

## NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0035/17TEY	Zoning	CR 6.5 C 4.5; r 3.5 SS2 2044 & CR T6.5 c4.5;r3.5 (Waiver)
Owner(s):	OPG INVESTMENT HOLDINGS GP INC	Ward:	Trinity-Spadina (20)
Agent:	CHRISTIAN PETERSEN	Heritage:	Listed
Property Address:	<b>4 AVENUE RD</b>	Community:	Toronto
Legal Description:	PLAN 301 LOTS 5 TO 7 PT LOTS 1 TO 4		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

### PURPOSE OF THE APPLICATION:

To alter the two existing mixed-use towers with connecting podium, by: consolidating the existing hotel use into the existing North Tower; converting the office and hotel in the existing South Tower to 65 residential dwelling units; constructing a new elevator core for the South Tower; and reconstructing the podium between the existing towers. The existing underground garage will be maintained.

### REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

**1. Chapter 40.10.40.40.(1)(A) & 1(B), By-law 569 – 2013**

The maximum permitted floor space index for all uses on the lot is 6.5 times the area of the lot (32,630 m<sup>2</sup>).

The maximum permitted floor space index for all non-residential uses on the lot is 4.5 times the area of the lot (22, 590 m<sup>2</sup>).

The altered building will have a floor space index for all uses on the lot equal to 7.8 times the area of the lot (38,552 m<sup>2</sup>).

The altered building will have a floor space index for non-residential uses on the lot equal to 5.5 times the area of the lot (27,549 m<sup>2</sup>).

**2. Chapter 600.10.10(1)(A)(i), By-law 569-2013, as amended by By-law 1107-2016**

Every tower must be set back the greater of 3.0 m from a lot line that abuts a street and 12.5 m from the centre line of that abutting street.

A portion of the tower will be set back 0.0 m from the lot line that abuts a street.

**3. Chapter 600.10.10(1)(A)(iii), By-law 569-2013, as amended by By-law 1107-2016**

Every tower must be set back at least 12.5 m from a lot line having no abutting street or lane.

A portion of the tower will be set back 9.3 m from the west lot line.

**4. Chapter 200.5.1(3), By-law 569-2013**

The minimum width of a drive aisle is 6.0 m.

The existing drive aisles are permitted in its existing configuration provided that the minimum width at any location is not reduced beyond the dimensions on the date the variance is approved.

**5. Chapter 200.5.10.1(1), By-law 569-2013**

Parking spaces are required to be provided at a minimum rate of 0.5 parking spaces for each one-bedroom dwelling unit and 0.8 spaces for each two-bedroom dwelling unit for a total of 43 parking spaces.

The number of parking spaces required for visitor parking is six spaces.

The altered building as extended will provide zero visitor parking spaces and maintain 36 of the existing undersized lawful below grade parking spaces for residential tenant use at a rate of 0.55 spaces for all dwelling units.

**6. Chapter 200.15.1.5(1)(A) & (B), By-law 569-2013**

The required accessible parking spaces must be closest to a principal pedestrian entrance to a building. The required accessible parking spaces must be at the same level as the pedestrian entrance to the building.

A total of two accessible parking spaces are being provided in the P1 level closest to the pedestrian entrance to a building and at the same level as the pedestrian entrance to the building. No accessible spaces are being provided at-grade.

**7. Chapter 200.15.10(1), By-law 569-2013**

The required minimum number of accessible parking spaces is four.

A total of two accessible parking spaces will be provided in the P1 level.

**8. Chapter 200.5.1.10.(2)(A), By-law 569-2013**

A parking space is required to have a minimum length of 5.6 m, width of 2.6 m and a vertical clearance of 2.0 m. A parking space accessed by a drive aisle with a width of less than 6.0 m, whether it is a one-way or two-way drive aisle is required to have a minimum length of 5.6 m, width of 2.9 m and vertical clearance of 2.0 m. The minimum width must be increased by 0.3 m for each side of the parking space that is obstructed.

The existing parking spaces are permitted with their existing dimensions provided that the length, width, and height of such existing parking spaces are not reduced beyond the dimensions of such parking spaces.

**9. Chapter 200.5.1.10(12)(A) & (C), By-law 569-2013**

The minimum width for a two-way vehicle entrance and exit driveway into and out of the building is 5.5 m.

The width of the existing two-way vehicle entrance and exit driveway for the altered building will be retained at its current width.

The minimum required setback for a vehicle entrance and exit is 6.0 m from the lot line abutting the street.

The vehicle entrances will be 0.0 m from the north lot line and 0.0 m from the east lot line.

**10. Chapter 220.5.10.1(6), By-law 569-2013**

The minimum required number of loading spaces for the altered building is one Type G, one Type B, and two Type C loading spaces.

The building as altered will provide one Type G and one Type B loading space on the lot and two Type C loading spaces will be provided on the adjacent lot.

**11. Chapter 230.5.1.10(8), By-law 569-2013**

A bicycle parking space is required to be provided on the lot.

In this case, the required bicycle parking will not be provided on the same lot and will be provided on the adjacent lot.

**12. Chapter 230.5.10.1(1) and (5), By-law 569-2013**

A minimum of 25 short-term bicycle parking spaces are required for residential and non-residential uses.

In this case, zero short-term bicycle parking spaces will be provided on the subject lot.

**13. Chapter 40.10.100.10.(1)(B) & (C), By-law 569-2013**

Where a corner lot does not abut a lane, vehicle access is not permitted from a major street.

The two existing vehicle accesses are from a major street, Avenue Road.

Only one vehicle access to a lot is permitted.

In this case, there are three existing vehicle accesses to the lot and one new vehicle access to the loading spaces on the adjacent lane by private easement.

**14. Chapter 40.10.40.70(2)(C), By-law 569-2013**

Where the main wall of a building has windows or openings, the main wall must be set back at least 5.5 m from a side lot line that is not adjacent to a street or lane, otherwise no building setback is required.

The main wall will be setback 4.43 m from the west side lot line at the fourth and fifth storeys.

**15. Chapter 40.10.40.50(1) (A) & (B), By-law 569-2013**

The altered building must provide a minimum of 260 m<sup>2</sup> of amenity space of which 130 m<sup>2</sup> must be indoor amenity space and at least 40.0 m<sup>2</sup> of outdoor amenity space must be in a location adjoining or directly accessible to the indoor amenity space.

The altered building will provide a minimum of 260 m<sup>2</sup> of amenity space of which 130 m<sup>2</sup> will be indoor amenity space to be provided for the common use of residential tenants, hotel patrons and guests of the building. A minimum of 130 m<sup>2</sup> of outdoor residential amenity space will be provided, which will be located adjacent and directly accessible from a secondary amenity area, both of which will be provided for the exclusive use of the residents of the building.

**1. Section 12(2) 380 (1)(C), By-law 438-86, as amended by By-law 1106-2016**

Every tower must be no closer than 12.5 m to a lot line having no abutting street.

A portion of the tower will be located 9.3 m from the west side lot line.

**2. Section 8(3) Part I 1, By-law 438-86**

The maximum permitted combined non-residential and residential gross floor area is 6.5 times the area of the lot (32,630 m<sup>2</sup>).

The altered building will have a maximum combined non-residential and residential gross floor area equal to 7.8 times the area of the lot (39,379 m<sup>2</sup>).

**3. Section 8(3) Part I 2, By-law 438-86**

The maximum permitted non-residential gross floor area is 4.5 times the area of the lot (22,590 m<sup>2</sup>).

The altered building will have a maximum permitted non-residential gross floor equal to 5.61 times the area of the lot (28,118 m<sup>2</sup>).

**4. Section 4(5)(B), By-law 438-86**

The minimum required number of parking spaces in a building containing more than 6 units is:  
0.5 parking spaces for each one-bedroom dwelling unit;

0.75 parking spaces for each two-bedroom dwelling unit; and

0.06 visitors' parking spaces for each dwelling unit, for a total requirement of 42 residential parking spaces and 4 residential visitors' parking spaces.

The minimum required number of parking spaces for the hotel is 1 parking space for each 371.0 m<sup>2</sup> of total floor area, for a total of 60 parking spaces.

The minimum required number of parking spaces for retail and other non-residential uses is 1 parking space for each 100 m<sup>2</sup> of net floor area, for a total of 59 parking spaces.

The altered building will provide a minimum rate of 0.55 parking spaces per dwelling unit for residential parking (36 parking spaces), and zero residential visitor parking spaces. The altered building will provide 43 parking spaces for hotel uses and zero parking spaces for retail and other non-residential uses. The total number of parking spaces on the lot for all uses will be 79 lawfully existing parking spaces located within the below-grade parking area.

**5. Section 4(13)(A) & (C), By-law 438-86**

A minimum of 10 bicycle parking spaces - visitor are required to be provided on the lot for residential uses, and 5 bicycle parking spaces – visitor are required to be provided on the lot for retail and other non-residential uses.

In this case, zero bicycle parking spaces - visitor will be provided on the lot.

**6. Section 4(5)(i)(ii), By-law 438-86**

The minimum width for a two-way vehicle driveway or passageway is 5.5 m.

The width of the existing undersized two-way vehicle entrance and exit driveways providing access to the below grade parking including the existing parking spaces will be retained at its current width.

**7. Section 4(8)(B), By-law 438-86**

One Type G loading space is required for the residential uses, one Type A loading space, three Type B loading spaces and one Type C loading spaces are required for the non-residential uses.

In this case, one Type G and one Type B loading space will be provided on the lot and two Type C loading spaces will be provided on the adjacent lot.

**8. Section 8(3) Part II 1(A)(II), By-law 438-86**

The window of a dwelling unit is to be setback a minimum of 5.5 m from a lot line that is not a street line or from a wall of a building.

The window of the altered building will be located 4.43 m measured from the fourth and fifth-storeys of the south tower.

**9. Section 4(12), By-law 438-86**

The altered building must provide a minimum of 130 m<sup>2</sup> of indoor residential amenity space, which must include a kitchen.

In this case, 130 m<sup>2</sup> of indoor residential amenity space will be provided which will not include a kitchen.

A minimum of 40 m<sup>2</sup> of the required 130 m<sup>2</sup> outdoor amenity space is to be adjacent to or directly accessible from the indoor residential amenity space.

The outdoor amenity space will be located adjacent and directly accessible from indoor residential amenity space which is not contiguous to the required indoor residential amenity space.

**10. Section 12(2)380(1)(a), By-law 438-86, as amended by By-law 1106-2016**

Every tower must be no closer than 3.0 metres from a lot line abutting a street that is a public highway and 12.5 metres to the centre line of that street.

A portion of the tower will be set back 0.0 metres from a lot line abutting a street that is a public highway.

**11. Section 2, By-law 438-86**

Indoor and outdoor residential amenity space is to be provided for the exclusive use of the residents in the building.

In this case, the altered building will provide indoor residential amenity space for the common use of residential tenants, hotel patrons and guests of the building. The outdoor residential amenity space provided will be for the exclusive use of residential tenants.

**12. Section 4(17) (A) & (B), By-law 438-86**

A parking space is required to have a minimum length of 5.6 m, width of 2.6 m and a vertical clearance of 2.0 m. A parking space accessed by a drive aisle with a width of less than 6.0 m, whether it is a one-way or two-way drive aisle is required to have a minimum length of 5.6 m, width of 3.0 m and vertical clearance of 2.0 m. The minimum width must be increased by 0.3 m for each side of the parking space that is obstructed.

The existing parking spaces are permitted with their existing dimensions provided that the length, width, and height of such existing parking spaces are not reduced beyond the dimensions of such parking space.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of a building permit, building permit drawings including plans, elevations and details shall be submitted to the satisfaction of the Senior Manager of Heritage Preservation Services and a heritage permit shall be obtained under the provision of Section 33 of the Ontario Heritage Act.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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**SIGNATURE PAGE**

File Number:	A0035/17TEY	Zoning	CR 6.5 C 4.5; r 3.5 SS2 2044 & CR T6.5 c4.5;r3.5 (Waiver)
Owner(s):	OPG INVESTMENT HOLDINGS GP INC	Ward:	Trinity-Spadina (20)
Agent:	CHRISTIAN PETERSEN	Heritage:	Listed
Property Address:	<b>4 AVENUE RD</b>	Community:	Toronto
Legal Description:	PLAN 301 LOTS 5 TO 7 PT LOTS 1 TO 4		

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Alex Bednar (signed)

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Michael Clark (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0059/17TEY	Zoning:	MCR T2.0 C1.0 R2.0 (ZZC)
Owner(s):	RHONDA WISE	Ward:	Beaches-East York (32)
Agent:	STEPHEN LEBLANC	Heritage:	Not Applicable
Property Address:	<b>1912 QUEEN ST E</b>	Community:	Toronto
Legal Description:	PLAN 747 PT LOT 7		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing three-storey mixed-use building containing retail and two residential units by constructing: a three-storey rear addition and two-storey front addition above the existing retail space. A total of four residential units will be contained within the building.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Section 8(3) Part II 4(A), By-law 438-86**  
The minimum required building setback from a lot in a residential or park district is 7.5 m.  
The altered mixed-use building will be located 5.33 m to a lot in a residential or park district.
- 2. Section 4(4), By-law 438-86**  
The minimum required number of parking spaces is four (one for each dwelling unit).  
In this case, three readily accessible parking spaces and one tandem parking space will be provided.
- 3. Section 4(17)(b), By-law 438-86**  
The minimum required width of a parking space is 3.0 m plus an additional 0.3 m for any side with an obstruction. In this case, the interior parking space requires a width of 3.6 m, while the exterior space required a width of 3.0 m.  
In this case, the interior parking space which is obstructed on both sides will contain a width of 3.08 m and the exterior parking space will contain a width of 2.47 m.
- 4. Section 12(2)284(i), By-law 607-2013**  
The minimum required building setback is 4.8 m from the curb of Queen Street East, immediately adjacent to the property.  
The altered mixed-use building will be located **4.3 m** from the Queen Street East curb.

**5. Section 12(2)284(iv), By-law 607-2013**

An additional setback of 3.0 m is required above a building height of 9.5 m adjacent to any municipal road.

The altered mixed-use building will contain a height of 12.0 m and will be setback 0.0 m to Queen Street East.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to refuse this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

## Appeal Information

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**SIGNATURE PAGE**

File Number:	A0059/17TEY	Zoning	MCR T2.0 C1.0 R2.0 (ZZC)
Owner(s):	RHONDA WISE	Ward:	Beaches-East York (32)
Agent:	STEPHEN LEBLANC	Heritage:	Not Applicable
Property Address:	<b>1912 QUEEN ST E</b>	Community:	Toronto
Legal Description:	PLAN 747 PT LOT 7		

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Alex Bednar (signed)

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Michael Clark (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0065/17TEY	Zoning	RD (f9.0;a280;d0.45) & R1A (PPR)
Owner(s):	ANDREAS KONDOST TOULAS KONDOS	Ward:	Beaches-East York (31)
Agent:	PATRICK MCAULIFFE	Heritage:	Not Applicable
Property Address:	<b>33 NORLONG BLVD</b>	Community:	Toronto
Legal Description:	PLAN 3256 LOT 6		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a second storey addition and a front porch.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.40.40.(1) (A), By-law 569-2013**  
The maximum permitted floor space index is 0.45 times the area of the lot (340.58 m<sup>2</sup>).  
The floor space index will be 0.52 times the area of the lot (177.66 m<sup>2</sup>).
- Chapter 10.40.40.70.(3) (A), By-law 569-2913**  
The minimum required side yard setback is 0.9 m.  
The side yard setback is **0.54 m**.
- Chapter 10.20.30.40.(1) (A), By-law 569-2013**  
The maximum permitted lot coverage is 35% of the lot area (119.20 m<sup>2</sup>).  
The lot coverage will be 36.12% of the lot area (123.02 m<sup>2</sup>).
- Chapter 10.5.40.60.(2) (A), By-law 569-2013**  
A canopy, awning or similar structure above a platform may encroach into a required building setback to the same extent as the platform it is covering.  
The canopy will encroach 0.43 m beyond the platform it is covering.
- Chapter 10.5.40.60.(7), By-law 569-2013**  
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.  
The eaves will project 0.43 m and are 0.11 m from the north lot line.
- Section 7.8, By-law 6752**  
The maximum permitted floor space index is 0.45 x the lot area.  
The floor space index will be 0.52 times the lot area.

**2. Section 7.8, By-law 6752**

The maximum permitted lot coverage is 35 % of the lot area.

The lot coverage will be 36.12% of the lot area.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

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**SIGNATURE PAGE**

File Number:	A0065/17TEY	Zoning	RD (f9.0;a280;d0.45) & R1A (PPR)
Owner(s):	ANDREAS KONDOST TOULAS KONDOS	Ward:	Beaches-East York (31)
Agent:	PATRICK MCAULIFFE	Heritage:	Not Applicable
Property Address:	<b>33 NORLONG BLVD</b>	Community:	Toronto
Legal Description:	PLAN 3256 LOT 6		

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Alex Bednar (signed)

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Michael Clark (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0066/17TEY	Zoning	RD (f9.0; a280; d0.45) & R1A (Waiver)
Owner(s):	ASHKAN ATTAR	Ward:	Toronto-Danforth (29)
Agent:	ASHKAN ATTAR	Heritage:	Not Applicable
Property Address:	<b>119 DURANT AVE</b>	Community:	East York
Legal Description:	PLAN 3098 PT LOT 20		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing one-storey detached dwelling by constructing a rear one-storey addition and a second storey addition.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.30.40.(1), By-law 569-2013**  
The maximum permitted lot coverage is 35% of the area of the lot (102.56 m<sup>2</sup>).  
The lot coverage will be equal to 47.2% of the area of the lot (138.33 m<sup>2</sup>).
- 2. Chapter 10.20.40.10.(4), By-law 569-2013**  
The maximum permitted building height is 7.2 m.  
The altered detached dwelling will have a height of 8.85 m.
- 3. Chapter 10.20.40.10.(6), By-law 569-2013**  
The maximum permitted height of the first floor of a dwelling above established grade is 1.2 m.  
In this case, the first floor of the altered dwelling will be located 2.13 m above established grade.
- 4. Chapter 10.20.40.70.(3), By-law 569-2013**  
The minimum required side yard setback for a detached house is 0.9 m.  
The altered detached dwelling will be located 0.63 m from the side lot line.
- 1. Section 7.2.3, By-law 6752**  
The maximum permitted lot coverage is 35% times the area of the lot (102.56 m<sup>2</sup>).  
The lot coverage will be equal to 41.91% times the area of the lot (122.81 m<sup>2</sup>).

**2. Section 7.2.3, By-law 6752**

The maximum permitted floor space index of a 0.45 times the area of the lot (131.8 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 1.18 times the area of the lot (345.79 m<sup>2</sup>).

**3. Section 7.2.3, By-law 6752**

The maximum permitted building height is 8.5 m.  
The altered detached dwelling will have a height of 8.85 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**SIGNATURE PAGE**

File Number:	A0066/17TEY	Zoning	RD (f9.0; a280; d0.45) & R1A (Waiver)
Owner(s):	ASHKAN ATTAR	Ward:	Toronto-Danforth (29)
Agent:	ASHKAN ATTAR	Heritage:	Not Applicable
Property Address:	<b>119 DURANT AVE</b>	Community:	East York
Legal Description:	PLAN 3098 PT LOT 20		

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Alex Bednar (signed)

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Michael Clark (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0067/17TEY	Zoning	R (d1.0) (x516) & R3 Z1.0 (ZZC)
Owner(s):	KEVIN GEORGE WHITE MARGARET RUTH PRESTON	Ward:	Toronto Centre-Rosedale (28)
Agent:	TOM SPRAGGE	Heritage:	Listed
Property Address:	<b>372 BERKELEY ST</b>	Community:	Toronto
Legal Description:	PLAN 518 LOT 5		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a rear detached garage to accommodate two vehicular parking spaces.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.50.10.(3)(A), By-law 569-2013**  
The minimum required rear yard soft landscaping area is 50% (44.27 m<sup>2</sup>).  
The rear yard soft landscaping area will be equal to 18.5% (16.38 m<sup>2</sup>).
- Chapter 10.10.60.20(1)(A), By-law 569-2013**  
The minimum required rear lot line setback is 1.0 m.  
The rear detached garage will be located 0.23 m to the rear lot line.
- Chapter 10.5.60.50.(2)(B), By-law 569-2013**  
The maximum permitted total floor area of all ancillary buildings or structures on a lot is 40.0 m<sup>2</sup>.  
In this case, the rear detached garage will have a total floor area of 49.46 m<sup>2</sup>.
- Chapter 10.5.60.60 (1), By-law 569-2013**  
The eaves of a roof on an ancillary building may encroach into a building setback a maximum of 0.3 m, if the eaves are no closer to a lot line than 0.15 m.  
The eaves will encroach 0.87 m into the required rear setback, and will be located 0.13 m from the rear lot line.
- Chapter 200.5.1.10(2)(B)(ii), By-law 569-2013**  
The minimum required width of an obstructed parking space is 3.2 m.  
The parking spaces will each have a width of 3.045 m.

**1. Section 4(17)(b), By-law 438-86**

The minimum required width of an obstructed parking space which is accessed by a drive aisle with a width of less than 6.0 m is 3.3 m.

The parking spaces will each have a width of 3.045 m.

**2. Section 6(3) Part IV 4(b), By-law 438-86**

The maximum permitted width of a driveway is 6.0 m.

