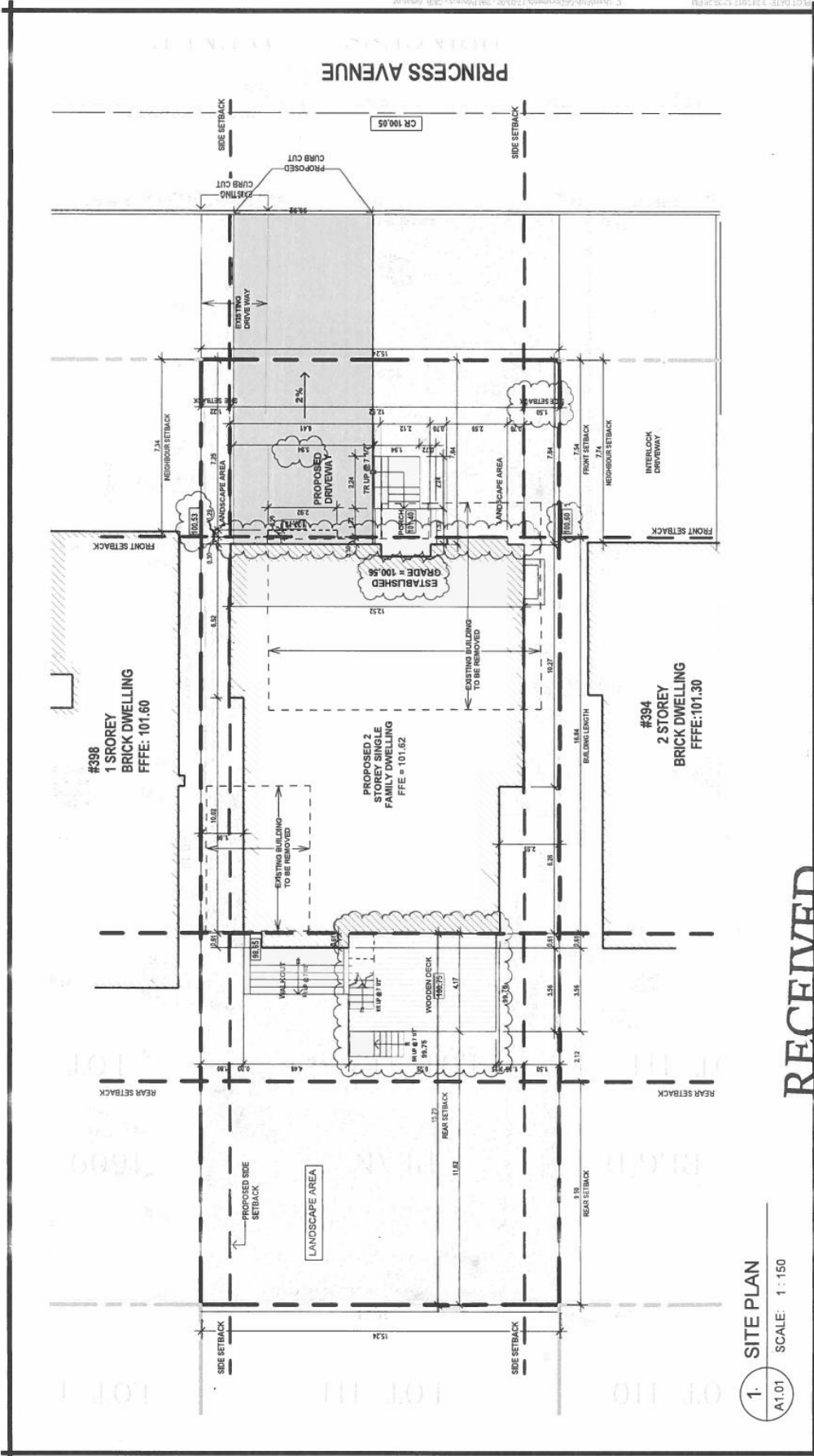
**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the site plan, basement floor plan, main floor plan, and second floor plan drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, July 10, 2017.  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



1. SITE PLAN  
A1.01 SCALE: 1 : 150

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JUL 10 2017

CITY OF TORONTO PLANNING  
NORTH YORK CIVIC CENTRE

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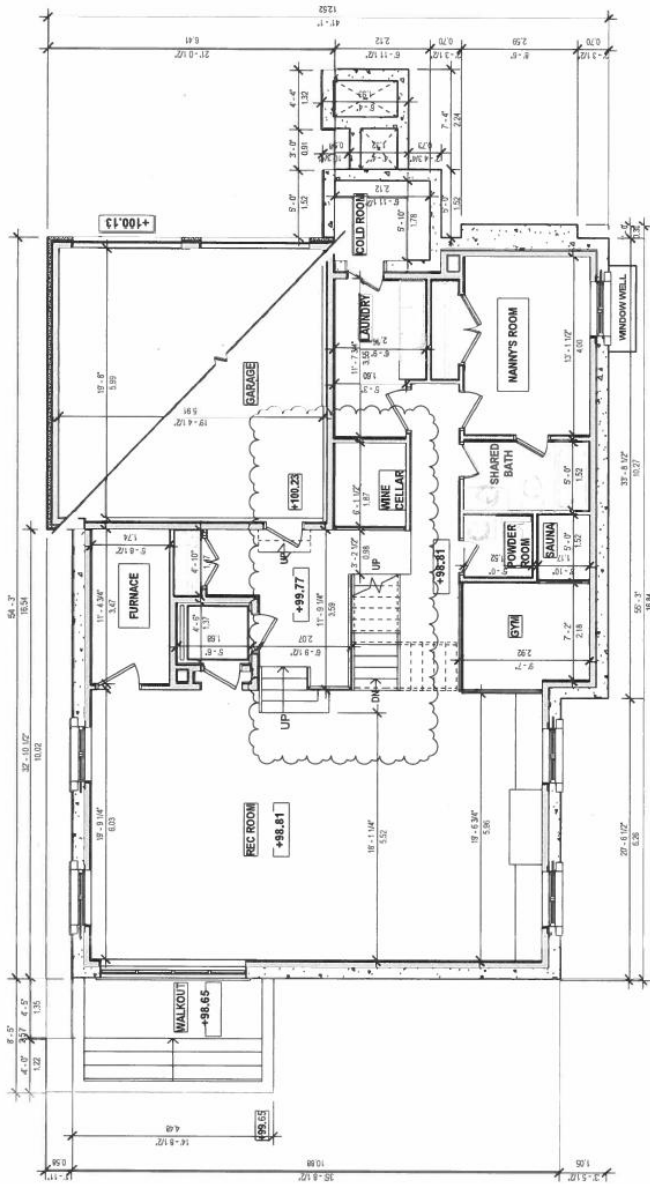
No.	Date	Issued For	By
1	JUL 10 2017	Approved for Construction	JA
2		Issued for Planning	JA

Client: SINGLE FAMILY DWELLING  
TORONTO, ONTARIO  
Sheet No: SITE PLAN

396 PRINCESS AVE.  
AM: 396  
Checked: 15.05.17  
Project No: 15-015  
Date: JAN 2017  
Scale: 1:150

Options GROUP  
440-575 Yonge St.  
Toronto, ON M5E 1B5  
Tel: 416-313-2141  
Fax: 416-593-6173





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JUL 10 2017

1 BASEMENT FLOOR PLAN  
A2.02 SCALE: 1/8" = 1'-0"

CITY OF TORONTO PLANNING  
NORTH YORK CIVIC CENTRE



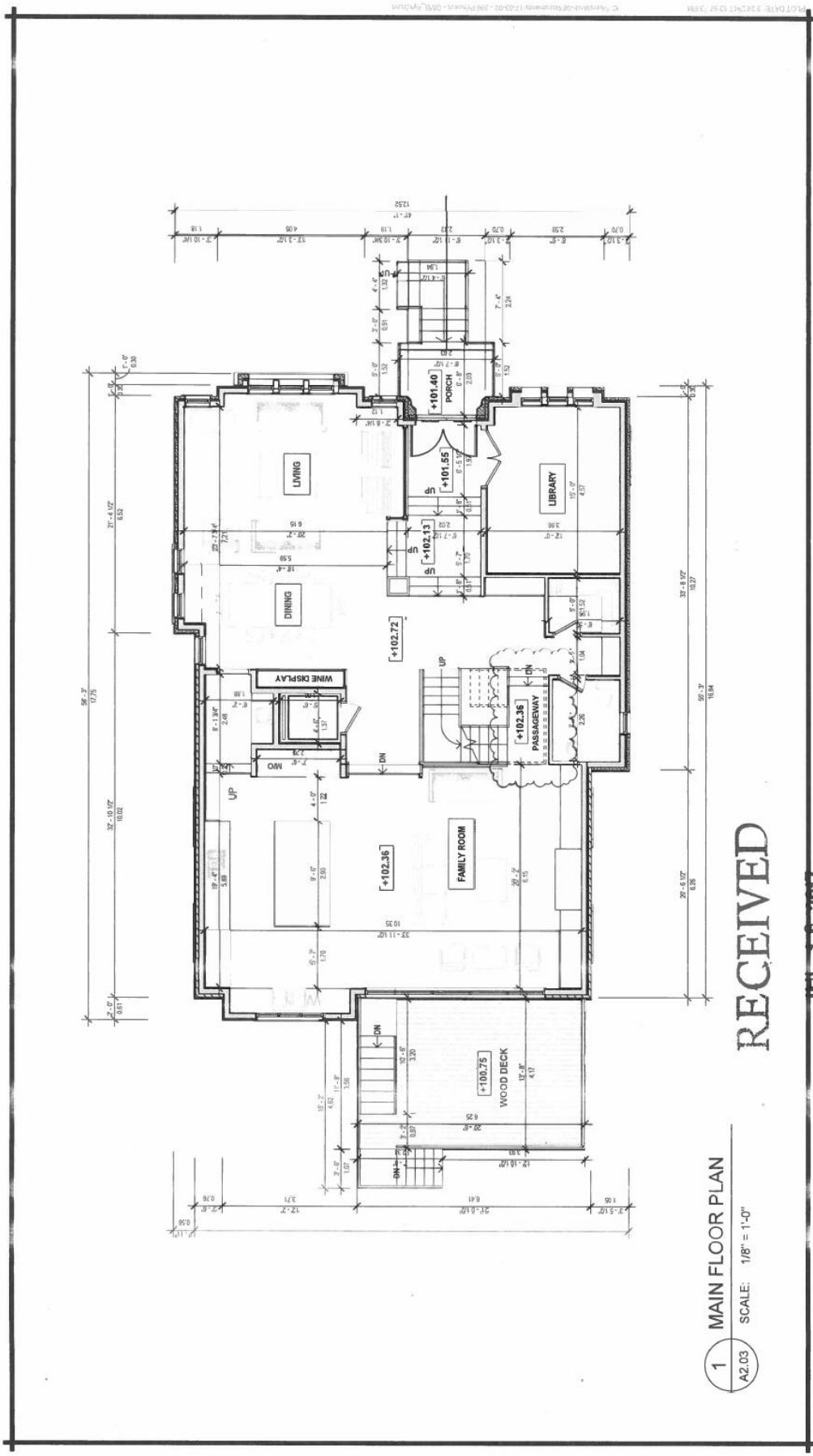
No.	Date	Issued For	By
1	2016.08.11	AS PER CITY	LS
2	2016.08.11	Revised for Comments	RS

Project: SINGLE FAMILY DWELLING  
TORONTO, ONTARIO  
Sheet Title: BASEMENT FLOOR PLAN

Client: 396 PRINCESS AVE.  
A&P Street Inc.  
Architect: Options Group  
Project No: 115-16  
Date: JAN 2017  
Scale: 1/8" = 1'-0"

Options GROUP  
666-298 Yonge St.  
Toronto, ON M5M 3Y3  
Tel: 416-223-2442  
Fax: 416-223-5275

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This drawing must not be scaled.  
The contractor is to verify dimensions and take notes with conditions on the site and is held responsible for any errors on the site.  
This drawing is not to be used for construction purposes until signed and sealed by the Architect.



1 MAIN FLOOR PLAN  
 A2.03 SCALE: 1/8" = 1'-0"

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CITY OF TORONTO PLANNING  
 NORTH YORK CIVIC CENTRE

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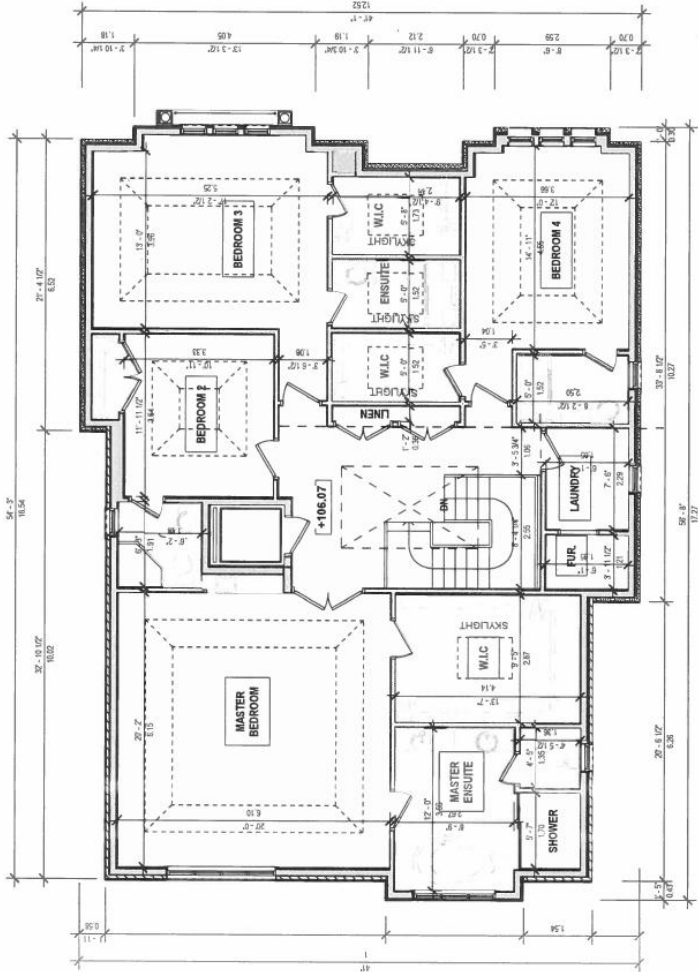
No.	Date	Issued For	By
1	2017.07.10	FOR PERMIT	AW
2	2017.07.10	FOR PERMIT	AW

Project: SINGLE FAMILY DWELLING  
 TORONTO, ONTARIO  
 Sheet No: MAIN FLOOR PLAN  
 option 2

Client: 396 PRINCESS AVE.  
 Drawn: AM  
 Checked: RM  
 Project No: 115-16  
 Date: JAN 2017  
 Scale: 1/8" = 1'-0"

Options GROUP  
 645-5793 King St. E.  
 Toronto, ON M3J 1P5  
 Tel: 416-355-9449  
 Fax: 416-355-6275





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CITY OF TORONTO PLANNING  
NORTH YORK CIVIC CENTRE

No.	Date	Issued For	By
1	17-05-17	AS PERMITTED	...
2	17-05-17	AS PERMITTED	...
3	17-05-17	AS PERMITTED	...

Client: SINGLE FAMILY DWELLING  
TORONTO, ONTARIO  
Sheet No: SECOND FLOOR PLAN

396 PRINCESS AVE.  
A2.04  
Scale: 1/8" = 1'-0"

Options GROUP  
646-5799 Yonge St  
Toronto, ON M3J 1K5  
Tel: 416-352-3460  
Fax: 416-352-6375

1 SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

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**SIGNATURE PAGE**

File Number:	A0359/17NY	Zoning	R4/RD (f15.0; a550) (x5)[ZONING]
Owner:	AFKHAM POURMANAF	Ward:	Willowdale (23)
Agent:	OPTIONS ARCHITECTS	Heritage:	Not Applicable
Property Address:	<b>396 PRINCESS AVE</b>	Community:	North York
Legal Description:	PLAN 1609 LOT 112		

---

Beth Levy (signed)

---

Denise Graham (signed)

---

Rick Ross (signed)

---

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Wednesday, July 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0428/17NY	Zoning:	R / R1S (ZR)
Owner(s):	RIXI ABRAHAMSOHN CHARLES WHARTON	Ward:	Eglinton-Lawrence (16)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>2 ROSEWELL AVE</b>	Community:	Toronto
Legal Description:	PLAN 734 RANGE 2 PT LOT 17		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To constructed a new detached garage and one storey addition to the rear of the dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.10.40.40.(2), By-law No. 569-2013**  
The permitted maximum floor space index for additions to the rear of a detached house erected before October 15, 1953 is 0.69 times the area of the lot.  
The proposed floor space index is 0.736 times the area of the lot.
- 2. Chapter 10.5.50.10.(3), By-law No. 569-2013**  
A lot with a residential building, other than an apartment building must have a minimum of 50 of the rear yard for soft landscaping.  
The proposed rear yard landscaping area is 31.8%.
- 3. Chapter 10.10.60.20.(1), By-law No. 569-2013**  
The required minimum side yard setback for a lot line abutting a street or lane is 1.0 m.  
The proposed side yard setback is 0.30 m.
- 4. Section 6(3) Part VI 1(I), By-law No. 438-86**  
The by-law allows additions to the rear of a detached house erected before October 15, 1953, provided the residential gross floor area of the building as enlarged does not exceed 0.69 times the area of the lot.  
The proposed residential gross floor area is 0.736 times the area of the lot.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**



## **The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0428/17NY	Zoning	R / R1S (ZR)
Owner:	RIXI ABRAHAMSOHN CHARLES WHARTON	Ward:	Eglinton-Lawrence (16)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>2 ROSEWELL AVE</b>	Community:	Toronto
Legal Description:	PLAN 734 RANGE 2 PT LOT 17		

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Beth Levy (signed)

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Denise Graham (signed)

---

Rick Ross (signed)

---

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Wednesday, July 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0430/17NY	Zoning	RD / R4 (ZR)
Owner(s):	MICHAEL PETER DOIRON KATALIN DOIRON	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>102 BURNDALE AVE</b>	Community:	North York
Legal Description:	PLAN M407 LOT 378		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

Construction of a new two-storey single family dwelling with integral garage. The existing dwelling will be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**  
A minimum of 10 m<sup>2</sup> of the first floor area must be within 4 m of the front wall.  
There is 6.3 m<sup>2</sup> proposed within the 4 m of the front wall.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The permitted maximum lot coverage is 30.0% of the lot area.  
The proposed lot coverage is 32.0% of the lot area.
- 3. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m for 100% of the width of the wall.  
The proposed height of the west side exterior main wall is **8.5m**.
- 4. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m for 100% of the width of the wall.  
The proposed height of the east side exterior main wall is **8.5m**.
- 5. Chapter 900.3.10(5), By-law No. 569-2013**  
The required minimum side yard setback is 1.8 m.  
The proposed east side yard setback is 1.54 m.

