

1. 193 ATLAS AVENUE

File Number:	A1178/16TEY	Zoning	RM (f12.0; u2; d0.8)(x252) & R2 (ZZC)
Owner(s):	BRETT KLEIN	Ward:	St. Paul's (21)
Agent:	BRETT KLEIN	Heritage:	Not Applicable
Property Address:	193 ATLAS AVE	Community:	York
Legal Description:	PLAN 2169 N PT LOT 66		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

1. Chapter 10.80.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index of a detached dwelling is 0.8 times the area of the lot (191.38 m²).

The altered dwelling will have a floor space index equal to 0.811 times the area of the lot (194 m²).

2. Chapter 10.80.40.70.(1), By-law 569-2013

The minimum required front yard setback is 4.33 m.

The altered dwelling will be located 2.88 m from the west front lot line.

3. Chapter 10.80.40.70.(3)(A), By-law 569-2013

The minimum required side yard setback is 1.2 m.

The altered dwelling will be located 0.34 m from the north side lot line, and 0.73 m from the south side lot line.

4. Chapter 10.5.80.10.(3), By-law 569-2013

A parking space may not be located in a front yard or a side yard abutting a street.

The parking space will be located in the front yard.

5. Chapter 200.5.10.1.(1), By-law 569-2013

A minimum of one parking space is required to be provided behind the main front wall.

In this case, zero parking spaces will be provided behind the main front wall.

1. Section 3.(b), By-law 1-83 and By-law 3623-97

The minimum required front yard setback is 3.38 m.

The altered dwelling will be located 2.88 m from the west front lot line.

2. Section 3.(a), By-law 1-83 and By-law 3623-97

The minimum required side yard setback is 1.2 m.

The altered dwelling will be located 0.34 m from the north side lot line, and 0.73 m from the south side lot line.

3. Section 3.(a), By-law 1-83 and By-law 3623-97

The maximum permitted floor space index of a detached dwelling is 0.8 times the area of the lot (191.38 m²).

The altered dwelling will have a floor space index equal to 0.81 times the area of the lot (194 m²).

4. Section 4, By-law 1-83

Front yard parking is permitted on lots where driveway access is less than 2.4 m in width provided that the space is a minimum of 2.5 m and a maximum of 2.8 m wide.

In this case, zero parking spaces will be provided on the lot.

5. Section R3.4.7(a)(5), By-law 1-83

An unenclosed deck may be constructed in the rear yard of a property provided that the sum of the floor area exclusive of the area within 2.4 m of the rear walls of the dwelling, plus the gross floor area of the dwelling, shall not exceed the maximum permitted floor space index, in this case 0.8 times the area of the lot.

In this case, the 6.37 m² portion of the rear ground floor deck beyond 2.4 m from the rear building wall, plus the gross floor area of the altered dwelling will have an area equal to 0.81 times the area of the lot.

MOTION

It was moved by Ewa Modlinska, seconded by Worrick Russell, and carried unanimously that the application be **deferred, for a maximum of 3 months**. The deferral would provide the applicant with an opportunity to revise the proposal to address concerns raised by Community Planning Staff. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel A**.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1195/16TEY	Zoning:	R (d0.6)(x729) & R2 Z0.6 (ZZC)
Owner(s):	LOUIS STEVENSON CARSLY SUSANNE MARCIA NOAHL EL BAROUDI	Ward:	Davenport (18)
Agent:	LEO MASTANDREA	Heritage:	Not Applicable
Property Address:	2 PARR ST	Community:	Toronto
Legal Description:	PLAN 1251 LOT 15		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and to maintain conversion of the semi-detached dwelling into three residential units.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 200.5.10.1.(1), By-law 569-2013**
The minimum required number of parking spaces is two.
In this case, one parking space will be provided.
- 1. Section 6(3) Part I 1, By-law 438-86**
The maximum permitted residential gross floor area is 0.6 times the area of the lot (76.45 m²).
The converted semi-detached dwelling will have a residential gross floor area equal to 1.76 times the area of the lot (224.17 m²).
- 2. Section 4(5)(B), By-law 438-86**
The minimum required number of parking spaces is two.
In this case, one parking space will be provided.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1195/16TEY	Zoning	R (d0.6)(x729) & R2 Z0.6 (ZZC)
Owner(s):	LOUIS STEVENSON CARSLEY SUSANNE MARCIA NOAHL EL BAROUDI	Ward:	Davenport (18)
Agent:	LEO MASTANDREA	Heritage:	Not Applicable
Property Address:	2 PARR ST	Community:	Toronto
Legal Description:	PLAN 1251 LOT 15		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: **Tuesday, April 18, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

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NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A1197/16TEY	Zoning:	R3 Z1.5 (ZZC)
Owner(s):	NAVID SEYFAIE	Ward:	Trinity-Spadina (19)
Agent:	KYLE KHADRA	Heritage:	Not Applicable
Property Address:	109 WALNUT AVE	Community:	Toronto
Legal Description:	PLAN D227 PT LOTS 5 & 6		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing townhouse containing two dwelling units into a townhouse containing three dwelling units. Exterior stairs providing access to the second floor will be constructed at the rear on the north side.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 2(1), By-law 438-86

A "converted house" is defined as a building originally constructed as a detached house, semi-detached house, row house, duplex, triplex, semi-detached duplex, or semi-detached triplex, which is altered to contain two or more dwelling units except for a row house which may be altered to provide a maximum of two dwelling units.

In this case, a row house containing three dwelling units is not permitted.

2. Section 6(3) Part II 5(I), By-law 438-86

The maximum permitted building depth is 14.0 m.

The altered row house will have a building depth of 20.11 m.

3. Section 6(3) Part II 4, By-law 438-86

The minimum required rear yard setback is 7.50 m.

The rear yard second floor staircase will be setback of 3.04 m from the rear lot line.

4. Section 6(3) Part III 1(A), By-law 438-86

The minimum required landscaped open space equal is 30% of the area of the lot (39.26 m²).

The landscaped open space will be 18% of the area of the lot (23.59 m²).

5. Section 12(1) 467(4), By-law 438-86

No person shall erect or use a building or structure so that the lot has less than 15% of the area of the lot in soft landscaping (19.63 m²).

In this case, 0% (0.00 m²) of the area of the lot will be soft landscaping.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The approval of Variance 2, By-law 438-86, for building depth and Variance 3, By-law 438-86, for rear yard setback, shall apply only to the rear staircase and not to the main dwelling.

SIGNATURE PAGE

File Number:	A1197/16TEY	Zoning	R3 Z1.5 (ZZC)
Owner(s):	NAVID SEYFAIE	Ward:	Trinity-Spadina (19)
Agent:	KYLE KHADRA	Heritage:	Not Applicable
Property Address:	109 WALNUT AVE	Community:	Toronto
Legal Description:	PLAN D227 PT LOTS 5 & 6		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1198/16TEY	Zoning	RS (f10.5, a325, d0.75) & R2A (ZZC)
Owner(s):	LATANYA GRIZZLE	Ward:	Toronto-Danforth (29)
Agent:	MIKE SHIRZADFAR	Heritage:	Not Applicable
Property Address:	28 DONMORE AVE	Community:	East York
Legal Description:	PLAN 1639 PT LOT 19		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing one-storey detached dwelling by constructing a second-storey addition, a rear one-storey addition, a front porch, a front second floor deck, a rear ground floor deck and a rear second floor deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.40.30.40.(1), By-law 569-2013**
The maximum permitted lot coverage is 35% of the lot area (79.56 m²).
The lot coverage will be equal to 45% of the lot area (103.19 m²).
- 2. Chapter 200.5.10.1, By-law 569-2013**
A minimum of one parking space is required to be provided behind the main front wall.
In this case, zero parking spaces will be provided behind the main front wall.
- 3. Chapter 10.40.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of each platform located at or above the second storey of a dwelling is 4.0 m².
The area of the front second floor deck will be 5.81 m², and the area of the rear second floor deck will be 5.41 m².
- 4. Chapter 10.40.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 4.39 m.
The altered dwelling will be located 4.08 m from the east front lot line.
- 5. Chapter 10.40.40.70.(3)(A), By-law 569-2013**
The minimum required side yard setback is 0.9 m.
The altered dwelling will be located 0.13 m from the north side lot line, and 0.28 m from the south side lot line.

6. **Chapter 10.5.40.50.(2), By-law 569-2013**
The minimum required side yard setback for the rear decks is 0.9 m.
The rear ground and second floor decks will be located 0.5 m from the north side lot line, and 0.64 m from the south side lot line.
7. **Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.6 m.
The front exterior stairs will be located 0.12 m from the north side lot line.
8. **Chapter 10.5.40.60.(7), By-law 569-2013**
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.
The roof eaves will be located 0.21 m from the south side lot line, and 0.05 m from the north side lot line.
9. **Chapter 10.5.50.10.(1)(D), By-law 569-2013**
A minimum of 75% (16.31 m²) of the front yard must be maintained as soft landscaping.
In this case, 50% (10.91 m²) of the front yard will be maintained as soft landscaping.
1. **Section 7.5.3, By-law 6752**
A minimum of one parking space is required to be provided.
In this case, zero parking spaces will be provided.
2. **Section 7.5.3, By-law 6752**
The minimum required front yard setback is 6 m.
The altered dwelling will be located 4.08 m from the east front lot line.
3. **Section 7.5.3, By-law 6752**
The minimum required side yard setback is 0.45 m.
The altered dwelling will be located 0.28 m from the south side lot line and 0.13 m from the north side lot line.
4. **Section 7.1.6, By-law 6752**
A minimum of 75% (16.31 m²) of the front yard must be maintained as soft landscaping.
In this case, 50% (10.91 m²) of the front yard will be maintained as soft landscaping.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1198/16TEY	Zoning	RS (f10.5, a325, d0.75) & R2A (ZZC)
Owner(s):	LATANYA GRIZZLE	Ward:	Toronto-Danforth (29)
Agent:	MIKE SHIRZADFAR	Heritage:	Not Applicable
Property Address:	28 DONMORE AVE	Community:	East York
Legal Description:	PLAN 1639 PT LOT 19		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1199/16TEY	Zoning:	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	PHILIPPE MONNIER ERJIAO YANG	Ward:	Trinity-Spadina (19)
Agent:	KYLE KHADRA	Heritage:	Not Applicable
Property Address:	220 PALMERSTON AVE	Community:	Toronto
Legal Description:	PLAN 314 PT LOT 92		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey semi-detached dwelling by constructing a rear second storey addition with a rear balcony, a front second storey addition with a front terrace, and by adding a front ground floor bay window.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.40.30.1(A), By-law 569-2013

The maximum permitted depth of a semi-detached dwelling is 17 m.
The altered semi-detached dwelling will have a depth of 19.9 m.

2. Chapter 10.10.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index of a semi-detached dwelling is 0.6 times the area of the lot (144 m²).
The altered semi-detached dwelling will have a floor space index equal to 0.8 times the area of the lot (192.2 m²).

3. Chapter 10.5.50.10.(3)(A), By-law 569-2013

A minimum of 50% (49 m²) of the rear yard must be maintained as soft landscaping.
In this case, 24% (23.6 m²) of the rear yard has been maintained as soft landscaping.

1. Section 6(3) Part II 5(II), By-law 438-86

The maximum permitted depth of a semi-detached dwelling is 17 m.
The altered semi-detached dwelling will have a depth of 20.8 m.

2. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area of a semi-detached dwelling is 0.6 times the area of the lot (144 m²).

The altered semi-detached dwelling will have a gross floor area equal to 0.8 times the area of the lot (192.2 m²).

3. Section 6(3) Part II 3.C(I), By-law 438-86

The minimum required side lot line setback of a semi-detached dwelling is 0.45 m where the side wall contains no openings.

The altered semi-detached dwelling will be located 0 m from the north side lot line.

4. Section 6(3) Part II 8 K(I), By-law 438-86

A balcony is permitted to project into the required setbacks provided the house, including the rear wall, is at least 5 years old.

In this case, the rear second storey balcony will be on a wall that is less than 5 years old.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

SIGNATURE PAGE

File Number:	A1199/16TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	PHILIPPE MONNIER ERJIAO YANG	Ward:	Trinity-Spadina (19)
Agent:	KYLE KHADRA	Heritage:	Not Applicable
Property Address:	220 PALMERSTON AVE	Community:	Toronto
Legal Description:	PLAN 314 PT LOT 92		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: **Tuesday, April 18, 2017**

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Manager & Deputy Secretary-Treasurer
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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1200/16TEY	Zoning:	RD (f12.0 a370 d0.6) H 8.5 & R1B (BLD)
Owner(s):	JINMING LIU XIULI LIU	Ward:	Beaches-East York (31)
Agent:	JOSEPH BATTAGLIA	Heritage:	Not Applicable
Property Address:	197 FERRIS RD	Community:	East York
Legal Description:	PLAN 3294 PT LOT 17		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with integral garage. Portions of the exterior walls were demolished during construction without proper authorization.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.30.(1), By-law 569-2013**
The maximum permitted building depth is 19.0 m.
The new dwelling will have a building depth equal to 19.63 m.
- Chapter 10.20.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 10.52 m.
The new dwelling will be located 7.62 m from the front lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (3) Where there are no existing street trees, the owner shall submit a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application or elsewhere in the community if there is no space, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

SIGNATURE PAGE

File Number:	A1200/16TEY	Zoning	RD (f12.0 a370 d0.6) H 8.5 & R1B (BLD)
Owner(s):	JINMING LIU XIULI LIU	Ward:	Beaches-East York (31)
Agent:	JOSEPH BATTAGLIA	Heritage:	Not Applicable
Property Address:	197 FERRIS RD	Community:	East York
Legal Description:	PLAN 3294 PT LOT 17		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1201/16TEY	Zoning	R(d1.0)(x620) & R4A Z1.0 (ZZC)
Owner(s):	MARY ANNE FARNCOMB	Ward:	St. Paul's (22)
Agent:	MURRAY FEARN	Heritage:	Not Applicable
Property Address:	493 DAVENPORT RD	Community:	Toronto
Legal Description:	PLAN M2 PT LOTS 278 279 280		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey mixed-use building containing one-dwelling unit and a design studio by constructing second and third storey additions with a rear second floor deck and a rear garage.

REQUEST FOR PERMISSION:

The property has lawful-nonconforming status under the *Planning Act*, as the mixed-use building containing a non-residential use and one residential dwelling unit existed prior to the passing of By-law **569-2013** which does not list the said use as being permitted on the property zoned **R(d1.0)**. Any change of use, alteration or addition to the building requires the permission of the Committee of Adjustment.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index is 1.0 times the area of the lot (342.96 m²).
The altered building will have a floor space index equal to 1.19 times the area of the lot (409.04 m²).

1. Section 6(3) Part II 3(I), By-law 438-86

The minimum required setback from the side wall of an adjacent building that does not contain any openings is 0.9 m.
The altered building will be located 0.73 m from the side wall of the west adjacent building.

2. Section 6(3) Part III 3(A), By-law 438-86

A minimum of 50% (32.08 m²) of the front yard area shall be maintained as landscaped open space.
In this case, 46.70% (29.96 m²) of the front yard area will be landscaped open space.

3. Section 4(5)(I)(II), By-law 438-86

The minimum required width of an two-way driveway is 5.5 m.
In this case, the two-way driveway will have a width of 2.41 m.

4. Section 6(3) Part II 3.G, By-law 438-86

The minimum required side lot line setback is 7.5 m.

The altered building will be located 0.3 m from the west side lot line, and 1.2 m from the east side lot line.

5. Section 6(3) Part II 5(I), By-law 438-86

The maximum permitted depth is 14.0 m.

The altered building will have a depth of 26.61 m measured to the end of the rear garage.

6. Section 6(3) Part III 1(A), By-law 438-86

A minimum of 30% of the lot area (102.9 m²) shall be landscaped open space.

In this case, 15.04 % of the lot area (51.64 m²) will be landscaped open space.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**The Minor Variance and Permission Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.
- Has met the requirements of subsections 45(2)(a)(i)(ii) of the Planning Act.

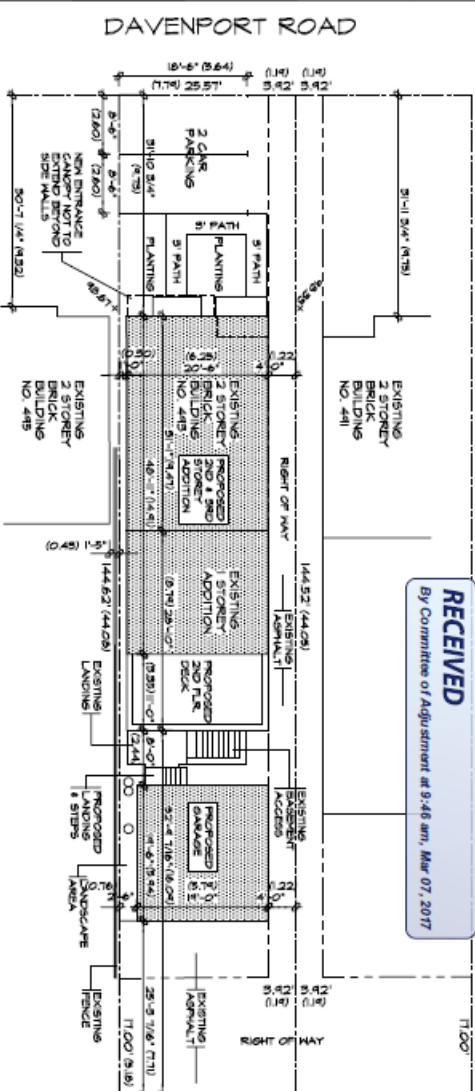
This decision is subject to the following condition(s):

- (1) The approved building length of 26.61 m, measured to the rear main wall of the rear garage, apply only to the ground floor, in accordance with the plans date stamped received by Committee of Adjustment on March 7, 2017.
- (2) The second floor of the altered building shall have a maximum building length of 14.91 m, with a 3.35 m deck beyond, in accordance with the plans date stamped received by Committee of Adjustment on March 7, 2017.
- (3) The third floor of the altered building shall have a maximum building length of 14.91 m, in accordance with the plans date stamped received by Committee of Adjustment on March 7, 2017.
- (4) The alterations to the building shall be constructed substantially in accordance with the plans date stamped received by Committee of Adjustment on March 7, 2017. Any variances that may appear on these plans that are NOT listed in the written decision are not authorized.

