

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0191/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	KATHERINE CECILE MAE ST. CYR MARK ANDRE ST. CYR	Ward:	Beaches-East York (32)
Agent:	DAVID SMITH	Heritage:	Not Applicable
Property Address:	57 NORWAY AVE	Community:	Toronto
Legal Description:	PLAN M288 PT LOT 31		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey semi-detached dwelling by constructing a front basement walkout.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.50.10.(1)(D), By-law 569-2013**
A minimum of 75% (4.09 m²) of the required front yard landscaping shall be in the form of soft landscaping.
In this case, 51% (2.78 m²) of the required front yard landscaping will be in the form of soft landscaping.
- Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.6 m.
The front exterior stairs will be located 0 m from the north front lot line.
- Section 6(3) Part III 1(A), By-law 438-86**
A minimum of 30% of the lot area (83.61m²) shall be landscaped open space.
In this case, 15.2% of the lot area (42.42 m²) will be landscaped open space.
- Section 6(3) Part III 3(d)(i)D, By-law 438-86**
A minimum of 75% (5.49 m²) of the front yard not covered by a permitted driveway must be maintained as soft landscaping.
In this case, 51% (2.78 m²) of the front yard will be maintained as soft landscaping.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0191/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	KATHERINE CECILE MAE ST. CYR MARK ANDRE ST. CYR	Ward:	Beaches-East York (32)
Agent:	DAVID SMITH	Heritage:	Not Applicable
Property Address:	57 NORWAY AVE	Community:	Toronto
Legal Description:	PLAN M288 PT LOT 31		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0192/17TEY	Zoning	RS (f10.5; a325; d0.75) & R2A (ZZC)
Owner(s):	MEREDITH MEDNICK JASON MEDNICK	Ward:	Beaches-East York (31)
Agent:	JASON MEDNICK	Heritage:	Not Applicable
Property Address:	782 SAMMON AVE	Community:	East York
Legal Description:	PLAN M437 PT LOT 67		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing one-storey detached dwelling by constructing a second storey addition, rear two-storey addition, front porch, rear first and second floor decks, and a secondary suite in the basement.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 200.5.10.1, By-law 569-2013

A minimum of two parking spaces are required to be provided, one for the existing dwelling unit and one for the secondary suite.

In this case, one parking space will be provided.

2. Chapter 10.40.30.40.(1), By-law 569-2013

The maximum permitted lot coverage is 35% of the lot area (83.72 m²).

The lot coverage will be equal to 43% of the lot area (103.15 m²).

3. Chapter 10.10.40.10.(2)(B), By-law 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.0 m.

The height of the side exterior main walls facing the east side lot line will be 8.47 m.

4. Chapter 10.40.40.20.(1), By-law 569-2013

The maximum permitted building length for a detached dwelling is 17.0 m.

The altered detached dwelling will have a building length of 18.29 m, measured to the basement extension below the rear deck.

5. Chapter 10.40.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index of a detached dwelling is 0.75 times the area of the lot (179.39 m²).

The altered detached dwelling will have a floor space index equal to 0.76 times the area of the lot (182.72 m²).

6. Chapter 10.40.40.50.(1)(B), By-law 569-2013

The maximum permitted area of each platform located at or above the second storey of a dwelling is 4.0 m².

The area of the rear second floor deck will be **6.638** m².

7. Chapter 150.10.40.1.(1), By-Law 569-2013

A secondary suite is a permitted use provided that the entire building was constructed more than 5 years prior to the introduction of a secondary suite.

The entire building was not constructed more than 5 years prior to the proposed introduction of the secondary suite.

8. Chapter 150.10.40.1.(3)(A), By-law 569-2013

A secondary suite is a permitted use provided that an exterior alteration to a building to accommodate a secondary suite does not alter a main wall or roof that faces a street.

The addition to the building will alter a main wall that faces the street.

1. Section 7.1.3(c), By-law 6752

A secondary suite is permitted if the existing house and all additions are at least 5 years old.

The house and its additions are not at least 5 years old.

2. Section 7.1.3(e), By-law 6752

A secondary suite is permitted if any addition does not alter or add to a main front wall.

The addition to the building will alter the main front wall.

3. Section 7.1.3(e), By-law 6752

A minimum of one additional parking space is required to be provided for the secondary suite.

No additional parking spaces will be provided beyond the one parking space for the existing dwelling unit.

4. Section 7.5.3, By-law 6752

The maximum permitted lot coverage is 35% of the lot area (83.72 m²).

The lot coverage will be equal to 46% of the lot area (110.48 m²).

5. Section 7.5.3, By-law 6752

The maximum permitted floor space index of a detached dwelling is 0.75 times the area of the lot (179.39 m²).

The altered detached dwelling will have a floor space index equal to 0.76 times the area of the lot (182.72 m²).

6. Section 7.5.3, By-law 6752

The maximum permitted building length for a detached dwelling is 16.75 m.

The altered detached dwelling will have a building length of 18.29 m, measured to the basement extension below the rear deck.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The building length, excluding the rear ground floor deck and the basement extension below the rear ground floor deck and permitted front porch projection, shall not exceed 16.75 m.

SIGNATURE PAGE

File Number:	A0192/17TEY	Zoning	RS (f10.5; a325; d0.75) & R2A (ZZC)
Owner(s):	MEREDITH MEDNICK JASON MEDNICK	Ward:	Beaches-East York (31)
Agent:	JASON MEDNICK	Heritage:	Not Applicable
Property Address:	782 SAMMON AVE	Community:	East York
Legal Description:	PLAN M437 PT LOT 67		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0195/17TEY	Zoning	RD(fl2.0, a370, d0.6) & R1B (ZZC)
Owner(s):	VOULA THEMELIOPOULOS PETER THEMELIOPOULOS	Ward:	Toronto-Danforth (29)
Agent:	PETER THEMELIOPOULOS	Heritage:	Not Applicable
Property Address:	130 CADORNA AVE	Community:	Toronto
Legal Description:	PLAN 3053 PT LOT 40		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second floor addition and a covered front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 35% of the lot area (120.67 m²).
The lot coverage will be 36.92% of the lot area (127.28 m²).
- 2. Chapter 10.5.40.10 (1) (A), By-law 569-2013**
The maximum permitted height of a building or structure is 8.5 m.
The height of the building/structure will be 8.88 m.
- 3. Chapter 10.20.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 6.0 m.
The existing front yard setback is 4.04 m.
The proposed front yard setback will be 3.59 m.
- 4. Chapter 10.5.40.60.(7), By-law 569-2013**
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.
The eaves and troughs will project 0.4 m and will be 0.00 m from the north lot line.
- 1. Section 7.3.3, By-law 6751**
The maximum permitted lot coverage is 35% of the lot area.
The lot coverage will be 36.92% of the lot area.

2. **Section 7.3.3, By-law 6751**
The maximum permitted building height is 8.5 m.
The building height will be 8.88 m.
3. **Section 7.3.3, By-law 6751**
The minimum required front yard setback is 6.0 m.
The existing front yard setback is 4.04 m.
The proposed front yard setback will be 3.59 m.
4. **Section 7.3.3, By-law 6751**
The minimum required north side yard setback is 0.45 m.
The north side yard setback will be 0.3 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0195/17TEY	Zoning	RD(fl2.0, a370, d0.6) & R1B (ZZC)
Owner(s):	VOULA THEMELIOPOULOS PETER THEMELIOPOULOS	Ward:	Toronto-Danforth (29)
Agent:	PETER THEMELIOPOULOS	Heritage:	Not Applicable
Property Address:	130 CADORNA AVE	Community:	Toronto
Legal Description:	PLAN 3053 PT LOT 40		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0196/17TEY	Zoning:	R (d1.0)(x4) & R3 Z1.0 (BLD)
Owner(s):	SLAVE JANKULOVSKI SPIRO RISTEVSKI	Ward:	Toronto Centre-Rosedale (28)
Agent:	PETER RISTEVSKI	Heritage:	Listed
Property Address:	3 PERCY ST	Community:	Toronto
Legal Description:	PLAN 493 LOT 3		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey rowhouse by re-constructing the rear one-storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted the floor space index is 1.0 times the area of the lot (69.3 m²).
The altered townhouse will have a floor space index equal to 1.097 times the area of the lot (76.0 m²).
- 2. Chapter 10.10.40.70.(2), By-law 569-2013**
A minimum required rear yard setback is 7.5 m.
The altered townhouse will be located 4.9 m from the rear lot line.
- 1. Section 6(3) Part I 1, By-law 438-86**
The maximum permitted gross floor area is 1.0 times the area of the lot (69.3 m²).
The altered row house will have a residential gross floor area equal to 1.097 times the area of the lot (76.0 m²).
- 2. Section 6(3) Part II 4, By-law 438-86**
The minimum required rear yard setback is 7.5 m.
The altered row house will be located 4.9 m from the rear lot line.
- 3. Section 6(3) Part II 3.C(I), By-law 438-86**
The minimum required side lot line setback of a row house dwelling is 0.45 m where the side wall contains no openings.

The altered row house will be located 0.05 m from the north side lot line and 0.24 m from the south side lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the owner shall submit drawings, including replacement window specifications, to the satisfaction of the Senior Manager of Heritage Preservation Services
- (2) The applicant shall submit a letter from a qualified masonry contractor describing the methods that will be used to remove paint from the exterior brickwork, to the satisfaction of the Senior Manager of Heritage Preservation Services.

SIGNATURE PAGE

File Number:	A0196/17TEY	Zoning	R (d1.0)(x4) & R3 Z1.0 (BLD)
Owner(s):	SLAVE JANKULOVSKI SPIRO RISTEVSKI	Ward:	Toronto Centre-Rosedale (28)
Agent:	PETER RISTEVSKI	Heritage:	Listed
Property Address:	3 PERCY ST	Community:	Toronto
Legal Description:	PLAN 493 LOT 3		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.

5. 562 MILVERTON BLVD

File Number:	A0197/17TEY	Zoning	R (d0.6) (x322) & R2 Z0.6 (ZPR)
Owner(s):	LISA WALTER	Ward:	Beaches-East York (31)
Agent:	KEVIN POTTS	Heritage:	Not Applicable
Property Address:	562 MILVERTON BLVD	Community:	Toronto
Legal Description:	PLAN 571 PT LOT 168		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey semi-detached single family dwelling by creating a secondary suite in the basement, incorporating the existing enclosed porch into the ground floor habitable space (front addition), and constructing a basement walkout along the front wall.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 4.77 m.
The altered dwelling will be located 2.53 m from the front lot line.
 - 2. Chapter 10.5.50.10.(1)(D), By-law 569-2013**
A minimum of 75% of the front yard landscaping must be in the form of soft landscaping (6.45 m²).
In this case, 50% of the front yard will be maintained as soft landscaping (4.30 m²).
 - 3. Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.6 times the area of the lot (115.8 m²).
The altered dwelling will have a floor space index equal to 0.63 times the area of the lot (120.79 m²).
 - 4. Chapter 150.10.40.1.(1)(3), By-law 569-2013**
A secondary suite is a permitted use provided that the entire building was constructed more than 5 years prior to the introduction of a secondary suite, excluding additions or alterations that do not alter or add to a main wall or roof that faces a street.
In this case, the secondary suite will be constructed in conjunction with additions and alterations which alter the front wall facing the street.
- 1. Section 6(2)1.(iii)A, By-law 438-86**
A converted house is a permitted use provided there is no exterior alteration of or addition to the house except an addition to a part of the exterior, other than to the front wall.
In this case, the addition will alter the front wall.
 - 2. Section 6(2)1.(v), By-law 438-86**
A converted house is a permitted use provided that there is no substantial change in the appearance of the dwelling house as a result of the conversion.
In this case, the addition will result in a change in the appearance of the dwelling.

3. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area is 0.6 times the area of the lot (115.8 m²).

The altered dwelling will have a gross floor area equal to 0.63 times the area of the lot (120.79 m²).

4. Section 6(3) Part II 2(II), By-law 438-86

The minimum required front lot line setback is 4.77 m.

The altered dwelling will be located 2.53 m from the front lot line.

5. Section 6(3) Part II 3.F(I)(2), By-law 438-86

The minimum required side lot line setback where the side wall contains openings is 1.2 m.

The altered dwelling will be located 0.0 m to the west side lot line and 1.0 m to the east side lot line.

MOTION

It was moved by Nancy Oomen, seconded by Joanne Hayes and carried unanimously that the application be **deferred, for a maximum of 3 months**. The deferral would provide the applicant with an opportunity to revise the proposal regarding the front basement walkout and to discuss the proposal in more detail with the neighbour. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel A**.

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0198/17TEY	Zoning	RD (d0.35)(x961) & R1 Z0.35 (ZZC)
Owner(s):	NASEER ANWAR ABBASI	Ward:	Beaches-East York (32)
Agent:	NASEER ANWAR ABBASI	Heritage:	Not Applicable
Property Address:	25 PINE CRES	Community:	Toronto
Legal Description:	PLAN M390 PT LOT 51 PLAN 406 PT LOT 133		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by constructing a side second storey addition and by converting the attic to habitable space.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index of a detached dwelling is 0.35 times the area of the lot (115.37 m²).

The altered detached dwelling will have a floor space index equal to 0.736 times the area of the lot (242.63 m²).

2. Chapter 10.20.40.70.(2)(A), By-law 569-2013

The minimum required rear yard setback is 7.5 m.

The altered detached dwelling will be located 0.18 m from the east rear lot line.

3. Chapter 10.20.40.70.(3)(G), By-law 569-2013

The minimum required side yard setback is 3 m where the minimum required lot frontage is greater than 30 m.

The altered detached dwelling will be located 0.71 m from the south side lot line and 1.47 m from the north side lot line.

4. Chapter 10.5.40.60.(7), By-law 569-2013

Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.

The roof eaves will be located 0 m from the east rear lot line.

1. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area of a detached dwelling is 0.35 times the area of the lot (115.37 m²).

The altered detached dwelling will have a gross floor area equal to 0.736 times the area of the lot (242.63 m²).

2. Section 6(3) Part II 3.B(II), By-law 438-86

The minimum required side lot line setback for the portion of a detached dwelling not exceeding a depth of 17 m is 0.9 m.

The portion of the detached dwelling not exceeding a depth of 17 m will be located 0.71 m from the south side lot line and 1.47 m from the north side lot line.

3. Section 6(3) Part II 4, By-law 438-86

The minimum required rear yard setback is 7.5 m.

The altered detached dwelling will be located 0.18 m from the east rear lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0198/17TEY	Zoning	RD (d0.35)(x961) & R1 Z0.35 (ZZC)
Owner(s):	NASEER ANWAR ABBASI	Ward:	Beaches-East York (32)
Agent:	NASEER ANWAR ABBASI	Heritage:	Not Applicable
Property Address:	25 PINE CRES	Community:	Toronto
Legal Description:	PLAN M390 PT LOT 51 PLAN 406 PT LOT 133		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0200/17TEY	Zoning	RD (f15.0; d0.6) & R1 Z0.6 (ZZC)
Owner(s):	MARK SEGAL DONNA SYLVIE FABER	Ward:	St. Paul's (21)
Agent:	DAVID SMALL	Heritage:	Not Applicable
Property Address:	766 BRIAR HILL AVE	Community:	Toronto
Legal Description:	PLAN 2423 PT LOTS 21 & 22		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey detached dwelling with an integral garage with a rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.6 times the area of the lot (328.48 m²).
The new dwelling will have a floor space index equal to 0.72 times the area of the lot (393.67 m²).
- 1. Section 6(3) Part I 1, by-law 438-86**
The maximum permitted residential gross floor area is 0.6 times the area of the lot (328.48 m²).
The new detached dwelling will have a residential gross floor area equal to 0.72 times the area of the lot (393.67 m²).
- 2. Section 6(3) Part II 8 D(I), By-law 438-86**
The maximum permitted height of an uncovered platform which projects into the required setback is 1.2 m.
The rear deck will have a height of 1.86 m measured above grade.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0200/17TEY	Zoning	RD (f15.0; d0.6) & R1 Z0.6 (ZZC)
Owner(s):	MARK SEGAL DONNA SYLVIE FABER	Ward:	St. Paul's (21)
Agent:	DAVID SMALL	Heritage:	Not Applicable
Property Address:	766 BRIAR HILL AVE	Community:	Toronto
Legal Description:	PLAN 2423 PT LOTS 21 & 22		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0201/17TEY	Zoning	R (d0.6) (x729) & R2 Z0.6 (ZZC)
Owner(s):	HEATHER ELIZABETH GOODCHILD DOUGLAS BRIAN GOODCHILD	Ward:	Davenport (18)
Agent:	HEATHER ELIZABETH GOODCHILD	Heritage:	Not Applicable
Property Address:	302 GLADSTONE AVE	Community:	Toronto
Legal Description:	PLAN D6 PT LOT 31		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a rear detached garage with sanitary facilities and storage loft.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.60.20.(1)(A), By-law 569-2013

The minimum required rear yard setback is 1.00 m.

The rear detached garage will be located 0.30 m from the west rear lot line.

1. Section 2(1), By-law 438-86

A private garage is defined as a building or a portion of a building, or a carport, not over one-storey and/or four metres in height, that is used principally for the sheltering of not more than three motor vehicles.

In this case, the sanitary facilities in the rear detached garage are not permitted as part of the principal use for the garage.

2. Section 6(3) Part XI 1(2), Bylaw 438-86

An accessory building is not permitted in the rear yard of a residential lot where both the front and rear lots lines adjoin a street.

The rear detached garage will be located in the rear yard and rear lot line adjoins Macklem Avenue.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0201/17TEY	Zoning	R (d0.6) (x729) & R2 Z0.6 (ZZC)
Owner(s):	HEATHER ELIZABETH GOODCHILD DOUGLAS BRIAN GOODCHILD	Ward:	Davenport (18)
Agent:	HEATHER ELIZABETH GOODCHILD	Heritage:	Not Applicable
Property Address:	302 GLADSTONE AVE	Community:	Toronto
Legal Description:	PLAN D6 PT LOT 31		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0202/17TEY	Zoning	R(d0.6)(x736) & R2 Z0.6 (BLD)
Owner(s):	PAMELA HARRIS GREG PARSONS	Ward:	Toronto-Danforth (30)
Agent:	VALARIE FARRELL	Heritage:	Not Applicable
Property Address:	11 FRIZZELL AVE	Community:	Toronto
Legal Description:	PLAN 315E LOT 20		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To maintain the existing rear two-storey addition for which a variance was missed during the building permit process.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Chapter 10.10.40.40.(2), By-law 569-2013

Additions to the rear of a detached dwelling erected before October 15, 1953 are permitted provided the residential floor space index of the building, as enlarged, does not exceed 0.69 times the area of the lot (128.34 m²).

The altered detached dwelling will have a floor space index equal to 0.83 times the area of the lot (153.7 m²).

Section 6(3) Part VI 1(I), By-law 438-86

Additions to the rear of a detached dwelling erected before October 15, 1953, or to a converted house, are permitted provided the residential gross floor area of the building, as enlarged, does not exceed 0.69 times the area of the lot (128.34 m²).

The altered detached dwelling will have a gross floor area equal to 0.83 times the area of the lot (153.7 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0202/17TEY	Zoning	R(d0.6)(x736) & R2 Z0.6 (BLD)
Owner(s):	PAMELA HARRIS GREG PARSONS	Ward:	Toronto-Danforth (30)
Agent:	VALARIE FARRELL	Heritage:	Not Applicable
Property Address:	11 FRIZZELL AVE	Community:	Toronto
Legal Description:	PLAN 315E LOT 20		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0203/17TEY	Zoning	RD (f9.0,a280,d0.45) & R1A (ZZC)
Owner(s):	PATRICIA KONIDIS GEORGE KONIDIS	Ward:	Toronto-Danforth (29)
Agent:	GEORGE KONIDIS	Heritage:	Not Applicable
Property Address:	181 DURANT AVE	Community:	Toronto
Legal Description:	PLAN 3271 N PT LOT 5 S PT LOT 6 PLAN 3271 N2FT LOT 5 S30FT 4IN LOT 6		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey detached dwelling with finished basement. an integral garage at the front and a shed at the rear of the dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.10.(1) (A), By-law 569-2013**
The maximum permitted height of a building or structure is 8.5 m.
The height of the building/structure will be 8.9 m.
- Chapter 10.20.40.10.(2) (A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7.0 m.
The height of the front exterior main walls will be 8.2 m.
- Chapter 10.20.30.40.(1) (A), By-law 569-2013**
The maximum permitted lot coverage is 3% of the lot area (140.05 m²).
The lot coverage will be 42.1% of the lot area (168.45 m²).
- Chapter 10.20.40.20(1), By-law 569-2013**
The maximum permitted building length for a detached house is 17.0 m.
The building length will be 17.82 m.
- Chapter 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.45 times the area of the lot (180.07 m²).
The floor space index will be 0.68 times the area of the lot (271.88 m²).

6. **Chapter 10.20.40.70.(3) (B), By-law 569-2013**
The minimum required side yard setback is 0.9 m.
The south side yard setback will be 0.61 m.
7. **Chapter 10.5.40.10 (5), By-law 569-2013**
A minimum of 10.0 m² of the first floor must be within 4.0 m of the front main wall.
The proposed area within 4.0 m of the front main will be 8.37 m².
1. **Section 7.2.3, By-law 6752**
The maximum permitted floor space index is 0.45 times the lot area.
The proposed floor space index is 0.68 times the lot area (271.88 m²).
2. **Section 7.2.3, By-law 6752**
The maximum permitted building height is 8.5 m.
The proposed building height is 8.9 m.
3. **Section 7.2.3, By-law 6752**
The maximum permitted building length is 16.75 m.
The proposed building length is 17.82 m.
4. **Section 7.2.3, By-law 6752**
The minimum required front yard setback is 6.0 m.
The front yard setback will be 5.03 m.
5. **Section 7.2.3, By-law 6752**
The maximum permitted lot coverage is 35 % of the lot area.
The lot coverage will be 42.9% of the lot area.
6. **Section 7.2.3, By-law 6752**
The minimum required side yard setback is 0.9 m.
The south side yard setback will be 0.6 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (3) The lot coverage of the new detached dwelling exclusive of any detached accessory structures shall be no greater than 35.4% of the lot area under By-law 569-2013 and 36.2% of the lot area under By-law 6752.

SIGNATURE PAGE

File Number:	A0203/17TEY	Zoning	RD (f9.0,a280,d0.45) & R1A (ZZC)
Owner(s):	PATRICIA KONIDIS GEORGE KONIDIS	Ward:	Toronto-Danforth (29)
Agent:	GEORGE KONIDIS	Heritage:	Not Applicable
Property Address:	181 DURANT AVE	Community:	Toronto
Legal Description:	PLAN 3271 N PT LOT 5 S PT LOT 6 PLAN 3271 N2FT LOT 5 S30FT 4IN LOT 6		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0204/17TEY	Zoning	RD (f9.0; a280; d0.45) & R1A (ZZC)
Owner(s):	CHRISOULA SOURASIS THEODOROS MARAS	Ward:	Toronto-Danforth (29)
Agent:	GEORGE KONIDIS	Heritage:	Not Applicable
Property Address:	2 MILTON RD	Community:	Toronto
Legal Description:	PLAN 3214 PT LOT 29		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 4.83 m.
The new dwelling will be located 4.60 m from the front lot line.
- 2. Chapter 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17.0 m.
The new dwelling will have a building length equal to 17.59 m.
- 3. Chapter 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.45 times the area of the lot (141.45 m²).
The new dwelling will have a floor space index equal to 0.71 times the area of the lot (223.90 m²).
- 4. Chapter 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 35% of the lot area (110.02 m²).
The new dwelling will have a lot coverage equal to 51% of the lot area (160.65 m²).
- 1. Section 7.2.3, By-law 6752**
The minimum required front yard setback is 6.0 m.
The new dwelling will be located 4.60 m from the front lot line.

2. Section 7.2.3, By-law 6752

The maximum permitted building length is 16.75 m.

The new dwelling will have a building length equal to 17.59 m.

3. Section 7.2.3, By-law 6752

The maximum permitted floor space index is 0.45 times the area of the lot (141.45 m²).

The new dwelling will have a floor space index equal to 0.71 times the area of the lot (223.90 m²).

4. Section 7.2.3, By-law 6752

The maximum permitted lot coverage is 35% of the lot area (110.02 m²).

The new dwelling will have a lot coverage equal to 51% of the lot area (160.65 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

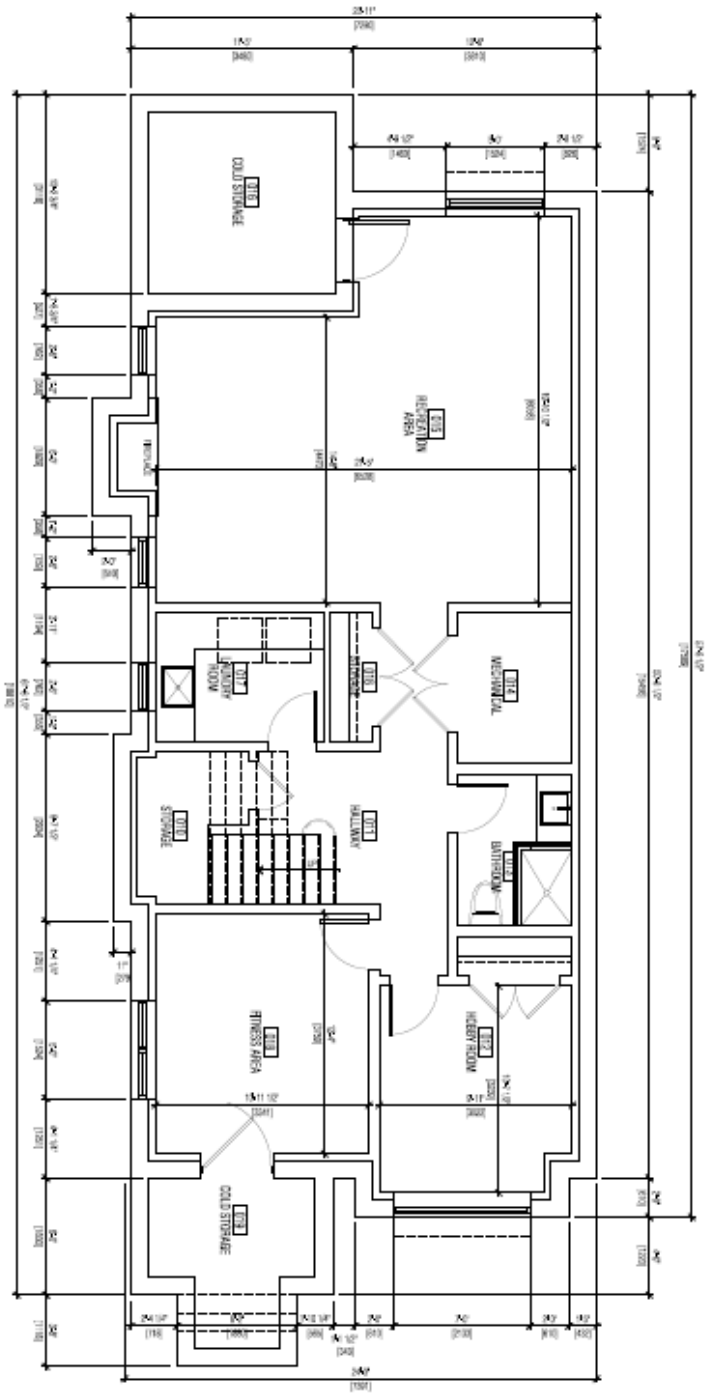
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Where there are no existing street trees, the owner shall submit a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application or elsewhere in the community if there is no space, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) The lot coverage of the new detached dwelling exclusive of any detached accessory structures shall be no greater than 40.9% of the lot area.
- (3) The building length, excluding the cold storage rooms in the basement, the front bay window on the ground floor, the rear bay window on second floor and the permitted front porch projection, shall be no greater than 15.456 m as shown on the plans (Drawings sk02, sk03 and sk04) submitted to Committee of Adjustment on April 20, 2017. Any variances that may appear on these plans that are NOT listed in the written decision are not authorized.

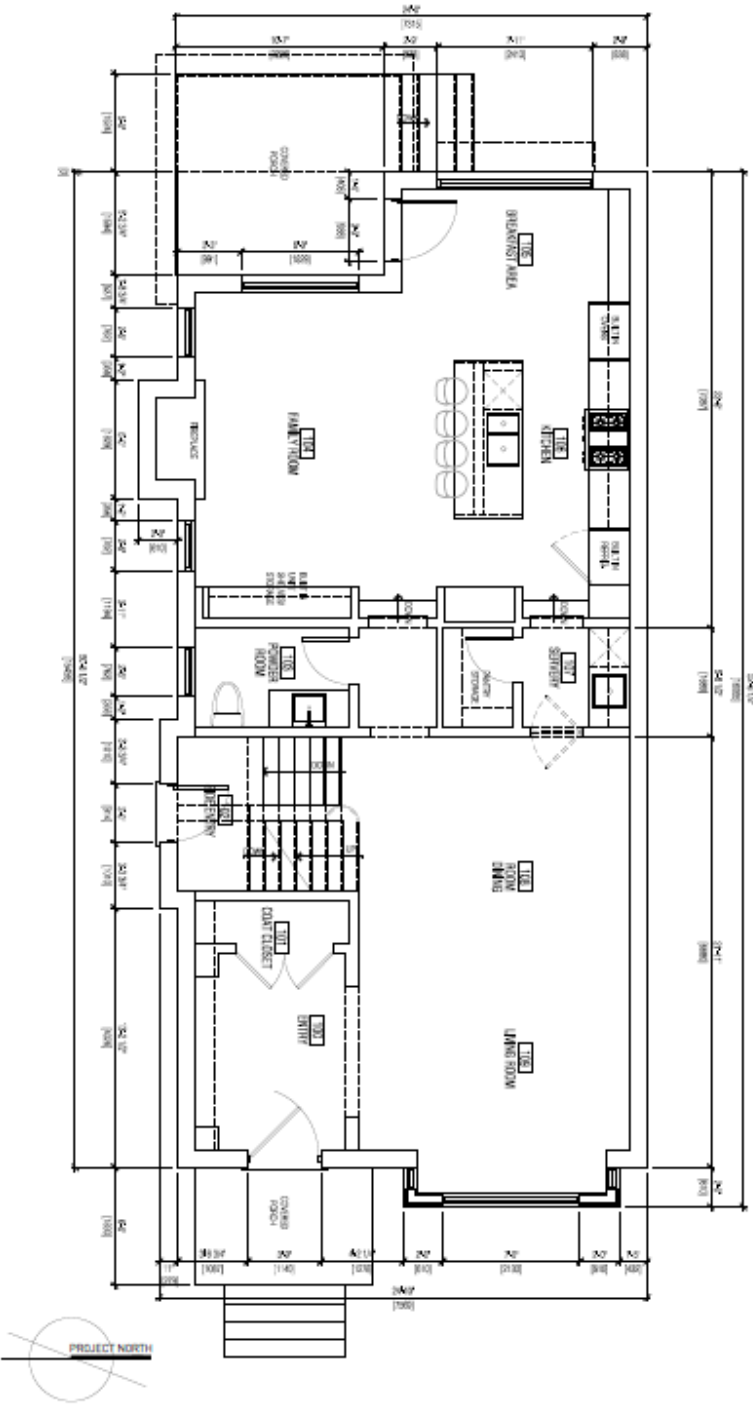


KO & CO
 ARCHITECTURE
 3301 LESLIE STREET
 TORONTO, ONTARIO M4M 3Z6
 T. 416.464.7870 | WWW.KOANDCO.CA

PRIVATE RESIDENCE
 2941 TORONTO ROAD, TORONTO, ONTARIO
 PROPOSED BASEMENT PLAN

PROJECT NO. 14-138
 DRAWING NO. 111
 SCALE: 1/8" = 1'-0"

SK 02

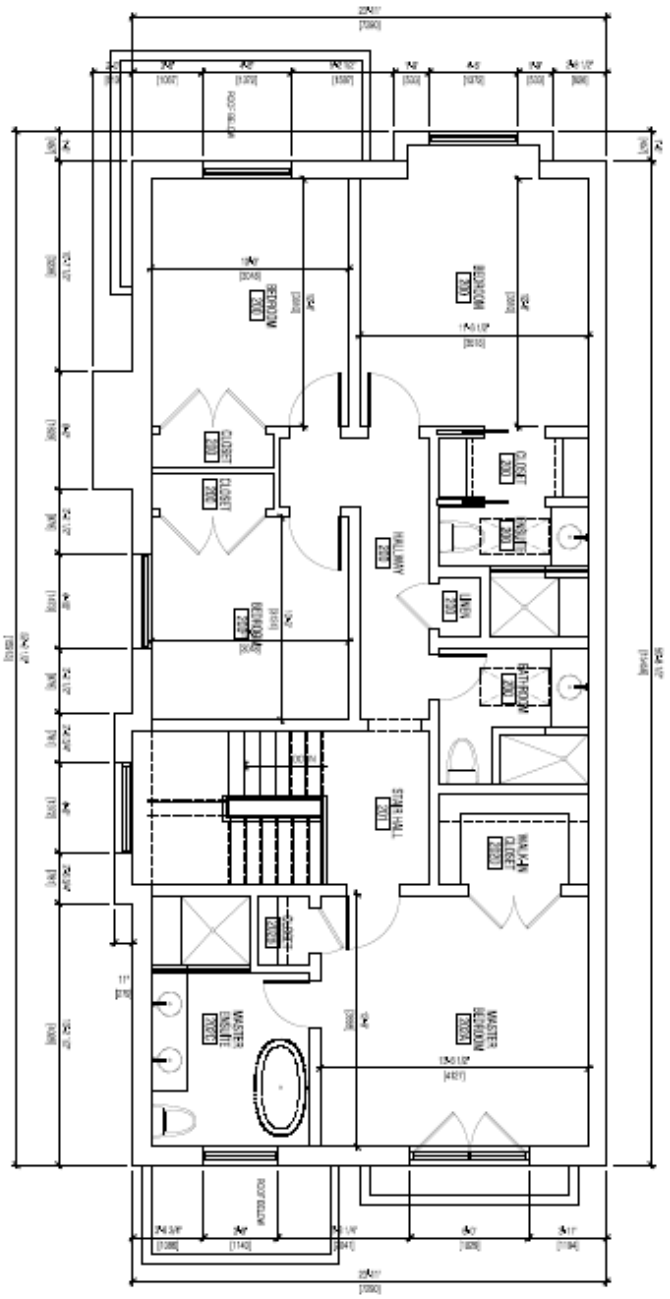


KO & CO
 RESIDENTIAL ARCHITECTURE
 240 TORONTO ST. TORONTO, ONTARIO
 T. 416 464 7000 | WWW.KOANDCO.COM

PRIVATE RESIDENCE
 240 TORONTO ST. TORONTO, ONTARIO
 PROPOSED GROUND LEVEL PLAN

PROJECT NO.: 14-138
 DATE: 1/15
 PAGE: 1/3

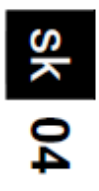




KO & CO
 KOSINSKI & COMPANY
 ARCHITECTURE
 335 LEBELL ROAD
 TORONTO, ON M8B 2W6
 T. 416 444 7000 | WWW.KOANDCO.COM

PRIVATE RESIDENCE
 242 TORONTO ROAD | TORONTO, ONTARIO
 PROPOSED SECOND LEVEL PLAN

PROJECT NO. 14-138
 DRAWING NO. 200
 SCALE: 1/8" = 1'-0"



SIGNATURE PAGE

File Number:	A0204/17TEY	Zoning	RD (f9.0; a280; d0.45) & R1A (ZZC)
Owner(s):	CHRISOULA SOURASIS THEODOROS MARAS	Ward:	Toronto-Danforth (29)
Agent:	GEORGE KONIDIS	Heritage:	Not Applicable
Property Address:	2 MILTON RD	Community:	Toronto
Legal Description:	PLAN 3214 PT LOT 29		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0205/17TEY	Zoning	RD (f13.5; d0.6)(x1436) & R1 Z0.6 (BLD)
Owner(s):	SHERAZADI REMTULLA MEHBOOB REMTULLA	Ward:	Toronto Centre-Rosedale (27)
Agent:	PAT HANSON	Heritage:	Designated
Property Address:	27 CHESTNUT PK	Community:	Toronto
Legal Description:	PLAN 271E W PT LOT 25		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and to maintain the chimney breast on the existing 2½-storey detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 6(3) Part II 8 C, By-law 438-86

The maximum permitted projection of a chimney breast into the required setback is 0.3 m. In this case, the projection of the chimney breast is 0.45 m into the required side yard setback.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0205/17TEY	Zoning	RD (f13.5; d0.6)(x1436) & R1 Z0.6 (BLD)
Owner(s):	SHERAZADI REMTULLA MEHBOOB REMTULLA	Ward:	Toronto Centre-Rosedale (27)
Agent:	PAT HANSON	Heritage:	Designated
Property Address:	27 CHESTNUT PK	Community:	Toronto
Legal Description:	PLAN 271E W PT LOT 25		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0206/17TEY	Zoning:	(R d0.6 H10.0m x296) & (R2 Z0.6 H10.0m) (ZZC)
Owner(s):	NEIL MURPHY ANURADHA IYER	Ward:	Parkdale-High Park (14)
Agent:	GEOFFREY MOOTE	Heritage:	Not Applicable
Property Address:	27 1/2 GARDEN AVE	Community:	Toronto
Legal Description:	PLAN 649 PT LOTS 18 & 19		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey semi-detached dwelling by constructing a rear one-storey addition and a rear ground floor deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.30.(1)(A), By-law 569-2013**
The maximum permitted depth of a semi-detached dwelling is 17.0 m.
The altered dwelling will have a depth of 19.55 m.
- 2. Chapter 10.10.40.40.(2)(A), By-law 569-2013**
Additions to the rear of a semi-detached dwelling erected before October 15, 1953 are permitted provided the residential floor space index of the building, as enlarged, does not exceed 0.69 times the area of the lot (131.5 m²).
The altered dwelling will have a floor space index equal to 0.72 times the area of the lot (138 m²).
- 1. Section 6(3) Part VI 1(V), By-law 438-86**
The maximum permitted depth of a semi-detached dwelling is 17.0 m.
The altered dwelling will have a depth of 19.55 m.
- 2. Section 6(3) Part VI 1(I), By-law 438-86**
Additions to the rear of a semi-detached dwelling erected before October 15, 1953, or to a converted house, are permitted provided the residential gross floor area of the building, as enlarged, does not exceed 0.69 times the area of the lot (131.5 m²).
The altered dwelling will have a gross floor area equal to 0.72 times the area of the lot (138.0 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The altered dwelling shall be constructed such that Variance #1 to Zoning By-law 569-2013, and related Variance #1 to Zoning By-law 438-86, regarding the maximum permitted building depth, shall be limited to the first storey of the building.

SIGNATURE PAGE

File Number:	A0206/17TEY	Zoning	(R d0.6 H10.0m x296) & (R2 Z0.6 H10.0m) (ZZC)
Owner(s):	NEIL MURPHY ANURADHA IYER	Ward:	Parkdale-High Park (14)
Agent:	GEOFFREY MOOTE	Heritage:	Not Applicable
Property Address:	27 1/2 GARDEN AVE	Community:	Toronto
Legal Description:	PLAN 649 PT LOTS 18 & 19		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0207/17TEY	Zoning	R (d0.6)(x751) & R2 Z0.6 (ZZC)
Owner(s):	CHRISTINA WONG KEVIN PILLE	Ward:	Davenport (18)
Agent:	BRETT VUKETS	Heritage:	Not Applicable
Property Address:	246 PERTH AVE	Community:	Toronto
Legal Description:	PLAN M13 PT LOT 211		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey semi-detached dwelling by constructing a third-storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.40.30.(1)(A), By-law 569-2013**
The maximum permitted building depth for a semi-detached house is 17.0 m.
The altered dwelling will have a building depth of 17.25 m.
- Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 9.50 m.
The height of the side exterior main walls facing a side lot line will be 9.96 m.
- Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.6 times the area of the lot (141.83 m²).
The altered dwelling will have a floor space index equal to 0.76 times the area of the lot (178.74 m²).
- Section 6(3) Part II 3.C(I), By-law 438-86**
The minimum required side lot line setback is 0.45 m, where the side wall contains no openings.
The altered dwelling will be located 0.0 m from the north side lot line.
- Section 6(3) Part II 3(I), By-law 438-86**
A building is required to setback a minimum of 0.9 m to the side wall of an adjacent building that contains no openings.
The altered dwelling will be located 0.0 m from the north adjacent building, 248 Perth Avenue.

3. Section 6(3) Part 5(II), By-law 438-86

The maximum permitted building depth is 17.0 m.

The altered dwelling will have a building depth of 17.25 m.

4. Section 6(3) Part I 1, By-law 438-86

The maximum permitted residential gross floor area is 0.6 times the area of the lot (141.83 m²).

The altered dwelling will have a residential gross floor area equal to 0.76 times the area of the lot (178.74 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0207/17TEY	Zoning	R (d0.6)(x751) & R2 Z0.6 (ZZC)
Owner(s):	CHRISTINA WONG KEVIN PILLE	Ward:	Davenport (18)
Agent:	BRETT VUKETS	Heritage:	Not Applicable
Property Address:	246 PERTH AVE	Community:	Toronto
Legal Description:	PLAN M13 PT LOT 211		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0208/17TEY	Zoning	RD (f15.0; d0.35(x1332) & R1 Z0.35
Owner(s):	CHERYL KAPLAN	Ward:	St. Paul's (22)
Agent:	CHARLES MACPHAIL	Heritage:	Not Applicable
Property Address:	527 SPADINA RD	Community:	Toronto
Legal Description:	PLAN 824 PT LOT 143		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by constructing a rear second storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Chapter 10.10.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index of a detached dwelling is 0.35 times the area of the lot (148.79 m²).

The altered detached dwelling will have a floor space index equal to 0.61 times the area of the lot (259.61 m²).

Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area of a detached dwelling is 0.35 times the area of the lot (148.79 m²).

The altered detached dwelling will have a gross floor area equal to 0.61 times the area of the lot (259.61 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.

- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

SIGNATURE PAGE

File Number:	A0208/17TEY	Zoning	RD (f15.0; d0.35(x1332) & R1 Z0.35
Owner(s):	CHERYL KAPLAN	Ward:	St. Paul's (22)
Agent:	CHARLES MACPHAIL	Heritage:	Not Applicable
Property Address:	527 SPADINA RD	Community:	Toronto
Legal Description:	PLAN 824 PT LOT 143		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0209/17TEY	Zoning	R(d0.6) (x735) & R2 Z0.6 (ZZC)
Owner(s):	JOHN ROBERT MARCUCCI ANNE LOUISE SHEPHERD	Ward:	Trinity-Spadina (19)
Agent:	STUART HATCH	Heritage:	Not Applicable
Property Address:	442 MARKHAM ST	Community:	Toronto
Legal Description:	PLAN 610 LOT 1		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter a three-storey detached house by constructing a roof over an existing front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.60 (2), By-law 569-2013**
A roof above a platform, which is attached to a main front wall, is permitted to encroach a maximum of 1.85 m into the required front yard setback.
The roof will encroach 2.96 m into the required front yard setback.
- Section 6(3) Part II 8 F(III), By-law 438-86**
A roof over a platform or terrace is permitted to project into the required setbacks provided it does not extend beyond the side walls of the building as projected.
The roof will extend beyond the side walls as projected.
- Section 6(3) Part II 8 F(II), By-law 438-86**
A roof over a first floor platform is permitted to project into the front yard setback not more than 2.5 m from the front wall.
The roof will project 2.96 m from the front wall.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0209/17TEY	Zoning	R(d0.6) (x735) & R2 Z0.6 (ZZC)
Owner(s):	JOHN ROBERT MARCUCCI ANNE LOUISE SHEPHERD	Ward:	Trinity-Spadina (19)
Agent:	STUART HATCH	Heritage:	Not Applicable
Property Address:	442 MARKHAM ST	Community:	Toronto
Legal Description:	PLAN 610 LOT 1		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0210/17TEY	Zoning	R(d1.0)(x868) &R3 Z1.0 (ZZC)
Owner(s):	HASMIG ROYAN DANIEL ROYAN HAGOP JAMIE BEURKLIAN	Ward:	Trinity-Spadina (19)
Agent:	HAGOP JAMIE BEURKLIAN	Heritage:	Not Applicable
Property Address:	44 MASSEY ST	Community:	Toronto
Legal Description:	PLAN 958 PT LOT 13		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing 2½-storey townhouse by constructing a third floor with a rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.60.(7), By-law 569-2013**
Roof eaves are permitted to project 0.9 m provided they are no closer than 0.3 m to a lot line. In this case, the third floor roof eave will project 0.45 m into the front yard setback and will be located 0.0 m from the north lot line and 0.0 m from the south lot line.
- Chapter 10.5.40.60.(7), By-law 569-2013**
Roof eaves are permitted to project 0.9 m provided they are no closer than 0.3 m to a lot line. In this case, the second floor roof eave will project 0.61 m into the rear yard setback and will be located 0.0 m from the north lot line and 0.0 m from the south lot line.
- Chapter 10.10.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 9.5 m. In this case, the height of the front exterior main wall will be 10.51 m.
- Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted the floor space index is 1.0 times the area of the lot (114.25 m²). The altered townhouse will have a floor space index equal to 1.6 times the area of the lot (183.37 m²).

5. **Chapter 10.10.40.30.(1)(B), By-law 569-2013**
The maximum permitted building depth for a townhouse is 14.0 m.
The altered townhouse will have a depth of 15.23 m.
1. **Section 6(3) Part II 3.C(I), By-law 438-86**
The minimum required side lot line setback of a row house dwelling is 0.45 m where the side wall contains no openings.
In this case, the front third floor roof eave will be located 0.0 m from the north lot line and 0.0 m from the south lot line.
2. **Section 6(3) Part II 3.C(I), By-law 438-86**
The minimum required side lot line setback of a row house dwelling is 0.45 m where the side wall contains no openings.
In this case, the rear second floor roof eave will be located 0.0 m from the north lot line and 0.0 m from the south lot line.
3. **Section 6(3) Part II 4, By-law 438-86**
The minimum required rear yard setback is 7.5 m.
The second floor roof eave projection will be located 4.37 m from the rear lot line.
4. **Section 6(3) Part II 3.C(I), By-law 438-86**
The minimum required side lot line setback of a row house dwelling is 0.45 m where the side wall contains no openings.
In this case, the third floor addition will be located 0.0 m from the north lot line and 0.0 m from the south lot line.
5. **Section 6(3) Part II 5(I), By-law 438-86**
The maximum permitted depth of a row house is 14.0 m.
The altered row house will have a depth of 15.84 m.
6. **Section 6(3) Part I 1, By-law 438-86**
The maximum permitted gross floor area is 1.0 times the area of the lot (114.25 m²).
The altered row house will have a residential gross floor area equal to 1.6 times the area of the lot (183.37 m²).
7. **Section 6(3) Part II 3(I), By-law 438-86**
The minimum required side lot line setback from the side wall of an adjacent building that does not contain any openings is 0.9 m.
The third floor addition will be located 0.0 m from the side wall of the adjacent building on the north side and 0.0 m from the adjacent building on the south side.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

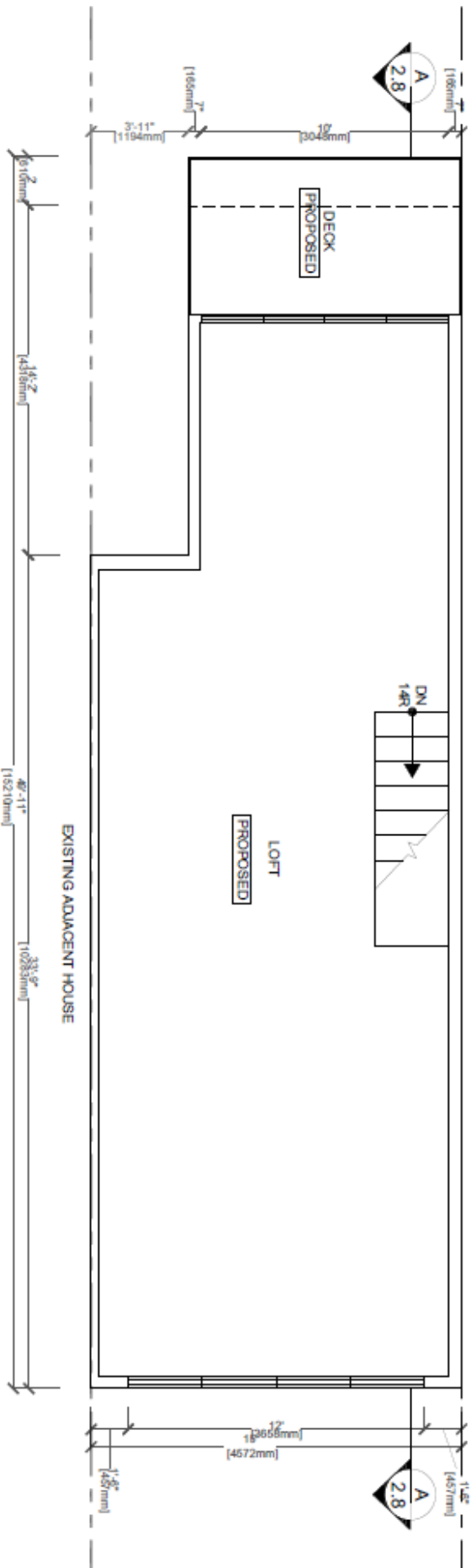
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The third floor of the proposed dwelling have a maximum building depth of 13 m exclusive of the rear deck, as per the third floor plan dated February 23, 2017 and submitted to the Committee of Adjustment on February 23, 2017. Any variances that may appear on the plan that are NOT listed in the written decision are not authorized.
- (2) The rear third floor deck shall be constructed with opaque privacy screening or fencing that is permanent, located on the west edge of the deck, and a minimum height of 1.5 m, measured from the floor of the deck.



NOTES:
 THESE DRAWINGS ARE TO COMMUNICATE THE PROPOSED 3RD FLOOR ADDITION FOR THE APPROVAL OF THE COMMITTEE OF ADJUSTMENTS.

DRAWN BY JAMIE BEURKLIAN
 CONTACT: JBEURKLIAN@GMAIL.COM

ISSUE:	SCALE:	44 MASSEY STREET TORONTO, ONTARIO, M6J 2T4	PROPOSED THIRD FLOOR PLAN	2.4 A8
A7 - ISSUED FOR ZONING REVIEW	1:50			
A8 - ISSUED FOR COA APPLICATION	DATE:			
	23/02/2017			

SIGNATURE PAGE

File Number:	A0210/17TEY	Zoning	R(d1.0)(x868) &R3 Z1.0 (ZZC)
Owner(s):	HASMIG ROYAN DANIEL ROYAN HAGOP JAMIE BEURKLIAN	Ward:	Trinity-Spadina (19)
Agent:	HAGOP JAMIE BEURKLIAN	Heritage:	Not Applicable
Property Address:	44 MASSEY ST	Community:	Toronto
Legal Description:	PLAN 958 PT LOT 13		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0211/17TEY	Zoning:	RS & R2A (BLD)
Owner(s):	PETER KARASTAMATIS GEORGE KARASTAMATIS	Ward:	Toronto-Danforth (29)
Agent:	STAVROS THEODORAKOPOULOS	Heritage:	Not Applicable
Property Address:	164-166 DONLANDS AVE	Community:	East York
Legal Description:	PLAN M484 PT LOT 807 PT LOT 808 198-202B SAMMON AVE		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and maintain the existing two-storey mixed-use building by permitting a retail store on the ground floor.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Chapter 10.40.20.10.(1), By-law 569-2013

A Retail Store is not permitted in a Residential Zone.

In this case, the existing Retail Store, occupying a portion of the ground floor of the building, will be maintained.

Section 7.5.1, By-law 6752

Commercial (Retail) uses are not permitted in the R2A Zone.

In this case, the existing Commercial (Retail) use, occupying a portion of the ground floor of the building, will be maintained.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0211/17TEY	Zoning	RS & R2A (BLD)
Owner(s):	PETER KARASTAMATIS GEORGE KARASTAMATIS	Ward:	Toronto-Danforth (29)
Agent:	STAVROS THEODORAKOPOULOS	Heritage:	Not Applicable
Property Address:	164-166 DONLANDS AVE	Community:	East York
Legal Description:	PLAN M484 PT LOT 807 PT LOT 808 198-202B SAMMON AVE		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0212/17TEY	Zoning	R (d1.0)(x804) & R4 Z1.0 (ZZC)
Owner(s):	ERIK WENZEL	Ward:	Trinity-Spadina (19)
Agent:	ERIK WENZEL	Heritage:	Not Applicable
Property Address:	56 FENNINGS ST	Community:	Toronto
Legal Description:	PLAN D186 PT LOT 36		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by constructing a rear second storey addition, enlarging the front second storey balcony, and by maintaining the existing third dwelling unit.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.40.30.(1)(A), By-law 569-2013

The maximum permitted depth of a detached dwelling is 17 m.
The altered detached dwelling will have a depth of 20.27 m.

1. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area of a detached dwelling is 1.0 times the area of the lot (261.7 m²).
The altered detached dwelling will have a gross floor area equal to 1.27 times the area of the lot (331.1 m²).

2. Section 6(3) Part II 5(I), By-law 438-86

The maximum permitted depth of a detached dwelling is 14 m.
The altered detached dwelling will have a depth of 20.27 m.

3. Section 6(3) Part II 3.F(I)(1)(A), By-law 438-86

A converted house in the 1.0 zone must have a minimum side yard setback of 0.45 m where the side wall contains no openings.
The altered detached dwelling will be located 0 m from the north side lot line.

4. Section 6(3) Part II 3(I), By-law 438-86

The minimum required setback from the side wall of an adjacent building that does not contain any openings is 0.9 m.

The altered detached dwelling will be located 0 m from the side wall of the north adjacent building, 58 Fennings Street.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0212/17TEY	Zoning	R (d1.0)(x804) & R4 Z1.0 (ZZC)
Owner(s):	ERIK WENZEL	Ward:	Trinity-Spadina (19)
Agent:	ERIK WENZEL	Heritage:	Not Applicable
Property Address:	56 FENNINGS ST	Community:	Toronto
Legal Description:	PLAN D186 PT LOT 36		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0213/17TEY	Zoning:	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	NICOLA CHERIE POOLE MINH HUU TUONG NGUYEN	Ward:	Trinity-Spadina (19)
Agent:	MINH HUU TUONG NGUYEN	Heritage:	Not Applicable
Property Address:	311 SHAW ST	Community:	Toronto
Legal Description:	PLAN 399 BLK H PT LOT 7		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a rear one-storey detached garage with roof top patio.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.60.20.(3)(C)(iii), By-law 569-2013**
The minimum required side yard setback for an ancillary building or structure located in the rear yard and 1.8 m or more from the residential building on the lot is 0.3 m.
The rear detached garage will be located 0.00 m from the north side lot line, and 0.00 m from the south side lot line.
- Chapter 10.5.60.40.(2)(B), By-law 569-2013**
The maximum permitted height of an ancillary building is 4.0 m.
The rear detached garage will have a height of 4.47 m.
- Chapter 10.5.60.40.(3), By-law 569-2013**
An ancillary building or structure is permitted a maximum height of one storey.
The rear detached garage will have a height of two storeys.
- Chapter 10.5.60.50.(2)(B), By-law 569-2013**
The maximum permitted total floor area of all ancillary buildings or structure on the lot is 40.0 m².
The rear detached garage will have a floor area of 53.04 m².
- Chapter 10.10.60.70.(1), By-law 569-2013**
The area of the lot covered by all ancillary buildings and structures may not exceed 5% of the lot area (13.33 m²).
The rear detached garage will have a lot coverage of 20% (53.04 m²).

1. Section 6(3) Part II 7(I), By-law 438-86

The minimum required setback of an accessory structure to all lot lines is 3.0 m.

The rear detached garage will be located 1.05 m from the east rear lot line, 0.00 m from the north side lot line, and 0.00 m from the south side lot line.

2. Section 2(1), By-law 438-86

An ancillary building or structure is permitted a maximum height of one storey.

The rear detached garage will have a height of two storeys.

3. Section 2(1), By-law 438-86

The maximum permitted height of an ancillary building is 4.0 m.

The rear detached garage will have a height of 4.47 m.

4. Section 6(3) Part I 2, By-law 438-86

An accessory building is permitted a maximum floor area no greater than 5% of the lot area (13.33 m²).

The rear detached garage will have a gross floor area equal to 20% of the lot area (53.04 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0213/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	NICOLA CHERIE POOLE MINH HUU TUONG NGUYEN	Ward:	Trinity-Spadina (19)
Agent:	MINH HUU TUONG NGUYEN	Heritage:	Not Applicable
Property Address:	311 SHAW ST	Community:	Toronto
Legal Description:	PLAN 399 BLK H PT LOT 7		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0214/17TEY	Zoning	R (d0.6)(x312) & R2 Z0.6 (ZZC)
Owner(s):	ALENE TOULANY JAMES EDWARD VERNON PUGH	Ward:	Toronto-Danforth (29)
Agent:	GEORGE ZAJAC	Heritage:	Not Applicable
Property Address:	6 ARUNDEL AVE	Community:	Toronto
Legal Description:	PLAN 709 PT LOT 124 RP 66R23806 PARTS 3 AND 4		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey semi-detached dwelling by constructing: a new rear one-storey addition, a rear second and third-storey addition above the rear one-storey portion, a third-storey addition with a rear terrace, a new front covered porch, a rear deck and a rear detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.60.(1)(A)(i), By-law 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required front yard setback 1.96 m.
The platform will encroach 2.31 m into the east front lot line.
- Chapter 10.5.40.60.(2)(A), By-law 569-2013**
A canopy, awning or similar structure above a platform may encroach into a required building setback to the same extent as the platform it is covering.
The front canopy encroaches 0.17 m beyond the platform it is covering into the east front and south yard setbacks.
- Chapter 10.5.40.60.(7), By-law 569-2013**
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.3 m to a lot line.
The eaves will be located 0.0 m from the south and north side lot lines.
- Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The height of the side exterior main walls facing a side lot line is 9.84 m.

5. **Chapter 10.10.40.30.(1)(A), By-law 569-2013**
The maximum permitted building depth for a detached house is 17.0 m.
The altered dwelling will have a building depth of 18.38 m, measured from the front wall to the rear wall.
6. **Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.6 times the area of the lot (119.56 m²).
The altered dwelling will have a floor space index equal to 1.14 times the area of the lot (227.42 m²).
1. **Section 6(3) Part I 1, By-law 438-86**
The maximum permitted residential gross floor area is 0.6 times the area of the lot (119.56 m²).
The altered dwelling will have a residential gross floor area equal to 1.14 times the area of the lot (227.42 m²).
2. **Section 6(3) Part II 3(II), By-law 438-86**
A building is required a minimum of 1.2 m setback from the portion of the side wall of an adjacent building, which contains openings.
The altered dwelling will be located 0.54 m from the south adjacent building, 4 Arundel Avenue which contains openings.
The altered dwelling will be located 0.97 m from the north adjacent building, 8 Arundel Avenue which contains openings.
3. **Section 6(3) Part II 3.B(I), By-law 438-86**
The minimum required side lot line setback for the portion of the dwelling not exceeding a building depth of 17.0 m is 0.45 m, where the side wall contains no openings.
The altered dwelling will be located 0.17 m from the north side lot line, where the side wall contains no openings.
4. **Section 6(3) Part II 3(B)(II), By-law 438-86**
The minimum required side lot line setback for the portion of the dwelling not exceeding a building depth of 17.0 m is 0.9 m, where the side wall contains openings.
The altered dwelling will be located 0.18 m from the south side lot line, where the side wall contains openings.
5. **Section 6(3) Part II 3.B(II), By-law 438-86**
The minimum required side lot line setback for the portion of the dwelling exceeding a building depth of 17.0 m is 7.5 m.
The 2.75 m portion of the altered dwelling exceeding a building depth of 17.0 m will be located 1.10 m from the south side lot line and 0.18 m from the north side lot line.
6. **Section 6(3) Part II 8 A, By-law 438-86**
Eaves or cornices are permitted to project a maximum of 0.45 m into the required setback.
The front eaves will project 0.75 m from the front wall.
7. **Section 6(3) Part II 8F(III), By-law 438-86**
A roof over platform or terrace is permitted to project into the required setbacks provided it does not extend beyond the side walls of the building as projected.
The roof will extend 0.17 m beyond the south side wall.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0214/17TEY	Zoning	R (d0.6)(x312) & R2 Z0.6 (ZZC)
Owner(s):	ALENE TOULANY JAMES EDWARD VERNON PUGH	Ward:	Toronto-Danforth (29)
Agent:	GEORGE ZAJAC	Heritage:	Not Applicable
Property Address:	6 ARUNDEL AVE	Community:	Toronto
Legal Description:	PLAN 709 PT LOT 124 RP 66R23806 PARTS 3 AND 4		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0215/17TEY	Zoning	CR 2.5 (c1.0; r2.0) SS2 (x1732) & MCR T2.5 C1.0 R2.0
Owner(s):	ROWKIN INC	Ward:	Davenport (18)
Agent:	EDWARD LEE	Heritage:	Not Applicable
Property Address:	1438 DUNDAS ST W	Community:	Toronto
Legal Description:	PLAN 989 PT LOTS 1 TO 2		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a twenty seat rear restaurant patio.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 40.10.20.100.(21)(D), By-law 569-2013**
An outdoor patio must be set back at least 30.0 m from a lot in the Residential Zone category or Residential Apartment Zone category.
The rear restaurant patio will be located 5.03 from a lot in the Residential Zone category.
- Chapter 900.11.10.(2), By-law 569-2013**
A minimum of one parking space is required to be provided.
In this case, zero parking spaces will be provided.
- Section 8(2) 7(I), By-law 438-86**
A patio is not permitted in the rear yard of a building if the lot abuts, or is separated from, a lot in a residential district by a lane having a width of less than 10 m.
In this case, the rear patio will be on a lot that is separated from a lot in a residential district by a lane having a width of 4.57 m.
- Section 4(3)(a), By-law 438-86**
An on-site parking facility is required to be maintained having a minimum depth of 6.0 m and having a minimum width equal to the width of the lot.
In this case, no parking facility will be provided.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

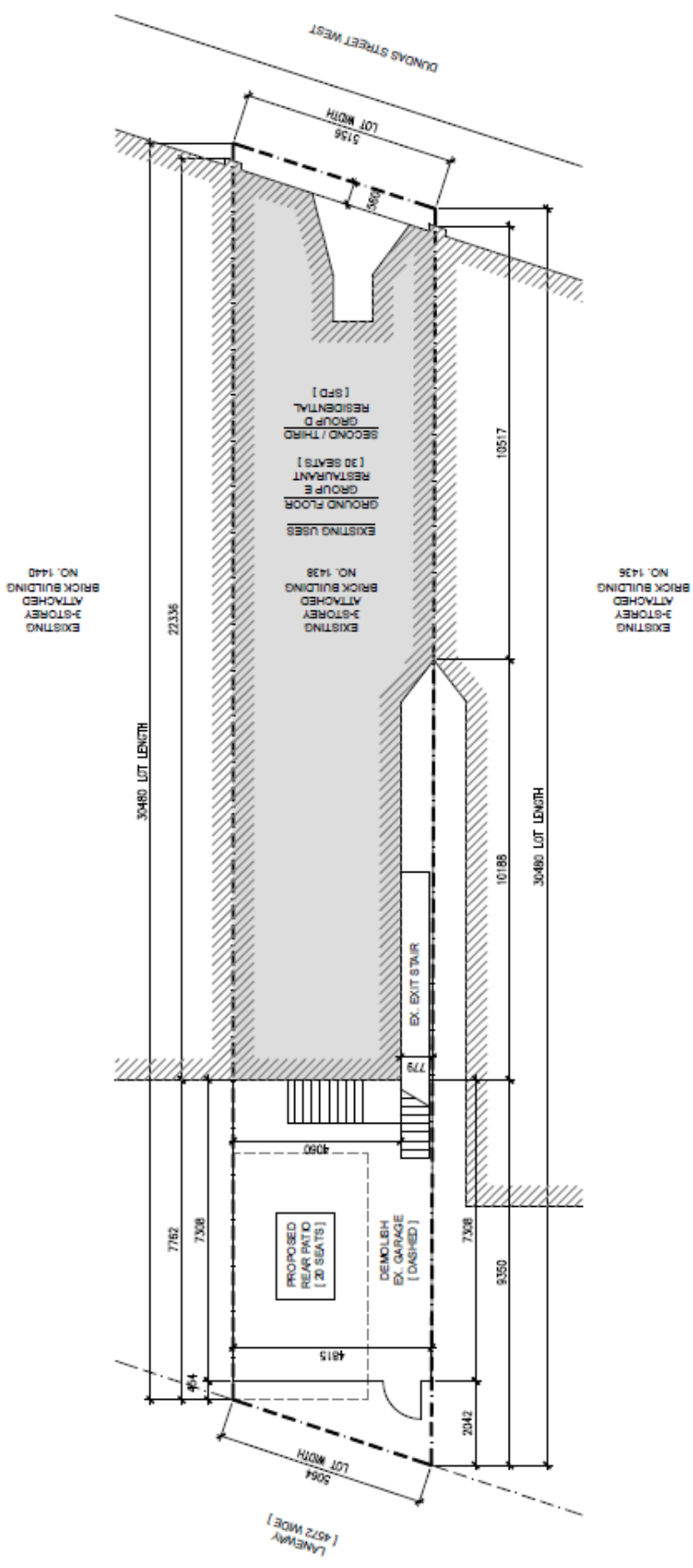
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The opening hours for the patio shall be restricted to 11:00 a.m. to 11:00 p.m.
- (2) No music, artificial or amplified sound shall be played on, or projected into, the patio area.
- (3) The plans submitted to Toronto Building for building permit shall be substantially in accordance with plans dated February 2, 2017, and submitted to the Committee of Adjustment Staff on February 24, 2017 and which enables the proposed 1.4 m lane widening required by Transportation Services. Any variances that may appear on these plans that are NOT listed in the written decision are not authorized.
- (4) The owner shall convey to the City, prior the issuance of a building permit, at a nominal cost, a 1.4 m wide strip of land, along the north limit of the site abutting the public lane, to the satisfaction of Transportation Services. Such lands shall be free and clear of all encumbrances, save and except for utility poles, trees, and subject to a right-of-way for access purposes in favour of the Grantor until such time as the said lands have laid out and dedicated for public highway purposes,
- (5) The owner shall submit to the Executive Director of Engineering and Construction Services, for review and acceptance, prior to depositing in the appropriate Land Registry Office, a draft Reference Plan of Survey, in metric units and integrated into the Ontario Coordinate System, with coordinate values shown on the face of the plan, and delineating thereon by separate PARTS the lands to be conveyed to the City for lane widening purposes, the remainder of the site, and any appurtenant easements.
- (6) The restaurant patio shall be shifted further south so as not to be within the 1.4 m public lane conveyance.

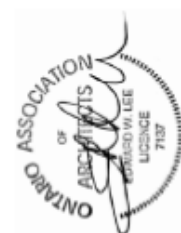


PROJECT STATISTICS

CR 25 (c1.0; 2.0) 882 (s1732)	
SITE LOT AREA	148,117 SQM
EXISTING BUILDING AREA	96,322 SQM
EXISTING GROSS FLOOR AREA	285,157 SQM
PROPOSED GROSS FLOOR AREA	NO CHANGE (0.0/0.0; (1.3))
FLOOR SPACE INDEX	NO CHANGE (0.0/0.0; (1.3))
PROPOSED PARKING	ZERO SPACE

Contractor must check and verify all dimensions on the job. Do not scale drawings. All drawings, specifications and related documents are the copyright property of the Architect and must be read and used in accordance with the contract documents. No part of this drawing is to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the architect's written permission. This drawing is not meant to be used for construction until signed by the architect.

EDWARD LEE ARCHITECT
 6 ARGYLE STREET
 TORONTO, ONTARIO M4J 1M4
 E: info@edwardlee.ca T: 647.894.7172



1438 DUNDAS STREET WEST
 TORONTO, ONTARIO, CANADA

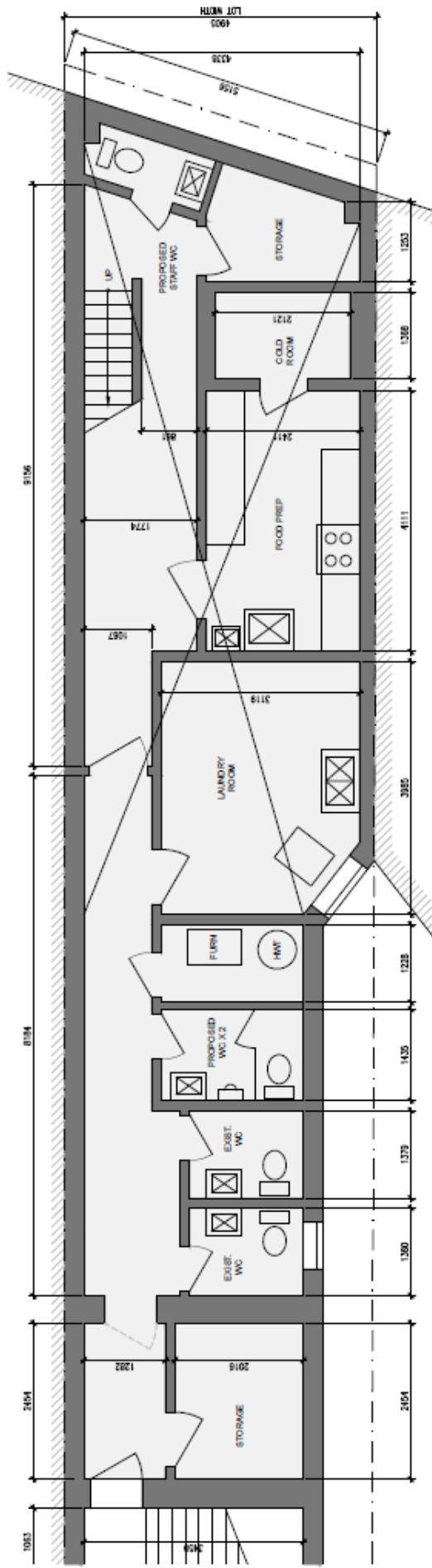
PROPOSED
 SITE PLAN



SCALE: 1:100
 DRAWN BY: BL
 DATE: 2017/02/09
 A-1
 COA

* COMMITTEE OF ADJUSTMENTS

THE FEDERAL RESERVE



REFERENCE ONLY
(NO CHANGE TO EXISTING)
INTERNAL LAYOUT

EXISTING
WASHROOMS
2 X WC

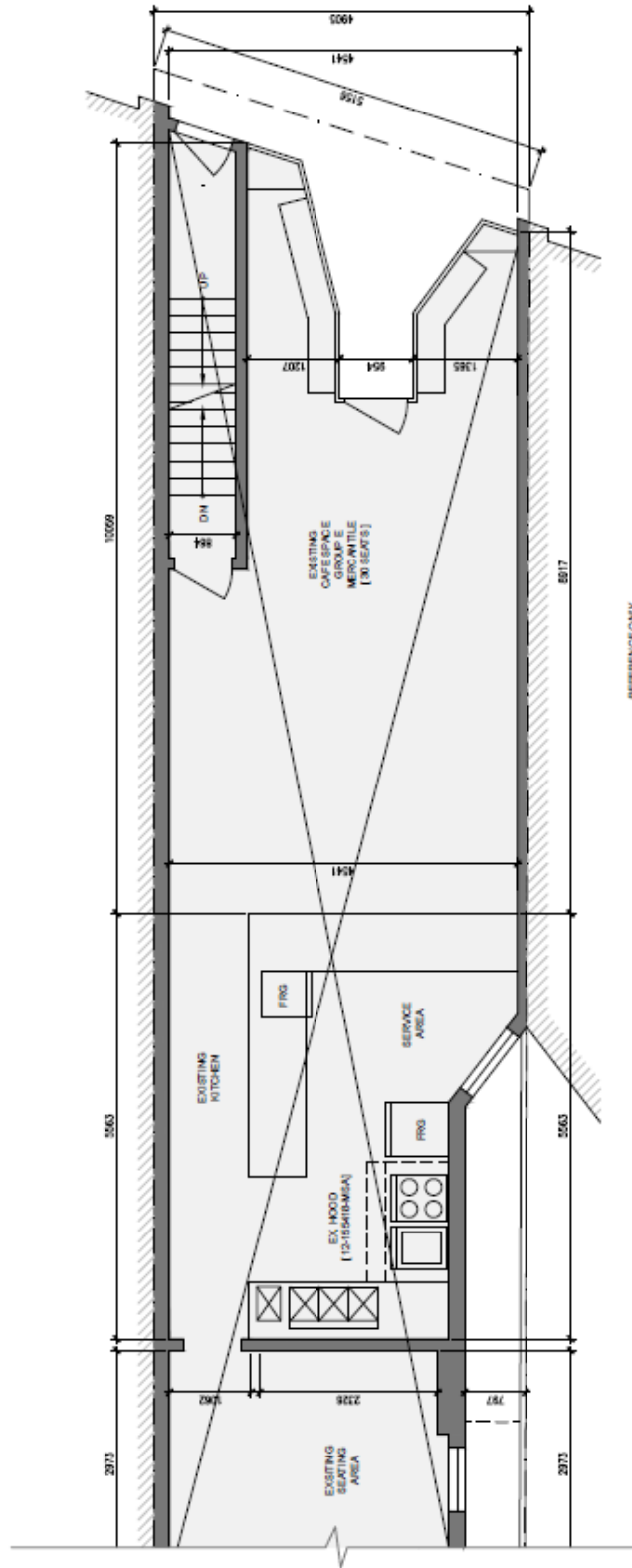
ADDITIONAL
2 X WC



1438 DUNDAS STREET WEST TORONTO, ONTARIO, CANADA		THE FEDERAL RESERVE	
PROPOSED BASEMENT FLOOR PLAN	SCALE: 1:50	A-2	
	DRAWN BY: BL		
	DATE: 2017/02/09	COA	

Contractor must check and verify all dimensions on the job. Do not scale drawings. All drawings, specifications and related documents are the copyright property of the Architect and must be returned upon request. Reproduction of drawings, specifications and related documents in part or in whole is forbidden without the architect's written permission. This drawing is not meant to be used for construction until signed by the architect.

EDWARD LEE ARCHITECT
6 ARGYLE STREET
TORONTO ONTARIO M4J 1M4
E: info@edwardlee.ca T: 647.894.7172



CONTINUED ON A3.2

REFERENCE ONLY
(NO CHANGE TO POSTING)
INTERIOR LAYOUT



Contractor must check and verify all dimensions on the job. Do not scale drawings. All drawings, specifications and related documents are the copyright property of the architect and must be read upon request. Reproduction of drawings, specifications and documents in part or in whole is forbidden without the architect's written permission. This drawing is not meant to be used for construction until signed by the architect.

**EDWARD LEE
ARCHITECT**
6 ARGYLE STREET
TORONTO, ONTARIO M4J 1M4
E: info@edwardlee.ca T: 647.894.7172

1438 DUNDAS STREET WEST
TORONTO, ONTARIO, CANADA

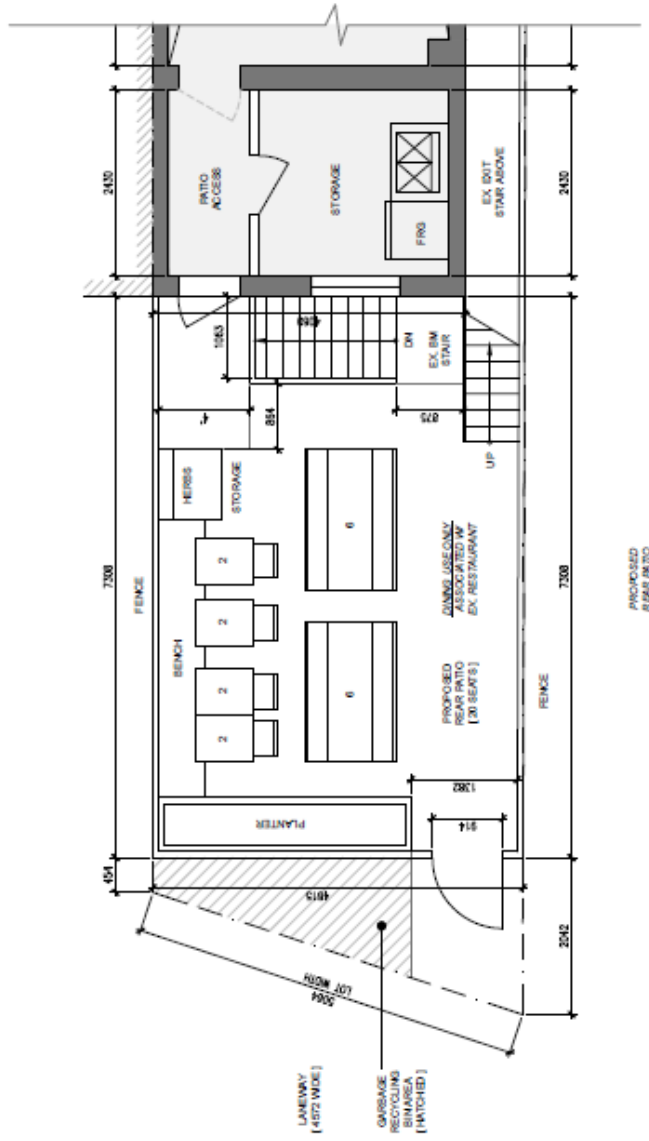
PROPOSED
GROUND FLOOR PLAN

THE FEDERAL RESERVE



SCALE: 1:60
DRAWN BY: EL
DATE: 2017/02/09
A-3.1
COA

CONTINUED ON A3.1



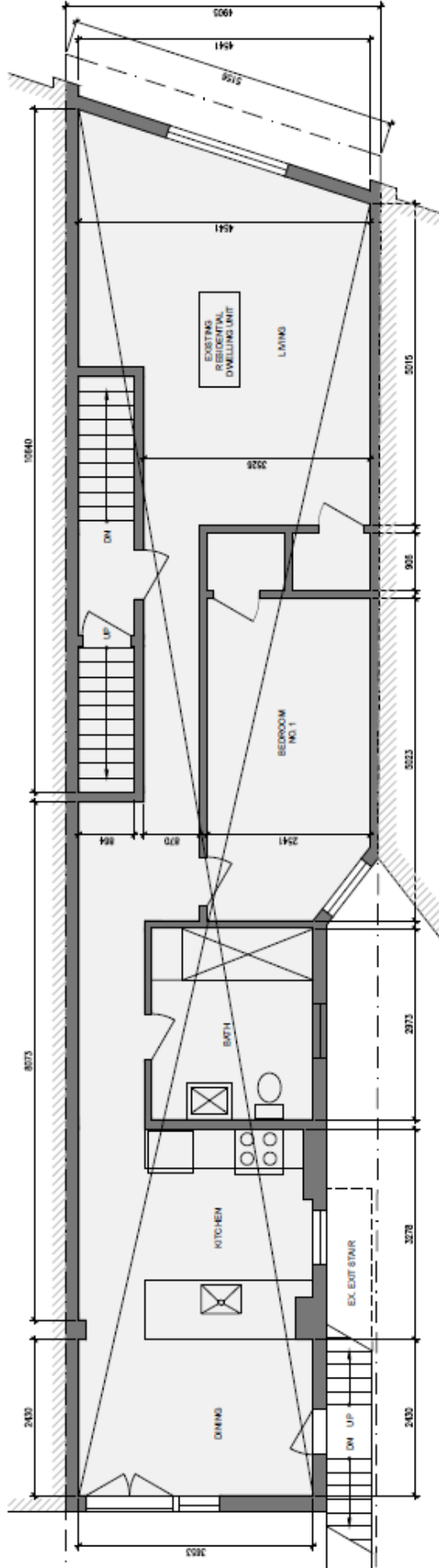
1438 DUNDAS STREET WEST TORONTO, ONTARIO, CANADA		SCALE 1:60	A-3.2
PROPOSED REAR OUTDOOR PATIO		DRAWN BY: EL	
		DATE: 2017/02/09	COA



Contractor must check and verify all dimensions on the job. Do not scale drawings. All drawings, specifications and related documents are the copyright property of the Architect and must be returned upon request. Reproduction of drawings, specifications and related documents in part or in whole is forbidden without the architect's written permission. This drawing is not meant to be used for construction until signed by the architect.

EDWARD LEE ARCHITECT
 6 ARGYLE STREET
 TORONTO ONTARIO M6J 1M4
 E: info@edwardlee.ca T: 647.594.7172

THE FEDERAL RESERVE



REFERENCE ONLY
(NO CHANGE TO EXISTING)
INTERIOR LAYOUT

**EDWARD LEE
ARCHITECT**

6 ARGYLE STREET
TORONTO ONTARIO M6J 1M4
E: info@edwardlee.ca T: 647.894.7172



1438 DUNDAS STREET WEST
TORONTO ONTARIO CANADA

THE FEDERAL RESERVE

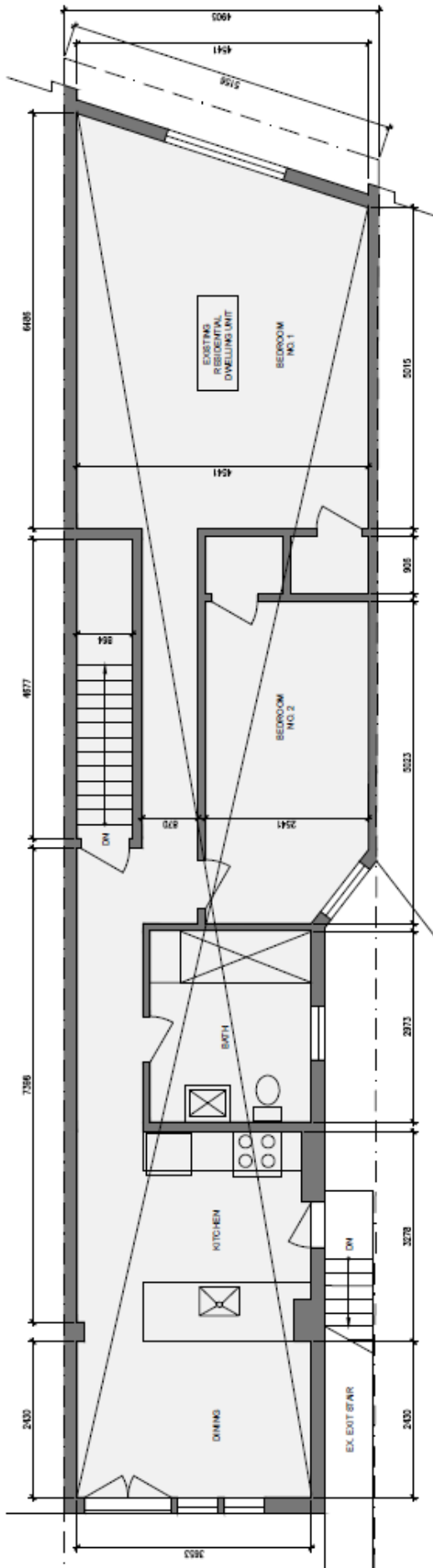
EXISTING
SECOND FLOOR PLAN



SCALE: 1:80
DRAWN BY: BL
DATE: 2017/02/09

A-4
COA

Contractor must check and verify all dimensions on the job. Do not scale drawings. All drawings, specifications and related documents are the copyright property of the Architect and must be returned upon request. Reproduction of drawings, specifications and related documents in part or in whole is forbidden without the architect's written permission. This drawing is not meant to be used for construction until signed by the architect.



REFERENCE ONLY
(NO CONTRACTING /
INTERFERENCES)

THE FEDERAL RESERVE

1438 DUNDAS STREET WEST
TORONTO, ONTARIO, CANADA

EXISTING
THIRD FLOOR PLAN

SCALE: 1:60
DRAWN BY: BL
DATE: 2017/02/09
A-5
COA



Contractor must check and verify all dimensions on the job. Do not scale drawings. All drawings, specifications and related documents are the copyright property of the Architect and must be returned upon request. Reproduction of drawings, specifications and related documents in part or in whole is forbidden without the Architect's written permission. This drawing is not meant to be used for construction until signed by the architect.

**EDWARD LEE
ARCHITECT**

6 ARBOYLE STREET
TORONTO ONTARIO M4J 1N4
E: info@edwardlee.ca T: 647.594.7172

SIGNATURE PAGE

File Number:	A0215/17TEY	Zoning	CR 2.5 (c1.0; r2.0) SS2 (x1732) & MCR T2.5 C1.0 R2.0
Owner(s):	ROWKIN INC	Ward:	Davenport (18)
Agent:	EDWARD LEE	Heritage:	Not Applicable
Property Address:	1438 DUNDAS ST W	Community:	Toronto
Legal Description:	PLAN 989 PT LOTS 1 TO 2		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0216/17TEY	Zoning	R(d1.0) HGT 10.0 M & R4 Z1.0 HGT 10.0 M (ZZC)
Owner(s):	MEHMET MURAT KRISTAL	Ward:	Parkdale-High Park (14)
Agent:	MICHAEL SHIRZADFAR	Heritage:	Not Applicable
Property Address:	74 O'HARA AVE	Community:	Toronto
Legal Description:	PLAN 387 PT LOT 64		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing 2½-storey townhouse/rowhouse by constructing a two-storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Chapter 10.10.40.30.(1)(B), By-law 569-2013**
The maximum permitted building depth for a townhouse is 14.0 m.
The building depth will be 20.32 m.
2. **Chapter 10.10.40.80.(1)(A), By-law 569-2013**
The minimum required distance between main walls for a townhouse is 2.0 m where there are no openings to dwelling units in those main walls.
The distance between main walls will be 0.0 m to the main wall at 76 O'Hara Ave.
3. **Chapter 10.10.40.80.(1)(B), By-law 569-2013**
The minimum required distance between main walls for a townhouse is 5.0 m where there are openings to dwelling units in one of those main walls.
The distance between main walls will be 0.83 m to the main wall at 72 O'Hara Ave.
1. **Section 6(3) Part II 5(I), By-law 438-86**
The maximum permitted building depth is 14.0 m.
The building depth will be 20.32 m.
2. **Section 6(3) Part II 3(I), By-law 438-86**
A building is required to be located a minimum of 0.90 m to the side wall of an adjacent building that contains no openings.
The building will be located 0.0 m from the adjacent building on the north side (76 O'Hara Ave).