6. **Section 13.2.3(a), By-law No. 7625**  
The minimum required front yard setback is 7.5 m plus or minus 1 m.  
The proposed front yard setback is **5.77m**.
7. **Section 13.2.3(b), By-law No. 7625**  
The required minimum side yard setback is 1.8 m.  
The proposed east side yard setback is 1.54 m.
8. **Section 13.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 30.0% of the lot area.  
The proposed lot coverage is 32.0% of the lot area.
9. **Section 13.2.6, By-law No. 7625**  
The maximum permitted building height is 8.8m.  
The proposed building height is 9.25 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

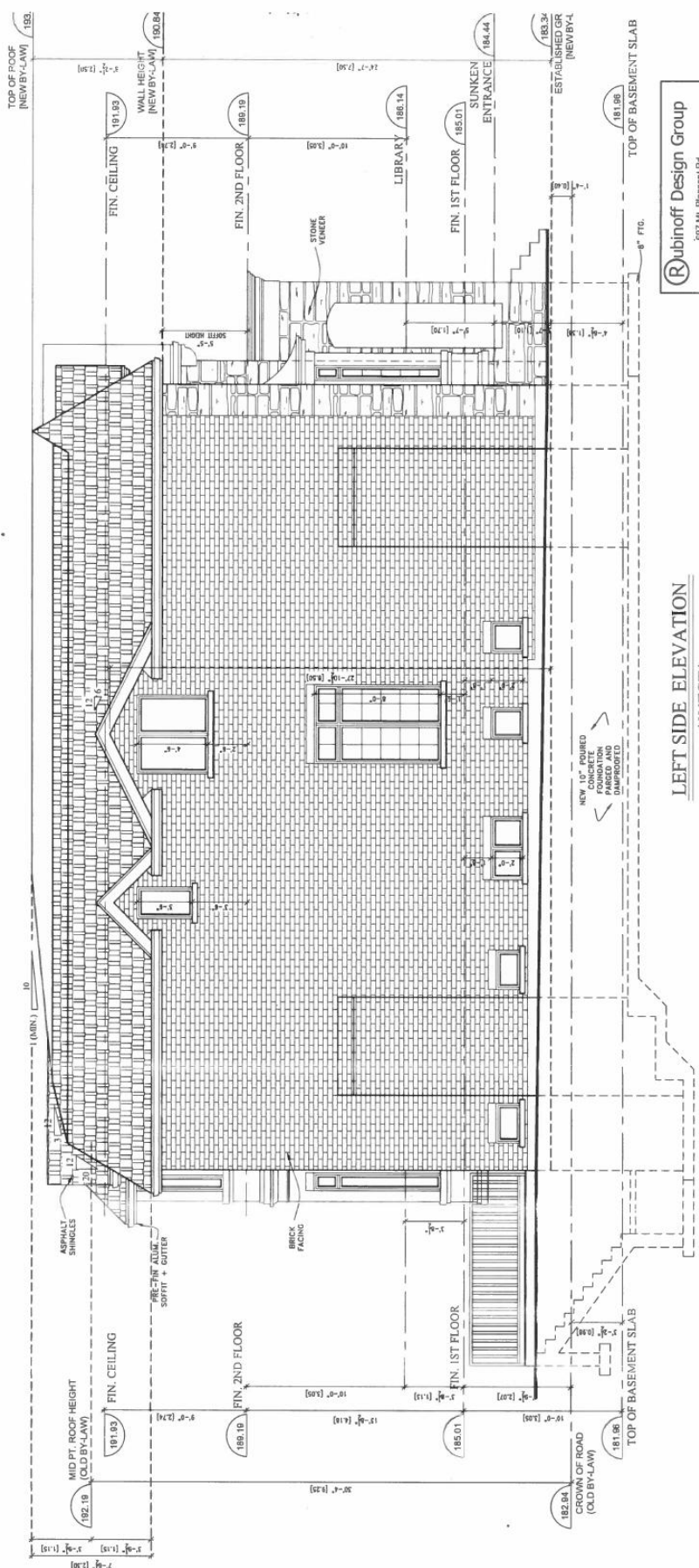
**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
2. The proposal be developed in accordance with the east and west elevation drawings for the second floor windows of 8.5m only, submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, July 1 0, 2017.  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



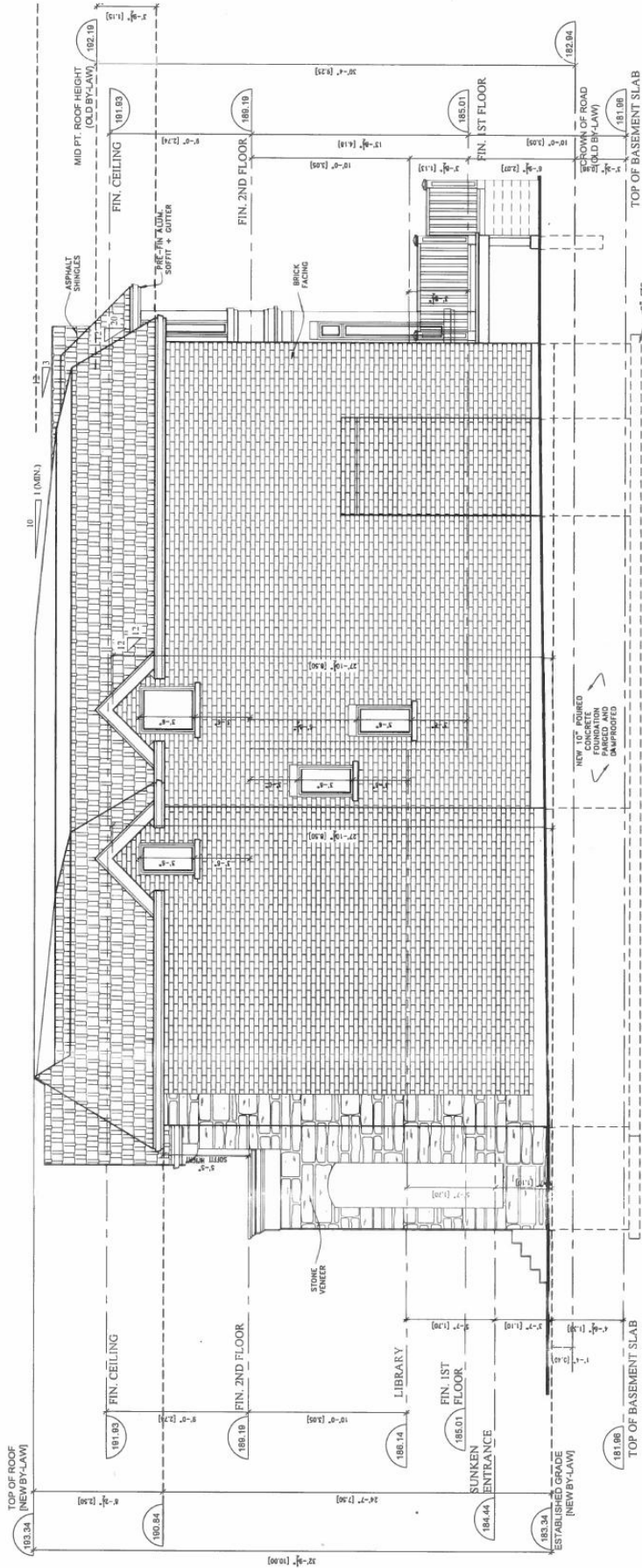
**R** Rubinoff Design Group  
 697 Mt. Pleasant Rd  
 Toronto, Ontario M4S 2N4  
 TEL: 416-291-7411 FAX: 416-291-7412 WWW: RUBINOFFDESIGN.COM  
**102 BURDALE**  
 TORONTO, ONTARIO  
 JUNE 28 2017

LEFT SIDE ELEVATION  
 \*WEST\*

RECEIVED

JUL 10 2017

CITY OF TORONTO PLANNING  
 NORTH YORK CIVIC CENTRE



**R**ubinoff Design Group  
 697 Mt. Pleasant Rd  
 Toronto, Ontario M5S 2M4  
 TEL: 416.462.2222 FAX: 416.462.2031 EMAIL: info@rubinoffdesign.com  
**102 BURNDALE**  
 TORONTO, ONTARIO  
 JUNE 28, 2017

RIGHT SIDE ELEVATION  
 \*EAST\*

RECEIVED

JUL 10 2017

CITY OF TORONTO PLANNING  
 NORTH YORK CIVIC CENTRE

**SIGNATURE PAGE**

File Number:	A0430/17NY	Zoning	RD / R4 (ZR)
Owner:	MICHAEL PETER DOIRON KATALIN DOIRON	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>102 BURNDALE AVE</b>	Community:	North York
Legal Description:	PLAN M407 LOT 378		

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Beth Levy (signed)

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Denise Graham (signed)

---

Rick Ross (signed)

---

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel



## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Wednesday, July 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0432/17NY	Zoning	RD/R1 [BLD]
Owner(s):	HAO YANG	Ward:	Don Valley West (25)
Agent:	FOUR SEASONS SUNROOMS	Heritage:	Not Applicable
Property Address:	<b>26 OLD COLONY RD</b>	Community:	North York
Legal Description:	PLAN 6800 LOT 15		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new one-storey addition (sunroom) to the west portion of the existing dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 3.00m.  
The proposed west side yard setback is 1.34m.
- 2. Section 10.2.1(b), By-law No. 7625**  
The minimum required side yard setback is 3.00m.  
The proposed west side yard setback is 1.34m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

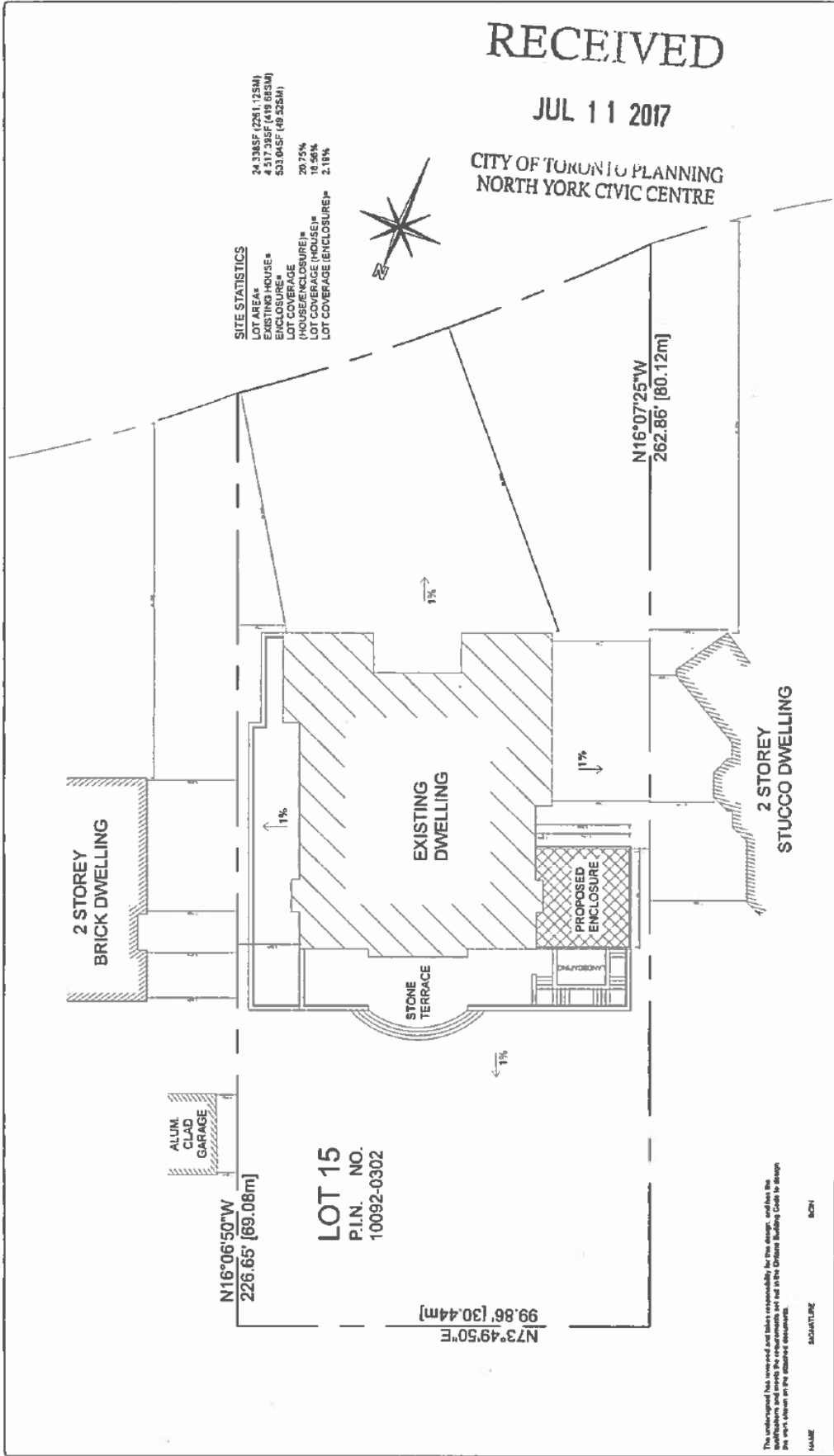
**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the Site Plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, July 11, 2017.  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



Project No.	Drawn By	Reviewed By	7/6 Issues
Scale	Maximum Issues	Project Name	Sheet Number
N.T.S.		28 Old Colony Rd	<b>SP-1</b>

**SIGNATURE PAGE**

File Number:	A0432/17NY	Zoning	RD/R1 [BLD]
Owner:	HAO YANG	Ward:	Don Valley West (25)
Agent:	FOUR SEASONS SUNROOMS	Heritage:	Not Applicable
Property Address:	<b>26 OLD COLONY RD</b>	Community:	North York
Legal Description:	PLAN 6800 LOT 15		

---

Beth Levy (signed)

---

Denise Graham (signed)

---

Rick Ross (signed)

---

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Wednesday, July 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0433/17NY	Zoning	R(f7.5; d0.6)(x604)/ R2 Z0.6 [ZZC]
Owner(s):	BROCK WILLIAM JAMES LEESON ADRIENNE ANN ARCHER	Ward:	Eglinton-Lawrence (16)
Agent:	EURODALE DEVELOPMENT INC	Heritage:	Not Applicable
Property Address:	<b>90 GLENGARRY AVE</b>	Community:	Toronto
Legal Description:	PLAN 1645 PT LOT 677		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey rear addition on the existing structure.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.10.40.40.(1A), By-law No. 569-2013**  
The maximum permitted floor space index is 0.600 times the area of the lot.  
The proposed floor space index is 0.624 times the area of the lot.
- 2. Chapter 200.15.10A), By-law No. 569-2013**  
The minimum required number of accessible parking spaces is one.  
The proposed number of accessible parking spaces is zero.
- 3. Section 6(3), By-law No. 438-86**  
The maximum permitted residential gross floor area is 0.600 times the area of the lot.  
The proposed residential gross floor area is 0.624 times the area of the lot.
- 4. Section 4(4), By-law No. 438-86**  
The minimum required number of parking spaces is one.  
The proposed number of parking spaces is zero.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

## **The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.



**SIGNATURE PAGE**

File Number:	A0433/17NY	Zoning	R(f7.5; d0.6)(x604)/ R2 Z0.6 [ZZC]
Owner:	BROCK WILLIAM JAMES LEESON	Ward:	Eglinton-Lawrence (16)
Agent:	ADRIENNE ANN ARCHER EURODALE DEVELOPMENT INC	Heritage:	Not Applicable
Property Address:	<b>90 GLENGARRY AVE</b>	Community:	Toronto
Legal Description:	PLAN 1645 PT LOT 677		

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Beth Levy (signed)

---

Denise Graham (signed)

---

Rick Ross (signed)

---

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

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To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Wednesday, July 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0434/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZONING]
Owner(s):	SAHAR AFSHAR	Ward:	Willowdale (23)
Agent:	ROOZBEH NOWROOZIPOUR	Heritage:	Not Applicable
Property Address:	<b>261 PATRICIA AVE</b>	Community:	North York
Legal Description:	PLAN 1880 LOT 205		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 32% of the lot area.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of the exterior portion of main walls for a detached house is 7.5m.  
The proposed height of the East side exterior main walls facing a side lot line is 8.01m.
- 3. Chapter 900.3.10.(5), By-law No. 569-2013**  
The minimum required side yard setbacks are 1.8m.  
The proposed east side yard setback is 1.52m.
- 4. Chapter 900.3.10.(5), By-law No. 569-2013**  
The minimum required side yard setbacks are 1.8m.  
The proposed west side yard setback is 1.52m.
- 5. Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setbacks are 1.8m.  
The proposed east side yard setback is 1.52m.
- 6. Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setbacks are 1.8m.  
The proposed west side yard setback is 1.52m.

**7. Section 13.2.4, By-law No. 7625**

The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 32% of the lot area.

**8. Section 13.2.6, By-law No. 7625**

The maximum permitted building height is 8.8m.  
The proposed building height is 9.11m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

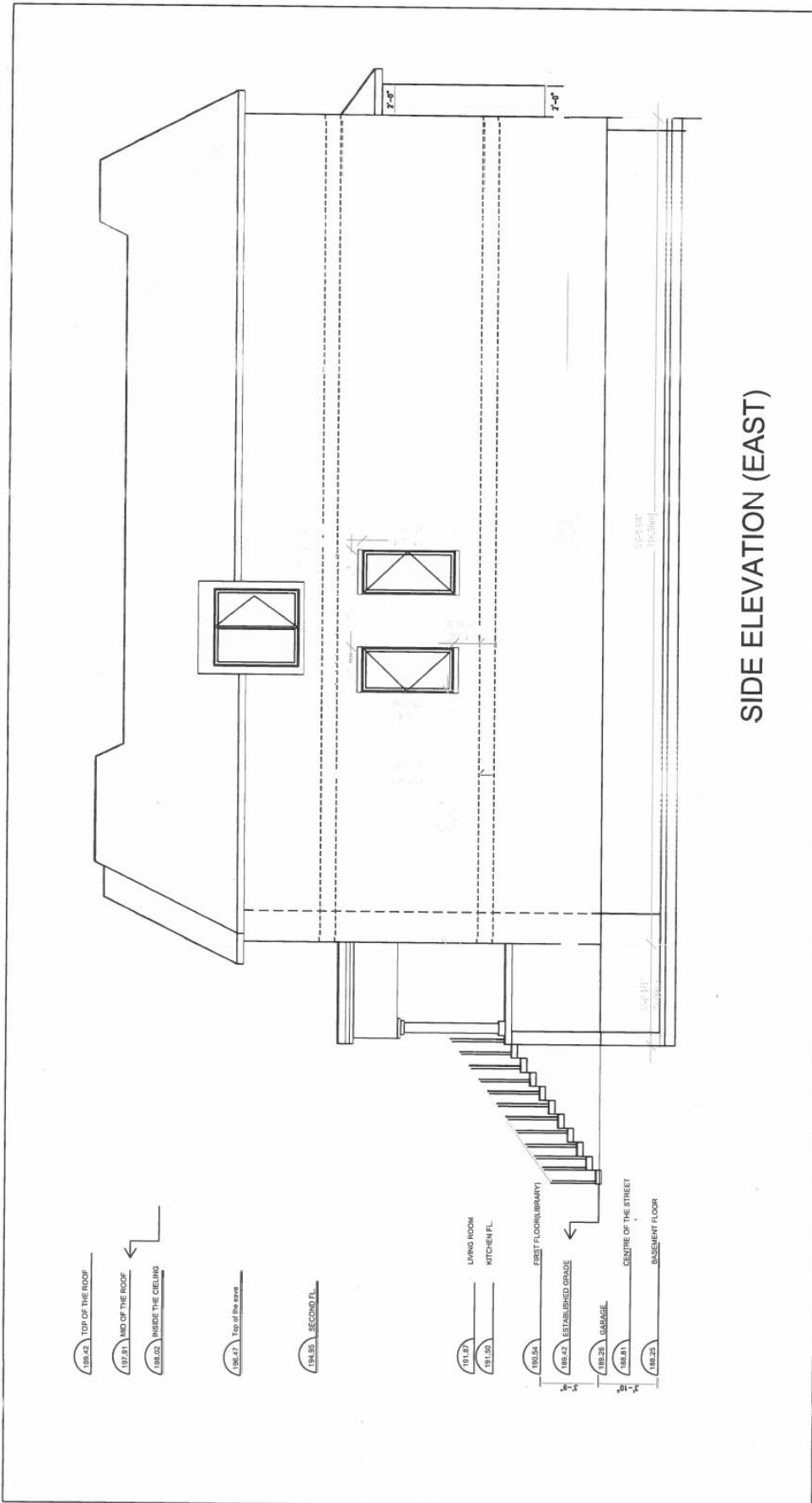
**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the east elevation drawing for the second floor window height of 8.01m only, submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, July 10, 2017.  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



SIDE ELEVATION (EAST)

GENERAL CONDITION:  
 THE CONTRACTOR SHALL VERIFY AND CORRECT ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK.  
 ALL DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF TRAM DELU & ASSOCIATES INC. AND SHALL BE KEPT BY THE CONTRACTOR WITHOUT WRITTEN PERMISSION FROM TRAM DELU & ASSOCIATES INC. FOR REPRODUCTION OR FOR ANY OTHER PURPOSES.  
 THE DRAWING (S) IS/ARE TO BE USED IN ACCORDANCE TO O.S.C. THAT DERIVED FROM THE APPROVED DRAWINGS PREPARED BY THE CONTRACTOR.