ZONING	R4A Z/O	LOT NO. PART OF	PLAN NO.	LOT AREA	
(R4A) (9620)	LOTS 216, 219 & 220	M-2	564194 S.F. (254296M ²)	25.57 (1194)	
DESCRIPTION	EXISTING	ADDITION	TOTAL	% ALLOWED	%
LOT COVERAGE	11711 S.F. (21.22M ²)	23646 S.F. (82.41M ²)	66710 S.F. (254.29M ²)	46.1	100.0
GROSS FLOOR AREA	11711 S.F. (21.22M ²)	200572 S.F. (586.51M ²)	320248 S.F. (866.9M ²)	86.8	100.0
LANDSCAPING	SEE SPECIFICATIONS IN GENERAL NOTES				
NO. OF STORES	2 1/2 STOREY (28-3' (8.60) 16-3' (4.96)	2ND & 3RD STOREY (12-0" (3.66) 14-10" (4.33)	3 STOREY (5-9" (1.80) 51-2" (1.56)	NOT LIMITED	59-4" (1.51) 59-4" (1.51)
HEIGHT	20'-4" (6.20)	30'-4" (9.25)	30'-4" (9.25)	59'-4" (17.90)	59'-4" (17.90)
DEPTH	54'-10" (16.74)	49'-11" (15.21)	54'-11" (16.74)	59'-4" (17.90)	59'-4" (17.90)
WIDTH	30'-4" (9.25)	30'-4" (9.25)	30'-4" (9.25)	59'-4" (17.90)	59'-4" (17.90)
PARKING	2 CAR GARAGE	2 CAR GARAGE	2 CAR GARAGE	1 CAR PER DWELLING UNIT	1 CAR PER DWELLING UNIT

GENERAL NOTES	EXISTING	PROPOSED
GROUND FLOOR AREA	11711 S.F. (21.22M ²)	11711 S.F. (21.22M ²)
SECOND FLOOR	66710 S.F. (254.29M ²)	66710 S.F. (254.29M ²)
THIRD FLOOR	44500 S.F. (163.80M ²)	44500 S.F. (163.80M ²)
TOTAL	122921 S.F. (442.31M ²)	122921 S.F. (442.31M ²)
DEMO, 2ND & 3RD STOREY	109585 S.F. (302.86M ²)	109585 S.F. (302.86M ²)
91% REMAINING	11711 S.F. (21.22M ²)	11711 S.F. (21.22M ²)
ADDITION FLOOR	100286 S.F. (274.71M ²)	100286 S.F. (274.71M ²)
THIRD FLOOR	100286 S.F. (274.71M ²)	100286 S.F. (274.71M ²)
TOTAL	100286 S.F. (274.71M ²)	100286 S.F. (274.71M ²)

MINIMUM LANDSCAPING = 50%	LOT AREA = 564194 S.F. (254296M ²)	MINIMUM LANDSCAPING PROVIDED IS
FRONT YARD	10746 S.F. (249.8M ²)	5373 S.F. (123.8M ²)
REAR YARD	29646 S.F. (678.8M ²)	14823 S.F. (339.4M ²)
LANDSCAPING PROVIDED IS		10746 S.F. (249.8M ²)
MINIMUM FRONT YARD SOFT = 50% <td></td> <td></td>		
FRONT YARD AREA = 11711 S.F. (21.22M ²)		
RIGHT OF WAY AREA = 11711 S.F. (21.22M ²)		
BALANCE = 6416 M ² (64.16M ²)		
BALANCE = 6416 M ² (64.16M ²)		
AGRIALTY AREA = 6416 M ² (64.16M ²)		
BALANCE = 6416 M ² (64.16M ²)		
MINIMUM FRONT YARD SOFT = 50%		
FRONT YARD SOFT = 50%		
FRONT YARD SOFT = 50%		
FRONT YARD SOFT = 50%		
BALANCE = 6416 M ² (64.16M ²)		
BALANCE = 6416 M ² (64.16M ²)		



RECEIVED
By Committee of Adjustment at 9:46 am, Mar 07, 2017

PROPOSED NEW GARAGE FOR OWNERS PERSONAL VEHICLES ONLY



SITE PLAN
SCALE 1" = 15'-0"
SKETCH OF SURVEY PARTS OF LOTS 216, 219 & 220 CITY OF TORONTO MUNICIPALITY OF METRO TORONTO H.I. GERRITS O.S. SEPTEMBER 14, 1980

LIST OF DRAWINGS

- A1 SITE PLAN
- A2 BASEMENT PLAN
- A3 GROUND FLOOR PLAN
- A4 SECOND FLOOR PLAN
- A5 THIRD FLOOR PLAN
- A6 NORTH ELEVATION
- A7 SOUTH ELEVATION
- A8 EAST ELEVATION
- A9 WEST ELEVATION
- A10 CROSS SECTION A-A'
- A11 GARAGE PLAN
- A12 GARAGE ELEVATIONS
- A13 GARAGE ELEVATIONS
- A14 GARAGE SECTION

SHEET 2116 SITE PLAN

CLIENT: Building For: 449 Davenport Road Toronto, Ontario

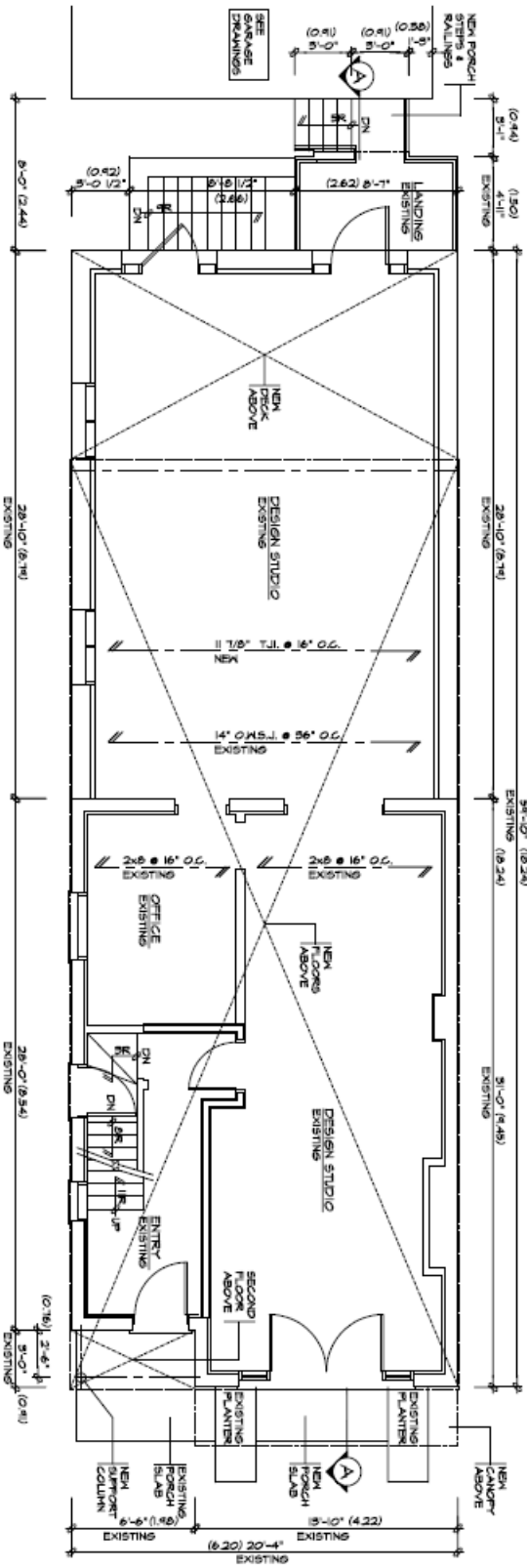
PROJECT: PROPOSED 2 STOREY ADDITION, GARAGE & INTERIOR ALTERATIONS

PHALMUR BUILDING PRODUCTIONS INC. 20 TERRA ROAD TORONTO, ONTARIO M4B 1A1 TEL: (416) 461-1213 FAX: (416) 461-1212

FOR THIS DESIGN I HAVE THE EXCLUSIVE RIGHTS OF PHALMUR BUILDING PRODUCTIONS INC. DRAWN BY: [Signature] DATE: [Date]

SCALE AS SHOWN PLOT DATE: MAR. 6, 2017

PROJ. NO. K16-10 DRG. NO. A1 OF 10



GROUND FLOOR PLAN
SCALE 5/8" = 1'-0"

SHEET TITLE
FLOOR PLANS

CLIENT
Building For:
449 Davenport Road
Toronto, Ontario

PROJECT
PROPOSED 2ND & 3RD FLR.
ADDITIONS, GARAGE &
INTERIOR ALTERATIONS

KHALIMIR BUILDING
PRODUCTIONS INC.
20 HURON ROAD
TORONTO, ONTARIO
M4B 1S1 TEL: (416) 497-1215

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY
FOR THIS DESIGN & HAS THE QUALIFICATIONS & MEETS THE
REQUIREMENTS SET OUT IN THE O.B.G. TO BE A DESIGNER.
FIRM: BCLN 28462
MURRAY FEARNEY BCLN 23889

SCALE: 5/8" = 1'-0"
REV. NO. 0
DATE: FEB. 28, 2011
DWG. NO. AS OF 10
K6-6

SHEET TITLE
FLOOR PLANS

CLIENT
 Building For:
 493 Davenport Road
 Toronto, Ontario

PROJECT
 PROPOSED 2ND & 3RD FLR.
 ADDITIONS, GARAGE &
 INTERIOR ALTERATIONS

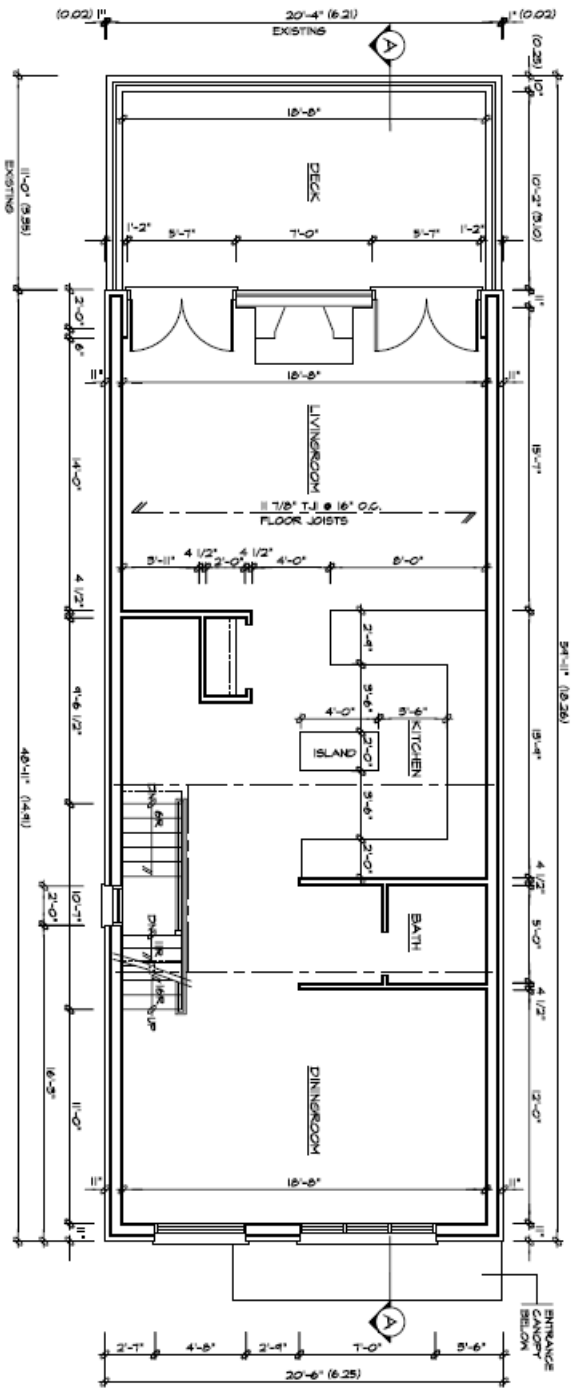
ARCHITECT
 KHALILUR BUILDING
 PRODUCTIONS INC.
 20 MISSISSAUGA ROAD
 TORONTO, ONTARIO
 M4B 1S1 TEL: (416) 497-1215

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN & HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE O.B.G. TO BE A DESIGNER

DATE: FEB 26 2011
 FIRM: BCN 28462
 MURRAY FEARNY BCN 28462

SCALE
 5/8" = 1'-0"
 PROJ. NO. K9-6
 DWG. NO. A4 OF 10
 PLOT DATE
 FEB. 26, 2011

SECOND FLOOR PLAN
 SCALE 5/8" = 1'-0"



SHEET TITLE
FLOOR PLANS

CLIENT
 Building For
 443 Davenport Road
 Toronto, Ontario

PROJECT
 PROPOSED 2ND & 3RD FLR
 ADDITIONS, GARAGE &
 INTERIOR ALTERATIONS

DESIGNER
**KHALILUR BUILDING
 PRODUCTIONS INC.**
 20 HURON ROAD
 TORONTO, ONTARIO
 M4B 1S1 TEL: (416) 497-2215

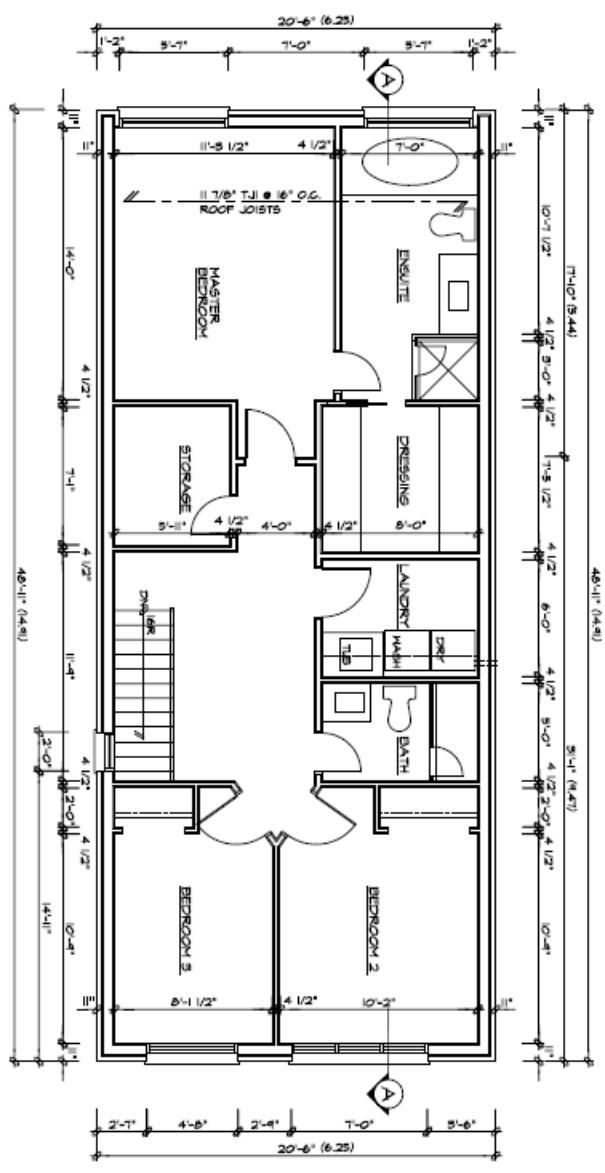
THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY
 FOR THIS DESIGN & HAS THE QUALIFICATIONS & MEETS THE
 REQUIREMENTS SET OUT IN THE O.B.G. TO BE A DESIGNER

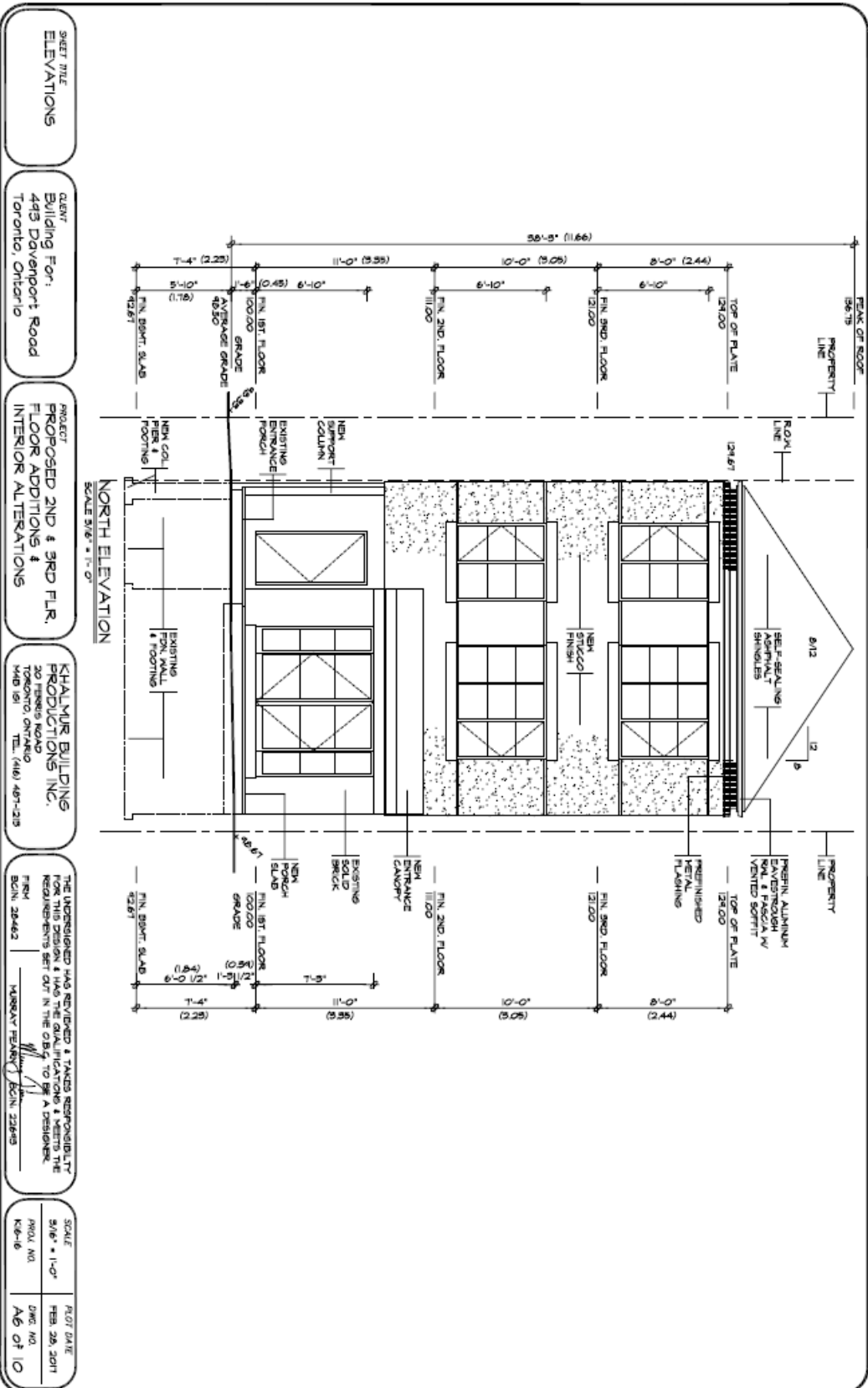
DATE: *1/11/11*
 FIRM: **BCIN 28462**
 MURRAY FEARNY BCIN 23889

SCALE
 5/8" = 1'-0"
 PROJ. NO. K6-6
 DWG. NO. A5 OF 10

PLOTT DATE
 FEB. 26, 2011

THIRD FLOOR PLAN
 SCALE 5/8" = 1'-0"





SHEET TITLE
ELEVATIONS

CLIENT
Building For:
443 Davenport Road
Toronto, Ontario

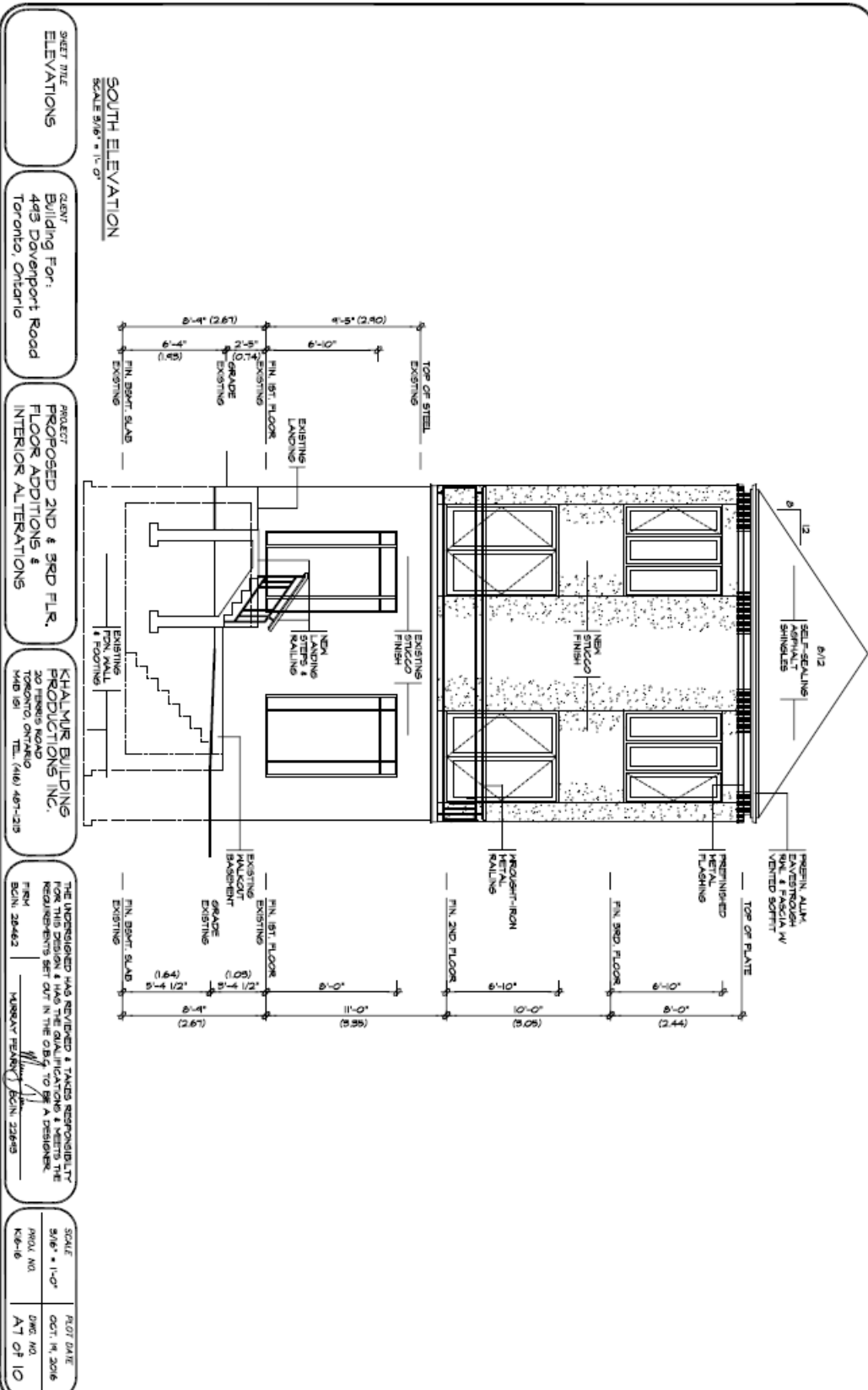
PROJECT
PROPOSED 2ND & 3RD FLR.
FLOOR ADDITIONS &
INTERIOR ALTERATIONS