In this case, the driveway will have a width of 6.65 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**SIGNATURE PAGE**

File Number:	A0067/17TEY	Zoning	R (d1.0) (x516) & R3 Z1.0 (ZZC)
Owner(s):	KEVIN GEORGE WHITE MARGARET RUTH PRESTON	Ward:	Toronto Centre-Rosedale (28)
Agent:	TOM SPRAGGE	Heritage:	Listed
Property Address:	<b>372 BERKELEY ST</b>	Community:	Toronto
Legal Description:	PLAN 518 LOT 5		

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Alex Bednar (signed)

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Michael Clark (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## 6. 84 FRATER AVE

File Number:	A0069/17TEY	Zoning	RS (f10.5;a325;d0.75) & R2A (ZZC)
Owner(s):	ROSITSA MIROSLAVOVA CHOLAKYAN HARRY MAGARDICH CHOLAKYAN	Ward:	Beaches-East York (31)
Agent:	FERNANDO LIMA	Heritage:	Not Applicable
Property Address:	<b>84 FRATER AVE</b>	Community:	East York
Legal Description:	PLAN M437 PT LOT 33		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

### PURPOSE OF THE APPLICATION:

To construct a new three-storey detached dwelling with a rear ground floor deck, a rear third storey deck, and a rear basement walkout.

### REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.40.30.40.(1)(A), By-law 569-2013**  
The maximum permitted lot coverage is 35% of the lot area (63.16 m<sup>2</sup>).  
The lot coverage will be equal to 35.9% of the lot area (64.92 m<sup>2</sup>).
- 2. Chapter 10.40.40.10.(1)(A), By-law 569-2013**  
The maximum permitted building height is 8.5 m.  
The new detached dwelling will have a height of 8.9 m.
- 3. Chapter 10.40.40.10.(2)(B)(i), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7 m.  
The height of the side exterior main walls facing a side lot line will be 8.9 m.
- 4. Chapter 10.40.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index of a detached dwelling is 0.75 times the area of the lot (135.36 m<sup>2</sup>).  
The new detached dwelling will have a floor space index equal to 1.04 times the area of the lot (187.91 m<sup>2</sup>).
- 5. Chapter 10.40.40.50.(1)(B), By-law 569-2013**  
The maximum permitted area of each platform located at or above the second storey of a dwelling is 4.0 m<sup>2</sup>.  
The area of each platform at or above the second storey will be 8.25 m<sup>2</sup>.
- 6. Chapter 10.40.40.70.(3)(A), By-law 569-2013**  
The minimum required side yard setback is 0.9 m.  
The new detached dwelling will be located 0.21 m from the west side lot line.

1. **Section 7.6.3, By-law 6752**  
The maximum permitted building height is 8.5 m.  
The new detached dwelling will have a height of 8.9 m.
2. **Section 7.5.3, By-law 6752**  
The maximum permitted floor space index of a detached dwelling is 0.75 times the area of the lot (135.36 m<sup>2</sup>).  
The new detached dwelling will have a floor space index equal to 1.04 times the area of the lot (187.91 m<sup>2</sup>).
3. **Section 7.5.3, By-law 6752**  
The minimum required front yard setback is 6 m.  
The new detached dwelling will be located 4.27 m from the south front lot line.
4. **Section 7.5.3, By-law 6752**  
The maximum permitted lot coverage is 35% of the lot area (63.16 m<sup>2</sup>).  
The lot coverage will be equal to 35.9% of the lot area (64.92 m<sup>2</sup>).
5. **Section 7.5.3, By-law 6752**  
The minimum required side yard setback is 0.6 m.  
The new detached dwelling will be located 0.21 m from the west side lot line.

### **MOTION**

It was moved by Donald Granatstein, seconded by Carl Knipfel and carried unanimously that the application be **deferred, for a maximum of 3 months**. The deferral would provide the applicant with an opportunity to discuss the proposal in more detail with City Planning staff and the neighbours at 77 Frater Avenue. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel B**.

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0070/17TEY	Zoning	R(d0.6)(x736) & R2 Z0.6 (ZZC)
Owner(s):	ELIZABETH KELLER ROBERT HUOT	Ward:	Beaches-East York (32)
Agent:	ROBERT HUOT	Heritage:	Not Applicable
Property Address:	<b>64 EAST LYNN AVE</b>	Community:	Toronto
Legal Description:	PLAN E461 LOT 306		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey detached dwelling by enclosing the front porch and constructing a rear third-storey addition.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.40.60.(7), By-law 569-2013**  
Roof eaves project a maximum of 0.9 m, provided that they are no closer than 0.3 m to a lot line. The roof eaves will project into the required setback and will be located 0.0 m from the south side lot line.
- Chapter 10.10.40.10.(B)(ii), By-law 569-2013**  
The maximum height of all side exterior main walls facing a side lot line is 7.5 m. The height of the side exterior main walls facing a side lot line is 9.25 m.
- Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.6 times the area of the lot (144.94 m<sup>2</sup>). The altered dwelling will have a floor space index equal to 0.72 times the area of the lot (174.2 m<sup>2</sup>).
- Chapter 10.10.40.70.(1), By-law 569-2013**  
The minimum required front yard setback is 1.64 m. The altered dwelling will be located 0.49 m from the east front lot line.
- Chapter 10.10.40.70.(4)(A), By-law 569-2013**  
The minimum required side yard setback is 0.45 m. The altered dwelling will be located 0.13 m from the south side lot line.

**1. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted residential gross floor area is 0.6 times the area of the lot (144.94 m<sup>2</sup>). The altered detached dwelling will have a residential gross floor area equal to 0.72 times the area of the lot (174.2 m<sup>2</sup>).

**2. Section 6(3) Part II 2(II), By-law 438-86**

The minimum required front lot line setback for a building on an inside lot is 1.64 m. The altered dwelling will be located 0.49 m from the east front lot line.

**3. Section 6(3) Part II 3.B (I), By-law 438-86**

The minimum required side lot line setback for a portion of the dwelling not exceeding a building depth of 17.0 m is 0.45 m.

The altered dwelling will be located 0.13 m from the south side lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The enclosed front porch, located 0.49 m from the front lot line, shall remain one storey in height.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**SIGNATURE PAGE**

File Number:	A0070/17TEY	Zoning	R(d0.6)(x736) & R2 Z0.6 (ZZC)
Owner(s):	ELIZABETH KELLER ROBERT HUOT	Ward:	Beaches-East York (32)
Agent:	ROBERT HUOT	Heritage:	Not Applicable
Property Address:	<b>64 EAST LYNN AVE</b>	Community:	Toronto
Legal Description:	PLAN E461 LOT 306		

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Alex Bednar (signed)

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Michael Clark (signed)

---

Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0072/17TEY	Zoning	(R d0.6 H10.0m x290) & (R2 Z0.6 H10.0m) (ZZC)
Owner(s):	IAIN HAYES ANDERSON TESS ELIZABETH VAN THIELEN	Ward:	Parkdale-High Park (14)
Agent:	BARRY GOLDMAN	Heritage:	Not Applicable
Property Address:	<b>45 HEWITT AVE</b>	Community:	Toronto
Legal Description:	PLAN 485 PT LOT 25		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To convert the existing 2½-storey detached dwelling into two dwelling units by constructing: a third-storey addition, a rear two-storey addition, and a rear ground floor deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.10.40.10.(1)(A), By-law 569-2013**  
The maximum permitted building height is 10 m.  
The converted dwelling will have a height of 10.25 m.
- 2. Chapter 10.10.40.10.(2)(B), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.  
The height of the side exterior main walls facing a side lot line will be 9.6 m.
- 1. Section 4(2)(a), By-law 438-86**  
The maximum permitted building height is 10 m.  
The converted dwelling will have a height of 10.25 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**SIGNATURE PAGE**

File Number:	A0072/17TEY	Zoning	(R d0.6 H10.0m x290) & (R2 Z0.6 H10.0m) (ZZC)
Owner(s):	IAIN HAYES ANDERSON TESS ELIZABETH VAN THIELEN	Ward:	Parkdale-High Park (14)
Agent:	BARRY GOLDMAN	Heritage:	Not Applicable
Property Address:	<b>45 HEWITT AVE</b>	Community:	Toronto
Legal Description:	PLAN 485 PT LOT 25		

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Alex Bednar (signed)                      Michael Clark (signed)                      Donald Granatstein (signed)

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Carl Knipfel (signed)                      Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0073/17TEY	Zoning	RM(f12.0; u2; d0.8) & R2 (ZZC)
Owner(s):	REGAN LEADER DANIEL SHLAGBAUM	Ward:	St. Paul's (21)
Agent:	GABRIELE GUIDUCCI	Heritage:	Not Applicable
Property Address:	<b>324 RUSHTON RD</b>	Community:	York
Legal Description:	PLAN 1827 LOT 22		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing 2½-storey detached dwelling by constructing a third storey addition, south side one-storey addition and a new front porch.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.80.40.10.(2)(A), By-law 569-2013**  
The maximum permitted height of all front and rear exterior main walls is 8.50 m.  
The height of the front and rear exterior main walls will be 10.26 m.
- Chapter 10.5.40.60.(7), By-law 569-2013**  
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.  
The roof eaves will be located 0.24 m from the north side lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

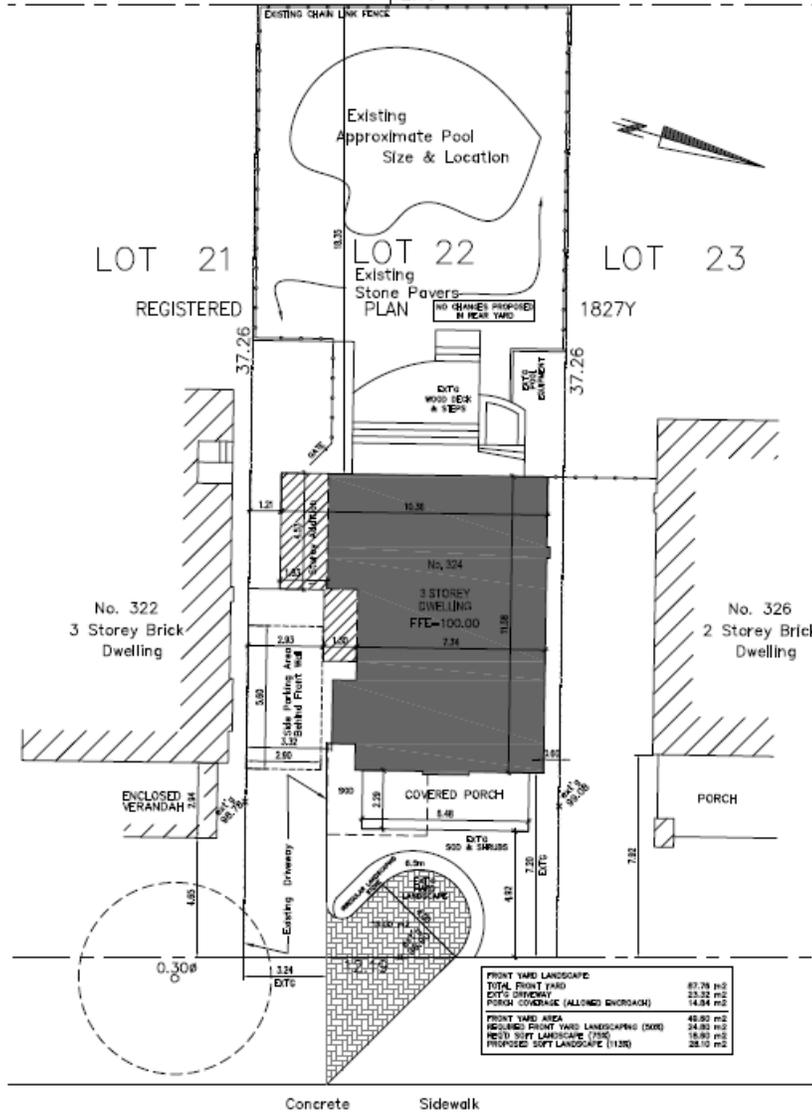
It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The alterations to the dwelling shall be constructed substantially in accordance with the plans dated December 15, 2016. Any variances that may appear on these plans that are NOT listed in the written decision are not authorized.

LOT 17 REGISTERED PLAN 12.19 LOT 18 REGISTERED PLAN 1711Y



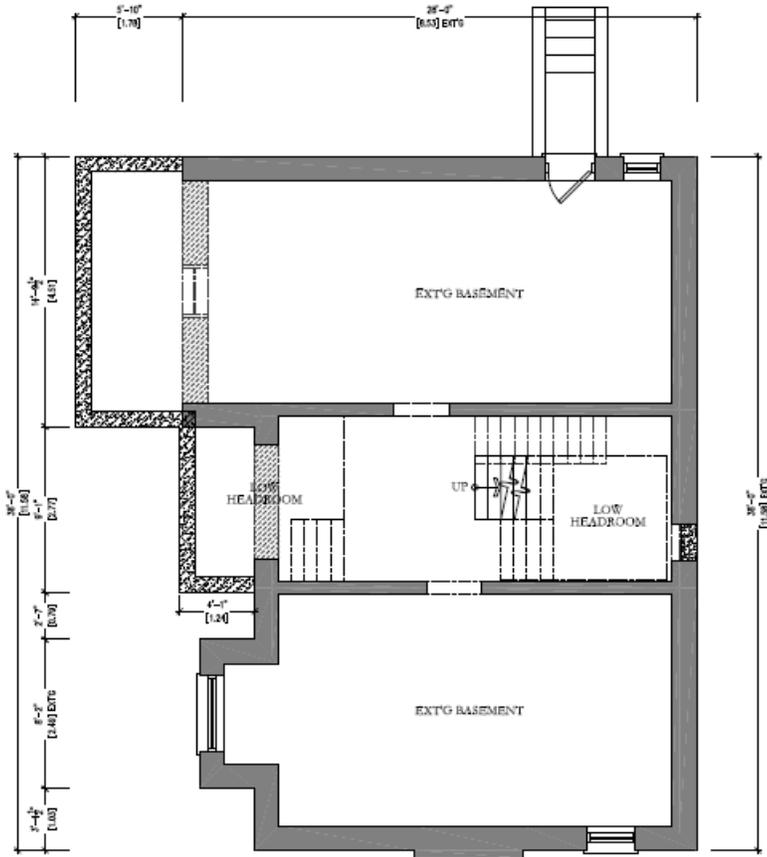
FRONT YARD LANDSCAPE	
TOTAL FRONT YARD	87.28 m <sup>2</sup>
EXIST'G DRIVEWAY	23.32 m <sup>2</sup>
PORCH COVERAGE (ALLOWED ENCROACH)	14.84 m <sup>2</sup>
FRONT YARD AREA	49.02 m <sup>2</sup>
REQUIRED FRONT YARD LANDSCAPE (5000)	24.80 m <sup>2</sup>
REQUIRED SOFT LANDSCAPE (750)	18.80 m <sup>2</sup>
PROPOSED SOFT LANDSCAPE (1120)	22.10 m <sup>2</sup>

SITE PLAN SCALE= 1:150

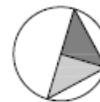
SITE NOTE  
MEASUREMENT SHOWN ON THIS PLAN ARE IN METERS AND CAN BE CONVERTED TO FEET BY MULTIPLYING BY 3.281

The undersigned has reviewed and takes responsibility for this design, and has qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under 2.17.5.1. of the building code GABRIELE GUIDUCCI BCIN 21359 REGISTRATION INFORMATION Required unless design is exempt under 2.17.4.1. of the building code GEOMETRA DESIGN LTD BCIN 27735	REVISIONS 1. ISSUED FOR CITY REVIEW	DATE DEC. 15/2016	DWN: CDR GG GG	A3

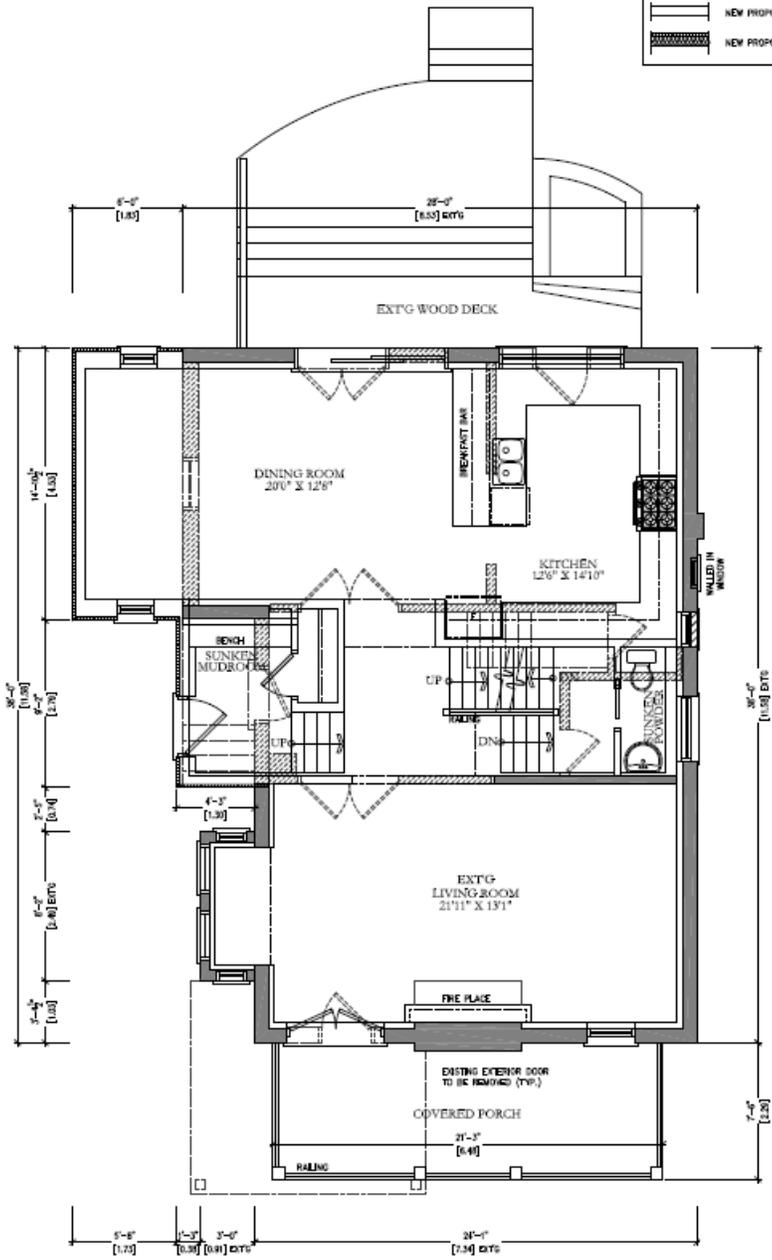
PARTITION LEGEND	
	DENOTES PARTITION OR WALL TO BE REMOVED
	DENOTES EXISTING PARTITION OR WALL TO REMAIN
	NEW PROPOSED FOUNDATIONS
	NEW PROPOSED PARTITIONS
	NEW PROPOSED EXTERIOR WALLS



BASEMENT FLOOR PLAN  
3/16"=1'-0"



PARTITION LEGEND	
	DENOTES PARTITION OR WALL TO BE REMOVED
	DENOTES EXISTING PARTITION OR WALL TO REMAIN
	NEW PROPOSED FOUNDATIONS
	NEW PROPOSED PARTITIONS
	NEW PROPOSED EXTERIOR WALLS

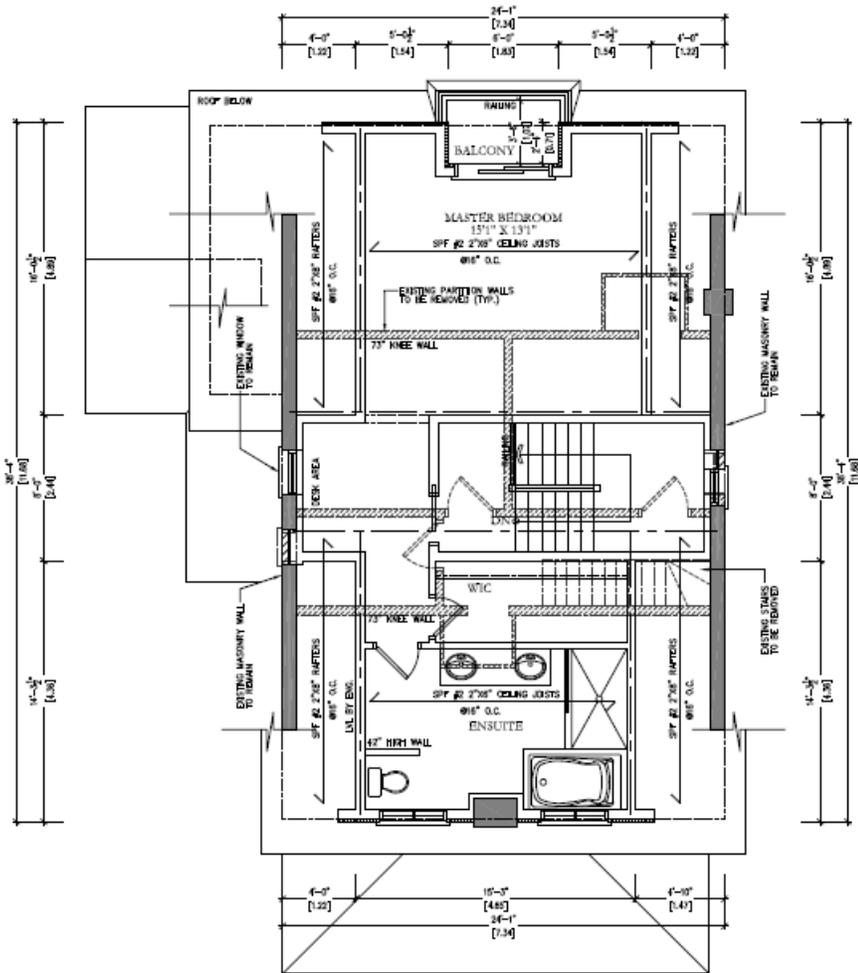


GROUND FLOOR PLAN  
3/16"=1'-0"