3. Section 6(3) Part II 3(II), By-law 438-86

A building is required be located a minimum of 1.2 metres separation distance to the portion of the side wall of an adjacent building that contains openings.

The building will be located 0.83 m from the adjacent building on the south side (72 O'Hara Ave).

4. Section 6(3) Part II 3.C(I), By-law 438-86

A row house is required to have a minimum side lot line setback of 0.45 m where the side wall contains no openings.

The side lot line setback will be 0.0 m on the north and south sides.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

SIGNATURE PAGE

File Number:	A0216/17TEY	Zoning	R(d1.0) HGT 10.0 M & R4 Z1.0 HGT 10.0 M (ZZC)
Owner(s):	MEHMET MURAT KRISTAL	Ward:	Parkdale-High Park (14)
Agent:	MICHAEL SHIRZADFAR	Heritage:	Not Applicable
Property Address:	74 O'HARA AVE	Community:	Toronto
Legal Description:	PLAN 387 PT LOT 64		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.

24. 81 R WOODLAWN AVE E

File Number:	A0217/17TEY	Zoning	R (d0.6)(x908) & R2 Z0.6 (ZZC)
Owner(s):	2496594 ONTARIO INC	Ward:	Toronto Centre-Rosedale (27)
Agent:	STEVEN FONG	Heritage:	Not Applicable
Property Address:	81 R WOODLAWN AVE E	Community:	Toronto
Legal Description:	PLAN 1129 PT LOTS 1 2 & 3		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by extending and raising the existing second floor and by constructing a rear one-storey addition with rooftop terrace above.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.70.(3)(A)(i), By-law 569-2013**
The minimum required side yard setback is 0.9 m.
The altered dwelling will be located 0.30 m to the north side lot line.
- 2. Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.6 times the area of the lot 111.96 m².
The altered dwelling will have a floor space index equal to 0.656 times the area of the lot (122.36 m²).
- 1. Section 6(3) Part II 3 B(II) 1, By-law 438-86**
The minimum required side yard setback for the portion of the building where the side wall contains openings is 0.9 m.
The altered dwelling will be located 0.30 m to the north side lot line.
- 2. Section 6(3) Part I 1, By-law 438-86**
The maximum permitted gross floor area is 0.6 times the area of the lot 111.96 m².
The altered dwelling will have a gross floor area equal to 0.656 times the area of the lot (122.36 m²).

MOTION

It was moved by Nancy Oomen, seconded by Joanne Hayes and carried unanimously that the application be **deferred, for a maximum of 6months**. The deferral would provide the applicant with an opportunity for Heritage Preservation Services to evaluate the property. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel A**.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0218/17TEY	Zoning:	MCR T5.5 C2.0 R4.5 (ZZC)
Owner(s):	1406656 ONTARIO INC	Ward:	St. Paul's (21)
Agent:	SCOTT POMEROY	Heritage:	Not Applicable
Property Address:	781 ST CLAIR AVE W	Community:	Toronto
Legal Description:	PLAN 1311 LOT 6		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing three-storey mixed-use building by constructing a rear third storey addition and four new dwelling units.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 4(12), By-law 438-86**
A minimum of 40 m² of indoor residential amenity space and 40 m² of outdoor residential amenity is required.
In this case, no indoor or outdoor residential amenity space will be provided.
- 2. Section 12(1)(479)(5)(b), By-law 438-86**
No person shall erect a building or structure on a lot in a MCR district unless the building or structure is setback a minimum distance of 7.5 m from any lot or portion of any lot in an R or G district.
The altered three-storey mixed use building will be located 3.04 m from a lot in the R district.
- 3. Section 4(4)(b), By-law 438-86**
A minimum of four additional parking spaces are required to be provided.
In this case, there will be zero parking spaces provided.
- 4. Section 12(1)(479)(10)(a)(i), By-law 438-86**
Only secondary windows shall be located on the sidewall of a residential building or mixed-use building where the side lot line does not abut a public street.
In this case, there will be four non-secondary windows on the west elevation and three non-secondary windows on the east elevation.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of a building permit, the owner shall make a cash contribution to the satisfaction of the City Solicitor, in the amount of \$16,000, in the form of a certified cheque. The cash contribution shall be indexed upwardly in accordance with the Statistics Canada Non-residential Building Construction Price Index for Toronto, calculated from the date the Committee of Adjustment Decision is final to the date the payment is made, and allocated at the discretion of the Chief Planner and Executive Director, City Planning, and the Ward Councillor, toward any one or more of the following:

- Local park and library improvements;
- Improvements to local community and arts and culture facilities.

In the event that the cash contribution is not used for the intended purpose within 3 years of the final and binding date of the Committee of Adjustment Decision, the monies may be redirected for another purpose at the discretion of the Chief Planner and Executive Director, City Planning, in consultation with the Ward Councillor, provided the purpose is to support community or social infrastructure in the vicinity of the lands.

SIGNATURE PAGE

File Number:	A0218/17TEY	Zoning	MCR T5.5 C2.0 R4.5 (ZZC)
Owner(s):	1406656 ONTARIO INC	Ward:	St. Paul's (21)
Agent:	SCOTT POMEROY	Heritage:	Not Applicable
Property Address:	781 ST CLAIR AVE W	Community:	Toronto
Legal Description:	PLAN 1311 LOT 6		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0219/17TEY	Zoning:	R1B (BLD)
Owner(s):	HELDER MANUEL F. PEREIRA CONCETTINA APRILE	Ward:	Beaches-East York (31)
Agent:	CONCETTINA APRILE	Heritage:	Not Applicable
Property Address:	125 FURNIVAL RD	Community:	East York
Legal Description:	PLAN 2016 LOT 158 PT LOT 159		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing one-storey detached dwelling by constructing a second-storey addition and a rear two-storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 7.3.3, By-law 6752

The minimum required side yard setback is 0.45 m.

The altered dwelling will be located 0.30 m from the east side lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0219/17TEY	Zoning	R1B (BLD)
Owner(s):	HELDER MANUEL F. PEREIRA CONCETTINA APRILE	Ward:	Beaches-East York (31)
Agent:	CONCETTINA APRILE	Heritage:	Not Applicable
Property Address:	125 FURNIVAL RD	Community:	East York
Legal Description:	PLAN 2016 LOT 158 PT LOT 159		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0220/17TEY	Zoning	RD (f18.0; d0.65) (x1321) & R1 Z0.6 (ZZC)
Owner(s):	HONEY SHERMAN	Ward:	St. Paul's (21)
Agent:	N. JANE PEPINO	Heritage:	Not Applicable
Property Address:	91 OLD FOREST HILL RD	Community:	Toronto
Legal Description:	PLAN 1560 LOT 54 LOT 55		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.100.1.(2), By-law 569-2013**
The maximum permitted driveway width is 6.0 m
In this case, the driveway width will be 9.75 m.
- 2. Chapter 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length for a detached dwelling is 17.0 m.
The new detached dwelling will have a building length of 31.72 m.
- 3. Chapter 10.20.40.30.(1), By-law 569-2013**
The maximum permitted depth of a detached dwelling is 19.0 m.
The new detached dwelling will have a depth of 47.6 m.
- 4. Chapter 10.20.40.70.(2)(B), By-law 569-2013**
The minimum required rear yard setback is 14.93 m.
The new detached dwelling will be located 5.7 m from the north rear lot line.
- 5. Chapter 10.20.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 9.84 m.
The new detached dwelling will be located 6.06 m from the south front lot line.
- 6. Chapter 10.5.80.10.(3), By-law 569-2013**
A parking space may not be located in a front yard or a side yard abutting a street.

A parking space will be located in the front yard.

7. Chapter 10.5.80.10.(6), By-law 569-2013

A parking space on a corner lot must be located in a building or structure, in a rear yard, or in a side yard that does not abut a street.

Additional parking will be located in the front yard abutting Old Forest Hill Road.

8. Chapter 10.5.80.40.(3), By-law 569-2013

On a corner lot, vehicle access to any parking space on the lot must be from the flanking street or public lane.

Access to the additional parking space will be from the main street, Old Forest Hill Road.

1. Section 6(3) Part II 2(III), By-law 438-86

The minimum required front yard setback is 9.84 m.

The new detached dwelling will be located 6.06 m from the south front lot line.

2. Section 6(3) Part II 3.A(II), By-law 438-86

The minimum required setback from a flanking street is 6.0 m.

The new detached dwelling will have a setback that varies from 3.0 m to 4.83 m from the east flanking street, Gardiner Road, and will be located 2.1 m measured from the proposed canopy.

3. Section 6(3) Part II 4, By-law 438-86

The minimum required rear yard setback is 7.5 m.

The new detached dwelling will be located 5.7 m from the north rear lot line.

4. Section 6(3) Part IV 1(E), By-law 438-86

A motor vehicle parking space is not permitted to be located between the front wall of the building and the front lot line.

The parking space will be located between the front wall of the building and the front lot line.

5. Section 6(3) Part IV 2, By-law 438-86

On a lot that abuts a flanking street or public lane, vehicle access to any parking space on the lot must be from the flanking street or public lane.

Access to the parking spaces will additionally be from the main street, Old Forest Hill Road.

6. Section 6(3) Part IV 4(B), By-law 438-86

The maximum permitted driveway width is 6.0 m

In this case, the driveway width will be 9.75 m.

7. Section 6(1)(A), By-law 438-86

A parking stacker is not a permitted use within an R1 district.

The new detached dwelling will have a parking stacker located in the integral garage.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

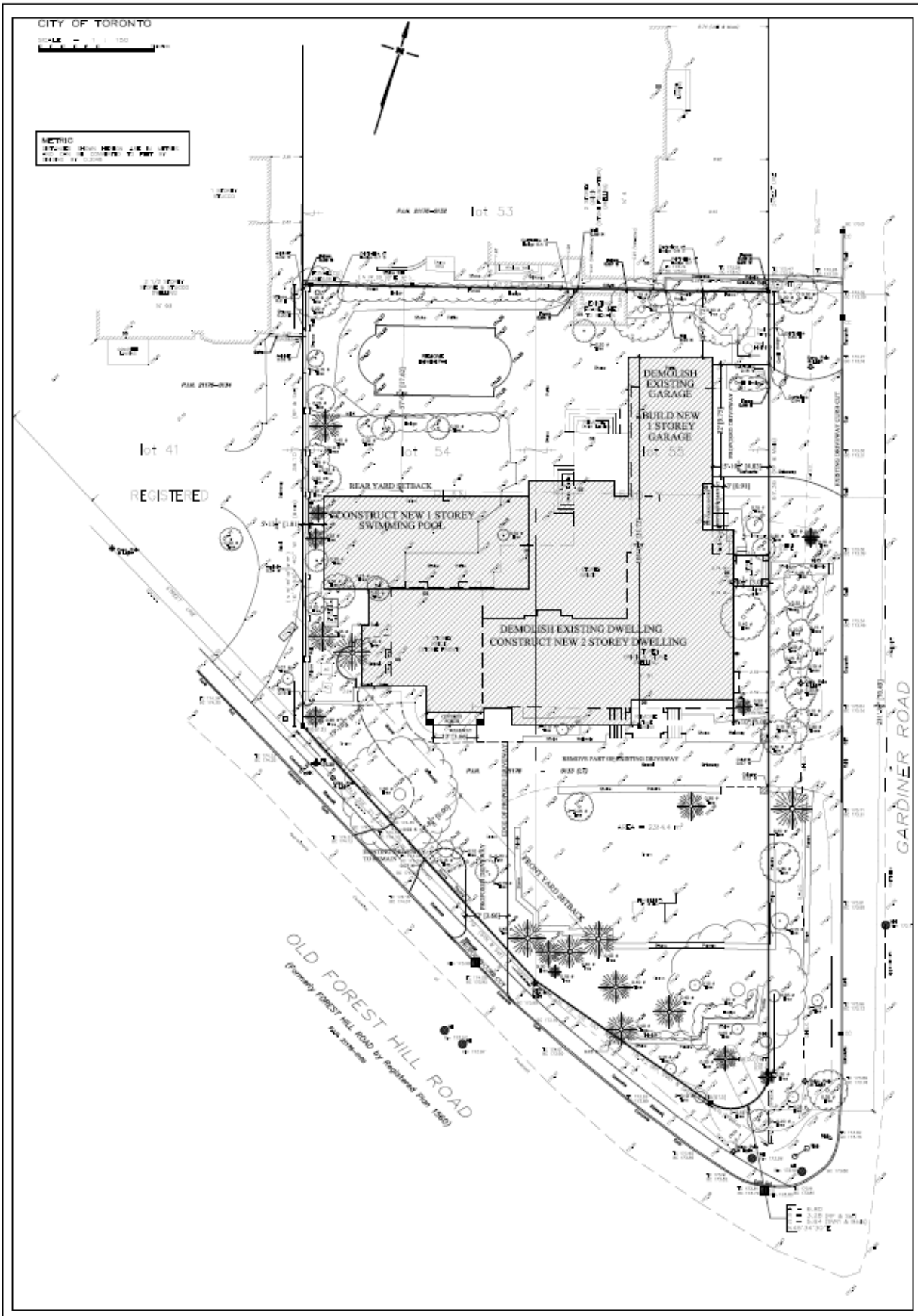
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The detached dwelling shall be constructed substantially in accordance with the plans dated February 13, 2017. Any variances that may appear on these plans that are NOT listed in the written decision are not authorized.



A-01	DATE:	2011.03.15	DRAWN:	BO	SECT:	
	SCALE:	1:100	DATE:	2011.03.15	TITLE:	91 OLD FOREST HILL ROAD
	PROJECT:	PROPOSED SITE PLAN				
	DESIGNER:	BRENNAN CUSTOM HOMES INC.				
	CLIENT:	BRENNAN CUSTOM HOMES INC.				
	ADDRESS:	91 OLD FOREST HILL ROAD, TORONTO, ONT. M6G 1A6				
	PHONE:	(416) 972-1682				
	FAX:	(416) 972-6251				
	EMAIL:	BRENNAN@BRENNANCUSTOMHOMES.COM				
	WEBSITE:	WWW.BRENNANCUSTOMHOMES.COM				

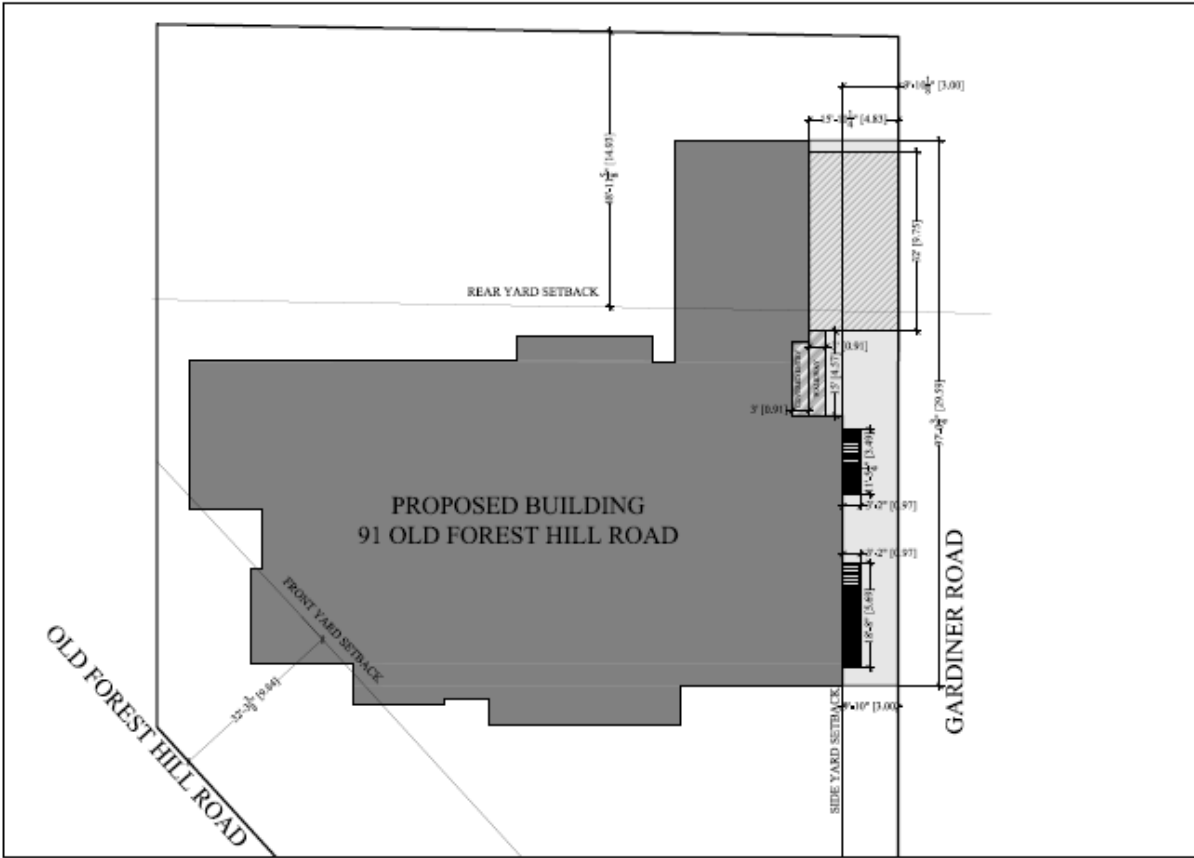


**BRENNAN
CUSTOM HOMES INC.**

540 COLLEGE STREET, TORONTO, ON, M6G 1A6
TELEPHONE (416) 972-1682 FAX (416) 972-6251

94 OLD FOREST HILL ROAD
 RD(f18.0;d0.65)x1321 HT-11.0

	ZONING DESIGNATION	PROPOSED
LOT AREA	2314.4 SM (24,912 SF)	—
FLOOR SPACE INDEX	0.65 (1,504.4 SM) (16,193 SF)	1ST FLOOR = 701 SM - 14.5 SM (PARKING SPACE) = 686.5 SM (INCLUDING SWIMMING POOL = 142 SM) 2nd FLOOR AREA = 478 SM TOTAL = 686.5 SM + 478 SM = 1,164.5 SM = 0.5 FSI
SETBACKS	FRONT YARD	6.00 M (19'-8.1")
	SIDE YARD (EAST)	3.00 M (9'-10")
	SIDE YARD (WEST)	1.80 M (5'-11")
	REAR YARD	17.62 M (57'-9.9")
LENGTH	17.00 M (55'-9.25")	31.72 M (104'-0-3/4")
DEPTH	19.00 M (62'-4")	
HEIGHT	11.00 M (36'-1")	10.80 M (35'-5")



**SIDE YARD ABUTTING A STREET
 LANDSCAPING DIAGRAM**

SIDE YARD AREA = 1,287 SF

- PROPOSED PAVED DRIVEWAY AREA = 507 SF
- PROPOSED HARD LANDSCAPING AREA = 507 SF (39.4%)
- SIDE YARD LANDSCAPING AREA = 1,287 SF - 507 SF = 780 SF
- PROPOSED WALKWAY & ENTRY AREA = 84 SF
- PROPOSED WINDOW WELLS AREA = 96 SF
- PROPOSED SOFT LANDSCAPING AREA = 780 SF - 84 SF - 96 SF = 600 SF (76.9%)

A-02	DATE:	2017.11.13	TITLE:	91 OLD FOREST HILL ROAD
	SCALE:	1/8" = 1'-0"	PROJECT:	SITE STATISTIC SIDE YARD LANDSCAPING DIAGRAM
DESIGNER:	BRENNAN CUSTOM HOMES INC.	DATE:	2017.11.13	
CHECKER:		SCALE:	1/8" = 1'-0"	
DATE:	2017.11.13	TITLE:	91 OLD FOREST HILL ROAD	
SCALE:	1/8" = 1'-0"	PROJECT:	SITE STATISTIC SIDE YARD LANDSCAPING DIAGRAM	






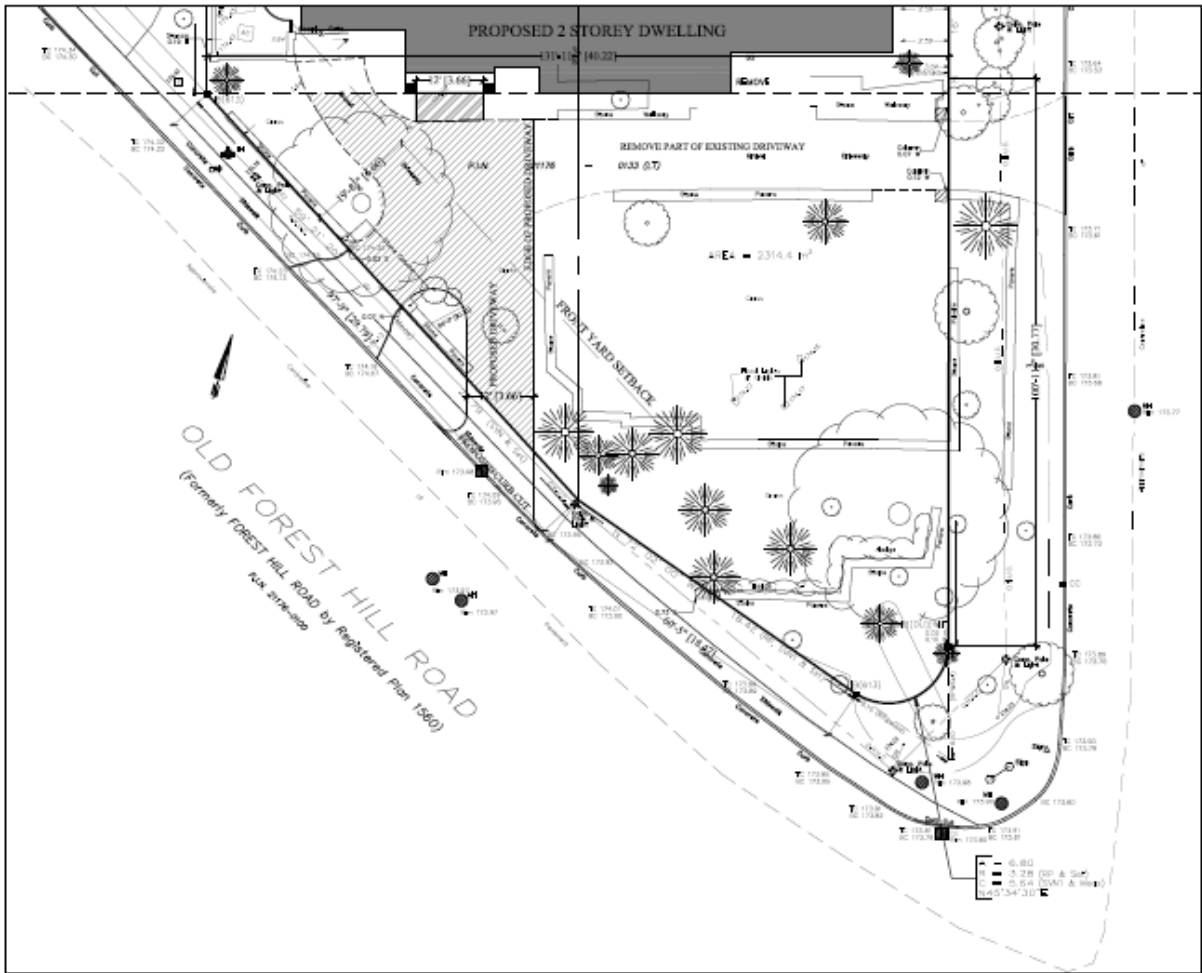
**BRENNAN
 CUSTOM HOMES INC.**

540 COLLEGE STREET, TORONTO, ON, M6G 1A6
 TELEPHONE (416) 972-1682 FAX (416) 972-6251

**FRONT YARD
LANDSCAPING DIAGRAM**

FRONT YARD AREA = 8,605 SF

-  PROPOSED PAVED DRIVEWAY AREA = 1,270 SF
- PROPOSED HARD LANDSCAPING AREA = 1270 SF (14.8 %)
- FRONT YARD LANDSCAPING AREA = 8,605 SF - 1,270 SF = 7,335 SF
-  PROPOSED WALKWAY AREA = 61 SF
-  PROPOSED SOFT LANDSCAPING AREA = 7,274 SF (99 %)

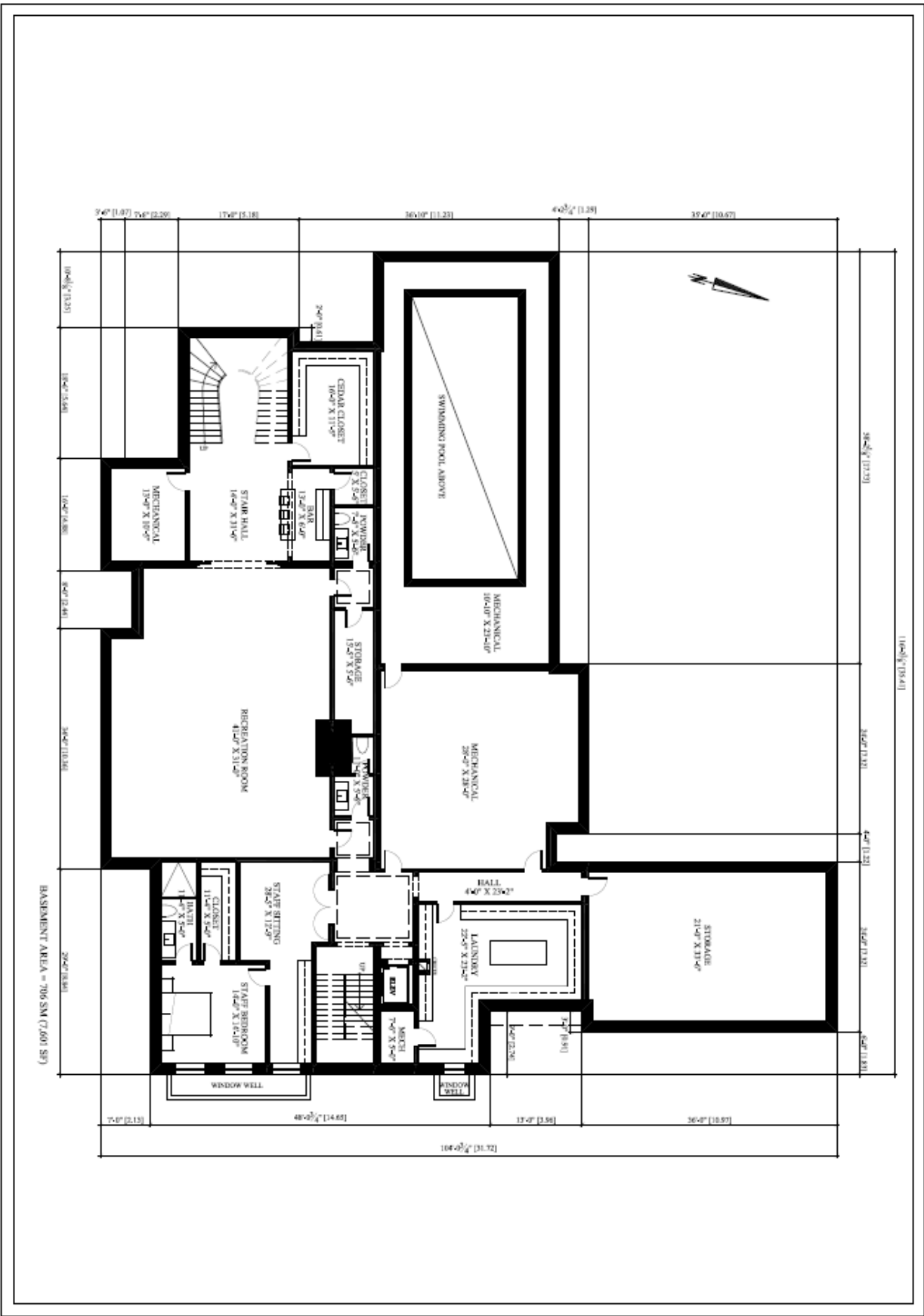


A-03	DATE:	ISSUE:						
	DATE:	ISSUE:						
SCALE:	TITLE: 91 OLD FOREST HILL ROAD							
DATE:	PROJECT: FRONT YARD LANDSCAPING DIAGRAM							
SCALE:	DATE: FEB 15, 2017							
DATE:	DRAWN: 80							
DATE:	CHECKED: 80							
DATE:	DESIGNED: 80							
DATE:	PROJECT MANAGER: 80							
DATE:	CLIENT: 80							
DATE:	ADDRESS: 80							
DATE:	CITY: 80							
DATE:	PROVINCE: 80							
DATE:	COUNTRY: 80							




**BRENNAN
CUSTOM HOMES INC.**

540 COLLEGE STREET, TORONTO, ON, M6G 1A6
TELEPHONE (416) 972-1682 FAX (416) 972-6251

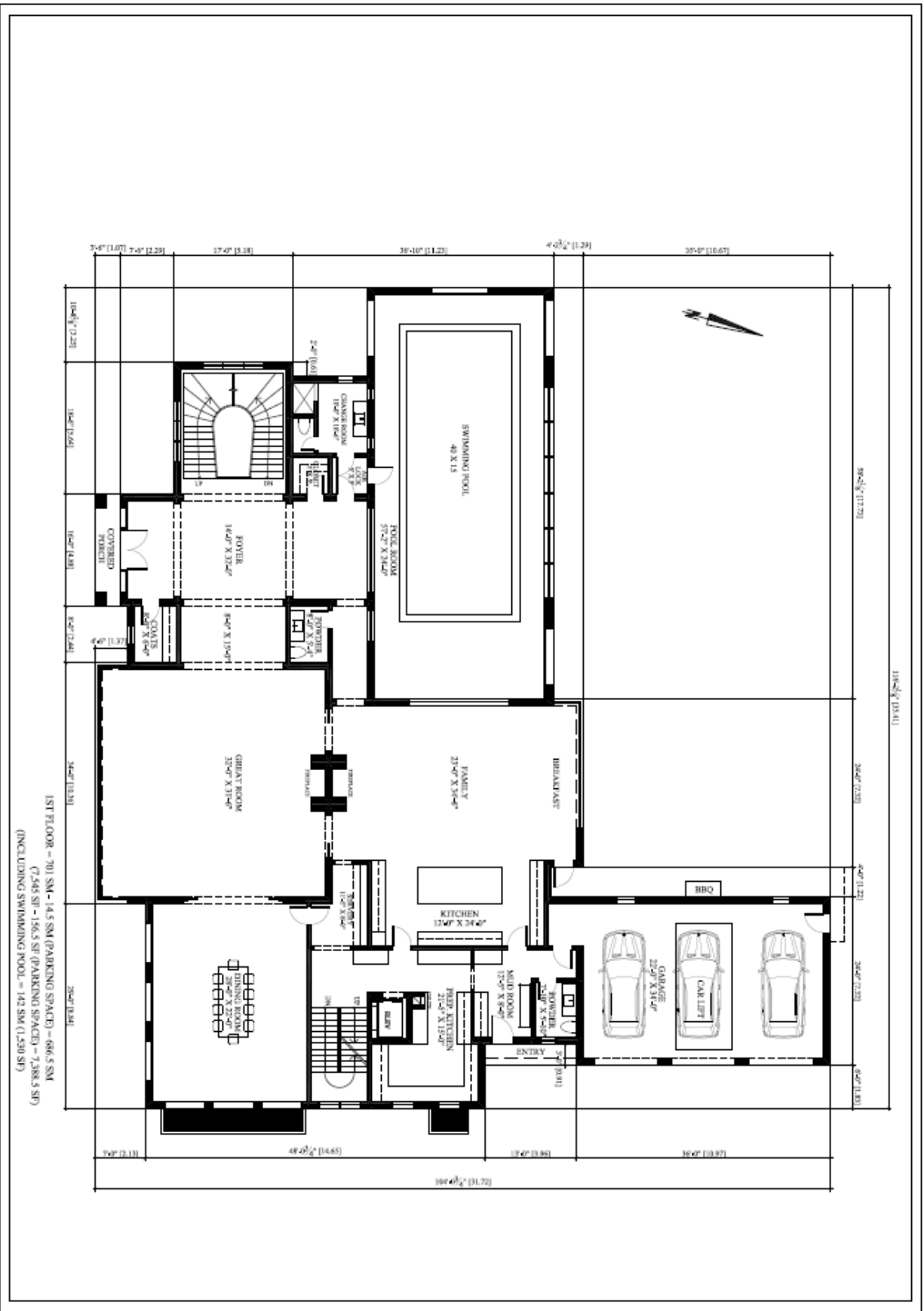


A-04	DATE:	91 OLD FOREST HILL ROAD	
	PROJECT:	PROPOSED BASEMENT PLAN	
	SCALE:	1:1	
DRAWN:	11/30	DATE:	11/30/2017
SHEET:	300	SCALE:	1:1
DATE:		DATE:	DATE:
REV. 1. 10/17		REV. 2. 11/30	REV. 3. 11/30
REV. 1. 10/17		REV. 2. 11/30	REV. 3. 11/30
REV. 1. 10/17		REV. 2. 11/30	REV. 3. 11/30

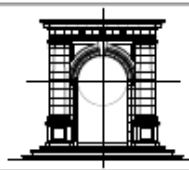


**BRENNAN
CUSTOM HOMES INC.**

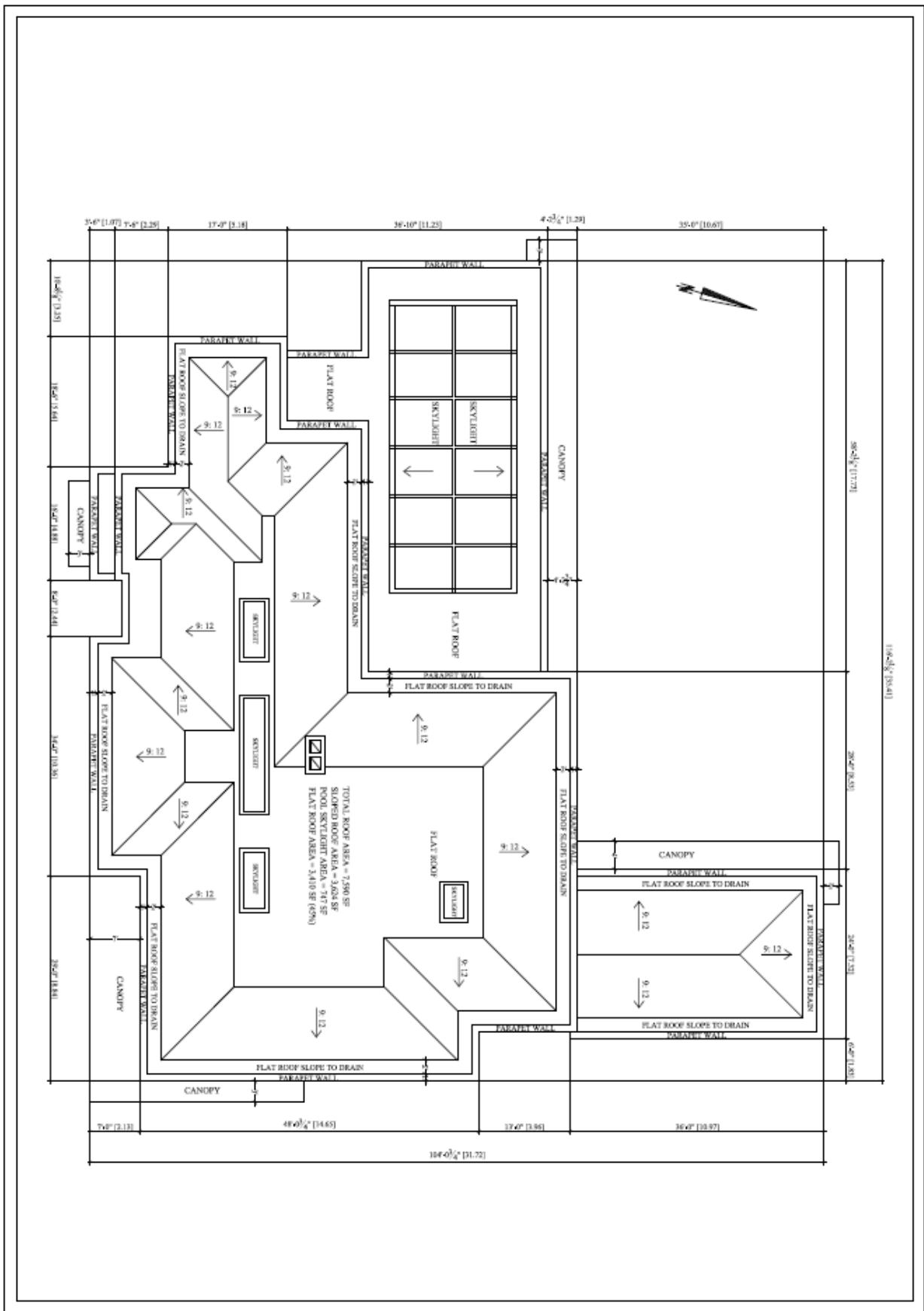
540 COLLEGE STREET, TORONTO, ON, M5G 1A6
TELEPHONE (416) 972-1682 FAX (416) 972-6251



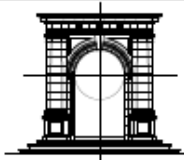
DRAWN BB	DATE:	FEB 15, 2007
	SCALE:	1/4" = 1'-0"
	SHEET:	A-05
TITLE:	91 OLD FOREST HILL ROAD	
PROJECT:	PROPOSED FIRST FLOOR PLAN	
DATE:	DESIGNER:	DATE:
DESIGNER:	DATE:	DATE:
DATE:	DATE:	DATE:
DATE:	DATE:	DATE:



**BRENNAN
CUSTOM HOMES INC.**
 540 COLLEGE STREET, TORONTO, ON, M6G 1A6
 TELEPHONE (416) 972-1682 FAX (416) 972-6251

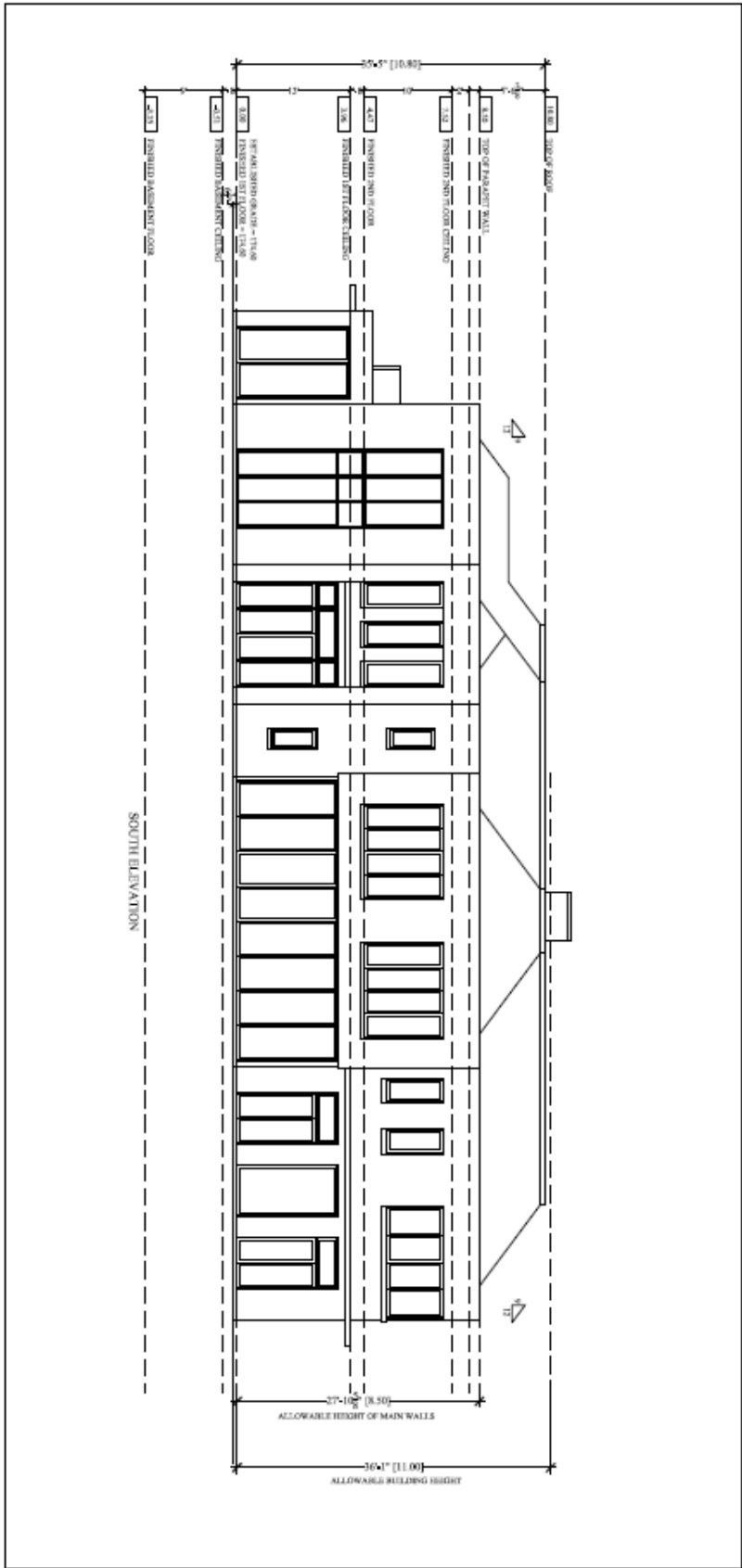


DATE:	NOV. 16. 2007	ISSUE:	001
	NOV. 16. 2007		001
DATE:	NOV. 13. 2007	DATE:	NOV. 13. 2007
SCALE:	1/4" = 1'-0"	SCALE:	1/4" = 1'-0"
DRAWN:	RS	CHECKED:	RS
SHEET:	A-07		
TITLE:		PROJECT:	
91 OLD FOREST HILL ROAD		PROPOSED ROOF PLAN	
DESIGNED BY:	FOR ARCHITECT:	FOR ARCHITECT:	FOR ARCHITECT:
NOV. 16. 2007	JAN. 26. 2007	JAN. 26. 2007	JAN. 26. 2007
RS	RS	RS	RS