ARCHITECT
KHALIMIR BUILDING
PRODUCTIONS INC.
30 HURON ROAD
TORONTO, ONTARIO
M4B 1S1 TEL: (416) 497-1215

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN & HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE O.B.G. TO BE A DESIGNER.
FIRM: BORN 28482
MURRAY FEARNY BORN 23849

SCALE
5/8" = 1'-0"
A904.MJ
K6-16

PLOT DATE
FEB. 28, 2011
DWG. NO.
A6 OF 10



SOUTH ELEVATION
SCALE 5/8" = 1'-0"

SHEET NO. 10
ELEVATIONS

CLIENT
Building For:
445 Davenport Road
Toronto, Ontario

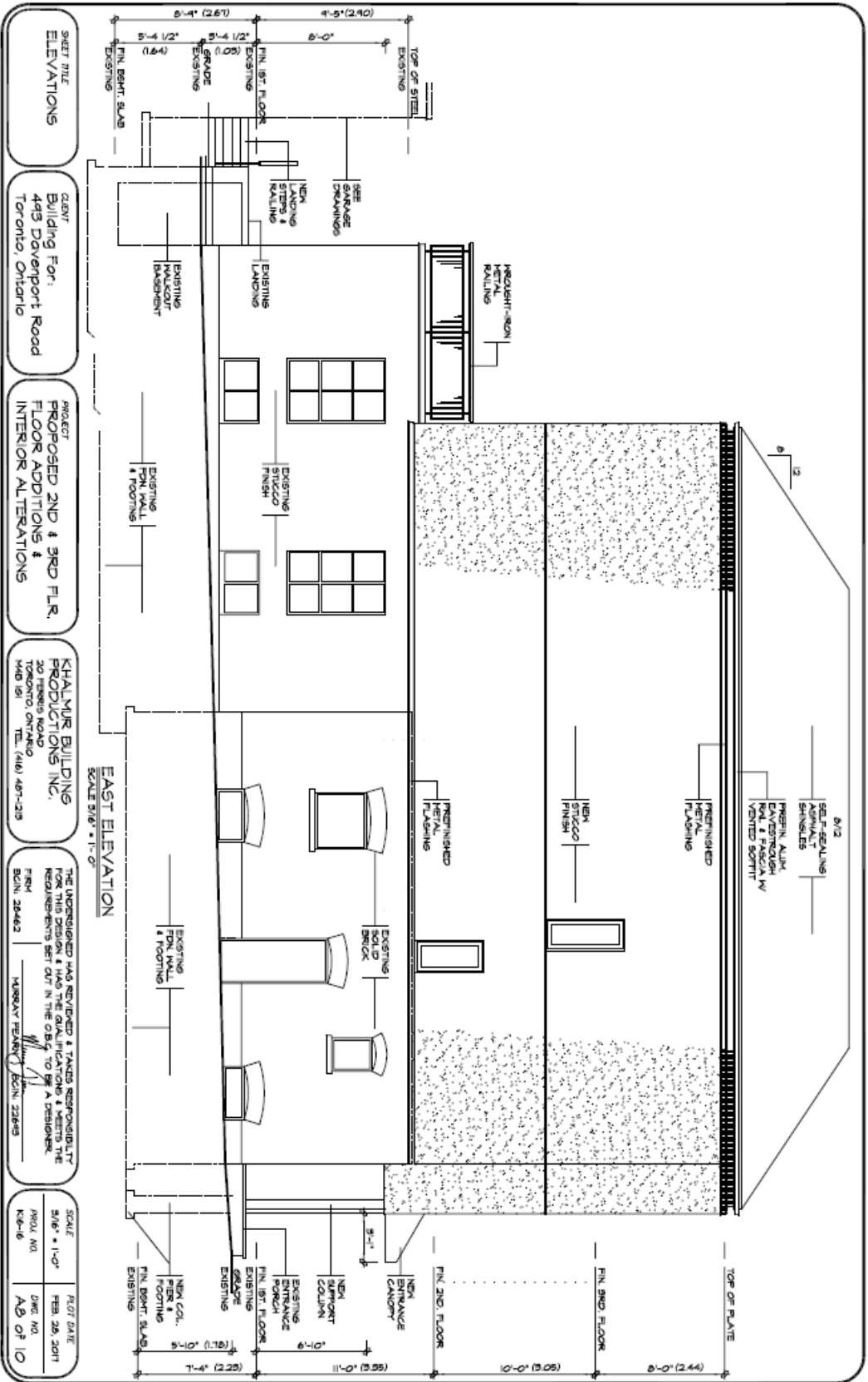
PROJECT
PROPOSED 2ND & 3RD FLR.
FLOOR ADDITIONS &
INTERIOR ALTERATIONS

KHALIMIR BUILDING
PRODUCTIONS INC.
30 HURON ROAD
TORONTO, ONTARIO
M5B 1S1 TEL: (416) 497-1215

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN & HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE O.B.G. TO BE A DESIGNER.
FIRM B.C.N. 28482
MURRAY FEARNEY B.C.N. 23889

SCALE
5/8" = 1'-0"
AYOU, M.D.
K6-6

PLOTT DATE
OCT. 14, 2016
DWG. NO.
A7 OF 10



SHEET TITLE
ELEVATIONS

CLIENT
Building For
443 Davenport Road
Toronto, Ontario

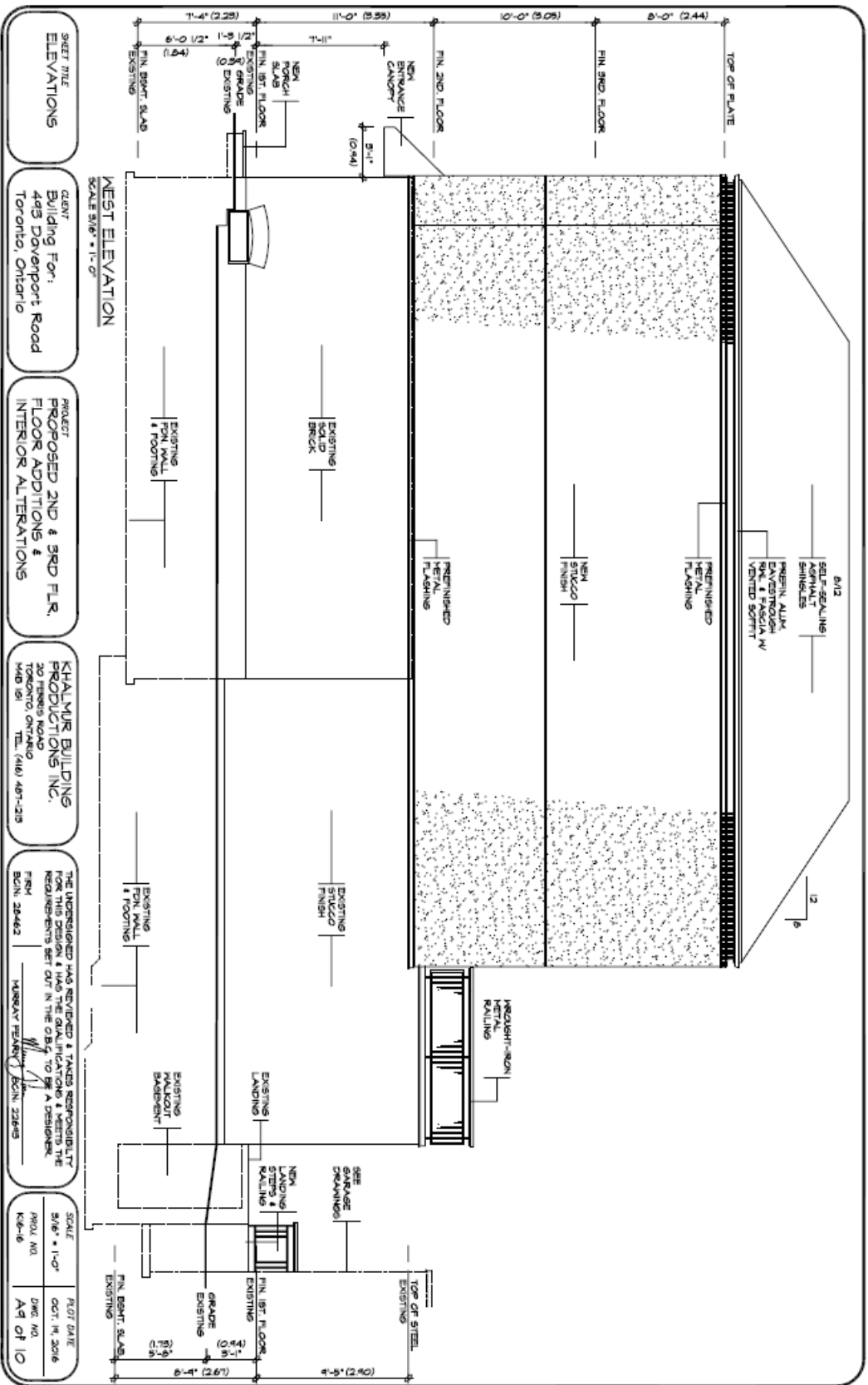
PROJECT
PROPOSED 2ND & 3RD FLR.
FLOOR ADDITIONS &
INTERIOR ALTERATIONS

ARCHITECT
KHALIMIR BUILDING
PRODUCTIONS INC.
30 HURON ROAD
TORONTO, ONTARIO
M4B 1S1 TEL: (416) 497-1215

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY
FOR THIS DESIGN & HAS THE QUALIFICATIONS & MEETS THE
REQUIREMENTS SET OUT IN THE O.B.C. TO BE A DESIGNER
FIRM NO. 28462 MURRAY FEARNEY ARCHT. 23689

SCALE
5/16" = 1'-0"
K6-6
REV. DATE
DWG. NO. FEB. 29, 2011
AS OF 10

EAST ELEVATION
SCALE 5/16" = 1'-0"



SHEET TITLE
ELEVATIONS

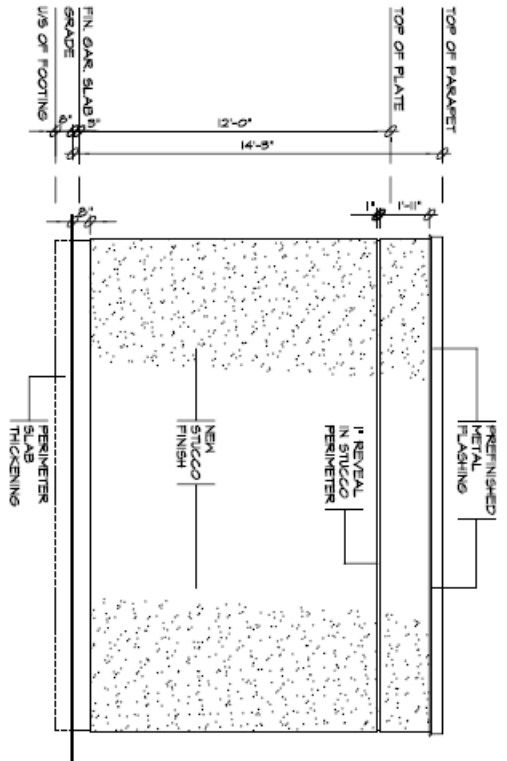
CLIENT
Building For:
493 Davenport Road
Toronto, Ontario

PROJECT
PROPOSED 2ND & 3RD FLR.
FLOOR ADDITIONS &
INTERIOR ALTERATIONS

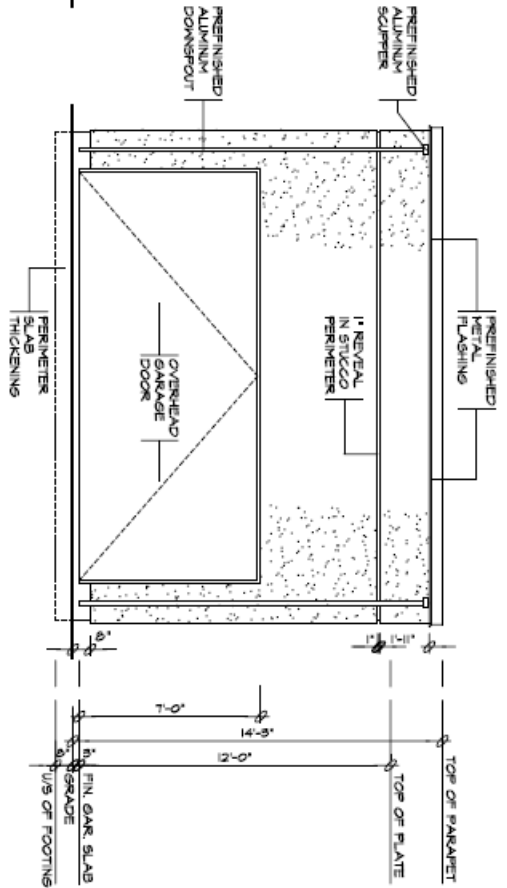
ARCHITECT
KHALIMUR BUILDING
PRODUCTIONS INC.
30 HURON ROAD
TORONTO, ONTARIO
M5B 1S1 TEL: (416) 497-1215

DESIGNER
THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY
FOR THIS DESIGN & HAS THE QUALIFICATIONS & MEETS THE
REQUIREMENTS SET OUT IN THE O.B.C. TO BE A DESIGNER
FIRM NO. 28462
MURRAY FEARNEY BCIN 28462

SCALE
3/8" = 1'-0"
PROJ. NO. K9-16
REV. DATE
OCT. 14, 2016
DWG. NO. AD OF 10



NORTH ELEVATION
SCALE 1/4" = 1'-0"



SOUTH ELEVATION
SCALE 1/4" = 1'-0"

SHEET TITLE
ELEVATIONS

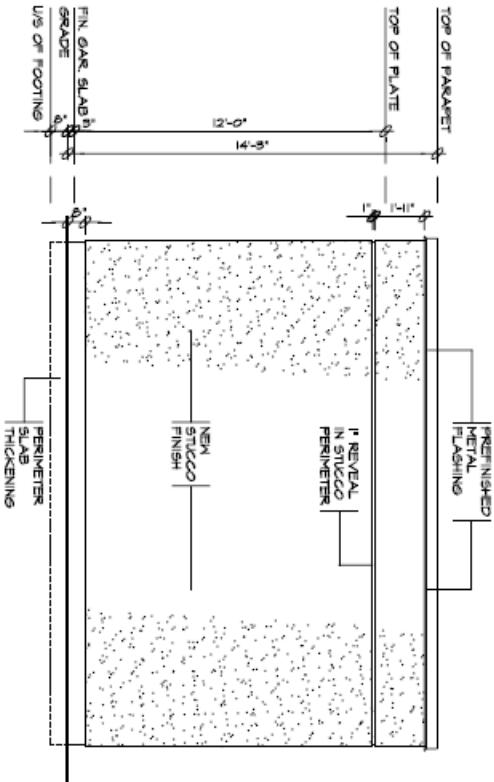
CLIENT
Building For:
445 Doverport Road
Toronto, Ontario

PROJECT
PROPOSED
NEW GARAGE

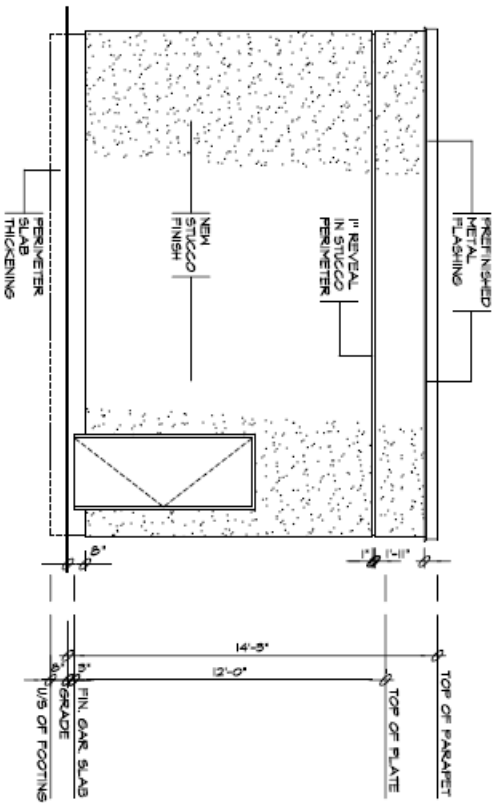
ARCHITECT
KHALIMIR BUILDING
PRODUCTIONS INC.
30 MERRIS ROAD
TORONTO, ONTARIO
M4B 1S1 TEL: (416) 497-2125

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN & HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE O.B.G. TO BE A DESIGNER.
FIRM BCIN 28482
MURRAY FEENEY BCIN 23889

SCALE 1/4" = 1'-0" K6-6	PLOT DATE OCT. 14, 2016 DWG. NO. 02 OF 4
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WEST ELEVATION
SCALE 1/4" = 1'-0"



EAST ELEVATION
SCALE 1/4" = 1'-0"

SHEET TITLE
ELEVATIONS

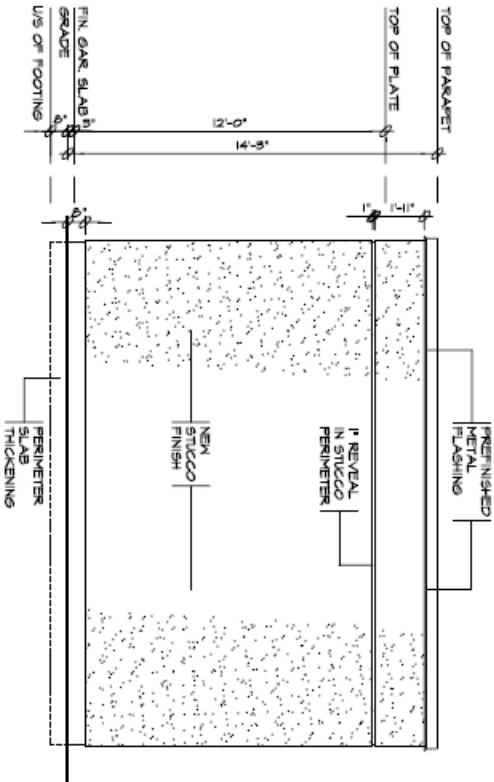
CLIENT
Building For:
445 Doverport Road
Toronto, Ontario

PROJECT
PROPOSED
NEW GARAGE

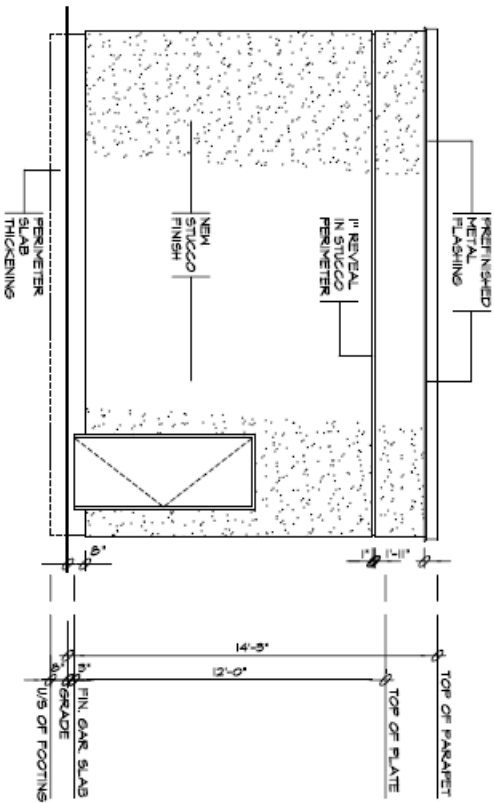
KHALMIR BUILDING
PRODUCTIONS INC.
20 MERRIS ROAD
TORONTO, ONTARIO
M4B 1S1 TEL: (416) 497-1215

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY
FOR THIS DESIGN & HAS THE QUALIFICATIONS & MEETS THE
REQUIREMENTS SET OUT IN THE O.B.G. TO BE A DESIGNER.
FIRM B.C.N. 28462
MURRAY FEARNY B.C.N. 23889

SCALE 1/4" = 1'-0" K4-6	PLOT DATE OCT. 14, 2016 DWG. NO. 03 OF 4
-------------------------------	---------------------------------------------------



WEST ELEVATION
SCALE 1/4" = 1'-0"



EAST ELEVATION
SCALE 1/4" = 1'-0"

SHEET TITLE
ELEVATIONS

CLIENT
Building For:
445 Doverport Road
Toronto, Ontario

PROJECT
PROPOSED
NEW GARAGE

KHALILUR BUILDING
PRODUCTIONS INC.
20 MERRIS ROAD
TORONTO, ONTARIO
M4B 1S1 TEL: (416) 497-1215

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY
FOR THIS DESIGN & HAS THE QUALIFICATIONS & MEETS THE
REQUIREMENTS SET OUT IN THE O.B.G. TO BE A DESIGNER.
FIRM B.C.N. 28462
MURRAY FEARNY B.C.N. 23849

SCALE	1/4" = 1'-0"	PL/OT DATE	OCT. 14, 2016
AYOL NO.	K4-16	DWG. NO.	03 OF 4

SIGNATURE PAGE

File Number:	A1201/16TEY	Zoning	R(d1.0)(x620) & R4A Z1.0 (ZZC)
Owner(s):	MARY ANNE FARNCOMB	Ward:	St. Paul's (22)
Agent:	MURRAY FEARN	Heritage:	Not Applicable
Property Address:	493 DAVENPORT RD	Community:	Toronto
Legal Description:	PLAN M2 PT LOTS 278 279 280		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: **Tuesday, April 18, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1202/16TEY	Zoning	R (d0.6) & R2 Z0.6 (BLD)
Owner(s):	DAVID HACHE	Ward:	Beaches-East York (32)
Agent:	DAVID HACHE	Heritage:	Not Applicable
Property Address:	17 HIAWATHA RD	Community:	Toronto
Legal Description:	PLAN 1332 PT LT 42		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by constructing a rear two-storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.60.20.(3)(C), By-law 569-2013**
The minimum required setback for an ancillary building is 0.3 m.
The ancillary building will be located 0.20 m to the north lot line.
- 2. Chapter 10.10.60.70.(1), By-law 569-2013**
The maximum permitted lot coverage by an ancillary building or structure is 5% of the lot area (13.82 m²).
The ancillary building will have a lot coverage equal to 7% of the lot area (19.73 m²).
- 3. Chapter 10.10.40.30.(1)(A), By-law 569-2013**
The maximum permitted building depth is 17.0 m.
The altered dwelling will have a building depth equal to 18.09 m.
- 4. Chapter 200.5.1.10.(2)(A), By-law 569-2013**
The minimum required dimensions of a parking space are 2.9 m in width, 5.6 m in length and 2.0 m in vertical clearance.
In this case, the parking space will have a width of 2.65 m.
- 1. Section 6(3) Part I 2, By-law 438-86**
The maximum permitted lot coverage for an accessory structure is 5% of the lot area (13.82 m²).
The accessory structure will have a lot coverage equal to 7% of the lot area (19.73 m²).