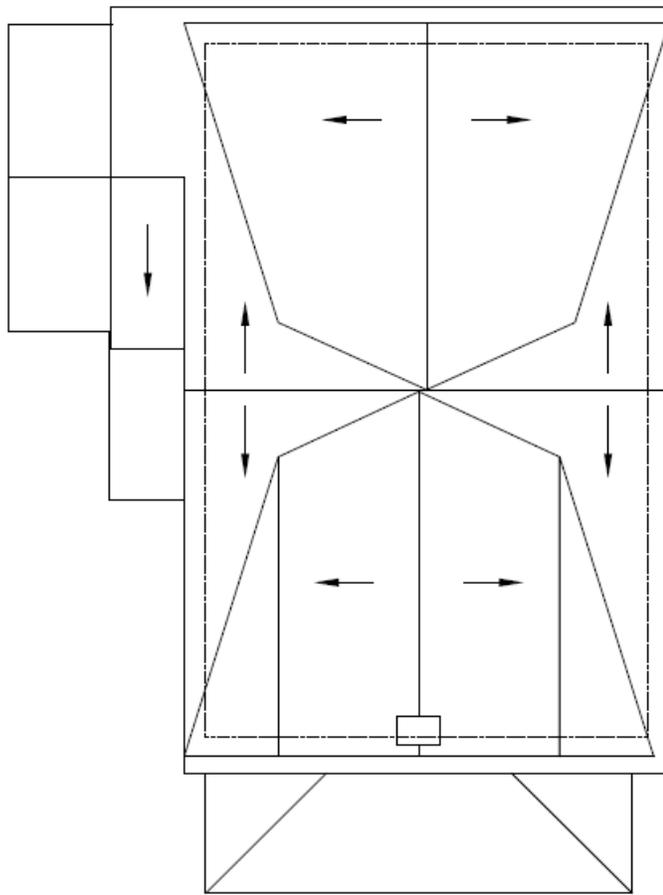


PARTITION LEGEND	
	DENOTES PARTITION OR WALL TO BE REMOVED
	DENOTES EXISTING PARTITION OR WALL TO REMAIN
	NEW PROPOSED FOUNDATIONS
	NEW PROPOSED PARTITIONS
	NEW PROPOSED EXTERIOR WALLS

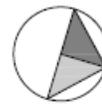


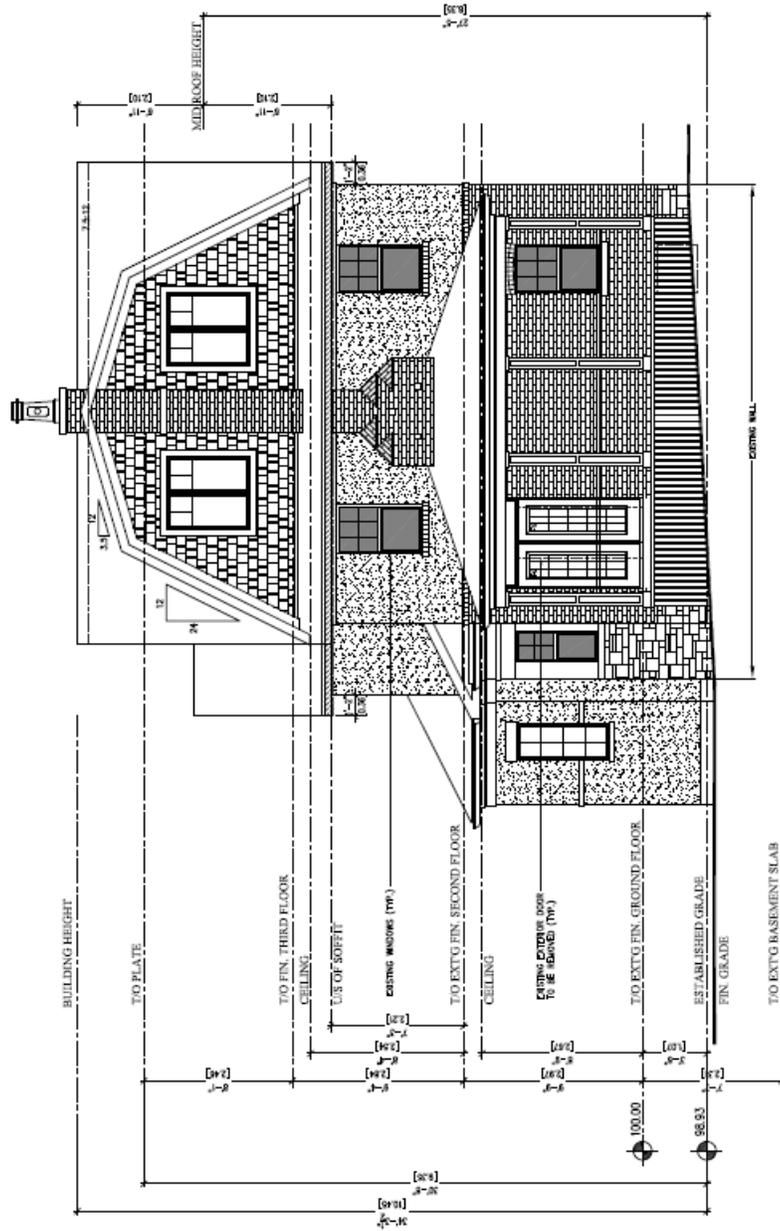
THIRD FLOOR PLAN  
3/16"=1'-0"





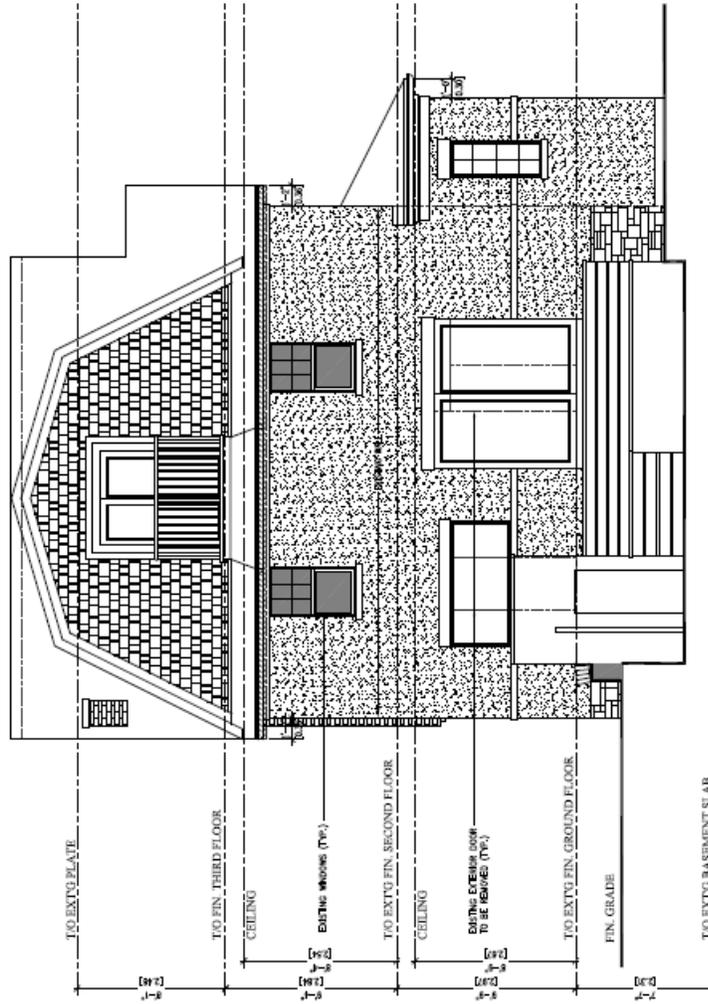
ROOF PLAN  
3/16"=1'-0"





PROPOSED  
EAST ELEVATION (FRONT)  
3/16" = 1'-0"





PROPOSED  
WEST ELEVATION (REAR)  
3/16"=1'-0"



## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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**SIGNATURE PAGE**

File Number:	A0073/17TEY	Zoning	RM(f12.0; u2; d0.8) & R2 (ZZC)
Owner(s):	REGAN LEADER DANIEL SHLAGBAUM	Ward:	St. Paul's (21)
Agent:	GABRIELE GUIDUCCI	Heritage:	Not Applicable
Property Address:	<b>324 RUSHTON RD</b>	Community:	York
Legal Description:	PLAN 1827 LOT 22		

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Alex Bednar (signed)

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Michael Clark (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0074/17TEY	Zoning:	R & R2 (PPR)
Owner(s):	XI YU ZHOU BONNIE MO	Ward:	Toronto-Danforth (30)
Agent:	ALFREDO TANTALO	Heritage:	Not Applicable
Property Address:	<b>583 CARLAW AVE</b>	Community:	Toronto
Legal Description:	PLAN 96 PT LOT E5 PLAN 315E PT LOT 14		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a one-storey rear addition and new detached garage in the rear yard of the existing two unit dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.10.40.40.(2) (A), By-law 569-2013**  
The maximum permitted floor space index for additions to the rear of a detached house erected before October 15, 1953 is 0.69 times the area of the lot (205.85 m<sup>2</sup>).  
The floor space index will be 1.25 times the area of the lot (372.05 m<sup>2</sup>).
- 2. Chapter 10.10.40.30.(1)(A), By-law 569-2013**  
The maximum permitted building depth for a detached house is 17.0 m.  
The building depth will be 18.13 m.
- 3. Chapter 10.10.40.30.(1)(A), By-law 569-2013**  
The maximum permitted height of an ancillary building or structure is 4.0 m.  
The height of the ancillary structure will be 4.98 m.
- 1. Section 6(3) Part VI 1(I), By-law 438-86**  
Additions to the rear of converted house erected before October 15, 1953, are permitted provided the residential gross floor area of the building as enlarged does not exceed 0.69 times the area of the lot (205.85 m<sup>2</sup>).  
The residential gross floor area will be 1.25 times the area of the lot, 372.05 m<sup>2</sup>, which exceeds the maximum permitted by 166.20 m<sup>2</sup>.

2. **Section 6(3) Part VI 1(V), By-law 438-86**  
Additions to the rear of converted house erected before October 15, 1953, are permitted provided the depth of the residential building including the addition or additions does not exceed 17.0 m.  
The building depth will be 18.13 m.
3. **Section 6(3) Part III 1(A), By-law 438-86**  
The minimum required landscaped open space is 30% of the area of the lot (89.50 m<sup>2</sup>).  
The landscaped open space will be 25.8 % of the area of the lot (77.26 m<sup>2</sup>).
4. **Section 4(2), By-law 438-86**  
The maximum permitted height of an accessory building is 4.0 m.  
The accessory building height will be 4.98 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to refuse this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

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- a completed OMB Appellant Form (A1) in **paper format**
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**SIGNATURE PAGE**

File Number:	A0074/17TEY	Zoning	R & R2 (PPR)
Owner(s):	XI YU ZHOU	Ward:	Toronto-Danforth (30)
	BONNIE MO		
Agent:	ALFREDO TANTALO	Heritage:	Not Applicable
Property Address:	<b>583 CARLAW AVE</b>	Community:	Toronto
Legal Description:	PLAN 96 PT LOT E5 PLAN 315E PT LOT 14		

**DECLARED INTEREST**

_____	_____	_____
Alex Bednar (signed)	Michael Clark (signed)	Donald Granatstein
_____	_____	
Carl Knipfel (signed)	Lisa Valentini (signed)	

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

\_\_\_\_\_  
Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0075/17TEY	Zoning	CR 3.0(c1.7; r3.0) SS1 (x2145) & CR T3.0 C2.0 R3.0 (ZPR)
Owner(s):	ARAGON (WELLESLEY) DEVELOPMENT (ONTARIO) CORPORATION	Ward:	Toronto Centre-Rosedale (27)
Agent:	DAVID PAGE	Heritage:	Not Applicable
Property Address:	<b>81 WELLESLEY ST E</b>	Community:	Toronto
Legal Description:	PLAN D191 PT LOTS 7A 8 & 9 'RT' STATUS PER ONT.REG.282/ 98 ( SERVICE ORGANIZATION)		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To modify the development scheme for a 28-storey, mixed-use building approved under the Site Specific By-law approved by the OMB (PL140555), February 17, 2016, by reducing the required number of parking spaces.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Section 3(K), By-law 569-2013, as amended, (OMB PL140555)**  
The minimum required number of parking spaces for resident use is 66.  
In this case, 45 parking spaces will be provided.
- 2. Section 3(k), By-law 438-86, as amended, (OMB PL140555)**  
The minimum required number of parking spaces for resident use is 66.  
In this case, 45 parking spaces will be provided.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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**SIGNATURE PAGE**

File Number:	A0075/17TEY	Zoning	CR 3.0(c1.7; r3.0) SS1 (x2145) & CR T3.0 C2.0 R3.0 (ZPR)
Owner(s):	ARAGON (WELLESLEY) DEVELOPMENT (ONTARIO) CORPORATION	Ward:	Toronto Centre-Rosedale (27)
Agent:	DAVID PAGE	Heritage:	Not Applicable
Property Address:	<b>81 WELLESLEY ST E</b>	Community:	Toronto
Legal Description:	PLAN D191 PT LOTS 7A 8 & 9 'RT' STATUS PER ONT.REG.282/ 98 ( SERVICE ORGANIZATION)		

**DISSENTED**

_____	_____	_____
Alex Bednar	Michael Clark (signed)	Donald Granatstein (signed)
_____	_____	
Carl Knipfel (signed)	Lisa Valentini (signed)	

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

\_\_\_\_\_  
Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0076/17TEY	Zoning	RD (f12.0; d0.35)(x961) & R1 Z0.35 (ZPR)
Owner(s):	HELEN GIONTSIS	Ward:	Beaches-East York (32)
Agent:	BRANDON KASHIN	Heritage:	Not Applicable
Property Address:	<b>5 PINE CRES</b>	Community:	Toronto
Legal Description:	PLAN M390 PT LOT 44		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new three-storey detached dwelling with integral garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.5.40.60.(1)(C), By-law 569-2013**

A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.5 m if it is no closer to a side lot line than 2.5 m.

In this case, the rear platform encroaches 4.31 m into the required rear yard setback and is 0.0 m from the south and north side lot lines.

**2. Chapter 10.5.40.60.(3)(A)(i), By-law 569-2013**

Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no longer than 1.5 horizontal units for each 1.0 vertical unit above grade at the point where the stairs meet the building or structure.

In this case, the front stair structure, including landings, has a length equal to 2.4 horizontal units for each 1.0 vertical unit.

**3. Chapter 10.5.40.60.(3)(A)(ii), By-law 569-2013**

Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2.0 m.

In this case, the front stair structure, including landings, will be 4.01 m wide.

**4. Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013**

Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.6 m.

The front stair structure, including landings, will be 0.0 m from the front lot line.

5. **Chapter 10.5.40.70.(1), By-law 569-2013**  
The minimum required front yard setback is 6.30 m.  
The new dwelling will be located 3.96 m to the front lot line from the front one-storey portion.
6. **Chapter 10.20.40.10.(4)(A), By-law 569-2013**  
The maximum permitted height is 7.2 m for flat roof construction.  
The new dwelling will have a height of 10.0 m.
7. **Chapter 10.20.40.10.(4)(C), By-law 569-2013**  
The maximum number of storeys is two.  
The new dwelling will contain three storeys.
8. **Chapter 10.20.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.35 times the area of the portion of the lot located above the top-of-bank (106.51 m<sup>2</sup>).  
The new dwelling will have a floor space index equal to 1.26 times the area of the portion of the lot located above the top-of-bank (384.11 m<sup>2</sup>).
9. **Chapter 10.20.40.50.(1)(B), By-law 569-2013**  
The maximum permitted area of each platform at or above the second storey of a detached house is 4.0 m<sup>2</sup>.  
The area of the front platform at the second storey will be 4.58 m<sup>2</sup>.
10. **Chapter 10.20.40.70.(3)(C), By-law 569-2013**  
The minimum required side yard setback is 1.2 m.  
The side yard setback will be located 0.99 m to the principal dwelling, and 0.0 m to the north and south side yards from the rear deck and stairs.
11. **Chapter 5.10.40.1.(3), By-law 569-2013**  
On lands under the jurisdiction of the Toronto and Region Conservation Authority, if a shoreline hazard limit or a stable top-of-bank crosses a lot, no building or structure may be located on the portion of the lot below that shoreline hazard limit or stable top-of-bank.  
In this case, the rear deck with stairs and pool is located on the portion of the lot below the stable top of bank.
12. **Chapter 5.10.40.70.(6), By-law 569-2013**  
If the Toronto and Region Conservation Authority determines that a shoreline hazard limit or a stable top-of-bank crosses a lot, a building or structure on that lot must be set back a minimum of 10 m from that shoreline hazard limit or stable top-of-bank.  
In this case, the rear deck with stairs and pool will be setback 0.0 m and the principal building is setback 3.51 m, measured to the window projection, from the stable top-of-bank on the same lot.
13. **Chapter 5.10.40.80.(1), By-law 569-2013**  
On lands under the jurisdiction of the Toronto and Region Conservation Authority, a building or structure on a lot must be no closer than 10 m from a shoreline hazard limit or a stable top-of-bank not on that lot.  
In this case, the rear deck with stairs and pool will be setback 0 m and the principal building will be setback 4.18 m, measured to the window projection, from the stable top-of-bank not on the same lot.

**14. Chapter 900.3.10(961)(A), By-law 569-2013**

In a front yard or rear yard, a platform with a floor higher than the first floor of the building above established grade may not encroach into the required yard setback.

In this case, the front platform at the second storey will encroach within the required front yard setback.

**1. Section 4(2)(a), By-law 438-86**

The maximum permitted building height is 10.0 m.

The new dwelling will have a height of 10.14 m measured from the average elevation along the side lot lines opposite the building to the highest point of the roof.

**2. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area is 0.35 times the area of the lot (185.72 m<sup>2</sup>)

The new dwelling will have a gross floor area equal to 0.72 times the area of the lot (384.11 m<sup>2</sup>).

**3. Section 6(3) Part II 2(II), By-law 438-86**

The minimum required front lot line setback is 6.30 m.

The new dwelling will be located 3.96 m to the front lot line measured at the front one-storey portion.

**4. Section 6(3) Part II 8 (D), By-law 438-86**

The maximum permitted projection of an uncovered platform into the required setbacks from the front or rear wall is 2.5 m.

In this case, the front uncovered platform (front stair structure including landings) will project 4.01 m from the front wall and the rear uncovered platform (rear deck with stairs and a pool) will project 16.7 m from the rear wall.

**5. Section 6(3) Part II 8 D(I), By-law 438-86**

The maximum permitted height of an uncovered platform which projects into the required setbacks is 1.2 m above grade.

The front uncovered platform (front stair structure including landings) will have a maximum height of 2.72 m above grade.

**6. Section 6(3) Part II 8 D(II), By-law 438-86**

An uncovered platform may project into the required setbacks provided it does not extend beyond the side walls of the building as projected.

The rear uncovered platform (rear deck with stairs and a pool) will project 0.99 m beyond the south side wall and 1.2 m beyond the north side wall, and will be located 0.0 m from the south and north side lot lines.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to refuse this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

## Appeal Information

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**SIGNATURE PAGE**

File Number:	A0076/17TEY	Zoning	RD (f12.0; d0.35)(x961) & R1 Z0.35 (ZPR)
Owner(s):	HELEN GIONTSIS	Ward:	Beaches-East York (32)
Agent:	BRANDON KASHIN	Heritage:	Not Applicable
Property Address:	<b>5 PINE CRES</b>	Community:	Toronto
Legal Description:	PLAN M390 PT LOT 44		

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Alex Bednar (signed)

---

Michael Clark (signed)

---

Donald Granatstein (signed)

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Carl Knipfel (signed)

---

Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0077/17TEY	Zoning	R (d1.0)(x900) Policy Area 1 & R2 Z1.0 (ZZC)
Owner(s):	SAKIB BECAREVIC ZORICA BECAREVIC	Ward:	Trinity-Spadina (20)
Agent:	SAVA MIOKOVIC	Heritage:	Not Applicable
Property Address:	<b>239 ALBANY AVE</b>	Community:	Toronto
Legal Description:	PLAN 535 N PT LOT 27 S PT LOT 28		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

### PURPOSE OF THE APPLICATION:

To alter the existing 2½-storey detached dwelling containing two dwelling units by constructing a rear three-storey addition, a rear ground floor deck, rear second and third storey balconies, and the addition of a third dwelling unit.

### REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.40.10.(2)(A)(ii), By-law 569-2013**  
The maximum permitted height of all rear exterior main walls is 9.5 m.  
The height of the rear exterior main wall will be 9.9 m.
- Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 9.5 m.  
The height of the side exterior main walls facing a side lot line will be 9.9 m.
- Chapter 10.10.40.70.(4)(A), By-law 569-2013**  
The minimum required side yard setback is 0.45 m.  
The altered detached dwelling will be located 0.14 m from the north side lot line.
- Chapter 10.5.40.60.(7), By-law 569-2013**  
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.3 m to a lot line.  
The roof eaves will be located 0 m from the north side lot line.
- Chapter 10.5.50.10.(3)(A), By-law 569-2013**  
A minimum of 50% (132.1 m<sup>2</sup>) of the rear yard must be maintained as soft landscaping.  
In this case, 33% (87.7 m<sup>2</sup>) of the rear yard has been maintained as soft landscaping.