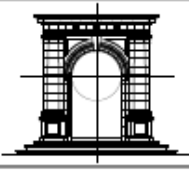


**BRENNAN
CUSTOM HOMES INC.**

540 COLLEGE STREET, TORONTO, ON, M6G 1A6
TELEPHONE (416) 972-1682 FAX (416) 972-6251

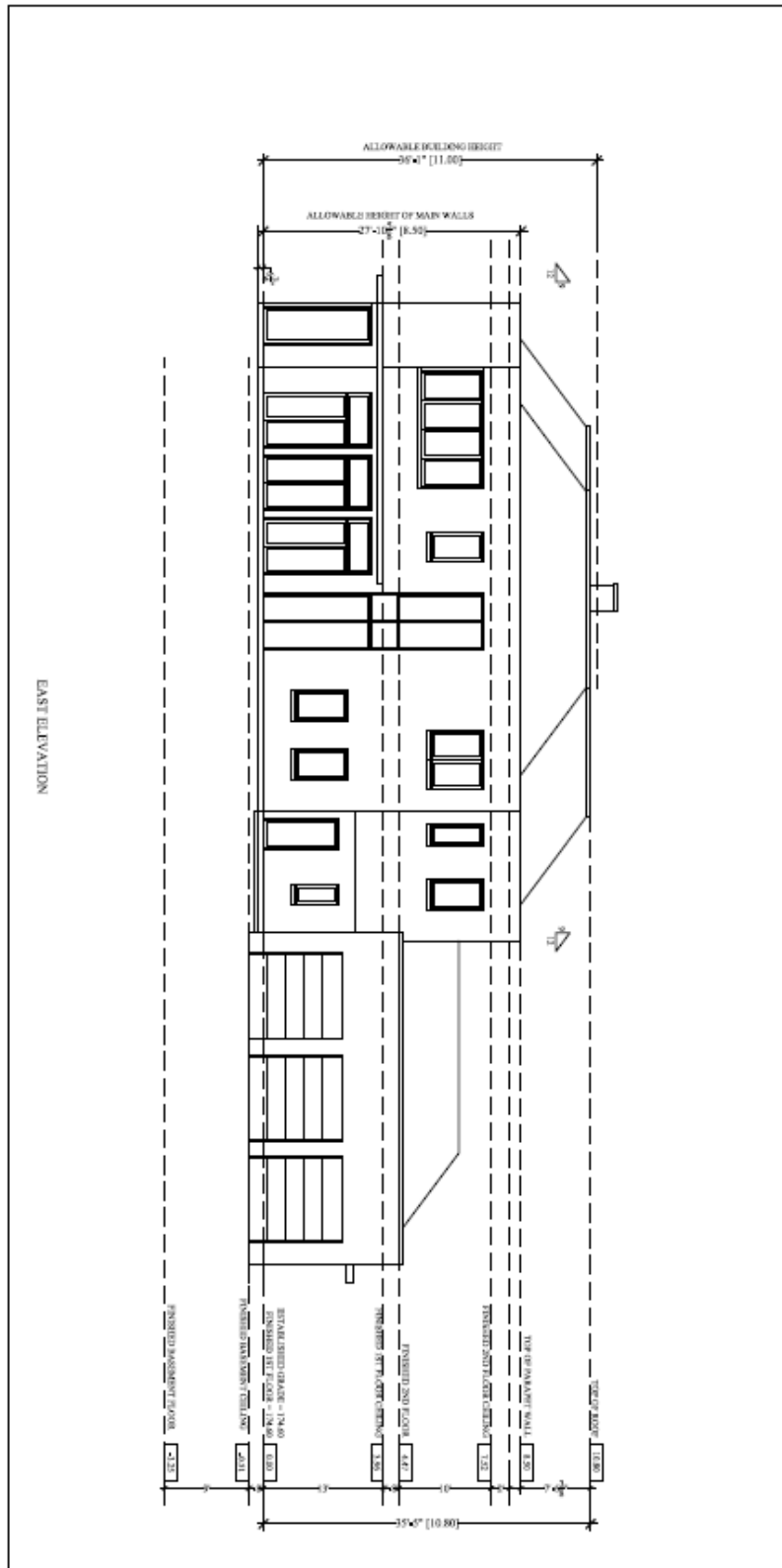


A-08	DATE:	1998.12.20
	SCALE:	1/4" = 1'-0"
DRAWN BY:	RS	
CHECKED BY:		
TITLE:	91 OLD FOREST HILL ROAD	
PROJECT:	PROPOSED SOUTH ELEVATION	
DESIGNED BY:	BRENNAN CUSTOM HOMES INC.	
DRAWN BY:	BRENNAN CUSTOM HOMES INC.	
CHECKED BY:	BRENNAN CUSTOM HOMES INC.	
DATE:	1998.12.20	
SCALE:	1/4" = 1'-0"	
DRAWN BY:	RS	
CHECKED BY:		




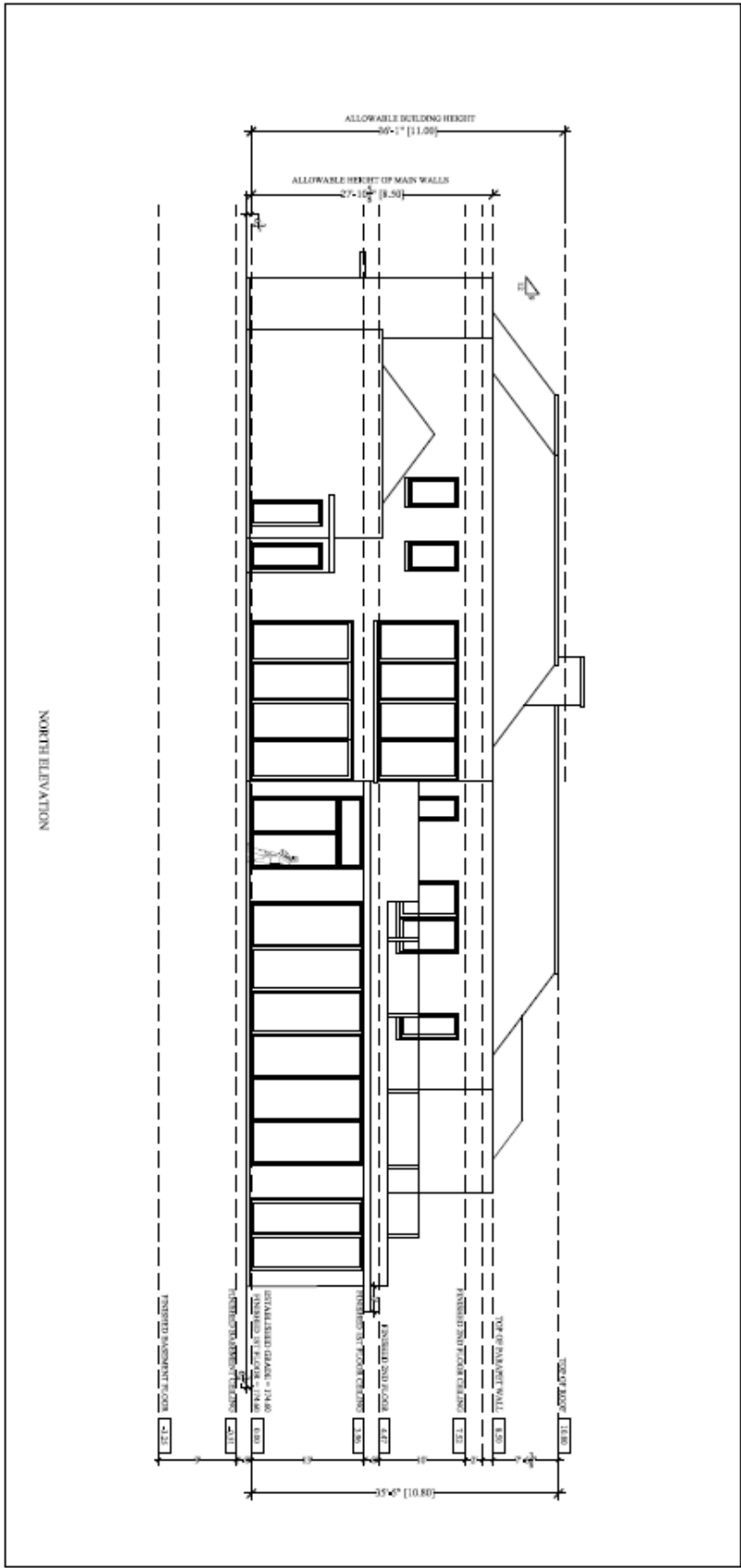
**BRENNAN
CUSTOM HOMES INC.**

540 COLLEGE STREET, TORONTO, ON, M6G 1A6
TELEPHONE (416) 972-1682 FAX (416) 972-6251



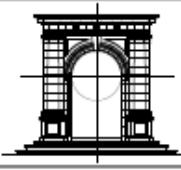
EAST ELEVATION

A-09 SHEET	DRAWN	DATE	TITLE
	REV	REV 15, 2007	91 OLD FOREST HILL ROAD
PROJECT:			PROPOSED EAST ELEVATION
SCALE	SHEET NO.		
1:150	1 OF 1		
			
BRENNAN CUSTOM HOMES INC.			
540 COLLEGE STREET, TORONTO, ON, M5G 1A6 TELEPHONE (416) 972-1682 FAX (416) 972-6251			



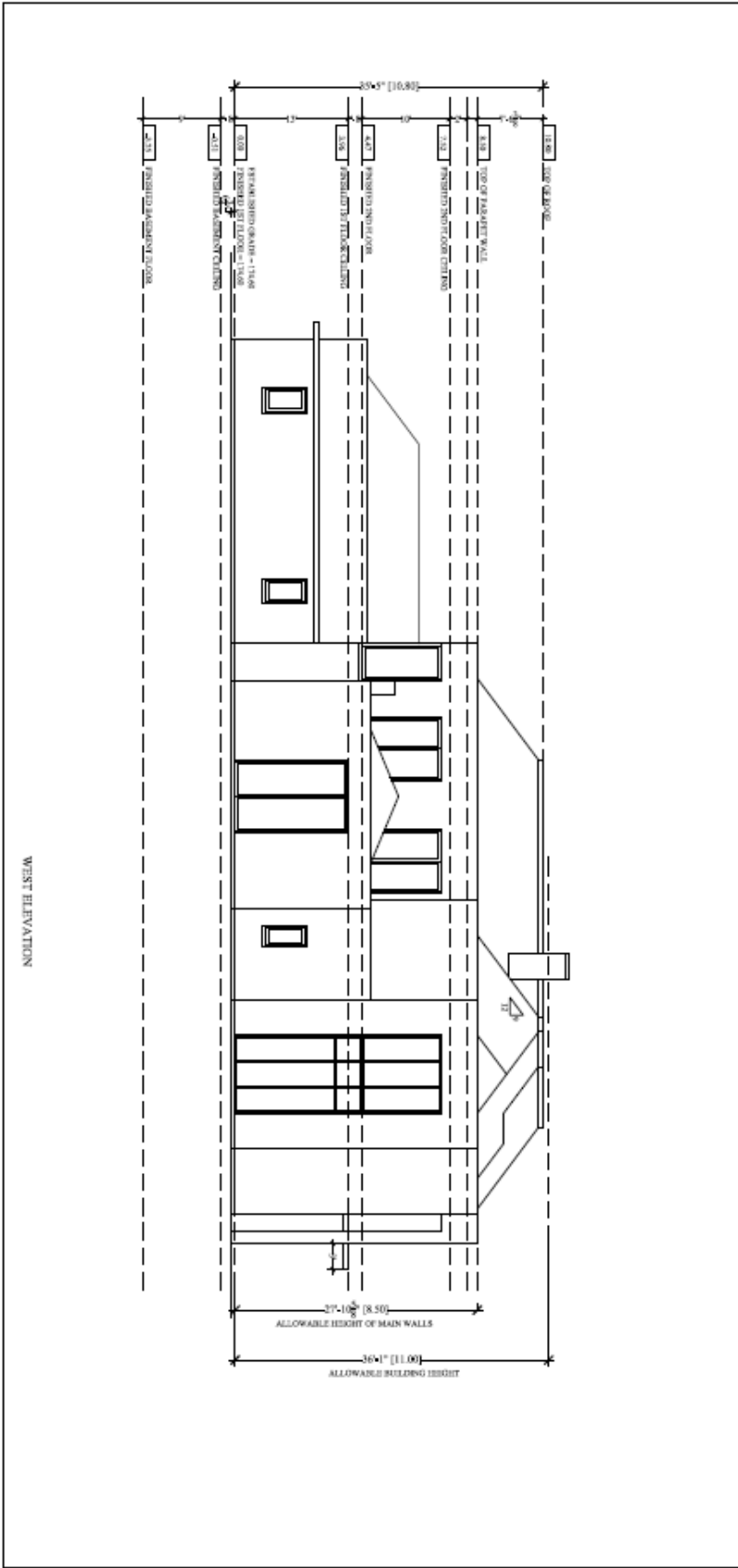
NORTH ELEVATION

A-10	DATE:	2007.12.10
	SCALE:	1/4" = 1'-0"
	PROJECT:	PROPOSED NORTH ELEVATION
	TITLE:	91 OLD FOREST HILL ROAD
DESIGNER:	BRENNAN CUSTOM HOMES INC.	
DATE:	2007.12.10	
SCALE:	1/4" = 1'-0"	
PROJECT:	PROPOSED NORTH ELEVATION	
TITLE:	91 OLD FOREST HILL ROAD	
DESIGNER:	BRENNAN CUSTOM HOMES INC.	
DATE:	2007.12.10	
SCALE:	1/4" = 1'-0"	
PROJECT:	PROPOSED NORTH ELEVATION	
TITLE:	91 OLD FOREST HILL ROAD	



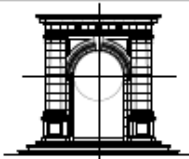
**BRENNAN
CUSTOM HOMES INC.**

540 COLLEGE STREET, TORONTO, ON, M6G 1A6
TELEPHONE (416) 972-1682 FAX (416) 972-6251



WEST ELEVATION

DATE:	NOV 14 2017
	NOV 14 2017
SCALE:	1/4" = 1'-0"
DESIGNER:	BR
SHEET:	A-11
TITLE:	91 OLD FOREST HILL ROAD
PROJECT:	PROPOSED WEST ELEVATION
NO. IN SET:	1
DATE:	
SCALE:	
DESIGNER:	
SHEET:	



**BRENNAN
CUSTOM HOMES INC.**
540 COLLEGE STREET, TORONTO, ON, M6G 1A6
TELEPHONE (416) 972-1682 FAX (416) 972-6251

SIGNATURE PAGE

File Number:	A0220/17TEY	Zoning	RD (f18.0; d0.65) (x1321) & R1 Z0.6 (ZZC)
Owner(s):	HONEY SHERMAN	Ward:	St. Paul's (21)
Agent:	N. JANE PEPINO	Heritage:	Not Applicable
Property Address:	91 OLD FOREST HILL RD	Community:	Toronto
Legal Description:	PLAN 1560 LOT 54 LOT 55		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0221/17TEY	Zoning	R d0.6 HGT 10.0 M & R2 Z0.6 HGT 10.0 M (ZZC)
Owner(s):	JEANNETTE LOAKMAN ANDREW JOHNSTON	Ward:	Trinity-Spadina (19)
Agent:	ANDREW JOHNSTON	Heritage:	Not Applicable
Property Address:	61 ESSEX ST	Community:	Toronto
Legal Description:	PLAN 388 PT LOT 30		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter a single family semi-detached home by constructing a three-storey rear addition and by completing interior alterations to all floors.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.10.(1) (A), By-law 569-2013**
The maximum permitted height of a building is 10.0 m.
The height of the building will be 10.52 m.
- 2. Chapter 10.10.40.40.(2)(A), By-law 569-2013**
The maximum permitted floor space index for additions to the rear of a semi-detached house erected before October 15, 1953 is 0.69 times the area of the lot (182.50 m²).
The floor space index will be 0.84 times the area of the lot (222.50 m²).
- 3. Chapter 10.10.40.30.(1) (A), By-law 569-2013**
The maximum permitted building depth for a semi-detached house is 17.0 m.
The altered building depth will be 18.56 m.
- 1. Section 6(3) Part VI 1(I), By-law 4348-86**
The maximum permitted residential gross floor area for additions to the rear of a semi-detached house erected before October 15, 1953 is 0.69 times the area of the lot (182.50 m²).
The residential gross floor area will be 0.84 times the area of the lot (222.50 m²).
- 2. Section 6(3) Part VI 1(V), By-law 569-2013**
The maximum permitted building depth for a semi-detached house is 17.0 m.

The altered building depth will be 18.56 m.

3. Section 4(2)(a), By-law 438-86

The maximum permitted height of a building is 10.0 m.

The height of the building will be 10.52 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0221/17TEY	Zoning	R d0.6 HGT 10.0 M & R2 Z0.6 HGT 10.0 M (ZZC)
Owner(s):	JEANNETTE LOAKMAN ANDREW JOHNSTON	Ward:	Trinity-Spadina (19)
Agent:	ANDREW JOHNSTON	Heritage:	Not Applicable
Property Address:	61 ESSEX ST	Community:	Toronto
Legal Description:	PLAN 388 PT LOT 30		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0222/17TEY	Zoning	RM (f12.0; U2; d0.8)(x252) & R2 (ZPR)
Owner(s):	SUZANNE JUNE CHEMEL ELLI CHEMEL	Ward:	St. Paul's (21)
Agent:	ELLI CHEMEL	Heritage:	Not Applicable
Property Address:	444 WINNETT AVE	Community:	York
Legal Description:	PLAN 2339 S PT LOT 61		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by constructing dormers on the north and south sides of the attic to create living space on the third floor.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.80.40.70.(3)(A), By-law 569-2013**
The minimum required side yard setback for a detached house is 1.2 m.
In this case, the second-storey dormers will be located 0.357 m from the north side lot line.
- Chapter 10.80.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 8.5 m above established grade.
In this case, the height of the side exterior mail walls facing the side lot line will be 9.25 m above established grade.
- Section 8(3)(a), By-law 1-83**
The minimum required side yard setbacks are 0.5 m on one side and 1.2 m on the other side.
The second-storey dormers will be located 0 .357 m from the north side lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The alterations to the dwelling shall be constructed substantially in accordance with the plans dated February 6, 2017. Any variances that may appear on these plans that are NOT listed in the written decision are not authorized.

ZONING AND PROJECT DATA

Zoning: RM (12.0; u2; u0.8) (x252)

Floor Space Index: 0.8

Lot Area: 370.67 m²

Max. Allowable GFA: 296.5 m²

Existing Gross Floor Area (GFA):

Basement: N/A

First Floor: 92.53 m²

2nd Floor: 94.32 m²

Total (Existing): 186.85 m²

Proposed GFA: 77.9 m²

New GFA: 264.75 m²

Building Height
Existing: 32'-4"
Proposed: (no change in height) 32'-4"

Calculations for Aggregate Area of Exposed Openings:

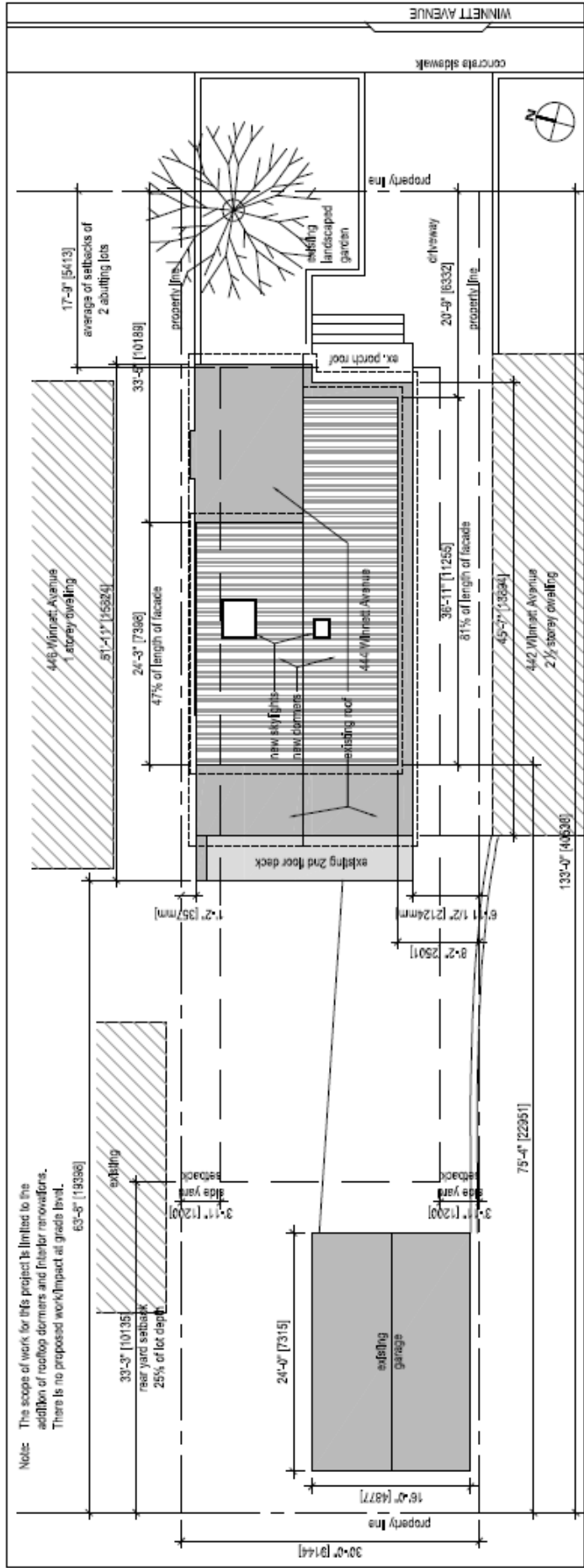
Total Area of Exposing Building Face (3rd Floor) 2,68 m² 233.4 sq ft

Limiting Distance 2.5 m 8'-2"

Maximum Aggregate Area of Exposed Openings (21%) 4.55 m² 49 sq ft

Proposed Aggregate Area of Exposed Openings 4.55 m² 49 sq ft

Note: The scope of work for this project is limited to the addition of rooftop dormers and interior renovations. There is no proposed work/impact at grade level.



Prepared By:	CS
Checked By:	CS
Drawn By:	CS
Date:	Feb 6/17
Scale:	N.T.S.

CLAUDIO A SANTON ARCHITECT
 177 Howard Avenue
 Toronto, ON M5S 1A6
 416-461-2933
 info@clsanton.com

Project:
ALTERATIONS TO 444 WINNETT AVENUE
 Toronto Ontario M6C 3M4

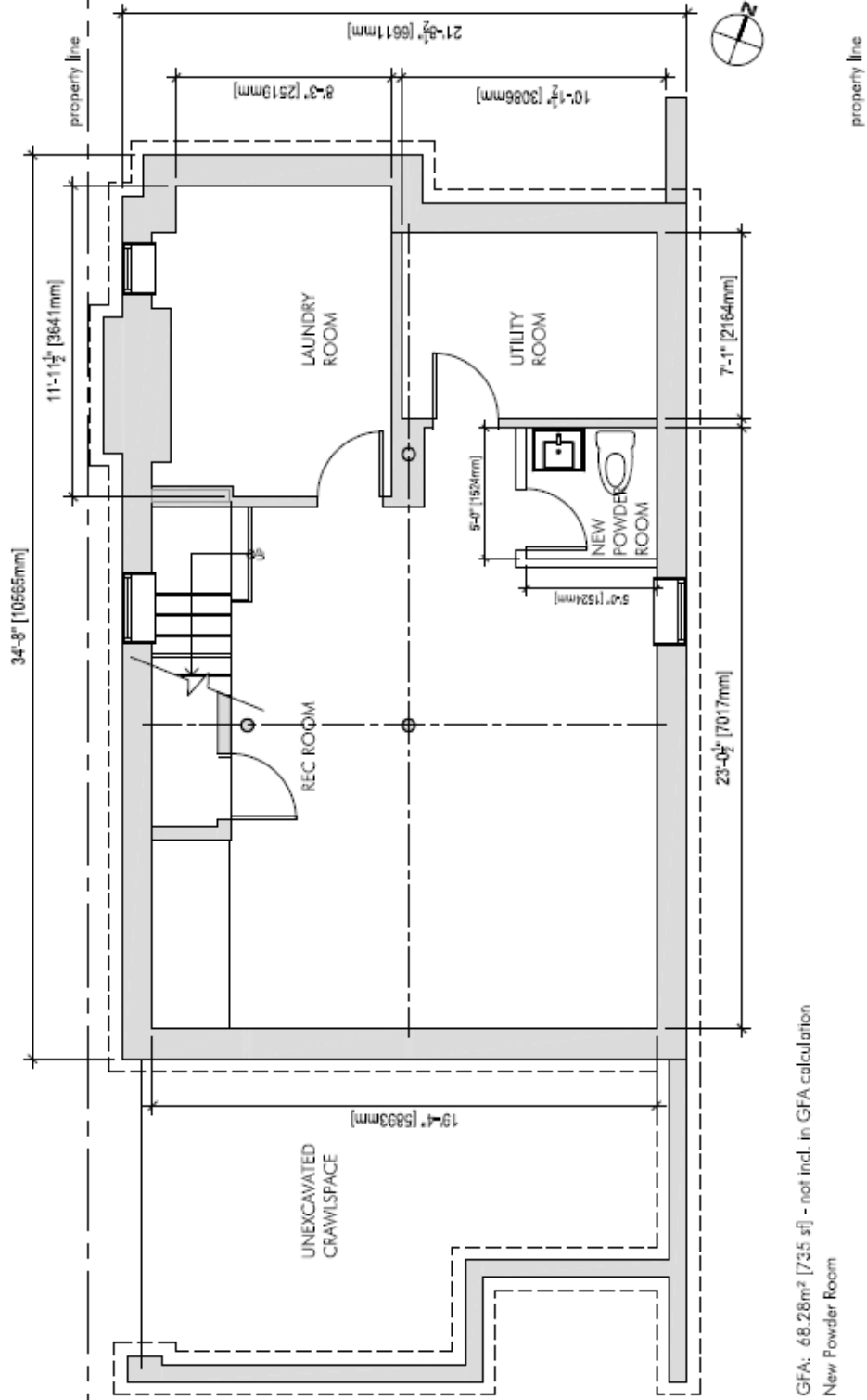
Project Number
15100

Sheet Title
SITE PLAN

Drawn By: CS
 Checked By: CS
 Date: Feb 6/17

Scale: N.T.S.

Sheet Number
MV.00

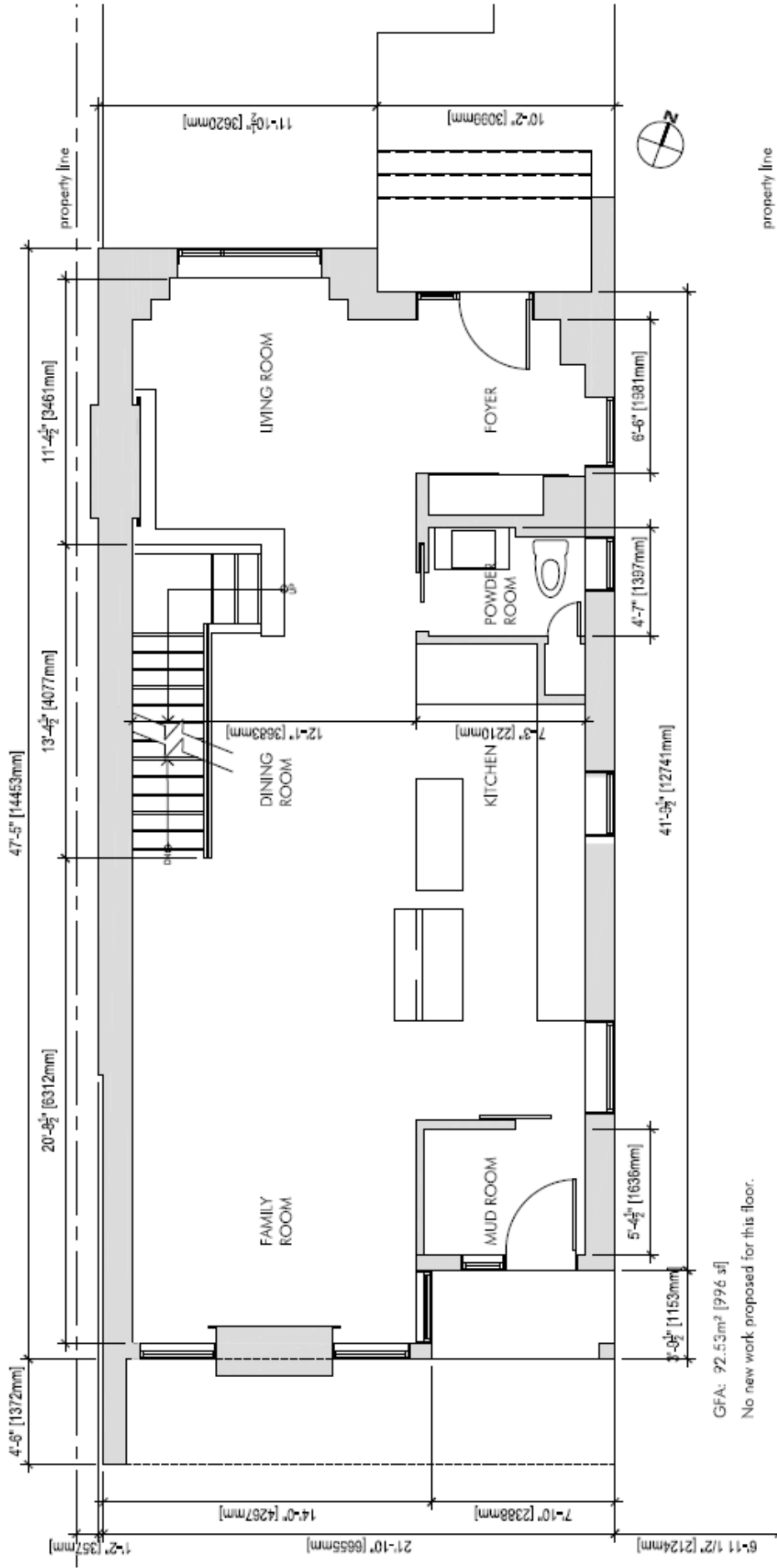


GFA: 68.28m² [735 sf] - not incl. in GFA calculation
 New Powder Room

Author	CS
Checked by	CS
Date	Feb 6/17
Scale	1:50
Sheet Title	BASEMENT FLOOR PLAN
Project Number	15100
Sheet Number	MV.02

CLAUDIO A SANTON ARCHITECT
 177 Howard Avenue
 Toronto, ON M4M 2T6
 416.467.2903
 info@claudioasanton.ca

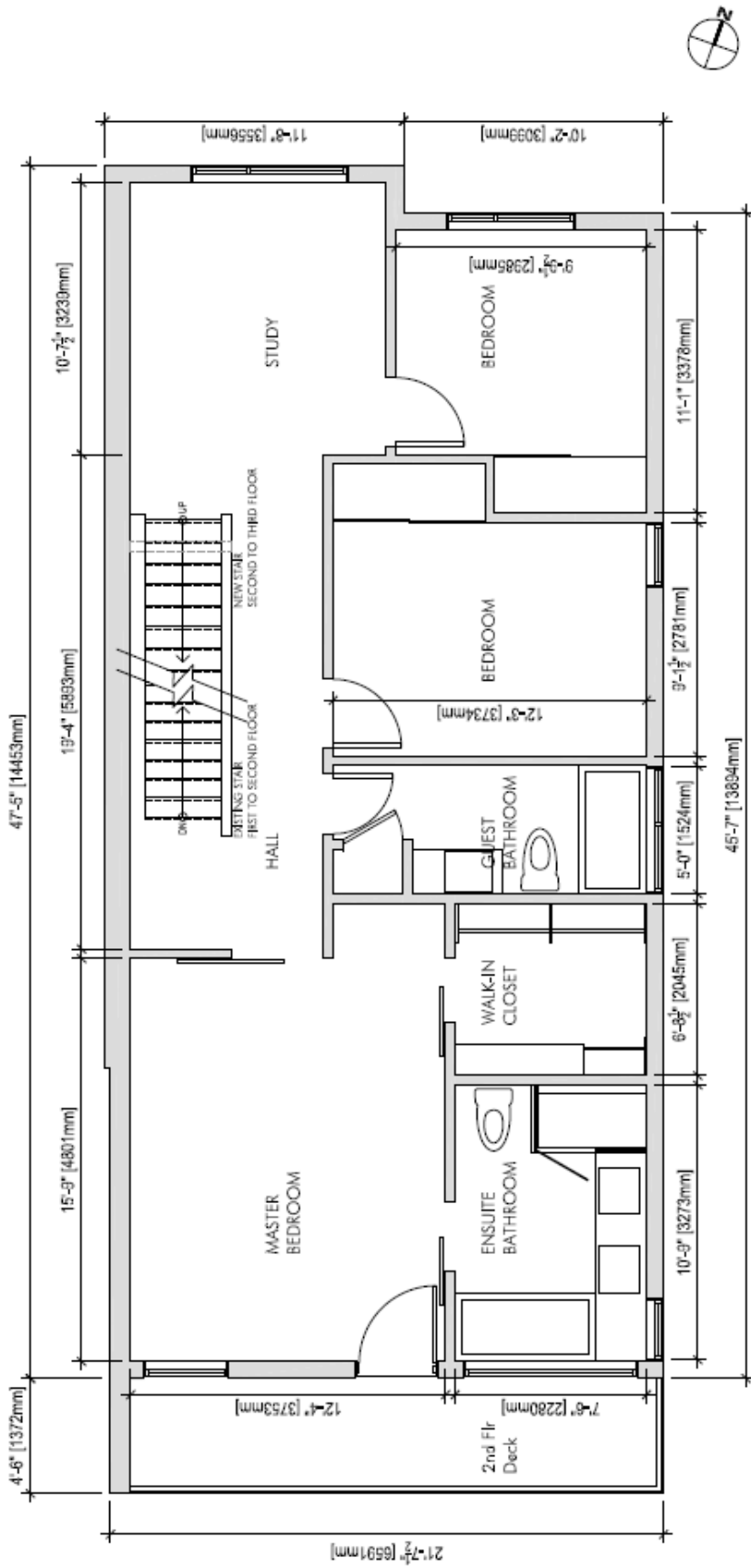
Project:
ALTERATIONS TO 444 WINNETT AVENUE
 Toronto, Ontario M6C 3M4



GFA: 92.53m² [996 sf]
 No new work proposed for this floor.

Project: ALTERATIONS TO 444 WINNETT AVENUE Toronto Ontario M6C 3M4		Sheet Title: FIRST FLOOR PLAN		Project Number: 15100	
Drawn By: CS		Checked by: CS		Date: Feb 6/17	
Scale: 1:50		Sheet Number: MV.03			

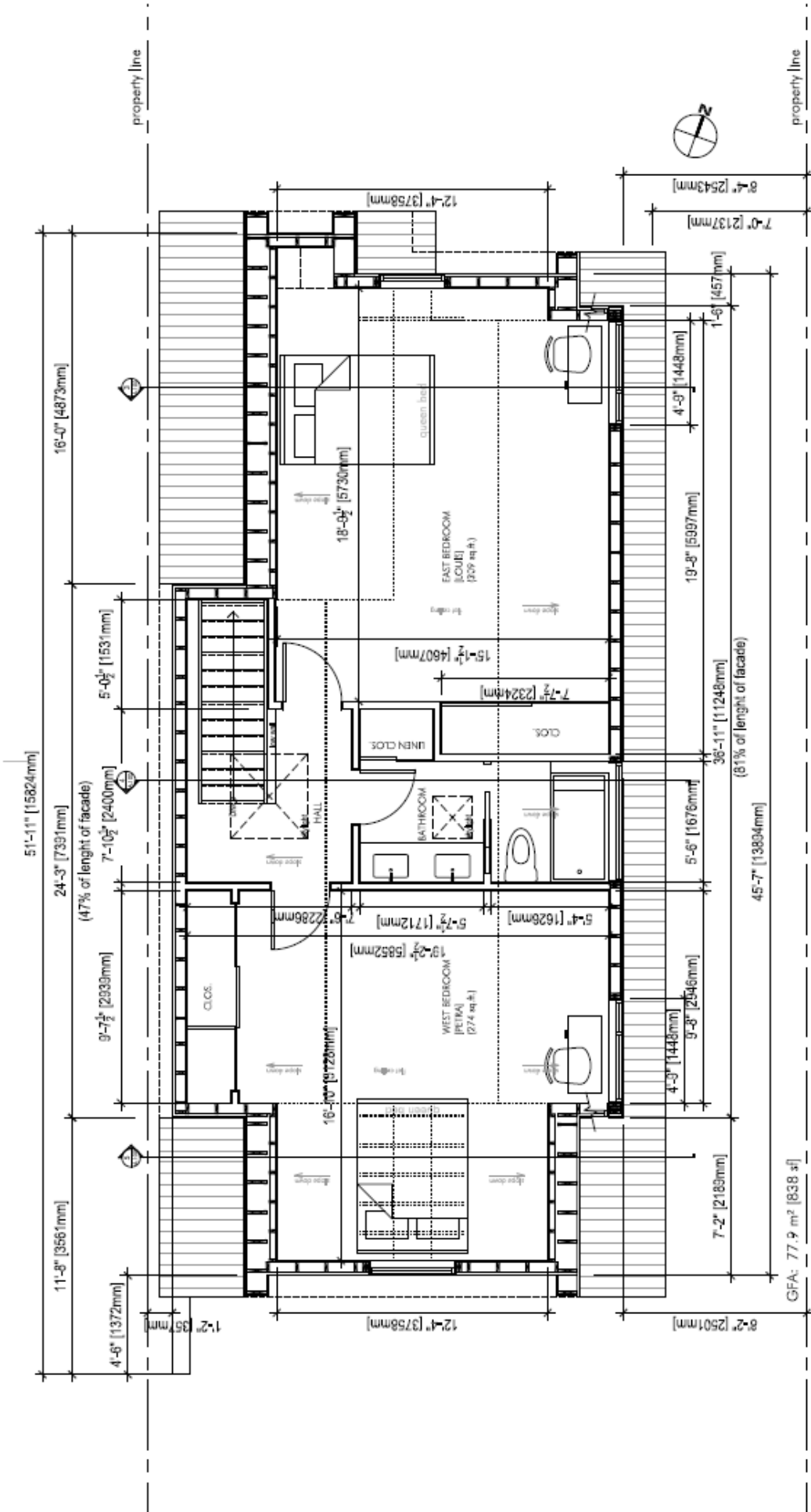
CLAUDIO A SANTON ARCHITECT 177 Howard Avenue Toronto ON M4M 2T6 416.467.2903 info@claudiosanton.ca	
Author: CS	Date: Feb 6/17



GFA: 94.32m² [1015 sf]
New Stair to Third Floor

Project Number 15100		Sheet Title SECOND FLOOR PLAN	
Drawn By CS		Checked by CS	
Date Feb 6/17		Scale 1:200	
Project: ALTERATIONS TO 444 WINNETT AVENUE Toronto Ontario M6C 3M4		Architect: CLAUDIO A SANTON ARCHITECT 177 Howard Avenue Toronto ON M4M 2T6 416.467.2903 info@claudiosanton.ca	
Site: _____		Date: _____	
Contractor: _____		Date: _____	
Site: _____		Date: _____	

Sheet Number
MV.04

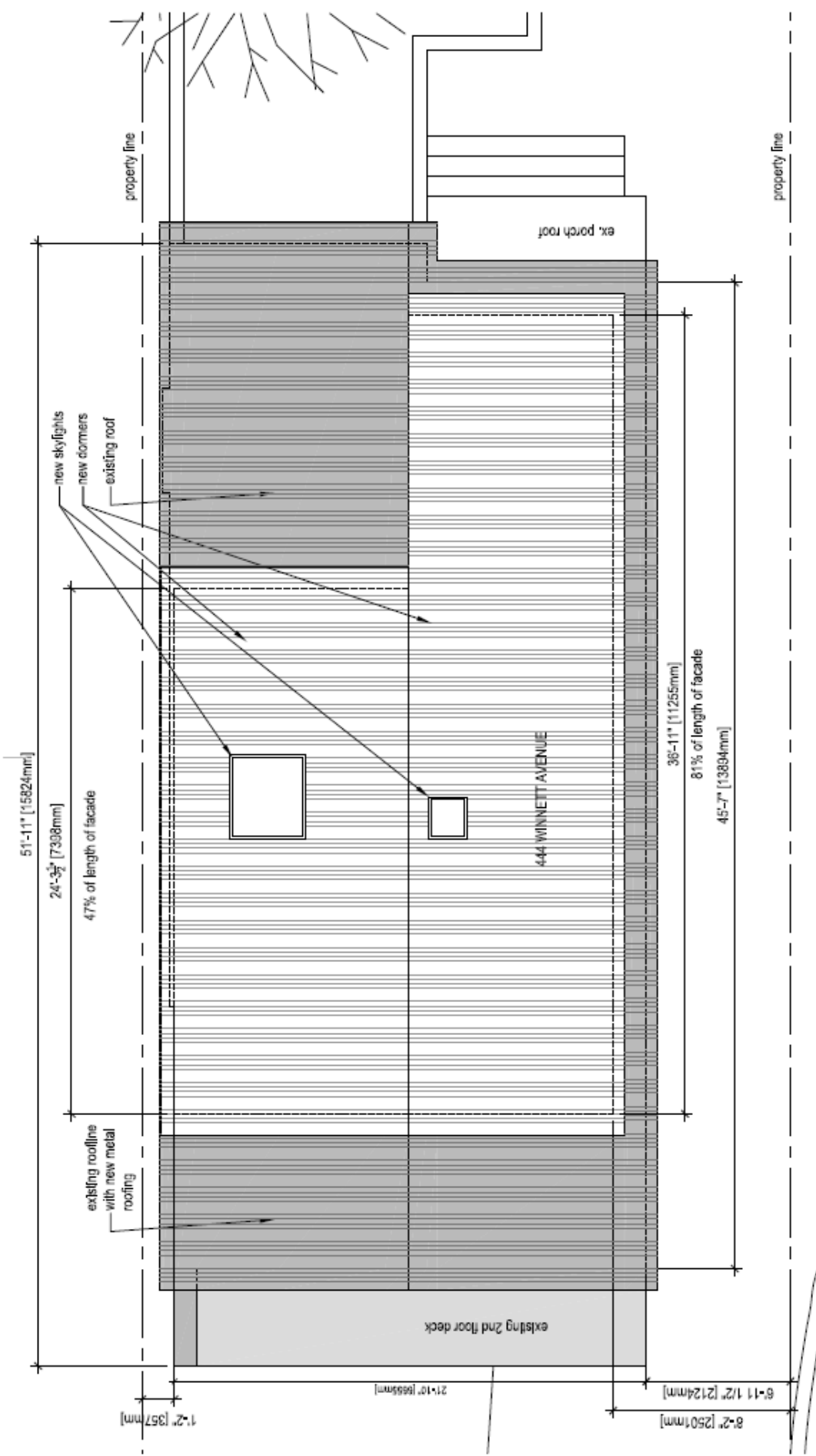


GFA: 77.9 m² [838 sf]

New Third Floor fit-out & addition.