2. **Section 6(3) Part II 3.C(II), By-law 438-86**
The minimum required side lot line setback where the side wall contains openings is 0.9 m.
The altered dwelling will be located 0.50 m to the south side lot line.
3. **Section 6(3) Part II 3.B(II), By-law 438-86**
The minimum required side lot line setback for the portion of the building exceeding 17.0 m in depth is 7.5 m.
The altered dwelling will be located 0.50 m to the south side lot line and 0.45 m to the north side lot line.
4. **Section 6(3) Part III 3(d)(i)(D), By-law 438-86**
A minimum of 75% of the front yard not covered by a permitted driveway must be soft landscaping (28.89 m²).
In this case, the front yard soft landscaping area will be equal to 69% (26.66 m²).
5. **Section 4(17)(a), By-law 438-86**
The minimum required width of a parking space is 2.9 m.
In this case, the parking space will have a width of 2.63 m.
6. **Section 6(3) Part II(7)(i), By-law 438-86**
Any accessory building or structure erected on the lot, excluding a garden or storage shed having a floor area not more than 9 m² and any private, garage shall be located a minimum of 3.0 m from all lot lines.
In this case, the addition impedes access to the existing garage, making it an accessory structure, which will therefore be located 0.59 m from the west lot line and 0.26 m from the north lot line.
7. **Section 6(3) Part II 8 F(III), By-law 438-86**
The by-law allows a roof over a platform or terrace to project into the required setbacks provided it does not project beyond the front wall more than 2.5 m or extend beyond the side walls of the building as projected.
In this case, the roof will project 3.08 m beyond the front wall.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1202/16TEY	Zoning	R (d0.6) & R2 Z0.6 (BLD)
Owner(s):	DAVID HACHE	Ward:	Beaches-East York (32)
Agent:	DAVID HACHE	Heritage:	Not Applicable
Property Address:	17 HIAWATHA RD	Community:	Toronto
Legal Description:	PLAN 1332 PT LT 42		

DISSENTED

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: **Tuesday, April 18, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1203/16TEY	Zoning	R (ZZC)
Owner(s):	ROBERT GOODALL	Ward:	Beaches-East York (32)
Agent:	TREVOR GAIN	Heritage:	Not Applicable
Property Address:	92 PINE CRES	Community:	Toronto
Legal Description:	PLAN 406 PT LOT 137 PLAN 451 PT LOT 32 RP 66R27616 PARTS 1 2 AND 3		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter a 2½-storey detached dwelling by constructing a one-storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Chapter 10.10.40.30.(1) (A), By-law 569-2013

The maximum permitted building depth for a detached house is 17.0 m.
In this case, the altered building depth will be 20.98 m.

Section 6(3) Part II 3.B(1), By-law 438-86

The minimum required side lot line setback is 7.5 m for that portion of the building exceeding 17.0 m in depth.

For the 3.98 m portion of the building exceeding the 17.0 m permitted depth the side lot side backs will be 3.72 m on the east side and 3.81 m on the west side.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of a demolition and/or building permit, the applicant shall satisfy all matters relating to Ravine and Natural Feature Protection By-law, to the satisfaction of the Supervisor, Ravine and Natural Feature Protection.

SIGNATURE PAGE

File Number:	A1203/16TEY	Zoning	R (ZZC)
Owner(s):	ROBERT GOODALL	Ward:	Beaches-East York (32)
Agent:	TREVOR GAIN	Heritage:	Not Applicable
Property Address:	92 PINE CRES	Community:	Toronto
Legal Description:	PLAN 406 PT LOT 137 PLAN 451 PT LOT 32 RP 66R27616 PARTS 1 2 AND 3		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: **Tuesday, April 18, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1204/16TEY	Zoning	I3 D3 & Site Specific Zoning By-law 818-2015 (WAIVER)
Owner(s):	BK PRIME ONTARIO I LP	Ward:	Trinity-Spadina (19)
Agent:	LINDSAY DALE-HARRIS	Heritage:	Not Applicable
Property Address:	11 ORDANCE ST	Community:	Toronto
Legal Description:	PLAN D1453 LOT 5		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the redevelopment plan approved under site-specific zoning by-law 818-2015 for two residential towers by reducing the number and dimensions of certain parking spaces and increasing the number of storeys of one of the towers.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 1(p)(i – iv), By-law 818-2015

A minimum of 381 parking spaces are required for the exclusive use of residents.

In this case, a minimum of 277 parking spaces will be provided for the exclusive use of residents.

2. Section 1(e)(iii), By-law 818-2015

The maximum permitted number of storeys for Tower B2, excluding the mechanical penthouse is 24.

In this case, the maximum number of storeys will be 25, excluding the mechanical penthouse.

1. Section 4(17), By-law 438-86

All parking spaces accessed by a drive aisle having a width of 6.00 m or more are required to have a minimum width of 2.60 m, a minimum length of 5.60 m and a minimum height of 2.00 m, where such parking spaces are obstructed on one side, the minimum width of the parking space shall be 2.90 m.

In this case, 34 parking spaces will be obstructed on one side having a width of 2.60 m, a length of 5.60 m and a height of 2.00 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of the first above grade permit, the Applicant will pay to the City a financial contribution of \$150,000.00 to be used for pedestrian and cycling improvements, connecting to and within, Ordnance Park. The contribution will be indexed upwardly from the date of the Committee of Adjustment decision.

SIGNATURE PAGE

File Number:	A1204/16TEY	Zoning	I3 D3 & Site Specific Zoning By-law 818-2015 (WAIVER)
Owner(s):	BK PRIME ONTARIO I LP	Ward:	Trinity-Spadina (19)
Agent:	LINDSAY DALE-HARRIS	Heritage:	Not Applicable
Property Address:	11 ORDNANCE ST	Community:	Toronto
Legal Description:	PLAN D1453 LOT 5		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: **Tuesday, April 18, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

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11. 106 ST HUBERT AVENUE

File Number:	A1205/16TEY	Zoning	RD (f9.0; a280; d0.45) & R1A (BLD)
Owner(s):	FRIENDS OF SAINT FRANCIS INC	Ward:	Toronto-Danforth (29)
Agent:	FRIAR THOMAS PURCELL	Heritage:	Not Applicable
Property Address:	106 ST HUBERT AVE	Community:	East York
Legal Description:	PLAN 2979 PT LOT 3		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To reconstruct the existing rear detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Chapter 200.5.1.10.(2), By-law 569-2013

The required parking space must have a minimum width of 3.2 m.

The parking space will measure 2.97 m in width.

Section 4.23, By-law 6752

The minimum required parking space size is 3.2 m in width.

The parking space will measure 2.97 m in width.

MOTION

It was moved by Worrick Russell, seconded by Edmund Carlson and carried unanimously that the application be **deferred to the public hearing on June 7, 2017** with Committee of Adjustment Toronto & East York, **Panel A**. The deferral would provide the applicant with an opportunity to amend the variance requests to reflect the correct Zoning Review prepared by the Zoning Examiner.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1206/16TEY	Zoning	R (d0.6)(x290) & R2 Z0.6 (ZZC)
Owner(s):	BRIAN WUEBBOLT	Ward:	Parkdale-High Park (14)
Agent:	VICTOR HIPOLITO	Heritage:	Not Applicable
Property Address:	10 HEWITT AVE	Community:	Toronto
Legal Description:	PLAN 1283 LOT 6		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing 2½-storey detached dwelling containing four dwelling units by constructing a rear third storey addition, a rear third storey deck, four third storey side dormers, and by reconstructing the existing rear second storey deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.40.70.(3)(A)(i), By-law 569-2013

The minimum required side yard setback for a detached house is 0.9 m.
The altered detached dwelling will be located 0.41 m from the east side lot line.

2. Chapter 10.10.40.70.(4)(A), By-law 569-2013

The minimum required side yard setback for a detached dwelling is 0.45 m, where the side wall contains no openings
The altered detached dwelling will be located 0.41 m from the east side lot line.

3. Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The height of the side exterior main walls facing a side lot line will be 9.33 m.

4. Chapter 10.10.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (233.02 m²).
The altered detached dwelling will have a floor space index equal to 0.9 times the area of the lot (347.63 m²).

1. Section 6(3) Part II 3.F(I)(2), By-law 438-86

A converted house is required to have a minimum side yard setback of 1.2 m where the side wall contains openings.

The altered detached dwelling will be located 0.41 m from the east side lot line and 1.04 m from the west side lot line.

2. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (233.02 m²).

The altered detached dwelling will have a gross floor area equal to 0.9 times the area of the lot (347.63 m²).

3. Section 6(3) Part II 5(I), By-law 438-86

The maximum permitted depth of a converted dwelling with four units is 14 m.

The altered detached dwelling will have a depth of 14.7 m.

4. Section 6(3) Part II 3.F(I)(1)(A), By-law 438-86

The minimum required side yard setback is 0.45 m, where the side wall contains no openings.

The altered detached dwelling will be located 0.41 m from the east side lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1206/16TEY	Zoning	R (d0.6)(x290) & R2 Z0.6 (ZZC)
Owner(s):	BRIAN WUEBBOLT	Ward:	Parkdale-High Park (14)
Agent:	VICTOR HIPOLITO	Heritage:	Not Applicable
Property Address:	10 HEWITT AVE	Community:	Toronto
Legal Description:	PLAN 1283 LOT 6		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: **Tuesday, April 18, 2017**

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Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

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NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A1207/16TEY	Zoning	CR2.5 (c1.0; r2.0)SS2(x2264)PA4 & MCR T2.5 C1.0 R2.0 (ZZC)
Owner(s):	IMA PROPERTIES LTD	Ward:	Trinity-Spadina (19)
Agent:	ROBERT GREEN	Heritage:	Not Applicable
Property Address:	1221 DUNDAS ST W	Community:	Toronto
Legal Description:	PLAN 330 PT LOT 19		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey commercial building, containing five restaurants.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 40.10.40.40.(1)(A), By-law 569-2013

The maximum permitted non-residential floor space index of a commercial building is 1.0 times the area of the lot (300.23 m²).

The new commercial building will have a non-residential floor space index equal to 1.64 times the area of the lot (491.0 m²).

2. Chapter 40.10.40.70.(2)(B)(ii), By-law 569-2013

Where the rear lot line abuts a lane, the minimum required setback from the lot line of the lot abutting the lane on the opposite side of the lane is 7.5 m.

The new commercial building will be located 3.0m from the lot line of the lot abutting the lane on the opposite side of the lane.

1. Section 8(3) Part I 2, By-law 438-86

The maximum permitted non-residential gross floor area is 1.0 times the area of the lot (300.23 m²).

The new commercial building will have a non-residential gross floor area equal to 1.64 times the area of the lot (491.0 m²).

2. Section 8(3) Part XI 1, By-law 438-86

Where a lot in an MCR district fronts on one street and has a flankage on another street, and the flankage either adjoins an R district or is separated there from by a street less than 12.0 m in width, no building shall front or gain entrance from the flanking street.

In this case, the principal entrance of Unit 4 will be from the flanking street, Grove Avenue.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1207/16TEY	Zoning	CR2.5 (c1.0; r2.0)SS2(x2264)PA4 & MCR T2.5 C1.0 R2.0 (ZZC)
Owner(s):	IMA PROPERTIES LTD	Ward:	Trinity-Spadina (19)
Agent:	ROBERT GREEN	Heritage:	Not Applicable
Property Address:	1221 DUNDAS ST W	Community:	Toronto
Legal Description:	PLAN 330 PT LOT 19		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

DISSENTED

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: **Tuesday, April 18, 2017**

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0973/16TEY	Zoning	CR 3.0 (c2.5, r3.0) SSI (x2271) & CR T3.0 C2.5 R3.0 (Waiver)
Owner(s):	FCHT HOLDING (ONTARIO) CORPORATION	Ward:	Toronto Centre-Rosedale (27)
Agent:	EMMA WEST	Heritage:	Not Applicable
Property Address:	102 - 108 YORKVILLE AVE	Community:	Toronto
Legal Description:	PLAN E194 LOT 11		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To demolish the existing three 2½ story non-residential buildings. To construct three buildings each of which will be three stories. The three buildings will contain, cumulatively, a total of six commercial units.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 40.10.40.40.(1), By-law 569-2013**
The maximum permitted non-residential floor space index is 2.5 times the lot area (1,870.05 m²). In this case, the proposed building will have a non-residential floor space index equal to 2.66 times the lot area (1,987.45 m²).
- Chapter 200.5.10.1.(1), By-law 569-2013**
A minimum of 18 parking spaces are required to be provided on the lot. In this case, no parking spaces will be provided on the lot.
- Chapter 220.5.10.1.(3), By-law 569-2013**
A minimum of one Type-B loading space is required to be provided on the lot. In this case, no loading spaces will be provided on the lot.
- Chapter 40.10.40.70.(1), By-law 569-2013**
The minimum required distance between a main wall and a lot line that is not adjacent to a street or lane, where the wall has windows or openings, is 5.5 m. In this case, the main wall of the proposed building will be setback 0.10 m from the east lot line and 0.0 from the north line.

5. Chapter 40.5.40.70.(1), By-law 569-2013

A building or structure must be no closer than 3.0 m from the original centerline of a lane if the lot abutting the other side of the lane is not in the Residential Zone category or Open Space Zone category.

In this case, the proposed building will be located 2.47 m from the original centerline of the lane located to the north.

1. Section 4(5)(B), By-law 438-86

A minimum of 18 parking spaces are required to be provided on the lot.

In this case, no parking spaces will be provided on the lot.

2. Section 4(6)(B), By-law 438-86

A minimum of one Type-B loading space is required to be provided on the lot.

In this case, no loading spaces will be provided on the lot.

3. Section 8(3) Part I 2, By-law 438-86

The maximum permitted non-residential gross floor area is 2.5 times the lot area (1,870.05 m²).

In this case, the proposed building will have a non-residential gross floor area equal to 3.01 times the lot area (2,250.16 m²).

4. Section 8(3) Part I 1, By-law 438-86

The maximum permitted combined non-residential and residential gross floor area is equal to 3.0 times the lot area (2,244.06 m²).

In this case, the proposed building will have a combined non-residential and residential gross floor area equal to 3.01 times the lot area (2,250.16m²).

5. Section 4(14)(A), By-law 438-86

The minimum required setback of a building or structure from the centre line of a public lane is 3.5 m.

In this case, the proposed building will be setback 2.47 m from the centre line of the public lane to the north.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0973/16TEY	Zoning	CR 3.0 (c2.5, r3.0) SSI (x2271) & CR T3.0 C2.5 R3.0 (Waiver)
Owner(s):	FCHT HOLDING (ONTARIO) CORPORATION	Ward:	Toronto Centre-Rosedale (27)
Agent:	EMMA WEST	Heritage:	Not Applicable
Property Address:	102 - 108 YORKVILLE AVE	Community:	Toronto
Legal Description:	PLAN E194 LOT 11		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: **Tuesday, April 18, 2017**

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Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1212/16TEY	Zoning:	RS & R2A (PPR)
Owner(s):	DIANE HAE-YUN KIM PAUL CHONG-HYUN KIM	Ward:	Toronto-Danforth (29)
Agent:	STEPHEN CANJAR	Heritage:	Not Applicable
Property Address:	104 WOODYCREST AVE	Community:	Toronto
Legal Description:	PLAN M342 PT LOT 44 PT LOT 45		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a rear two-storey addition with a basement walkout . Interior alterations will also be completed.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.40.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17.0 m.
The altered building length will be 18.78 m.
- 1. Section 7.5.3, By-law 6752**
The maximum permitted building length is 16.75m.
The altered building length will be 18.78m.
- 2. Section 7.5.3, By-law 6752**
The minimum required south side yard setback is 0.45m.
The proposed south side yard setback is 0.12 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1212/16TEY	Zoning	RS & R2A (PPR)
Owner(s):	DIANE HAE-YUN KIM PAUL CHONG-HYUN KIM	Ward:	Toronto-Danforth (29)
Agent:	STEPHEN CANJAR	Heritage:	Not Applicable
Property Address:	104 WOODYCREST AVE	Community:	Toronto
Legal Description:	PLAN M342 PT LOT 44 PT LOT 45		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1174/16TEY	Zoning:	R (d0.6) (x910) & R2 Z0.6 (ZZC)
Owner(s):	VINCE POLERA DARLENE POLERA	Ward:	Toronto Centre-Rosedale (27)
Agent:	MAHIR MANIOS	Heritage:	Not Applicable
Property Address:	31 SUMMERHILL AVE	Community:	Toronto
Legal Description:	PLAN 662 PT LOTS 8 AND 9		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing three-storey detached dwelling by constructing a three-storey east side addition and rear ground floor terrace.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Chapter 10.10.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index is 0.6 times the area of the lot (267.64 m²).

The altered dwelling will have a floor space index equal to 0.73 times the area of the lot (325.44 m²).

Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area is 0.6 times the area of the lot (267.64 m²).

The altered dwelling will have a gross floor area equal to 0.73 times the area of the lot (325.44 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1174/16TEY	Zoning	R (d0.6) (x910) & R2 Z0.6 (ZZC)
Owner(s):	VINCE POLERA DARLENE POLERA	Ward:	Toronto Centre-Rosedale (27)
Agent:	MAHIR MANIOS	Heritage:	Not Applicable
Property Address:	31 SUMMERHILL AVE	Community:	Toronto
Legal Description:	PLAN 662 PT LOTS 8 AND 9		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: **Tuesday, April 18, 2017**

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1213/16TEY	Zoning	R(d0.6)(x736) & R2 Z0.6 (ZZC)
Owner(s):	CLAIRE LEITH HIGDON PATRICK GILL	Ward:	Beaches-East York (32)
Agent:	TONY VALENTIN	Heritage:	Not Applicable
Property Address:	46 WESTLAKE AVE	Community:	Toronto
Legal Description:	PLAN 90 PT LOT 10		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a rear carport with a second storey deck above.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.70.(2), By-law 569-2013**
The minimum required rear yard setback is 7.5 m.
The rear carport and deck will be located 0.76 m from the rear lot line.
- 2. Chapter 200.5.1.10.(2), By-law 569-2013**
The required parking space must have a minimum width of 3.2 m and a minimum length of 5.6 m.
The parking space will measure 2.89 m in width and 4.97 m in length.
- 1. Section 6(3) Part II 3.C(I), By-law 438-86**
The minimum required side lot line setback is 0.45 m where the side wall contains no openings.
The rear carport and deck will be located 0.0 m from the north side lot line.
- 2. Section 6(3) Part II 4, By-law 438-86**
The minimum required rear yard setback is 7.5 m.
The rear carport will be located 0.76 m from the rear lot line.
- 3. Section 6(3) Part III 1(A), By-law 438-86**
A minimum of 30% of the lot area (39.02 m²) shall be landscaped open space.
In this case, 17.22 % of the lot area (22.4 m²) will be landscaped open space.