1. **Section 6(3) Part II 3.F(I)(1)(A), By-law 438-86**  
A converted house in the 1.0 zone must have a minimum side yard setback of 0.45 m, where the side wall contains no openings.  
The altered detached dwelling will be located 0.14 m from the north side lot line.
2. **Section 6(3) Part II 5(I), By-law 438-86**  
The maximum permitted depth of a detached dwelling is 14 m.  
The altered detached dwelling will have a depth of 19.12 m.
3. **Section 6(3) Part III 1(A) , By-law 438-86**  
A minimum of 30% of the lot area (130.6 m<sup>2</sup>) shall be landscaped open space.  
In this case, 24.7 % of the lot area (107.7 m<sup>2</sup>) will be landscaped open space.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) The building depth of the second floor shall not exceed 17.29 m.
- (3) No rear second floor balcony shall be permitted to be constructed.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**SIGNATURE PAGE**

File Number:	A0077/17TEY	Zoning	R (d1.0)(x900) Policy Area 1 & R2 Z1.0 (ZZC)
Owner(s):	SAKIB BECAREVIC ZORICA BECAREVIC	Ward:	Trinity-Spadina (20)
Agent:	SAVA MIOKOVIC	Heritage:	Not Applicable
Property Address:	<b>239 ALBANY AVE</b>	Community:	Toronto
Legal Description:	PLAN 535 N PT LOT 27 S PT LOT 28		

**DISSENTED**

**DISSENTED**

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Alex Bednar (signed)

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Michael Clark

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Donald Granatstein

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0078/17TEY	Zoning	R & R2 (ZZC)
Owner(s):	STANLEY MARCOVICI	Ward:	Toronto-Danforth (30)
Agent:	STANLEY MARCOVICI	Heritage:	Not Applicable
Property Address:	<b>136 BOULTBEE AVE</b>	Community:	Toronto
Legal Description:	PLAN 384E PT LOT 157		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing 1½-storey detached dwelling by constructing a rear two-storey addition.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.6 times the area of the lot (101.48 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 1.38 times the area of the lot (234.24 m<sup>2</sup>).
- 1. Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted residential gross floor area is 0.6 times the area of the lot (101.48 m<sup>2</sup>).  
The altered dwelling will have a residential gross floor area equal to 0.95 times the area of the lot (160.75 m<sup>2</sup>).
- 2. Section 6(3) Part II 3(II), By-law 438-86**  
The minimum required side lot line setback from the side wall of an adjacent building that contains openings is 1.2 m.  
The altered dwelling will be setback 1.15 m from the side wall of the east adjacent building at 138 Boulton Avenue and 0.70 m from the west adjacent building at, 134 Boulton Avenue which contains openings.
- 3. Section 6(3) Part II 3.B(II), By-law 438-86**  
The minimum required side lot line setback for the portion of the dwelling not exceeding a depth of 17 m is 0.9 m, where the side wall contains openings.  
The portion of the dwelling not exceeding a building depth of 17.0 m will be located 0.15 m from the east side lot line and 0.36 m from the west side lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

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**SIGNATURE PAGE**

File Number:	A0078/17TEY	Zoning	R & R2 (ZZC)
Owner(s):	STANLEY MARCOVICI	Ward:	Toronto-Danforth (30)
Agent:	STANLEY MARCOVICI	Heritage:	Not Applicable
Property Address:	<b>136 BOULTBEE AVE</b>	Community:	Toronto
Legal Description:	PLAN 384E PT LOT 157		

**DISSENTED**

_____	_____	_____
Alex Bednar	Michael Clark (signed)	Donald Granatstein (signed)
_____	_____	
Carl Knipfel (signed)	Lisa Valentini (signed)	

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

\_\_\_\_\_  
Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0079/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	NHUNG NGUYEN	Ward:	Trinity-Spadina (19)
Agent:	ARMANDO BARBINI	Heritage:	Not Applicable
Property Address:	<b>41 BEATRICE ST</b>	Community:	Toronto
Legal Description:	PLAN 748 PT LOT 95		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To convert the existing 2½-storey semi-detached dwelling into three dwelling units by constructing: a rear third-storey addition, a rear two-storey addition, rear second and third floor decks, and a front basement walkout. The existing rear two-storey addition will be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 150.10.40.1.(3)(A), By-law 569-2013**

A secondary suite is a permitted use provided that an exterior alteration to a building to accommodate a secondary suite does not alter a main wall or roof that faces a street. The addition to the building will alter a main wall and roof that faces the street.

**2. Chapter 10.10.40.10.(2)(A), By-law 569-2013**

The maximum permitted height of all front and rear exterior main walls is 7.5 m. The height of the front and rear exterior main walls will be 9.40 m.

**3. Chapter 10.10.40.40.(2), By-law 569-2013**

Additions to the rear of a semi-detached dwelling erected before October 15, 1953 are permitted provided the residential floor space index of the building, as enlarged, does not exceed 0.69 times the area of the lot (154.99 m<sup>2</sup>).

The converted dwelling will have a floor space index equal to 1.05 times the area of the lot (235.54 m<sup>2</sup>).

**4. Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013**

Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.6 m.

The front basement walkout stairs will be located 0.10 m from the west front lot line.

**5. Chapter 10.5.40.60.(7), By-law 569-2013**

Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.

The roof eaves will be located 0.10 m from the south side lot line.

**1. Section 6(3) Part VI 1(I), By-law 438-86**

Additions to the rear of a semi-detached dwelling erected before October 15, 1953, or to a converted house, are permitted provided the residential gross floor area of the building, as enlarged, does not exceed 0.69 times the area of the lot (154.99 m<sup>2</sup>).

The converted dwelling will have a gross floor area equal to 1.46 times the area of the lot (328.11 m<sup>2</sup>).

**2. Section 6(2), 1(iii)A, By-law 438-86**

The maximum permitted floor space of an addition to a converted house is 0.15 times the area of the lot (33.69 m<sup>2</sup>) and only one addition may be erected either at the time of conversion or thereafter.

The rear two-storey addition and rear third-storey addition will have an area equal to 0.17 times the area of the lot (37.31 m<sup>2</sup>) and more than one addition will be constructed at the time of conversion.

**3. Section 6(2) 1(v), By-law 438-86**

A converted dwelling is permitted provided that there is no substantial change in the appearance of the dwelling as the result of the conversion.

In this case, substantial change will occur in the appearance of the dwelling.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) The rear third storey deck shall be constructed with permanent opaque screening or fencing along the north and south edges to a minimum height of 1.5 m, measured from the floor of the deck.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**SIGNATURE PAGE**

File Number:	A0079/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	NHUNG NGUYEN	Ward:	Trinity-Spadina (19)
Agent:	ARMANDO BARBINI	Heritage:	Not Applicable
Property Address:	<b>41 BEATRICE ST</b>	Community:	Toronto
Legal Description:	PLAN 748 PT LOT 95		

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Alex Bednar (signed)

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Michael Clark (signed)

---

Donald Granatstein (signed)

**DISSENTED**

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Carl Knipfel

---

Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0080/17TEY	Zoning	R(f7.5;d0.6)(x750) & R2 Z0.6 (BLD)
Owner(s):	MICHAEL O'NEIL VALERIE JOHNSON	Ward:	Beaches-East York (32)
Agent:	VALERIE JOHNSON	Heritage:	Not Applicable
Property Address:	<b>151 GOLFVIEW AVE</b>	Community:	Toronto
Legal Description:	PLAN 1430 LOT 128		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To enclose the front porch.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**Chapter 10.10.40.70.(1), By-law 569-2013**

The minimum required front yard setback is 2.67 m.

The altered semi-detached dwelling will be located 0.98 m from the front lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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**SIGNATURE PAGE**

File Number:	A0080/17TEY	Zoning	R(f7.5;d0.6)(x750) & R2 Z0.6 (BLD)
Owner(s):	MICHAEL O'NEIL VALERIE JOHNSON	Ward:	Beaches-East York (32)
Agent:	VALERIE JOHNSON	Heritage:	Not Applicable
Property Address:	<b>151 GOLFVIEW AVE</b>	Community:	Toronto
Legal Description:	PLAN 1430 LOT 128		

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Alex Bednar (signed)

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Michael Clark (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0081/17TEY	Zoning:	R & R2 (ZZC)
Owner(s):	DIMITRIOS LIGONIS	Ward:	Beaches-East York (31)
Agent:	PATRICK MCAULIFFE	Heritage:	Not Applicable
Property Address:	<b>11 TREADWAY BLVD</b>	Community:	Toronto
Legal Description:	PLAN 3680 LOT 52		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter an existing one-storey dwelling by constructing a one storey rear addition with a deck; and, a second floor addition.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

1. **Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.45 times the area of the lot (142.09 m<sup>2</sup>).  
The floor space index will be 0.56 times the area of the lot (178.38 m<sup>2</sup>).
2. **Chapter 10.5.40.71.(4), By-law 569-2013**  
The minimum required south lot line setback is 0.81 m.  
The south side lot line setback will be 0.77 m.
3. **Chapter 10.20.30.40.(1) (A), By-law 569-2013**  
The maximum permitted lot coverage is 35% of the lot area (110.52 m<sup>2</sup>).  
The lot coverage will be 44.23% of the lot area (139.68 m<sup>2</sup>).
1. **Section 7.2.3, By-law 6752**  
The maximum permitted lot coverage is 35% of the lot area.  
The lot coverage is 41% of the lot area.
2. **Section 7.2.3, By-law 6752**  
The minimum required south side yard setback is 0.90m.  
The south side yard setback will be 0.77 m.
3. **Section 7.2.3, By-law 6752**  
The maximum permitted floor space index is 0.45 times the lot area.  
The floor space index is 0.56 times the lot area.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The lot coverage of the altered detached dwelling exclusive of any detached accessory structures shall not be greater than 38.5% of the lot area under Zoning By-law 569-2013 and not greater than 35.0% of the lot area under Zoning By-law 6752.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

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**SIGNATURE PAGE**

File Number:	A0081/17TEY	Zoning	R & R2 (ZZC)
Owner(s):	DIMITRIOS LIGONIS	Ward:	Beaches-East York (31)
Agent:	PATRICK MCAULIFFE	Heritage:	Not Applicable
Property Address:	<b>11 TREADWAY BLVD</b>	Community:	Toronto
Legal Description:	PLAN 3680 LOT 52		

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Alex Bednar (signed)

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Michael Clark (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0082/17TEY	Zoning	CR 2.5 (c2.0; r1.5) SS2 (x1782) & CR T2.5 C2.0 R1.5 (BLD)
Owner(s):	HULLMARK (96-100 OSSINGTON) LP	Ward:	Trinity-Spadina (19)
Agent:	LEE CLARKE	Heritage:	Not Applicable
Property Address:	<b>96-100 OSSINGTON AVE</b>	Community:	Toronto
Legal Description:			

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey commercial building by replacing a side loading bay with a new entrance and walkway to facilitate a fitness facility "Ride Cycle Club". Access to the building will be from Humbert Street.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 40.10.40.1.(6), By-law 569-2013**

A pedestrian access for a lot which abuts a lot in the Residential Zone category or is separated from a lot in the Residential Zone category by a lane or a street may not be within 12.0 m of a lot in the Residential Zone Category.

In this case, the pedestrian access will abut a lot in the Residential Zone Category.

**2. Chapter 40.10.40.70.(2)(SS2), By-law 569-2013**

Where the main wall of a building has windows or openings, the main wall must be set back at least 5.5 m from a lot line which is not adjacent to a street or lane.

In this case, the main wall will be setback 0.0 m from the south lot line.

**1. Section 8(3)Part VIII 1, By-law 438-86**

Where either limit of a public or private lane, alley, driveway or right-of-way constitutes the boundary or part of the boundary between a CR district and an R district, no person shall, in the CR district, use land or erect or use a building or structure on land that fronts on the lane, alley, driveway or right-of-way for a non residential use permitted in a CR district if the only means of access to the land is by the lane, alley, driveway or right-of-way.

In this case, the pedestrian access leading to the building in a CR district will abut a lot in the R District.

**2. Section 8(3) Part XI 1, By-law 438-86**

A building shall not front on or gain entrance from a flanking street.  
In this case, the altered building will gain access from a flanking street.

**3. Section 8(3) Part XI 2(3), By-law 438-86**

All exterior commercial entrance doors shall be directly accessible from a sidewalk.  
In this case, the entrances will not be directly accessible from the sidewalk.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The minor variance approval shall extend for the term of the lease of "Ride Cycle Club," expiring on or before October 1, 2026.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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**SIGNATURE PAGE**

File Number:	A0082/17TEY	Zoning	CR 2.5 (c2.0; r1.5) SS2 (x1782) & CR T2.5 C2.0 R1.5 (BLD)
Owner(s):	HULLMARK (96-100 OSSINGTON) LP	Ward:	Trinity-Spadina (19)
Agent:	LEE CLARKE	Heritage:	Not Applicable
Property Address:	<b>96-100 OSSINGTON AVE</b>	Community:	Toronto
Legal Description:			

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Alex Bednar (signed)                      Michael Clark (signed)                      Donald Granatstein (signed)

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Carl Knipfel (signed)                      Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0083/17TEY	Zoning	RM (f12.0;d0.8)(x252) & R2 (ZR)
Owner(s):	SANDRA LOPES CHARLES CHARALAMBOUS	Ward:	St. Paul's (21)
Agent:	EDDIE PERES	Heritage:	Not Applicable
Property Address:	<b>366 WINNETT AVE</b>	Community:	York
Legal Description:	PLAN 2339 PT LOT 175 PLAN 2596 PT BLK B		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing one-storey detached dwelling by constructing a rear ground floor addition, a complete second storey addition, a rear ground floor deck, and a front porch.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.40.60.(7), By-law 569-2013**  
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.3 m to a lot line.  
The roof eaves will be located 0.03 m from the south side lot line.
- Section 3.(a), By-law 1-83 and 3623-97**  
The minimum required side yard setback is 0.5 m.  
The altered detached dwelling will be located 0.17 m from the south side lot line.
- Section 3.(d), By-law 1-83 and 3623-97**  
A minimum of 75% of the front yard not covered by a permitted driveway shall be maintained as soft landscaping (16.44 m<sup>2</sup>).  
In this case, 58% of the front yard not covered by a permitted driveway will be maintained as soft landscaping (12.76 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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### ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

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**SIGNATURE PAGE**

File Number:	A0083/17TEY	Zoning	RM (f12.0;u2;d0.8)(x252) & R2 (ZR)
Owner(s):	SANDRA LOPES CHARLES CHARALAMBOUS	Ward:	St. Paul's (21)
Agent:	EDDIE PERES	Heritage:	Not Applicable
Property Address:	<b>366 WINNETT AVE</b>	Community:	York
Legal Description:	PLAN 2339 PT LOT 175 PLAN 2596 PT BLK B		

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Alex Bednar (signed)

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Michael Clark (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0084/17TEY	Zoning:	RD & R1 (ZZC)
Owner(s):	JOHN BLAIR LESLIE BLAIR	Ward:	Toronto-Danforth (29)
Agent:	LESLIE BLAIR	Heritage:	Not Applicable
Property Address:	<b>4 PLAYTER BLVD</b>	Community:	Toronto
Legal Description:	PLAN 1463 LOT 27		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing 2½ storey detached dwelling by constructing a rear one-storey addition.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**Chapter 10.20.40.40.(1)(A), By-law 569-2013**

The maximum permitted floor space index is 0.35 times the area of the lot (125.18 m<sup>2</sup>).

The altered dwelling will have a floor space index equal to 1.04 times the area of the lot (**373.47 m<sup>2</sup>**) including the basement.

**Section 6(3) Part I 1, By-law 438-86**

The maximum permitted residential gross floor area is 0.35 times the area of the lot (125.18 m<sup>2</sup>).

By virtue of the Committee of Adjustment decision A0981/11TEY the maximum permitted residential gross floor area is 0.77 times the area of the lot (275.5 m<sup>2</sup>).

The altered dwelling will have a residential gross floor area equal to 0.79 times the area of the lot (281.87 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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**SIGNATURE PAGE**

File Number:	A0084/17TEY	Zoning	RD & R1 (ZZC)
Owner(s):	JOHN BLAIR LESLIE BLAIR	Ward:	Toronto-Danforth (29)
Agent:	LESLIE BLAIR	Heritage:	Not Applicable
Property Address:	<b>4 PLAYTER BLVD</b>	Community:	Toronto
Legal Description:	PLAN 1463 LOT 27		

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Alex Bednar (signed)

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Michael Clark (signed)

---

Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0085/17TEY	Zoning	RD (f15.0, d0.6) & R1 Z0.6 (ZZC)
Owner(s):	DIANNE KORENBLUM-YANOFKY	Ward:	St. Paul's (21)
Agent:	PAMELA PAN	Heritage:	Not Applicable
Property Address:	<b>54 SHALLMAR BLVD</b>	Community:	Toronto
Legal Description:	PLAN 1850 LOT 209		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey detached dwelling by constructing a front second-storey addition, a rear one-storey addition with a rear ground floor deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

1. **Chapter 10.20.40.20.(1), By-law 569-2013**  
The maximum permitted building length for a detached dwelling is 17 m.  
The altered dwelling will have a building length of 17.13 m.
2. **Chapter 10.20.40.70.(1), By-law 569-2013**  
The minimum required front yard setback is 10.02 m.  
The altered dwelling will be located 8.54 m from the south front lot line.
3. **Chapter 10.20.40.70.(3)(D), By-law 569-2013**  
The minimum required side yard setback is 1.5 m.  
The altered dwelling will be located 0.94 m from the west side lot line, and 0.8 m from the east side lot line.
1. **Section 6(3) Part II 2(II), By-law 438-86**  
The minimum required front yard setback is 10.02 m.  
The altered dwelling will be located 8.54 m from the south front lot line.

**2. Section 6(3) Part II 3.B(II), By-law 438-86**

The minimum required side lot line setback for the portion of a detached dwelling not exceeding a depth of 17 m is 0.9 m.

The portion of the altered dwelling, not exceeding a depth of 17 m will be located 0.8 m from the east side lot line.

**3. Section 6(3) Part II 3.B(II), By-law 438-86**

The minimum required side lot line setback for the portion of a detached dwelling exceeding a depth of 17.0 m is 7.5 m.

The 0.13 m portion of the altered dwelling, exceeding the 17.0 m depth, will be located 6.17 m from the east side lot line, and 0.94 m from the west side lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

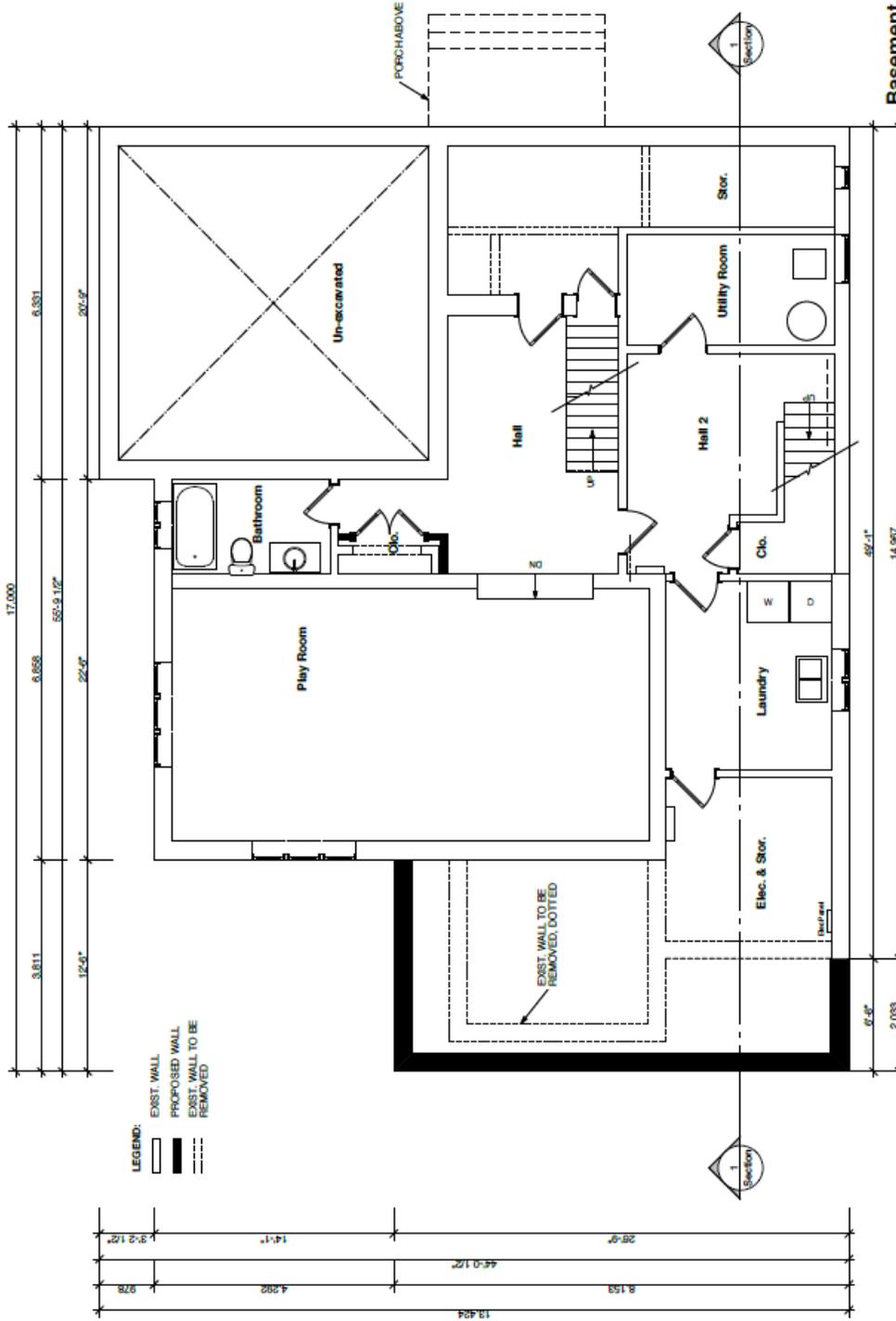
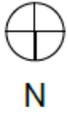
It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The alterations to the dwelling shall be constructed substantially in accordance with the plans dated January 24, 2017. Any variances that may appear on these plans that are NOT listed in the written decision are not authorized.