CLAUDIO A SANTON ARCHITECT 177 Howard Avenue Toronto, ON M4M 2T6 416.467.2903 info@clsantontoronto.ca		Project Number 15100
Project: ALTERATIONS TO 444 WINNETT AVENUE Toronto Ontario M6C 3M4		Sheet Title THIRD FLOOR PLAN
Drawn By: CS	Checked by: CS	Date: Feb 6/17
Scale: 1:50	Sheet Number MV.05	

No. of Sheets: 16	Date: Feb 22/17
No. of Sheets: 16	Date: Feb 22/17

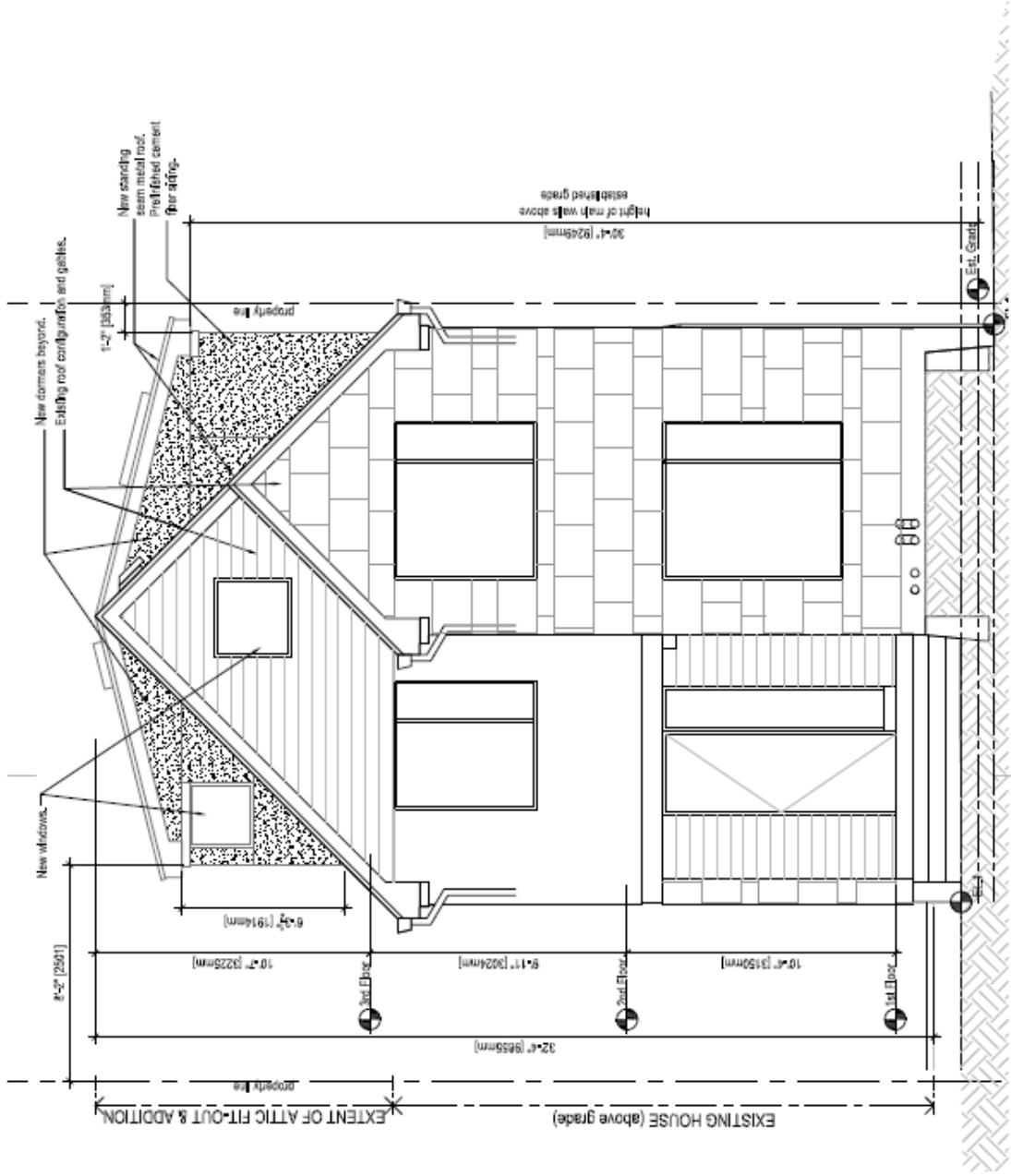


Project Number: 15100
 Sheet Title: ROOF PLAN
 Drawn By: CS
 Checked by: CS
 Date: Feb 6/17
 Scale: 1:50
 Sheet Number: MV.06

CLAUDIO A SANTON ARCHITECT
 177 Howard Avenue
 Toronto, ON (M4M) 2T6
 416.467.2903
 info@claudiosanton.ca

Project: ALTERATIONS TO 444 WINNETT AVENUE
 Toronto Ontario M6C 3M4

Client:	
Contractor:	
Date:	Feb. 22/17
Scale:	1:50



Project Number
15100

Sheet Number
MV.07

Sheet Title
EASTE ELEVATION (FRONT)

Drawn By
CS

Checked by
CS

Date
Feb 6/17

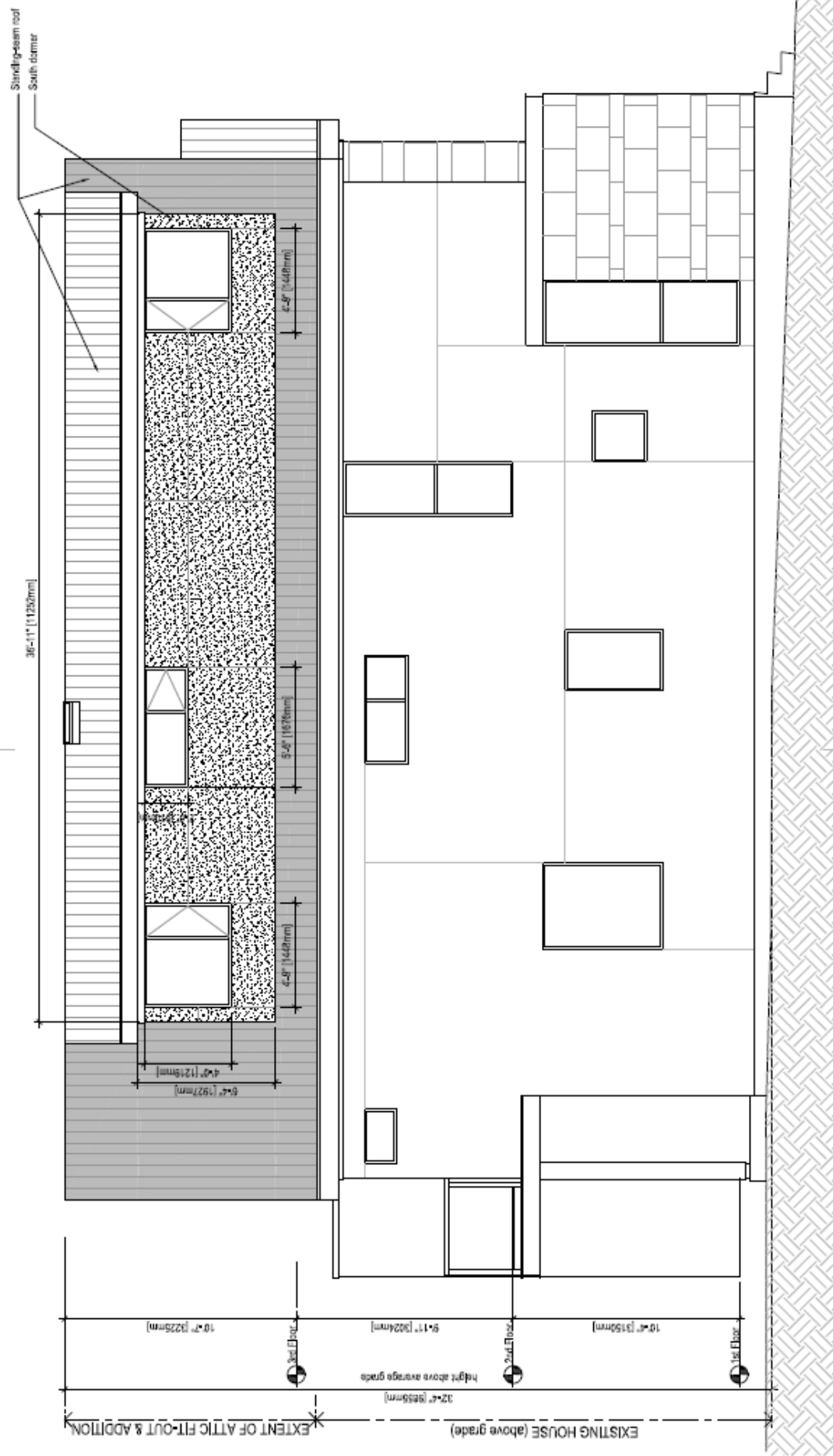
Scale
1:50

Project:
ALTERATIONS TO 444 WINNETT AVENUE
Toronto Ontario M6C 3M4

CLAUDIO A SANTON
ARCHITECT
177 Howard Avenue
Toronto ON M4M 2T6
416.467.2903
info@claudiosanton.ca

Author
Date

Checked by
Date



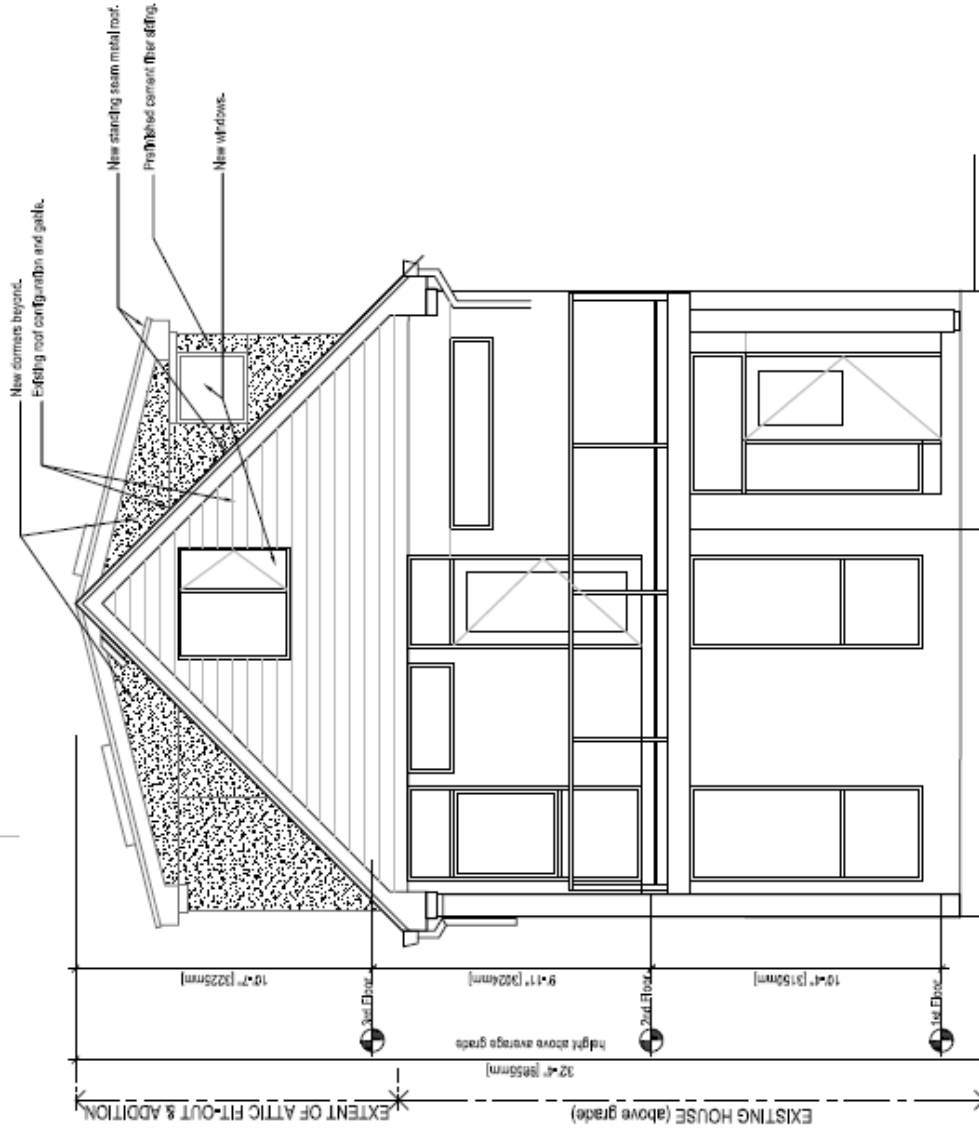
Project Number		15100	
Sheet Title		SOUTH ELEVATION (SIDE)	
Drawn By	Checked by	Date	Scale
CS	CS	Feb 6/17	1:50
Sheet Number		MV.08	

CLAUDIO A SANTON
ARCHITECT

177 Howard Avenue
Toronto, ON (M4M) 2T6
416.467.2903
info@clsanton.com

Project:
ALTERATIONS TO 444 WINNETT AVENUE
Toronto, Ontario M6C 3M4

Client:	
Contractor:	
Drawn:	Feb 22/17
Checked:	
Date:	



Project Number
15100

Sheet Title
WEST ELEVATION (REAR)

Scale
1:200

Date
Feb 6/17

Drawn By
CS

Checked by
CS

Sheet Number
MV.09

**CLAUDIO A SANTON
ARCHITECT**

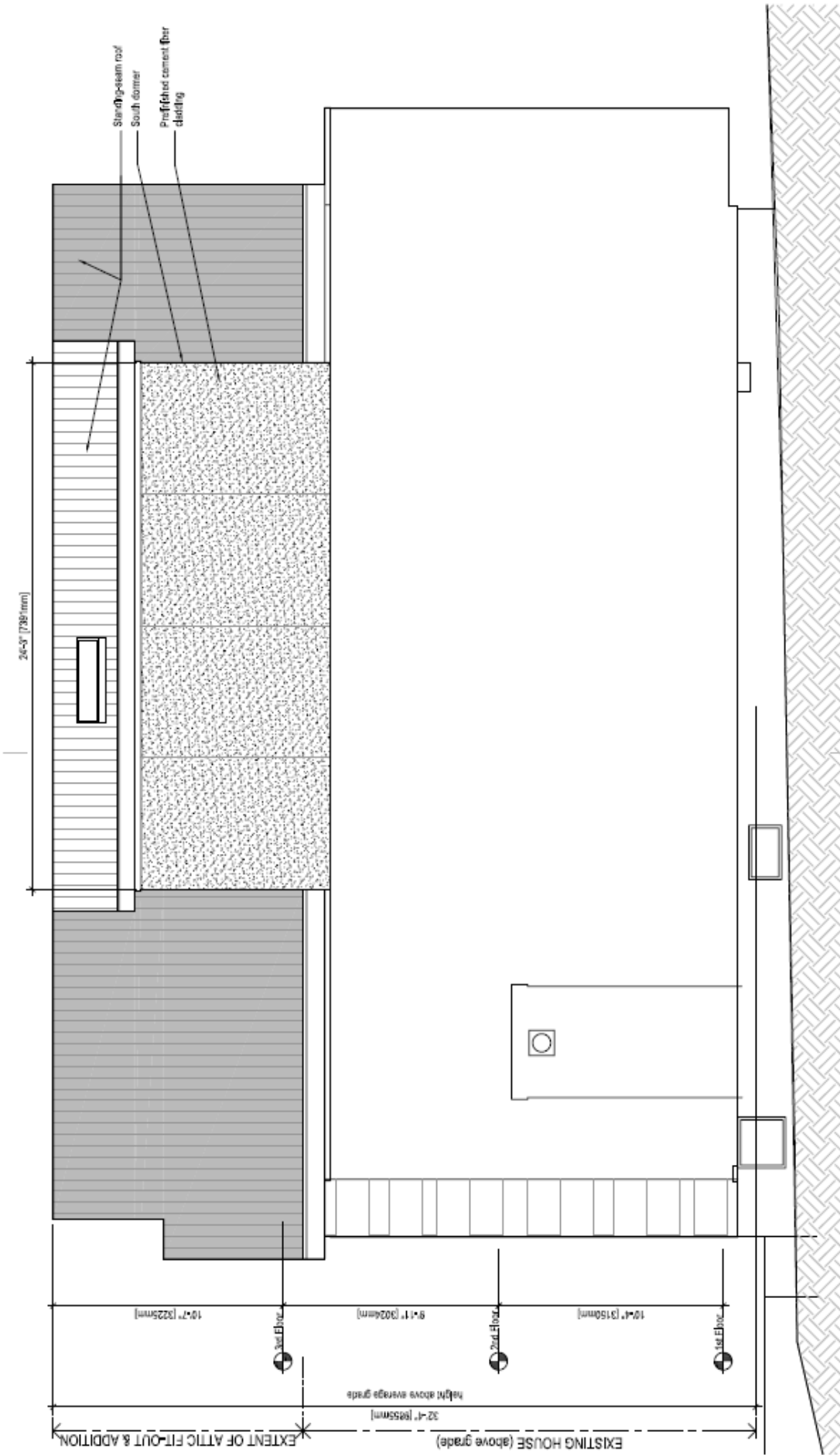
177 Howard Avenue
Toronto, ON (M4M) 2T6
416.467.2903
info@claudioasanton.ca

Project:
ALTERATIONS TO 444 WINNETT AVENUE
Toronto Ontario M6C 3M4

Approved by: _____ Date: _____

Contractor of Agreement: _____ Feb. 22/17

Site: _____ Date: _____



Project Number
15100

Sheet Title
NORTH ELEVATION (SIDE)

Scale
1:50

Date
Feb 6/17

Drawn By
CS

Checked by
CS

Sheet Number
MV.10

**CLAUDIO A SANTON
ARCHITECT**

177 Howard Avenue
Toronto, ON (M4M) 2T6
416.467.2903
info@claudioanton.com

Project:
ALTERATIONS TO 444 WINNETT AVENUE
Toronto, Ontario M6C 3M4

Author: [Blank]

Checked: [Blank]

Date: [Blank]

Scale: [Blank]

Project: [Blank]

SIGNATURE PAGE

File Number:	A0222/17TEY	Zoning	RM (f12.0; U2; d0.8)(x252) & R2 (ZPR)
Owner(s):	SUZANNE JUNE CHEMEL ELLI CHEMEL	Ward:	St. Paul's (21)
Agent:	ELLI CHEMEL	Heritage:	Not Applicable
Property Address:	444 WINNETT AVE	Community:	York
Legal Description:	PLAN 2339 S PT LOT 61		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0223/17TEY	Zoning:	R (d0.6) & R2 Z0.6 (ZPR)
Owner(s):	ADRIAN DINSDALE KATHRYN DINSDALE	Ward:	Toronto-Danforth (30)
Agent:	ADRIAN DINSDALE	Heritage:	Not Applicable
Property Address:	11 A BLOOMFIELD AVE	Community:	Toronto
Legal Description:	PLAN 404E PT LOT 84		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing 2½-storey single family semi-detached dwelling by constructing: a basement secondary suite & walkout, front addition, rear ground floor deck, rear addition, 3rd storey rear balcony and rear detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.40.30.(1)(A), By-law 569-2013**
The maximum permitted building length is 17.0 m.
The altered dwelling will have a building length of 18.0 m.
- Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.6 times the area of the lot (109.81 m²).
The altered dwelling will have a floor space index equal to 0.97 times the area of the lot (178.65 m²).
- Chapter 10.10.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 5.1 m.
The altered dwelling will be located 3.575 m to the front lot line.
- Chapter 10.10.40.70.(3)(A)(ii), By-law 569-2013**
The minimum required side yard setback is 0.9 m.
The altered dwelling will be located 0.774 m to the west side lot line.
- Chapter 10.10.60.20.(1)(A), By-law 569-2013**
The minimum required rear and side lot line setback for a garage adjacent to a lane is 1.0 m.
In this case, the garage will be located 0.0 m from the rear and side lot line.

6. **Chapter 10.5.40.60.(7), By-law 569-2013**
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.3 m to a lot line. In this case, the eaves will be located 0.154 m from the west lot line.
7. **Chapter 10.5.50.10.(1)(D), By-law 569-2013**
A minimum of 75% of the front yard landscaping shall be maintained as soft landscaping (14.73 m²). In this case, 43% of the front yard will be maintained as soft landscaping (8.12 m²).
8. **Chapter 10.5.50.10.(3)(B), By-law 569-2013**
A minimum of 25% of the rear yard landscaping shall be maintained as soft landscaping (18.37 m²). In this case, 18% of the rear yard will be maintained as soft landscaping (13.41 m²).
9. **Chapter 10.5.60.50.(2)(B), By-law 569-2013**
The maximum permitted floor area of all ancillary buildings or structures on a lot is 40.0 m². In this case, the total floor area of all ancillary buildings will be 46.20 m².
10. **Chapter 150.10.40.1.(3)(A), By-law 569-2013**
A secondary suite is a permitted use provided that an addition or exterior alteration to a building to accommodate a secondary suite does not alter or add to a main wall or roof that faces a street. In this case, the addition will alter the front wall which faces a street.
1. **Section 6(2)1.(iii), By-law 438-86**
A converted house is permitted if there is no alteration to the front of the existing house. In this case, the addition will alter the front of the existing house.
2. **Section 6(3) Part I 1, By-law 438-86**
The maximum permitted gross floor area is 0.6 times the area of the lot (109.81 m²). The altered dwelling will have a gross floor area equal to 0.97 times the area of the lot (178.65 m²).
3. **Section 6(3) Part II 2(II), By-law 438-86**
The minimum required front yard setback is 5.1 m. The altered dwelling will be located 3.575 m to the front lot line.
4. **Section 6(3) Part II 3.F, By-law 438-86**
The minimum required side lot line setback where the side wall contains openings is 1.2 m. The altered dwelling will be located 0.774 m to the west side lot line.
5. **Section 6(3) Part II 3.C(I), By-law 438-86**
The minimum required side lot line setback where the side wall contains no openings is 0.45 m. The altered dwelling will be located 0.0 m to the east side lot line.
6. **Section 6(3) Part II 5(I), By-law 438-86**
The maximum permitted building depth is 14.0 m. The altered dwelling will have a building depth of 18.0 m.
7. **Section 6(3) Part III, By-law 438-86**
A minimum of 75% of the front yard landscaping shall be maintained as soft landscaping (14.73 m²). In this case, 43% of the front yard will be maintained as soft landscaping (8.12 m²).

8. Section 4(2), By-law 438-86

The maximum permitted building height is 10.0 m.

The altered dwelling will have a height of 10.66 m to the top of the skylight.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0223/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZPR)
Owner(s):	ADRIAN DINSDALE KATHRYN DINSDALE	Ward:	Toronto-Danforth (30)
Agent:	ADRIAN DINSDALE	Heritage:	Not Applicable
Property Address:	11 A BLOOMFIELD AVE	Community:	Toronto
Legal Description:	PLAN 404E PT LOT 84		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0224/17TEY	Zoning	R (d1.0)(x804) & R4 Z1.0 (ZZC)
Owner(s):	2521120 ONTARIO INC.	Ward:	Trinity-Spadina (19)
Agent:	RICHARD DE OLIVEIRA	Heritage:	Not Applicable
Property Address:	48 FOXLEY ST	Community:	Toronto
Legal Description:	PLAN D188 PT LOT 11		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by constructing a rear two-storey addition, a complete third storey addition with a rear deck, a new front porch, and a front basement walkout.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index of a detached dwelling is 1.0 times the area of the lot (178.5 m²).

The altered detached dwelling will have a floor space index equal to 1.09 times the area of the lot (194.8 m²).

2. Chapter 10.5.50.10.(1)(D), By-law 569-2013

A minimum of 75% (10.5 m²) of the required front yard landscaped open space shall be in the form of soft landscaping.

In this case, 0% (0 m²) of the required front yard landscaped open space will be in the form of soft landscaping.

3. Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013

Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.6 m.

The front porch stairs will be located 0 m from the south front lot line.

1. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area of a detached dwelling is 1.0 times the area of the lot (178.5 m²).

The altered detached dwelling will have a gross floor area equal to 1.09 times the area of the lot (194.8 m²).

2. Section 6(3) Part II 3.B(II), By-law 438-86

The minimum required side lot line setback for the portion of a detached dwelling not exceeding a depth of 17 m is 0.9 m, where the side wall contains openings.

The portion of the altered detached dwelling not exceeding a depth of 17 m will be located 0.02 m from the west side lot line and 0.81 m from the east side lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

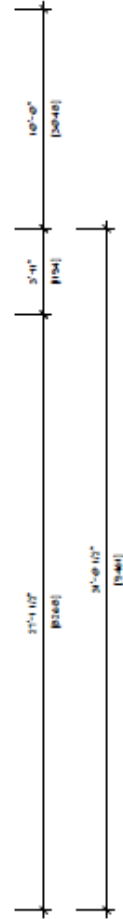
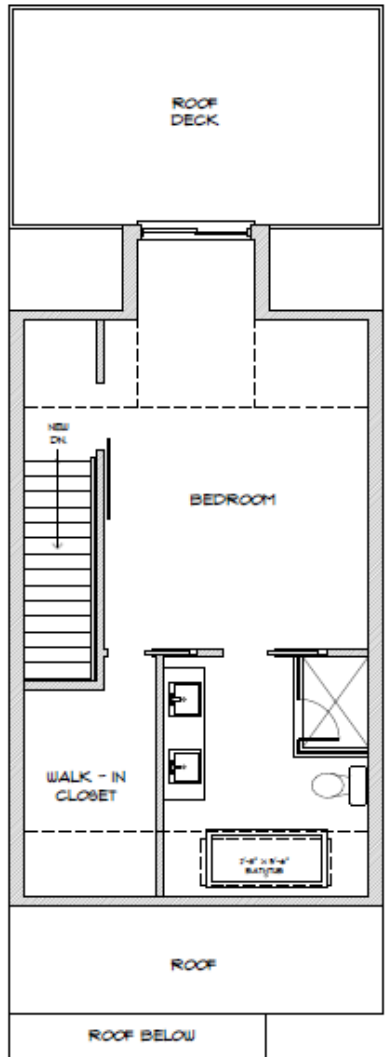
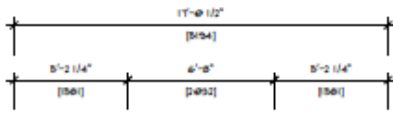
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) The rear third storey deck be constructed with permanent opaque screening or fencing along the east and west edges of the deck to a minimum height of 1.5 m, measured from the floor of the deck.
- (3) The third floor of the proposed dwelling shall have a maximum building length of 9.5 m exclusive of the rear deck, as per the third floor plan received by the Committee of Adjustment on March 1, 2017.



RECEIVED
By TEY CofA at 9:13 am, Mar 01, 2017

1 THIRD FLOOR PLAN - PROPOSED
25 SCALE: 3/16"=1'-0"

PRINTS AND SPECIFICATIONS SHALL NOT BE REPRODUCED WITHOUT THE PERMISSION OF THE DESIGNER. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING. IF THERE ARE ANY DIMENSIONS, DETAILS OR DESIGN INTENT THAT CANNOT BE DETERMINED FROM THE DRAWINGS, THE DESIGNER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH FABRICATION AND/OR CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED.

**re: placement
DESIGN INC.**
915 DAVENPORT ROAD
TORONTO, ONTARIO
TEL 416-931-1435
REPLACEMENTDESIGN.COM

Project:
**48 FOXLEY STREET
TORONTO, ONTARIO
PROPOSED ADDITION
PROJECT NUMBER: 16-065**

Date:
26. JAN. 2017
Drawing No:
Z9

SIGNATURE PAGE

File Number:	A0224/17TEY	Zoning	R (d1.0)(x804) & R4 Z1.0 (ZZC)
Owner(s):	2521120 ONTARIO INC.	Ward:	Trinity-Spadina (19)
Agent:	RICHARD DE OLIVEIRA	Heritage:	Not Applicable
Property Address:	48 FOXLEY ST	Community:	Toronto
Legal Description:	PLAN D188 PT LOT 11		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0225/17TEY	Zoning	RD (f6.0;a185;d0.75) & R1C (ZZC)
Owner(s):	MARC YVES DUBE	Ward:	Toronto-Danforth (29)
Agent:	PATRICK MCAULIFFE	Heritage:	Not Applicable
Property Address:	475 DONLANDS AVE	Community:	East York
Legal Description:	PLAN M444 PT LOT 385 PT LOT 386		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing one-storey detached dwelling by constructing; a second and third floor addition, a side two-storey addition, rear first, second and third floor decks and a front third floor deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.60.(5)(A), By-law 438-86**
An architectural feature on a building is permitted to encroach into the required building setback to a maximum of 0.6 m, if it is no closer to a lot line than 0.3 m.
The architectural features will be located 0.19 m from the east side lot line.
- 2. Chapter 10.5.40.60.(7), By-law 569-2013**
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.3 m to a lot line.
The roof eaves will be located 0.19 m from the east side lot line.
- 3. Chapter 10.5.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 3.14 m.
The altered dwelling will be located 0.76 m from the south front yard setback.
- 4. Chapter 10.20.40.10.(4)(A) & (C), By-law 569-2013**
The maximum permitted height for a dwelling with a flat roof is 7.2 m.
The altered dwelling will have a building height of **9.9 m**.

The maximum permitted number of storeys for a dwelling with a flat roof is two.
The altered dwelling will have three storeys.

5. **Chapter 10.20.40.10.(6), By-law 569-2013**
The maximum permitted height of the first floor above established grade is 1.2 m.
The height of the first floor above established grade is 1.37 m.
6. **Chapter 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.75 times the area of the lot (237.38 m²).
The altered dwelling will have a floor space index equal to 0.76 times the area of the lot (239.32 m²).
7. **Chapter 10.20.40.50.(1)(A) & (B), By-law 569-2013**
The maximum permitted number of platforms at or above the second-storey located on the rear wall of a detached house is one.
In this case, there will be two platforms located on the rear wall.

The maximum permitted area of each platform at or above the second-storey of a detached house is 4.0 m².
The area of the second-storey platform will be 25.05 m² and the area of the third-storey platform will be 75.11 m².
8. **Chapter 10.20.40.70.(3)(B), By-law 569-2013**
The minimum required side yard setback is 0.9 m.
The altered dwelling will be located 0.29 m from the east side lot line.
9. **Chapter 5.10.40.70.(6), By-law 569-2013**
If the Toronto and Region Conservation Authority determines that a shoreline hazard limit or a stable top-of-bank crosses a lot, a building or structure on the lot is required to be setback a minimum of 10 m from that shoreline hazard limit or stable top-of-bank.
The setback from the stable top-of-bank on the same lot will be 1.2 m measured from the rear deck with stairs and 5.50 m measured from the rear wall of the dwelling.
10. **Chapter 5.10.40.80.(1), By-law 569-2013**
A building or structure on a lot is required to be setback a minimum of 10 m from a shoreline hazard limit or stable top-of-bank not on the lot.
The minimum setback from the stable top-of-bank on the same lot will be 3.22 m measured from the rear deck with stairs and 6.06 m measured from the rear main wall of the dwelling.
1. **Section 5.6(b)(i), By-law 6752**
Balconies, canopies, unenclosed porches, platforms and decks are permitted to project beyond a front wall or a rear wall to a maximum of 2.5 m.
The rear first floor deck will project 4.32 m from the rear first floor wall.
The second floor platform will project 3.73 m from the rear second floor wall.
The third floor platform will project 2.87 m from the front third floor wall and 4.62 m from the rear third floor wall.
2. **Section 7.4.3, By-law 6752**
The maximum permitted building height is 8.5 m.
The altered dwelling will have a building height of **9.9 m**.
3. **Section 7.4.3, By-law 6752**
The maximum permitted floor space index is 0.75 times the area of the lot (237.38 m²).
The altered dwelling will have a floor space index equal to 0.76 times the area of the lot (239.32 m²).

4. Section 7.4.3, By-law 6752

The minimum required front yard setback is 6.0 m.

The altered dwelling will be located 0.76 m from the south front lot line.

5. Section 7.4.3, By-law 6752

The maximum permitted lot coverage is 35% of the lot area (110.78 m²).

The lot coverage will be 42.12% of the lot area (133.31 m²).

6. Section 7.4.3, By-law 6752

The minimum required east side yard setback is 0.6 m.

The altered dwelling will be located 0.29 m from the east side lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0225/17TEY	Zoning	RD (f6.0;a185;d0.75) & R1C (ZZC)
Owner(s):	MARC YVES DUBE	Ward:	Toronto-Danforth (29)
Agent:	PATRICK MCAULIFFE	Heritage:	Not Applicable
Property Address:	475 DONLANDS AVE	Community:	East York
Legal Description:	PLAN M444 PT LOT 385 PT LOT 386		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0228/17TEY	Zoning	R(d1.0) & R4 Z1.0 (ZZC)
Owner(s):	2500868 ONTARIO LIMITED	Ward:	Beaches-East York (32)
Agent:	MARY FLYNN-GUGLIETTI	Heritage:	Not Applicable
Property Address:	938 EASTERN AVE (33 MINTO ST)	Community:	Toronto
Legal Description:	PLAN 633 LOT 57		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a rooftop terrace on the approved three-storey townhouse/rowhouse (33 Minto Street, Unit B2) currently under construction.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.10.(1), By-law 569-2013**
The maximum permitted building height is 12.0 m.
The altered townhouse will have a height of 13.085 m.
- 2. Chapter 10.10.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 9.5 m.
The height of the east front exterior main walls will be 11.467 m.
- 3. Chapter 10.10.40.10.(2)(A)(ii), By-law 569-2013**
The maximum permitted height of all rear exterior main walls is 9.5 m.
The height of the west rear exterior main walls will be 13.0 m.
- 4. Chapter 10.10.40.10.(2)(B)(i), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 9.5 m.
The height of the south side exterior main walls facing a side lot line will be 13.0 m.
- 5. Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 9.5 m.
The height of the north side exterior main walls facing a side lot line will be 11.462 m.

1. Section 4(2)(a), By-law 438-86

The maximum permitted building height is 12.0 m.

The altered rowhouse will have a height of 13.085 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

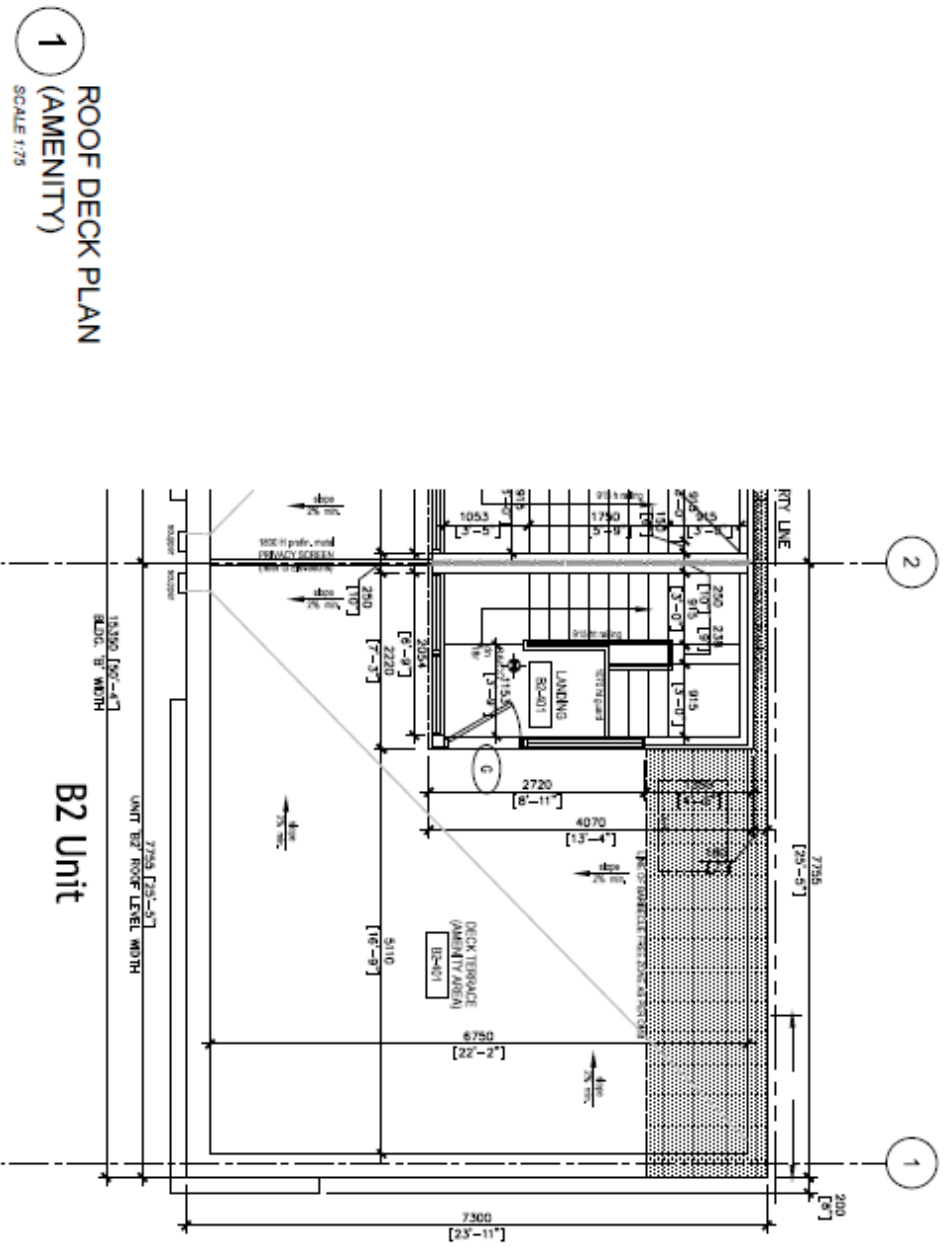
It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The variances related to height shall apply only to the stair enclosure for access to the roof top terrace, as located on drawings A6.0, A8.0, A9.0 and A10.0. The remainder of the building shall have a maximum height of 12.0 m. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

PROPOSED CONVERSION OF ROOF DECK TO RESIDENTIAL AMENITY SPACE: UNIT B2



1 ROOF DECK PLAN
(AMENITY)
SCALE 1/75

CARRICARI LEE ARCHITECTS
 113 Miranda Avenue
 Toronto, ON M6B 3Y6
 T 416 962 9670 / 416 962 9671
 F 416 962 9670 / 416 962 9671
 www.carricari-lee.com

CLA

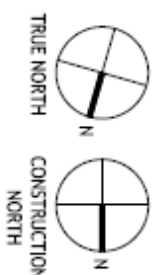
PROJECT NAME: **MINTO TOWNHOMES**
 938 EASTERN AVENUE, TORONTO, ON M4L 1M4

DRAWING TITLE: **ROOF DECK PLAN - AMENITY (PROPOSED)**

DATE	NO.	ISSUE
20/02/18	01	ISSUED FOR C.O.P.A.

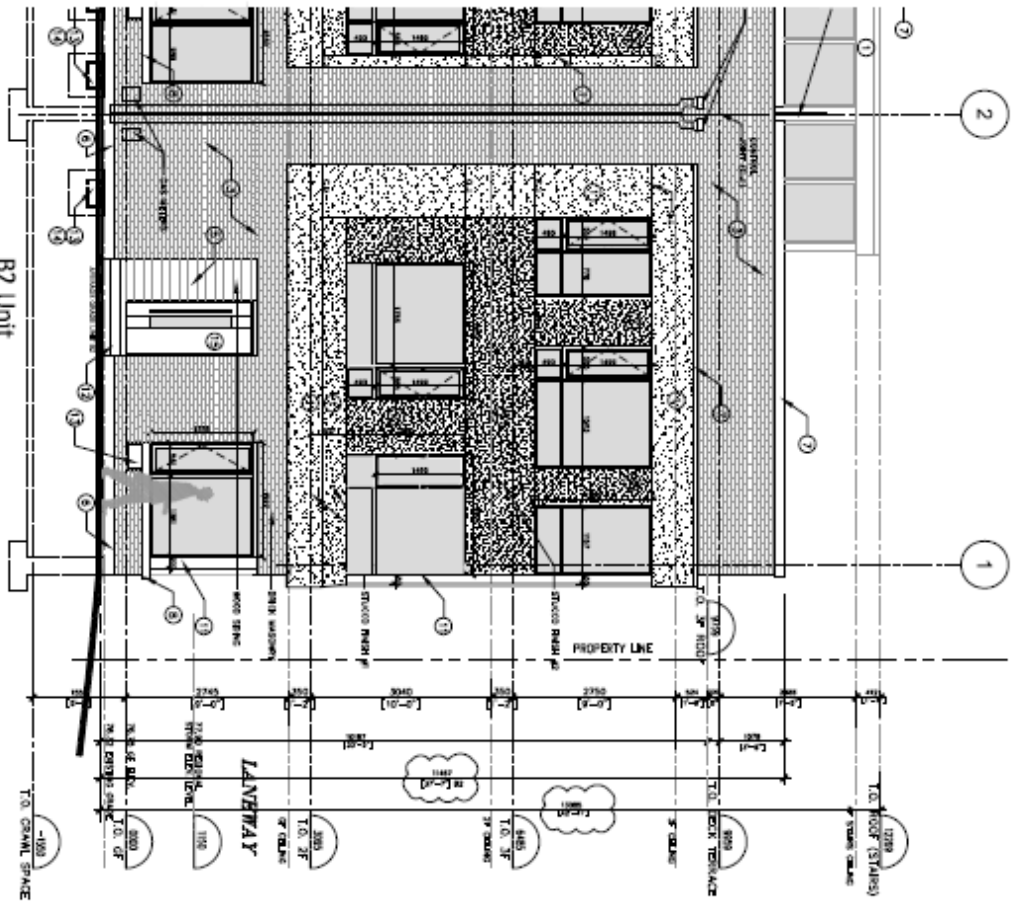
CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF WORK. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED.