STATUS:	ISSUED:	TITLE: 261 PATRICIA AVE PROPOSED TWO STOREY NEW HOUSE
PAIRS J.P. CO. 178 WEDGEWOOD DR. TORONTO, ON. M9M 2P9 TEL: (416) 298-5242 PHONE: (416) 867-4844	DRAWN BY: ROOZBEH NOWROOZPOUR	DRAWING No
	CHECKED BY:	PROJECT No.
	SCALE: 1/100	DATE:

**RECEIVED**

JUL 10 2017

Toronto City Planning  
North York District

**SIGNATURE PAGE**

File Number:	A0434/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZONING]
Owner:	SAHAR AFSHAR	Ward:	Willowdale (23)
Agent:	ROOZBEH NOWROOZIPOUR	Heritage:	Not Applicable
Property Address:	<b>261 PATRICIA AVE</b>	Community:	North York
Legal Description:	PLAN 1880 LOT 205		

---

Beth Levy (signed)

---

Denise Graham (signed)

---

Rick Ross (signed)

---

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Wednesday, July 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0435/17NY	Zoning:	R / R2 (ZR)
Owner(s):	TONGHUI WANG YAN LI	Ward:	Eglinton-Lawrence (16)
Agent:	MURAT OZGUR	Heritage:	Not Applicable
Property Address:	<b>37 RIDLEY BLVD</b>	Community:	Toronto
Legal Description:	PLAN E508 PT LOTS 26 & 27		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new 2 storey dwelling with integral garage. The existing dwelling will be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.40.10.(5), By-law No. 569-2013**  
The required minimum area of the first floor within 4.0 m of the front wall is 10 m<sup>2</sup>.  
The proposed area of the first floor within 4.0 m of the front wall is 3.77 m<sup>2</sup>.
- Chapter 10.10.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.  
The proposed height of the side exterior main walls facing a side lot line is 8.73 m.
- Chapter 10.10.40.30.(1), By-law No. 569-2013**  
The permitted maximum building depth for a dwelling is 17.0 m.  
The proposed building depth is **18.6m**.
- Chapter 10.10.40.40.(1), By-law No. 569-2013**  
The permitted maximum floor space index is 0.60 times the area of the lot.  
The proposed floor space index is 0.65 times the area of the lot.
- Chapter 10.5.40.60.(7), By-law No. 569-2013**  
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.  
The proposed eaves project 0.25 m and are 0.22 from the north lot line.
- Section 6(3) Part I 1, By-law No. 438-86**  
The by-law limits the residential gross floor area in an area zoned R2 to 0.60 times the area of the lot.  
There proposed residential gross floor area of the building 0.65 the area of the lot.



**7. Section 6(3), Part II 3.B(II), By-law No. 438-86**

The minimum side lot line setback of 7.5 m from the side lot line for that portion of the building exceeding 17.0 m in depth.

The proposed side lot line setback is 0.47 m on the north side lot line.

**8. Section 6(3), Part II 3.B(II), By-law No. 438-86**

The minimum side lot line setback of 7.5 m from the side lot line for that portion of the building exceeding 17.0 m in depth.

The proposed side lot line setback is 2.1 m on the south side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be constructed in accordance with the south elevation drawings for the second floor window portion of 8.73m only, date stamped received by the City of Toronto Planning Division, July 4, 2017.

*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*

**RECEIVED**

JUL 04 2017

Toronto City Planning  
North York District

DATE	1/7/00
PROJECT	37 RIDLEY BLVD.
SCALE	1/8" = 1'-0"

PROJECT: SINGLE FAMILY DWELLING  
37 RIDLEY BLVD.

PAGE NO.: SIDE-SOUTH ELEVATION

REVISIONS:  
 A REVISION FOR ZONING COMPLIANCE (24/07/07)  
 B REVISION FOR ZONING COMPLIANCE (24/07/07)

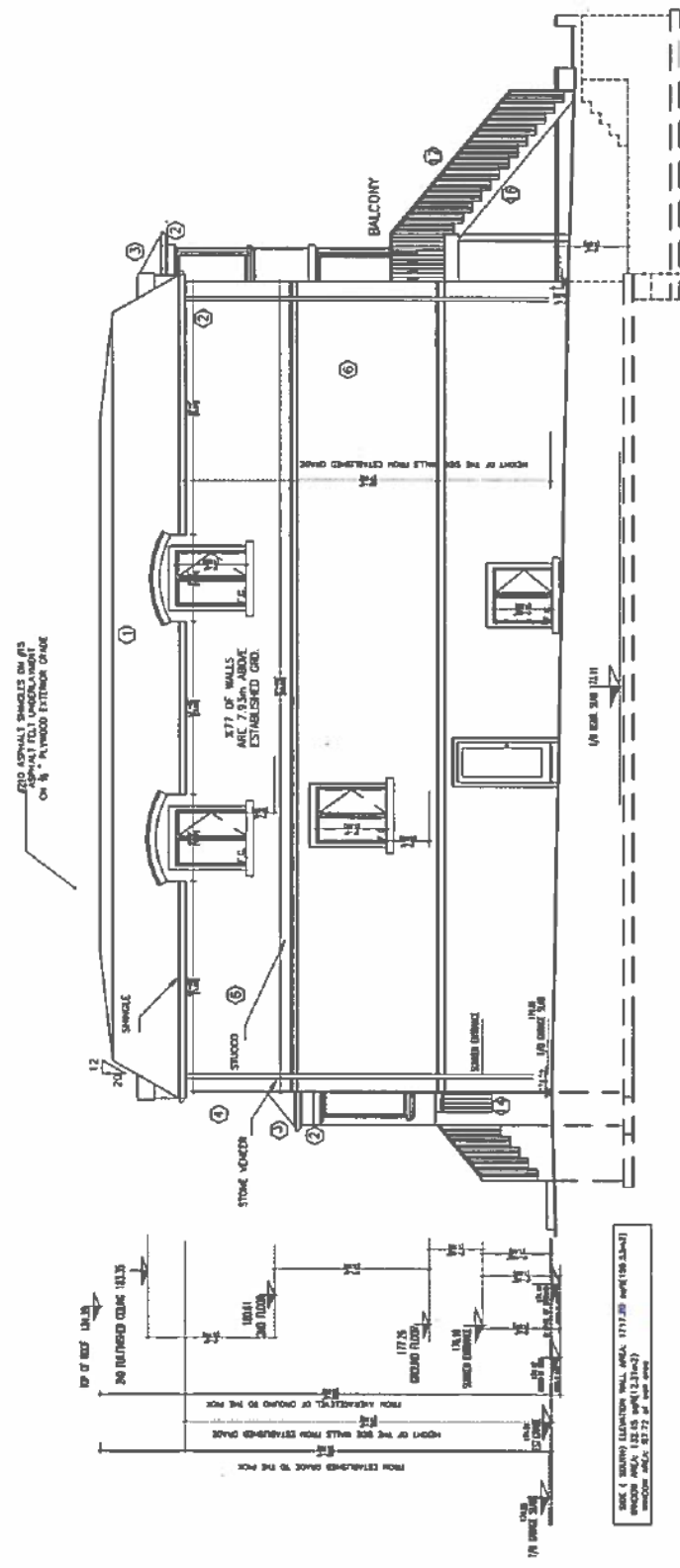
NOTES:  
 1. THIS DRAWING IS A PART OF THE CONSTRUCTION PERMIT APPLICATION FOR THE PROPOSED REVISIONS TO THE EXISTING SIDE-SOUTH ELEVATION OF THE BUILDING AT 37 RIDLEY BLVD., TORONTO, ONTARIO.  
 2. THE PROPOSED REVISIONS TO THE EXISTING SIDE-SOUTH ELEVATION OF THE BUILDING AT 37 RIDLEY BLVD., TORONTO, ONTARIO, ARE SHOWN IN THIS DRAWING.  
 3. THE PROPOSED REVISIONS TO THE EXISTING SIDE-SOUTH ELEVATION OF THE BUILDING AT 37 RIDLEY BLVD., TORONTO, ONTARIO, ARE SUBJECT TO THE APPROVAL OF THE CITY OF TORONTO.

DATE: 01-07-2017  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT NO.: [Number]

SCALE: 1/8" = 1'-0"

DATE: 01-07-2017

DATE: 01-07-2017



SIDE-SOUTH ELEVATION

NOTE: METRIC DIMENSIONS ARE IN mm

BOX (1) SIDING ELEVATION WALL AREA: 177.70 sqm (190.03 sq ft)  
 WINDOW AREA: 122.05 sqm (1317 sq ft)  
 WINDOW AREA: 57.72 sqm (618 sq ft)

**SIGNATURE PAGE**

File Number:	A0435/17NY	Zoning	R / R2 (ZR)
Owner:	TONGHUI WANG YAN LI	Ward:	Eglinton-Lawrence (16)
Agent:	MURAT OZGUR	Heritage:	Not Applicable
Property Address:	<b>37 RIDLEY BLVD</b>	Community:	Toronto
Legal Description:	PLAN E508 PT LOTS 26 & 27		

\_\_\_\_\_  
Beth Levy (signed)

\_\_\_\_\_  
Denise Graham (signed)

\_\_\_\_\_  
Rick Ross (signed)

\_\_\_\_\_  
Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Wednesday, July 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0437/17NY	Zoning	RD (f12.0; a370; d0.6)/R1B[ZONING]
Owner(s):	MARINA SAMIMI	Ward:	Don Valley West (26)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>31 AIRDRIE RD</b>	Community:	East York
Legal Description:	PLAN 2880 PT LOT 23 PT LOT 24		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The permitted maximum lot coverage is 35.0% of the lot area.  
The proposed lot coverage is **35.8%** of the lot area.
- Chapter 10.20.40.40.(1), By-law No. 569-2013**  
The permitted maximum floor space index is 0.6 times the area of the lot.  
The proposed floor space index is **0.641** times the area of the lot.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.2m.  
The proposed East side yard setback is **0.76m**.
- Chapter 10.20.40.10.(1), By-law No. 569-2013**  
The permitted maximum height of a building or structure is 8.5m.  
The proposed height of the building is 8.8m.
- Section 6.3.3, By-law No. 1916**  
The maximum permitted building length is 16.75m.  
The proposed building length is 16.92m.
- Section 6.3.3, By-law No. 1916**  
The maximum permitted floor space index is 0.6 x the lot area.  
The proposed floor space index is **0.641** x the lot area

7. **Section 6.3.3, By-law No. 1916**  
The maximum permitted lot coverage is 35.0% of the lot area.  
The proposed lot coverage is **35.8%** of the lot area.
8. **Section 6.3.3, By-law No. 1916**  
The minimum required side yard setback is 0.9m.  
The proposed East side yard setback is **0.76m**.
9. **Section 6.3.3, By-law No. 1916**  
The maximum permitted building height is 8.5m.  
The proposed building height is 8.68m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0437/17NY	Zoning	RD (f12.0; a370; d0.6)/R1B[ZONING]
Owner:	MARINA SAMIMI	Ward:	Don Valley West (26)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>31 AIRDRIE RD</b>	Community:	East York
Legal Description:	PLAN 2880 PT LOT 23 PT LOT 24		

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Beth Levy (signed)

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Denise Graham (signed)

---

Rick Ross (signed)

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Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



Wednesday, July 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0438/17NY	Zoning:	R6(24) [ZZC]
Owner(s):	DOWNSVIEW HOMES INC DOWNSVIEW HOMES INC	Ward:	York West (08)
Agent:	Q4 ARCHITECTS	Heritage:	Not Applicable
Property Address:	<b>54 STANLEY GREENE BLVD</b>	Community:	North York
Legal Description:	PLAN 66M2520 LOT 8		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To permit a new two-storey dwelling with an attached two-car garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Exception Regulations, (d)(i), By-law No. 1632-2013**  
The width of the door of an attached garage or detached garage, which is attached to the front of a dwelling and faces the street, shall not exceed 3.05m.  
The proposed garage door width is 4.88m.
- 2. Exception Regulations, (v), By-law No. 1632-2013**  
The maximum driveway width in the front and side yards shall not exceed 3.05m.  
The proposed driveway is 5.14m.
- 3. Section 7.4A, By-law No. 7625**  
The minimum required soft landscaping is 75.00%.  
The proposed front yard soft landscaping is 74.30%.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.

- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

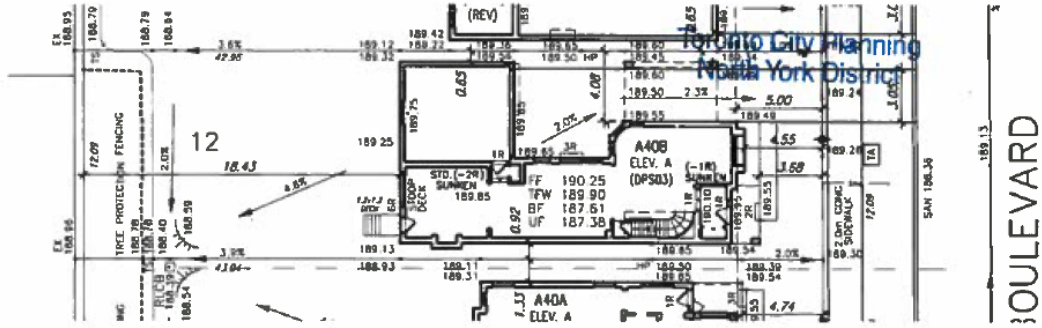
This decision is subject to the following condition(s):

1. The proposal be constructed in accordance with the site plan submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, July 4, 2017.  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized*
2. Permeable pavers are to be used for the proposed driveway.

RECEIVED

JUL 04 2017

Toronto City Planning  
North York District



LEGEND

- FF FINISHED FLOOR ELEVATION
- UF UNDERSIDE FOOTING ELEVATION
- BF FIN. BASEMENT FLOOR SLAB
- TFW TOP OF FOUNDATION WALL
- UFS UNDERSIDE FOOTING AT SIDE
- UFR UNDERSIDE FOOTING AT REAR
- UFF UNDERSIDE FOOTING AT FRONT
- TC TOP OF CONCRETE
- SC BOTTOM OF CONCRETE
- TW TOP OF WALL
- BW BOTTOM OF WALL
- PROPOSED GRADE ELEVATION
- BUILDING LINE AT GRD FLOOR LEVEL
- BUILDING PLANS SHOWING GROUND FLOOR LEVEL & GARAGE/BASEMENT LEVEL COMBINATION
- PROPERTY LINE
- EMBANKMENT
- SLOPING UP
- PROPOSED STORM MANHOLE
- PROPOSED SANITARY MANHOLE
- PROPOSED CATCHBASIN
- PROPOSED DOUBLE CATCHBASIN
- PROPOSED AREA DRAIN
- PROPOSED VALVE & BOX
- PROPOSED HYDRANT & VALVE
- MUNICIPAL STREET LIGHT
- PROP. PRIVATE LIGHTING - POLE MOUNT
- PROP. TORONTO HYDRO TRANSFORMER

LOT AREA	519.8 m <sup>2</sup>
BUILDING AREA	155.6 m <sup>2</sup>
LOT COVERAGE	29.9 %

**LOT GRADING**

**MMM GROUP**  
100 East Beaver Creek Road, Toronto, ON Canada M1S 1S1  
416-291-1188 • 416-291-1189 • www.mmmgroup.com

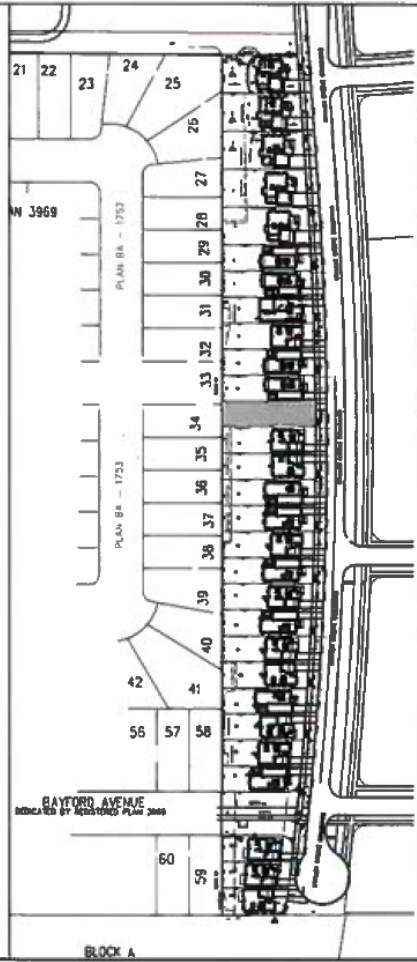
REVIEWED

REVIEWED AS MODIFIED

This review by the undersigned is for the sole purpose of ascertaining conformance with the general grading concept, but no approval is given or responsibility assumed by the undersigned for correctness of dimensions or details or conformity to zoning by-law, which remain the responsibility of the Architect.

Builder to verify lateral elevations prior to digging foundation.