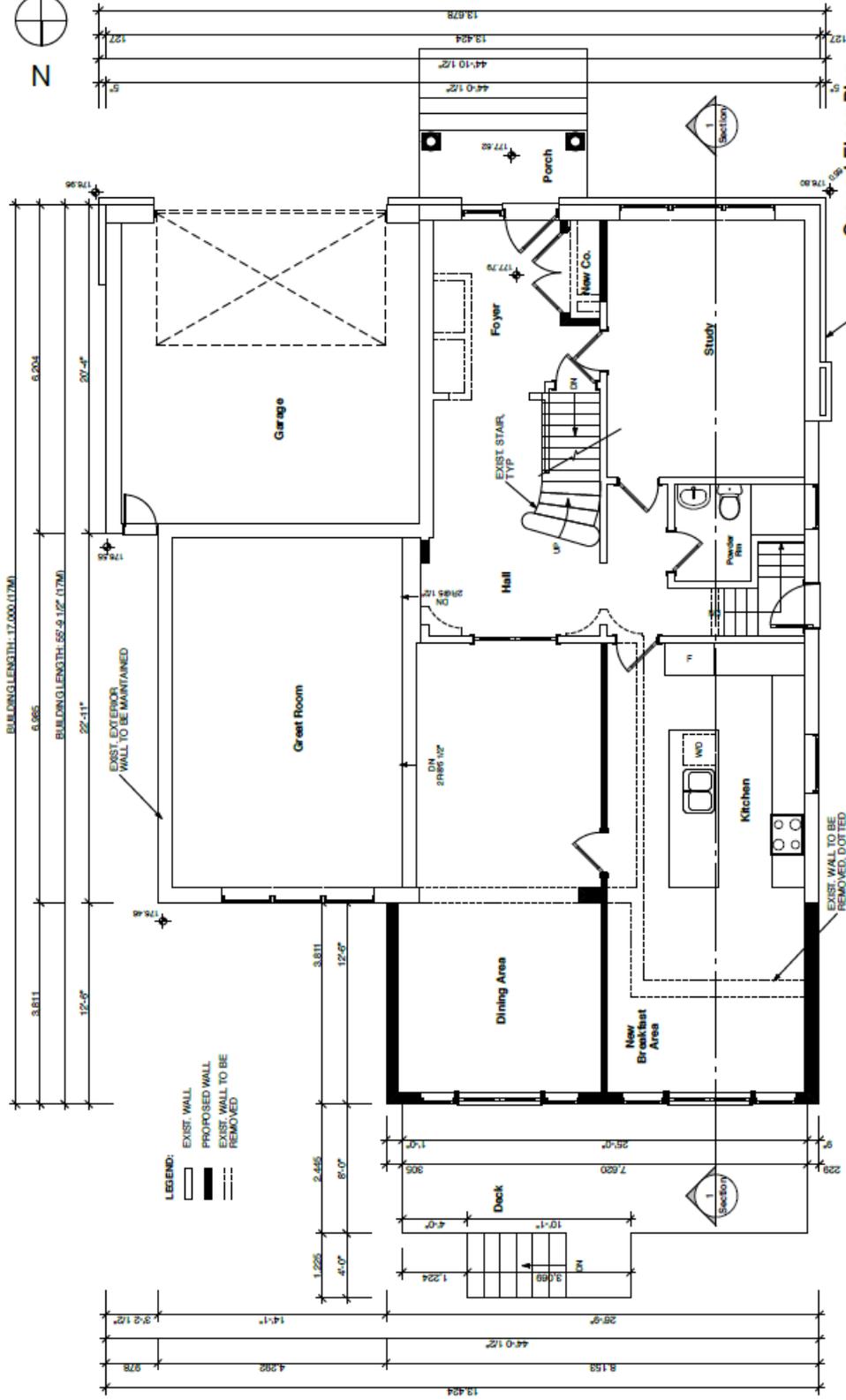
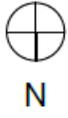




**Basement Plan**

Renovation to 54 Balfour Blvd.  
Toronto, Ont. M6H 2M3  
Date: Jan. 24, 2017  
Scale: 3/16"=1'-0"

Paradee Inc.  
16 Balfour Road, Toronto, Ont. M6H 2M3  
ECN. No. 42378  
Tel. 917-381-6466

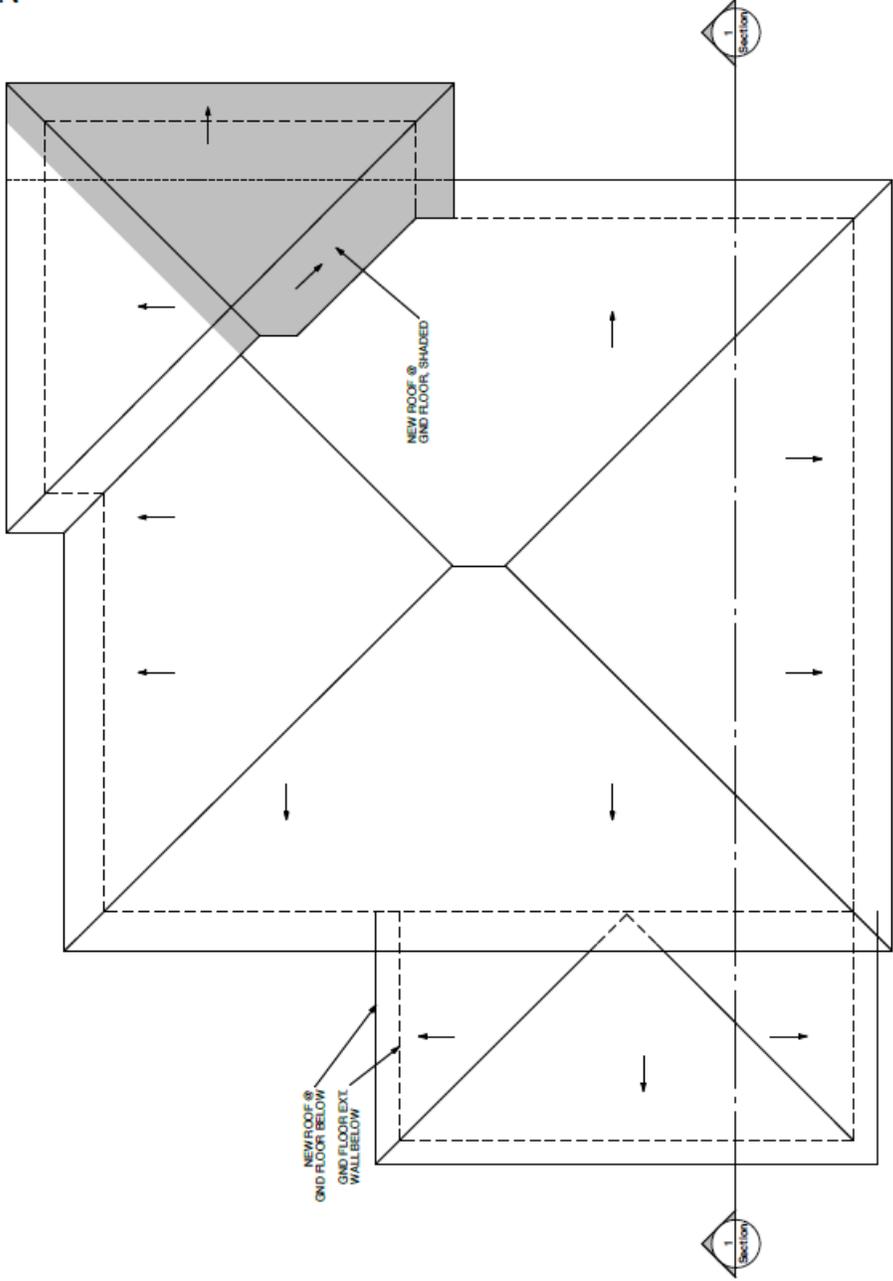
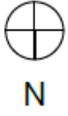


**Ground Floor Plan**

Removal to 54 Blenheim Blvd  
 BCN, No. 42378  
 Date: Jan. 24, 2017  
 Scale: 3/16"=1'-0"

Paradee Inc.  
 16 Rexford Road, Toronto, Ont. M8S 2M3  
 BCN, No. 42378  
 Tel. 917-881-6466

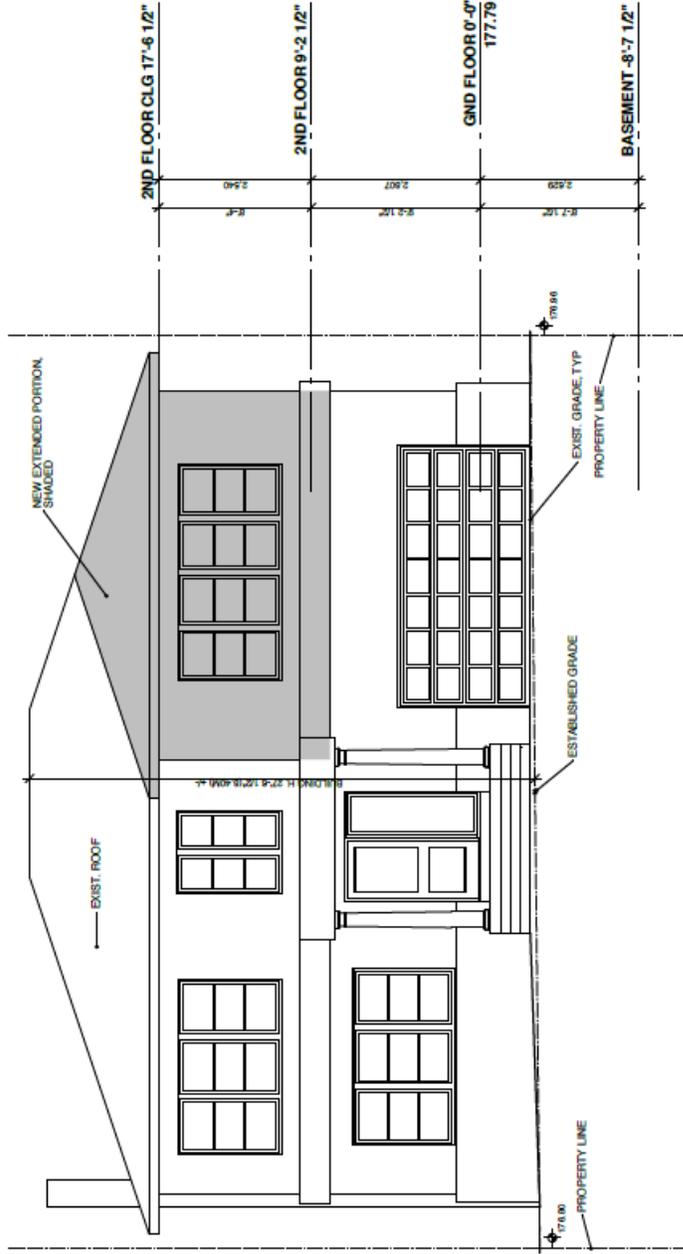




**Roof Plan**

Renovation to 54 Stables Bldg  
16 Bedford Road, Toronto, Ont. M8S 2M3  
ECN, No. 42378  
Date: Jan. 24, 2017  
Scale: 3/16"=1'-0"

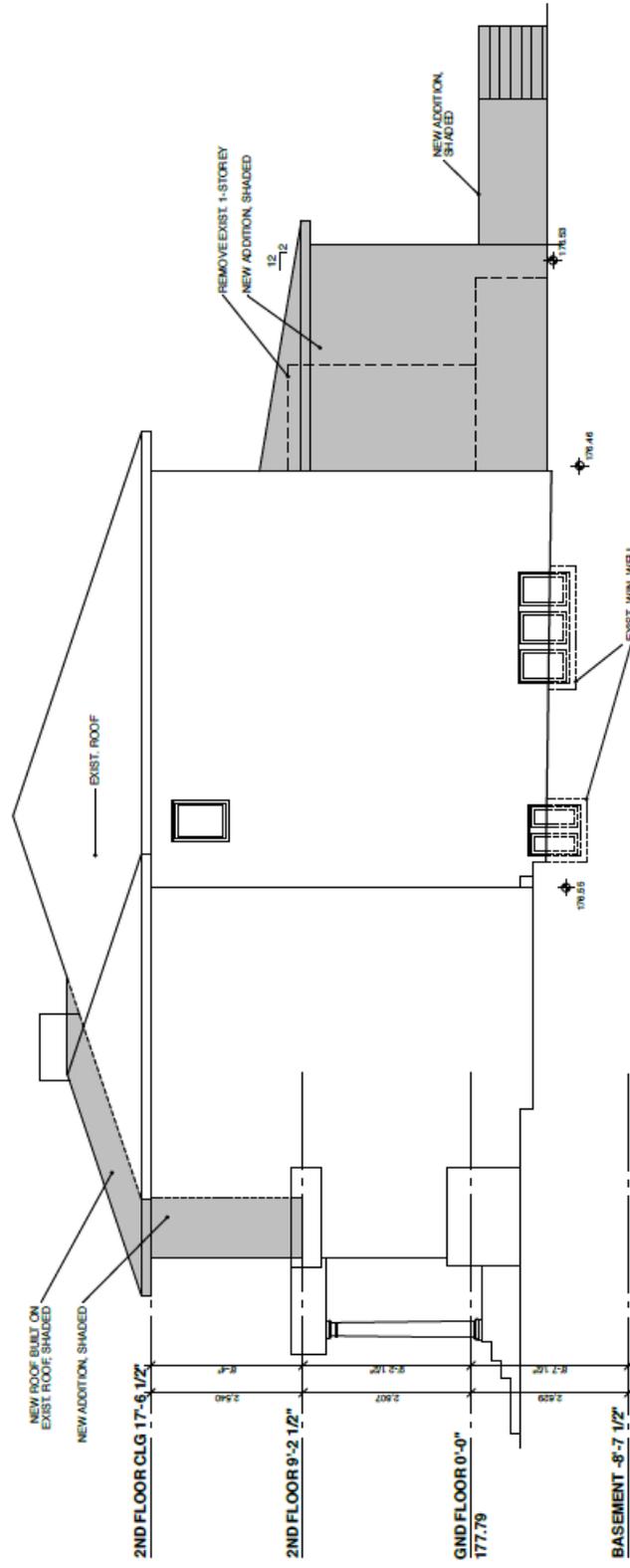
Parade Plan  
16 Bedford Road, Toronto, Ont. M8S 2M3  
ECN, No. 42378  
Tel: (416) 881-6466



**South Elevation**

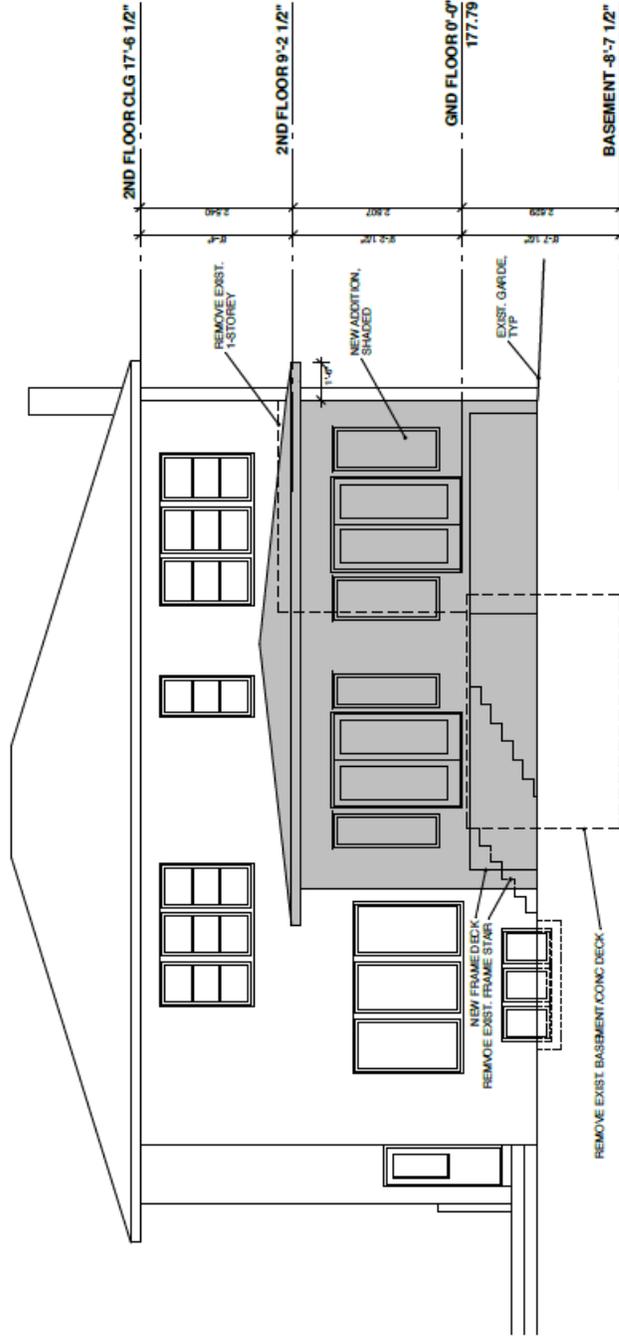
Renovation to 54 Stables Blvd  
 16 Rowford Road, Toronto, Ont. M6S 2M3  
 Date: Jan. 24, 2017  
 Scale: 3/16"=1'-0"

Parade Inc.  
 16 Rowford Road, Toronto, Ont. M6S 2M3  
 BCN, No. 42378  
 Tel. (416) 461-6466



**East Elevation**

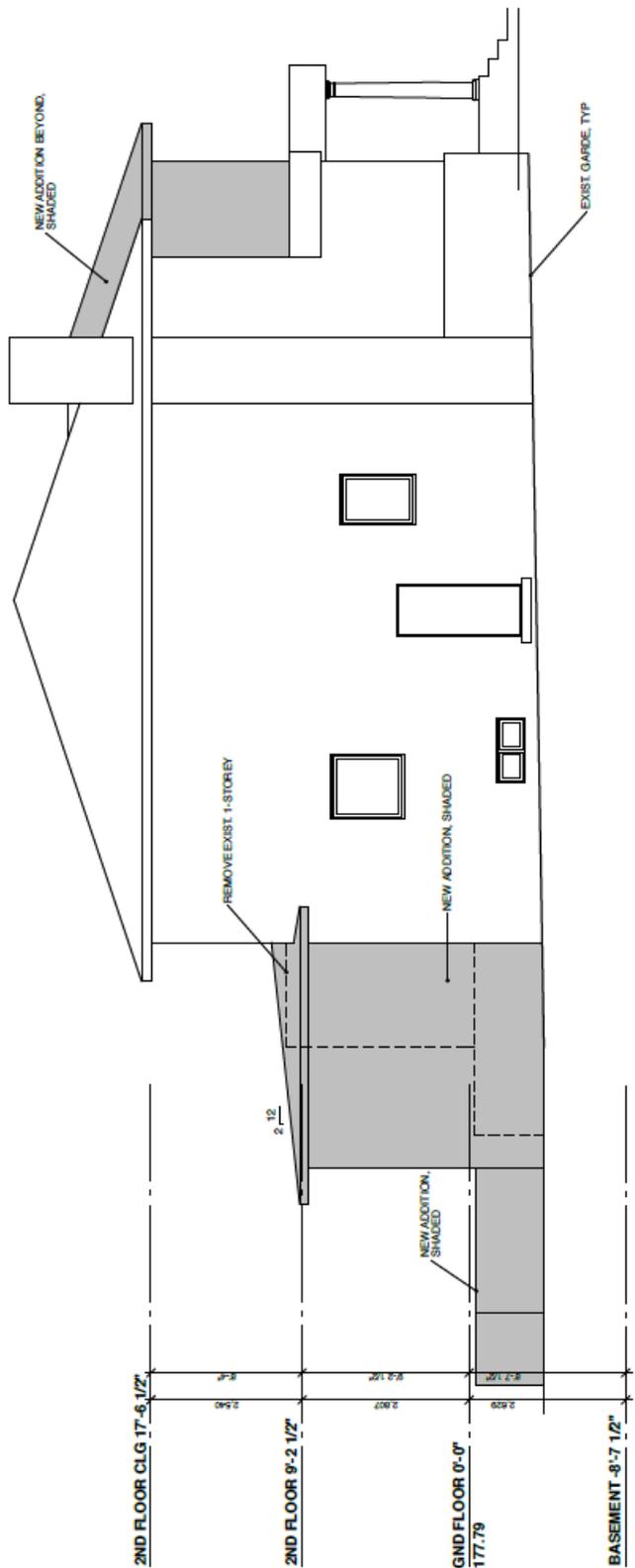
Renovation to 549 Adelaide Road  
 16 Rowland Road, Toronto, Ont. M5S 2M3  
 Date: Jan. 24, 2017  
 Scale: 3/16"=1'-0"



**North Elevation**

Renovation to 54 Blenheim Blvd  
 16 Bedford Road, Toronto, Ont. M8S 2M3  
 Date: Jan. 24, 2017  
 Scale: 3/16"=1'-0"