SCALE	AS NOTED	REVISION NO.
PROJECT NO.	1603M	
DATE	20/02/18	DRAWING NO.
DRAWN	AD	A6.0
CHECKED	DL	



PROPOSED CONVERSION OF ROOF DECK TO RESIDENTIAL AMENITY SPACE: UNIT B2

1 EAST ELEVATION
(ALONG MINTO STREET)
SCALE 1/100



- ELEVATION LEGEND**
- 1 STUCCO SYSTEM FINISH #1 (COLOR T80)
 - 2 STUCCO SYSTEM FINISH #2 (COLOR T80)
 - 3 STANDARD BRICK FINISH (COLOR T80)
 - 4 BRICK CONDUIT PANEL CLOSING SYSTEM (COLOR T80)
 - 5 CEDAR SERRIT AND WALL @ ENTRY
 - 6 PAVED PLAIN CEMENT FINISH
 - 7 HETTERISHED METAL RAINING/CAPPING (SEE SECTION DETAILS A4.2)
 - 8 STONE MASONRY SILL (NATURAL COLOR) w/ DRAINAGE ZEPHRA OVERHANG
 - 9 ALUM. RAINWATER GUTTER & LEADER
 - 10 TEN FACE BRICK FINISH
 - 11 PRE-CAST ALUMINUM CORNER TRIM
 - 12 POLISHED CONCRETE STEPS
 - 13 'SMARTMENT' FLOOR THROUGH SERVICE
 - 14 GALVANIZED METAL FOR 'SMARTMENT' BELOW GRADE
 - 15 PRE-CASTING SOLID WOOD DOOR w/ LINE
 - 16 PRE-CAST, INSULATED GARAGE DOOR w/ DOOR OPENER AND PADS (2)

CARICARI LEE ARCHITECTS
113 Miranda Avenue
Toronto, ON M6B 3Y6
416 962 9670 / 416 962 9671
www.caricari-lee.com

CLA

PROJECT NAME: MINTO TOWNHOMES
938 EASTERN AVENUE, TORONTO, ON M4L 1M4

DRAWING TITLE: PROPOSED EAST ELEVATION

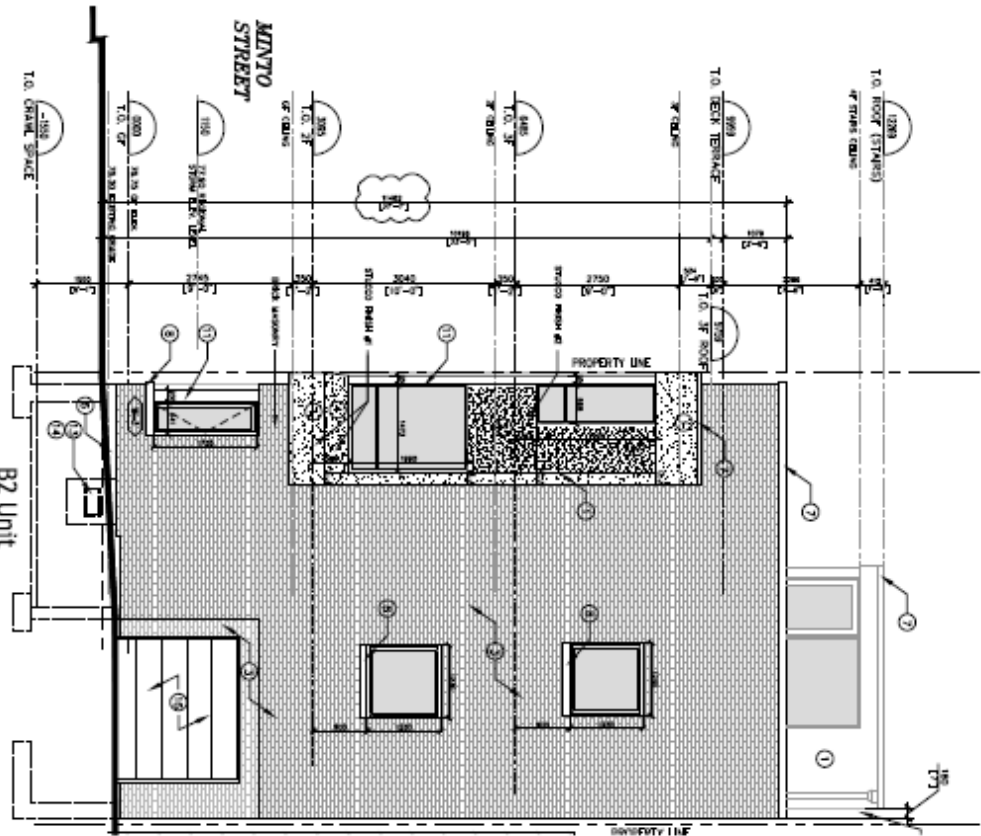
DATE	NO.	ISSUE
20/02/08	01	ISSUED FOR C.O.P.A.

CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF WORK. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED.

SCALE	AS NOTED	REVISION NO.
PROJECT NO.	1602M	
DATE	20/02/08	DRAWING NO.
DRAWN	AD	A8.0
CHECKED	DL	

PROPOSED CONVERSION OF ROOF DECK TO RESIDENTIAL AMENITY SPACE: UNIT B2

1 NORTH ELEVATION
(ALONG LAKE)
SCALE 1:100



- ELEVATION LEGEND**
- 1 STUCCO SYSTEM FINISH #1 (COLOR T10)
 - 2 STUCCO SYSTEM FINISH #2 (COLOR T10)
 - 3 STANDARD BRICK FINISH (COLOR T10)
 - 4 BRICK COROUT PANEL CLOSING SYSTEM (COLOR T10)
 - 5 CEDAR SERRIT AND WALL @ ENTRY
 - 6 PARKED PLAIN CEMENT FINISH
 - 7 WEATHERED METAL RAINING/CAPPING (SEE SECTION DETAILS A4.2)
 - 8 STONE BRICK W/ ALUM. RAINWATER GUTTER & LEADER
 - 9 ALUM. RAINWATER GUTTER & LEADER
 - 10 TRIM FACE BRICK FINISH
 - 11 PRE-FIN. ALUMINUM CORNER TRIM
 - 12 POURED CONCRETE STEPS
 - 13 'SMARTENT' FLOW THROUGH SERVICE
 - 14 GALVANIZED W/LL FOR 'SMARTENT' BELOW GRADE
 - 15 REC-JOING SOLID WOOD DOOR w/ LITE
 - 16 PRETN. INSULATED GARAGE DOOR w/ DOOR OPENER AND PADS (2)

CARCARI LEE ARCHITECTS
113 Miranda Avenue
Toronto, ON M6B 3Y6
416 962 9670 / 416 962 9671
www.carcari-lee.com

CLA

PROJECT NAME: MINTO TOWNHOMES
938 EASTERN AVENUE, TORONTO, ON M4L 1M4

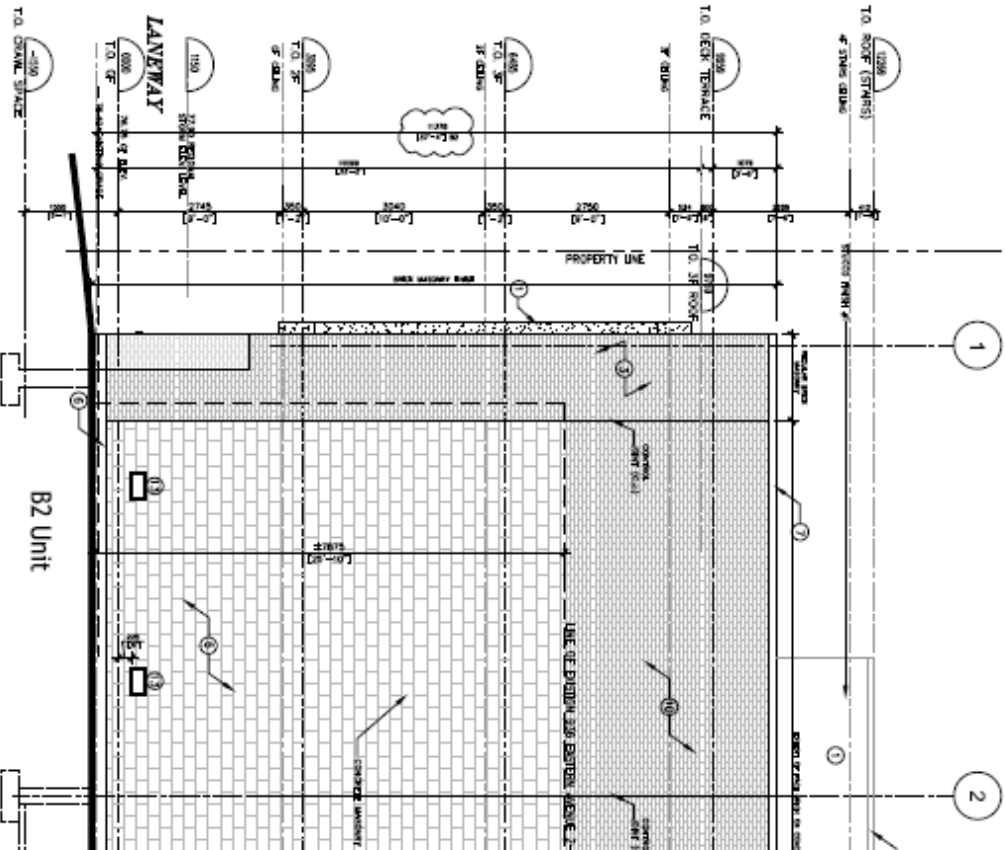
DRAWING TITLE: PROPOSED NORTH ELEVATION

DATE	NO.	ISSUE
20/02/08	01	ISSUED FOR C.O.P.A.

CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF WORK. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED.

SCALE	AS NOTED	REVISION NO.
PROJECT NO.	1603M	
DATE	20/02/08	DRAWING NO.
DRAWN	AD	A9.0
CHECKED	DL	

PROPOSED CONVERSION OF ROOF DECK TO RESIDENTIAL AMENITY SPACE: UNIT B2



1 WEST ELEVATION
SCALE 1:100

CARICARI LEE ARCHITECTS
113 Miranda Avenue
Toronto, ON M6B 3Y6
416 962 9670 / 416 962 9671
416@caricari-lee.com
www.caricari-lee.com

CLA

PROJECT NAME: **MINTO TOWNHOMES**
938 EASTERN AVENUE, TORONTO, ON M4L 1M4

DRAWING TITLE: **PROPOSED WEST ELEVATION**

DATE	NO.	ISSUE
2016/03/08	01	ISSUED FOR C.O.P.A.

CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF WORK. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED.

SCALE	AS NOTED	REVISION NO.
PROJECT NO.	1602M	
DATE	20/03/08	DRAWING NO.
DRAWN	AD	A10.0
CHECKED	DL	

- ELEVATION LEGEND**
- 1 STUCCO SYSTEM FINISH #1 (COLOR T10)
 - 2 STUCCO SYSTEM FINISH #2 (COLOR T10)
 - 3 STANDARD BRICK FINISH (COLOR T10)
 - 4 BRICK CONDUIT PANEL CLOSING SYSTEM (COLOR T10)
 - 5 CEDAR SERRIT AND WALL @ ENTRY
 - 6 PARKED PLAIN CEMENT FINISH
 - 7 REFINISHED METAL RAINING/CAPPING (SEE SECTION DETAILS A4.2)
 - 8 STONE WINDOW SILL (NATURAL COLOR) w/ DRAINAGE ZEPHUS OVERHANG
 - 9 ALUM. RAINWATER GUTTER & LEADER
 - 10 TRIM FACE BRICK FINISH
 - 11 PRE-FIN. ALUMINUM CORNER TRIM
 - 12 POURED CONCRETE STEPS
 - 13 'SMARTMENT' FLOW THROUGH SERVICE
 - 14 GALVANIZED WEL FOR 'SMARTMENT' BELOW GRADE
 - 15 PRE-FINING SOLID WOOD DOOR w/ LIN
 - 16 PREFN. INSULATED GARAGE DOOR w/ DOOR OPENER AND PADS (2)

SIGNATURE PAGE

File Number:	A0228/17TEY	Zoning	R(d1.0) & R4 Z1.0 (ZZC)
Owner(s):	2500868 ONTARIO LIMITED	Ward:	Beaches-East York (32)
Agent:	MARY FLYNN-GUGLIETTI	Heritage:	Not Applicable
Property Address:	938 EASTERN AVE (33 MINTO ST)	Community:	Toronto
Legal Description:	PLAN 633 LOT 57		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0229/17TEY	Zoning	R(d1.0) & R4 Z1.0 (ZZC)
Owner(s):	2500868 ONTARIO LIMITED	Ward:	Beaches-East York (32)
Agent:	MARY FLYNN-GUGLIETTI	Heritage:	Not Applicable
Property Address:	938 EASTERN AVE (35 MINTO ST)	Community:	Toronto
Legal Description:	PLAN 633 LOT 57		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a rooftop terrace on the approved three-storey townhouse/rowhouse (35 Minto Street, Unit B1) currently under construction.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.10.(1), By-law 569-2013**
The maximum permitted building height is 12.0 m.
The altered townhouse will have a height of 13.085 m.
- 2. Chapter 10.10.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 9.5 m.
The height of the east front exterior main walls will be 11.467 m.
- 3. Chapter 10.10.40.10.(2)(A)(ii), By-law 569-2013**
The maximum permitted height of all rear exterior main walls is 9.5 m.
The height of the west rear exterior main walls will be 13.0 m.
- 4. Chapter 10.10.40.10.(2)(B)(i), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 9.5 m.
The height of the north side exterior main walls facing a side lot line will be 13.0 m.
- 5. Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 9.5 m.
The height of the south side exterior main walls facing a side lot line will be 11.46 m.

1. Section 4(2)(a), By-law 438-86

The maximum permitted building height is 12.0 m.

The altered rowhouse will have a height of 13.085 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

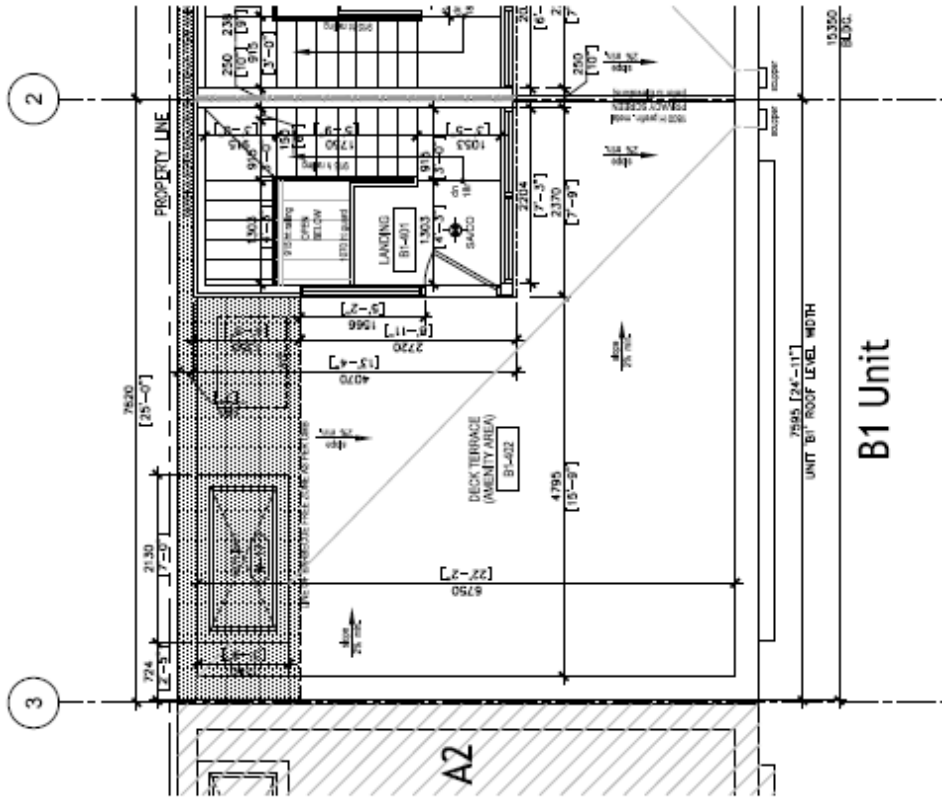
It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

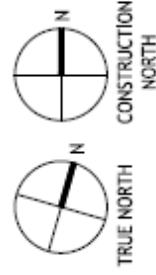
This decision is subject to the following condition(s):

The variances related to height shall apply only to the stair enclosure for access to the roof top terrace, as located on drawings A6.0, A8.0, A9.0 and A10.0. The remainder of the building shall have a maximum height of 12.0 m. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

PROPOSED CONVERSION OF ROOF DECK TO RESIDENTIAL AMENITY SPACE: UNIT B1

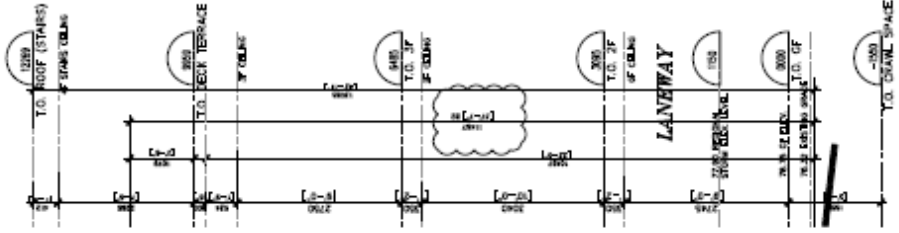
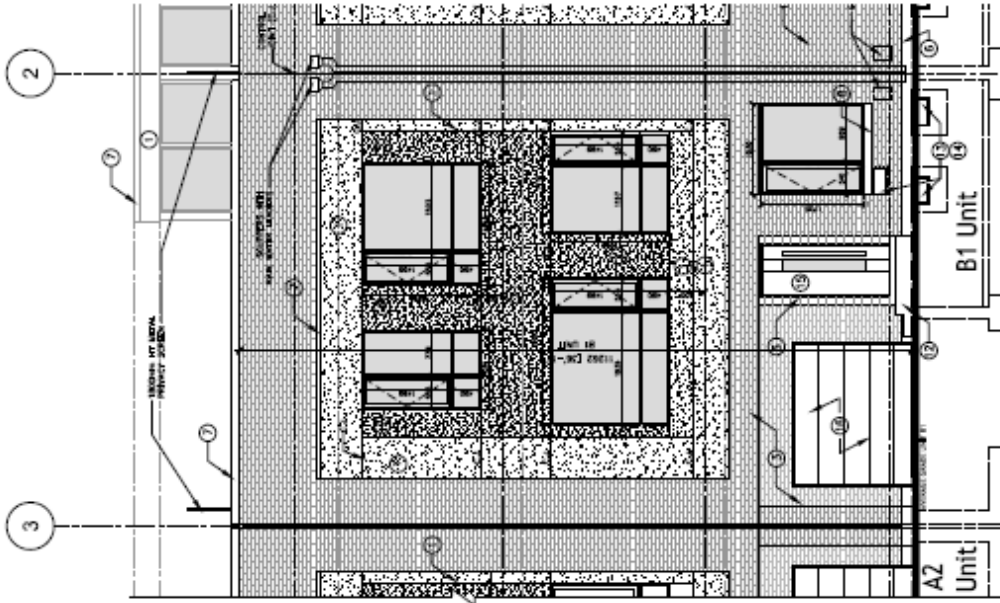


1 ROOF DECK PLAN
(AMENITY)
SCALE 1:75



CARICARI LEE ARCHITECTS 113 Mirinda Avenue Toronto, ON M6B 3M8 T 416 962 9670 / F 416 962 9671 e / info@caricari-lee.com www.caricari-lee.com	PROJECT NAME: MINTO TOWNHOMES 938 EASTERN AVENUE, TORONTO, ON M4L 1A4		DATE 20/10/2008	NO. 01	ISSUE ISSUED FOR C OF A	CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF WORK. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED	SCALE AS NOTED	REVISION NO. 15034
	DRAWING TITLE: ROOF DECK PLAN - AMENITY (PROPOSED)		DATE 20/10/2008	DRAWN AD	CHECKED DL	PROJECT NO. 15034	DRAWING NO. A6.0	

PROPOSED CONVERSION OF ROOF DECK TO RESIDENTIAL AMENITY SPACE: UNIT B1



- ELEVATION LEGEND**
- ① STUCCO SYSTEM FINISH #1 (COLOR TBD)
 - ② STUCCO SYSTEM FINISH #2 (COLOR TBD)
 - ③ STANDARD BRICK FINISH (COLOR TBD)
 - ④ PINK COGNAC PANEL CLADDING SYSTEM (COLOR TBD)
 - ⑤ CEDAR SHIPIT AND WALL @ ENTRY
 - ⑥ HAZARD PLAN COBALT FINISH
 - ⑦ PREFINISHED METAL FLASHING/CAPPING (SEE SECTION DETAILS A4.2)
 - ⑧ STONE MASON SILL (NATURAL COLOR) W/ EPIDIC 25MM OVERLAP
 - ⑨ ALUM. RAINWATER GUTTER & LEAFER
 - ⑩ THIN FACE BRICK FINISH
 - ⑪ PRE-FIN. ALUMINUM CORNER TRIM
 - ⑫ POLISHED CONCRETE STEPS
 - ⑬ SMARTBENT FLOW THROUGH DEVICE
 - ⑭ GALVANIZED WOLL FOR 'SMARTBENT' BELOW GRADE
 - ⑮ PRE-HUNG SOLID WOOD DOOR W/ LITE
 - ⑯ PRE-INSULATED GARAGE DOOR W/ DOOR OPENER AND PAIS (2)

1 EAST ELEVATION
(ALONG MINTO STREET)
SCALE 1:100

CARRICARI LEE ARCHITECTS
113 Miranda Avenue
Toronto, ON M6B 3J6
T 416 962 9670 / F 416 962 9671
e/ info@carriarlee.com
www.carriarlee.com

CLA

PROJECT NAME:
MINTO TOWNHOMES
938 EASTERN AVENUE, TORONTO, ON M4L 1A4

DRAWING TITLE:
PROPOSED EAST ELEVATION

DATE	NO.	ISSUE
20/16/2018	01	ISSUED FOR C.O.F.A.

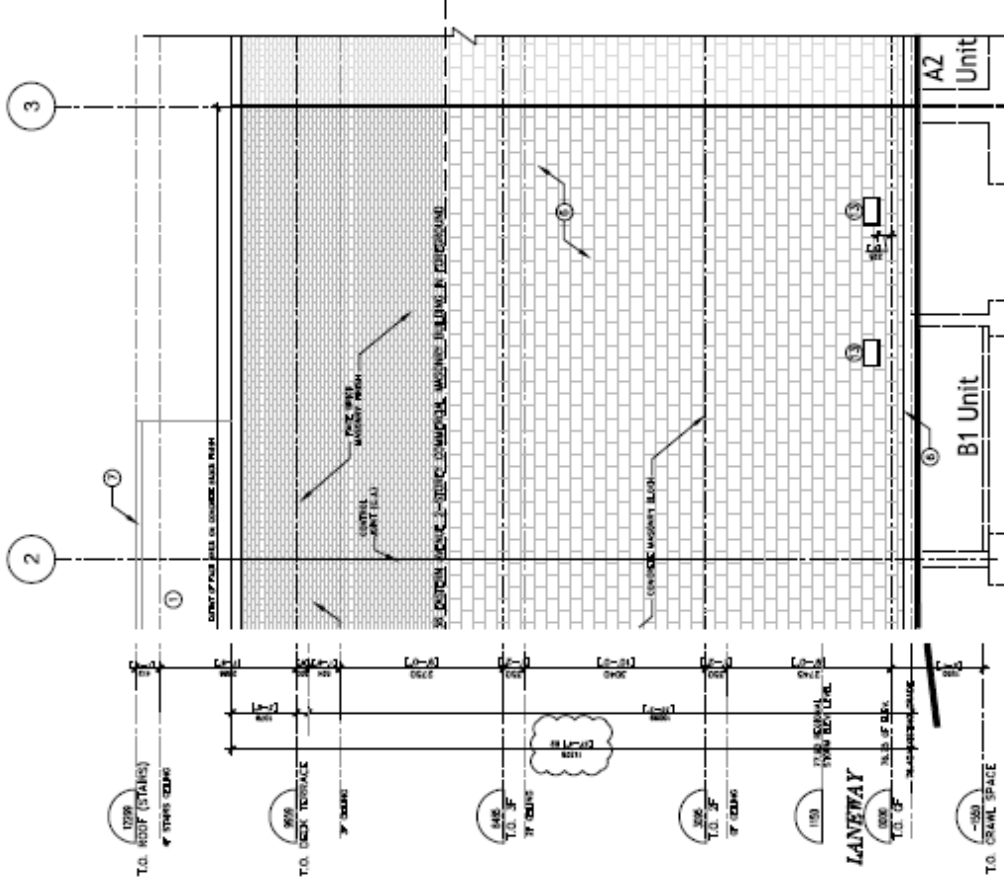
CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF WORK.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED

SCALE	AS NOTED	REVISION NO.
PROJECT NO.	15034	
DATE	20/16/2018	
DRAWN	AD	
CHECKED	DL	
		DRAWING NO.
		A8.0

PROPOSED CONVERSION OF ROOF DECK TO RESIDENTIAL AMENITY SPACE: UNIT B1



ELEVATION LEGEND

- 1 STUCCO SYSTEM FINISH #1 (COLOR TBD)
- 2 STUCCO SYSTEM FINISH #2 (COLOR TBD)
- 3 STANDARD BRICK FINISH (COLOR TBD)
- 4 PINK CONCRETE PANEL CLADDING SYSTEM (COLOR TBD)
- 5 CEDAR SHIPIT AND WALL @ ENTRY
- 6 PAINTED FLUKE CONCRETE FINISH
- 7 FINISHED METAL FLASHING/CAPPING (SEE SECTION DETAILS A4.2)
- 8 STONE WINDOW SILL (NATURAL COLOR) W/ EPIDIC 25MM OVERHANG
- 9 ALUM. RAINWATER CUTTER & LEADER
- 10 THIN FACE BRICK FINISH
- 11 PRE-FIN. ALUMINUM CORNER TRIM
- 12 POLISHED CONCRETE STEPS
- 13 SMARTSTAY FLOW THROUGH DEVICE
- 14 GALVANIZED WOLL FOR 'SMARTSTAY' BELOW GRADE
- 15 PRE-HUNG SOLID WOOD DOOR W/ LITE
- 16 INSULATED GARAGE DOOR W/ DOOR OPENER AND PAIS (2)

1 WEST ELEVATION
SCALE 1:100

CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF WORK.
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED.

DATE	NO.	ISSUE
20/16/20/09	01	ISSUED FOR C.O.F.A.

PROJECT NAME:
MINTO TOWNHOMES
938 EASTERN AVENUE, TORONTO, ON M4L 1A4

DRAWING TITLE:
PROPOSED WEST ELEVATION

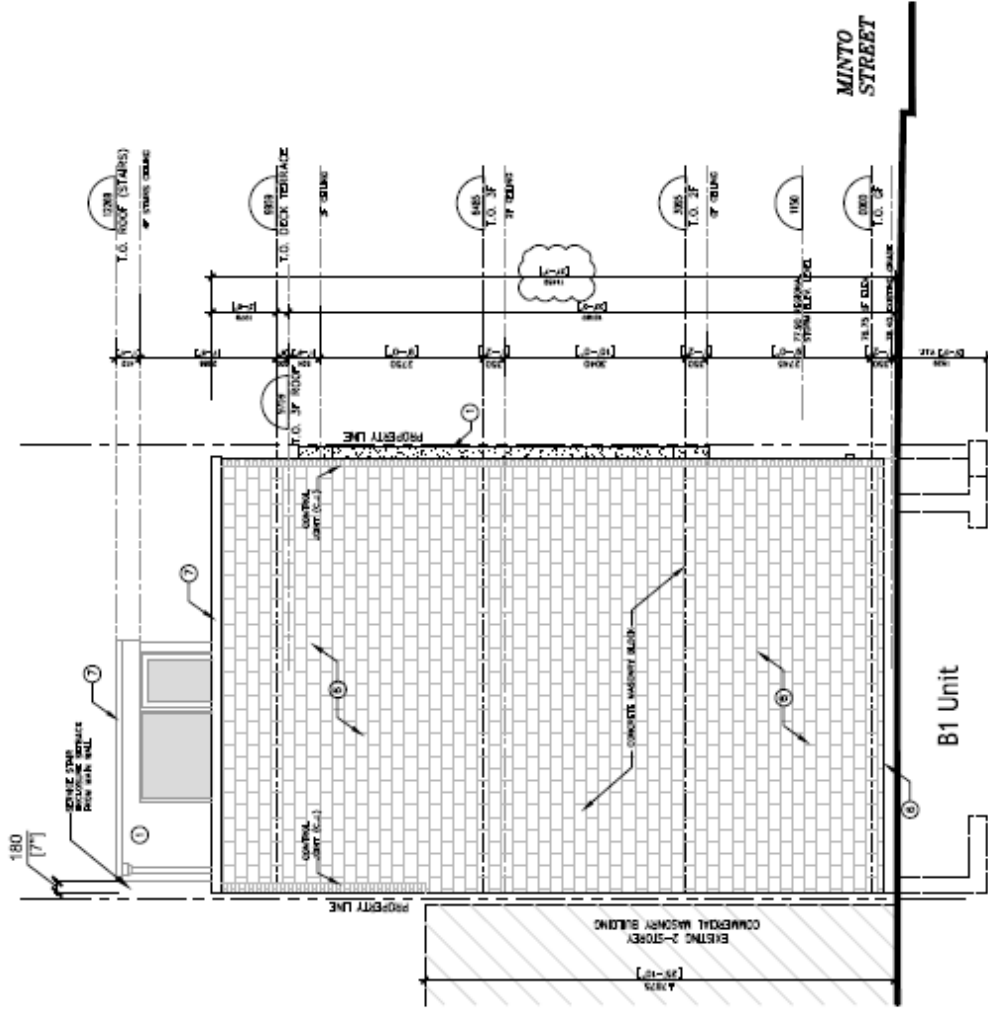
SCALE	AS NOTED	REVISION NO.
PROJECT NO.	15034	
DATE	20/16/20/09	
DRAWN	AD	
CHECKED	DL	

CARRICARI LEE ARCHITECTS
113 Miramonte Avenue
Toronto, ON M6B 3W8
T 416 962 9670 / F 416 962 9671
e/ info@carcarilee.com
www.carcarilee.com

CLA

DRAWING NO.
A9.0

PROPOSED CONVERSION OF ROOF DECK TO RESIDENTIAL AMENITY SPACE: UNIT B1



1 SOUTH ELEVATION
 (ALONG EASTERN AVENUE)
 SCALE 1:100

ELEVATION LEGEND

- 1 STUCCO SYSTEM FINISH #1 (COLOR TBD)
- 2 STUCCO SYSTEM FINISH #2 (COLOR TBD)
- 3 STANDARD BRICK FINISH: (COLOR TBD)
- 4 BRICK COURSE PANEL CLADDING SYSTEM: (COLOR TBD)
- 5 CEDAR SHIPIT AND WALL @ ENTRY
- 6 HAZED FLUAT COBALT FINISH
- 7 PREFINISHED METAL FLASHING/CAPPING (SEE SECTION DETAILS A4.2)
- 8 STONE WINDOW SILL (NATURAL COLOR) W/ PERIODIC ZENITH OVERHANG
- 9 ALUM. RAINWATER CUTTER & LEADER
- 10 THIN FACE BRICK FINISH
- 11 PRE-FIN. ALUMINUM CORNER TRIM
- 12 POLISHED CONCRETE STEPS
- 13 SMARTRENT FLOW THROUGH DEVICE
- 14 GALVANIZED WOLL FOR 'SMARTRENT' BELOW GRADE
- 15 PRE-HUNG SOLID WOOD DOOR W/ LITE
- 16 INSULATED GARAGE DOOR W/ DOOR ORDER AND PAIS (2)

CARRICARI LEE ARCHITECTS 113 Miranda Avenue Toronto, ON M6B 3H8 T/ 416 962 9670 / F/ 416 962 9671 e/ info@carcarilee.com www.carcarilee.com	PROJECT NAME: MINTO TOWNHOMES 938 EASTERN AVENUE, TORONTO, ON M4L 1A4		DATE: 20/16/2009	NO. OF ISSUES: 05	ISSUE: ISSUED FOR C.O.F.A.	SCALE: AS NOTED PROJECT NO. 15034	REVISION NO.
	DRAWING TITLE: PROPOSED SOUTH ELEVATION			DATE: 20/16/2009	DRAWN: AD	CHECKED: DL	DRAWING NO. A10.0

CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF WORK.
 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED.

SIGNATURE PAGE

File Number:	A0229/17TEY	Zoning	R(d1.0) & R4 Z1.0 (ZZC)
Owner(s):	2500868 ONTARIO LIMITED	Ward:	Beaches-East York (32)
Agent:	MARY FLYNN-GUGLIETTI	Heritage:	Not Applicable
Property Address:	938 EASTERN AVE (35 MINTO ST)	Community:	Toronto
Legal Description:	PLAN 633 LOT 57		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0227/17TEY	Zoning	R(d1.0) & R4 Z1.0 (ZZC)
Owner(s):	2500868 ONTARIO LIMITED	Ward:	Beaches-East York (32)
Agent:	MARY FLYNN-GUGLIETTI	Heritage:	Not Applicable
Property Address:	938 EASTERN AVE (37 MINTO ST)	Community:	Toronto
Legal Description:	PLAN 633 LOT 57		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a rooftop terrace on the approved three-storey townhouse/rowhouse (37 Minto Street, Unit A2 currently under construction.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.10.(1), By-law 569-2013**
The maximum permitted building height is 12.0 m.
The altered townhouse will have a height of 13.057 m.
- 2. Chapter 10.10.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 9.5 m.
The height of the east front exterior main walls will be 11.44 m.
- 3. Chapter 10.10.40.10.(2)(A)(ii), By-law 569-2013**
The maximum permitted height of all rear exterior main walls is 9.5 m.
The height of the west rear exterior main walls will be 13.0 m.
- 4. Chapter 10.10.40.10.(2)(B)(i), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 9.5 m.
The height of the south side exterior main walls facing a side lot line will be 13.0 m.
- 5. Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 9.5 m.
The height of the north side exterior main walls facing a side lot line will be 11.4 m.

1. Section 4(2)(a), By-law 438-86

The maximum permitted building height is 12.0 m.

The altered rowhouse will have a height of 13.057 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

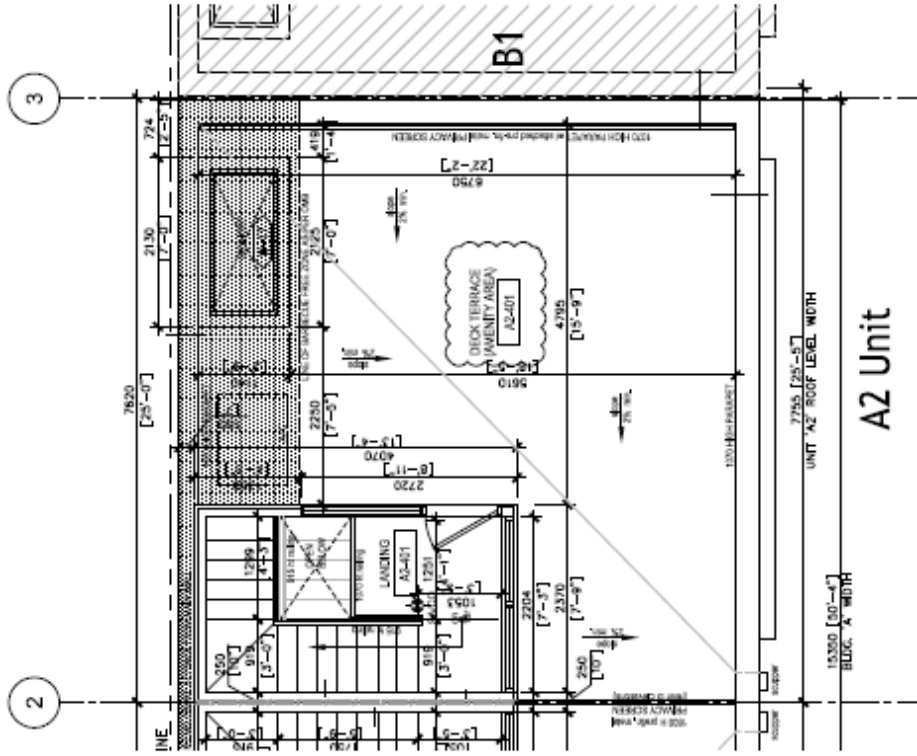
It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

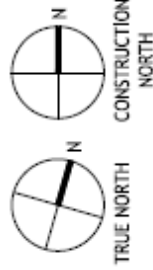
This decision is subject to the following condition(s):

The variances related to height shall apply only to the stair enclosure for access to the roof top terrace, as located on drawings A6.0, A8.0, A9.0 and A10.0. The remainder of the building shall have a maximum height of 12.0 m. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

PROPOSED CONVERSION OF ROOF DECK TO RESIDENTIAL AMENITY SPACE: UNIT A2

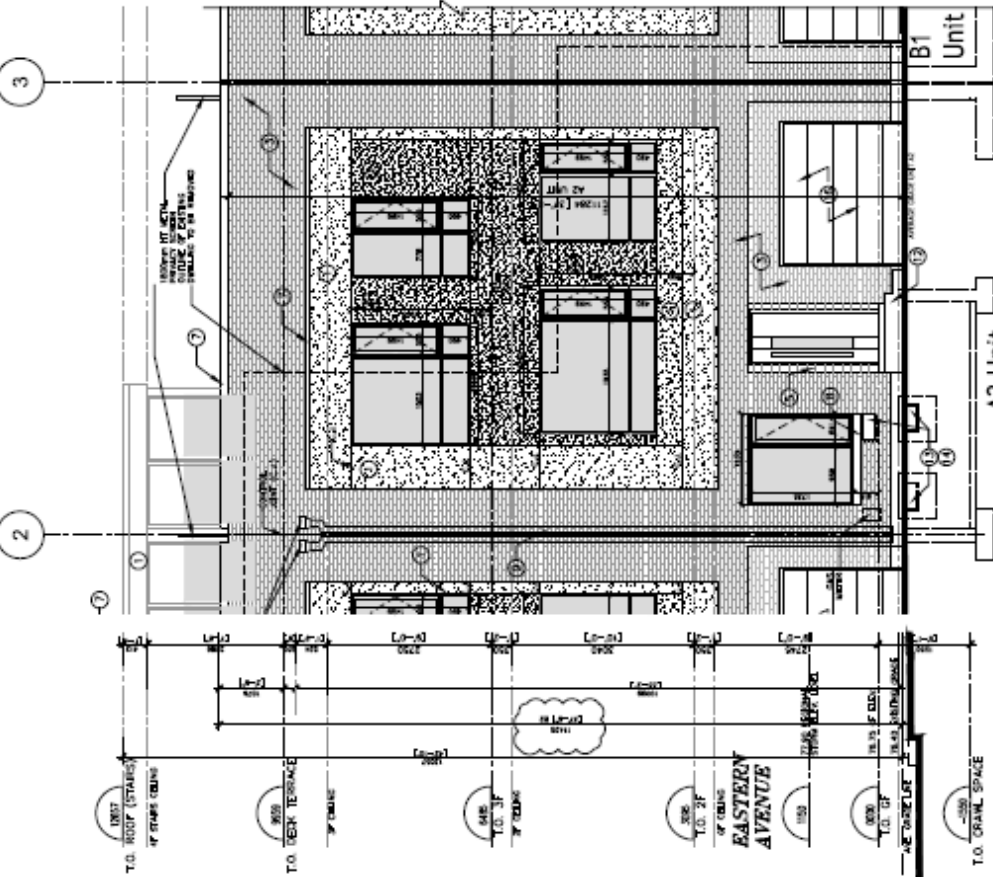


1 ROOF DECK PLAN
(AMENITY)
SCALE 1:75



CARRICARI LEE ARCHITECTS 113 Miranda Avenue Toronto, ON M6B 3R8 T 416 962 9670 / F 416 962 9671 e/ info@caricari-lee.com www.caricari-lee.com	PROJECT NAME: MINTO TOWNHOMES 938 EASTERN AVENUE, TORONTO, ON M4L 1A4		DATE 20/16/2009	NO. 01	ISSUE ISSUED FOR C.O.F.A.	CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF WORK. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED	SCALE AS NOTED PROJECT NO. 15034	REVISION NO.
	DRAWING TITLE: ROOF DECK PLAN - AMENITY (PROPOSED)		DATE 20/16/2009	DRAWN AD	CHECKED DL		DRAWING NO. A6.0	

PROPOSED CONVERSION OF ROOF DECK TO RESIDENTIAL AMENITY SPACE: UNIT A2



- ELEVATION LEGEND**
- ① STUCCO SYSTEM FINISH #1 (COLOR TBD)
 - ② STUCCO SYSTEM FINISH #2 (COLOR TBD)
 - ③ STANDARD BRICK FINISH (COLOR TBD)
 - ④ FINE GROUT PANEL GLAZING SYSTEM (COLOR TBD)
 - ⑤ CEDAR SHUTTLE AND WALL @ ENTRY
 - ⑥ PAIRED PLAN GROUT FINISH
 - ⑦ PREFINISHED METAL FLASHING/CAPPING (SEE SECTION DETAILS A4.2)
 - ⑧ STONE WINDOW SILL (NATURAL COLOR) W/ DEEPER 25MM OVERHANG
 - ⑨ ALUM. HANDBURST GUTTER & LEADER
 - ⑩ TRIN FACE BRICK FINISH
 - ⑪ PRE-FIN. ALUMINUM CORNER TRIM
 - ⑫ POURED CONCRETE STEPS
 - ⑬ SMARTCOAT FLOW THROUGH SEIZE
 - ⑭ GALVANIZED WELLS FOR SMARTCOAT BELOW GRADE
 - ⑮ PRE-HANG SOLID WOOD DOOR W/ LITE
 - ⑯ INSULN. INSULATED GARAGE DOOR W/ DOOR OPERATOR AND PANS (2)

1 EAST ELEVATION
(ALONG MINTO STREET)
SCALE 1:100

CARICARI LEE ARCHITECTS
113 Miranda Avenue
Toronto, ON M6B 3H8
T 416 962 9670 / F 416 962 9671
e/ info@caricari-lee.com
www.caricari-lee.com

CLA

PROJECT NAME:
MINTO TOWNHOMES
938 EASTERN AVENUE, TORONTO, ON M4L 1A4

DRAWING TITLE:
PROPOSED EAST ELEVATION

DATE	NO.	ISSUE
20/16/20/09	01	ISSUED FOR C.O.F.A.