Date \_\_\_\_\_ By \_\_\_\_\_



<p>2171 Avenue Road, Suite 202 Toronto, Ont. M2N 4K4 Tel: (416) 222-4204 Fax: (416) 222-7294 email: info@qarchitects.com</p> <p>Q Architects Inc. retains the copyright in all drawings, plans, specifications, and all digital information that may be used in connection with any other projects or purposes of any kind without the written consent of Q Architects Inc.</p> <p>Contractor must verify all dimensions on the job and report any discrepancies to the designer before proceeding with the work. Drawings are NOT to be used. All drawings and specifications are instruments of service and the copyright property of the designer and must be returned upon request.</p>	<p>ONTARIO ASSOCIATION OF ARCHITECTS Francis Martin Di Giuseppe LICENCE 7218</p>	Client: <b>DOWNSVIEW HOMES INC.</b> Project: <b>STANLEY GREENE NEIGHBOURHOOD</b> Location: <b>NORTH YORK, ONTARIO</b> Title: <b>SITING &amp; GRADING PLAN</b>	Sheet Title: <b>SINGLES</b> Drawn By: <b>GA</b> Project No: <b>13928</b> Date: <b>27 OCT 2016</b> Title: <b>ASG-LOT 12</b>
		Checked By: <b>GA</b> Scale: <b>1:250 &amp; 1:2000</b> Drawing No.: _____ Title: <b>ASG-LOT 12</b>	

**SIGNATURE PAGE**

File Number:	A0438/17NY	Zoning	R6(24) [ZZC]
Owner:	DOWNSVIEW HOMES INC DOWNSVIEW HOMES INC	Ward:	York West (08)
Agent:	Q4 ARCHITECTS	Heritage:	Not Applicable
Property Address:	<b>54 STANLEY GREENE BLVD</b>	Community:	North York
Legal Description:	PLAN 66M2520 LOT 8		

---

Beth Levy (signed)

---

Denise Graham (signed)

---

Rick Ross (signed)

---

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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To appeal this decision to the OMB you need the following:

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Wednesday, July 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0439/17NY	Zoning:	R6(24) [ZZC]
Owner(s):	DOWNSVIEW HOMES INC DOWNSVIEW HOMES INC	Ward:	York West (08)
Agent:	Q4 ARCHITECTS	Heritage:	Not Applicable
Property Address:	<b>46 STANLEY GREENE BLVD</b>	Community:	North York
Legal Description:	PLAN 66M2520 LOT 12		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To permit a new two-storey dwelling with an attached two-car garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Exception Regulations, (d)(i), By-law No. 1632-2013**

The width of the door of an attached garage or detached garage, which is attached to the front of a dwelling and faces the street, shall not exceed 3.05m.

The proposed garage door width is 4.88m.

**2. Exception Regulations, (v), By-law No. 1632-2013**

The maximum driveway width in the front and side yards shall not exceed 3.05m.

The proposed driveway is 5.14m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

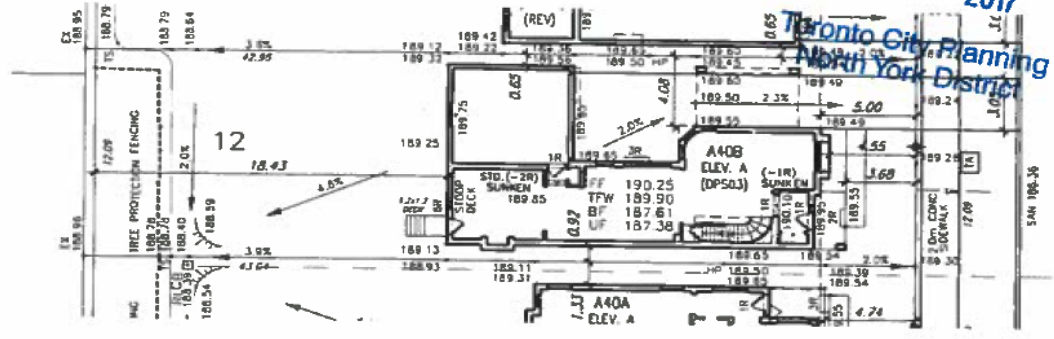
This decision is subject to the following condition(s):

1. The proposal be constructed in accordance with the site plan submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, July 4, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*

RECEIVED

JUL 04 2017

Toronto City Planning  
North York District



BOULEVARD

LEGEND

- FF FINISHED FLOOR ELEVATION
- UF UNDERSIDE FOOTING ELEVATION
- FL FIN. BASEMENT FLOOR SLAB
- TFW TOP OF FOUNDATION WALL
- UFS UNDERSIDE FOOTING AT SIDE
- UFR UNDERSIDE FOOTING AT REAR
- UFF UNDERSIDE FOOTING AT FRONT
- TC TOP OF CONCRETE
- BC BOTTOM OF CONCRETE
- TW TOP OF WALL
- BW BOTTOM OF WALL
- ± 109.00 PROPOSED GRADE ELEVATION
- BL BUILDING LINE AT GROUND FLOOR LEVEL
- BUILDING PLANS SHOWING GROUND FLOOR LEVEL & GARAGE/BASEMENT LEVEL (COMBINATION)
- PROPERTY LINE
- EMBANKMENT
- SLOPING UP
- PROPOSED STORM MANHOLE
- PROPOSED SANITARY MANHOLE
- CB PROPOSED CATCHBASIN
- DCB PROPOSED DOUBLE CATCHBASIN
- AD PROPOSED AREA DRAIN
- V&B PROPOSED VALVE & BOX
- H&V PROPOSED HYDRANT & VALVE
- MSL MUNICIPAL STREET LIGHT
- PLP PRIVATE LIGHTING - POLE MOUNT
- HT TORONTO HYDRO TRANSFORMER

LOT AREA	519.8 m <sup>2</sup>
BUILDING AREA	155.6 m <sup>2</sup>
LOT COVERAGE	29.9 %

**LOT GRADING**

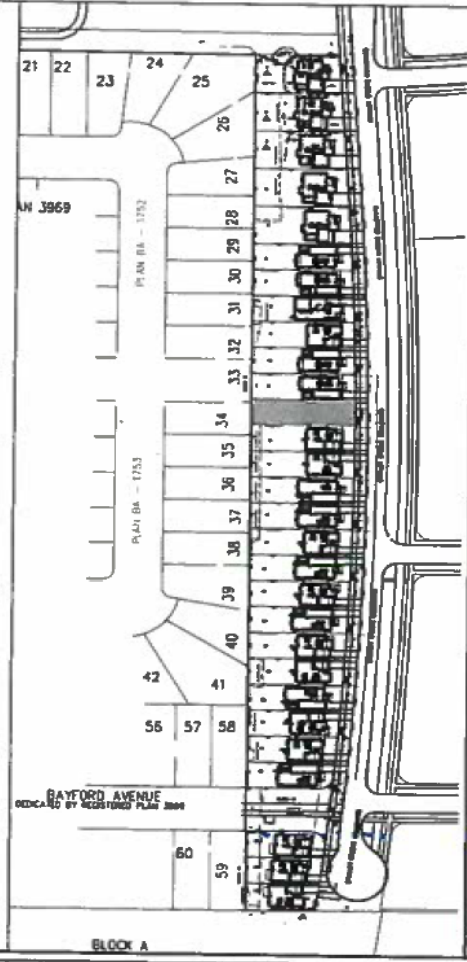
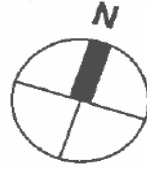
**MMM GROUP**  
100 Dundas Street West, Toronto, ON Canada M5G 1A4  
416-593-1100 • www.mmm.ca



REVIEWED

REVIEWED AS MODIFIED

This review by the undersigned is for the sole purpose of ascertaining conformance with the general grading concept, but no approval is given or responsibility assumed by the undersigned for correctness of dimensions or details or conformity to zoning by-law, which remain the responsibility of the Architect.  
Builder to verify lateral elevations prior to digging foundation.

Date \_\_\_\_\_ By \_\_\_\_\_



 <p>2171 Avenue Road, Suite 302 Toronto, ON M2W 4K4 Tel: (416) 321-4334 Fax: (416) 322-7294 email: info@g4architects.com</p> <p>G4 Architects Inc. retains the copyright in all drawings, plans, reports, and all other documents. They may not be copied or used in any other projects or publications without the written consent of G4 Architects Inc.</p> <p>Contractor must verify all dimensions on the job site prior to any excavation to the design before proceeding with the work. Drawings are NOT to be scaled. All dimensions and specifications are subject to change and the responsibility of the designer and must be followed (100%).</p>	 <p>ONTARIO ASSOCIATION OF ARCHITECTS Francis Martin Di Giuseppe LICENCE 7218</p>	<p>Client: <b>DOWNSVIEW HOMES INC</b></p> <p>Project Name: <b>STANLEY GREENE NEIGHBOURHOOD</b> NORTH YORK, ONTARIO</p> <p><b>SITING &amp; GRADING PLAN</b></p> <p>Sheet Title: <b>SINGLES</b></p> <p>Drawn By: <b>G4</b></p> <p>Project No: <b>13028</b></p> <p>Date: <b>27 OCT 2016</b></p> <p>File Name: _____</p> <p>Checked By: <b>CSA</b></p> <p>Scale: <b>1:250 &amp; 1:2000</b></p> <p>Drawing No: _____</p> <p>ASG-LOT 12</p>
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**SIGNATURE PAGE**

File Number:	A0439/17NY	Zoning	R6(24) [ZZC]
Owner:	DOWNSVIEW HOMES INC DOWNSVIEW HOMES INC	Ward:	York West (08)
Agent:	Q4 ARCHITECTS	Heritage:	Not Applicable
Property Address:	<b>46 STANLEY GREENE BLVD</b>	Community:	North York
Legal Description:	PLAN 66M2520 LOT 12		

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Beth Levy (signed)

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Denise Graham (signed)

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Rick Ross (signed)

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Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

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Wednesday, July 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0440/17NY	Zoning	R6(24) [ZZC]
Owner(s):	DOWNSVIEW HOMES INC DOWNSVIEW HOMES INC	Ward:	York West (08)
Agent:	Q4 ARCHITECTS	Heritage:	Not Applicable
Property Address:	<b>18 STANLEY GREENE BLVD</b>	Community:	North York
Legal Description:	PLAN 66M2520 LOT 26		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To permit a new two-storey dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Exception Regulations, (a), By-law No. 1632-2013**

The minimum front yard setback shall be 5.00m except to the face of an attached garage in which case the minimum front yard setback to the face of the garage shall be 6.00m.

The proposed front yard setback is 3.77m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

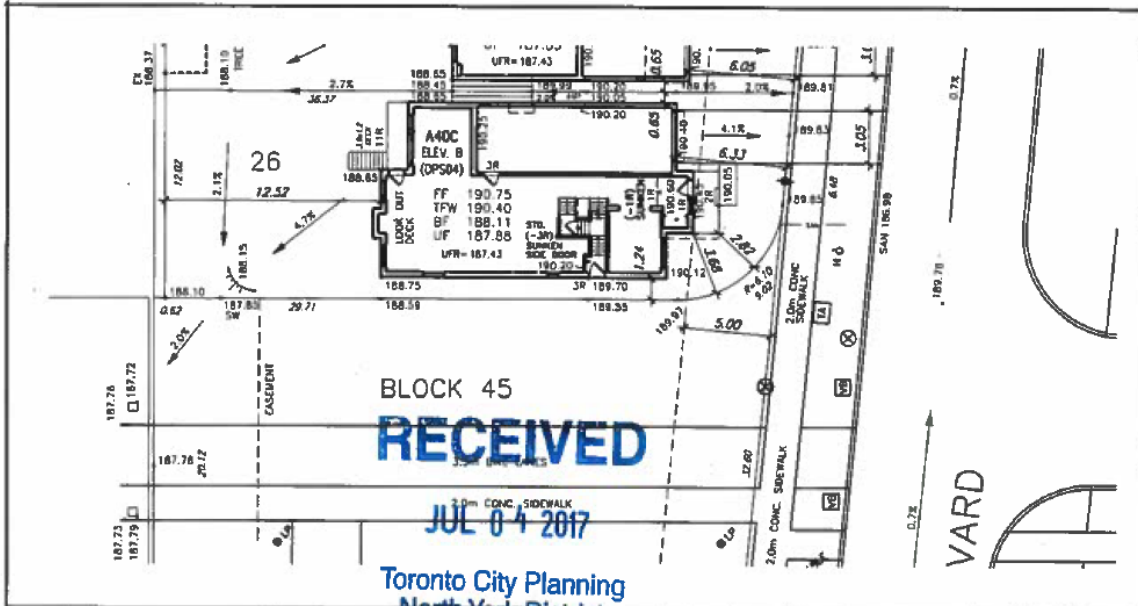
**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be constructed in accordance with the site plan submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, July 4, 2017.  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*

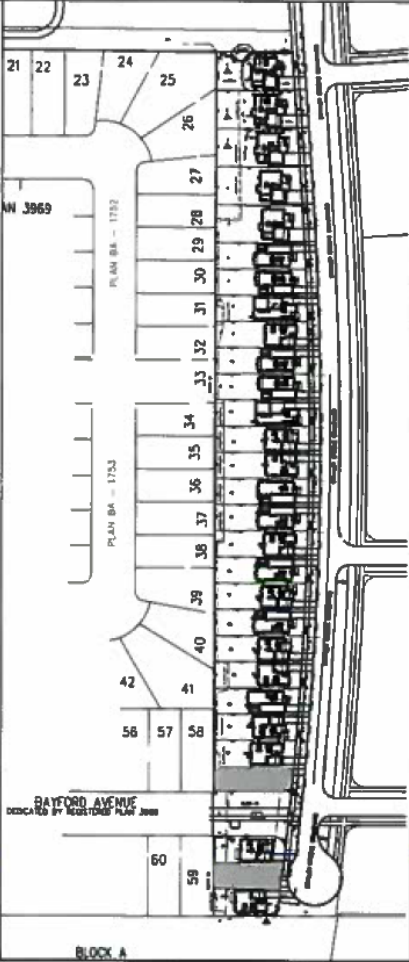


**LEGEND:**

- FF FINISHED FLOOR ELEVATION
  - UF UNDERSIDE FOOTING ELEVATION
  - BF FIN. BASEMENT FLOOR SLAB
  - TFW TOP OF FOUNDATION WALL
  - UFS- UNDERSIDE FOOTING AT SIDE
  - UFR UNDERSIDE FOOTING AT REAR
  - UFF UNDERSIDE FOOTING AT FRONT
  - TC TOP OF CONCRETE
  - BC BOTTOM OF CONCRETE
  - TVW TOP OF WALL
  - BVW BOTTOM OF WALL
  - ±188.00 PROPOSED GRADE ELEVATION
  - BL BUILDING LINE AT GRD FLOOR LEVEL
  - (BUILDING PLANS SHOWING GROUND FLOOR LEVEL & GARAGE/BASEMENT LEVEL COMBINATION)
- ▬▬▬▬▬ PROPERTY LINE
  - ▬▬▬▬▬ EMBANKMENT
  - ▬▬▬▬▬ SLOPING UP
  - PROPOSED STORM MANHOLE
  - PROPOSED SANITARY MANHOLE
  - ▭ CB PROPOSED CATCH BASIN
  - ▭ DCB PROPOSED DOUBLE CATCH-BASIN
  - ▭ AD PROPOSED AREA DRAIN
  - VAL PROPOSED VALVE & BOX
  - HAV PROPOSED HYDRANT & VALVE
  - MUNICIPAL STREET LIGHT
  - PROP. PRIVATE LIGHTING - POLE MOUNT
  - ⊗ PROP. TORONTO HYDRO TRANSFORMER

LOT AREA	423.5 m <sup>2</sup>
BUILDING AREA	174.9 m <sup>2</sup>
LOT COVERAGE	41.3 %

<b>LOT GRADING</b>		
REVIEWED	<input type="checkbox"/>	
REVIEWED AS MODIFIED	<input type="checkbox"/>	
<p>This review by the undersigned is for the sole purpose of ascertaining conformance with the general grading concept, but no approval is given or responsibility assumed by the undersigned for correctness of dimensions or details or conformity to zoning by-law, which remain the responsibility of the Architect.          Builder to verify lateral elevations prior to digging foundation.</p>		
Date _____	By _____	



 2151 Avenue Road, Suite 302 Toronto, ON, M5S 4S4 Tel: (416) 322-6234 Fax: (416) 322-7284 Email: info@q4architects.com	 FRANCIS MARTIN D'AMICO LICENCE 7218	Client: <b>DOWNSVIEW HOMES INC</b>	Project Name: <b>STANLEY GREENE NEIGHBOURHOOD</b>
		Address: <b>NORTH YORK, ONTARIO</b>	Scale: <b>1:250 &amp; 1:2000</b>
Issued For Review: 2016-11-04 Date: _____ By: _____		Drawn By: <b>DA</b> Checked By: <b>DA</b> Revised No: <b>13828</b> Date: <b>27 OCT 2016</b> Title Name: <b>ASG-LOT 26</b>	Drawing No.: <b>ASG-LOT 26</b>

**SIGNATURE PAGE**

File Number:	A0440/17NY	Zoning	R6(24) [ZZC]
Owner:	DOWNSVIEW HOMES INC DOWNSVIEW HOMES INC	Ward:	York West (08)
Agent:	Q4 ARCHITECTS	Heritage:	Not Applicable
Property Address:	<b>18 STANLEY GREENE BLVD</b>	Community:	North York
Legal Description:	PLAN 66M2520 LOT 26		

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Beth Levy (signed)

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Denise Graham (signed)

---

Rick Ross (signed)

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Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

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Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

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- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Wednesday, July 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0441/17NY	Zoning	R6(24) [ZZC]
Owner(s):	DOWNSVIEW HOME INC DOWNSVIEW HOMES INC	Ward:	York West (08)
Agent:	Q4 ARCHITECTS	Heritage:	Not Applicable
Property Address:	<b>14 STANLEY GREENE BLVD</b>	Community:	North York
Legal Description:	PLAN 66M2520 LOT 27		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To permit a new two-storey dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Exception Regulations, (e), By-law No. 1632-2013**

The finished floor elevation of the front door sill shall not be greater than 0.90m above established grade.  
The proposed finished floor elevation is 1.00m.

**2. By-law No. 1632-2013**

The minimum required front yard setback is 5.00m.  
The proposed front yard setback is 4.19m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0441/17NY	Zoning	R6(24) [ZZC]
Owner:	DOWNSVIEW HOME INC DOWNSVIEW HOMES INC	Ward:	York West (08)
Agent:	Q4 ARCHITECTS	Heritage:	Not Applicable
Property Address:	<b>14 STANLEY GREENE BLVD</b>	Community:	North York
Legal Description:	PLAN 66M2520 LOT 27		

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Beth Levy (signed)

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Denise Graham (signed)

---

Rick Ross (signed)

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Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel



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Wednesday, July 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0442/17NY	Zoning	
Owner(s):	DAHLIA BALABAN HAYDN FRIED	Ward:	Eglinton-Lawrence (15)
Agent:	DREW LASLO ARCHITECT	Heritage:	Not Applicable
Property Address:	<b>638 GLENGROVE AVE</b>	Community:	
Legal Description:	PLAN 3687 LOT 29		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new 2 storey dwelling with integral garage. The existing dwelling will be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.50.10.(1), By-law No. 569-2013**  
A minimum of 75% of the required front yard landscaping must be soft landscaping.  
The proposed front yard soft landscaping area is 70.77%.
- 2. Chapter 150.10.40.1.(1), By-law No. 569-2013**  
A secondary suite is a permitted use provided that the entire building was constructed more than 5 years prior to the introduction of a secondary unit.  
The entire building was not constructed more than 5 years prior to the proposed introduction of the second suite.
- 3. Section 7.4B, By-law No. 7625**  
The required front yard soft landscaping is 75%.  
The proposed front yard soft landscaping is 70.77%.
- 4. Section 14-A(9), By-law No. 7625**  
The maximum permitted building height is 8.8 m.  
The proposed building height is 9.13 m.
- 5. Section 14-A(9), By-law No. 7625**  
The maximum permitted building length is 15.3 m.  
The proposed building length is 15.6 m.