P10

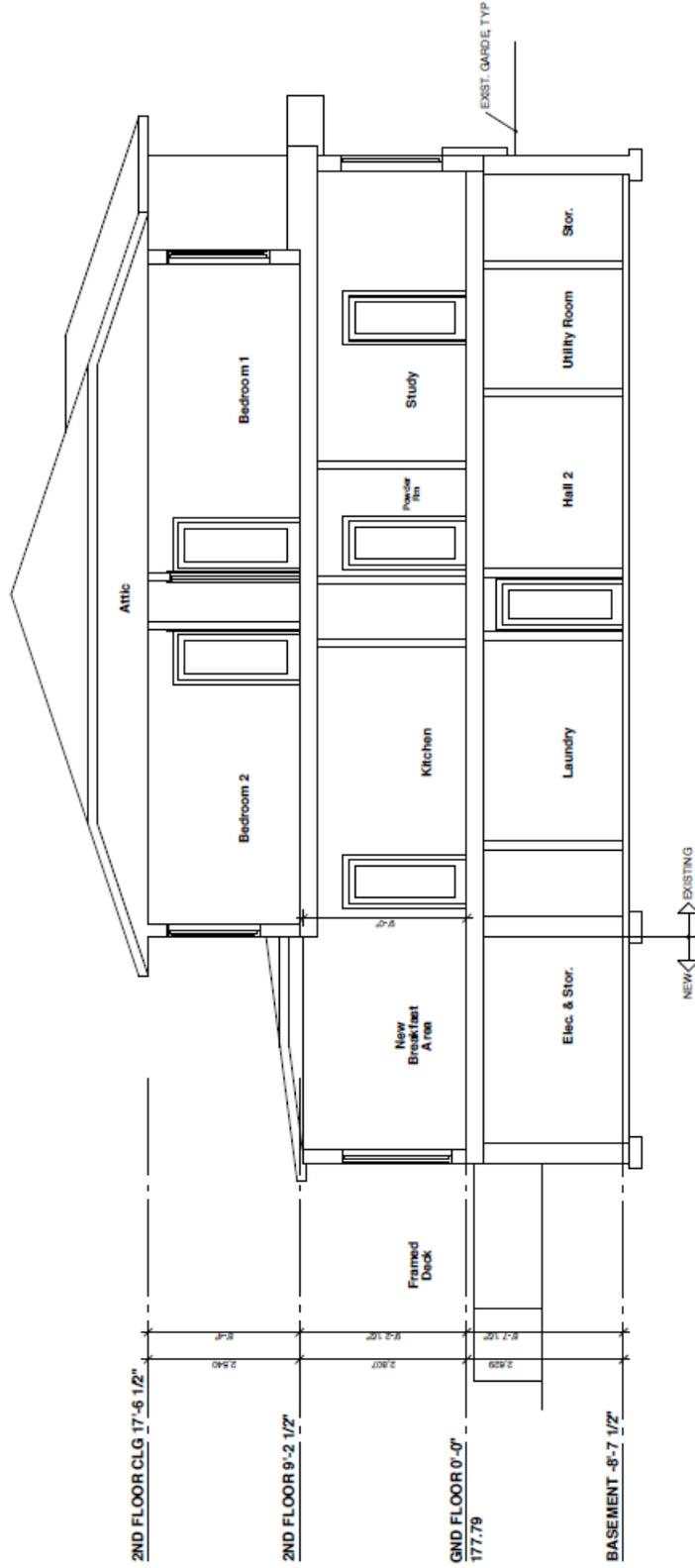


**West Elevation**

Renovation to 549 Adelaide Blvd  
 16 Ravel Road, Toronto, Ont. M5S 2M3  
 Date: Jan. 24, 2017  
 Scale: 3/16"=1'-0"

P11

Parade Inc.  
 16 Ravel Road, Toronto, Ont. M5S 2M3  
 BCN, No. 42378  
 Tel. (416) 461-6466



**Section**

Renovation to 549 Lakeshore Blvd.  
 Toronto, Ont.  
 Date: Jan. 24, 2017  
 Scale: 3/16"=1'-0"

Parrish Inc.  
 16 Rexford Road, Toronto, Ont. M8S 2M3  
 BCN, No. 42378  
 Tel. (416) 291-6466

## Appeal Information

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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**SIGNATURE PAGE**

File Number:	A0085/17TEY	Zoning	RD (f15.0, d0.6) & R1 Z0.6 (ZZC)
Owner(s):	DIANNE KORENBLUM-YANOFSKY	Ward:	St. Paul's (21)
Agent:	PAMELA PAN	Heritage:	Not Applicable
Property Address:	<b>54 SHALLMAR BLVD</b>	Community:	Toronto
Legal Description:	PLAN 1850 LOT 209		

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Alex Bednar (signed)

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Michael Clark (signed)

---

Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0086/17TEY	Zoning	R(d1.0)(x702) & R3 Z1.0 (ZZC)
Owner(s):	SILKE RUDELBACH	Ward:	Toronto Centre-Rosedale (27)
Agent:	ERIK CALHOUN	Heritage:	Not Applicable
Property Address:	<b>76 ASQUITH AVE</b>	Community:	Toronto
Legal Description:	PLAN 637 PT LOT 10		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new rear ground floor deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.5.60.70.(1), By-law 569-2013**

The area of the lot covered by all ancillary buildings and structures may not exceed 5% of the lot area (6.9 m<sup>2</sup>).

The rear deck will have a lot coverage of 7.28% (10.05 m<sup>2</sup>).

**2. Chapter 10.5.50.10.(3)(B), By-law 569-2013**

A minimum of 25% (14.14 m<sup>2</sup>) of the rear yard must be maintained as soft landscaping.

In this case, 19.56% (11.06 m<sup>2</sup>) of the rear yard will be maintained as soft landscaping.

**3. Chapter 10.5.60.20.(11), By-law 569-2013**

The minimum required rear and side yard setback for a platform located no closer than 0.3 m from a building is a distance equal to the highest vertical distance between any part of the floor of the platform and the ground below it, 1.36 m.

The rear deck structure will be located 0.0 m from the east side lot line.

**4. Chapter 200.5.1.10.(2), By-law 569-2013**

The required parking space must have a minimum width of 2.9 m and a minimum length of 5.6 m.

The parking space will measure 2.35 m in width and 4.92 m in length.

**1. Section 6(3) Part II 7(I), By-law 438-86**

The minimum required setback of an accessory structure to all lot lines is 3.0 m.

The rear deck will be located 0.0 m from east side lot line, 1.43 m from the west side lot line and 2.75 m from the north rear lot line.

**2. Section 6(3) Part I 2, By-law 438-86**

An accessory building is permitted a maximum floor area no greater than 5% of the lot area (6.9 m<sup>2</sup>).

The rear deck will have a gross floor area equal to 7.28% of the lot area (10.04 m<sup>2</sup>).

**3. Section 4(17), By-law 438-86**

The required parking space must have a minimum width of 2.9 m and a minimum length of 5.6 m.

The parking space will measure 2.35 m in width and 4.92 m in length.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to refuse this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**SIGNATURE PAGE**

File Number:	A0086/17TEY	Zoning	R(d1.0)(x702) & R3 Z1.0 (ZZC)
Owner(s):	SILKE RUDELBACH	Ward:	Toronto Centre-Rosedale (27)
Agent:	ERIK CALHOUN	Heritage:	Not Applicable
Property Address:	<b>76 ASQUITH AVE</b>	Community:	Toronto
Legal Description:	PLAN 637 PT LOT 10		

**DISSENTED**

**DISSENTED**

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Alex Bednar

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Michael Clark (signed)

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Donald Granatstein

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0087/17TEY	Zoning	R(d0.6)(x575) & R2 Z0.6 (PPR)
Owner(s):	MOHAMMAD ARIF MIAN	Ward:	Parkdale-High Park (14)
Agent:	AMIR ALI	Heritage:	Not Applicable
Property Address:	<b>15 INDIAN GRV</b>	Community:	Toronto
Legal Description:	PLAN 1150 PT LOT E PLAN M253 PT LOT 28		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a front addition by enclosing the front porch.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.40.70.(1), By-law 569-2013**  
The minimum required front yard setback is the average of the front yard setbacks of those buildings on the abutting lots, in this case 7.44 m.  
The front yard setback will be 4.53 m.
- 2. Chapter 10.10.40.30.(1), By-law 569-2013**  
The maximum permitted building depth is 17.00 m.  
The altered building depth will be 18.54 m.
- 3. Chapter 10.10.40.40.(1), By-law 569-2013**  
The maximum permitted floor space index is 0.61 times the area of the lot (250.84 m<sup>2</sup>).  
The floor space index will be 0.61 times the area of the lot (254.18 m<sup>2</sup>).
- 1. Section 6(3) Part II 2(II), By-law 438-86**  
The minimum required front lot line setback is 7.44 m.  
The front lot line setback will be 4.53 m.
- 2. Section 6(3) Part II 5(II), By-law 438-86**  
The maximum permitted housing depth is 17.00 m.  
The depth of the altered house will be 18.54 m.

**3. Section 6(3) Part I 1, By-law 348-86**

The maximum permitted residential gross floor area is 0.60 times the area of the lot (250.84 m<sup>2</sup>).  
The residential gross floor area of the building will be 254.18 m<sup>2</sup>.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The front yard setback of 4.53 m shall apply only to the portion of the dwelling that is one-storey in height, as illustrated on the site plan, received by the Committee of Adjustment on May 18, 2017.



## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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**SIGNATURE PAGE**

File Number:	A0087/17TEY	Zoning	R(d0.6)(x575) & R2 Z0.6 (PPR)
Owner(s):	MOHAMMAD ARIF MIAN	Ward:	Parkdale-High Park (14)
Agent:	AMIR ALI	Heritage:	Not Applicable
Property Address:	<b>15 INDIAN GRV</b>	Community:	Toronto
Legal Description:	PLAN 1150 PT LOT E PLAN M253 PT LOT 28		

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Alex Bednar (signed)

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Michael Clark (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0088/17TEY	Zoning	RD (f10.5; d0.6)(x1329) & R1 Z0.6 (ZZC)
Owner(s):	ARASH NAGHDI	Ward:	St. Paul's (22)
Agent:	LORNE ROSE	Heritage:	Not Applicable
Property Address:	<b>311 CHAPLIN CRES</b>	Community:	Toronto
Legal Description:	PLAN 2639 PT LOTS 11 & 12		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new three-storey detached dwelling with third floor front and rear balconies.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.5.40.60.(1)(C), By-law 569-2013**

A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.5 m if it is no closer to a side lot line than 1.07 m.

In this case, the platform will encroach 2.36 m into the required rear yard setback and will be located 0.58 m from the west side lot line.

**2. Chapter 10.5.40.60.(2)(A), By-law 569-2013**

A canopy, awning or similar structure above a platform may encroach into a required building setback to the same extent as the platform it is covering.

In this case, the canopy will encroach 0.1 m beyond the front platform it is covering towards the east and west lot lines.

**3. Chapter 10.5.40.60.(5)(B)(ii), By-law 569-2013**

A chimney breast on a building may encroach into a required building setback a maximum of 0.6 m provided it is located no closer than 0.3 m to a lot line.

In this case, the chimney will be located 0.18 m from the west side lot line.

**4. Chapter 10.20.40.10.(2)(A)(i), By-law 569-2013**

The maximum permitted height of all front exterior main walls is 8.5 m.

In this case, the height of the front exterior main wall of the new dwelling will be 9.03 m.

**5. Chapter 10.20.40.10.(2)(A)(ii), By-law 569-2013**

The maximum permitted height of all rear exterior main walls is 8.5 m.  
In this case, the height of rear exterior main wall of the new dwelling will be 9.03 m.

**6. Chapter 10.20.40.40(1)(A), By-law 569-2013**

The maximum permitted floor space index is 0.6 times the area of the lot (146.76 m<sup>2</sup>).  
The new detached dwelling will have a floor space index equal to 1.22 times the area of the lot (299.32 m<sup>2</sup>).

**7. Chapter 10.20.40.50.(1)(B), By-law 569-2013**

The maximum permitted area of each platform at or above the second storey of a detached house is 4.0 m<sup>2</sup>.

In this case, the front platform at or above the second storey will have an area of 12.35 m<sup>2</sup> and the rear platform at or above the second storey will have an area of **23.0 m<sup>2</sup>**. The combined area of the platforms at or above the second storey will be **35.65 m<sup>2</sup>**.

**8. Chapter 10.20.40.70.(1), By-law 569-2013**

The minimum required front yard setback is 4.67 m.  
The new detached dwelling will be located 3.81 from the front lot line.

**9. Chapter 10.20.40.70.(2)(A), By-law 569-2013**

A minimum required rear yard setback is 7.5 m.  
The new detached dwelling will be located 5.83 m from the rear lot line.

**10. Chapter 10.20.40.70.(3)(B), By-law 569-2013**

The minimum required side yard setback for a detached house is 0.9 m.  
The new detached dwelling will be located 0.28 m from the west side lot line.

**11. Chapter 10.5.40.60.(7), By-law 569-2013**

Roof eaves are permitted to project 0.9 m provided they are no closer than 0.3 m to a lot line.  
In this case, the roof eaves will be located 0.18 m from the west lot line.

**12. Chapter 200.5.10.1.(1), By-law 569-2013**

A minimum of one parking space is required to be provided.  
In this case, no parking space will be provided.

**1. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (146.76 m<sup>2</sup>).

The new detached dwelling will have a residential gross floor area equal to 1.22 times the area of the lot (299.32 m<sup>2</sup>).

**2. Section 6(3) Part II 2(II), By-law 438-86**

The minimum required front yard setback on an inside lot is 4.67 m.  
The new detached dwelling will be located 3.81 m from the front lot line.

**3. Section 6(3) Part II 3.B(II), By-law 438-86**

The minimum required side lot line setback for the portion of the dwelling not exceeding a depth of 17 m is 0.9 m.

The new three-storey dwelling will be located 0.18 m from the west side lot line (setback measured to the canopy).

**4. Section 6(3) Part II 4, By-law 438-86**

The minimum required rear yard setback is 7.5 m.

The new dwelling will be located 5.83 m from the rear lot line.

**5. Section 6(3) Part III 4, By-law 438-86**

The maximum width of a walkway located between the front lot line and any wall of the building facing the front lot line is 1.06 m

In this case, the front walkway will have a width of 2.62 m.

**6. Section 6(3) Part III 3(d)(i)(D), By-law 438-86**

A minimum of 75% (28.35 m<sup>2</sup>) of the required front yard landscaped open space shall be in the form of soft landscaping.

In this case, 40% (15.3 m<sup>2</sup>) of the required front yard landscaped open space will be in the form of soft landscaping.

**7. Section 4(4)(b), By-law 438-86**

A minimum of one parking space is required to be provided.

In this case, no parking space will be provided.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

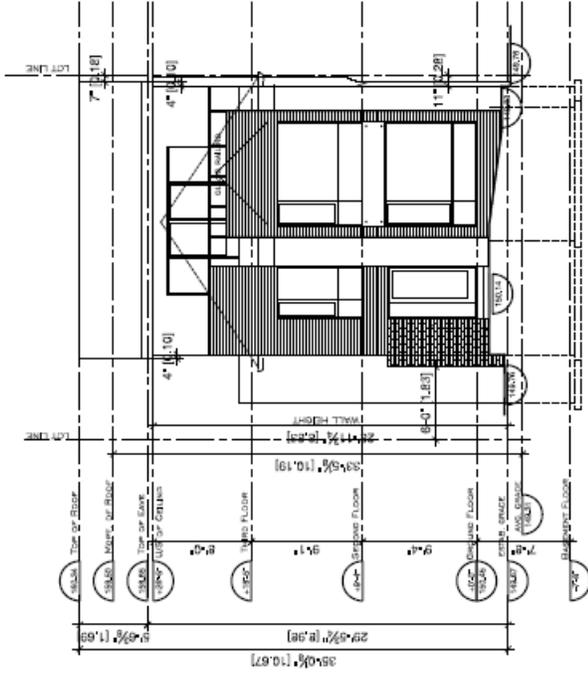
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The façade of the dwelling shall be constructed substantially in accordance with the plans dated January 24, 2017, with the exception of the rear third floor deck, which shall be constructed in accordance with the revised third floor plan received by the Committee of Adjustment on May 26, 2017. Any variances that may appear on these plans that are not listed in the written decision are not authorized.

- (2) Prior to the issuance of a demolition and/or building permit, the applicant shall satisfy all matters relating to Ravine and Natural Feature Protection By-law, to the satisfaction of the Supervisor, Ravine and Natural Feature Protection.

311 CHAPLIN CRES.  
 TORONTO, ONTARIO  
 Project # 16-35



FRONT ELEVATION

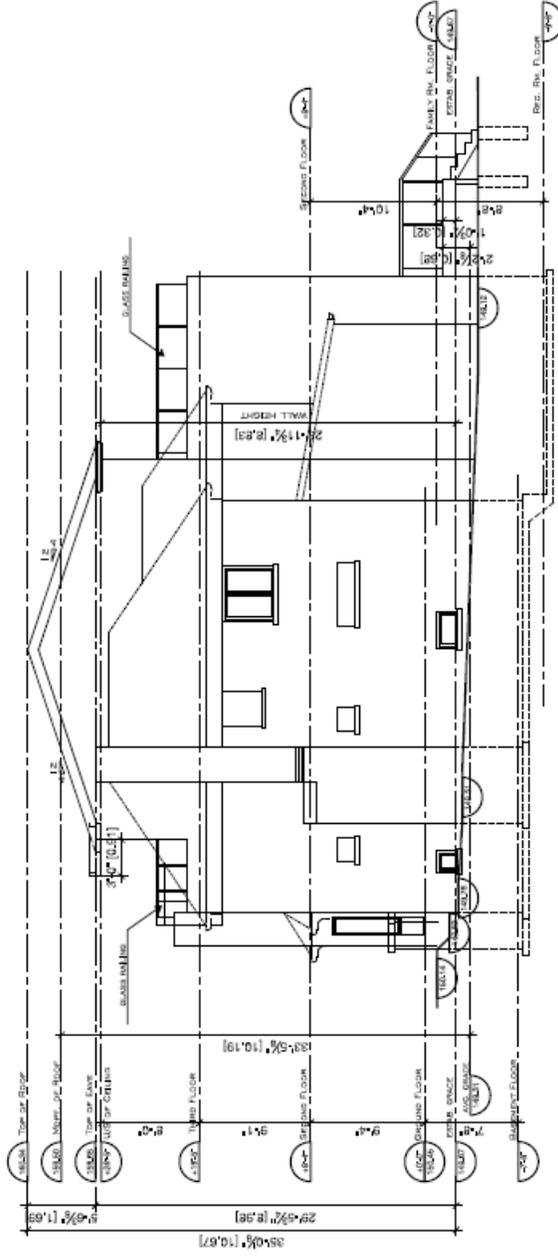
SCALE: 1/8" = 1'-0"



1635 - Design 7 - COA  
 JANUARY 24, 2017



311 CHAPLIN CRES.  
 TORONTO, ONTARIO  
 Project # 16-35



WEST ELEVATION

SCALE: 1/8" = 1'-0"



1635 - Design 7 - COA  
 JANUARY 24, 2017



311 CHAPLIN CRES.  
 TORONTO, ONTARIO  
 Project # 16-35

**RECEIVED**  
 By C of A TEY at 11:35 am, May 26, 2017

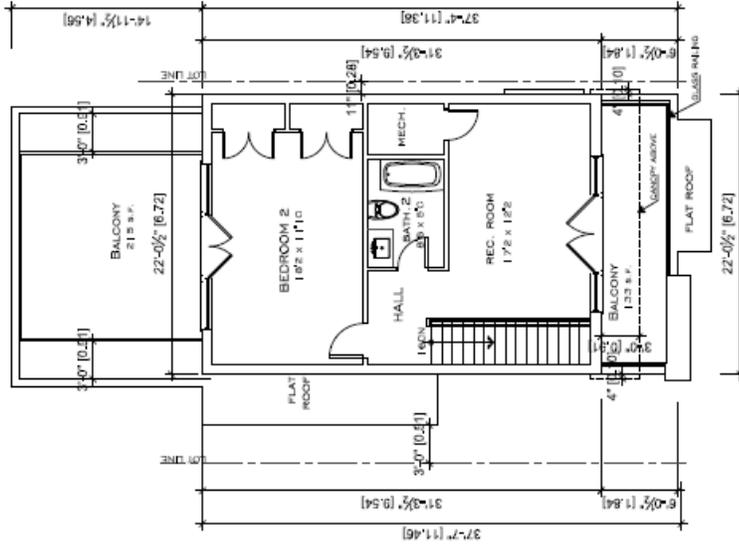


THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"  
 GFA = 690 s.f.



1635 - DESIGN 7 - COA (R)  
 MAY 26, 2017



## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

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**SIGNATURE PAGE**

File Number:	A0088/17TEY	Zoning	RD (f10.5; d0.6)(x1329) & R1 Z0.6 (ZZC)
Owner(s):	ARASH NAGHDI	Ward:	St. Paul's (22)
Agent:	LORNE ROSE	Heritage:	Not Applicable
Property Address:	<b>311 CHAPLIN CRES</b>	Community:	Toronto
Legal Description:	PLAN 2639 PT LOTS 11 & 12		

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Alex Bednar (signed)

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Michael Clark (signed)

---

Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0089/17TEY	Zoning	RD (f10.0; d0.35)(x1392) & R1 Z0.35 (BLD)
Owner(s):	NURISH SHURLA MACMILLAN	Ward:	Beaches-East York (32)
Agent:	TERRANCE ATWOOD	Heritage:	Not Applicable
Property Address:	<b>46 GLEN STEWART CRES</b>	Community:	Toronto
Legal Description:	PLAN M568 LOT 27		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To re-construct a one-storey attached garage on the west side of the existing one-storey detached dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 200.5.1.10.(2)(A)(ii), By-law 569-2013**  
The minimum required length of a parking space is 5.6 m.  
In this case, the parking space will have a length of 5.02 m.
- 1. Section 6(3) Part II 3.B(II), By-law 438-86**  
The minimum required side lot line setback is 0.9 m.  
The altered dwelling will be located 0.46 m to the side lot line.
- 2. Section 4(17)(a), By-law 438-86**  
The minimum required length of a parking space is 5.6 m.  
In this case, the parking space will have a length of 5.02 m.
- 3. Section 6(3) Part II 3(II), By-law 438-86**  
The minimum required setback to the portion of the side wall of an adjacent building containing openings is 1.2 m.  
The altered dwelling will be setback 1.08 m to the adjacent building to the west.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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**SIGNATURE PAGE**

File Number:	A0089/17TEY	Zoning	RD (f10.0; d0.35)(x1392) & R1 Z0.35 (BLD)
Owner(s):	NURISH SHURLA MACMILLAN	Ward:	Beaches-East York (32)
Agent:	TERRANCE ATWOOD	Heritage:	Not Applicable
Property Address:	<b>46 GLEN STEWART CRES</b>	Community:	Toronto
Legal Description:	PLAN M568 LOT 27		

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Alex Bednar (signed)                      Michael Clark (signed)                      Donald Granatstein (signed)

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Carl Knipfel (signed)                      Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0093/17TEY	Zoning	R (d0.6)(x322) & R2 Z0.6 (BLD)
Owner(s):	HAZEL DE MELLO	Ward:	Toronto-Danforth (29)
Agent:	JASON BRANDER	Heritage:	Not Applicable
Property Address:	<b>16 FIELDING AVE</b>	Community:	Toronto
Legal Description:	PLAN E417 PT LOTS 92 & 93		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey semi-detached dwelling by partially enclosing the front porch.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**Chapter 10.5.40.70.(1)(B), By-law 569-2013**

In the Residential Zone category, if a lot is between two abutting lots in the Residential Zone category, each with a building fronting on the same street and those buildings are both, in whole or in part, 15 m or less from the subject lot, the required minimum front yard setback is the average of the front yard setbacks of those buildings on the abutting lots. The minimum required front yard setback is 5.7 m.