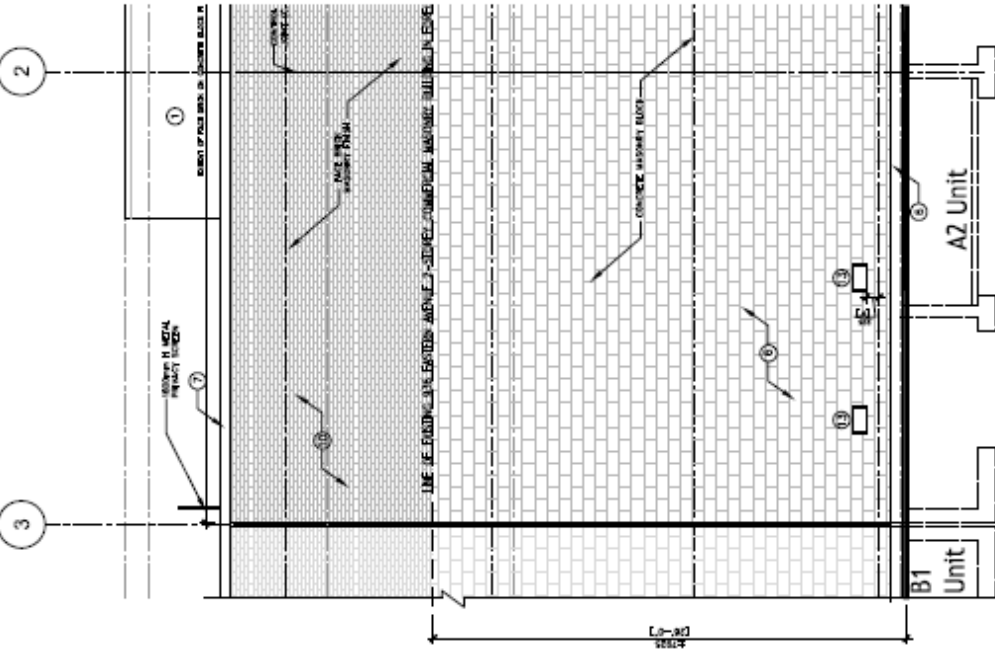
CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF WORK.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED

SCALE	AS NOTED	REVISION NO.
PROJECT NO.	15034	
DATE	20/16/20/09	DRAWING NO.
DRAWN	AD	A8.0
CHECKED	DL	

PROPOSED CONVERSION OF ROOF DECK TO RESIDENTIAL AMENITY SPACE: UNIT A2



ELEVATION LEGEND

- 1 STUCCO SYSTEM FINISH #1 (COLOR TBD)
- 2 STUCCO SYSTEM FINISH #2 (COLOR TBD)
- 3 STANDARD BRICK FINISH (COLOR TBD)
- 4 FINE GRABT PANEL GLAZING SYSTEM (COLOR TBD)
- 5 CEDAR SOFFIT AND WALL @ ENTRY
- 6 PAINTED PLAIN CEMENT FINISH
- 7 PREFINISHED METAL FLASHING/CAPPING (SEE SECTION DETAILS A4.2)
- 8 STONE WINDOW SILL (NATURAL COLOR) W/ DIPSIDE 25MM OVERHANG
- 9 ALUM. HANDBRZE CUTTER & LEADER
- 10 TRIN FACE BRICK FINISH
- 11 PRE-FIN. ALUMINUM CORNER TRIM
- 12 POURED CONCRETE STEPS
- 13 SMARTCOT FLOW THROUGH SEIZE
- 14 GALVANIZED WELLS FOR SMARTCOT BELOW GRADE
- 15 PRE-HANG SOLID WOOD DOOR W/ LITE
- 16 INSULATED GARAGE DOOR W/ DOOR OPERATOR AND PAGES (2)

1 WEST ELEVATION

SCALE 1:100

CARRICARI LEE ARCHITECTS

113 Miramonte Avenue
Toronto, ON M6B 3H8
T 416 962 9670 / F 416 962 9671
e/ info@carriarlee.com
www.carriarlee.com

CLA

PROJECT NAME:
MINTO TOWNHOMES
938 EASTERN AVENUE, TORONTO, ON M4L 1A4

DRAWING TITLE:
PROPOSED WEST ELEVATION

DATE
20/16/20/09

CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF WORK.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED

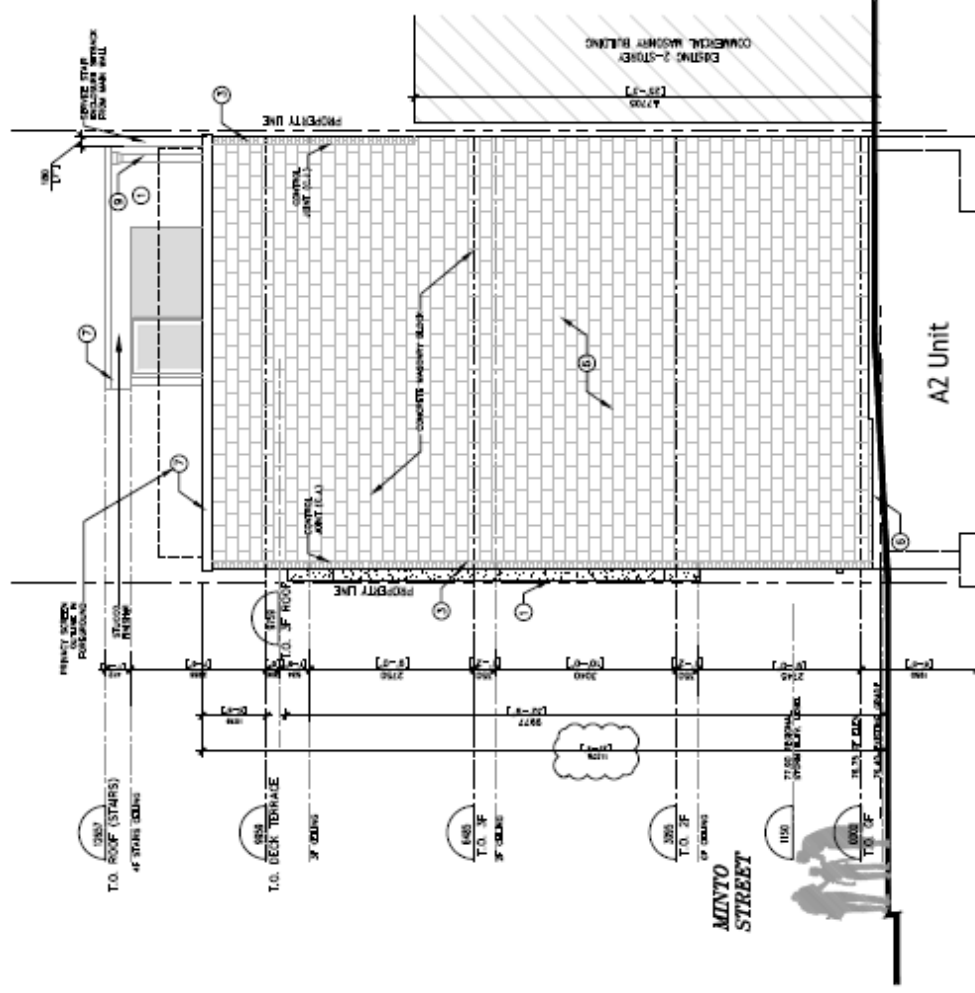
SCALE AS NOTED
PROJECT NO. 15034

DATE 20/16/20/09
DRAWN AD
CHECKED DL

REVISION NO.

DRAWING NO.
A9.0

PROPOSED CONVERSION OF ROOF DECK TO RESIDENTIAL AMENITY SPACE: UNIT A2



- ELEVATION LEGEND**
- ① STUCCO SYSTEM FINISH #1 (COLOR TBD)
 - ② STUCCO SYSTEM FINISH #2 (COLOR TBD)
 - ③ STANDARD BRICK FINISH (COLOR TBD)
 - ④ FINE GROUT PANEL GLAZING SYSTEM (COLOR TBD)
 - ⑤ CEDAR SOFTW. AND WALL @ ENTRY
 - ⑥ PAISED PLAN GEMENT FINISH
 - ⑦ PREFINISHED METAL FLASHING/CAPPING (SEE SECTION DETAILS A4.2)
 - ⑧ STONE WINDOW SILL (NATURAL COLOR) W/ DIPSIDE 25MM OVERHANG
 - ⑨ ALUM. HANDBR. OUTER & LEADER
 - ⑩ TRIN FACE BRICK FINISH
 - ⑪ PRE-FIN. ALUMINUM CORNER TRIM
 - ⑫ POURED CONCRETE STEPS
 - ⑬ SMARTCOAT FLOW THROUGH SEIZE
 - ⑭ GALVANIZED WELLS FOR SMARTVENT BELOW GRADE
 - ⑮ PRE-HANG SOLID WOOD DOOR W/ LITE
 - ⑯ INSETH. INSULATED GARAGE DOOR W/ DOOR OPER. AND PANS (2)

1 NORTH ELEVATION
SCALE 1/100

CARRICARI LEE ARCHITECTS 113 Miranda Avenue Toronto, ON M6B 3J6 T 416 962 9670 / F 416 962 9671 e/ info@carcarilee.com www.carcarilee.com	PROJECT NAME: MINTO TOWNHOMES 938 EASTERN AVENUE, TORONTO, ON M4L 1A4		DATE 20/16/2019	NO. 01	ISSUE ISSUED FOR C.O.F.A.	CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF WORK. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED	SCALE AS NOTED PROJECT NO. 15034	REVISION NO.
	DRAWING TITLE: PROPOSED NORTH ELEVATION			DATE 20/16/2019	DRAWN AD	CHECKED DL	DRAWING NO. A10.0	

SIGNATURE PAGE

File Number:	A0227/17TEY	Zoning	R(d1.0) & R4 Z1.0 (ZZC)
Owner(s):	2500868 ONTARIO LIMITED	Ward:	Beaches-East York (32)
Agent:	MARY FLYNN-GUGLIETTI	Heritage:	Not Applicable
Property Address:	938 EASTERN AVE (37 MINTO ST)	Community:	Toronto
Legal Description:	PLAN 633 LOT 57		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0226/17TEY	Zoning	R(d1.0) & R4 Z1.0 (ZZC)
Owner(s):	2500868 ONTARIO LIMITED	Ward:	Beaches-East York (32)
Agent:	MARY FLYNN-GUGLIETTI	Heritage:	Not Applicable
Property Address:	938 EASTERN AVE (39 MINTO ST)	Community:	Toronto
Legal Description:	PLAN 633 LOT 57		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a rooftop terrace on the approved three-storey townhouse/rowhouse (39 Minto Street, Unit A1) currently under construction.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.10.(1), By-law 569-2013**
The maximum permitted building height is 12.0 m.
The altered townhouse will have a height of 13.057 m.
- 2. Chapter 10.10.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 9.5 m.
The height of the south front exterior main walls will be 11.44 m.
- 3. Chapter 10.10.40.10.(2)(A)(ii), By-law 569-2013**
The maximum permitted height of all rear exterior main walls is 9.5 m.
The height of the north rear exterior main walls will be 13.0 m.
- 4. Chapter 10.10.40.10.(2)(B)(i), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 9.5 m.
The height of the west side exterior main walls facing a side lot line will be 13.0 m.
- 5. Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 9.5 m.
The height of the east side exterior main walls facing a side lot line will be 11.44 m.

1. Section 4(2)(a), By-law 438-86

The maximum permitted building height is 12.0 m.

The altered rowhouse will have a height of 13.057 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

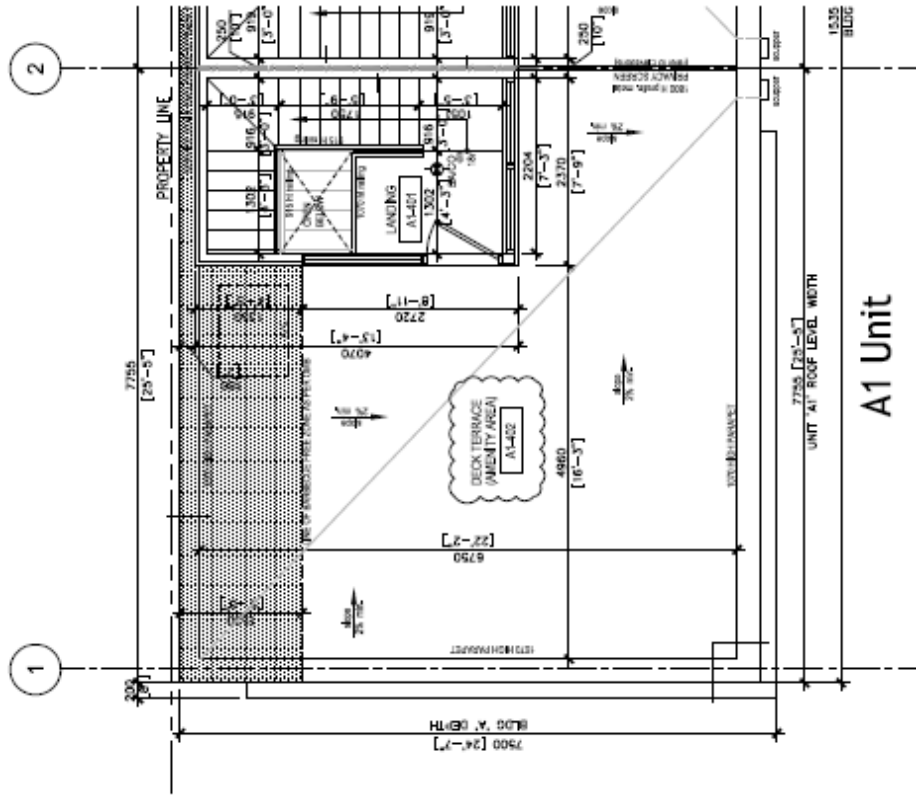
It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

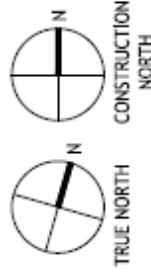
This decision is subject to the following condition(s):

The variances related to height shall apply only to the stair enclosure for access to the roof top terrace, as located on drawings A6.0, A8.0, A9.0 and A10.0. The remainder of the building shall have a maximum height of 12.0 m. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

PROPOSED CONVERSION OF ROOF DECK TO RESIDENTIAL AMENITY SPACE: UNIT A1

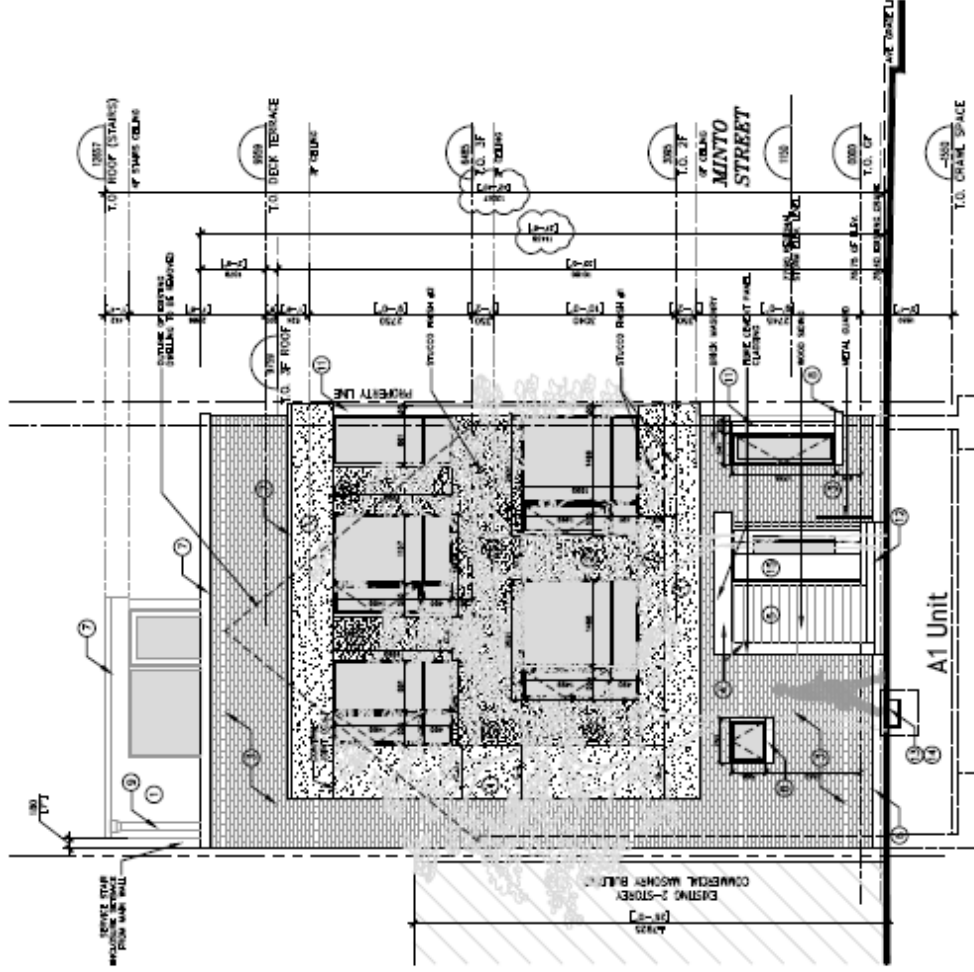


1 ROOF DECK PLAN
(AMENITY)
SCALE 1:75



CARRICARI LEE ARCHITECTS 113 Miramonte Avenue Toronto, ON M6B 3H8 T 416 962 9670 / F 416 962 9671 e/ info@caricarilee.com www.caricarilee.com	PROJECT NAME: MINTO TOWNHOMES 938 EASTERN AVENUE, TORONTO, ON M4L 1A4		DATE 20/16/20/09	NO. 01	ISSUE ISSUED FOR C.O.F.A.	CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF WORK. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED	SCALE AS NOTED PROJECT NO. 15034	REVISION NO.
	DRAWING TITLE: ROOF DECK PLAN - AMENITY (PROPOSED)		DATE 20/16/20/09	DRAWN AD	CHECKED DL	DRAWING NO. A6.0		

PROPOSED CONVERSION OF ROOF DECK TO RESIDENTIAL AMENITY SPACE: UNIT A1



ELEVATION LEGEND

- ① STUCCO SYSTEM FINISH #1 (COLOR TBD)
- ② STUCCO SYSTEM FINISH #2 (COLOR TBD)
- ③ STANDARD BRICK FINISH (COLOR TBD)
- ④ RIFE COURT PANEL GLAZING SYSTEM (COLOR TBD)
- ⑤ CEDAR SOFFIT AND WALL @ ENTRY
- ⑥ PAINTED PLAIN CEMENT FINISH
- ⑦ PREFINISHED METAL FLASHING/CAPPING (SEE SECTION DETAILS A4.2)
- ⑧ STONE WINDOW SILL (NATURAL COLOR) W/ 25MM OVERHANG
- ⑨ ALUM. HANNAWER GUTTER & LEADER
- ⑩ TRIM FACE BRICK FINISH
- ⑪ PRE-FIN. ALUMINUM CORNER TRIM
- ⑫ POURED CONCRETE STEPS
- ⑬ SMARTCUT FLOW THROUGH SEIZE
- ⑭ GALVANIZED WELLS FOR SMARTCUT BELOW GRADE
- ⑮ PRE-HANG SOLID WOOD DOOR W/ LITE
- ⑯ INSULATED GARAGE DOOR W/ DOOR OPERATOR AND PANS (2)

1 NORTH ELEVATION
1/ALONG EASTERN AVENUE
SCALE: 1/80

PROJECT NAME:
MINTO TOWNHOMES
938 EASTERN AVENUE, TORONTO, ON M4L 1A4

DRAWING TITLE:
PROPOSED NORTH ELEVATION

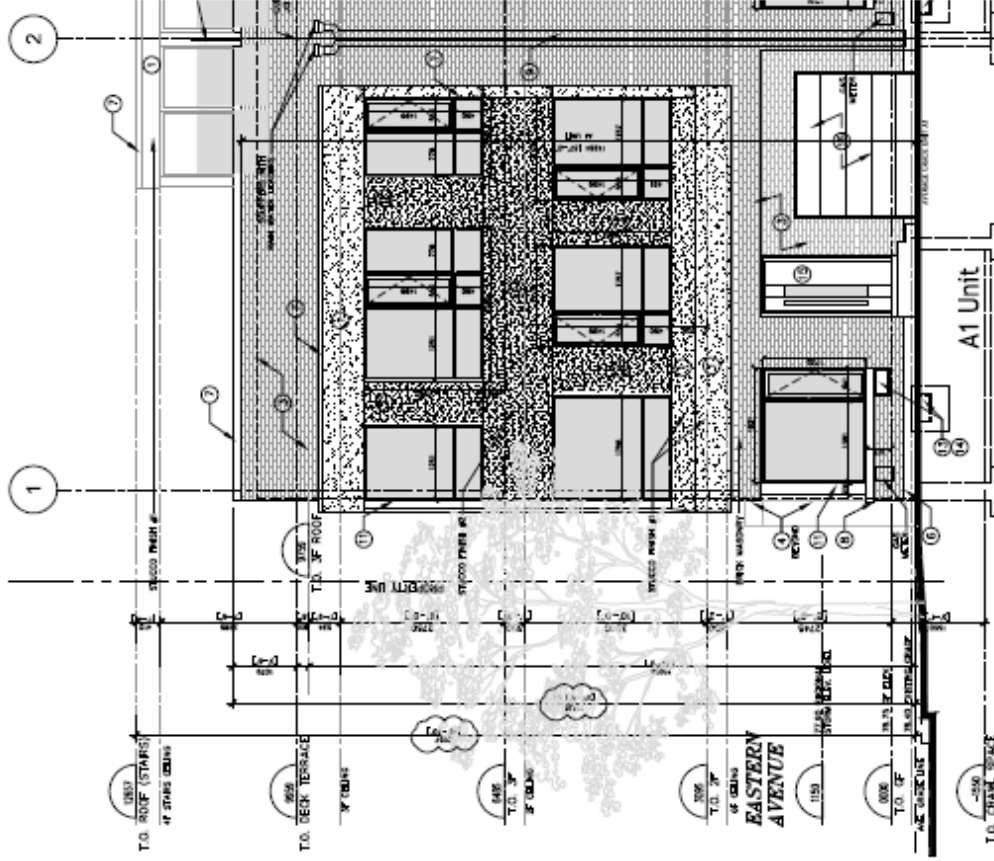
CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF WORK.
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED.

SCALE	AS NOTED	REVISION NO.
PROJECT NO.	15034	
DATE	2016/02/09	DRAWING NO.
DRAWN	AD	A8.0
CHECKED	DL	

CARRICARI LEE ARCHITECTS
113 Miranda Avenue
Toronto, ON M6S 3K6
T 416 962 9670 / F 416 962 9671
e/ info@carlicarlee.com
www.carlicarlee.com

CLA

PROPOSED CONVERSION OF ROOF DECK TO RESIDENTIAL AMENITY SPACE: UNIT A1



ELEVATION LEGEND

- ① STUCCO SYSTEM FINISH #1 (COLOR TBD)
- ② STUCCO SYSTEM FINISH #2 (COLOR TBD)
- ③ STANDARD BRICK FINISH (COLOR TBD)
- ④ FINE GROUT PANEL GLAZING SYSTEM (COLOR TBD)
- ⑤ CEDAR SOFFIT AND WALL @ ENTRY
- ⑥ PAIRED PLAN GROUT FINISH
- ⑦ PREFINISHED METAL FLASHING/CAPPING (SEE SECTION DETAILS A4.2)
- ⑧ STONE WINDOW SILL (NATURAL COLOR) W/ 20MM OVERHANG
- ⑨ ALUM. HANDBLER GUTTER & LEADER
- ⑩ TRIM FACE BRICK FINISH
- ⑪ PRE-FIN. ALUMINUM CORNER TRIM
- ⑫ POURED CONCRETE STEPS
- ⑬ SMARTCOAT FLOW THROUGH SEIZE
- ⑭ GALVANIZED WELLS FOR SMARTCOAT BELOW GRADE
- ⑮ PRE-HANG SOLID WOOD DOOR W/ LITE
- ⑯ INSULATED GARAGE DOOR W/ DOOR OPERATOR AND PADS (2)

1 EAST ELEVATION
(ALONG MINTO STREET)
SCALE 1:100

CARICARI LEE ARCHITECTS

113 Miranda Avenue
Toronto, ON M6S 3W8
T 416 962 9670 / F 416 962 9671
e/ info@caricari.com
www.caricari.com

CLA

PROJECT NAME:
MINTO TOWNHOMES
938 EASTERN AVENUE, TORONTO, ON M4L 1A4

DRAWING TITLE:
PROPOSED EAST ELEVATION

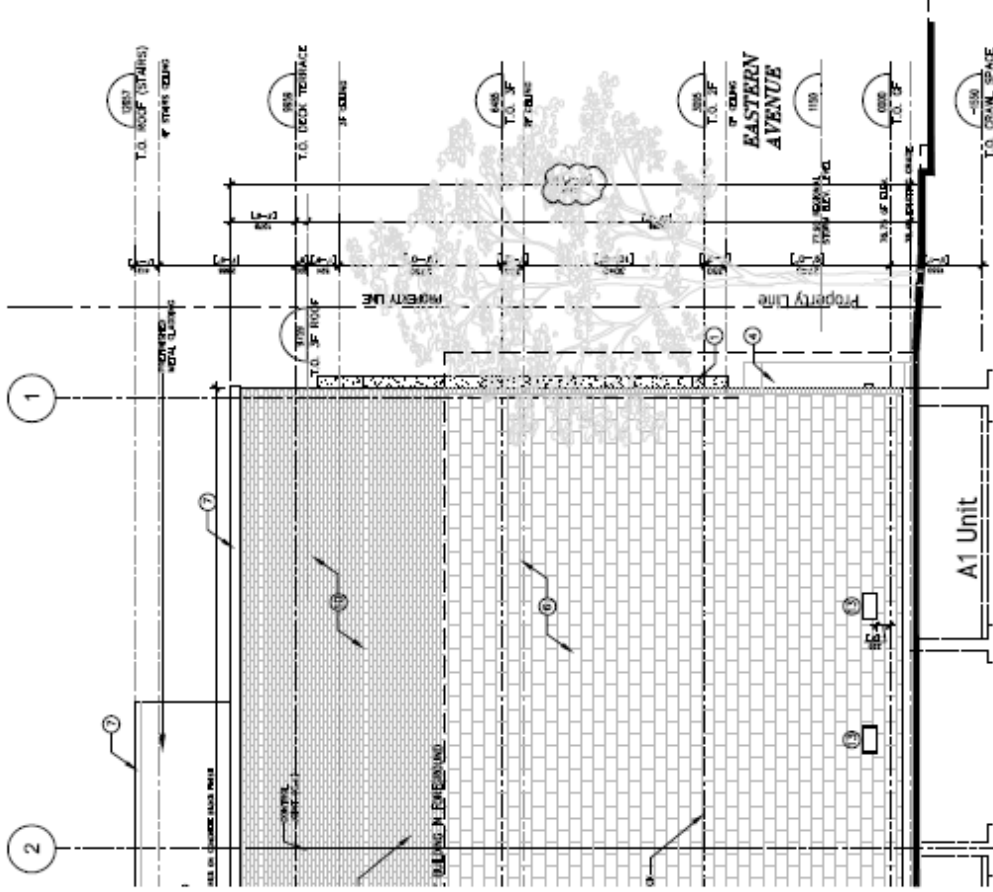
DATE: 20/10/2009
ISSUE NO.: 01
ISSUED FOR: C.O.F.A.

CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF WORK.
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED.

SCALE	AS NOTED	REVISION NO.
PROJECT NO.	15034	
DATE	20/10/2009	
DRAWN	AD	
CHECKED	DL	

DRAWING NO.
A9.0

PROPOSED CONVERSION OF ROOF DECK TO RESIDENTIAL AMENITY SPACE: UNIT A1



1 WEST ELEVATION
SCALE 1:100

ELEVATION LEGEND

- 1 STUCCO SYSTEM FINISH #1 (COLOR TBD)
- 2 STUCCO SYSTEM FINISH #2 (COLOR TBD)
- 3 STANDARD BRICK FINISH (COLOR TBD)
- 4 FINE GROUT PANEL GLAZING SYSTEM (COLOR TBD)
- 5 CEDAR SOFTY AND WALL @ ENTRY
- 6 PAINTED PLAIN CEMENT FINISH
- 7 PREFINISHED METAL FLASHING/CAPPING (SEE SECTION DETAILS 44.2)
- 8 STONE WINDOW SILL (NATURAL COLOR) W/ DIPSIDE 25MM OVERHANG
- 9 ALUM. HANDBAR OUTER & LEADER
- 10 TRIM FACE BRICK FINISH
- 11 PRE-FIN. ALUMINUM CORNER TRIM
- 12 POURED CONCRETE STEPS
- 13 SMARTCUT FLOW THROUGH SEIZE
- 14 GALVANIZED WELLS FOR SMARTCUT BELOW GRADE
- 15 PRE-HANG SOLID WOOD DOOR W/ LITE
- 16 INSULATED GARAGE DOOR W/ DOOR OPERATOR AND PADS (2)

CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF WORK.
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED

DATE	NO.	ISSUE
20/16/20/09	01	ISSUED FOR C.O.F.A.

PROJECT NAME:
MINTO TOWNHOMES
938 EASTERN AVENUE, TORONTO, ON M4L 1A4

DRAWING TITLE:
PROPOSED WEST ELEVATION

CARICARI LEE ARCHITECTS
113 Miramonte Avenue
Toronto, ON M6B 3H8
T 416 962 9670 / F 416 962 9671
e/ info@caricari-lee.com
www.caricari-lee.com

CLA

SCALE	AS NOTED	REVISION NO.
PROJECT NO.	15034	
DATE	20/16/20/09	
DRAWN	AD	
CHECKED	DL	

DRAWING NO.
A10.0

SIGNATURE PAGE

File Number:	A0226/17TEY	Zoning	R(d1.0) & R4 Z1.0 (ZZC)
Owner(s):	2500868 ONTARIO LIMITED	Ward:	Beaches-East York (32)
Agent:	MARY FLYNN-GUGLIETTI	Heritage:	Not Applicable
Property Address:	938 EASTERN AVE (39 MINTO ST)	Community:	Toronto
Legal Description:	PLAN 633 LOT 57		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.

37. 88 MAPLEWOOD AVE

File Number:	A0230/17TEY	Zoning	RM (fl2.0, u2, d0.8) (x252) (ZZC)
Owner(s):	QUAN LE	Ward:	St. Paul's (21)
Agent:	WILLIAM LE	Heritage:	Not Applicable
Property Address:	88 MAPLEWOOD AVE	Community:	Toronto
Legal Description:	PLAN 1322 E PT LOT 133		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter a two-storey detached dwelling by constructing a two storey side addition which includes an integral garage and the construction of a roof top terrace over the entire second floor.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.80.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index is 0.8 times the area of the lot (165.16 m²).
The floor space index will be 1.0 times the area of the lot (206.58 m²).

2. Chapter 10.80.40.50.(1)(B), By-law 569-2013

The maximum permitted area of each platform at or above the second storey of a detached house is 4.0 m².
The area of the roof platform above the second storey will be 102.26 m².

3. Chapter 3(1), By-law 569-2013

The maximum permitted floor space index is 0.8 times the area of the area of the lot (165.16 m²).
The floor space index for the altered building will be 1.0 times lot area (206.58 m²)

1. Section 3.4.7, By-laws 1-83 & 3263-97

The finished floor level of a deck may not exceed the highest finished habitable floor level of the dwelling unit.
In this case, the proposed roof deck will be located above the highest habitable floor level of the altered dwelling.

MOTION

It was moved by Nancy Oomen, seconded by Joanne Hayes and carried unanimously that the application be **deferred, for a maximum of 3 months**. The deferral would provide the applicant with an opportunity to revise the proposal discuss the proposal in more detail with the Ward Councillor. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel A**.

38. 146 GLENWOOD CRES

File Number:	A0232/17TEY	Zoning	RD (f12.0; a370; d0.6) & R1B (ZZC)
Owner(s):	2522930 ONTARIO INC	Ward:	Beaches-East York (31)
Agent:	COLIN LIGHTBOURNE	Heritage:	Not Applicable
Property Address:	146 GLENWOOD CRES	Community:	East York
Legal Description:	PLAN 3054 PT LOT 42		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing one-storey detached dwelling by constructing side and rear additions to the ground floor, a complete second storey addition, a rear basement walkout, a rear ground floor deck, and alterations to the front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.60.(7), By-law 569-2013

Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.

The roof eaves will be located 0.18 m from the west side lot line.

2. Chapter 10.20.40.10.(1)(A), By-law 569-2013

The maximum permitted building height is 8.5 m.

The altered detached dwelling will have a height of 8.78 m.

3. Chapter 10.20.40.10.(2)(B)(ii), By-law 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7 m.

The height of the side exterior main walls facing a side lot line will be 8.64 m.

4. Chapter 10.20.40.10.(6), By-law 569-2013

The maximum permitted height of the first floor of a detached dwelling above established grade is 1.2 m.

The first floor of the altered detached dwelling will have a height of 2.39 m above established grade.

5. Chapter 10.20.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (213.28 m²).

The altered detached dwelling will have a floor space index equal to 0.85 times the area of the lot (301.32 m²).

6. Chapter 10.20.40.70.(3)(C), By-law 569-2013

The minimum required side yard setback is 1.2 m.

The altered detached dwelling will be located 0.305 m from the west side lot line and 0.558 m from the east side lot line.

7. **Chapter 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 35% of the lot area (142.26 m²).
The lot coverage will be equal to 42.3% of the lot area (172.32 m²).
8. **Chapter 5.10.40.70.(6), By-law 569-2013**
The maximum permitted distance of a building or structure from a shoreline hazard limit or stable top-of-bank determined by the Toronto and Region Conservation Authority is 10 m
The deck will be located 8.22 m from a shoreline hazard limit or stable top-of-bank.
9. **Chapter 5.10.40.80.(1), By-law 569-2013**
On lands under the jurisdiction of the Toronto and Region Conservation Authority, a building or structure on a lot must be no closer than 10 m from a shoreline hazard limit or a stable top-of-bank not on that lot.
The deck will be located 8.4 m from a shoreline hazard limit or stable top-of-bank not on that lot.
1. **Section 7.3.3, By-law 6752**
The maximum permitted building height is 8.5 m.
The altered detached dwelling will have a height of 8.78 m.
2. **Section 7.3.3, By-law 6752**
The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (213.28 m²).
The altered detached dwelling will have a floor space index equal to 0.85 times the area of the lot (301.32 m²).
3. **Section 7.3.3, By-law 6752**
The minimum required front yard setback is 6 m.
The altered detached dwelling will be located 3.9 m from the southeast front lot line.
4. **Section 7.3.3, By-law 6752**
The minimum required side yard setback is 0.9 m.
The altered detached dwelling will be located 0.305 m from the west side lot line.
5. **Section 5.6(b)(i), By-law 6752**
Balconies, canopies, unenclosed porches, platforms and decks may project beyond a main front wall or main rear wall to a maximum of 2.5 m.
The rear yard deck projects 3.34 m from the main rear wall.
6. **Section 7.3.3, By-law 6752**
The maximum permitted lot coverage is 35% of the lot area (124.41 m²).
The lot coverage will be equal to 43.7% of the lot area (155.46 m²).

MOTION

It was moved by Joanne Hayes, seconded by Nancy Oomen and carried unanimously that the application be **deferred, for a maximum of 3 months**. The deferral would provide the Toronto and Region Conservation Authority to complete a review of the proposal and for the applicant to address their concerns. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel A**.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0233/17TEY	Zoning	RD (f6.0; a185; d0.75) & R1C (ZZC)
Owner(s):	ARSHAD AWAN IMRANA AWAN	Ward:	Beaches-East York (31)
Agent:	LEO MASTRANDREA	Heritage:	Not Applicable
Property Address:	290 OAK PARK AVE	Community:	East York
Legal Description:	PLAN 2025 LOT 23		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral garage, and a rear ground floor deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 9.60 m.
The new detached dwelling will be located 6 m from the east front lot line.
- Chapter 10.20.40.10.(4)(A), By-law 569-2013**
The maximum permitted building height is 7.2 m.
The new detached dwelling will have a height of 9.00 m.
- Chapter 10.20.40.10.(6), By-law 569-2013**
The maximum permitted height of the first floor of a detached dwelling above established grade is 1.2 m.
The first floor of the new detached dwelling will have a height of 2.75 m above established grade.
- Chapter 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length for a detached dwelling is 17.0 m.
The new detached dwelling will have a building length of 17.68 m.
- Chapter 10.10.40.70.(3)(B), By-law 569-2013**
The minimum required side yard setback is 0.9 m.
The new detached dwelling will be located 0.61 m from the north side lot line, and 0.71 m from the south side lot line.

1. Section 7.4.3, By-law 6752

The maximum permitted building height is 8.5 m.
The new detached dwelling will have a height of 9.00 m.

2. Section 7.4.3, By-law 6752

The maximum permitted building length for a detached dwelling is 16.75 m.
The new detached dwelling will have a building length of 17.68 m.

3. Section 7.4.3, By-law 6752

The maximum permitted floor space index of a detached dwelling is 0.75 times the area of the lot (260.89 m²).
The new detached dwelling will have a floor space index equal to 0.80 times the area of the lot (276.71 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

SIGNATURE PAGE

File Number:	A0233/17TEY	Zoning	RD (f6.0; a185; d0.75) & R1C (ZZC)
Owner(s):	ARSHAD AWAN IMRANA AWAN	Ward:	Beaches-East York (31)
Agent:	LEO MASTRANDREA	Heritage:	Not Applicable
Property Address:	290 OAK PARK AVE	Community:	East York
Legal Description:	PLAN 2025 LOT 23		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0244/17TEY	Zoning	R (d1.0)(x807) & R3 Z1.0 (ZZC)
Owner(s):	BRENDAN TYLER SMITH	Ward:	Toronto-Danforth (30)
Agent:	MOOTE ARCHITECT C/O GEOFFREY MOOTE	Heritage:	Not Applicable
Property Address:	180 HEWARD AVE	Community:	Toronto
Legal Description:	PLAN M49 PT LOT 11		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing 2½-storey semi-detached dwelling by constructing a new front enclosed porch, a rear three-storey addition and a rear first and third storey deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 4.94 m.
The altered dwelling will be located 2.51 m from the front lot line.
- Chapter 10.5.50.10.(1)(D), By-law 569-2013**
A minimum of 75% of the front yard landscaping must be maintained as soft landscaping (9.23 m²).
In this case, the front yard soft landscaping will be equal to 58.4% (7.18 m²).
- Chapter 10.10.40.30.(1)(A), By-law 569-2013**
The maximum permitted building depth is 17.0 m.
The altered dwelling will have a building depth equal to 21.95 m.
- Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 1.0 times the area of the lot (194.1 m²).
The altered dwelling will have a floor space index equal to 1.16 times the area of the lot (224.5 m²).
- Chapter 10.10.40.70.(3)(A)(ii), By-law 569-2013**
The minimum required side yard setback is 0.9 m.
The altered dwelling will be located 0.79 m to the south side lot line.

1. **Section 6(3) Part I 1, By-law 438-86**
The maximum permitted gross floor area is 1.0 times the area of the lot (194.1 m²).
The altered dwelling will have a gross floor area equal to 1.16 times the area of the lot (224.5 m²).
2. **Section 6(3) Part II 2(II), By-law 438-86**
The minimum required front yard setback is 4.94 m.
The altered dwelling will be located 2.51 m from the front lot line.
3. **Section 6(3) Part II 3(II), By-law 438-86**
The minimum required setback to the portion of the side wall of an adjacent building that contains openings is 1.2 m.
The altered dwelling will be located 0.0 m to the adjacent building to the north.
4. **Section 6(3) Part II 3.C(I), By-law 438-86**
The minimum required side lot line setback where the side wall contains no openings is 0.45 m.
The altered dwelling will be located 0.0 m to the north side lot line.
5. **Section 6(3) Part II 3.C(II), By-law 438-86**
The minimum required side lot line setback where the side wall contains openings is 0.90 m.
The altered dwelling will be located 0.72 m to the south side lot line.
6. **Section 6(3) Part II 5(II), By-law 438-86**
The maximum permitted building depth is 17.0 m.
The altered dwelling will have a building depth equal to 21.95 m.
7. **Section 6(3) Part III 3(d)(i)(D), By-law 438-86**
A minimum of 75% of the front yard not covered by a permitted driveway shall be maintained as soft landscaping (9.23 m²).
In this case, 58.4% of the front yard will be maintained as soft landscaping (7.18 m²).
8. **Section 6(3) Part III 4, By-law 438-86**
The maximum permitted width of a walkway located between the front lot line and any wall of the building facing the front lot line is 1.06 m.
In this case, the walkway will have a width of 2.73 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

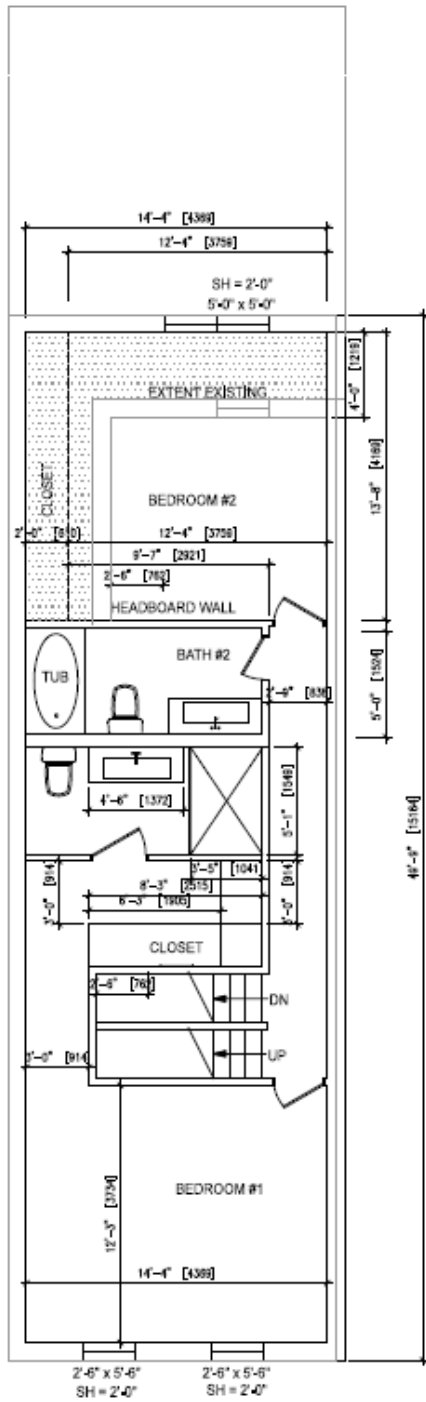
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

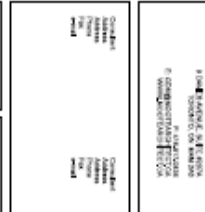
This decision is subject to the following condition(s):

- (1) The building depth variance of 21.95 m applies only to the first floor as shown on plans submitted to the Committee of Adjustment on June 1, 2017.
- (2) The building depth of the second floor shall not exceed 17.32 m as shown on plans submitted to the Committee of Adjustment on June 1, 2017.
- (3) The building length of the second and third floors shall be no greater than 15.16 m and 9.3 m respectively as shown on drawings A300.3 & A300.4 as submitted to the Committee of Adjustment on June 1, 2017.
- (4) The front yard setback variance of 2.51 m applies only to the first floor. Any floor above the first floor shall maintain the existing 4.94 m setback from the front property line.
- (5) The enclosed front porch shall remain one storey only.