**6. Section 6(30)a, By-law No. 7625**

The maximum finished first floor height is 1.5 m.

The proposed finished first floor height is 2.13 m.

**7. Section 6.2(2)(l), By-law No. 7625**

One second suite is permitted in a detached dwelling provided the dwelling is a minimum of 5 years old.

The proposed dwelling is new.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0442/17NY	Zoning	
Owner:	DAHLIA BALABAN HAYDN FRIED	Ward:	Eglinton-Lawrence (15)
Agent:	DREW LASLO ARCHITECT	Heritage:	Not Applicable
Property Address:	<b>638 GLENGROVE AVE</b>	Community:	
Legal Description:	PLAN 3687 LOT 29		

\_\_\_\_\_  
Beth Levy (signed)

\_\_\_\_\_  
Denise Graham (signed)

\_\_\_\_\_  
Rick Ross (signed)

\_\_\_\_\_  
Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

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Wednesday, July 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0444/17NY	Zoning	(R (f7.5; d0.6) (x993)/R2 Z0.6[ZONING])
Owner(s):	FIONA BRUCE MATTHEW TOMPKINSON	Ward:	Don Valley West (25)
Agent:	JASON FUNG ARCHITECT INC	Heritage:	Not Applicable
Property Address:	<b>22 ROSLIN AVE</b>	Community:	Toronto
Legal Description:	PLAN M260 PT LOT 159		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a three-storey rear and side addition to the existing two-storey dwelling including a one-storey front addition. The existing rear deck would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.10.40.10.(7), By-law No. 569-2013**  
Floor levels within an addition, extension or enlargement to the rear of a residential building may not be higher than the uppermost floor level in the existing building.  
The proposed floor level will be higher than the existing uppermost floor level.
- 2. Chapter 10.10.40.40.(1), By-law No. 569-2013**  
The permitted maximum Floor Space Index is 0.60 times the area of the lot  
The proposed Floor Space Index is 0.78 times the area of the lot.
- 3. Chapter 10.10.40.10.(1), By-law No. 569-2013**  
The permitted maximum height of a building or structure is 10m.  
The proposed height of the building is **10.3m**.
- 4. Chapter 10.10.40.10.(2)(B)(i), By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.  
The proposed height of the side exterior main walls facing a side lot line is **7.6m**.
- 5. Chapter 10.10.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 0.9m.  
The proposed east side yard setback is **0.75m**.

6. **Chapter 200.5.10.1.(1), By-law No. 569-2013**  
The required minimum number of parking space(s) is 1 space.  
The proposed number of parking space is 0 spaces.
7. **Chapter 200.5.1.10.(2), By-law No. 569-2013**  
The minimum required parking space area is 3.2m x 5.6m.  
The proposed parking space area is 2.3m x 4.0m.
8. **Section 6(3) Part I 1, By-law No. 438-86**  
The maximum permitted Gross Floor Area is 0.60 times the area of the lot.  
The proposed Gross Floor Area is 0.78 times the area of the lot.
9. **Section 6(3) part II 8 D, By-law No. 438-86**  
The by-law limits the projection of an uncovered platform into the required setbacks to a maximum of 2.5m from the front or rear wall.  
The proposed uncovered platform projects 3.84m from the rear wall.
10. **Section 6(3) Part II 3.C(I), By-law No. 438-86**  
The by-law requires a semi-detached house, in an R2 district to have a side lot line setback of 0.45m, where the side wall contains no openings.  
The proposed side lot line setback is 0m at the front addition.
11. **Section 6(3) Part II 3.B(II), By-law No. 438-86**  
The by-law requires a detached house in a R2 district to have a minimum side lot line setback of 0.9m for that portion of the building not exceeding 17.0m in depth, where the side wall contains openings.  
The proposed East side lot line setback is **0.75m**.
12. **Section 4(3), By-law No. 438-86**  
The required minimum number of parking space(s) is 1 space.  
The proposed number of parking space is 0 spaces.
13. **Section 4(2), By-law No. 438-86**  
The permitted maximum height of a building or structure is 10m.  
The proposed height of the building is **10.58m**.
14. **Section 4(17)(a), By-law No. 438-86**  
The minimum required parking space area is 3.2m x 5.6m.  
The proposed parking space area is 2.3m x 4.0m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

### **The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0444/17NY	Zoning	(R (f7.5; d0.6) (x993)/R2 Z0.6[ZONING])
Owner:	FIONA BRUCE MATTHEW TOMPKINSON	Ward:	Don Valley West (25)
Agent:	JASON FUNG ARCHITECT INC	Heritage:	Not Applicable
Property Address:	<b>22 ROSLIN AVE</b>	Community:	Toronto
Legal Description:	PLAN M260 PT LOT 159		

\_\_\_\_\_  
Beth Levy (signed)

\_\_\_\_\_  
Denise Graham (signed)

\_\_\_\_\_  
Rick Ross (signed)

\_\_\_\_\_  
Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel



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Wednesday, July 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0445/17NY	Zoning:	RD / R4 (ZR)
Owner(s):	JOHN HARDAT DUBE NOURA DUBE	Ward:	Don Valley West (25)
Agent:	DREW LASZLO ARCHITECT INC	Heritage:	Not Applicable
Property Address:	<b>8 TADCASTER PL</b>	Community:	North York
Legal Description:	PLAN 4759 LOT 508		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling with integral garage. The existing dwelling will be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The permitted maximum lot coverage is 25% of the lot area.  
The proposed lot coverage is **29.9%** of the lot area.
- Chapter 10.20.40.70.(1), By-law No. 569-2013**  
The minimum required front yard setback is 6.97 m.  
The proposed front yard setback is 6.36 m.
- Section 13.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 25% of the lot area.  
The proposed lot coverage is **29.9%** of the lot area.
- Section 13.2.3c, By-law No. 7625**  
The minimum required front yard setback is 6.5 m.  
The proposed front yard setback is 6.36 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0445/17NY	Zoning	RD / R4 (ZR)
Owner:	JOHN HARDAT DUBE NOURA DUBE	Ward:	Don Valley West (25)
Agent:	DREW LASZLO ARCHITECT INC	Heritage:	Not Applicable
Property Address:	<b>8 TADCASTER PL</b>	Community:	North York
Legal Description:	PLAN 4759 LOT 508		

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Beth Levy (signed)

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Denise Graham (signed)

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Rick Ross (signed)

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Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Wednesday, July 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0446/17NY	Zoning	RD (f15.0; a550) (x5)/ R4 [ZZC]
Owner(s):	AGHDASOLSADAT SEYEDI SEYED ALIAKBAR BEHESHTISHIRAZI	Ward:	Willowdale (23)
Agent:	6IX DESIGN	Heritage:	Not Applicable
Property Address:	<b>4 LAILEY CRES</b>	Community:	North York
Legal Description:	PLAN 4854 LOT 3		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.30.40.(1)A, By-law No. 569-2013**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 31.80% of the lot area.
- Chapter 10.20.40.70.(1), By-law No. 569-2013**  
The minimum required front yard setback is 8.10m.  
The proposed front yard setback is 6.50m.
- Chapter 10.20.40.70.(2)B, By-law No. 569-2013**  
The minimum required rear yard setback is 9.90m,  
The proposed rear yard setback is 8.05m.
- Chapter 900.3.10(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 1.20m.
- Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 1.20m.
- Section 13.2.3c, By-law No. 7625**

The minimum required rear yard setback is 9.50m,  
The proposed rear yard setback is 8.05m.

**7. Section 13.2.4, By-law No. 7625**

The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 31.80% of the lot area.

**8. Section 13.2.6, By-law No. 7625**

The maximum permitted building height is 8.80m.  
The proposed building height is **9.1m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

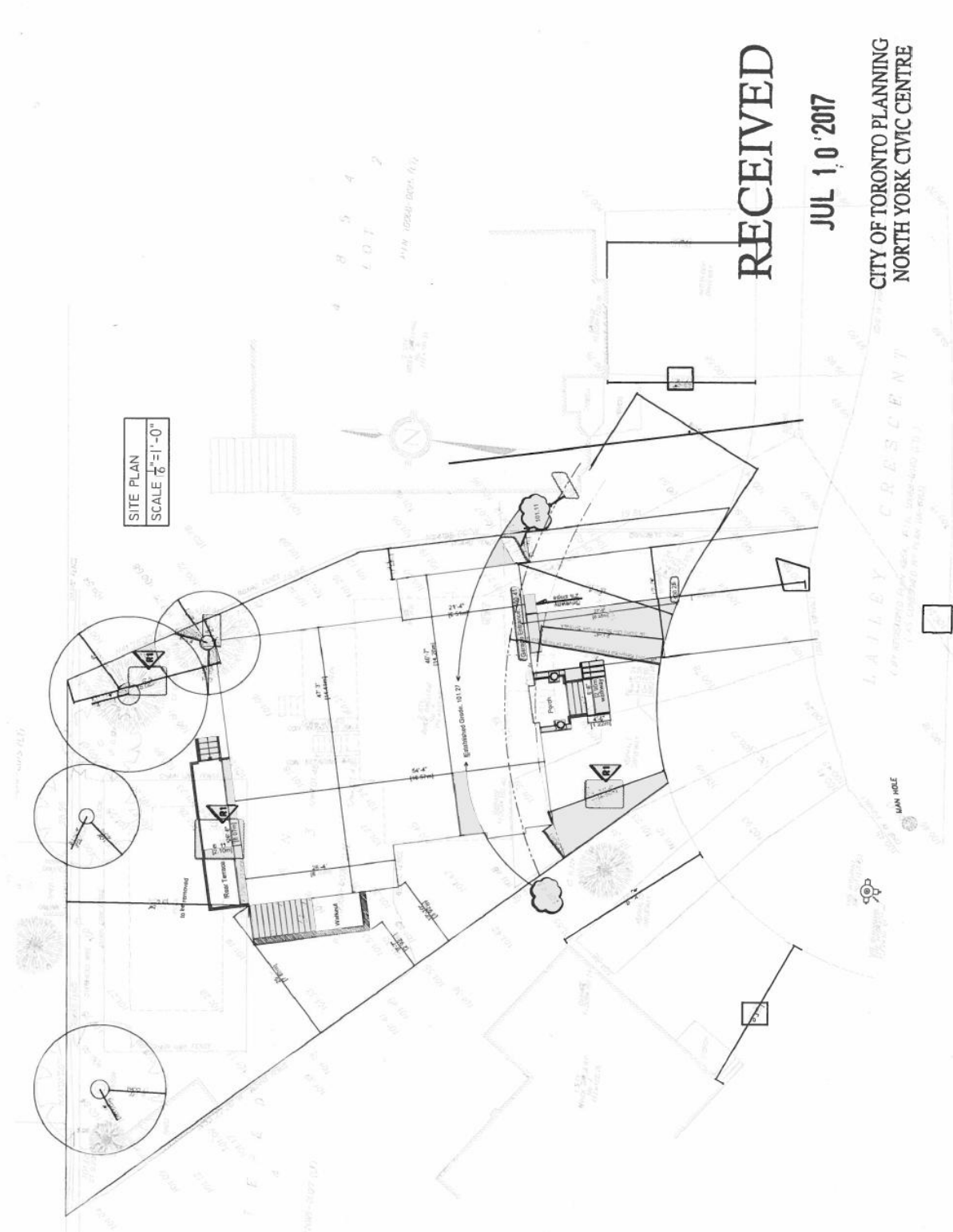
**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or remove privately owned trees.
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583. ‘
3. The proposal be developed in accordance with the site plan drawing submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, July 10, 2017.  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



RECEIVED

JUL 10 2017

CITY OF TORONTO PLANNING  
NORTH YORK CIVIC CENTRE



**SIGNATURE PAGE**

File Number:	A0446/17NY	Zoning	RD (f15.0; a550) (x5)/ R4 [ZZC]
Owner:	AGHDASOLSADAT SEYEDI SEYED ALIAKBAR BEHESHTISHIRAZI	Ward:	Willowdale (23)
Agent:	6IX DESIGN	Heritage:	Not Applicable
Property Address:	<b>4 LAILEY CRES</b>	Community:	North York
Legal Description:	PLAN 4854 LOT 3		

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Beth Levy (signed)

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Denise Graham (signed)

---

Rick Ross (signed)

---

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Wednesday, July 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0459/17NY	Zoning	RD (f 15 ; a 550 )( x 5 )/R4[ZONING]
Owner(s):	SEYED MOSTAFA GHETMIRI	Ward:	Willowdale (23)
Agent:	6IX DESIGN	Heritage:	Not Applicable
Property Address:	<b>182 JOHNSTON AVE</b>	Community:	North York
Legal Description:	PLAN 1743 LOT 104 TO 105		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 1.20.3(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.8m.  
The proposed west side yard setback is **1.52m**.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is **32%** of the lot area.
- 3. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.  
The proposed height of the side exterior main walls facing a side lot line is **7.85m**.
- 4. Section 13.2.3(b), By-law No. 7625**  
The minimum required west side yard setback is 1.8m.  
The proposed west side yard setback is **1.52m**.
- 5. Section 13.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is **32%** of the lot area.
- 6. Section 13.2.6, By-law No. 7625**  
The maximum permitted building height is 8.8m.  
The proposed building height is 9.3m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0459/17NY	Zoning	RD (f 15 ; a 550 )( x 5 )/R4[ZONING]
Owner:	SEYED MOSTAFA GHETMIRI	Ward:	Willowdale (23)
Agent:	6IX DESIGN	Heritage:	Not Applicable
Property Address:	<b>182 JOHNSTON AVE</b>	Community:	North York
Legal Description:	PLAN 1743 LOT 104 TO 105		

\_\_\_\_\_  
Beth Levy (signed)

\_\_\_\_\_  
Denise Graham (signed)

\_\_\_\_\_  
Rick Ross (signed)

\_\_\_\_\_  
Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

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- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Wednesday, July 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0447/17NY	Zoning	R (f7.5; d0.6) (x604)/R2 Z0.6[ZONING]
Owner(s):	DIMITRY SHLYONSKY	Ward:	Eglinton-Lawrence (16)
Agent:	CADAXX DESIGN	Heritage:	Not Applicable
Property Address:	<b>336 ST GERMAIN AVE</b>	Community:	Toronto
Legal Description:	PLAN 1627 PT LOT 69		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a two-storey rear addition and a third floor addition above to the existing two-storey dwelling. The existing two-storey rear addition would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.10.40.40.(1), By-law No. 569-2013**  
The maximum permitted Floor Space Index is 0.60 times the area of the lot.  
The proposed Floor Space Index is 0.88 times the area of the lot.
- 2. Chapter 10.10.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.  
The proposed height of the side exterior main walls facing a side lot line is 9.81m.
- 3. Chapter 10.5.40.60.(7), By-law No. 569-2013**  
Roof eaves may project a maximum of 0.9m provided that they are no closer than 0.30m to a lot line.  
The proposed West side eaves are 0m from the lot line.
- 4. Chapter 10.5.50.10.(3), By-law No. 569-2013**  
The minimum required rear yard soft landscaping is 50%  
The proposed rear yard soft landscaping area is 46%
- 5. Section 6(3) Part I 1, By-law No. 438-86**  
The maximum permitted Gross Floor Area is 0.60 times the area of the lot.  
The proposed Gross Floor Area is 0.88 times the area of the lot.

6. **Section 6(3) Part II 3(II), By-law No. 438-86**  
The by-law requires that the proposed building be located no closer than 1.2m to the portion of the side wall of an adjacent building that contains openings.  
The proposed building is located 1m from the adjacent building on the east side.
7. **Section 4(2), By-law No. 438-86**  
The maximum permitted building height is 10m.  
The proposed building height is 10.18m.
8. **Section 6(3) Part II 3.B(II), By-law No. 438-86**  
A minimum side lot line setback of 0.9m for that portion of the building not exceeding 17.0m in depth, where the side wall contains openings.  
The proposed East side lot line setback is 0.48m.
9. **Section 6(3) Part II 3.A(I), By-law No. 438-86**  
The by-law requires a building to have a minimum flanking street setback of 2.16m.  
The proposed flanking street setback is 0.11m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

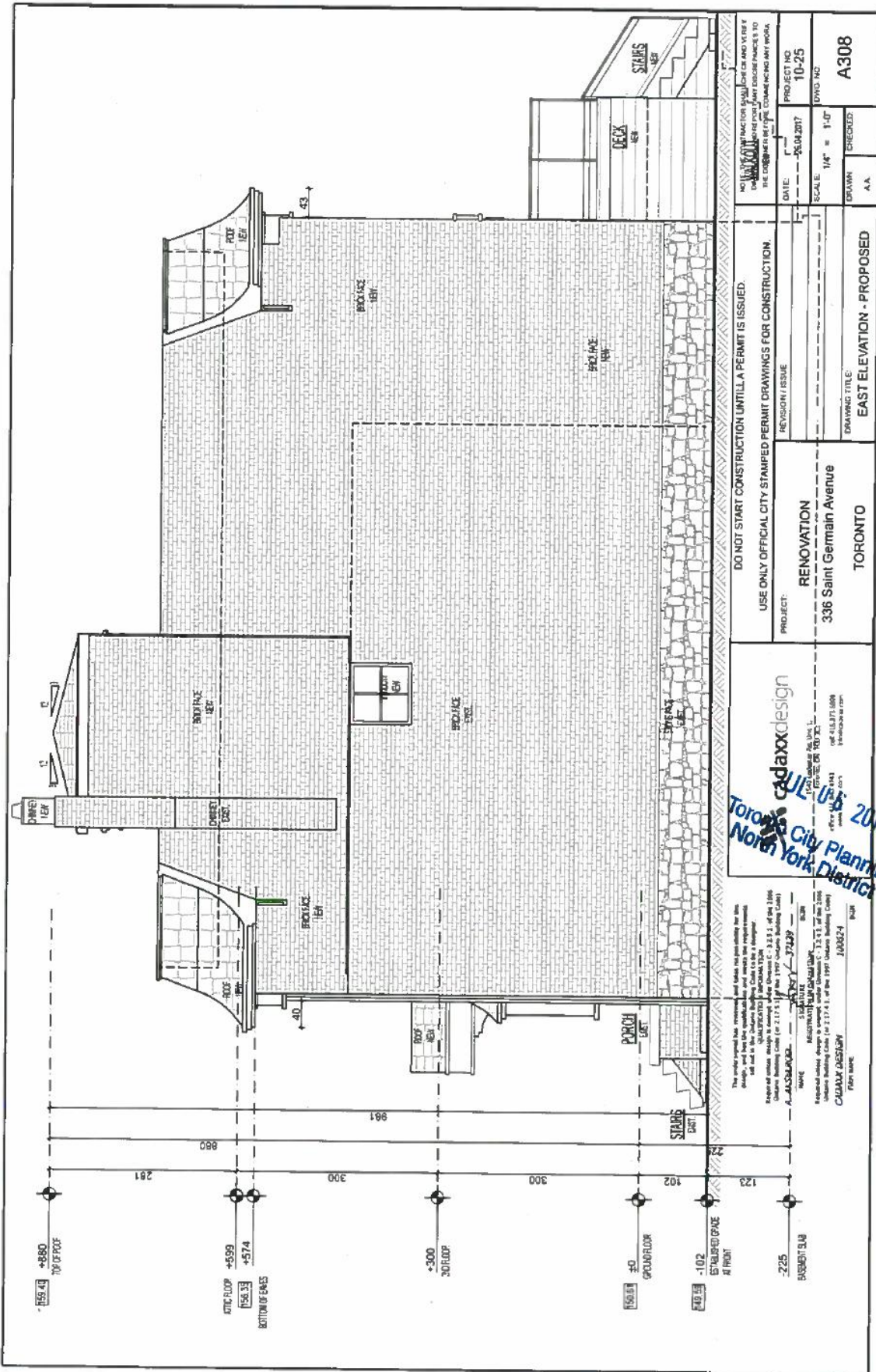
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