4. Section 4(17), By-law 438-86

The required parking space must have a minimum width of 3.2 m and a minimum length of 5.6 m.
The parking space will measure 2.89 m in width and 4.97 m in length.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1213/16TEY	Zoning	R(d0.6)(x736) & R2 Z0.6 (ZZC)
Owner(s):	CLAIRE LEITH HIGDON PATRICK GILL	Ward:	Beaches-East York (32)
Agent:	TONY VALENTIN	Heritage:	Not Applicable
Property Address:	46 WESTLAKE AVE	Community:	Toronto
Legal Description:	PLAN 90 PT LOT 10		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

DISSENTED

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: **Tuesday, April 18, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1214/16TEY	Zoning	R (d0.6 H10.0)(x296) & R2 Z0.6 H10 (ZZC)
Owner(s):	EUSEBIO MORAIS JENNIFER EDITH MORAIS	Ward:	Parkdale-High Park (14)
Agent:	ELYSE SNYDER	Heritage:	Not Applicable
Property Address:	64 LYND AVE	Community:	Toronto
Legal Description:	PLAN 981 PT LOT 24		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing 2½-storey detached dwelling by constructing a third floor rear addition with a roof deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.40.10.(2)(A)(i), By-law 569-2013

The maximum permitted height of all front exterior main walls is 7.5 m.
The height of the front exterior main walls will be 9.44 m.

2. Chapter 10.10.40.10.(2)(A)(ii), By-law 569-2013

The maximum permitted height of all rear exterior main walls is 7.5 m.
The height of the rear exterior main walls will be 9.44 m.

3. Chapter 10.10.40.40.(2)(A), By-law 569-2013

The maximum permitted floor space index for additions to the rear of a dwelling erected before October 15, 1953 is 0.69 times the area of the lot (226.92 m²).
The altered detached dwelling will have a floor space index equal to 0.91 times the area of the lot (300 m²).

1. Section 6(3) Part VI 1(I), By-law 438-86

Additions to the rear of a detached house erected before October 15, 1953, or to a converted house, are permitted provided the residential gross floor area of the building, as enlarged, does not exceed 0.69 times the area of the lot (226.92 m²).
The altered detached dwelling will have a gross floor area equal to 0.91 times the area of the lot (300 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

SIGNATURE PAGE

File Number:	A1214/16TEY	Zoning	R (d0.6 H10.0)(x296) & R2 Z0.6 H10 (ZZC)
Owner(s):	EUSEBIO MORAIS JENNIFER EDITH MORAIS	Ward:	Parkdale-High Park (14)
Agent:	ELYSE SNYDER	Heritage:	Not Applicable
Property Address:	64 LYND AVE	Community:	Toronto
Legal Description:	PLAN 981 PT LOT 24		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: **Tuesday, April 18, 2017**

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1216/16TEY	Zoning:	R (0.6) & R2 Z0.6 (ZZC)
Owner(s):	MICHAEL JAMES PAGE MEGAN PAGE	Ward:	St. Paul's (22)
Agent:	TOM SPRAGGE	Heritage:	Not Applicable
Property Address:	728 BALLIOL ST	Community:	Toronto
Legal Description:	PLAN M116 PT LOT 21		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by constructing a front second-storey addition, a front two-storey cantilevered bay window addition, and a front covered porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (163.92 m²).

The altered dwelling will have a floor space index equal to 0.66 times the area of the lot (181.64 m²).

2. Chapter 10.10.40.70.(1), By-law 569-2013

The minimum required front yard setback is 1.64 m.

The altered dwelling will be located 1.27 m from the south front lot line.

3. Chapter 10.10.40.70.(4), By-law 569-2013

The minimum required side yard setback is 0.45 m.

The altered dwelling will be located 0.38 m from the west side lot line, and 0.14 m from the east side lot line.

1. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (163.92 m²).

The altered dwelling will have a gross floor area equal to 0.66 times the area of the lot (181.64 m²).

2. Section 6(3) Part II 2(II), By-law 438-86

The minimum required front yard setback of a building on an inside lot is 1.64 m.

The altered dwelling will be located 1.27 m from the south front lot line.

3. Section 6(3) Part II 3.B(I), By-law 438-86

The minimum required side lot line setback for a detached dwelling is 0.45 m for a depth not exceeding 17.0 m and where the side walls contain no openings.

The altered dwelling will be located 0.38 m from the west side lot line, and 0.14 m from the east side lot line.

4. Section 6(3) Part II 3(I), By-law 438-86

The minimum required setback from the side wall of an adjacent building that does not contain any openings is 0.9 m.

The altered dwelling will be located 0.87 m from the side wall of the west adjacent building at 726 Balliol Street, and 0.85 m from the side wall of the east adjacent building at 730 Balliol Street.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1216/16TEY	Zoning	R (0.6) & R2 Z0.6 (ZZC)
Owner(s):	MICHAEL JAMES PAGE MEGAN PAGE	Ward:	St. Paul's (22)
Agent:	TOM SPRAGGE	Heritage:	Not Applicable
Property Address:	728 BALLIOL ST	Community:	Toronto
Legal Description:	PLAN M116 PT LOT 21		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: **Tuesday, April 18, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1217/16TEY	Zoning:	R(d0.6) & R2 Z0.6(ZZC)
Owner(s):	JAMES ANDREW SMITH MICHELLE JEAN HUTH	Ward:	Beaches-East York (32)
Agent:	ROBYN HUETHER	Heritage:	Not Applicable
Property Address:	181 SWANWICK AVE	Community:	Toronto
Legal Description:	PLAN 667 PT LOT 72 & 73		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey semi-detached dwelling by constructing a rear two-storey addition with a rear ground floor deck and maintaining the front porch enclosure.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index of a semi-detached dwelling is 0.60 times the area of the lot (75.96 m²).

The altered semi-detached dwelling will have a floor space index equal to 0.91 times the area of the lot (115.43 m²).

2. Chapter 10.10.40.70.(1), By-law 569-2013

The minimum required front yard setback is 2.61 m.

The altered semi-detached dwelling will be located 0.40 m from the front lot line.

1. Section 6(3) Part VI 1(I), By-law 438-86

Additions to the rear of a semi-detached dwelling erected before October 15, 1953, or to a converted house, are permitted provided the residential gross floor area of the building, as enlarged, does not exceed 0.69 times the area of the lot (87.35 m²).

The altered semi-detached dwelling will have a gross floor area equal to 0.86 times the area of the lot (108.94 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1217/16TEY	Zoning	R(d0.6) & R2 Z0.6(ZZC)
Owner(s):	JAMES ANDREW SMITH MICHELLE JEAN HUTH	Ward:	Beaches-East York (32)
Agent:	ROBYN HUETHER	Heritage:	Not Applicable
Property Address:	181 SWANWICK AVE	Community:	Toronto
Legal Description:	PLAN 667 PT LOT 72 & 73		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

DISSENTED

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: **Tuesday, April 18, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1218/16TEY	Zoning	Site Specific By-law 147-2012
Owner(s):	SUMMERCOVE ESTATES INC.	Ward:	Trinity-Spadina (20)
Agent:	MATT REID	Heritage:	Not Applicable
Property Address:	124 - 128 PEARS AVE	Community:	Toronto
Legal Description:	PLAN E120 LOT 31		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the redevelopment plans for an eleven storey residential tower and three levels of underground parking by increasing the allowable residential building height.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Map 2, Site Specific By-law 147-2012

The maximum permitted residential building height is 36.4 m.

The residential building height will be 39.65 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A1218/16TEY	Zoning	Site Specific By-law 147-2012
Owner(s):	SUMMERCOVE ESTATES INC.	Ward:	Trinity-Spadina (20)
Agent:	MATT REID	Heritage:	Not Applicable
Property Address:	124 - 128 PEARS AVE	Community:	Toronto
Legal Description:	PLAN E120 LOT 31		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: **Tuesday, April 18, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

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22. 230 CHRISTIE STREET

File Number:	A1219/16TEY	Zoning	R (d1.0)(x7) & R4 Z1.0 (ZZC)
Owner(s):	1957358 ONTARIO INC	Ward:	Trinity-Spadina (19)
Agent:	KELLY SMITH	Heritage:	Not Applicable
Property Address:	230 CHRISTIE ST	Community:	Toronto
Legal Description:	PLAN 778 BLK B N PT LOT 11		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey mixed-use building by constructing a rear three-storey addition containing four dwelling units, and to allow the existing non-residential ground floor area to be used as office space.

REQUESTED PERMISSION:

The property has lawful non-conforming status under the Planning Act, as the retail store occupying the ground floor level of the building existed prior to the passing of the Zoning By-law, which does not permit the said use in a R(d1.0)(x7) & R4 Z1.0 zones. Any change of use, alterations, or additions to the building requires the permission of the Committee of Adjustment.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 200.15.10(1)(A), By-law 569-2013**
A minimum of one parking space must comply with the minimum dimensions for an accessible parking space which is 5.6 m in length, 3.9 m in width and a vertical clearance of 2.1 m.
In this case, zero accessible parking spaces will be provided.
- 2. Chapter 10.10.20.10.(1), By-law 569-2013**
A mixed-use building containing dwelling units is not permitted in the Residential Zone.
In this case, the altered mixed-use building will contain dwelling units.
- 3. Chapter 10.10.40.10.(1)(A), By-law 569-2013**
The maximum permitted building height is 10 m.
The altered mixed-use building will have a height of 12.37 m, measured to the top of the roof top stair enclosure.
- 4. Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index of a mixed-use building is 1.0 times the area of the lot (233.0 m²).
The altered mixed-use building will have a floor space index equal to 2.93 times the area of the lot (683.06 m²).
- 5. Chapter 10.10.40.70.(2), By-law 569-2013**
The minimum required rear yard setback is 7.5 m.
The altered mixed-use building will be located 3.5 m from the west rear lot line.

6. **Chapter 10.10.20.10.(1), By-law 569-2013**
The existing ground floor retail constitutes a non-conforming use. Any change of use, extension, or enlargement is not permitted.
In this case, the ground floor retail will be converted into office space, which is not permitted in the R Zone.
7. **Chapter 200.5.10.1.(1), By-law 569-2013**
A minimum of 4 resident parking spaces are required to be provided.
In this case, 2 resident parking spaces will be provided.
8. **Chapter 200.5.10.1.(1), By-law 569-2013**
A minimum of 1 visitor parking space is required to be provided.
In this case, 0 visitor parking spaces will be provided.
9. **Chapter 230.5.10.1.(5)(A), By-law 569-2013**
A minimum of 5 bicycle parking spaces are required to be provided on site.
In this case, 0 bicycle parking spaces will be provided on site.
1. **Section 6(3) Part I 1, By-law 438-86**
The maximum permitted combined gross floor area of a mixed-use building is 1.0 times the area of the lot (233.0 m²).
The altered mixed-use building will have a combined gross floor area equal to 2.6 times the area of the lot (606.63 m²).
2. **Section 6(3) Part II 3.A(I), By-law 438-86**
The minimum required setback from a flanking street is 4.28 m.
The altered mixed-use building will be located 0 m from the north flanking street, Yarmouth Road.
3. **Section 6(3) Part II 3(ii).(G), By-law 438-86**
The minimum required south side yard setback is 7.5 m.
The altered mixed-use building will be located 0 m from the south side lot line.
4. **Section 6(3) Part II 4, By-law 438-86**
The minimum required rear yard setback is 7.5 m.
The altered mixed-use building will be located 3.5 m from the west rear lot line.
5. **Section 6(3) Part II 5(I), By-law 438-86**
The maximum permitted depth of a mixed-use building is 14.0 m.
The altered mixed-use building will have a depth of 32.23 m.
6. **Section 6(3) Part III 1(A), By-law 438-86**
A minimum of 30% of the lot area (70.0 m²) shall be landscaped open space.
In this case, 0 % of the lot area (0 m²) will be landscaped open space.
7. **Section 4(2)(a), By-law 438-86**
The maximum permitted building height is 10 m.
The altered mixed-use building will have a height of 12.37 m, measured to the top of the roof top stair enclosure.

8. Section 4(4)(p), By-law 438-86

A minimum of 5 parking spaces are required to be provided.
In this case, 2 parking spaces will be provided.

9. Section 4(4)(c)(ii), By-law 438-86

Access to a parking space must be provided by an unobstructed driveway or passageway that is a minimum of 3.5 m wide.
In this case, one parking space located in the rear will not be accessible to Yarmouth Road by a driveway or passageway 3.5 m wide.

10. Section 6(1), By-law 438-86

The existing ground floor retail constitutes a non-conforming use. Any change of use, extension, or enlargement is not permitted.
In this case, the ground floor retail will be converted into office space, which is not permitted in the R4 Zone.

MOTION

It was moved by Ewa Modlinska, seconded by Edmund Carlson and carried unanimously that the application be **deferred, for a maximum of 3 months**. The deferral would provide the applicant with an opportunity to discuss the proposal in more detail with City Planning staff. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel A**.

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1220/16TEY	Zoning:	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	MATTHEW JOSEPH PROVENZANO JUDITH REISS	Ward:	St. Paul's (22)
Agent:	ANDREW DEANE	Heritage:	Not Applicable
Property Address:	503 MERTON ST	Community:	Toronto
Legal Description:	PLAN M5 PT LOT 134 RP 66R6230 PARTS 2 & 4		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey detached dwelling with a front yard parking space.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 200.5.10.1, By-law 569-2013

A minimum of one parking space is required behind the main front wall.
In this case, zero parking spaces will be provided behind the main front wall.

2. Chapter 10.10.40.10.(2)(A)(i), By-law 569-2013

The maximum permitted height of all front exterior main walls is 7.0 m.
The height of the front exterior main walls will be 8.49 m.

Chapter 10.10.40.10.(2)(A)(ii), By-law 569-2013

The maximum permitted height of all rear exterior main walls is 7.0 m.
The height of the rear exterior main walls will be 9.4 m.

Chapter 10.10.40.10.(2)(B)(i), By-law 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.0 m.
The height of the side exterior main walls facing a side lot line will be 6.6 m on the east side and 9.41 m on the west side.

3. Chapter 10.10.40.30.(1)(A), By-law 569-2013

The maximum permitted building depth is 17.0 m.
The new dwelling will have a building depth of 17.74 m.

4. **Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.6 times the area of the lot (233.77 m²).
The new three-storey detached dwelling will have a floor space index equal to 0.63 times the area of the lot (247.35 m²).
5. **Chapter 10.10.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 11.45 m.
The new detached dwelling will be located 11.22 m from the north front lot line.
6. **Chapter 10.10.40.70.(3)(A)(i), By-law 569-2013**
The minimum required side yard setback is 0.9m.
The new three-storey detached dwelling will be located 0.26 m from the east side lot line.
7. **Chapter 10.5.40.60.(7), By-law 569-2013**
Roof eaves may project a maximum of 0.9 m provided they are no closer than 0.3 m to a lot line.
The roof eaves will be located 0.0 m from the east lot line.
8. **Chapter 10.5.80.10.(3), By-law 569-2013**
A parking space is not permitted in a front yard or a side yard abutting a street.
In this case, the parking space will be located in a front yard.
1. **Section 6(3) Part IV 1(E), By-law 438-86**
A parking space is not permitted in a front yard or a side yard abutting a street.
In this case, the parking space will be located in a front yard.
2. **Section 4(4), By-law 438-86**
A minimum of one parking space is required behind the main front wall.
In this case, zero parking spaces will be provided behind the main front wall.
3. **Section 6(3) Part I 1, By-law 438-86**
The maximum permitted residential gross floor area is 0.6 times the area of the lot (233.77 m²).
The new three-storey detached dwelling will have a residential gross floor area equal to 0.63 times the area of the lot (247.35 m²).
4. **Section 6(3) Part II 2(II), By-law 438-86**
A building on an inside lot is required a minimum front lot line setback of 11.45 m.
The new building will be located 11.22 m from the north front lot line.
5. **Section 6(3) Part II 3.B(II), By-law 438-86**
The minimum required side lot line setback for the portion of the dwelling not exceeding a building depth of 17.0 m is 0.9 m, where the side wall contains openings.
The new detached dwelling will be located 0.26 m from the east side lot line, where the side wall contains openings.
6. **Section 6(3) Part II 3.B(II), By-law 438-86**
The minimum required side lot line setback for the portion of the dwelling exceeding a building depth of 17.0 m is 7.5 m.
The portion of the dwelling exceeding the building depth of 17.0 m will be located 1.85 m from the east side lot line and 1.75 m from the west side lot line.

7. Section 6(3) Part II 3(II), By-law 438-86

A building is required a minimum of 1.2 m to the portion of the side wall of an adjacent building that contains openings.

The new three-storey detached dwelling will be located 0.95 m from the east adjacent building, 505 Merton Street.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

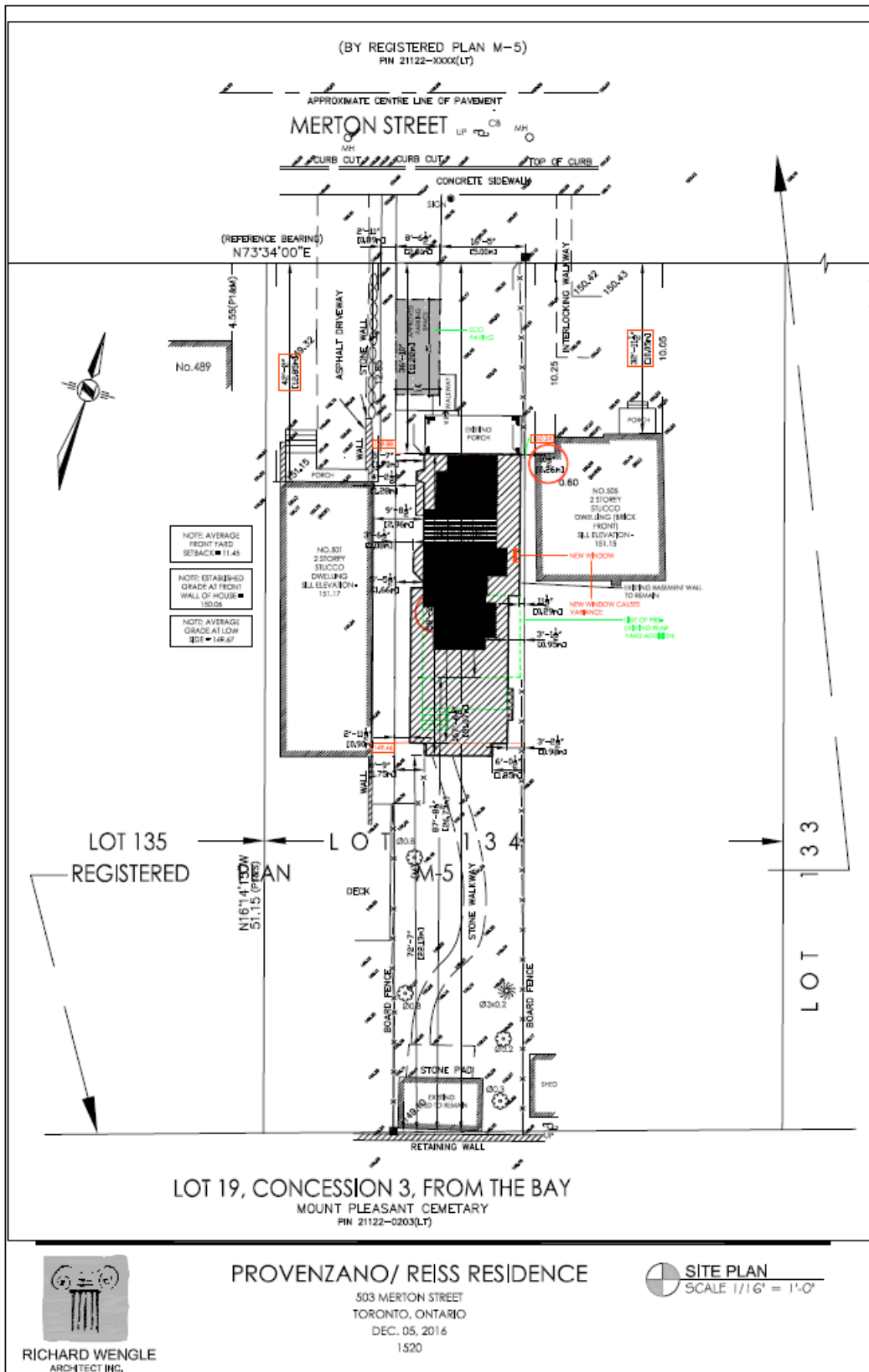
The Minor Variance Application is Approved on Condition