MOORTE ARCHITECTURE
 1100 EASTERN AVE. SUITE 200
 TORONTO, ONTARIO M4M 1B7
 TEL: 416-461-8888
 WWW.MOORTE.COM

MOORTE
 ARCHITECTURE
 1100 EASTERN AVE. SUITE 200
 TORONTO, ONTARIO M4M 1B7
 TEL: 416-461-8888
 WWW.MOORTE.COM



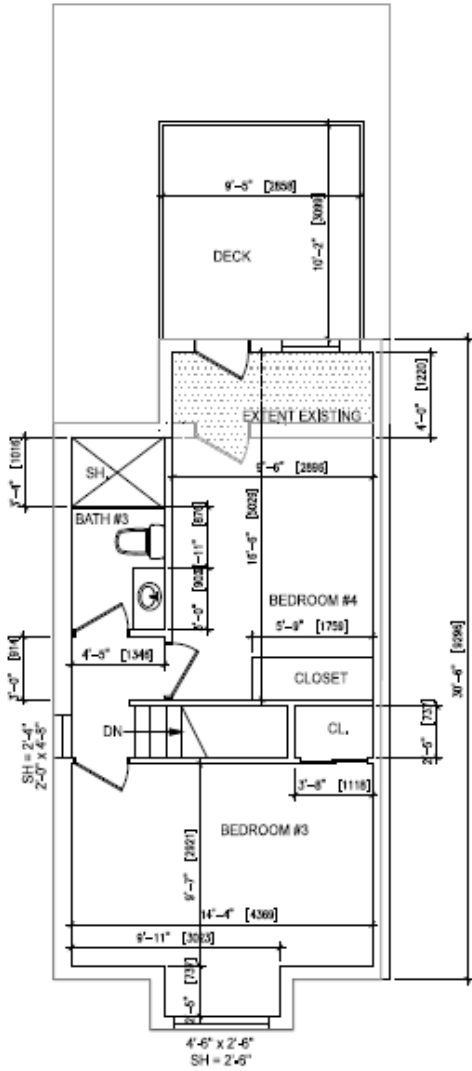
No.	Description	Date

180 HEWARD AVENUE
 TORONTO, ON

PROPOSED 2ND FLOOR PLAN

Project No: 1412
 Date: JUNE 7, 2016
 Designer: AMBA
 Checker: CHEN
 Scale: 3/8" = 1'-0"

MOORTE ARCHITECTURE
 1100 EASTERN AVE. SUITE 200
 TORONTO, ONTARIO M4M 1B7
 TEL: 416-461-8888
 WWW.MOORTE.COM



MOORTE ARCHITECTURE INC. 416-491-4000

180 HEWARD AVENUE TORONTO, ON M6P 2K4

PROJECT NO. 1612

DATE: JUNE 7, 2016

DESIGNED BY: ANNE MOORE

DRAWN BY: CHELSEA MOORE

SCALE: 3/16" = 1'-0"

PROPOSED 3RD FLOOR PLAN

1612

JUNE 7, 2016

ANNE MOORE

CHELSEA MOORE

A300.4

3/16" = 1'-0"

SIGNATURE PAGE

File Number:	A0244/17TEY	Zoning	R (d1.0)(x807) & R3 Z1.0 (ZZC)
Owner(s):	BRENDAN TYLER SMITH	Ward:	Toronto-Danforth (30)
Agent:	MOOTE ARCHITECT C/O GEOFFREY MOOTE	Heritage:	Not Applicable
Property Address:	180 HEWARD AVE	Community:	Toronto
Legal Description:	PLAN M49 PT LOT 11		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.



NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0029/17TEY	Zoning	R (u2;d0.6) & R1S Z0.6 (ZZC)
Owner(s):	HASSAN ALI DIN	Ward:	Beaches-East York (32)
Agent:	ALI MALEK-ZADEH	Heritage:	Not Applicable
Property Address:	11 EDGEWOOD GRV	Community:	Toronto
Legal Description:	PLAN 1380 LOT 17		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two residential lots.

Retained – Part 2, Draft R-Plan

Address to be assigned

The lot frontage is 7.61 m and the lot area is 185.4 m². A new three-storey detached dwelling with an integral garage will be constructed and will require variances to the Zoning By-law, outlined in application number A0428/17TEY.

Conveyed- Part 1, Draft R-Plan

Address to be assigned

The lot frontage is 7.61 m and the lot area is 185.4 m². A new three-storey detached dwelling with an integral garage will be constructed and will require variances to the Zoning By-law, outlined in Application number A0429/17TEY.

Application Number B0029/17TEY, A0428/17TEY & A0429/17TEY were considered jointly.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the transaction as shown on the plan filed with the Committee of Adjustment on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services.
- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services.
- (4) **One electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services.
- (5) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act* as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0029/17TEY	Zoning	R (u2;d0.6) & R1S Z0.6 (ZZC)
Owner(s):	HASSAN ALI DIN	Ward:	Beaches-East York (32)
Agent:	ALI MALEK-ZADEH	Heritage:	Not Applicable
Property Address:	11 EDGEWOOD GRV	Community:	Toronto
Legal Description:	PLAN 1380 LOT 17		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Monday July 24, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0428/17TEY	Zoning	R (u2;d0.6) & R1S Z0.6 (ZZC)
Owner(s):	HASSAN ALI DIN	Ward:	Beaches-East York (32)
Agent:	ALI MALEK-ZADEH	Heritage:	Not Applicable
Property Address:	11 EDGEWOOD GRV - PART 2	Community:	Toronto
Legal Description:	PLAN 1380 LOT 17		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey detached dwelling with an integral garage on the retained lot described in Consent Application B0029/17TEY.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.40.10.(2)(A)(iii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The height of the side exterior main walls facing a side lot line will be 8.84 m facing the east side lot line and 8.6 m facing the west side lot line.
- Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (111.29 m²).
The new detached dwelling will have a floor space index equal to 0.99 times the area of the lot (183.31 m²).
- Chapter 10.10.40.70.(2), By-law 569-2013**
The minimum required rear yard setback is 7.5 m.
The new detached dwelling will be located 6.3 m from the south rear lot line.
- Chapter 10.10.40.70.(3)(A)(i), By-law 569-2013**
The minimum required side yard setback is 0.9 m.
The new detached dwelling will be located 0.61 m from the east side lot line.

5. Chapter 10.5.40.60.(1)(C), By-law 569-2013

A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.5 m if it is no closer to a side lot line than 1.2 m.

In this case, the platform will encroach 3.1 m into the required rear yard setback and will be located 0.93 m from the west side lot line.

1. Section 6(3) Part IV 3(I), By-law 438-86

An integral garage in a building is not permitted on a lot having a frontage of less than 7.62 m where access to the garage is located in a wall facing the front lot line.

In this case, the lot frontage will be 7.61 m and the integral garage will be on a wall that faces the front lot line.

2. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (111.29 m²).

The new detached dwelling will have a gross floor area equal to 0.99 times the area of the lot (183.31 m²).

3. Section 6(3) Part II 3.B(II), By-law 438-86

The minimum required side lot line setback for the portion of a detached dwelling not exceeding a depth of 17 m is 0.9 m.

The portion of the new detached dwelling not exceeding a depth of 17 m will be located 0.61 m from the east side lot line.

4. Section 6(3) Part II 4, By-law 438-86

The minimum required rear yard setback is 7.5 m.

The new detached dwelling will be located 6.3 m from the south rear lot line.

5. Section 6(3) Part II 8 D, By-law 438-86

The projection of an uncovered platform into the required setbacks is restricted to a maximum of 2.50 m from the front or rear wall.

The uncovered platform will project 3.1 m from the rear wall.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) Where there are no existing street trees, the owner shall submit a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application or elsewhere in the community if there is no space, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

SIGNATURE PAGE

File Number:	A0428/17TEY	Zoning	R (u2;d0.6) & R1S Z0.6 (ZZC)
Owner(s):	HASSAN ALI DIN	Ward:	Beaches-East York (32)
Agent:	ALI MALEK-ZADEH	Heritage:	Not Applicable
Property Address:	11 EDGEWOOD GRV - PART 2	Community:	Toronto
Legal Description:	PLAN 1380 LOT 17		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0429/17TEY	Zoning	R (u2;d0.6) & R1S Z0.6 (ZZC)
Owner(s):	HASSAN ALI DIN	Ward:	Beaches-East York (32)
Agent:	ALI MALEK-ZADEH	Heritage:	Not Applicable
Property Address:	11 EDGEWOOD GRV - PART 1	Community:	Toronto
Legal Description:	PLAN 1380 LOT 17		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey detached dwelling with an integral garage on the conveyed lot described in Consent Application B0029/17TEY.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.10.(2)(A)(iii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The height of the side exterior main walls facing a side lot line will be 8.92 m facing the west side lot line and 8.59 m facing the east side lot line.
- 2. Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (111.29 m²).
The new detached dwelling will have a floor space index equal to 0.99 times the area of the lot (183.31 m²).
- 3. Chapter 10.10.40.70.(2), By-law 569-2013**
The minimum required rear yard setback is 7.5 m.
The new detached dwelling will be located 6.3 m from the south rear lot line.
- 4. Chapter 10.10.40.70.(3)(A)(i), By-law 569-2013**
The minimum required side yard setback is 0.9 m.
The new detached dwelling will be located 0.61 m from the west side lot line.

5. Chapter 10.5.40.60.(1)(C), By-law 569-2013

A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.5 m if it is no closer to a side lot line than 1.2 m.

In this case, the platform will encroach 3.1 m into the required rear yard setback and will be located 0.93 m from the east side lot line.

1. Section 6(3) Part IV 3(I), By-law 438-86

An integral garage in a building is not permitted on a lot having a frontage of less than 7.62 m where access to the garage is located in a wall facing the front lot line.

In this case, the lot frontage will be 7.61 m and the integral garage will be on a wall that faces the front lot line.

2. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (111.29 m²).

The new detached dwelling will have a gross floor area equal to 0.99 times the area of the lot (183.31 m²).

3. Section 6(3) Part II 3.B(II), By-law 438-86

The minimum required side lot line setback for the portion of a detached dwelling not exceeding a depth of 17 m is 0.9 m.

The portion of the new detached dwelling not exceeding a depth of 17 m will be located 0.61 m from the west side lot line.

4. Section 6(3) Part II 4, By-law 438-86

The minimum required rear yard setback is 7.5 m.

The new detached dwelling will be located 6.3 m from the south rear lot line.

5. Section 6(3) Part II 8 D, By-law 438-86

The projection of an uncovered platform into the required setbacks is restricted to a maximum of 2.5 m from the front or rear wall.

The uncovered platform will project 3.1 m from the rear wall.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) Where there are no existing street trees, the owner shall submit a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application or elsewhere in the community if there is no space, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

SIGNATURE PAGE

File Number:	A0429/17TEY	Zoning	R (u2;d0.6) & R1S Z0.6 (ZZC)
Owner(s):	HASSAN ALI DIN	Ward:	Beaches-East York (32)
Agent:	ALI MALEK-ZADEH	Heritage:	Not Applicable
Property Address:	11 EDGEWOOD GRV - PART 1	Community:	Toronto
Legal Description:	PLAN 1380 LOT 17		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.

42A. 1647 BATHURST ST

File Number:	B0020/17TEY	Zoning	R (u2; d1.0)(x946) & R1S Z1.0 (ZZC)
Owner(s):	EUGENE SLUZKIY	Ward:	St. Paul's (21)
Agent:	MICHAEL GOLDBERG	Heritage:	Not Applicable
Property Address:	1647 BATHURST ST	Community:	Toronto
Legal Description:	PLAN M347 LOT 11 LOT 12		

THE CONSENT REQUESTED:

To obtain consent to sever the property into six residential lots.

Retained Lot – Part 1, Draft R-Plan

Address to be assigned

The lot frontage is 7.75 m and the lot area is 235.9 m².

A new three-storey semi-detached dwelling with an integral garage will be constructed and requires minor variances as described in A0237/17TEY.

Conveyed Lot – Part 2, Draft R-Plan:

Address to be assigned

The lot frontage is 6.10 m and the lot area is 185.6 m².

A new three-storey semi-detached dwelling with an integral garage will be constructed and requires minor variances as described in A0238/17TEY.

Conveyed Lot – Part 3, Draft R-Plan:

Address to be assigned

The lot frontage is 6.10 m and the lot area is 185.6 m².

A new three-storey semi-detached dwelling with an integral garage will be constructed and requires minor variances as described in A0239/17TEY.

Conveyed Lot – Part 4, Draft R-Plan:

Address to be assigned

The lot frontage is 6.10 m and the lot area is 185.6 m².

A new three-storey semi-detached dwelling with an integral garage will be constructed and requires minor variances as described in A0240/17TEY.

Conveyed Lot – Part 5, Draft R-Plan:

Address to be assigned

The lot frontage is 6.10 m and the lot area is 185.6 m².

A new three-storey semi-detached dwelling with an integral garage will be constructed and requires minor variances as described in A0241/17TEY.

Conveyed Lot – Part 6, Draft R-Plan:

Address to be assigned

The lot frontage is 6.86 m and the lot area is 208.8 m².

A new three-storey semi-detached dwelling with an integral garage will be constructed and requires minor variances as described in A0242/17TEY.

42B. 1647 BATHURST ST (PART 1)

File Number:	A0237/17TEY	Zoning	R (u2; d1.0)(x946) & R1S Z1.0 (ZZC)
Owner(s):	EUGENE SULZKIY	Ward:	St. Paul's (21)
Agent:	MICHAEL GOLDBERG	Heritage:	Not Applicable
Property Address:	1647 BATHURST ST (PART 1)	Community:	Toronto
Legal Description:	PLAN M347 LOT 11 LOT 12		

PURPOSE OF THE APPLICATION:

To construct a three-storey semi-detached dwelling with an integral garage as described in Consent Application B0020/17TEY.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), By-law 569-2013**
A minimum of 10 m² of the first floor must be within 4.0 m of the front main wall.
In this case, 4.04 m² of the first floor will be within 4.0 m of the front main wall.
- 2. Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback provided they are no closer to a lot line than 0.6 m.
In this case, the front stairs will be located 0.0 m from the north lot line.
- 3. Chapter 10.10.40.10.(1)(A), By-law 569-2013**
The permitted maximum height of a building or structure is 10.0 m.
The new three-storey semi-detached dwelling will have a height of 10.94 m.
- 4. Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The height of the side exterior main walls facing the side lot lines will be 10.78 m.
- 5. Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 1.0 times the area of the lot (234.44 m²).
The new three-storey semi-detached dwelling will have a floor space index equal to 1.25 times the area of the lot (293.89 m²).
- 6. Chapter 10.10.80.40.(2), By-law 569-2013**
On a corner lot, vehicle access is from a flanking street or public lane.
In this case, access to the vehicle parking will be from the main street.
- 7. Chapter 10.10.40.30.(1)(A), By-law 569-2013**
The maximum permitted building depth for a semi-detached dwelling is 17.0 m.
The new semi-detached dwelling will have a depth of 17.81 m.
- 1. Section 6(3) Part I 1, By-law 438-86**
The maximum permitted residential gross floor area is 1.0 times the area of the lot (234.44 m²).
The new three-storey semi-detached dwelling will have a residential gross floor area equal to 1.33 times the area of the lot (316.69 m²).

2. **Section 6(3) Part II 3.A(II), By-law 438-86**
The minimum required setback from a flanking street is 6.0 m.
The new semi-detached dwelling will be located 1.39 m from the flanking street (Bathurst Street).
3. **Section 6(3) Part II 5(II), By-law 438-86**
The maximum permitted depth of a semi-detached dwelling is 17.0 m.
The new semi-detached dwelling will have a depth of 18.47 m.
4. **Section 6(3), Part IV 2, By-law 438-86**
A building on a lot that abuts a flanking street or public lane shall gain its vehicular access from the flanking street or public lane.
In this case, the access to the vehicular parking will be from the main street.
5. **Section 6(3) Part IV 3(II), By-law 438-86**
An integral garage in a building where the floor level of the garage is located below grade and the vehicle access to the garage is located in a wall facing the front lot line is not permitted.
The semi-detached dwelling will have an integral below grade garage.
6. **Section 4(2)(a), By-law 438-86**
The maximum permitted building height is 10.0 m.
The new three-storey semi-dwelling will have a height of 10.56 m.

42C. 1647 BATHURST ST (PART 2)

File Number:	A0238/17TEY	Zoning	R (u2; d1.0)(x946) & R1S Z1.0 (ZZC)
Owner(s):	EUGENE SULZKIY	Ward:	St. Paul's (21)
Agent:	MICHAEL GOLDBERG	Heritage:	Not Applicable
Property Address:	1647 BATHURST ST (PART 2)	Community:	Toronto
Legal Description:	PLAN M347 LOT 11 LOT 12		

PURPOSE OF THE APPLICATION:

To construct a three-storey semi-detached dwelling with an integral garage as described in Consent Application B0020/17TEY.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Chapter 900.2.10 (946)(d), By-law 569-2013**
The minimum required lot frontage for a semi-detached dwelling is 7.5 m.
In this case, the frontage of the conveyed lot will be 6.10 m.
2. **Chapter 10.5.40.10.(5), By-law 569-2013**
A minimum of 10 m² of the first floor must be within 4.0 m of the front main wall.
In this case, 4.04 m² of the first floor will be within 4.0 m of the front main wall.
3. **Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback provided they are no closer to a lot line than 0.6 m.
In this case, the front stairs will be located 0.0 m from the north lot line.

4. **Chapter 10.5.50.10.(1)(B), By-law 569-2013**
A minimum of 50% of the front yard landscaping must be landscaping (7.24 m²).
In this case, 33% (4.78 m²) of the front yard will be maintained as landscaping.
5. **Chapter 10.5.50.10.(1)(D), By-law 569-2013**
A minimum of 75% of the required front yard landscaping must be soft landscaping (5.43 m²).
In this case, 667% (4.78 m²) of the front yard will be soft landscaping.
6. **Chapter 10.10.30.10.(1)(B), By-law 569-2013**
The minimum required lot area is 225 m².
In this case, the area of the conveyed lot will be 185.6 m².
7. **Chapter 10.10.40.10.(1)(A), By-law 569-2013**
The permitted maximum height of a building or structure is 10.0 m.
The new three-storey semi-detached dwelling will have a height of 10.43 m.
8. **Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The height of the side exterior main walls facing the side lot lines will be 10.42 m.
9. **Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 1.0 times the area of the lot (185.62 m²).
The new three-storey semi-detached dwelling will have a floor space index equal to 1.56 times the area of the lot (289.67 m²).
10. **Chapter 10.10.80.40.(1), By-law 569-2013**
A vehicle entrance through the front main wall of a building is permitted, provided the lot has a minimum frontage of 7.6 m.
In this case, the lot will have a frontage of 6.10 m.
11. **Chapter 10.10.40.30.(1)(A), By-law 569-2013**
The maximum permitted building depth for a semi-detached dwelling is 17.0 m.
The new semi-detached dwelling will have a depth of 17.69 m.
1. **Section 6(3) Part I 1, By-law 438-86**
The maximum permitted residential gross floor area is 1.0 times the area of the lot (185.62 m²).
The new three-storey semi-detached dwelling will have a residential gross floor area equal to 1.70 times the area of the lot (316.69 m²).
2. **Section 6(3) Part II 3.C(II), By-law 438-86**
The minimum required side lot line setback of a semi-detached dwelling is 0.90 m.
The side wall of the new semi-detached dwelling will be located 0.45 m from the east side lot line.
3. **Section 6(3) Part II 5(II), By-law 438-86**
The maximum permitted depth of a semi-detached dwelling is 17.0 m.
The new semi-detached dwelling will have a depth of 18.47 m.
4. **Section 6(3) Part IV 3(I), By-law 438-86**
An integral garage in a building located on a lot with a frontage less than 7.62 m and where access to the garage is located in a wall facing the front lot line is not permitted.
In this case, the integral garage is in a wall that faces the front lot line.

5. **Section 6(3) Part IV 3(II), By-law 438-86**
An integral garage in a building where the floor level of the garage is located below grade and the vehicle access to the garage is located in a wall facing the front lot line is not permitted.
The semi-detached dwelling will have an integral below grade garage.
6. **Section 4(2)(a), By-law 438-86**
The maximum permitted building height is 10.0 m.
The new three-storey semi-dwelling will have a height of 10.09 m.
7. **Section 6(3) Part VII 1(I), By-law 438-86**
The minimum required frontage of a residential lot is 7.5 m.
In this case, the new lot will have a lot frontage of 6.10 m.
8. **Section 6(3) Part II 2(III), By-law 438-86**
The minimum required front yard setback shall be equal to the shortest distance by which the front wall of the only adjacent building is setback from its front lot line, which in this case, is 2.47 m.
The new semi-detached dwelling will be located 2.43 m from the front lot line.
9. **Section 6(3) Part III 3.(d)(i)(B), By-law 438-86**
A minimum of 50% (7.24 m²) of the front yard shall be maintained as landscaping.
In this case, 33% (4.78 m²) of the front yard area will be landscaping.

42D. 1647 BATHURST ST (PART 3)

File Number:	A0239/17TEY	Zoning	R (u2; d1.0)(x946) & R1S Z1.0 (ZZC)
Owner(s):	EUGENE SULZKIY	Ward:	St. Paul's (21)
Agent:	MICHAEL GOLDBERG	Heritage:	Not Applicable
Property Address:	1647 BATHURST ST (PART 3)	Community:	Toronto
Legal Description:	PLAN M347 LOT 11 LOT 12		

PURPOSE OF THE APPLICATION:

To construct a three-storey semi-detached dwelling with an integral garage as described in Consent Application B0020/17TEY.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Chapter 900.2.10 (946)(d), By-law 569-2013**
The minimum required lot frontage for a semi-detached dwelling is 7.5 m.
In this case, the frontage of the conveyed lot will be 6.10 m.
2. **Chapter 10.5.40.10.(5), By-law 569-2013**
A minimum of 10 m² of the first floor must be within 4.0 m of the front main wall.
In this case, 4.04 m² of the first floor will be within 4.0 m of the front main wall.
3. **Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback provided they are no closer to a lot line than 0.6 m.
In this case, the front stairs will be located 0.0 m from the north lot line.

4. **Chapter 10.10.30.10.(1)(B), By-law 569-2013**
The minimum required lot area is 225 m².
In this case, the area of the conveyed lot will be 185.6 m².
5. **Chapter 10.10.40.10.(1)(A), By-law 569-2013**
The permitted maximum height of a building or structure is 10.0 m.
The new three-storey semi-detached dwelling will have a height of 10.57 m.
6. **Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The height of the side exterior main walls facing the side lot lines will be 10.42 m.
7. **Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 1.0 times the area of the lot (185.62 m²).
The new three-storey semi-detached dwelling will have a floor space index equal to 1.56 times the area of the lot (289.67 m²).
8. **Chapter 10.10.80.40.(1), By-law 569-2013**
A vehicle entrance through the front main wall of a building is permitted, provided the lot has a minimum frontage of 7.6 m.
In this case, the lot will have a frontage of 6.10 m.
9. **Chapter 10.5.50.10.(1)(B), By-law 569-2013**
A minimum of 50% of the front yard landscaping must be landscaping (6.64 m²).
In this case, 33% (4.42 m²) of the front yard will be maintained as landscaping.
10. **Chapter 10.5.50.10.(1)(D), By-law 569-2013**
A minimum of 75% of the required front yard landscaping must be soft landscaping (4.98 m²).
In this case, 66% (4.42 m²) of the front yard will be soft landscaping.
11. **Chapter 10.10.40.30.(1)(A), By-law 569-2013**
The maximum permitted building depth for a semi-detached dwelling is 17.0 m.
The new semi-detached dwelling will have a depth of 17.62 m.
1. **Section 6(3) Part I 1, By-law 438-86**
The maximum permitted residential gross floor area is 1.0 times the area of the lot (185.62 m²).
The new three-storey semi-detached dwelling will have a residential gross floor area equal to 1.70 times the area of the lot (316.69 m²).
2. **Section 6(3) Part II 3.C(II), By-law 438-86**
The minimum required side lot line setback of a semi-detached dwelling is 0.90 m.
The side wall of the new semi-detached dwelling will be located 0.45 m from the west side lot line.
3. **Section 6(3) Part II 5(II), By-law 438-86**
The maximum permitted depth of a semi-detached dwelling is 17.0 m.
The new semi-detached dwelling will have a depth of 18.47 m.
4. **Section 6(3) Part IV 3(I), By-law 438-86**
An integral garage in a building located on a lot with a frontage less than 7.62 m and where access to the garage is located in a wall facing the front lot line is not permitted.
In this case, the integral garage is in a wall that faces the front lot line.

5. **Section 6(3) Part IV 3(II), By-law 438-86**
An integral garage in a building where the floor level of the garage is located below grade and the vehicle access to the garage is located in a wall facing the front lot line is not permitted.
The semi-detached dwelling will have an integral below grade garage.
6. **Section 4(2)(a), By-law 438-86**
The maximum permitted building height is 10.0 m.
The new three-storey semi-dwelling will have a height of 10.19 m.
7. **Section 6(3) Part VII 1(I), By-law 438-86**
The minimum required frontage of a residential lot is 7.5 m.
In this case, the new lot will have a lot frontage of 6.10 m.
8. **Section 6(3) Part II 2(III), By-law 438-86**
The minimum required front yard setback shall be equal to the shortest distance by which the front wall of the only adjacent building is setback from its front lot line, which in this case, is 2.47 m.
The new semi-detached dwelling will be located 2.36 m from the front lot line.
9. **Section 6(3) Part III 3.(d)(i)(B), By-law 438-86**
A minimum of 50% (6.64 m²) of the front yard shall be maintained as landscaping.
In this case, 33% (4.42 m²) of the front yard area will be landscaping.

42E. 1647 BATHURST ST (PART 4)

File Number:	A0240/17TEY	Zoning	R (u2; d1.0)(x946) & R1S Z1.0 (ZZC)
Owner(s):	EUGENE SULZKIY	Ward:	St. Paul's (21)
Agent:	MICHAEL GOLDBERG	Heritage:	Not Applicable
Property Address:	1647 BATHURST ST (PART 4)	Community:	Toronto
Legal Description:	PLAN M347 LOT 11 LOT 12		

PURPOSE OF THE APPLICATION:

To construct a three-storey semi-detached dwelling with an integral garage as described in Consent Application B0020/17TEY.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Chapter 900.2.10 (946)(d), By-law 569-2013**
The minimum required lot frontage for a semi-detached dwelling is 7.5 m.
In this case, the frontage of the conveyed lot will be 6.10 m.
2. **Chapter 10.5.40.10.(5), By-law 569-2013**
A minimum of 10 m² of the first floor must be within 4.0 m of the front main wall.
In this case, 4.04 m² of the first floor will be within 4.0 m of the front main wall.
3. **Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback provided they are no closer to a lot line than 0.6 m.
In this case, the front stairs will be located 0.0 m from the north lot line.

4. **Chapter 10.5.50.10.(1)(B), By-law 569-2013**
A minimum of 50% of the front yard landscaping must be landscaping (6.69 m²).
In this case, 34% (4.53 m²) of the front yard will be maintained as landscaping.
5. **Chapter 10.5.50.10.(1)(D), By-law 569-2013**
A minimum of 75% of the required front yard landscaping must be soft landscaping (5.01 m²).
In this case, 67.7% (4.53 m²) of the front yard will be soft landscaping.
6. **Chapter 10.10.30.10.(1)(B), By-law 569-2013**
The minimum required lot area is 225 m².
In this case, the area of the conveyed lot will be 185.6 m².
7. **Chapter 10.10.40.10.(1)(A), By-law 569-2013**
The permitted maximum height of a building or structure is 10.0 m.
The new three-storey semi-detached dwelling will have a height of 10.76 m.
8. **Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The height of the side exterior main walls facing the side lot lines will be 10.61 m.
9. **Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 1.0 times the area of the lot (185.62 m²).
The new three-storey semi-detached dwelling will have a floor space index equal to 1.56 times the area of the lot (289.67 m²).
10. **Chapter 10.10.80.40.(1), By-law 569-2013**
A vehicle entrance through the front main wall of a building is permitted, provided the lot has a minimum frontage of 7.6 m.
In this case, the lot will have a frontage of 6.10 m.
11. **Chapter 10.10.40.30.(1)(A), By-law 569-2013**
The maximum permitted building depth for a semi-detached dwelling is 17.0 m.
The new semi-detached dwelling will have a depth of 17.55 m.
1. **Section 6(3) Part I 1, By-law 438-86**
The maximum permitted residential gross floor area is 1.0 times the area of the lot (185.62 m²).
The new three-storey semi-detached dwelling will have a residential gross floor area equal to 1.70 times the area of the lot (316.69 m²).
2. **Section 6(3) Part II 3.C(II), By-law 438-86**
The minimum required side lot line setback of a semi-detached dwelling is 0.90 m.
The side wall of the new semi-detached dwelling will be located 0.45 m from the east side lot line.
3. **Section 6(3) Part II 5(II), By-law 438-86**
The maximum permitted depth of a semi-detached dwelling is 17.0 m.
The new semi-detached dwelling will have a depth of 18.47 m.
4. **Section 6(3) Part IV 3(I), By-law 438-86**
An integral garage in a building located on a lot with a frontage less than 7.62 m and where access to the garage is located in a wall facing the front lot line is not permitted.
In this case, the integral garage is in a wall that faces the front lot line.

5. **Section 6(3) Part IV 3(II), By-law 438-86**
An integral garage in a building where the floor level of the garage is located below grade and the vehicle access to the garage is located in a wall facing the front lot line is not permitted.
The semi-detached dwelling will have an integral below grade garage.
6. **Section 6(3) Part VII 1(I), By-law 438-86**
The minimum required frontage of a residential lot is 7.5 m.
In this case, the new lot will have a lot frontage of 6.10 m.
7. **Section 4(2)(a), By-law 438-86**
The maximum permitted building height is 10.0 m.
The new three-storey semi-dwelling will have a height of 10.42 m.
8. **Section 6(3) Part II 2(III), By-law 438-86**
The minimum required front yard setback shall be equal to the shortest distance by which the front wall of the only adjacent building is setback from its front lot line, which in this case, is 2.47 m.
The new semi-detached dwelling will be located 2.29 m from the front lot line.
9. **Section 6(3) Part III 3.(d)(i)(B), By-law 438-86**
A minimum of 50% (6.69 m²) of the front yard shall be maintained as landscaping.
In this case, 34% (4.53 m²) of the front yard area will be landscaping.

42F. 1647 BATHURST ST (PART 5)

File Number:	A0241/17TEY	Zoning	R (u2; d1.0)(x946) & R1S Z1.0 (ZZC)
Owner(s):	EUGENE SULZKIY	Ward:	St. Paul's (21)
Agent:	MICHAEL GOLDBERG	Heritage:	Not Applicable
Property Address:	1647 BATHURST ST (PART 5)	Community:	Toronto
Legal Description:	PLAN M347 LOT 11 LOT 12		

PURPOSE OF THE APPLICATION:

To construct a three-storey semi-detached dwelling with an integral garage as described in Consent Application B0020/17TEY.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Chapter 10.5.40.10.(5), By-law 569-2013**
A minimum of 10 m² of the first floor must be within 4.0 m of the front main wall.
In this case, 4.04 m² of the first floor will be within 4.0 m of the front main wall.
2. **Chapter 900.2.10 (946)(d), By-law 569-2013**
The minimum required lot frontage for a semi-detached dwelling is 7.5 m.
In this case, the frontage of the conveyed lot will be 6.10 m.
3. **Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback provided they are no closer to a lot line than 0.6 m.
In this case, the front stairs will be located 0.0 m from the north lot line.

4. **Chapter 10.5.50.10.(1)(B), By-law 569-2013**
A minimum of 50% of the front yard landscaping must be landscaping (6.49 m²).
In this case, 34.2% (4.45 m²) of the front yard will be maintained as landscaping.
5. **Chapter 10.5.50.10.(1)(D), By-law 569-2013**
A minimum of 75% of the required front yard landscaping must be soft landscaping (4.86 m²).
In this case, 68.5% (4.45 m²) of the front yard will be soft landscaping.
6. **Chapter 10.10.30.10.(1)(B), By-law 569-2013**
The minimum required lot area is 225 m².
In this case, the area of the conveyed lot will be 185.6 m².
7. **Chapter 10.10.40.10.(1)(A), By-law 569-2013**
The permitted maximum height of a building or structure is 10.0 m.
The new three-storey semi-detached dwelling will have a height of 10.82 m.
8. **Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The height of the side exterior main walls facing the side lot lines will be 10.67 m.
9. **Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 1.0 times the area of the lot (185.62 m²).
The new three-storey semi-detached dwelling will have a floor space index equal to 1.56 times the area of the lot (289.67 m²).
10. **Chapter 10.10.80.40.(1), By-law 569-2013**
A vehicle entrance through the front main wall of a building is permitted, provided the lot has a minimum frontage of 7.6 m.
In this case, the lot will have a frontage of 6.10 m.
11. **Chapter 10.10.40.30.(1)(A), By-law 569-2013**
The maximum permitted building depth for a semi-detached dwelling is 17.0 m.
The new semi-detached dwelling will have a depth of 17.49 m.
1. **Section 6(3) Part I 1, By-law 438-86**
The maximum permitted residential gross floor area is 1.0 times the area of the lot (185.62 m²).
The new three-storey semi-detached dwelling will have a residential gross floor area equal to 1.70 times the area of the lot (316.69 m²).
2. **Section 6(3) Part II 3.C(II), By-law 438-86**
The minimum required side lot line setback of a semi-detached dwelling is 0.90 m.
The side wall of the new semi-detached dwelling will be located 0.45 m from the west side lot line.
3. **Section 6(3) Part II 5(II), By-law 438-86**
The maximum permitted depth of a semi-detached dwelling is 17.0 m.
The new semi-detached dwelling will have a depth of 18.47 m.
4. **Section 6(3) Part IV 3(I), By-law 438-86**
An integral garage in a building located on a lot with a frontage less than 7.62 m and where access to the garage is located in a wall facing the front lot line is not permitted.
In this case, the integral garage is in a wall that faces the front lot line.

5. **Section 6(3) Part IV 3(II), By-law 438-86**
An integral garage in a building where the floor level of the garage is located below grade and the vehicle access to the garage is located in a wall facing the front lot line is not permitted.
The semi-detached dwelling will have an integral below grade garage.
6. **Section 6(3) Part VII 1(I), By-law 438-86**
The minimum required frontage of a residential lot is 7.5 m.
In this case, the new lot will have a lot frontage of 6.10 m.
7. **Section 4(2)(a), By-law 438-86**
The maximum permitted building height is 10.0 m.
The new three-storey semi-dwelling will have a height of 10.56 m.
8. **Section 6(3) Part II 2(III), By-law 438-86**
The minimum required front yard setback shall be equal to the shortest distance by which the front wall of the only adjacent building is setback from its front lot line, which in this case, is 2.47 m.
The new semi-detached dwelling will be located 2.22 m from the front lot line.
9. **Section 6(3) Part III 3.(d)(i)(B), By-law 438-86**
A minimum of 50% (6.49 m²) of the front yard shall be maintained as landscaping.
In this case, 34.2% (4.45 m²) of the front yard area will be landscaping.

42G. 1647 BATHURST ST (PART 6)

File Number:	A0242/17TEY	Zoning	R (u2; d1.0)(x946) & R1S Z1.0 (ZZC)
Owner(s):	EUGENE SULZKIY	Ward:	St. Paul's (21)
Agent:	MICHAEL GOLDBERG	Heritage:	Not Applicable
Property Address:	1647 BATHURST ST (PART 6)	Community:	Toronto
Legal Description:	PLAN M347 LOT 11 LOT 12		

PURPOSE OF THE APPLICATION:

To construct a three-storey semi-detached dwelling with an integral garage as described in Consent Application B0020/17TEY.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Chapter 900.2.10 (946)(d), By-law 569-2013**
The minimum required lot frontage for a semi-detached dwelling is 7.5 m.
In this case, the frontage of the conveyed lot will be 6.86 m.
2. **Chapter 10.5.40.10.(5), By-law 569-2013**
A minimum of 10 m² of the first floor must be within 4.0 m of the front main wall.
In this case, 4.04 m² of the first floor will be within 4.0 m of the front main wall.
3. **Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback provided they are no closer to a lot line than 0.6 m.
In this case, the front stairs will be located 0.0 m from the north lot line.

4. **Chapter 10.5.50.10.(1)(B), By-law 569-2013**
A minimum of 50% of the front yard landscaping must be landscaping (7.47 m²).
In this case, 44.9% (6.71 m²) of the front yard will be maintained as landscaping.
5. **Chapter 10.10.40.10.(1)(A), By-law 569-2013**
The permitted maximum height of a building or structure is 10.0 m.
The new three-storey semi-detached dwelling will have a height of 10.95 m.
6. **Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The height of the side exterior main walls facing the side lot lines will be 10.80 m.
7. **Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 1.0 times the area of the lot (208.81 m²).
The new three-storey semi-detached dwelling will have a floor space index equal to 1.39 times the area of the lot (289.67 m²).
8. **Chapter 10.10.80.40.(1), By-law 569-2013**
A vehicle entrance through the front main wall of a building is permitted, provided the lot has a minimum frontage of 7.6 m.
In this case, the lot will have a frontage of 6.86 m.
9. **Chapter 10.10.30.10.(1)(B), By-law 569-2013**
The minimum required lot area is 225 m².
In this case, the area of the conveyed lot will be 208.80 m².
10. **Chapter 10.10.40.30.(1)(A), By-law 569-2013**
The maximum permitted building depth for a semi-detached dwelling is 17.0 m.
The new semi-detached dwelling will have a depth of 17.42 m.
1. **Section 6(3) Part I 1, By-law 438-86**
The maximum permitted residential gross floor area is 1.0 times the area of the lot (208.81 m²).
The new three-storey semi-detached dwelling will have a residential gross floor area equal to 1.51 times the area of the lot (316.69 m²).
2. **Section 6(3) Part II 5(II), By-law 438-86**
The maximum permitted depth of a semi-detached dwelling is 17.0 m.
The new semi-detached dwelling will have a depth of 18.47 m.
3. **Section 6(3) Part IV 3(I), By-law 438-86**
An integral garage in a building located on a lot with a frontage less than 7.62 m and where access to the garage is located in a wall facing the front lot line is not permitted.
In this case, the integral garage is in a wall that faces the front lot line.
4. **Section 6(3) Part IV 3(II), By-law 438-86**
An integral garage in a building where the floor level of the garage is located below grade and the vehicle access to the garage is located in a wall facing the front lot line is not permitted.
The semi-detached dwelling will have an integral below grade garage.
5. **Section 6(3) Part VII 1(I), By-law 438-86**
The minimum required frontage of a residential lot is 7.5 m.

In this case, the new lot will have a lot frontage of 6.86 m.

6. Section 4(2)(a), By-law 438-86

The maximum permitted building height is 10.0 m.

The new three-storey semi-dwelling will have a height of 10.67 m.

7. Section 6(3) Part II 2(III), By-law 438-86

The minimum required front yard setback shall be equal to the shortest distance by which the front wall of the only adjacent building is setback from its front lot line, which in this case, is 2.47 m.

The new semi-detached dwelling will be located 2.16 m from the front lot line.

8. Section 6(3) Part III 3.(d)(i)(B), By-law 438-86

A minimum of 50% (7.47 m²) of the front yard shall be maintained as landscaping.

In this case, 44.9% (6.71 m²) of the front yard area will be landscaping.

MOTION

It was moved by Nancy Oomen, seconded by Joanne Hayes and carried unanimously that the applications be **deferred, for a maximum of 6 months.** The deferral would provide the applicant with an opportunity to discuss the proposal in more detail with planning staff and to consult with the area residents. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel A.**



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0857/16TEY	Zoning	RD (f12.0, d0.35) & R1 Z0.35 (ZZC)
Owner(s):	CAROLINE KHACHEHTOORI	Ward:	Beaches-East York (32)
Agent:	KRISTOFER POTTS	Heritage:	Not Applicable
Property Address:	40 PINE CRES	Community:	Toronto
Legal Description:	PLAN M390 PT LOT 74 PT LOT 75		

Notice was given and a Public Hearing was held on **Wednesday, June 28, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing 1½-storey detached dwelling by constructing a rear 1st storey addition, second and third storey additions, front porch and to attach the existing garage to the side of the dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.35 times the area of the lot (113.86 m²). The altered dwelling will have a floor space index equal to 0.98 times the area of the lot (319.16 m²).
- 2. Chapter 10.20.40.70.(2)(A), By-law 569-2013**
The minimum required rear yard setback is 7.5 m.
The altered dwelling will be located 2.28 m from the rear lot line.
- 3. Chapter 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
The altered dwelling will be located 0.85 m to the west side lot line and 0.26 m to the east side lot line.
- 4. Chapter 10.5.80.40.(2), By-law 569-2013**
For a detached house where an individual private driveway leads directly to the dwelling unit, the elevation of the lowest point of a vehicle entrance in a main wall of the building must be higher than the elevation of the centreline of the driveway at the point where it intersects a lot line abutting a street (101.75 at street) .
In this case, the elevation of the lowest point of a vehicle entrance in a main wall of the building is 101.17.

5. Chapter 10.5.80.40.(2), By-law 569-2013

Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.

In this case, the eaves will be located 0.0 m from the east lot line.

1. Section 6(3) Part IV 3(II), By-law 438-86

The by-law does not permit an integral garage in a building where the floor level of the garage is located below grade and the vehicle access to the garage is located in a wall facing the front lot line. In this case, the integral garage will be below grade.

2. Section 6(3) Part I 1, By-law 438-86

The maximum permitted residential gross floor area is 0.35 times the area of the lot (113.86 m²).

The altered dwelling will have a gross floor area equal to 0.98 times the area of the lot (319.16 m²).

3. Section 6(3) Part II 4, By-law 438-86

The minimum required rear yard setback is 7.5 m.

The altered dwelling will be located 2.28 m from the rear lot line.

4. Section 6(3) Part II 3.B(II), By-law 438-86

The minimum required side lot line for the portion of the building not exceeding 17.0 m in depth is 0.9 m.

The altered dwelling will be located 0.85 m to the west side lot line and 0.26 m to the east side lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0857/16TEY	Zoning	RD (f12.0, d0.35) & R1 Z0.35 (ZZC)
Owner(s):	CAROLINE KHACHEHTOORI	Ward:	Beaches-East York (32)
Agent:	KRISTOFER POTTS	Heritage:	Not Applicable
Property Address:	40 PINE CRES	Community:	Toronto
Legal Description:	PLAN M390 PT LOT 74 PT LOT 75		

Edmund Carlson (signed)

Joanne Hayes (signed)

Nancy Oomen (signed)

DATE DECISION MAILED ON: **Tuesday July 4, 2017**

LAST DATE OF APPEAL: **Tuesday July 18, 2017**

CERTIFIED TRUE COPY

Sylvia Mullaste
Acting Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your APPEAL should be submitted in accordance with the instructions above.