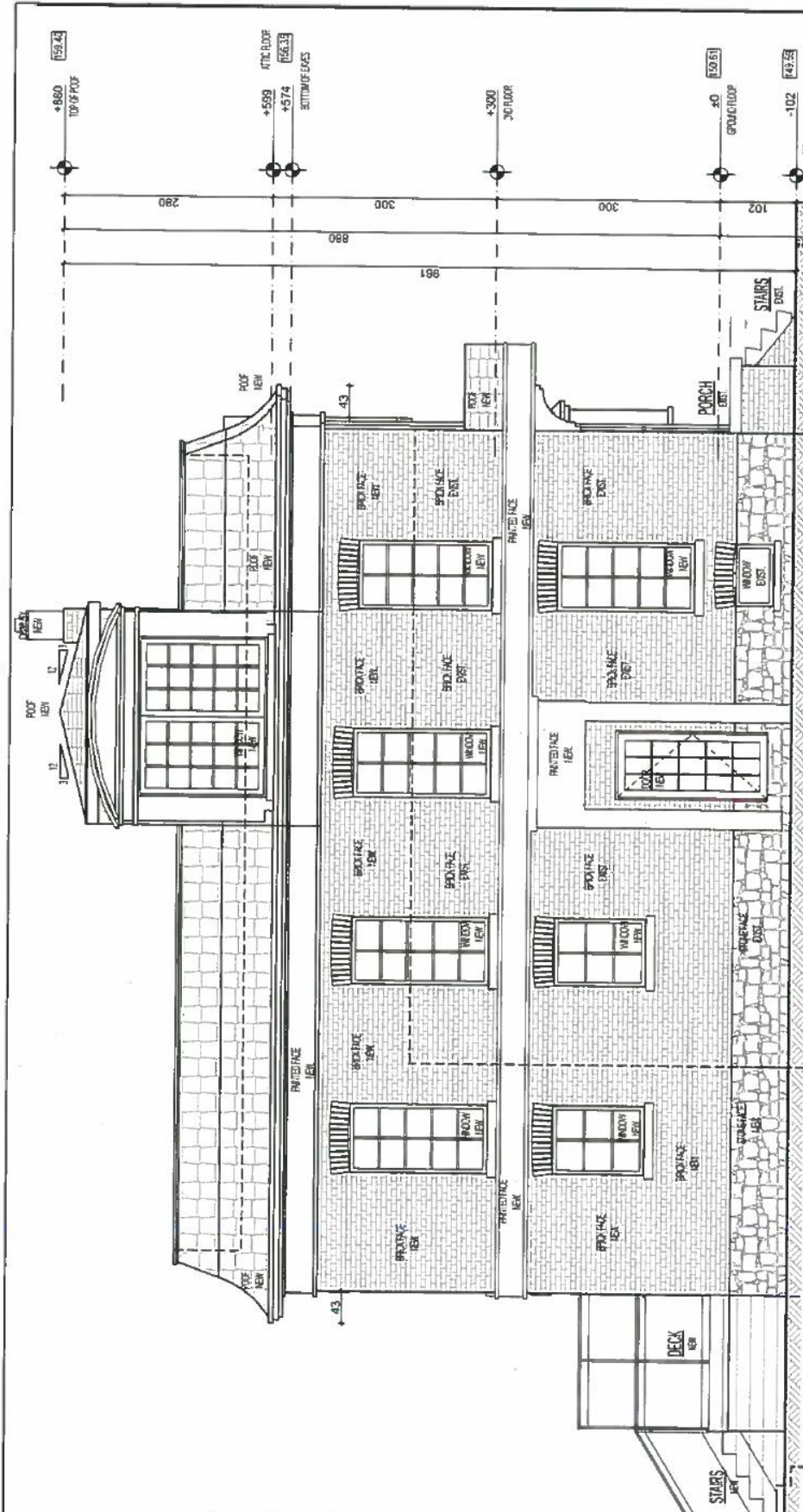
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be constructed in accordance with the east and west elevation submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, July 6, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*







<p>DO NOT START CONSTRUCTION UNTIL A PERMIT IS ISSUED. USE ONLY OFFICIAL CITY STAMPED PERMIT DRAWINGS FOR CONSTRUCTION</p>		<p>DATE: 2016-10-25 PROJECT NO: 225-10-25 DRAWING NO: A306</p>
<p>REVISIONS</p>		<p>SCALE: 1/4" = 1'-0" DRAWN: A.A. CHECKED: A.A.</p>
<p>PROJECT: RENOVATION 336 Saint Germain Avenue TORONTO</p>		<p>DRAWING TITLE: WEST ELEVATION - PROPOSED</p>
<p><b>cadaxdesign</b> 140 DUNDAS ST. W. 4TH FL. TORONTO, ONT. M5G 1C4 416-593-8847 FAX: 416-593-8848 www.cadaxdesign.com</p>		
<p>The owner/agent has reviewed and made its responsibility for the accuracy of the information and shall be responsible for the completion of the application to the City of Toronto. The City of Toronto is not responsible for the accuracy of the information provided. The City of Toronto is not responsible for the accuracy of the information provided. The City of Toronto is not responsible for the accuracy of the information provided.</p>		

**RECEIVED**  
JUL 06 2017  
Toronto City Planning  
North York District

**SIGNATURE PAGE**

File Number:	A0447/17NY	Zoning	R (f7.5; d0.6) (x604)/R2 Z0.6[ZONING]
Owner:	DIMITRY SHLYONSKY	Ward:	Eglinton-Lawrence (16)
Agent:	CADAXX DESIGN	Heritage:	Not Applicable
Property Address:	<b>336 ST GERMAIN AVE</b>	Community:	Toronto
Legal Description:	PLAN 1627 PT LOT 69		

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Beth Levy (signed)

---

Denise Graham (signed)

---

Rick Ross (signed)

---

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Wednesday, July 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0448/17NY	Zoning	RD / R4 (ZR)
Owner(s):	SI WAI CHING TSANG WAI-TSUN TSANG	Ward:	Willowdale (24)
Agent:	WAI-TSUN TSANG	Heritage:	Not Applicable
Property Address:	<b>138 BRAHMS AVE</b>	Community:	North York
Legal Description:	PLAN M1096 L 564 NRS		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.40.10.(5), By-law No. 569-2013**  
A minimum of 10 m<sup>2</sup> of the first floor area must be within 4 m of the front wall.  
There is 4.2 m<sup>2</sup> proposed within 4 m of the front wall.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The permitted maximum lot coverage is 30% of the lot area.  
The proposed lot coverage is **34%** of the lot area.
- Chapter 10.20.40.20.(1), By-law No. 569-2013**  
The permitted maximum building length for a detached house is 17.0 m .  
The proposed building length is **19.42m**.
- Chapter 900.3.10(5), By-law No. 569-2013**  
The required minimum side yard setback is 1.8 m.  
The proposed north side yard setback is 1.25 m.
- Section 13.2.3(b), By-law No. 7625**  
The minimum required north side yard setback is 1.8 m.  
The proposed north side yard setback is 1.25 m.
- Section 13.2.5A, By-law No. 7625**  
The maximum permitted building length is 16.8 m.  
The proposed building length is **18.9m**.

**7. Section 13.2.6, By-law No. 7625**

The maximum permitted building height is 8.8 m.

The proposed building height is **8.915m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0448/17NY	Zoning	RD / R4 (ZR)
Owner:	SI WAI CHING TSANG WAI-TSUN TSANG	Ward:	Willowdale (24)
Agent:	WAI-TSUN TSANG	Heritage:	Not Applicable
Property Address:	<b>138 BRAHMS AVE</b>	Community:	North York
Legal Description:	PLAN M1096 L 564 NRS		

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Beth Levy (signed)

---

Denise Graham (signed)

---

Rick Ross (signed)

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Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Wednesday, July 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0449/17NY	Zoning	RD(x5)/ R4 [PPR]
Owner(s):	WENYU LI	Ward:	Willowdale (24)
Agent:	S S ENGINEERING INC	Heritage:	Not Applicable
Property Address:	<b>29 LLOYDMINSTER CRES</b>	Community:	North York
Legal Description:	PLAN 4318 LOT 39 RP 64R10294 PART 2 PT LANE CLOSED		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.100.1.(1), By-law No. 569-2013**  
The maximum width of the driveway is 6.00m.  
The proposed driveway has a width of **8.13m**.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.  
The proposed height of part of the side exterior main walls facing a side lot line is 8.34m.
- Chapter 10.5.40.60.(3), By-law No. 569-2013**  
Exterior stairs providing access to a building may encroach into a required setback if the stairs are no wider than 2.00m.  
The proposed front porch stairs are 2.74m wide.
- Chapter 10.5.80.40.(1), By-law No. 569-2013**  
The maximum combined width of all vehicle entrances through the front main wall is 6.00m.  
The proposed combined width of all vehicle entrances through the front main wall is **7.32m**.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 31.70% of the lot area.
- Section 13.2.6, By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 9.30m.

7. **Section 13.2.6A, By-law No. 7625**  
The maximum permitted balcony area is 3.80m<sup>2</sup>.  
The proposed balcony area is **4.46m<sup>2</sup>**.
8. **Section 6A(5)a, By-law No. 7625**  
The maximum permitted width of access for parking areas is 6.00m.  
The proposed driveway access width is **8.13m**.
9. **Section 6(24), By-law No. 7625**  
The maximum permitted projection of an unexcavated deck greater in height than 1.00m in the rear is 2.10m from the wall.  
The proposed deck projects **2.59m**.
10. **Section 6(30)a, By-law No. 7625**  
The maximum permitted finished first floor height is 1.50m.  
The proposed finished first floor height is 1.67m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the east and west elevation drawings for the second floor window of 8.34m only, date stamped as received by the City of Toronto Planning Division, July 10, 2017.  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*

NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR THE BUILDING DEPARTMENT FOR INSPECTION.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR TEMPORARY SHORING AND BRACING DURING CONSTRUCTION.
- 3. CHECK ALL DIMENSIONS AND COORDINATE WITH OTHER DRAWINGS PRIOR TO CONSTRUCT. REPORT ANY DEFICIENCIES TO THE DESIGNER.
- 4. EXISTING WALL MATERIAL, FLOOR JOISTS AND BEAMS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
- 5. MIN. 4" BEARING FOR BEAMS, MIN. 10" BEARING FOR FLOOR JOISTS, MIN. 6" BEARING FOR STEEL LANT.
- 6. ASSUMING FLOOR BEAMS AND JOISTS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.



S.S. ENGINEERING INC.  
Building Structural Solutions  
Tel: 416-509-1712 Fax: 416-960-1281  
Web: www.ssemp.co Email: info@ssemp.co

PROJECT NAME

29 LLOYDMINISTER CRES.

DRAWING TITLE:

WEST ELEVATION

DATE:

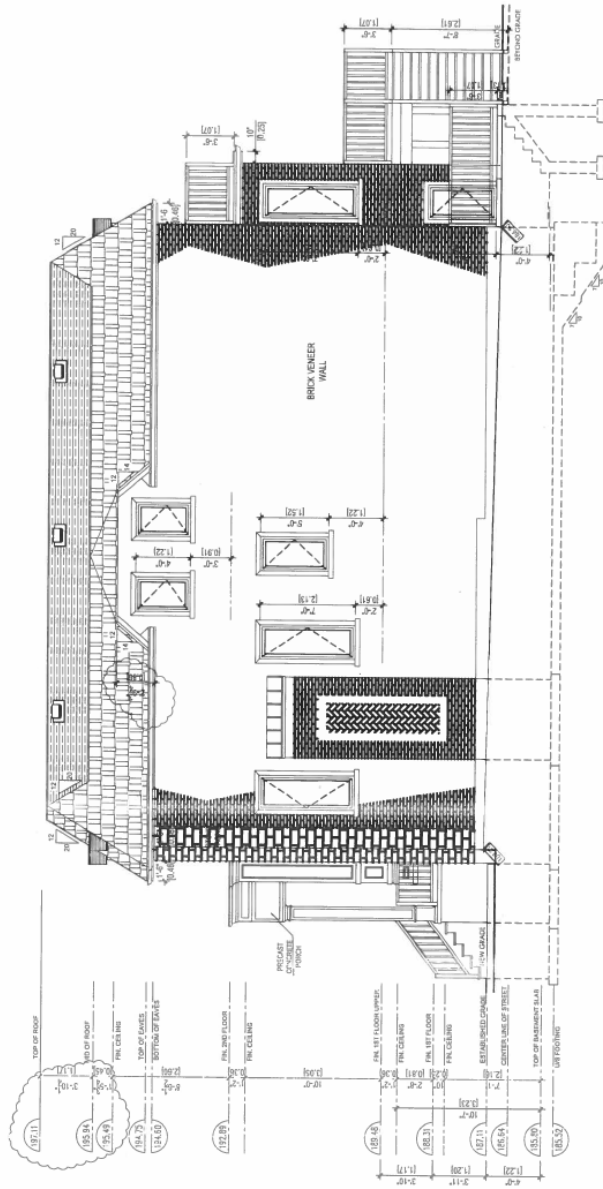
APRIL 24/2017

PROJECT NORTH



DRAWING No.

A-010



RECEIVED

JUL 10 2017

Toronto City Planning  
North York District

WEST ELEVATION

SCALE: 1/8" = 1'-0"

**NOTES:**

1. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE BUILDING DEPARTMENT FOR INSPECTION.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS AND BRACING DURING CONSTRUCTION.
3. CHECK ALL DIMENSIONS AND COORDINATE WITH OWNER/ARCHITECT AND REPORT ANY DISCREPANCIES TO THE DESIGNER.
4. EXISTING WALL MATERIAL, FLOOR JOISTS AND BEAMS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
5. MIN. 4" BEARING FOR BEAMS, MIN. 3" BEARING FOR FLOOR JOISTS, MIN. 6" BEARING FOR STEEL Lintel.
6. ASSUMING FLOOR BEAMS AND JOISTS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.



**S.S. ENGINEERING INC.**  
 Building Structural Solutions  
 54-416 598-1312 Fax: 416-960-1201  
 Web: www.sse.ca  
 60th, Scarborough

PROJECT NAME  
**29 LLOYDMINISTER CRES.**

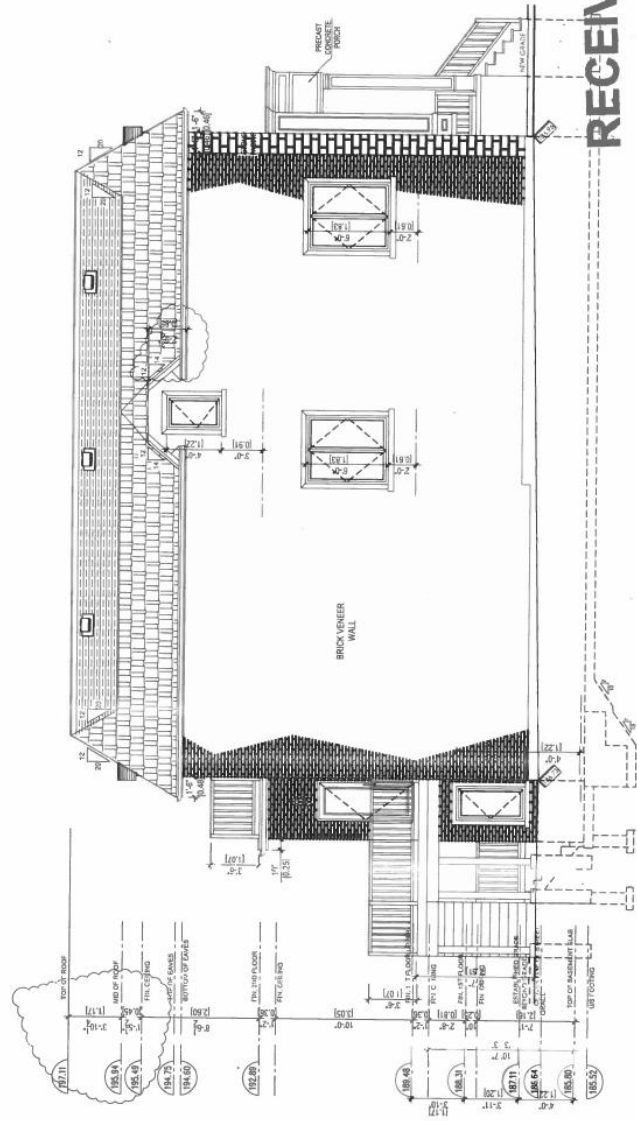
DRAWING TITLE  
**EAST ELEVATION**

DATE: APRIL 24/2017

PROJECT NORTH



DRAWING No. **A-011**



**RECEIVED**

**JUL 10 2017**

**Toronto City Planning  
 North York District**

**EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"

**SIGNATURE PAGE**

File Number:	A0449/17NY	Zoning	RD(x5)/ R4 [PPR]
Owner:	WENYU LI	Ward:	Willowdale (24)
Agent:	S S ENGINEERING INC	Heritage:	Not Applicable
Property Address:	<b>29 LLOYDMINSTER CRES</b>	Community:	North York
Legal Description:	PLAN 4318 LOT 39 RP 64R10294 PART 2 PT LANE CLOSED		

\_\_\_\_\_  
Beth Levy (signed)

\_\_\_\_\_  
Denise Graham (signed)

\_\_\_\_\_  
Rick Ross (signed)

\_\_\_\_\_  
Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Wednesday, July 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0451/17NY	Zoning	RD / R1B (ZW)
Owner(s):	AFSOON MAHDAVIAN	Ward:	Don Valley West (26)
Agent:	MEMAR CONSULTANTS INC	Heritage:	Not Applicable
Property Address:	<b>30 BRENDAN RD</b>	Community:	East York
Legal Description:	PLAN 1042 PT LOT 518 TO 520PT		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.10.(1), By-law No. 569-2013**  
The maximum permitted building height is 7.2 m.  
The proposed building height is 8.50 m.
- 2. Chapter 10.20.40.40.(1), By-law No. 569-2013**  
The maximum permitted floor space index is 0.60 times the lot area.  
The proposed floor space index is 0.67 times the lot area.
- 3. Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.20 m.  
The proposed north side yard setback is 0.43 m.
- 4. Chapter 10.5.50.10.(2)(B), By-law No. 569-2013**  
A corner lot with a detached house must have a minimum of 75% of the required side yard landscaping for soft landscaping.  
The proposed north side yard soft landscaping is 56.96%
- 5. Chapter 10.5.80.40.(3), By-law No. 569-2013**  
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.  
The proposed vehicle access to a parking space is from the front lot line.
- 6. Section 7.3.3, By-law No. 6752**  
The maximum permitted floor space index is 0.60 times there lot area.  
The proposed floor space index is 0.67 times the lots area.