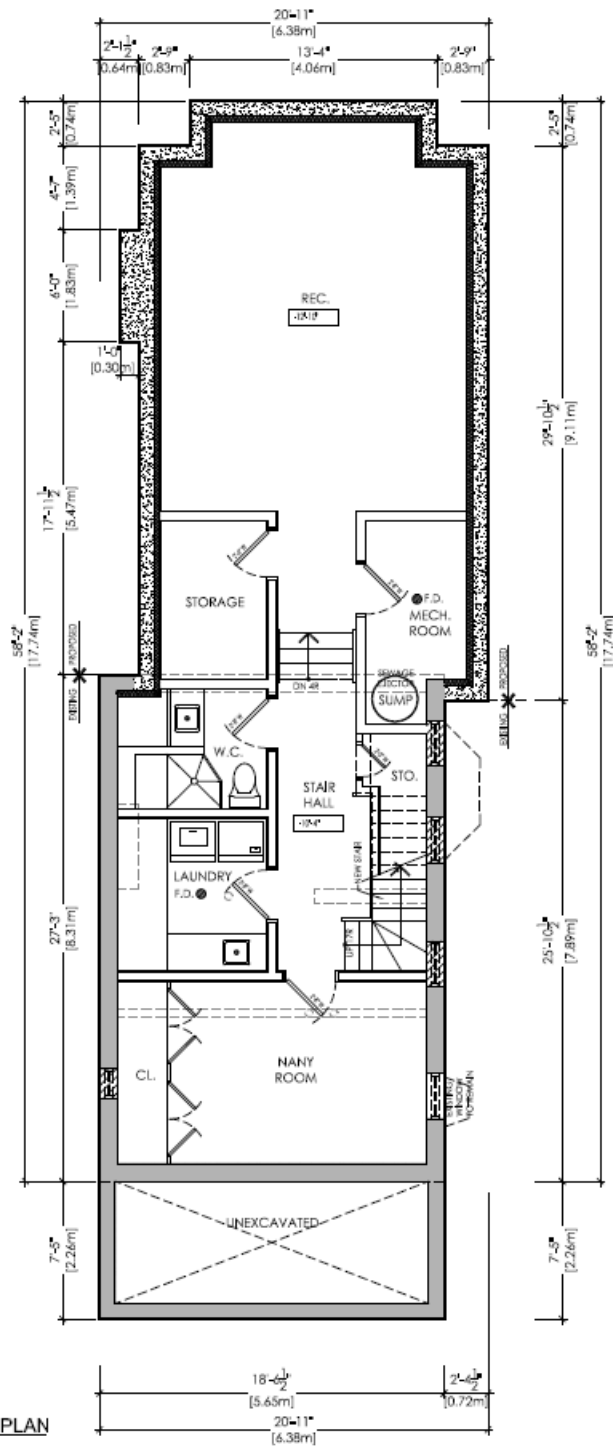
It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The dwelling shall be constructed substantially in accordance with the plans date stamped received by Committee of Adjustment on December 13, 2016. Any variances that may appear on these plans that are NOT listed in the written decision are not authorized.





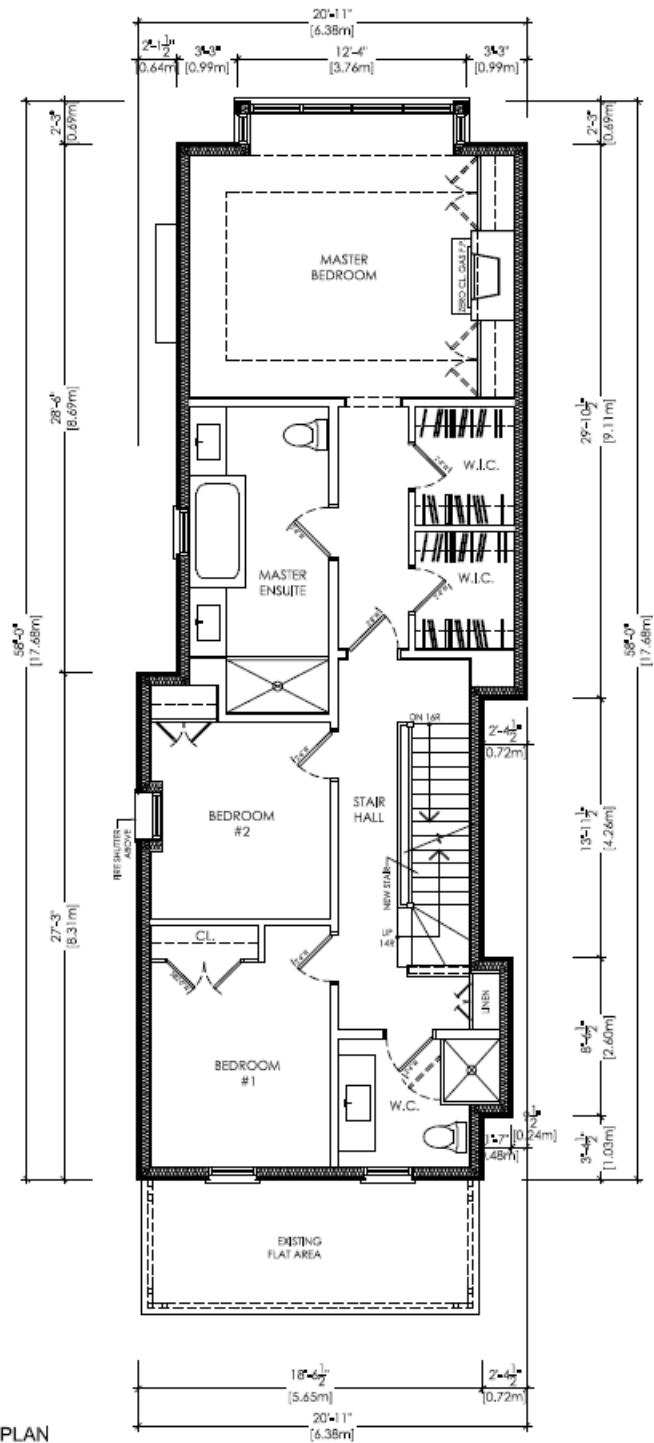
BASMENT FLOOR PLAN
SCALE 3/16" = 1'-0"



RICHARD WENGLER
ARCHITECT INC.

PROVENZANO/REISS

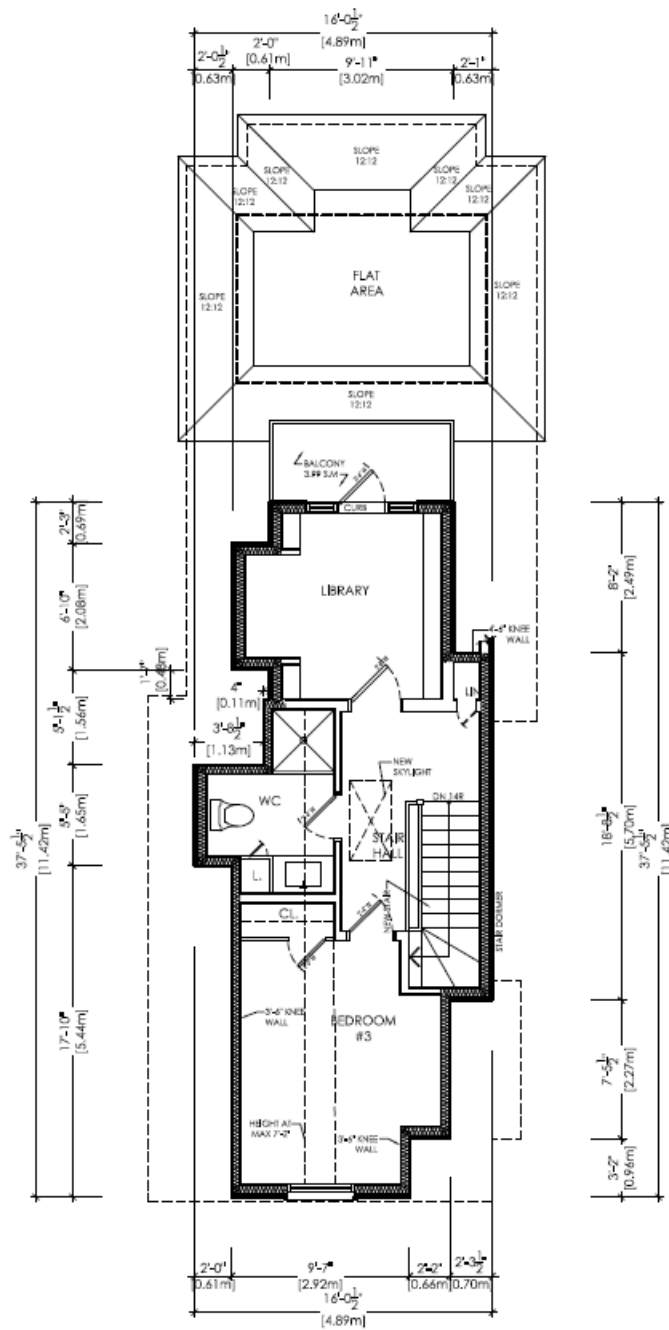
503 MERTON STREET
TORONTO, ONTARIO
DEC. 05, 2016
1520



SECOND FLOOR PLAN
SCALE 3/16" = 1'-0"



PROVENZANO/REISS
503 MERTON STREET
TORONTO, ONTARIO
DEC. 05, 2016
1520



THIRD FLOOR PLAN
SCALE 3/16" = 1'-0"



RICHARD WENGLER
ARCHITECT INC.

PROVENZANO/REISS

503 MERTON STREET
TORONTO, ONTARIO
DEC. 05, 2016
1520

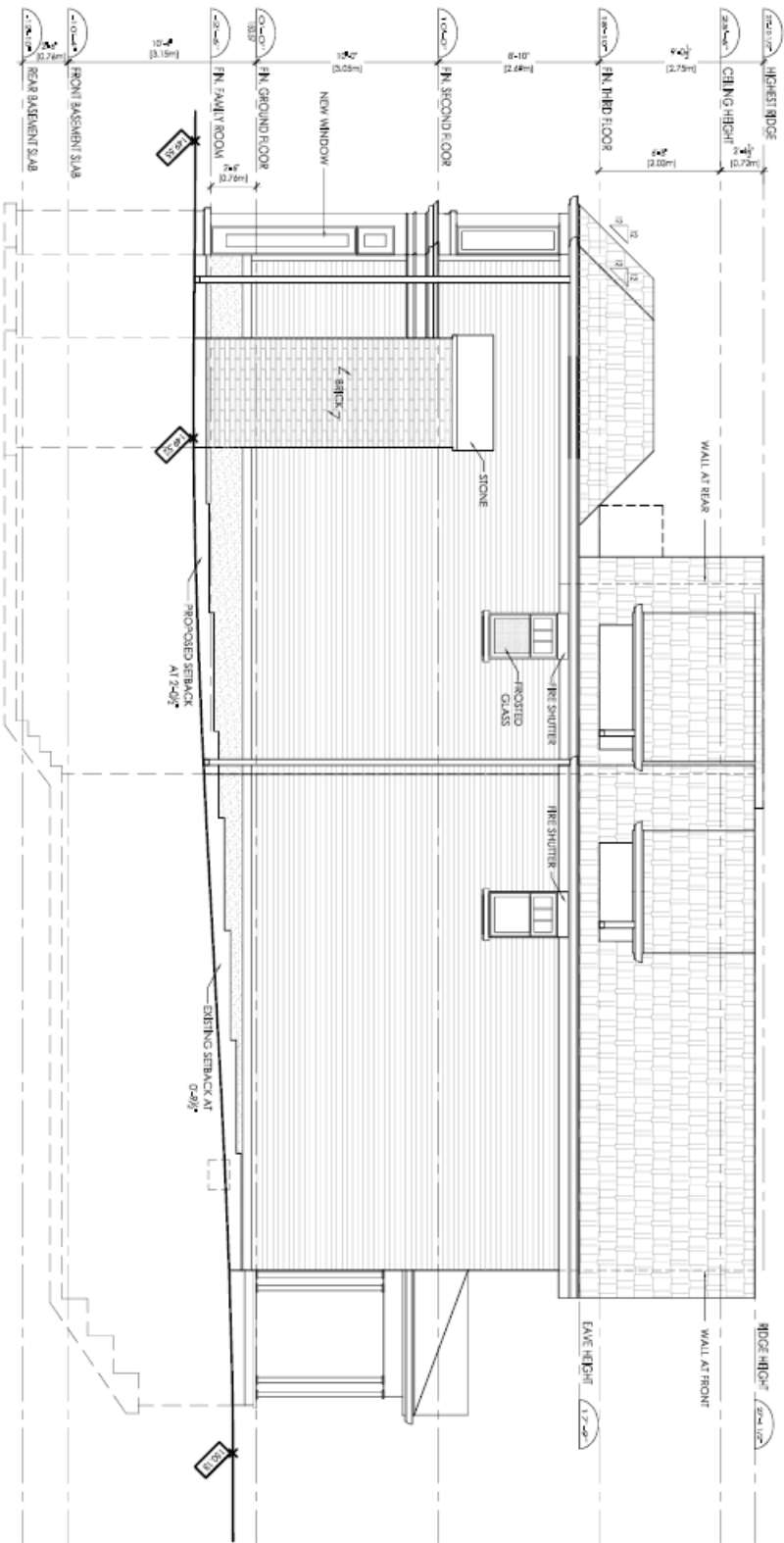


RICHARD WENGLE
ARCHITECT INC.

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PROVENZANO/REISS
503 MERTON STREET
TORONTO, ONTARIO
DEC. 05, 2016
1520

WEST ELEVATION
SCALE 3/16" = 1'-0"



PROVENZANO/REISS

503 MERTON STREET
 TORONTO, ONTARIO
 DEC. 05, 2016
 1520

EAST ELEVATION
 SCALE 3/16" = 1'-0"



RICHARD WENGLE
 ARCHITECT INC.

SIGNATURE PAGE

File Number:	A1220/16TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	MATTHEW JOSEPH PROVENZANO JUDITH REISS	Ward:	St. Paul's (22)
Agent:	ANDREW DEANE	Heritage:	Not Applicable
Property Address:	503 MERTON ST	Community:	Toronto
Legal Description:	PLAN M5 PT LOT 134 RP 66R6230 PARTS 2 & 4		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: **Tuesday, April 18, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1221/16TEY	Zoning	CRE & RA (ZPR)
Owner(s):	WELLINGTON WINDSOR HOLDINGS LTD	Ward:	Trinity-Spadina (20)
Agent:	MAX LASKIN	Heritage:	Not Applicable
Property Address:	255 WELLINGTON ST W	Community:	Toronto
Legal Description:	PLAN 146 PT LOTS 9 10 & 11 RP 63R4397 PART 10		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing 21-storey hotel by constructing a five-storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**1. Chapter 220.5.10.1.(6), By-law 569-2013**

The minimum required number of loading spaces for a hotel use with a gross floor area of 4,270 m² is 1 Type B loading space.

In this case, the building will have zero Type B loading spaces.

2. Chapter 50.10.40.10.(1), By-law 569-2013

The maximum permitted building height is 30 m.

The altered building will have a height of 87.1 m.

3. Chapter 50.10.40.70.(1), By-law 569-2013

The minimum required setback from a side or rear lot line is 7.5 m.

The altered building will be located 0 m from the west side lot line and 0 m from the south rear lot line.

4. Chapter 50.10.40.70.(3), By-law 569-2013

Where a lot abuts a lane, the minimum building setback from a side lot line or rear lot line that abuts the lane is 7.5 m measured from the original centerline of the lane.

In this case, the altered building will be setback 3.03 m from the original centerline of the lane.

5. Chapter 50.10.40.70.(5)(A), By-law 569-2013

The minimum building setback from a lot line that abuts a street is 3 m for the portion of the building or structure which exceeds a height of 20 m.

In this case, the building will be located 0 m from the north front lot line and east side lot line which both abut a street.

1. Section 4(2), By-law 438-86

The maximum permitted building height is 30 m.

The altered building will have a height of 87.1 m.

2. Section 12(2) 246(A), By-law 438-86

The portion of a building exceeding a height of 20 m must be set back at least 3 m from the street.

In this case, the portion of the building exceeding 20 m will be set back 0 m from the street.

3. Section 7(3) Part II 1(I) & 3, By-law 438-86

The portion of a building located beyond 25 m of a street or a public park must be set back a minimum distance of 7.5 m from the side and rear lot lines.

The altered building will be located 0 m from the west side lot line and 0 m from the south rear lot line.

4. Section 12(2) 246(E), By-law 438-86

A 4,270 m² addition requires a minimum of 14 additional parking spaces.

In this case, zero additional parking spaces will be provided.

5. Section 12(2) 246(F), By-law 438-86

A minimum of 2 Type B loading spaces are required.

In this case, 0 Type B loading spaces will be provided.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A1221/16TEY	Zoning	CRE & RA (ZPR)
Owner(s):	WELLINGTON WINDSOR HOLDINGS LTD	Ward:	Trinity-Spadina (20)
Agent:	MAX LASKIN	Heritage:	Not Applicable
Property Address:	255 WELLINGTON ST W	Community:	Toronto
Legal Description:	PLAN 146 PT LOTS 9 10 & 11 RP 63R4397 PART 10		

ABSTAINED

Edmund Carlson

Ewa Modlinska

Nancy Oomen

DISSENTED

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: **Tuesday, April 18, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1223/16TEY	Zoning	R (d0.6)(x741) & R2 Z0.6 (Waiver)
Owner(s):	LISA SATTERTHWAITE SALVATORE AGUECI	Ward:	Toronto-Danforth (30)
Agent:	DAVID LANG	Heritage:	Not Applicable
Property Address:	127 GALT AVE	Community:	Toronto
Legal Description:	PLAN M105 BLK D LOT 59		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new rear detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Chapter 10.5.50.10.(3)(A), By-law 569-2013

A minimum of 50% (89.11 m²) of the rear yard must be maintained as soft landscaping. In this case, 17% (15.14 m²) of the rear yard has been maintained as soft landscaping.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1223/16TEY	Zoning	R (d0.6)(x741) & R2 Z0.6 (Waiver)
Owner(s):	LISA SATTERTHWAITE SALVATORE AGUECI	Ward:	Toronto-Danforth (30)
Agent:	DAVID LANG	Heritage:	Not Applicable
Property Address:	127 GALT AVE	Community:	Toronto
Legal Description:	PLAN M105 BLK D LOT 59		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: **Tuesday, April 18, 2017**

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Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
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26. 5 MACHOCKIE ROAD

File Number:	A1224/16TEY	Zoning	RD (f9.0; a280; d0.45) & R1A (ZZC)
Owner(s):	CHAN YING ZHEN	Ward:	Beaches-East York (31)
Agent:	JAGDIP BARMİ	Heritage:	Not Applicable
Property Address:	5 MACHOCKIE RD	Community:	East York
Legal Description:	PLAN 3641 LOT 19		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.30.40.(1)(A), By-law 569-2013

The maximum permitted lot coverage is 35% of the lot area (106.65 m²).
The lot coverage will be 44.92% of the lot area (134.96 m²).

2. Chapter 10.20.40.10.(B)(ii), By-law 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.0 m.
The height of all side exterior main walls facing a side lot line is 7.30 m.

3. Chapter 10.20.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index is 0.45 times the area of the lot (137.12 m²).
The new two-storey detached dwelling with an integral garage will have a floor space index equal to 0.81 times the area of the lot (246.63 m²).

4. Chapter 10.20.40.70.(2)(A), By-law 569-2013

The minimum required rear yard setback is 7.5 m.
The new detached dwelling will be located 7.04 m from east rear lot line.

5. Chapter 200.5.1.10.(2)(A)(ii), By-law 569-2013

The minimum required parking space length is 5.6 m.
The parking space will have a length of 5.42 m.

1. Section 5.6(C), By-law 6752

Eaves may project into a required side yard to a maximum of 0.46 m.
The eaves will project 0.51 m into the south and north side yards.

2. Section 7.2.3, By-law 6752

The maximum permitted floor space index is 0.45 times the area of the lot (137.12 m²).
The new detached dwelling will have a floor space index equal to 0.81 times the area of the lot (246.63 m²).