In this case, the altered semi-detached dwelling will be located 3.65 m from the south front lot line.

**Chapter 10.10.40.40.(1)(A), By-law 569-2013**

The maximum permitted floor space index of a semi-detached dwelling is 0.6 times the area of the lot (90.6 m<sup>2</sup>).

The altered semi-detached dwelling will have a floor space index equal to 0.72 times the area of the lot (108.8 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The enclosed front porch, located 3.65 m from the front lot line, shall remain one storey in height.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**SIGNATURE PAGE**

File Number:	A0093/17TEY	Zoning	R (d0.6)(x322) & R2 Z0.6 (BLD)
Owner(s):	HAZEL DE MELLO	Ward:	Toronto-Danforth (29)
Agent:	JASON BRANDER	Heritage:	Not Applicable
Property Address:	<b>16 FIELDING AVE</b>	Community:	Toronto
Legal Description:	PLAN E417 PT LOTS 92 & 93		

---

Alex Bednar (signed)

---

Michael Clark (signed)

---

Donald Granatstein (signed)

---

Carl Knipfel (signed)

---

Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0096/17TEY	Zoning	R (d0.6) (x930) & R2 Z0.6 (BLD)
Owner(s):	STANLEY CHO CAROLYN HORBACZYK	Ward:	St. Paul's (22)
Agent:	MARIAN BOJANKIEWICZ	Heritage:	Not Applicable
Property Address:	<b>361 SOUDAN AVE</b>	Community:	Toronto
Legal Description:	PLAN 751 PT LOT 10		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey detached dwelling by constructing a front third-storey addition, a rear two-storey addition, and a rear first floor deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.10.40.10.(1)(A), By-law 569-2013**

The maximum permitted building height is 9 m.  
The altered dwelling will have a height of 9.8 m.

**2. Chapter 10.10.40.40.(1)(A), By-law 569-2013**

The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (187.32 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 0.72 times the area of the lot (225.4 m<sup>2</sup>).

**1. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (187.32 m<sup>2</sup>).  
The altered dwelling will have a gross floor area equal to 0.72 times the area of the lot (225.4 m<sup>2</sup>).

**2. Section 4(2)(a), By-law 438-86**

The maximum permitted building height is 9.0 m.  
The altered dwelling will have a height of 9.8 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

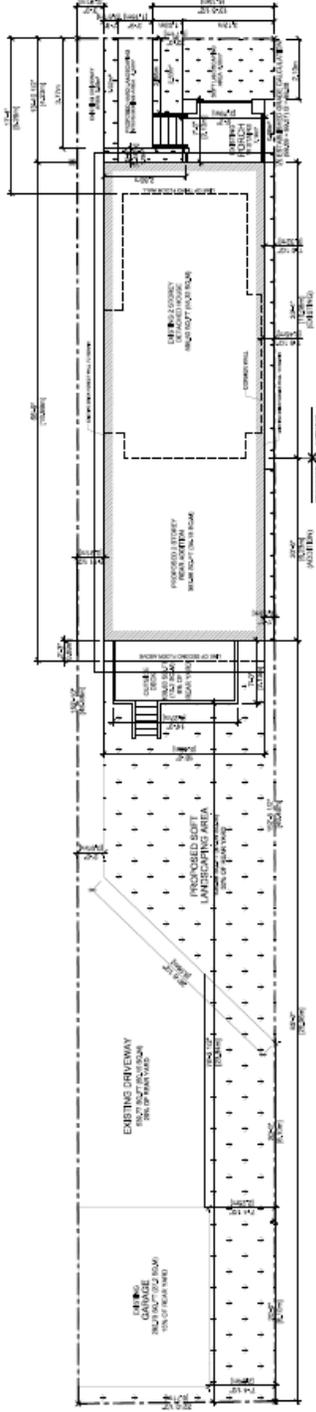
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) The alterations to the dwelling shall be constructed substantially in accordance with the plans date stamped received by Committee of Adjustment on April 25, 2017. Any variances that may appear on these plans that are NOT listed in the written decision are not authorized.

**RECEIVED**

By Committee of Adjustment TEY at 4:53 pm, Apr 25, 2017



ZONING DATA	
LOT REQUIREMENTS	EXISTING FRONT YARD AREA (EXCLUDING FRONT PORCH WITH STAIRS) 21.19m <sup>2</sup>
DETACHED DWELLING	FRONT YARD COVERED BY EXISTING DRIVEWAY 3.86m <sup>2</sup>
FRONT YARD COVERED BY EXISTING DRIVEWAY	FRONT YARD AREA NOT COVERED BY PERMITTED DRIVEWAY 17.34m <sup>2</sup>
FRONT YARD AREA NOT COVERED BY PERMITTED DRIVEWAY	MINIMUM SOFT LANDSCAPING-75% OF THE FRONT YARD AREA NOT COVERED BY THE DRIVEWAY 13.00m <sup>2</sup>
MINIMUM SOFT LANDSCAPING-75% OF THE FRONT YARD AREA NOT COVERED BY THE DRIVEWAY	PROPOSED SOFT LANDSCAPING AREA 13.07m <sup>2</sup>
PROPOSED SOFT LANDSCAPING AREA	

ZONING DATA	
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DETACHED DWELLING	FRONT YARD COVERED BY EXISTING DRIVEWAY 3.86m <sup>2</sup>
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DETACHED DWELLING	FRONT YARD COVERED BY EXISTING DRIVEWAY 3.86m <sup>2</sup>
FRONT YARD COVERED BY EXISTING DRIVEWAY	FRONT YARD AREA NOT COVERED BY PERMITTED DRIVEWAY 17.34m <sup>2</sup>
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MINIMUM SOFT LANDSCAPING-75% OF THE FRONT YARD AREA NOT COVERED BY THE DRIVEWAY	PROPOSED SOFT LANDSCAPING AREA 13.07m <sup>2</sup>
PROPOSED SOFT LANDSCAPING AREA	

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FRONT YARD COVERED BY EXISTING DRIVEWAY	FRONT YARD AREA NOT COVERED BY PERMITTED DRIVEWAY 17.34m <sup>2</sup>
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MINIMUM SOFT LANDSCAPING-75% OF THE FRONT YARD AREA NOT COVERED BY THE DRIVEWAY	PROPOSED SOFT LANDSCAPING AREA 13.07m <sup>2</sup>
PROPOSED SOFT LANDSCAPING AREA	

prepared by

**marbo INT.**

1524 Lorne Wood Rd.  
Windsor, ON N9A 6L5  
Tel: 519-253-6611  
Fax: 519-253-3708

This drawing is protected by copyright. Contractor must check all dimensions on site. Only figured dimensions are to be used. Discrepancies must be reported immediately to the designer before proceeding.

project title

ADDITION TO

361 SOUDAN AVENUE

TORONTO

drawing title

SITE PLAN

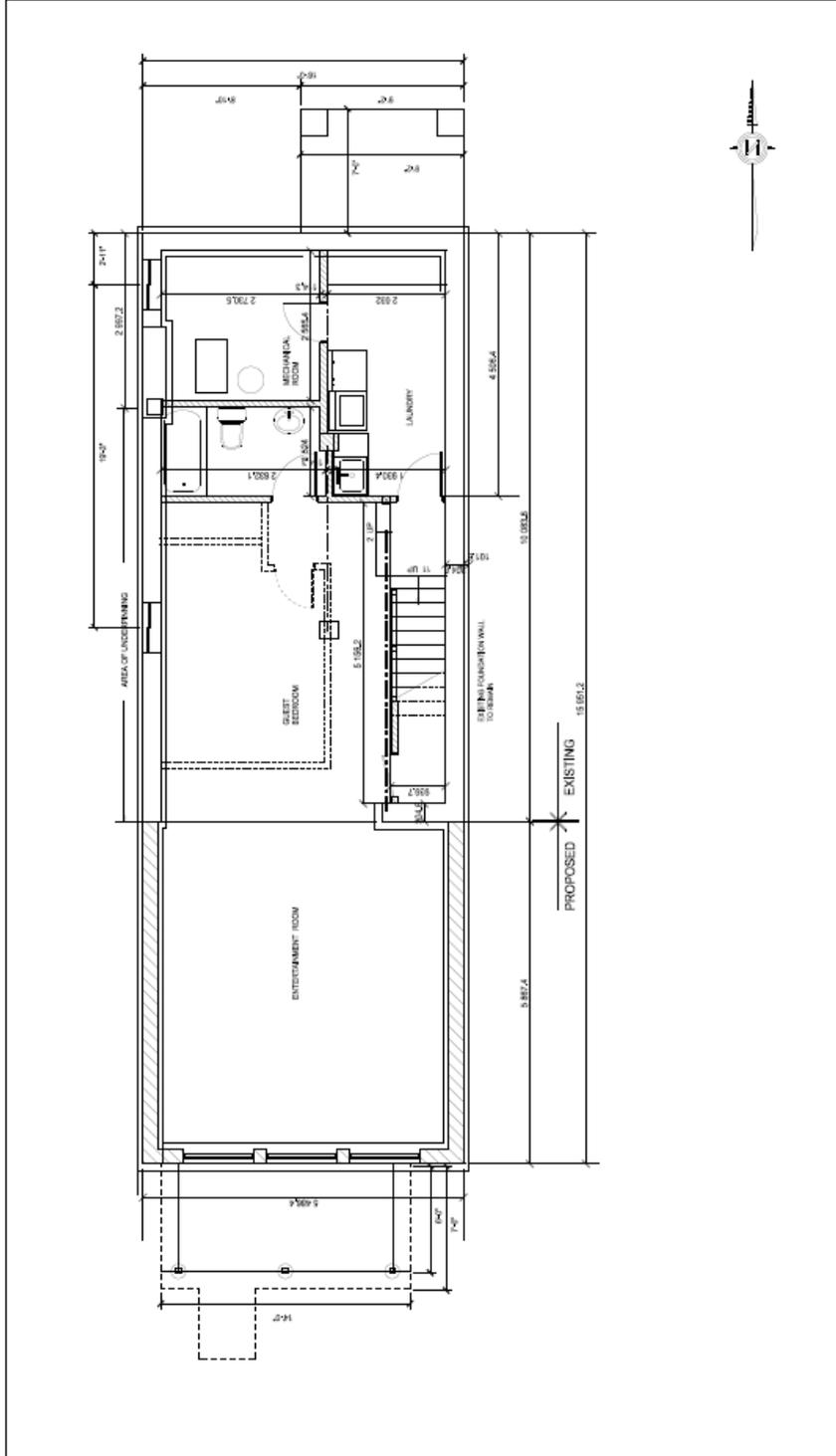
date

March 20, 2017

scale

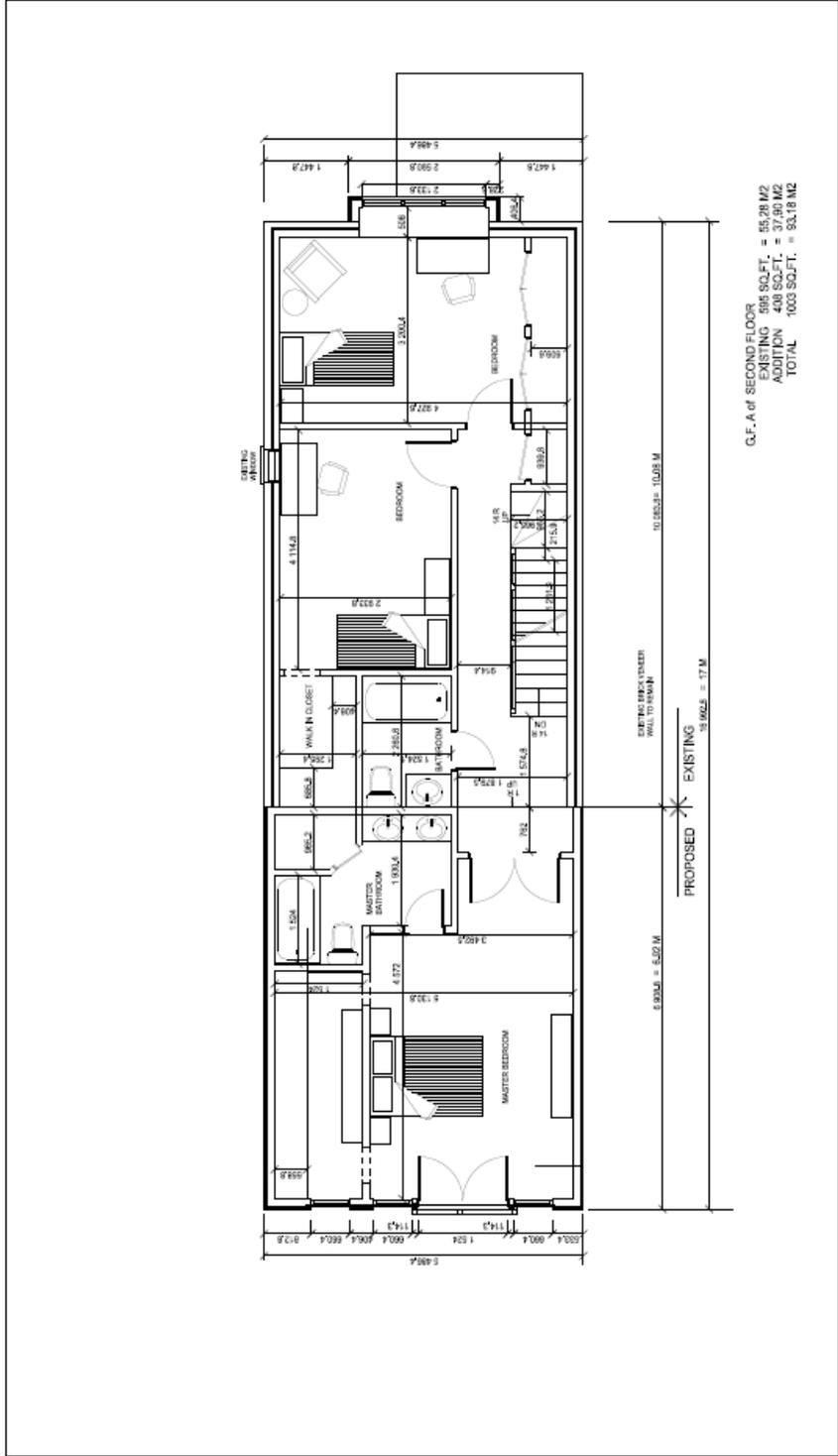
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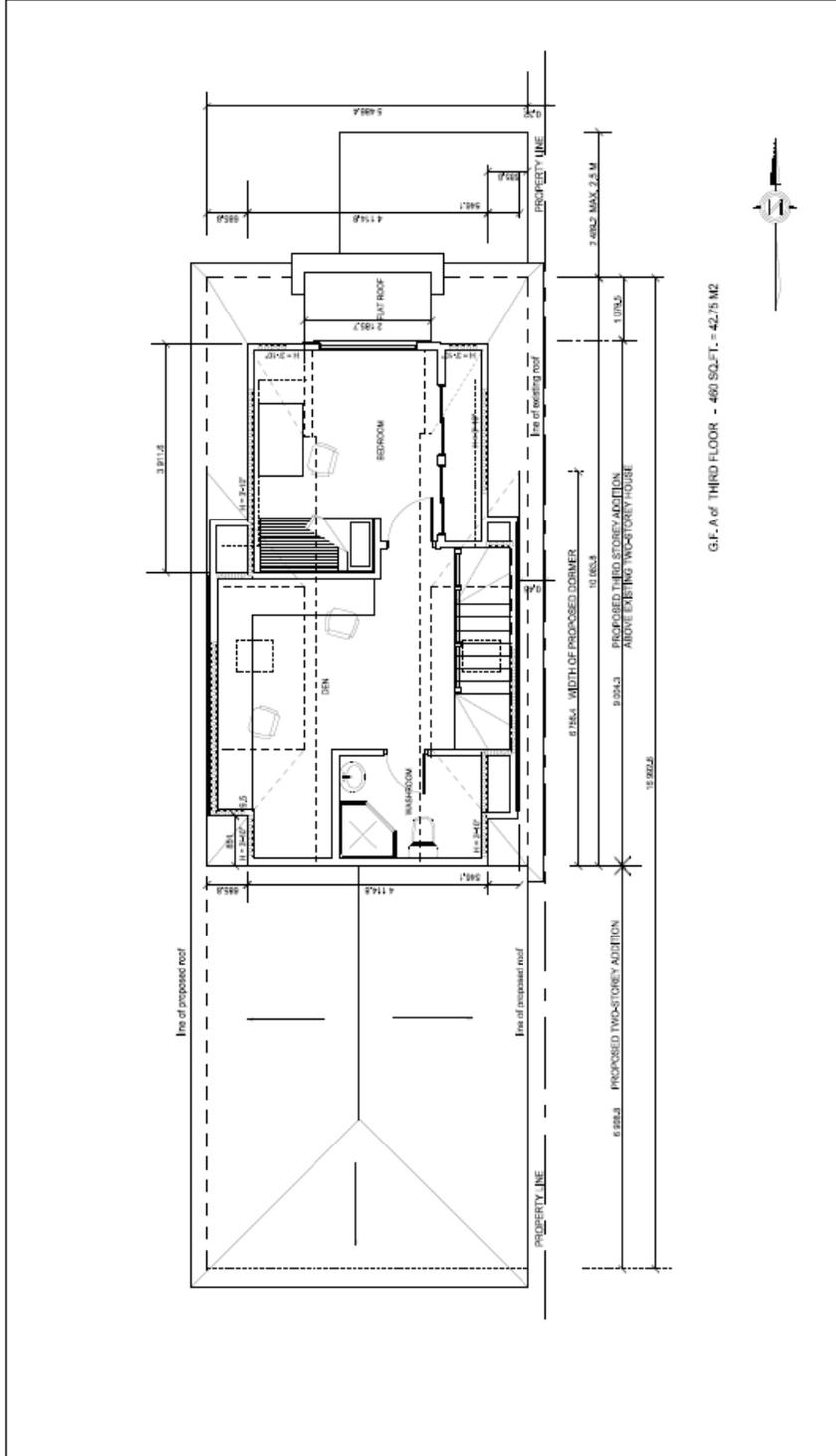


<p>prepared by  <b>marbo INT.</b>          1524 Lorne Wood Rd.          #155 Smithville, ON L5H 3G3          Tel: 905-881-6006          Fax: 905-278-3708</p>	<p>This drawing is protected by copyright.          Contractor must check all dimensions          only figured dimensions are to be used.          Unchecked dimensions are for reference          only. Proceeding to the contractor before          proceeding.</p>	<p>project title  <b>ADDITION TO          361 SOUDAN AVENUE          TORONTO</b></p>	<p>drawing title  <b>BASEMENT FLOOR PLAN</b></p>	<p>date          March 29, 2016</p>
<p>scale  <b>1:100</b></p>		<p>drawing no.  <b>A - 3</b></p>		



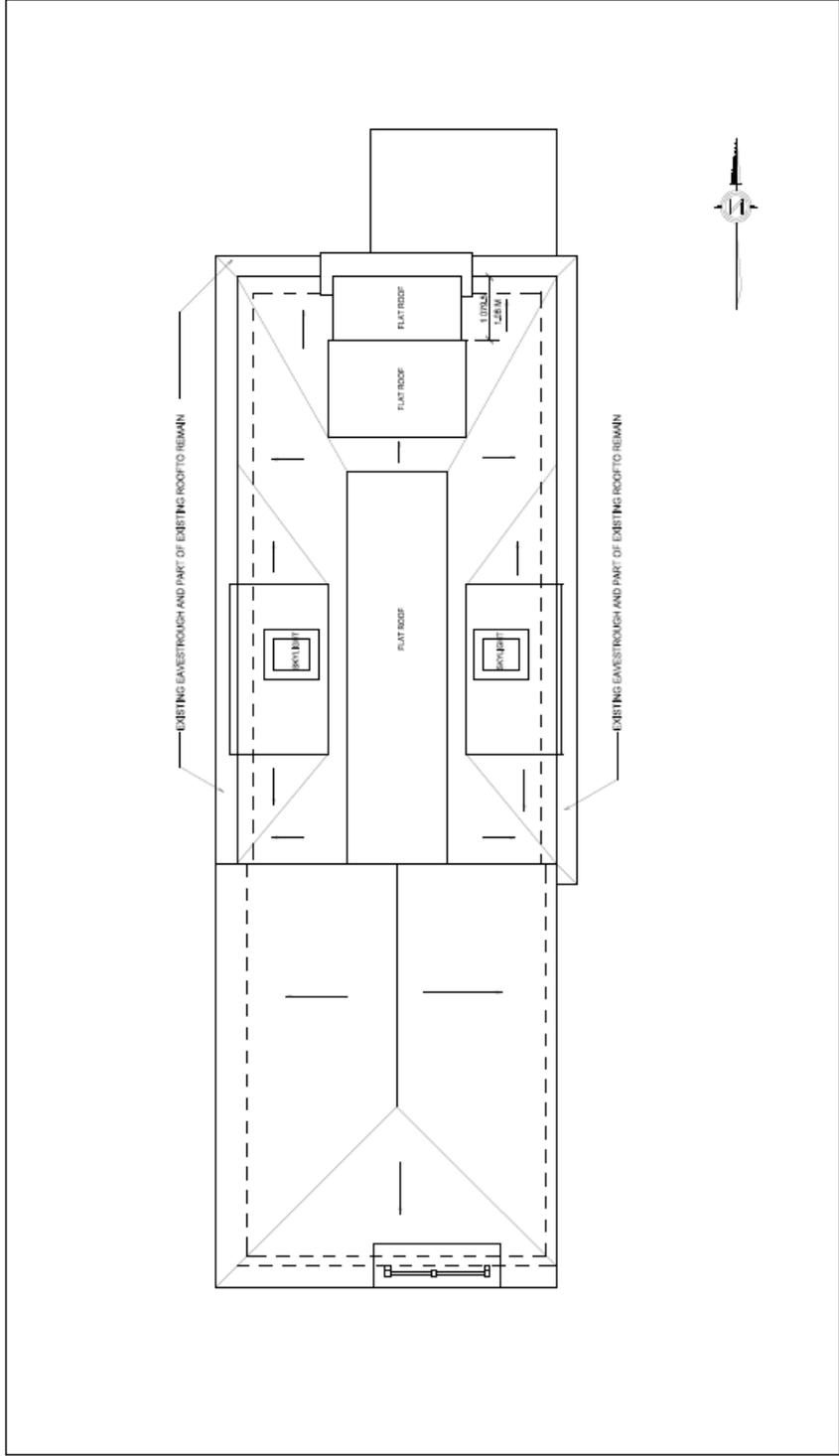


prepared by <b>marbo INT.</b> 1324 Lorne Road Rd. Mississauga, Ont. L5M 1L3 Tel: 905 278 3633 Fax: 905 278 3788	This drawing is protected by copyright. Contractor must check all dimensions on V. Figured dimensions are to be used. Dimensions must be interpreted in accordance with the design before proceeding.	project title <b>ADDITION TO          361 SOUDAN AVENUE          TORONTO</b>	drawing title <b>SECOND FLOOR PLAN</b>	date March 29, 2016
		drawing no. <b>A - 5</b>	scale <b>1:100</b>	