7. **Section 7.3.3, By-law No. 6752**  
The minimum required side yard setback is 0.9 m.  
The proposed north side yard setback is 0.43 m.

8. **Section 5.6, By-law No. 6752**  
The permitted maximum projection of a deck or canopies beyond a rear main wall is 2.5 m.  
The proposed deck and canopy project beyond the rear main wall 3.35 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

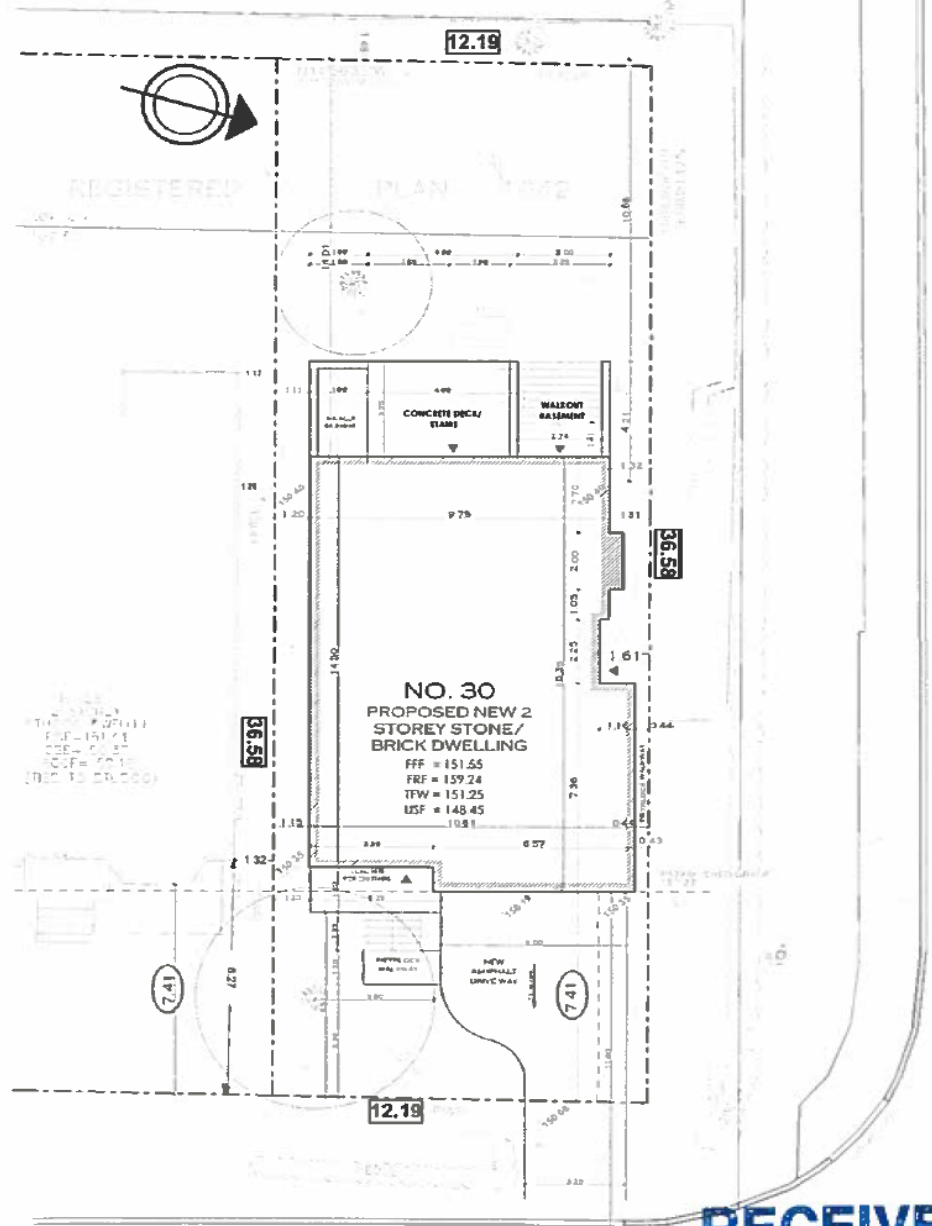
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposed driveway be constructed with landscape strips and permeable pavers.
2. The proposal be developed in accordance with the Site Plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, July 11,2017.  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



MOORE AVENUE



**NO. 30  
PROPOSED NEW 2  
STOREY STONE/  
BRICK DWELLING**  
FFF = 151.55  
FRF = 159.24  
TPW = 151.25  
USF = 148.45

**RECEIVED**

JUL 11 2017

Toronto City Planning  
North York District

BRENDAN ROAD

<p>ALL DIMENSIONS AND ELEVATIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.                  THE OWNER'S RESPONSIBILITY IS TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.                  THIS PLAN IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.                  THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT EXTEND TO ANY OTHER MATTER.                  THE ARCHITECT'S OFFICE IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHER SOURCES.                  THE ARCHITECT'S OFFICE IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHER SOURCES.</p>	
DATE:	ISSUED FOR:
APR 17 2017	FOR CON.
<p>DRAWING TITLE: <b>-2- SITE PLAN (1)</b></p>	
<p>PROJECT DESCRIPTION: <b>30 BRENDAN RD</b></p>	
DRAWN BY:	SCALE:
C.M.P.	1:150
5.1	LAST MODIFIED ON: Monday, May 7, 2017
<p><b>MEMAR</b> ARCHITECTS</p>	
<p>Memor Architects Inc. 2251 Yonge St Unit 503 Toronto, ON M4P 2C9 T: (416) 575-4448</p>	
<p>ONTARIO ASSOCIATION OF ARCHITECTS</p>	
<p><b>A.01</b></p>	

**SIGNATURE PAGE**

File Number:	A0451/17NY	Zoning	RD / R1B (ZW)
Owner:	AFSOON MAHDAVIAN	Ward:	Don Valley West (26)
Agent:	MEMAR CONSULTANTS INC	Heritage:	Not Applicable
Property Address:	<b>30 BRENDAN RD</b>	Community:	East York
Legal Description:	PLAN 1042 PT LOT 518 TO 520PT		

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Beth Levy (signed)

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Denise Graham (signed)

---

Rick Ross (signed)

---

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

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Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

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To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Wednesday, July 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0452/17NY	Zoning	RD (f9.0; a275; d0.45)/ R1A [ZZC]
Owner(s):	ZHEN YAN JIAO	Ward:	Don Valley West (26)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>121 DIVADALE DR</b>	Community:	East York
Legal Description:	PLAN 1925 PT LOT 244 PT LOT 245		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.40.(1), By-law No. 569-2013**  
The maximum permitted floor space index is 0.450 times the area of the lot.  
The proposed floor space index is **0.60** times the area of the lot.
- 2. Chapter 10.5.100.1.(1), By-law No. 569-2013**  
The maximum permitted width of the driveway is 3.51m.  
The proposed driveway width is 4.60m.
- 3. Chapter 10.20.40.10.(1), By-law No. 569-2013**  
The maximum permitted height of a building is 8.50m.  
The proposed height of the building is 8.80m.
- 4. Section 6.2.3, By-law No. 1916**  
The maximum permitted building height is 8.50m.  
The proposed building height is 8.80m.
- 5. Section 6.2.3, By-law No. 1916**  
The maximum permitted floor space index is 0.450 times the lot area.  
The proposed floor space index is **0.60** times the lot area.
- 6. Section 6.1.3(1), By-law No. 1916**  
The maximum permitted driveway width is 3.51m.  
The proposed driveway width is 4.60m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposed driveway be constructed with a central landscaped strip and permeable pavers.

**SIGNATURE PAGE**

File Number:	A0452/17NY	Zoning	RD (f9.0; a275; d0.45)/ R1A [ZZC]
Owner:	ZHEN YAN JIAO	Ward:	Don Valley West (26)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>121 DIVADALE DR</b>	Community:	East York
Legal Description:	PLAN 1925 PT LOT 244 PT LOT 245		

---

Beth Levy (signed)

---

Denise Graham (signed)

---

Rick Ross (signed)

---

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Wednesday, July 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0453/17NY	Zoning	RD/R6 [ZZC]
Owner(s):	REZA POURDJABBAR LILA POURDJABBAR	Ward:	Willowdale (23)
Agent:	FC ASSET MANAGERMENTS INC	Heritage:	Not Applicable
Property Address:	<b>143 AVONDALE AVE</b>	Community:	North York
Legal Description:	PLAN 1967 LOT 1336		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new second storey addition over the existing dwelling, in conjunction with other interior and exterior alterations.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The existing and proposed lot coverage is 31.80% of the lot area.
- 2. Section 14-A(5)a, By-law No. 7625**  
The minimum required front yard setback is 5.00m.  
The existing and proposed front yard setback is 4.85m.
- 3. Section 14-A(5)c, By-law No. 7625**  
The minimum required side yard setback is 1.20m.  
The existing and proposed west side yard setback is 0.768m.
- 4. Section 14-A(5)c, By-law No. 7625**  
The minimum required side yard setback is 1.20m.  
The existing and proposed east side yard setback is 0.46m.
- 5. Section 6(24), By-law No. 7625**  
The maximum permitted rear deck projection is 2.10m from the wall, a maximum height of 1.00m and is not to be more than half the width of the dwelling.  
The proposed rear deck projects 3.22m from the rear wall, is exceeds 1.00m in height and is greater than half the width of the dwelling.



The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0453/17NY	Zoning	RD/R6 [ZZC]
Owner:	REZA POURDJABBAR LILA POURDJABBAR	Ward:	Willowdale (23)
Agent:	FC ASSET MANAGERMENTS INC	Heritage:	Not Applicable
Property Address:	<b>143 AVONDALE AVE</b>	Community:	North York
Legal Description:	PLAN 1967 LOT 1336		

---

Beth Levy (signed)

---

Denise Graham (signed)

---

Rick Ross (signed)

---

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Wednesday, July 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0454/17NY	Zoning	R4/RD (f15.0; a550)(x5)[ZONING]
Owner(s):	JUN AN BAOZHONG QIN	Ward:	Willowdale (24)
Agent:	ALEX BOROS	Heritage:	Not Applicable
Property Address:	<b>67 CHERRYSTONE DR</b>	Community:	North York
Legal Description:	PLAN M1396 LOT 353		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To legalize and to maintain the existing rear deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.8m.  
The proposed deck is 1.32m from the side lot line.
- Section 6(24)(d)(ii), By-law No. 7625**  
The minimum required side yard setback is 1.8m.  
The proposed deck is 1.32m from the side lot line.
- Section 6(24)(c)(i)(ii), By-law No. 7625**  
When 1.0m height is exceeded, the deck may not project more than 2.1m from the rear main wall, and be no wider than one-half the width of the dwelling's widest point.  
The proposed height of the deck is 2.18m, the deck projects 3.66m from the rear main wall and is 62% of the width of the dwelling.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

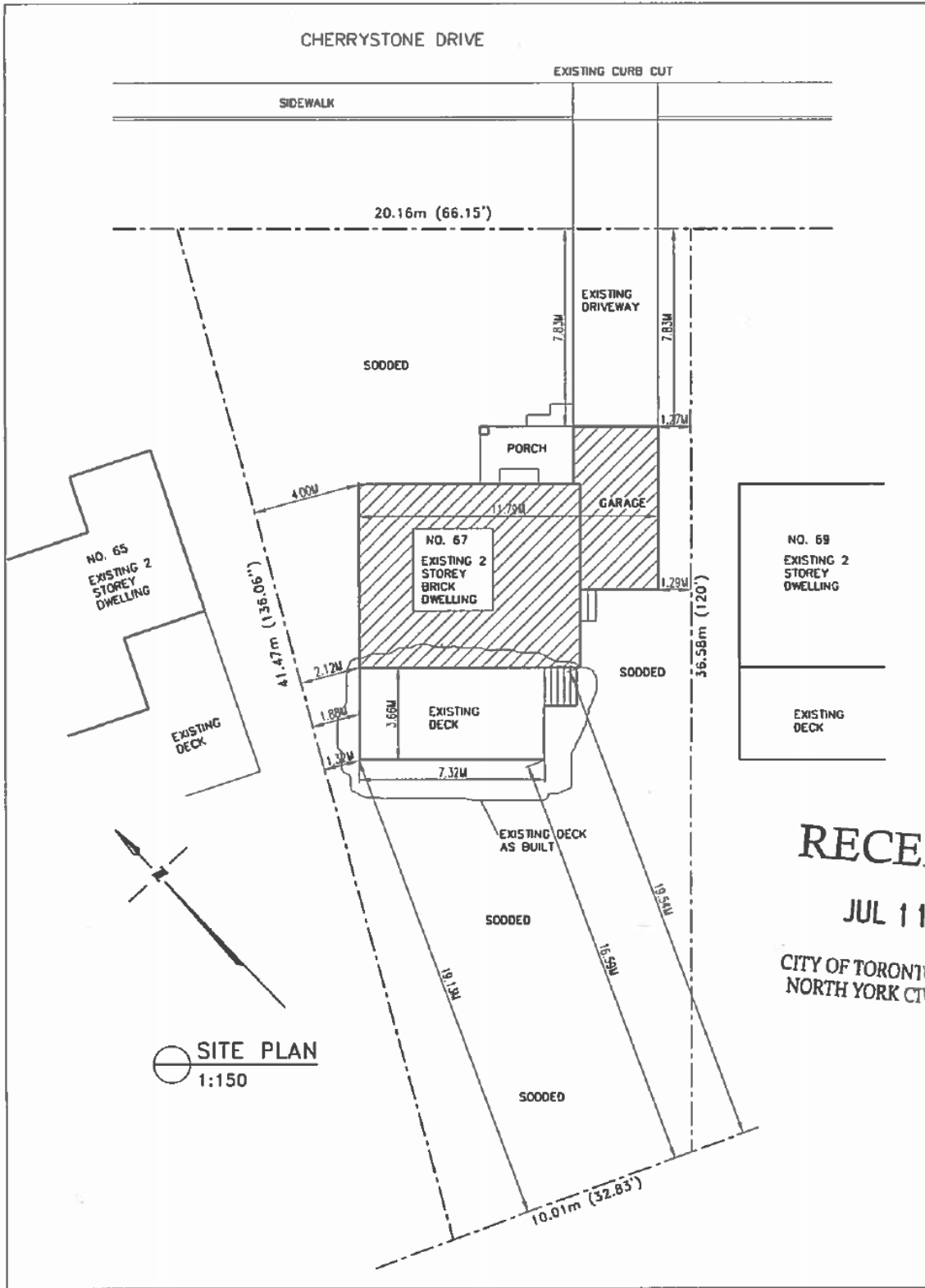
**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be tied to the Site Plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, July 11,2017 to ensure the existing footprint of the dwelling is not further modified to 1.32 metres and instead retains its existing side yard setbacks  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



**RECEIVED**  
**JUL 11 2017**  
 CITY OF TORONTO PLANNING  
 NORTH YORK CIVIC CENTRE

NO.	DATE	BY

NO.	DATE	BY

The undersigned has examined and bears responsibility for this design, and has the qualifications and means and resources and has in the Ontario Planning Code to be a designer.

DATE: 11/11/17

NAME: *Alexander Boros*

PROFESSION: ARCHITECT

REGISTRATION NO.: 12345

ADDRESS: 96413 Markham Avenue, Toronto, Ontario M3B 2A7

PHONE: (416) 494-0202

FAX: (416) 494-0201

EMAIL: alexboros@apdesign.com

**ALEXANDER BOROS**  
 PLANNING AND DESIGN  
 ASSOCIATES  
 BCIN: 24385

96413 Markham Avenue  
 Toronto, Ontario M3B 2A7  
 ph: (416) 494-0202  
 Fax: (416) 494-0201  
 email: alexboros@apdesign.com

DATE: 11/11/17  
 DRAWING NO: A1

EXISTING DECK AS BUILT AT  
 67 CHERRYSTONE DRIVE  
 TORONTO, ONTARIO

SCALE: 1:150

**SIGNATURE PAGE**

File Number:	A0454/17NY	Zoning	R4/RD (f15.0; a550)(x5)[ZONING]
Owner:	JUN AN BAOZHONG QIN	Ward:	Willowdale (24)
Agent:	ALEX BOROS	Heritage:	Not Applicable
Property Address:	<b>67 CHERRYSTONE DR</b>	Community:	North York
Legal Description:	PLAN M1396 LOT 353		

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Beth Levy (signed)

---

Denise Graham (signed)

---

Rick Ross (signed)

---

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



Wednesday, July 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0456/17NY	Zoning:	AV-MU (ZR)
Owner(s):	VITO NICOLA RACANELLI MICHAEL RACANELLI	Ward:	York Centre (09)
Agent:	CEM MUYAN	Heritage:	Not Applicable
Property Address:	<b>879 A WILSON AVE</b>	Community:	North York
Legal Description:	PLAN 3829 PT BLK D RP 64R14169 PARTS 3,4,5,8&11		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To bring into compliance an existing restaurant.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Section 45.7 (i), By-law No. 7625**  
Parking shall not be located in the front yard.  
The existing parking is located in the front yard.
- Section 45.7 (vi), By-law No. 7625**  
Parking shall be provided and maintained at the following rates: Restaurant - 1 space / 9.8 m<sup>2</sup>. The total number of required spaces is 9.  
The existing number of spaces is 1.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0456/17NY	Zoning	AV-MU (ZR)
Owner:	VITO NICOLA RACANELLI MICHAEL RACANELLI	Ward:	York Centre (09)
Agent:	CEM MUYAN	Heritage:	Not Applicable
Property Address:	<b>879 A WILSON AVE</b>	Community:	North York
Legal Description:	PLAN 3829 PT BLK D RP 64R14169 PARTS 3,4,5,8&11		

\_\_\_\_\_  
Beth Levy (signed)

\_\_\_\_\_  
Denise Graham (signed)

\_\_\_\_\_  
Rick Ross (signed)

\_\_\_\_\_  
Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

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### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

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Wednesday, July 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0457/17NY	Zoning	RD(fl5.0; a550)(x5)/ R4 [ZZC]
Owner(s):	MEI FANG HUANG	Ward:	Willowdale (23)
Agent:	ARK GROUP CONSTRUCTION	Heritage:	Not Applicable
Property Address:	<b>4 ELMVIEW AVE</b>	Community:	North York
Legal Description:	PLAN 3705 LOT 71		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.10.(2)B, By-law No. 569-2013**  
The maximum permitted height of the exterior portion of main walls facing a side lot line is 7.50m.  
The proposed height of the side exterior main walls facing a side lot line is 8.09m.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**  
The maximum permitted building length is 17.00m.  
The proposed building length is 17.68m.
- 3. Chapter 900.3.10(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed north side yard setback is 1.50m.
- 4. Chapter 900.3.10(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed south side yard setback is 1.50m.
- 5. Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed north side yard setback is 1.50m.
- 6. Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed south side yard setback is 1.50m.