3. Section 7.2.3, By-law 6752

The minimum required front yard setback is 6.0 m.
The new detached dwelling will be located 5.50 m from the west front lot line.

4. Section 7.2.3, By-law 6752

The maximum permitted lot coverage is 35% of the lot area (106.65 m²).
The lot coverage will be 44.29% of the lot area (136.87 m²).

5. Section 7.2.3, By-law 6752

The minimum required rear yard setback is 9.0 m.
The new detached dwelling will be located 7.04 m from east rear lot line.

6. Section 5.40, By-law 6752

The minimum required parking space length is 5.6 m.
The parking space will have a length of 5.42 m.

MOTION

It was moved by Edmund Carlson, seconded by Ewa Modlinska and carried unanimously that the application be **deferred, to the public hearing on June 7, 2017 with** the Committee of Adjustment Toronto & East York, **Panel A**. The deferral would provide the applicant with an opportunity to revise the proposal.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1225/16TEY	Zoning:	RD (f9.0, a280, d0.45) & R1A (ZPR)
Owner(s):	KAZUHIKO ISHIHARA ALICIA COWAN	Ward:	Beaches-East York (31)
Agent:	NORMAN ETTINGER	Heritage:	Not Applicable
Property Address:	52 BINSWOOD AVE	Community:	East York
Legal Description:	PLAN 2984 PT LOTS 185 TO 188		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing one-storey detached dwelling by constructing a rear two-storey addition, complete second-storey addition, rear deck and stairs.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 35% of the lot area (94.6 m²).
The lot coverage will be equal to 31% (109.91 m²).
- 2. Chapter 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.45 times the area of the lot (121.56 m²).
The altered dwelling will have a floor space index equal to 0.71 times the area of the lot (191.91 m²).
- 3. Chapter 10.20.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 4.78 m.
The altered dwelling will be located 3.94 m to the front lot line.
- 4. Chapter 10.20.40.70.(3)(B), By-law 569-2013**
The minimum required side yard setback is 0.9 m.
The altered dwelling will be located 0.33 m to the north side lot line.
- 5. Chapter 10.5.40.60.(7), By-law 569-2013**
Roof eaves may project a maximum of 0.9 m provided they are no closer than 0.30 m to a lot line.
In this case, the eaves will be located 0.0 m from the north lot line.

1. **Section 7.2.3, By-law 6752**
The minimum required front yard setback is 6.0 m.
The altered dwelling will be located 3.94 m to the front lot line.
2. **Section 7.2.3, By-law 6752**
The minimum required north side yard setback is 0.9 m.
The altered dwelling will be located 0.33 m to the north side lot line.
3. **Section 7.2.3, By-law 6752**
The maximum permitted lot coverage is 35% of the lot area (94.6 m²).
The lot coverage will be equal to 44% (120.0 m²).
4. **Section 7.2.3, By-law 6752**
The maximum permitted floor space index is 0.45 times the area of the lot (121.56 m²).
The altered dwelling will have a floor space index equal to 0.71 times the area of the lot (191.91 m²).
5. **Section 5.6, By-law 6752**
The minimum required setback for the rear stairs is 1.5 m to the north lot line.
In this case, the rear stairs will be located 0.93 m to the north lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1225/16TEY	Zoning	RD (f9.0, a280, d0.45) & R1A (ZPR)
Owner(s):	KAZUHIKO ISHIHARA ALICIA COWAN	Ward:	Beaches-East York (31)
Agent:	NORMAN ETTINGER	Heritage:	Not Applicable
Property Address:	52 BINSWOOD AVE	Community:	East York
Legal Description:	PLAN 2984 PT LOTS 185 TO 188		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: **Tuesday, April 18, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

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28. 39 LARK STREET

File Number:	A1226/16TEY	Zoning	R (d1.0) & R4 Z1.0 (ZZC)
Owner(s):	ANDREW THOMAS KINGDOM	Ward:	Beaches-East York (32)
Agent:	TREVOR KEIR	Heritage:	Not Applicable
Property Address:	39 LARK ST	Community:	Toronto
Legal Description:	PLAN E 442 PT LOTS 15 & 16		

MOTION:

It was moved by Edmund Carlson, seconded by Worrick Russell, and carried unanimously, that the above noted Minor Variance Application be closed and the application fee NOT be refunded, in accordance with the Committee of Adjustment refund policy.



City Planning Division

Committee of Adjustment
Toronto and East York District

100 Queen Street West, 1st Floor
Toronto, Ontario M5H 2N2
Tel: 416-392-7565
Fax: 416-392-0580

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1228/16TEY	Zoning	R(d0.6)(x682) & R2 Z0.6 (ZZC)
Owner(s):	KOSOWAN RALF	Ward:	St. Paul's (22)
Agent:	VICTOR RODRIGUES	Heritage:	Not Applicable
Property Address:	16 FOXBAR RD	Community:	Toronto
Legal Description:	PLAN 325E PT LOT 34 LOT 33		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To convert the existing dwelling building/rooming house containing six residential dwelling units and three dwelling rooms by into a building containing six residential dwelling units.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area is 0.6 times the area of the lot (247.5 m²).

The altered building will have a gross floor area equal to 1.05 times the area of the lot (433 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The applicant shall obtain a Rental Housing Demolition and Conversion Permit from the City pursuant to Section 111 City of Toronto Act, 2006 and Chapter 667 of the Municipal Code prior to the demolition of any rental dwelling units.

SIGNATURE PAGE

File Number:	A1228/16TEY	Zoning	R(d0.6)(x682) & R2 Z0.6 (ZZC)
Owner(s):	KOSOWAN RALF	Ward:	St. Paul's (22)
Agent:	VICTOR RODRIGUES	Heritage:	Not Applicable
Property Address:	16 FOXBAR RD	Community:	Toronto
Legal Description:	PLAN 325E PT LOT 34 LOT 33		

Edmund Carlson	Ewa Modlinska	Nancy Oomen
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Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: **Tuesday, April 18, 2017**

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1229/16TEY	Zoning:	RD (f9.0; a280; d0.45) & R1A (ZZC)
Owner(s):	NAJIBA SALEEM ABDUL TAMIM SALEEM	Ward:	Toronto-Danforth (29)
Agent:	FARHAD SAFI	Heritage:	Not Applicable
Property Address:	18 ATHLONE RD	Community:	East York
Legal Description:	PLAN 3181 LOT 8		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral garage, a rear ground floor deck, a rear basement walkout, and a rear yard swimming pool.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(4)(A), By-law 569-2013**
The maximum permitted building height is 7.2 m.
The new detached dwelling will have a height of 7.8 m.
- 2. Chapter 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index of a detached dwelling is 0.45 times the area of the lot (166.46 m²).
The new detached dwelling will have a floor space index equal to 0.7 times the area of the lot (259.82 m²).
- 3. Chapter 10.20.40.70.(3)(B), By-law 569-2013**
The minimum required side yard setback is 0.9 m.
The new detached dwelling will be located 0.45 m from the south side lot line.
- 1. Section 7.2.3, By-law 6752**
The minimum required side yard setback is 0.9 m.
The new detached dwelling will be located 0.45 m from the south side lot line.

2. Section 7.2.3, By-law 6752

The maximum permitted floor space index of a detached dwelling is 0.45 times the area of the lot (166.46 m²).

The new detached dwelling will have a floor space index equal to 0.7 times the area of the lot (259.82 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1229/16TEY	Zoning	RD (f9.0; a280; d0.45) & R1A (ZZC)
Owner(s):	NAJIBA SALEEM ABDUL TAMIM SALEEM	Ward:	Toronto-Danforth (29)
Agent:	FARHAD SAFI	Heritage:	Not Applicable
Property Address:	18 ATHLONE RD	Community:	East York
Legal Description:	PLAN 3181 LOT 8		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: **Tuesday, April 18, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1230/16TEY	Zoning:	R (d1.0)(x4) & R3 Z1.0 (BLD)
Owner(s):	NICOLE MARIE H FILIATRAULT	Ward:	Toronto Centre-Rosedale (28)
Agent:	BRANDON KASHIN	Heritage:	Not Applicable
Property Address:	16 WILKINS AVE	Community:	Toronto
Legal Description:	PLAN 811 PT LOT C PLAN RD141 PT LOT 25		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing three-storey townhouse by constructing a third floor rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.40.70.(4)(C), By-law 569-2013**
The minimum required side yard setback for a townhouse is 0.45 m.
The altered townhouse will be located 0.0 m from the south side lot line.
- Chapter 10.5.40.60.(1)(D), By-law 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor higher than the first floor of the building above established grade may encroach into the required rear yard setback 1.5 m.
In this case, the platform will encroach 5.93 m into the required rear yard setback.
- Chapter 10.5.40.60.(1)(F), By-law 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor higher than the first floor of the building above established grade may not encroach into the required side yard setback if the side yard does not abut a street.
In this case, the platform will be located 0.0 m from the south side lot line.
- Chapter 10.10.40.70.(2), By-law 569-2013**
A minimum required rear yard setback is 7.5 m.
The altered townhouse will be located 1.57 m from the rear lot line.

1. Section 6(3) Part II 3.C(I), By-law 438-86

The minimum required side lot line setback of a row house dwelling is 0.45 m where the side wall contains no openings.

The south side wall of the altered row house will be located 0.0 m from the south side lot line and 0.97 m from the north side lot line.

2. Section 6(3) Part II 4, By-law 438-86

The minimum required rear yard setback is 7.5 m.

The altered row house will be located 1.57 m from the rear lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1230/16TEY	Zoning	R (d1.0)(x4) & R3 Z1.0 (BLD)
Owner(s):	NICOLE MARIE H FILIATRAULT	Ward:	Toronto Centre-Rosedale (28)
Agent:	BRANDON KASHIN	Heritage:	Not Applicable
Property Address:	16 WILKINS AVE	Community:	Toronto
Legal Description:	PLAN 811 PT LOT C PLAN RD141 PT LOT 25		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1231/16TEY	Zoning	RS (f10.5;a325;d0.75)(x312) & R2A (BLD)
Owner(s):	GEORGIA COTOULAS IOANNIS COTOULAS	Ward:	Toronto-Danforth (29)
Agent:	DANIEL ALLAN	Heritage:	Not Applicable
Property Address:	7 MEMORIAL PARK AVE	Community:	East York
Legal Description:	PLAN 1639 PT LOT 24		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and to maintain the rear one-storey addition and the rear detached garage that was constructed without a building permit.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.60.(7), By-law 569-2013**
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.3 m to a lot line. The eaves will be located 0.25 m from the east side lot line.
- Chapter 10.40.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 35% of the lot area (81.82 m²).
The lot coverage will be 46% of the lot area (107.29 m²).
- Chapter 7.5.3, By-law 6752**
The maximum permitted lot coverage is 35% of the lot area (81.82 m²).
The lot coverage will be 46% of the lot area (107.29 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The lot coverage of the altered detached dwelling exclusive of any detached accessory structures shall not be greater than 32.7% of the lot area under Zoning By-law 569-2013 and 6752.

SIGNATURE PAGE

File Number:	A1231/16TEY	Zoning	RS (f10.5;a325;d0.75)(x312) & R2A (BLD)
Owner(s):	GEORGIA COTOULAS IOANNIS COTOULAS	Ward:	Toronto-Danforth (29)
Agent:	DANIEL ALLAN	Heritage:	Not Applicable
Property Address:	7 MEMORIAL PARK AVE	Community:	East York
Legal Description:	PLAN 1639 PT LOT 24		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: **Tuesday, April 18, 2017**

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Anita M. MacLeod
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Toronto and East York Panel

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1232/16TEY	Zoning:	R(d0.6)(x752) & R2 Z0.6 (ZZC)
Owner(s):	STEFAN KRZECZUNOWICZ SHANNON MACCHARLES	Ward:	Toronto-Danforth (30)
Agent:	JOHN BOONE	Heritage:	Not Applicable
Property Address:	150 LESLIE ST	Community:	Toronto
Legal Description:	PLAN 451 PT LOT 1		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey semi-detached dwelling by constructing a rear second-storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Chapter 10.10.40.30.(1)(A), By-law 569-2013

The maximum permitted depth of a semi-detached dwelling is 17.0 m.

The altered dwelling will have a depth of 17.63 m.

Section 6(3) Part VI 1(V), By-law 438-86

Additions to the rear of a semi-detached dwelling erected before October 15, 1953, or to a converted house, are permitted provided the depth of the residential building including the addition or additions does not exceed 17.0 m.

The altered dwelling will have a depth of 17.63 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1232/16TEY	Zoning	R(d0.6)(x752) & R2 Z0.6 (ZZC)
Owner(s):	STEFAN KRZECZUNOWICZ SHANNON MACCHARLES	Ward:	Toronto-Danforth (30)
Agent:	JOHN BOONE	Heritage:	Not Applicable
Property Address:	150 LESLIE ST	Community:	Toronto
Legal Description:	PLAN 451 PT LOT 1		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

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City Planning Division

Committee of Adjustment
Toronto and East York District

100 Queen Street West, 1st Floor
Toronto, Ontario M5H 2N2
Tel: 416-392-7565
Fax: 416-392-0580

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1233/16TEY	Zoning	R(d0.6)(x752) & R2 Z0.6 (ZZC)
Owner(s):	JOHN CASEY WHITE	Ward:	Toronto-Danforth (30)
Agent:	JOHN BOONE	Heritage:	Not Applicable
Property Address:	152 LESLIE ST	Community:	Toronto
Legal Description:	PLAN 451 PT LOT 1		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey semi-detached dwelling by constructing a rear two-storey addition and a rear ground floor deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Chapter 10.10.40.30.(1)(A), By-law 569-2013

The maximum permitted depth of a semi-detached dwelling is 17.0 m.

The altered dwelling will have a depth of 17.63 m.

Section 6(3) Part VI 1(V), By-law 438-86

Additions to the rear of a semi-detached dwelling erected before October 15, 1953, or to a converted house, are permitted provided the depth of the residential building including the addition or additions does not exceed 17.0 m.

The altered dwelling will have a depth of 17.63 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1233/16TEY	Zoning	R(d0.6)(x752) & R2 Z0.6 (ZZC)
Owner(s):	JOHN CASEY WHITE	Ward:	Toronto-Danforth (30)
Agent:	JOHN BOONE	Heritage:	Not Applicable
Property Address:	152 LESLIE ST	Community:	Toronto
Legal Description:	PLAN 451 PT LOT 1		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

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35. 13 MECHANIC AVENUE

File Number:	A1234/16TEY	Zoning	R (d1.0)(x804) & R4 Z1.0 (ZZC)
Owner(s):	TUAN QUOC DINH	Ward:	Davenport (18)
Agent:	ENZO LOCCISANO	Heritage:	Not Applicable
Property Address:	13 MECHANIC AVE	Community:	Toronto
Legal Description:	PLAN 732 PT LOT 9		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by constructing front and rear two-storey additions, a third storey addition with front and rear third storey balconies, and an additional dwelling unit for a total of two residential dwelling units.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.10.(1), By-law 569-2013**
The maximum permitted building height is 10.0 m.
The altered detached dwelling will have a height of 10.49 m.
- 2. Chapter 10.10.40.10.(2)(B), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The height of the side exterior main walls facing a side lot line will be 10.09 m.
- 3. Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index of a detached dwelling is 1.0 times the area of the lot (126.91 m²).
The altered detached dwelling will have a floor space index equal to 1.47 times the area of the lot (186.5 m²).
- 4. Chapter 10.10.40.70.(2), By-law 569-2013**
The minimum required rear yard setback is 7.5 m.
The altered detached dwelling will be located 5.15 m from the rear lot line.
- 5. Chapter 150.10.40.1.(3)(A), By-law 569-2013**
A secondary suite is a permitted use provided that an exterior alteration to a building to accommodate a secondary suite does not alter a main wall or roof that faces a street.
The addition to the building will alter a main wall that faces the street (Mechanic Avenue).
- 6. Chapter 200.5.1.10.(2), By-law 569-2013**
The required parking space must have a minimum length of 5.6 m.
The parking space will measure 5.48 m in length.

- 1. Section 4(2)(a), By-law 438-86**
The maximum permitted building height is 10.0 m.
The altered detached dwelling will have a height of 10.49 m.
- 2. Section 6(3) Part I 1, By-law 438-86**
The maximum permitted gross floor area of of a detached dwelling is 1.0 times the area of the lot (126.91 m²).
The altered detached dwelling will have a gross floor area equal to 1.47 times the area of the lot (186.5 m²).
- 3. Section 6(3) Part II 3(II), By-law 438-86**
The minimum required setback from the side wall of an adjacent building that contains openings is 1.2 m.
The altered detached dwelling will be located 0.77 m from the side wall of the north adjacent building (15 mechanic Avenue) and 0.47 m from the side wall of the south adjacent building (11 Mechanic Avenue)..
- 4. Section 6(3) Part II 3.F(I)(1)(A), By-law 438-86**
The minimum required side lot line setback of a detached dwelling is 0.45 m where the side wall contains no openings.
The altered detached dwelling will be located 0.0 m from the north side lot line and 0.30 m from the south side lot line.
- 5. Section 6(3) Part II 4, By-law 438-86**
The minimum required rear yard setback is 7.5 m.
The altered detached dwelling will be located 5.15 m from the rear lot line.
- 6. Section 6(2) 1(iii)(A), By-law 438-86**
A converted dwelling is permitted, provided there is no exterior alteration or addition to the front main wall of the dwelling.
In this case, the additions will alter the front main wall of the dwelling.
- 7. Section 6(2), 1(iii)A, By-law 438-86**
The maximum permitted floor space of an addition to a converted house is 0.15 times the area of the lot (19.04 m²).
The additions will have an area equal to 0.85 times the area of the lot (108.5 m²).
- 8. Section 6(2) 1(v), By-law 438-86**
A converted dwelling is permitted provided that there is no substantial change in the appearance of the dwelling as the result of the conversion.
In this case, substantial change will occur in the appearance of the dwelling.
- 9. Section 4(17)(a), By-law 438-86**
The required parking space must have a minimum length of 5.6 m.
The parking space will measure 5.48 m in length.

MOTION

It was moved by Worrick Russell, seconded by Ewa Modlinska, and carried unanimously that the application be **deferred, for a maximum of 3 months**. The deferral would provide the applicant with an opportunity to revise the proposal to address concerns raised by the neighbours. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel A**.

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1235/16TEY	Zoning	R (d.06)(x910) & R2 Z0.6 (ZZC)
Owner(s):	ANTHONY ERDODY	Ward:	Toronto Centre-Rosedale (27)
Agent:	JOHN SIBENIK	Heritage:	Not Applicable
Property Address:	39 WOODLAWN AVE E	Community:	Toronto
Legal Description:	PLAN 1401 PT BLK D		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and to maintain the rear deck and front yard parking space.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.50.10.(1)(B) & (D), By-law 569-2013

A minimum of 50% (30.24 m²), of the front yard is required to be landscaping.
In this case, 19.36% (11.71 m²), of the front yard will be landscaping.

A minimum of 75% (22.68 m²), of the front yard landscaping is required to be soft landscaping.
In this case, 38.72% of the front yard landscaping will be maintained as soft landscaping (11.71 m²).

2. Chapter 10.5.80.10.(3), By-law 569-2013

A parking space is not permitted to be located in a front yard or a side yard abutting a street.
In this case, the parking space will be located in the front yard.

3. Chapter 10.5.100.1(1)(C), By-law 569-2013

The maximum permitted driveway width is 6.0 m measured wide.
In this case, the driveway width will be 7.69 m measured wide.

4. Chapter 10.5.50.10.(3)(A), By-law 569-2013

A minimum of 50% (72.01 m²), of the rear yard is required to be landscaping.
In this case, 36.09% (51.97 m²), of the rear yard will be maintained as landscaping.

1. Section 6(3) Part II 3.B (II) 2, By-law 438-86

The minimum required side lot line setback for the portion of the dwelling exceeding a building depth of 17.0 m is 7.5 m.

The portion of the dwelling exceeding a building depth of 17.0 m will be located 1.29 m from the east side lot line and 0.87 m from the west side lot line.

2. Section 6(3) Part IV 1(e), By-law 438-86

A parking space is not permitted to be located in a front yard or a side yard abutting a street. In this case, the parking space will be located in the front yard.

3. Section 6(3) Part III 3(d)(i), By-law 438-86

A minimum of 50% (33.28 m²), of the front yard is required to be landscaping.

In this case, 26.73% (17.79 m²), of the front yard will be maintained as landscaping.

4. Section 6(3) Part IV 4(ii)(A), By-law 438-86

The maximum permitted driveway width is 6.0 m measured wide.

In this case, the driveway width will be 7.69 m measured wide.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1235/16TEY	Zoning	R (d.06)(x910) & R2 Z0.6 (ZZC)
Owner(s):	ANTHONY ERDODY	Ward:	Toronto Centre-Rosedale (27)
Agent:	JOHN SIBENIK	Heritage:	Not Applicable
Property Address:	39 WOODLAWN AVE E	Community:	Toronto
Legal Description:	PLAN 1401 PT BLK D		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1008/16TEY	Zoning	R (d1.0)(x807) & R3 Z1,0 (Waiver)
Owner(s):	GILLIAN KRAUSE	Ward:	Toronto-Danforth (30)
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	162 HEWARD AVE	Community:	Toronto
Legal Description:	PLAN M49 PT LOT 16		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey semi-detached dwelling by constructing a third-storey addition, a rear two-storey addition and a third floor balcony.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 9.5 m.
The height of the side exterior main walls facing a side lot line is 10.16 m.

2. Chapter 10.10.40.30.(1)(A), By-law 569-2013

The maximum permitted building depth for a semi-detached house is 17.0 m.
The altered semi-detached house will have a building depth of 19.32 m.

3. Chapter 10.10.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index is 1.0 times the area of the lot (225.27 m²).
The altered semi-detached dwelling will have a floor space index equal to **1.14 times** the area of the lot (**257.96 m²**).

1. Section 6(3) Part I 1, By-law 438-86

The maximum permitted residential gross floor area is 1.0 times the area of the lot (225.27 m²).
The altered semi-detached dwelling will have a residential gross floor area equal to **1.14 times** the area of the lot (**257.96 m²**).

2. Section 6(3) Part II 3(I), By-law 438-86

A building is required to be setback a minimum of 0.90 m from the side wall of an adjacent building that contains no openings.
The altered semi-detached dwelling will be located 0.0 m from the north adjacent building that contains no openings.

3. **Section 6(3) Part II 3.C(I), By-law 438-86**
A building is required a minimum setback of 0.45 m from the side lot line, where the side wall contains no openings.
The altered semi-detached dwelling will be located 0.0 m from the north side lot line, where the side wall contains no openings.
4. **Section 6(3) Part II 3.C(II), By-law 438-86**
A building is required a minimum setback of 0.90 m from the side lot line, where the side wall contains openings.
The altered semi-detached dwelling will be located 0.64 m from the south side lot line, where the side wall contains openings.
5. **Section 6(3) Part II 5(II), By-law 438-86**
The maximum permitted building depth is 17.0 m.
The altered semi-detached dwelling will have a building depth of 19.32 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

SIGNATURE PAGE

File Number:	A1008/16TEY	Zoning	R (d1.0)(x807) & R3 Z1,0 (Waiver)
Owner(s):	GILLIAN KRAUSE	Ward:	Toronto-Danforth (30)
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	162 HEWARD AVE	Community:	Toronto
Legal Description:	PLAN M49 PT LOT 16		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

Worrick Russell

DATE DECISION MAILED ON: **Tuesday, April 4, 2017**

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: **Tuesday, April 18, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Toronto and East York Panel

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1116/16TEY	Zoning:	MCR T2.0 C1.0 R2.0 (ZZC)
Owner(s):	8718393 CANADA INC.	Ward:	Beaches-East York (32)
Agent:	DUYEN NGUYEN	Heritage:	Not Applicable
Property Address:	2154 QUEEN ST E	Community:	Toronto
Legal Description:	PLAN 562E PT LOTS 4 & 5		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey mixed-use building by constructing a front one-storey infill addition and a rear one-storey and partial two-storey addition, with rooftop deck above the rear first floor component.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 12(2)(i) 284 as amended by By-law 607-2013**
The minimum required building setback from the curb of Queen Street East is 4.8 m.
In this case, the front addition will be located 4.2 m from the curb of Queen Street East.
- Section 8(3) Part II 4(A), By-law 438-86**
The minimum required building setback from a lot in a residential or park district is 7.5 m.
In this case, the altered building will be set back 3.0 m from a lot in a residential zone which abuts the rear lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

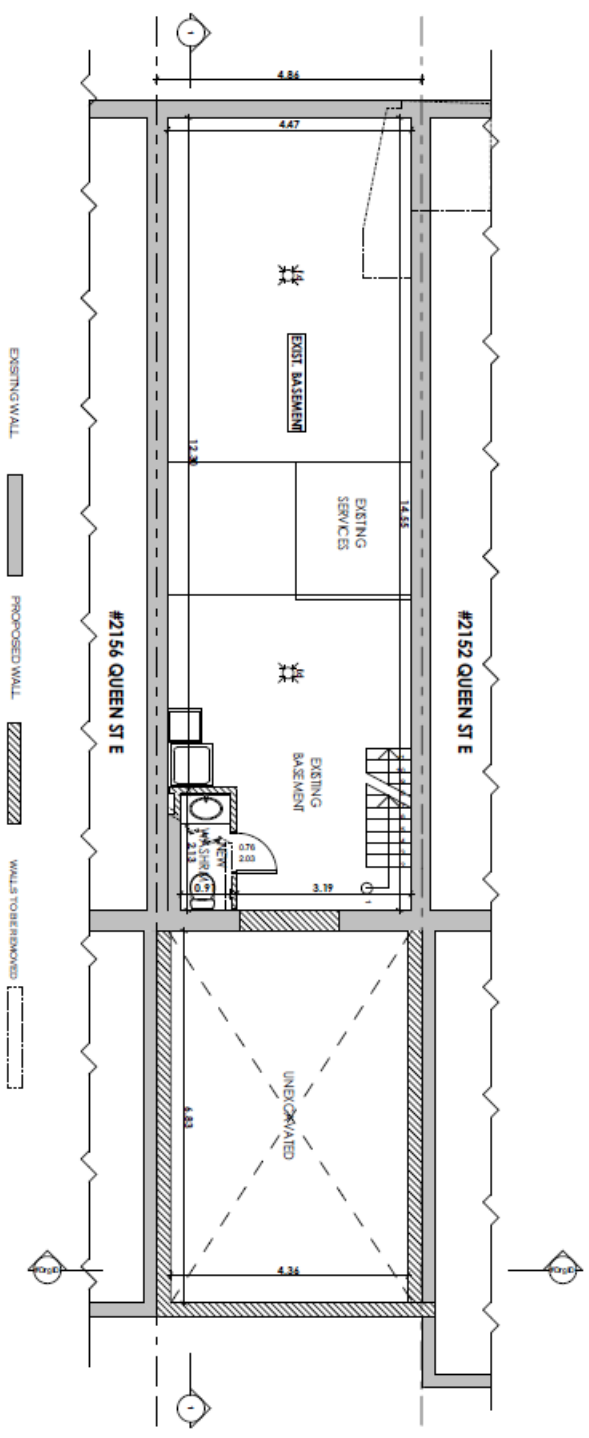
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

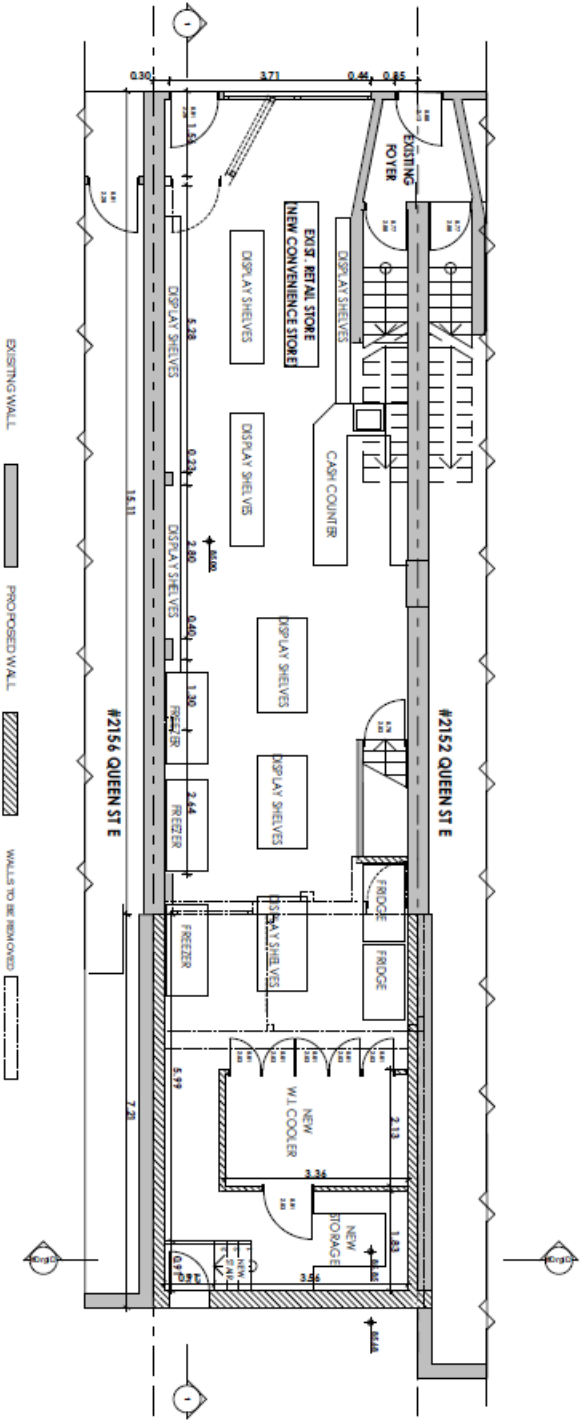
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

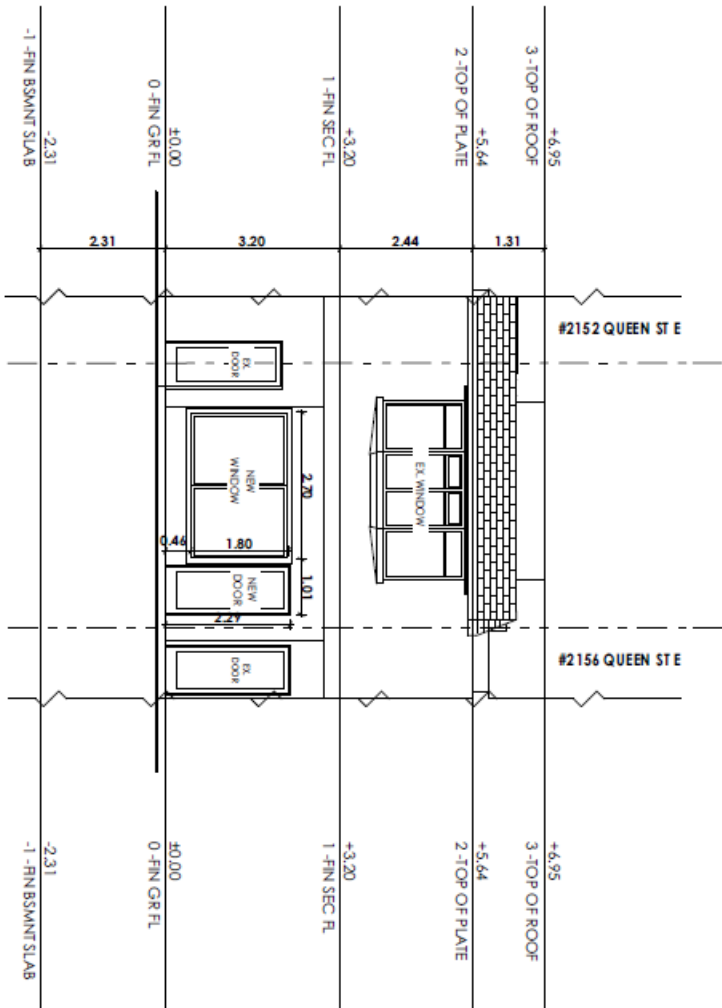
The one storey portion of the rear addition shall be constructed substantially in accordance with the plans date stamped received by the Committee of Adjustment on November 16 and 17, 2016.



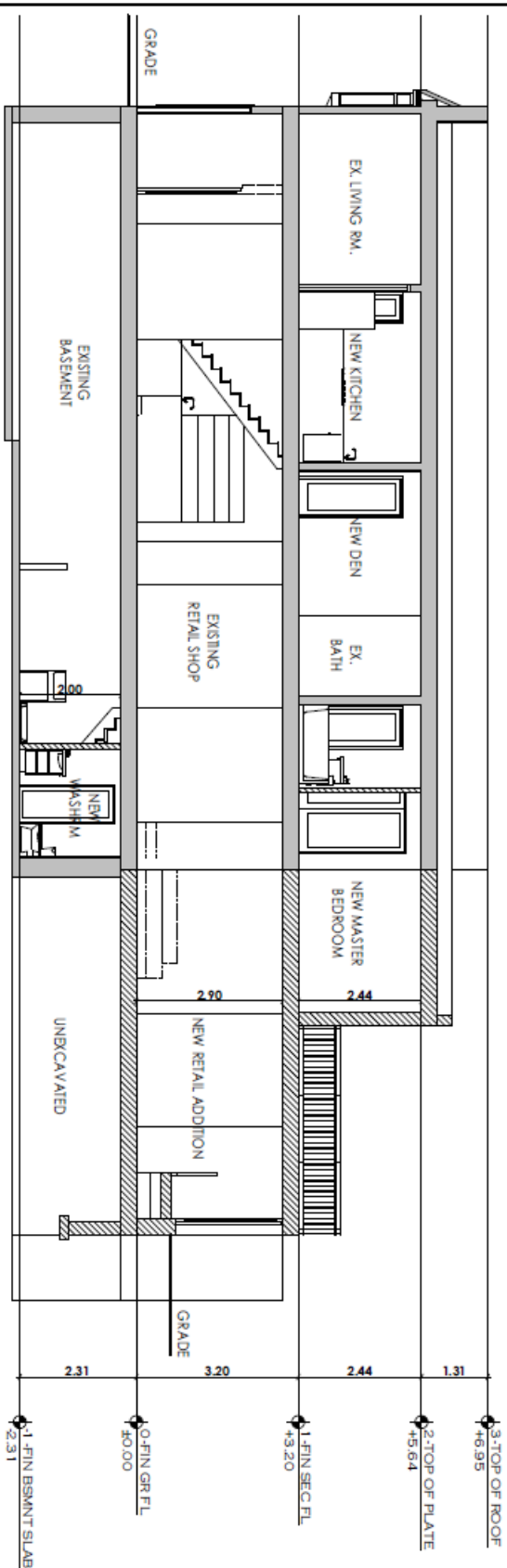
<p>PROPOSED REVISIONS TO THE DRAWING</p> <p>REVISIONS TO THIS DRAWING SHALL BE INDICATED BY A CIRCLED NUMBER AND LETTER IN THE MARGINS. THE DATE AND DESCRIPTION OF EACH REVISION SHALL BE INDICATED IN THE REVISIONS TABLE. THE DRAWING SHALL BE REVISIONED ON THE DATE INDICATED IN THE REVISIONS TABLE. THE DRAWING SHALL BE REVISIONED ON THE DATE INDICATED IN THE REVISIONS TABLE.</p>	
DATE:	ISSUED FOR:
November 15, 2011	FOR ZOC APPLICATION
November 15, 2011	FOR CON. APPLICATION
<p>DRAWING TITLE</p> <p>BASEMENT FLOOR</p> <p>PROJECT REQUIREMENTS:</p> <p>2154 QUEEN ST EAST, TORONTO, ON</p>	
<p>SCALE</p> <p>1:75</p> <p>LAST CHECKED ON:</p> <p>November 15, 2011</p>	<p>DRAWN BY</p> <p>S.B.</p> <p>CHECKED BY</p> <p>S.T.</p>
<p>MEMAR ARCHITECTS</p> <p>MEMAR ARCHITECTS INC.</p> <p>2023 VICTORIA PARK BLVD</p> <p>TORONTO, ON M2P 2C9</p> <p>T: 416-576-1448</p>	
<p>ONTARIO ASSOCIATION OF ARCHITECTS</p> <p>REGISTERED ARCHITECT</p> <p>MEMBER SINCE 2008</p>	
<p>A.03</p>	



<p>PROPOSED RENOVATIONS TO EXISTING PLAN</p> <p>THIS DRAWING IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING.</p>	
DATE:	ISSUED FOR:
November 15, 2011	FOR ZONING APPLICATION
November 15, 2011	FOR CONSTRUCTION
<p>DRAWING TITLE:</p> <p>GROUND FLOOR</p> <p>PROJECT: 2154 QUEEN ST EAST, TORONTO, ON</p>	
<p>SCALE: 1/32</p> <p>LAST MODIFIED ON: November 15, 2011</p>	
<p>MEMAR ARCHITECTS</p> <p>MEMAR ARCHITECTS INC. 2023 VICTORIA PARK BLVD TORONTO, ON M2P 2C9 T: 416-576-1448</p>	
<p>ONTARIO ASSOCIATION OF ARCHITECTS</p> <p>REGISTERED ARCHITECT</p>	
<p>A.04</p>	



APPROVED FOR CONSTRUCTION BY THE BUILDING DEPARTMENT CITY OF TORONTO PROJECT NO. 2011-001-001 DRAWING NO. 2011-001-001-001		DATE: November 15, 2011	ISSUED FOR: FOR ZOC APPLICATION	DRAWING TITLE: SOUTH ELEV	DRAWN BY: S.B.	SCALE: 1/25		MEMMAR ARCHITECTS 2023 VICTORIA PARK BLVD TORONTO, ON M2P 2C9 T: 416-575-1448		A.07
PROJECT INFORMATION: 2154 QUEEN ST EAST, TORONTO, ON		PROJECT NO.: 2011-001-001	PROJECT TITLE: FOR ZOC APPLICATION	CHECKED BY: S.T.	LAST MODIFIED ON: November 15, 2011					



<p>APPROVED FOR CONSTRUCTION BY THE MUNICIPAL ENGINEER</p> <p>DATE: _____</p> <p>FOR ZONING APPLICATION</p>	
<p>DATE: _____</p> <p>FOR ZONING APPLICATION</p>	<p>DATE: _____</p> <p>FOR ZONING APPLICATION</p>
<p>DRAWING TITLE</p> <p>SECTION 3-3</p> <p>PROJECT: 2184 QUEEN ST. EAST, TORONTO, ON</p>	
<p>SCALE</p> <p>1/75</p> <p>LAST MODIFIED ON: November 15, 2011</p>	
<p>MEMAR ARCHITECTS</p> <p>MEMAR ARCHITECTS INC. 2023 VICTORIA PARK BLVD TORONTO, ON M2P 2C9 T: 416-576-1448</p>	
<p>ONTARIO ASSOCIATION OF ARCHITECTS</p> <p>REGISTERED ARCHITECT</p>	
<p>A.08</p>	

SIGNATURE PAGE

File Number:	A1116/16TEY	Zoning	MCR T2.0 C1.0 R2.0 (ZZC)
Owner(s):	8718393 CANADA INC.	Ward:	Beaches-East York (32)
Agent:	DUYEN NGUYEN	Heritage:	Not Applicable
Property Address:	2154 QUEEN ST E	Community:	Toronto
Legal Description:	PLAN 562E PT LOTS 4 & 5		

Edmund Carlson

Ewa Modlinska

Nancy Oomen

DISSENTED

Worrick Russell

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1119/16TEY	Zoning	R(d1.0)(x806) & R4 Z1.0 (BLD)
Owner(s):	JEFFREY MOYLE CATHERINE SUNDEEN	Ward:	Trinity-Spadina (19)
Agent:	SYLVIE DE BRABANDERE	Heritage:	Not Applicable
Property Address:	34 BELLWOODS AVE	Community:	Toronto
Legal Description:	PLAN 758 PT LOTS 42 & 43		

Notice was given and a Public Hearing was held on **Wednesday, March 29, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey rowhouse by constructing a rear two-storey deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.60.(1)(C) By-law 569-2013

A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 1.74 m if it is no closer to a side lot line than 0.3 m.

The rear lower deck will project 4.05 m and will be located 0.07 m from the north side lot line.

2. Chapter 10.5.40.60.(1)(D) By-law 569-2013

A platform without main walls, attached to or less than 0.3 m from a building, with a floor higher than the first floor of the building above established grade may encroach into the required rear yard setback 1.5 m.

The rear upper deck will project 4.05 m into the rear yard setback.

1. Section 6(3) Part II 5(I), By-law 438-86

The maximum permitted depth of a rowhouse is 14.0 m.

The altered rowhouse will have a depth of 14.6 m, measured from the front wall to the furthest point of the rear two-storey deck.

2. Section 6(3) Part II 4, By-law 438-86

The minimum required rear yard setback is 7.5 m.

The rear two-storey deck will be located 4.05 m from the rear lot line.

3. Section 6(3) Part II 3.C(I), By-law 438-86

The minimum required side lot line setback of a rowhouse is 0.45 m where an attached structure is without walls.

The rear two-storey deck will be located 0.07 m from the north side lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

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