7. **Section 13.2.5A, By-law No, 7625**  
The maximum permitted building length is 16.80m.  
The proposed building length is 17.68m.
8. **Section 13.2.6, By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 9.03m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

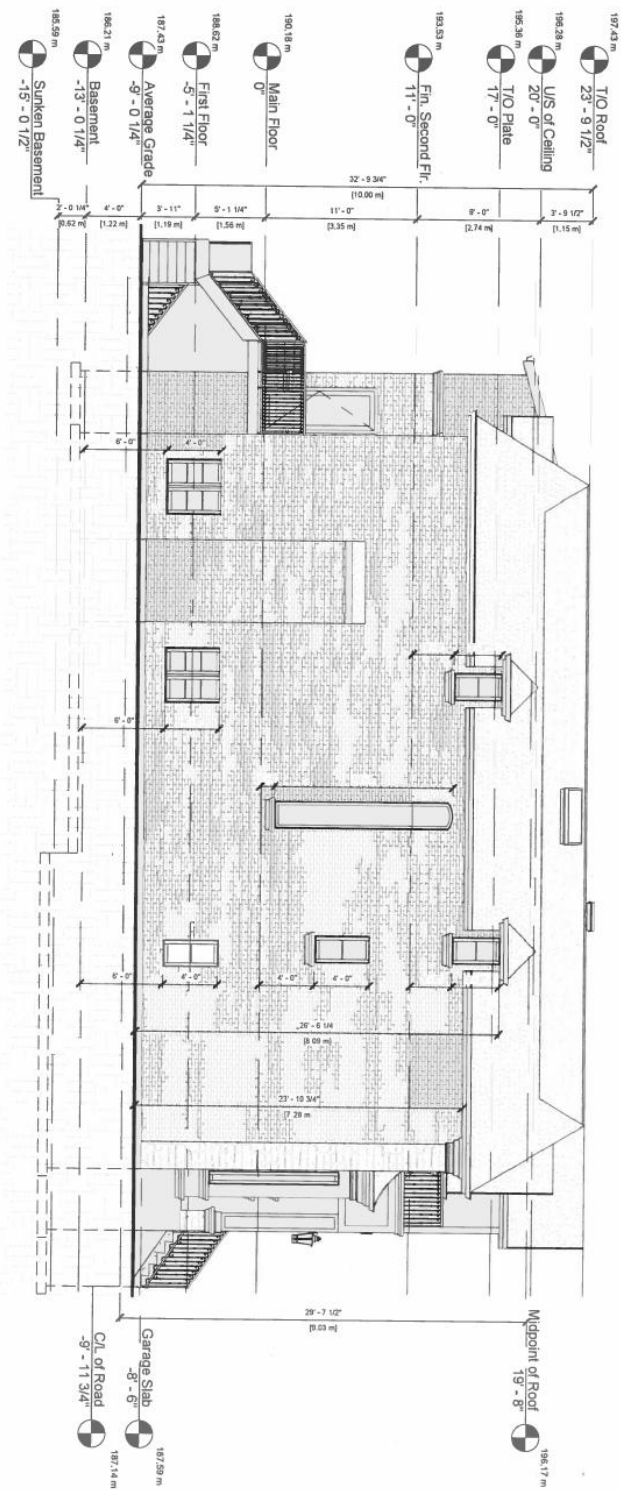
**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or remove privately owned trees.
2. The proposal be developed in accordance with the north and south elevation drawings for the second floor windows of 8.09m only, date stamped as received by the City of Toronto Planning Division, July 10, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



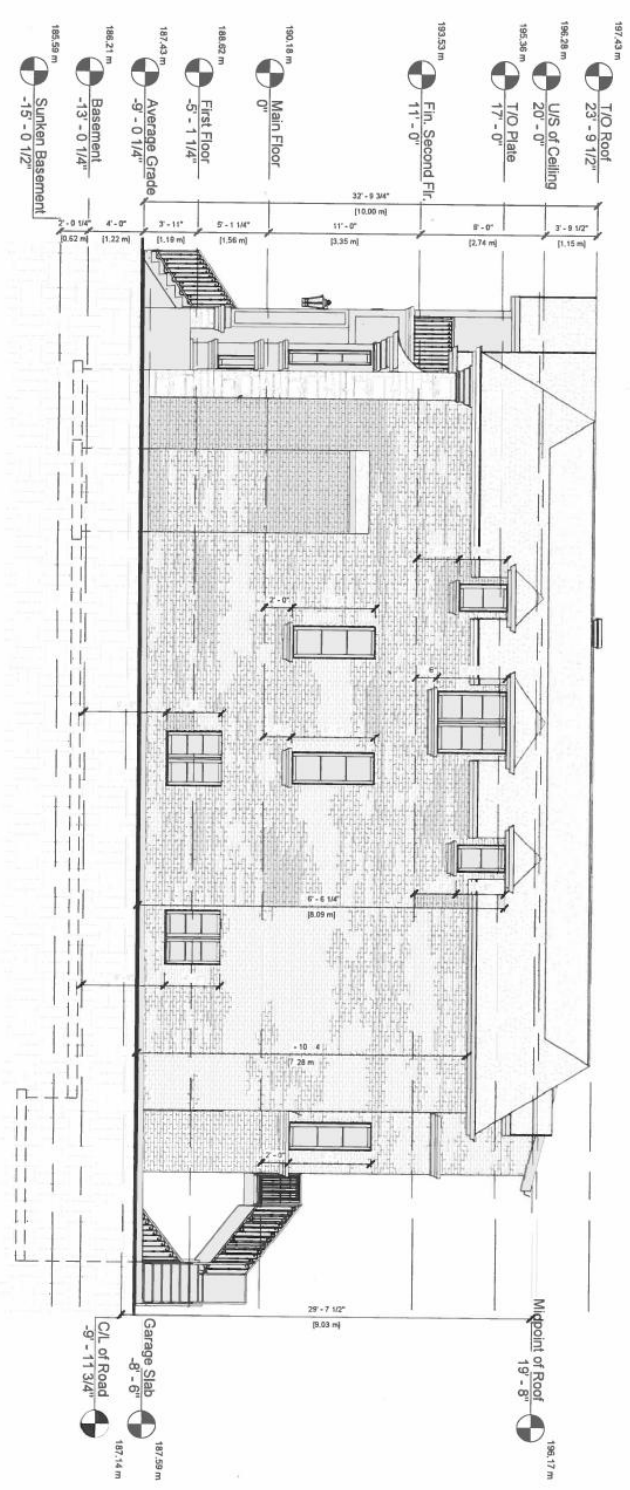
1 SOUTH ELEVATION  
A9 1/8" = 1'-0"

RECEIVED  
JUL 10 2017  
CITY OF TORONTO PLANNING  
NORTH YORK CIVIC CENTRE

location:	4 Elmview Ave.	dwg no.:	A9
date:	2017-01-05		
proj. no.:	16100		

40 Ferris St. 2nd Fl.  
Markham ON L3R 2Z5  
905.940.3134  
info@designgroupinc.com

**d+H**  
design group



1 NORTH ELEVATION  
 A8 1/8" = 1'-0"

RECEIVED  
 JUL 10 2017  
 CITY OF TORONTO PLANNING  
 NORTH YORK CIVIC CENTRE

Location:	4 Elmview Ave.	dwg no.:	A8
date:	2017-01-05		
proj. no.:	16100		
40 Ferner St. 2nd Fl. Markham ON L3R 2Z5 (905)940-3134 info@designgroup.com			

**SIGNATURE PAGE**

File Number:	A0457/17NY	Zoning	RD(f15.0; a550)(x5)/ R4 [ZZC]
Owner:	MEI FANG HUANG	Ward:	Willowdale (23)
Agent:	ARK GROUP CONSTRUCTION	Heritage:	Not Applicable
Property Address:	<b>4 ELMVIEW AVE</b>	Community:	North York
Legal Description:	PLAN 3705 LOT 71		

\_\_\_\_\_  
Beth Levy (signed)

\_\_\_\_\_  
Denise Graham (signed)

\_\_\_\_\_  
Rick Ross (signed)

\_\_\_\_\_  
Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel



## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Wednesday, July 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0894/16NY	Zoning	RD/R6 [ZZC]
Owner(s):	KAREN SACKE	Ward:	York Centre (10)
Agent:	KAREN SACKE	Heritage:	Not Applicable
Property Address:	<b>181 SANDRINGHAM DR</b>	Community:	North York
Legal Description:	PLAN 2044 PT LOT 817 & 818		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new one-storey addition to the rear of the existing two-storey dwelling, in conjunction with a new rear deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.30.40., By-law No. 569-2013**  
The maximum permitted lot coverage for a deck is 5.00% of the lot area.  
The proposed lot coverage for the deck is 6.90% of the lot area.
- 2. Chapter 10.20.40.20.(2), By-law No. 569-2013**  
The maximum permitted building length is 17.00m.  
The proposed building length is 18.78m.
- 3. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 37.00% of the lot area (including 1.90% for the deck).
- 4. Section 14-A(6), By-law No. 7625**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 35.10% of the lot area.
- 5. Section 14-A(9), By-law No. 7625**  
The maximum permitted building length is 15.30m.  
The proposed building length is 18.78m.
- 6. Section 6(24)(a), By-law No. 7625**  
The maximum permitted lot coverage for a deck is 5.00% of the lot area.  
The proposed lot coverage for the deck is 6.90% of the lot area.

**7. Section 6(9), By-law No. 7625**

The maximum permitted deck projection is 2.10m.

The proposed deck projects 4.88m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0894/16NY	Zoning	RD/R6 [ZZC]
Owner:	KAREN SACKE	Ward:	York Centre (10)
Agent:	KAREN SACKE	Heritage:	Not Applicable
Property Address:	<b>181 SANDRINGHAM DR</b>	Community:	North York
Legal Description:	PLAN 2044 PT LOT 817 & 818		

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Beth Levy (signed)

---

Denise Graham (signed)

---

Rick Ross (signed)

---

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

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Wednesday, July 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0502/17NY	Zoning	RM3 [ZZC]
Owner(s):	NORTH YORK WOMEN'S SHELTER NORTH YORK WOMEN'S SHELTER	Ward:	York Centre (10)
Agent:	LGA ARCHITECTURAL PARTNERS	Heritage:	Not Applicable
Property Address:	<b>940 SHEPPARD AVE W</b>	Community:	North York
Legal Description:	PLAN 3103 PT LOT 3		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new four-storey building to facilitate in the creation of a new Women's Shelter Crisis Care Centre with ancillary service space.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. By-law No. 28860**  
The maximum permitted lot coverage is 20.00% of the lot area.  
The proposed lot coverage is 35.00% of the lot area.
- 2. By-law No. 28860**  
The minimum required front yard setback is 9.10m.  
The proposed front yard setback is 6.93m.
- 3. Schedule (b), By-law No. 28860**  
The minimum required side yard setback is 3.00m.  
The proposed west side yard setback is 2.40m.
- 4. Schedule (b), By-law No. 28860**  
The minimum required side yard setback is 8.00m.  
The proposed east side yard setback is 2.40m.
- 5. Section 18.2.4(c)/18.3.4(c)**  
The minimum required rear yard setback is 35.00m.  
The proposed rear yard setback is 16.00m.

6. **By-law No. 28860**  
The maximum permitted building height is 11.00m.  
The proposed building height is 14.10m.
7. **By-law No. 28860**  
A maximum of two (2) parking spaces can be located in the side yard.  
The proposed has five (5) parking spaces in the side yard.
8. **Section 2(g), By-law No. 28860**  
The maximum number of storeys permitted is two (2).  
The proposed number of storeys is four (4).
9. **Section 2(d), By-law No. 28860**  
The maximum permitted gross floor area is 580.00 m<sup>2</sup> and basement area of 290.00m<sup>2</sup>.  
The proposed gross floor area is 1,900.00m<sup>2</sup> and a basement area of 682.00m<sup>2</sup>.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0502/17NY	Zoning	RM3 [ZZC]
Owner:	NORTH YORK WOMEN'S SHELTER NORTH YORK WOMEN'S SHELTER	Ward:	York Centre (10)
Agent:	LGA ARCHITECTURAL PARTNERS	Heritage:	Not Applicable
Property Address:	<b>940 SHEPPARD AVE W</b>	Community:	North York
Legal Description:	PLAN 3103 PT LOT 3		

\_\_\_\_\_  
Beth Levy (signed)

\_\_\_\_\_  
Denise Graham (signed)

\_\_\_\_\_  
Rick Ross (signed)

\_\_\_\_\_  
Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel



## Appeal Information

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Wednesday, July 19, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0245/17NY	Zoning	RM / RM5 (WAIVER)
Owner(s):	DEL-MAR INC	Ward:	York Centre (10)
Agent:	DAVID COLUSSI	Heritage:	Not Applicable
Property Address:	<b>81 GARTHDALE CRT</b>	Community:	North York
Legal Description:	PLAN 5186 N PT LOT 47 N PT LOT 46		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new retaining wall and to convert an existing garage into a new apartment and also to construct a new apartment above a new at grade parking structure for 3 cars.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.80.30.40.(1), By-law No. 569-2013**  
The permitted maximum lot coverage is 35% of the lot area.  
The proposed lot coverage is 44.28% of the lot area.
- Chapter 10.80.40.70.(2), By-law No. 569-2013**  
The required minimum rear yard setback is 9.76 m.  
The proposed rear yard setback is 0.2 m.
- Chapter 10.80.40.70.(3), By-law No. 569-2013**  
The required minimum side yard setback for a fourplex/ apartment building/ non-residential is 2.4 m.  
The proposed side yard setback is 0.2 m.
- Chapter 200.15.10, By-law No. 569-2013**  
The required minimum number of accessible parking spaces is 12.  
The proposed number of accessible parking spaces is 6.
- Chapter 200.5.1.10.(12), By-law No. 569-2013**  
The required minimum entrance and exit for a two-way driveway is 5.5 m.  
The proposed vehicle entrance and exit is 5.26 m.
- Section 20.2.2, By-law No. 7625**  
The maximum permitted lot coverage is 35% of the lot area.  
The proposed lot coverage is 44.28% of the lot area.

7. **Section 20.2.4 (c), By-law No. 7625**  
The minimum required rear yard setback is 7.5 m.  
The proposed rear yard setback is 0.2 m.
8. **Section 20.2.4(b), By-law No. 7625**  
The minimum required south side yard setback is 3.5 m  
The proposed south side yard setback is 0.2 m.
9. **Section 20.2.5, By-law No. 7625**  
The maximum permitted gross floor area is 1000 m<sup>2</sup>.  
The proposed gross floor area is 1115 m<sup>2</sup>.
10. **Section 6A(2)a, By-law No. 7625**  
The minimum required number of parking spaces is 13 and 4 visitor spaces.  
The proposed number of parking spaces is 6.
11. **Section 6A(5), By-law No. 7625**  
The minimum access required for parking areas is 6 m.  
The proposed access to parking is 5.26 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

### **The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

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Agent:	DAVID COLUSSI	Heritage:	Not Applicable
Property Address:	<b>81 GARTHDALE CRT</b>	Community:	North York
Legal Description:	PLAN 5186 N PT LOT 47 N PT LOT 46		

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Wayne McEachern (signed)

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Denise Graham (signed)

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Rick Ross (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

LAST DATE OF APPEAL: Tuesday, August 8, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Wednesday, July 19, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0306/17NY	Zoning	R3(19)/RD[ZZC]
Owner(s):	SHIMA JAVAHERI RAUL MAURICIO GOMEZ VILLARROEL	Ward:	Eglinton-Lawrence (16)
Agent:	CASTLE ROCK HOMES	Heritage:	Not Applicable
Property Address:	<b>100 DE VERE GDNS</b>	Community:	North York
Legal Description:	PLAN 2391 PT LOT 41		

Notice was given and a Public Hearing was held on Wednesday, July 19, 2017, as required by the Planning Act.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m for 100% of side wall width.  
The proposed height of the (east) side exterior main walls facing a side lot line is 8.2m for 21.8% of side wall width.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m for 100% of side wall width.  
The proposed height of the (west) side exterior main walls facing a side lot line is 8.2m for 12.2% of side wall width.
- 3. Chapter 10.20.40.70.(1), By-law No. 569-2013**  
The minimum required front yard setback is 9.71m.  
The proposed front yard setback is 8.00m.
- 4. Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.8m.  
The proposed west side yard setback is 1.52m.
- 5. Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.8m.  
The proposed east side yard setback is 1.09m.

6. **Chapter 10.20.40.20.(1), By-law No. 569-2013**  
The permitted maximum building length for a detached house is 17.0m.  
The proposed building length is 18.69m.
7. **Chapter 10.20.40.10.(6), By-law No. 569-2013**  
The maximum permitted finished first floor height is 1.2m.  
The proposed finished first floor height is 1.5m.
8. **Section 12.4(b), By-law No. 7625**  
The minimum required north side yard setback is 1.61m.  
The proposed west side yard setback is 1.52m.
9. **Section 12.4(b), By-law No. 7625**  
The minimum required side yard setback is 1.61m.  
The proposed east side yard setback is 1.09m.
10. **Section 6(9)(b), By-law No. 7625**  
The required minimum exterior stairs encroachment is 2.1m and height 1.0m.  
The proposed exterior stair encroachment is 2.44m and height 2.31m.
11. **Section 12.5A, By-law No. 7625**  
The maximum permitted building length is 16.8m.  
The proposed building length is 18.69m.
12. **Section 6(30)a, By-law No. 7625**  
The maximum permitted finished first floor height is 1.5m.  
The proposed finished first floor height is 2.17m.
13. **Section 12.3, By-law No. 7625**  
The minimum required lot area is 690m<sup>2</sup>.  
The proposed lot area is 559.17m<sup>2</sup>.
14. **Section 12.2, By-law No. 7625**  
The minimum required lot frontage is 18m .  
The proposed lot frontage is 13.08m.
15. **Section 12.7, By-law No. 7625**  
The maximum permitted building height is 8.8m.  
The proposed building height is 9.56m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at [www.toronto.ca/trees/pdfs/contractor\\_services\\_agreement\\_information.pdf](http://www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf).

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

2. The applicant shall submit the necessary application for permits to injure or remove street trees to Urban Forestry, City of Toronto Municipal Code Chapter 813, Article II.



**SIGNATURE PAGE**

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Beth Levy (signed)

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Denise Graham (signed)

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Rick Ross (signed)

DATE DECISION MAILED ON: Wednesday, July 26, 2017

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