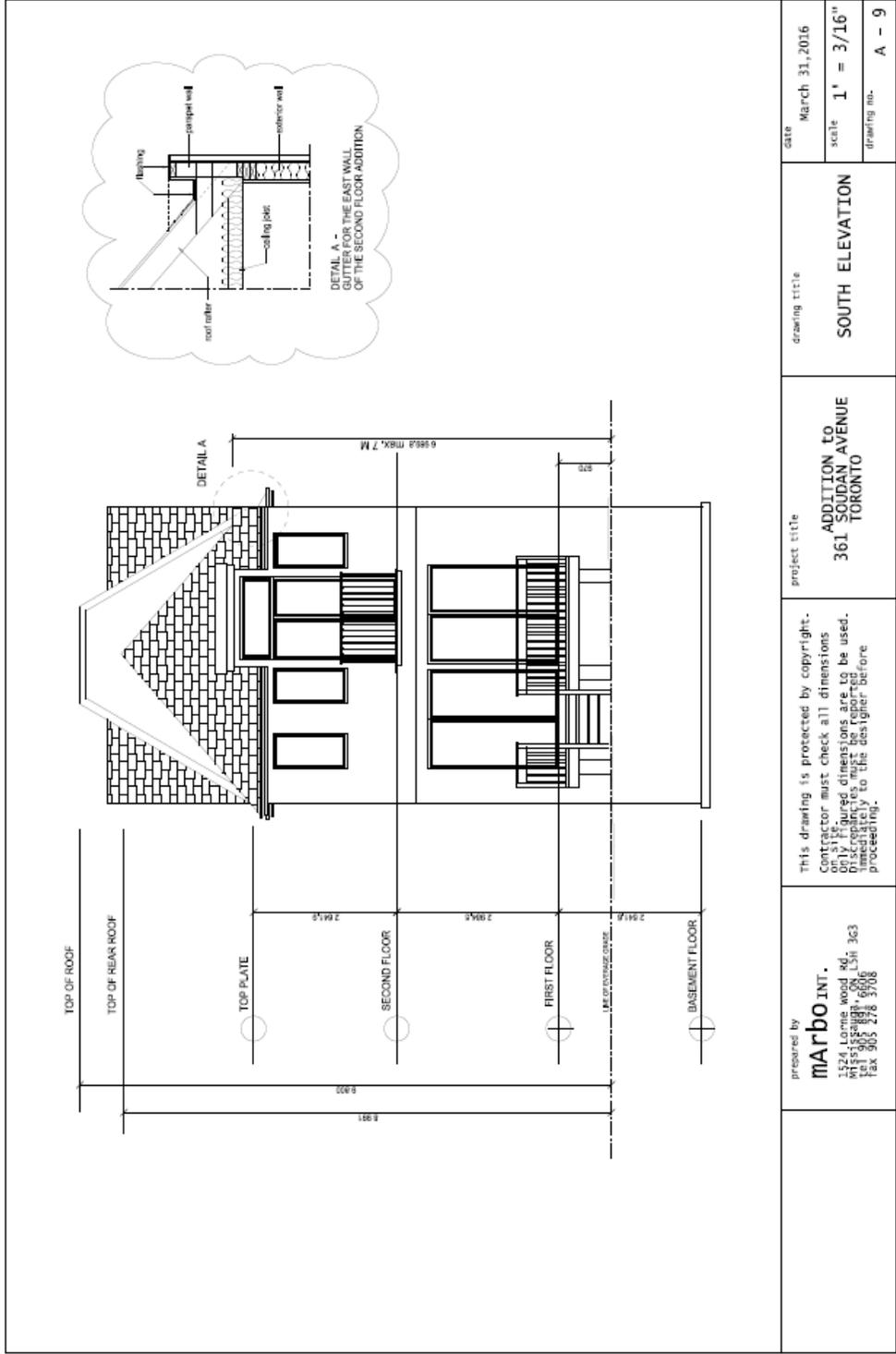
G.F.A of THIRD FLOOR - 480 SQ.FT. = 42.75 M2

prepared by <b>marbo INT.</b> 1524 Lorne Wood Rd. #155-1587, Unit 363 Scarborough, Ontario Fax 305 278 3708	This drawing is protected by copyright. Contractor must check all dimensions only figured dimensions are to be used. Manufacturer's dimensions must be checked prior to the beginning of work.	project title <b>ADDITION TO          361 SOUDAN AVENUE          TORONTO</b>	drawing title <b>THIRD FLOOR PLAN</b>	date March 29, 2016
		scale <b>1:100</b>		
		drawing no. <b>A - 6</b>		



prepared by <b>marbo INT.</b> 1524, Lorne Wood Rd. #155 - Suite 606 Scarborough, Ontario Fax 305 278 3708	This drawing is protected by copyright. Contractor must check all dimensions only figured dimensions are to be used. Measurements must be taken before proceeding.	project title <b>ADDITION TO          361 SOUDAN AVENUE          TORONTO</b>	drawing title <b>ROOF FLOOR</b>	date April 21, 2016
			scale <b>1:100</b>	drawing no. <b>A - 7</b>





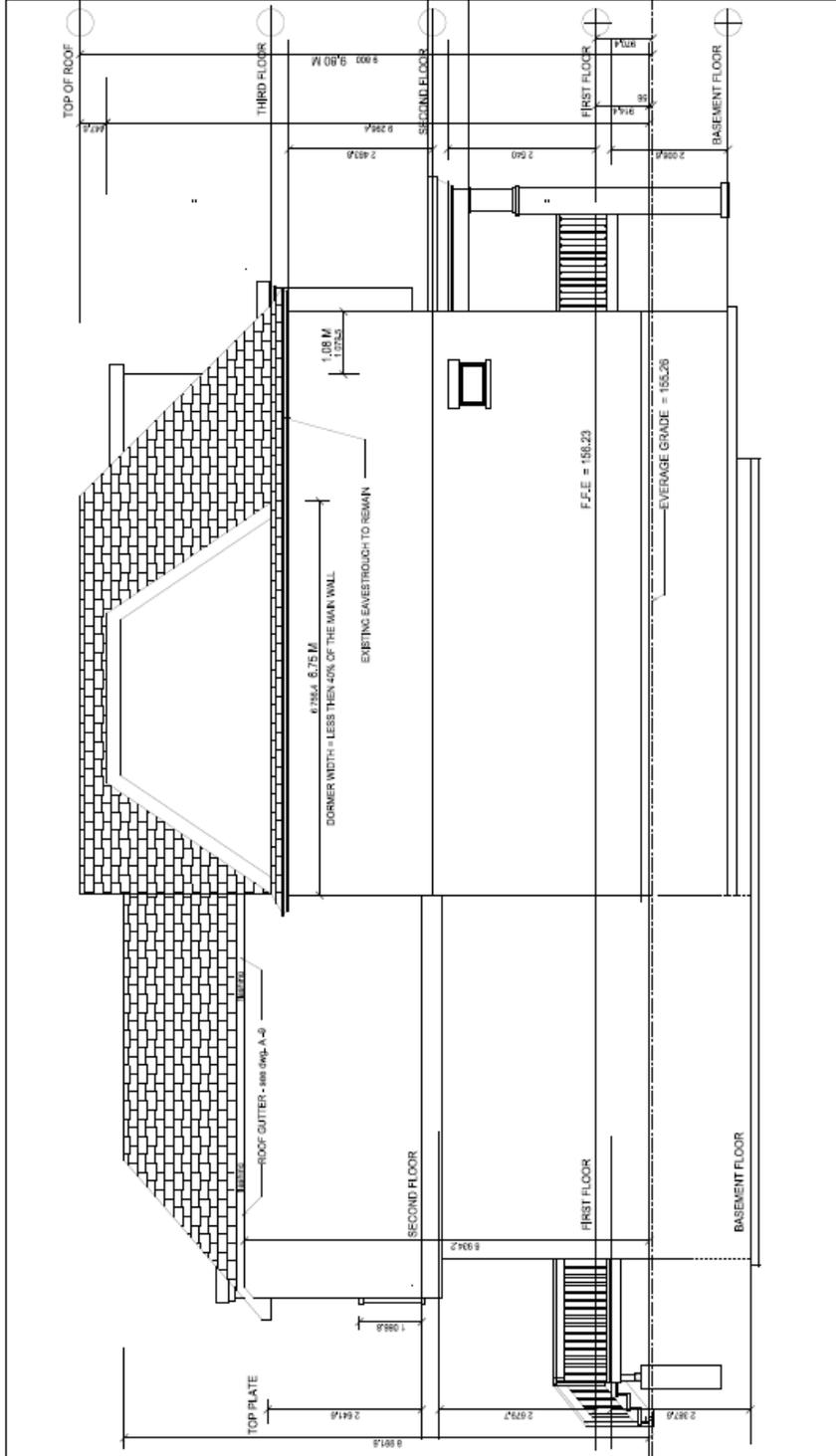
prepared by  
**marbo INT.**  
 1524 Lorne Road #6  
 4th Floor  
 Toronto, Ontario M6G 1S1  
 Tel: 416-593-6606  
 Fax: 416-593-3708

This drawing is protected by copyright.  
 Contractor must check all dimensions  
 only figured dimensions are to be used.  
 Manufacturer's instructions must be followed  
 prior to the beginning of work  
 proceeding.

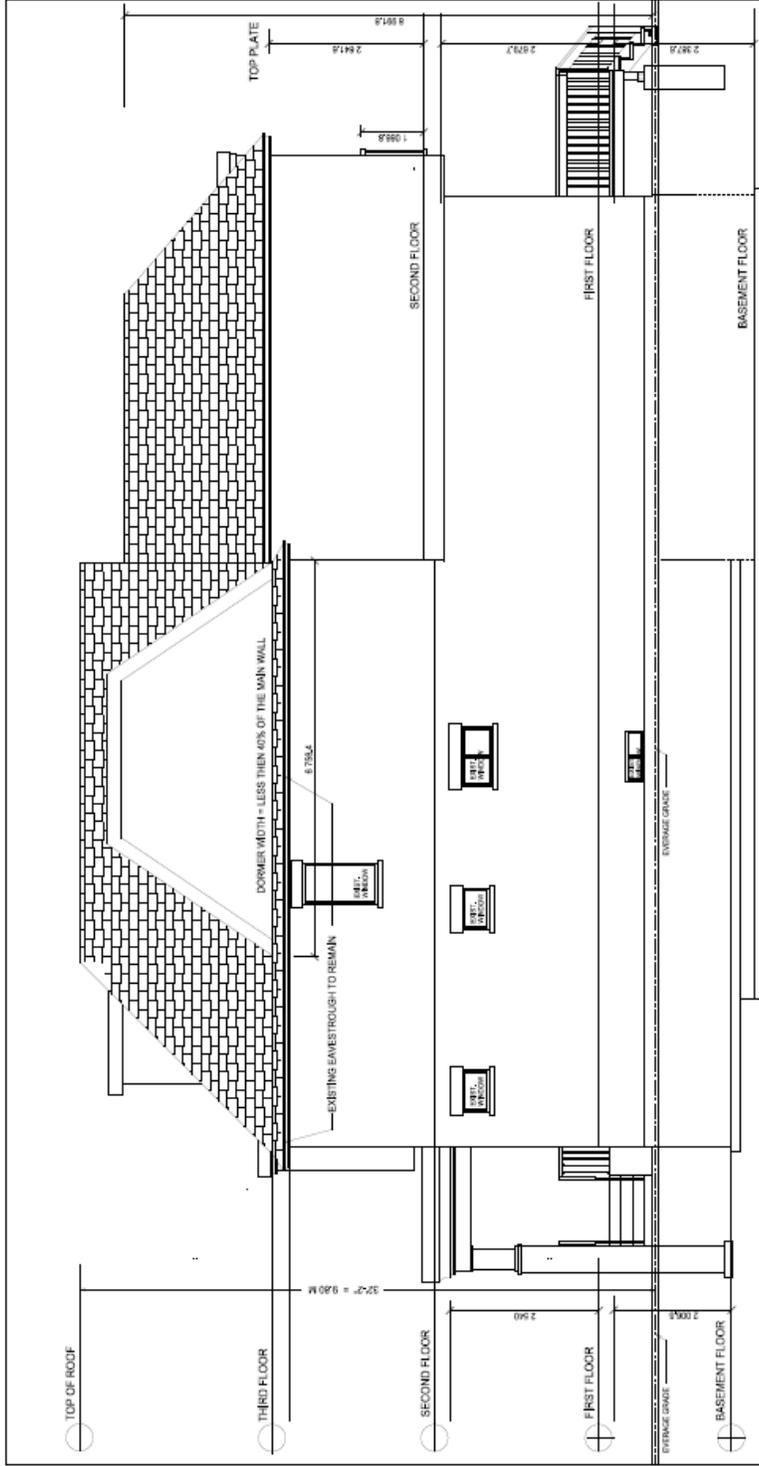
project title  
**ADDITION TO  
 361 SOUDAN AVENUE  
 TORONTO**

drawing title  
**SOUTH ELEVATION**

date  
 March 31, 2016  
 scale  
 1" = 3/16"  
 drawing no.  
 A - 9



prepared by <b>marbo INT.</b> 1324 Lornie Wood Rd. #155-4081 Highway 7 Markham, Ontario L3R 9V6 Tel: 905 478 6606 Fax: 905 478 3708	This drawing is protected by copyright. Contractor must check all dimensions only figured dimensions are to be used. Manufacturer's dimensions must be checked prior to the beginning of work.	project title <b>ADDITION TO          361 SOUDAN AVENUE          TORONTO</b>	drawing title <b>EAST ELEVATION</b>	date April 21, 2017
				scale <b>1" = 3/16"</b>
				drawing no. <b>A - 10</b>



prepared by <b>marbo INT.</b> 1324 Lorne Road #6 135 Spadina Avenue, 3rd Fl. 363 Toronto, Ontario M5S 2G6 Tel: 416-593-6006 Fax: 416-593-3708	This drawing is protected by copyright. Contractor must check all dimensions only figured dimensions are to be used. Measurements must be taken before proceeding.	project title <b>ADDITION TO          361 SOUDAN AVENUE          TORONTO</b>	drawing title <b>WEST ELEVATION</b>	date April 21, 2017
				scale <b>1" = 3/16"</b>
				drawing no. <b>A - 11</b>

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**SIGNATURE PAGE**

File Number:	A0096/17TEY	Zoning	R (d0.6) (x930) & R2 Z0.6 (BLD)
Owner(s):	STANLEY CHO CAROLYN HORBACZYK	Ward:	St. Paul's (22)
Agent:	MARIAN BOJANKIEWICZ	Heritage:	Not Applicable
Property Address:	<b>361 SOUDAN AVE</b>	Community:	Toronto
Legal Description:	PLAN 751 PT LOT 10		

---

Alex Bednar (signed)

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Michael Clark (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0097/17TEY	Zoning	RM(f12.0; u2; d0.8)(x252) & R2 (ZZC)
Owner(s):	EINAT DANIELI GIL COHEN	Ward:	St. Paul's (21)
Agent:	ANDREW TROTTER	Heritage:	Not Applicable
Property Address:	<b>264 ARLINGTON AVE</b>	Community:	York
Legal Description:	PLAN 2487 N PT LOT 22		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey detached dwelling by enclosing the front porch and constructing new front stairs, a pergola over the existing rear deck and a new rear storage shed.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013**  
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.6 m.  
The front stairs will be located 0.17 m from the east front lot line.
- 2. Chapter 10.80.40.70.(3), By-law 569-2013**  
The minimum required side yard setback is 1.2 m.  
The altered detached dwelling will be located 0.29 m from the north side lot line and 1.07 m from the south side lot line.
- 3. Chapter 10.5.40.60.(7), By-law 569-2013**  
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.  
The roof eaves will be located 0.07 m from the north side lot line.
- 1. Section 7(3)(b), By-law 1-83 and By-law 3623-97**  
The minimum required front yard setback is 2.58 m.  
The altered detached dwelling will be located 1.09 m from the front lot line.

**2. Section 7(3)(a), By-law 1-83 and By-law 3623-97**

The minimum required side yard setback is 0.5 m to the north side lot line and 1.2 m to the south side lot line.

The altered detached dwelling will be located 0.29 m from the north side lot line and 1.07 m from the south side lot line.

**3. Section 3.4.7(a)(1), By-law 1-83 and By-law 3623-97**

The maximum permitted projection of an unenclosed porch into the required rear yard setback is 2.4 m.

The rear deck will project 3.51 m into the required rear yard setback.

**4. Section 3.2.1(v), By-law 1-83 and By-law 3623-97**

A minimum of one parking space is required to be provided.

In this case, zero parking spaces will be provided.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

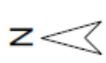
**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The alterations to the dwelling shall be constructed substantially in accordance with the plans dated January 26, 2017. Any variances that may appear on these plans that are NOT listed in the written decision are not authorized.

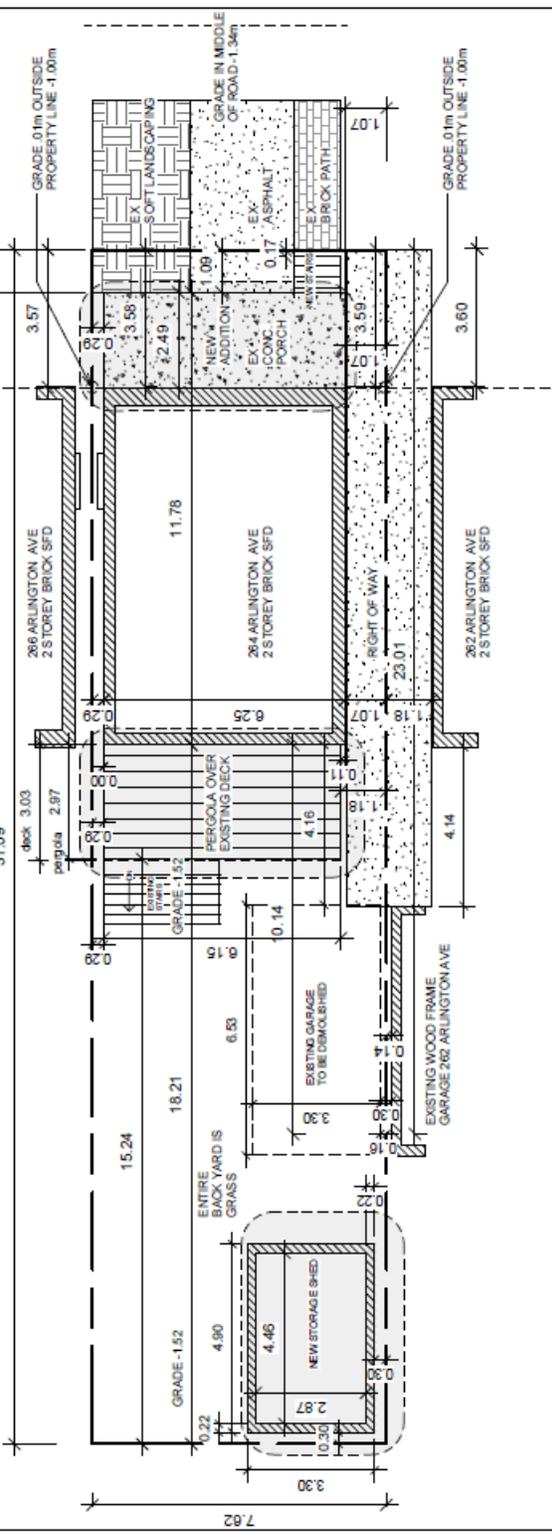


REAR YARD 140.06m<sup>2</sup>  
SOFT LANDSCAPING 11.2m<sup>2</sup> = 80%

LOT 236.91m  
BASEMENT GEIST ROOM 23.36m<sup>2</sup>  
LEVEL 1 EXISTING 57.13m<sup>2</sup>  
NEW ADDITION FRONT PORCH LEVEL 13.31m<sup>2</sup>  
LEVEL 2 EXISTING 57.13m<sup>2</sup>  
TOTAL GFA = 160.95 m<sup>2</sup> / 236.91m<sup>2</sup> = 64 %  
31.09

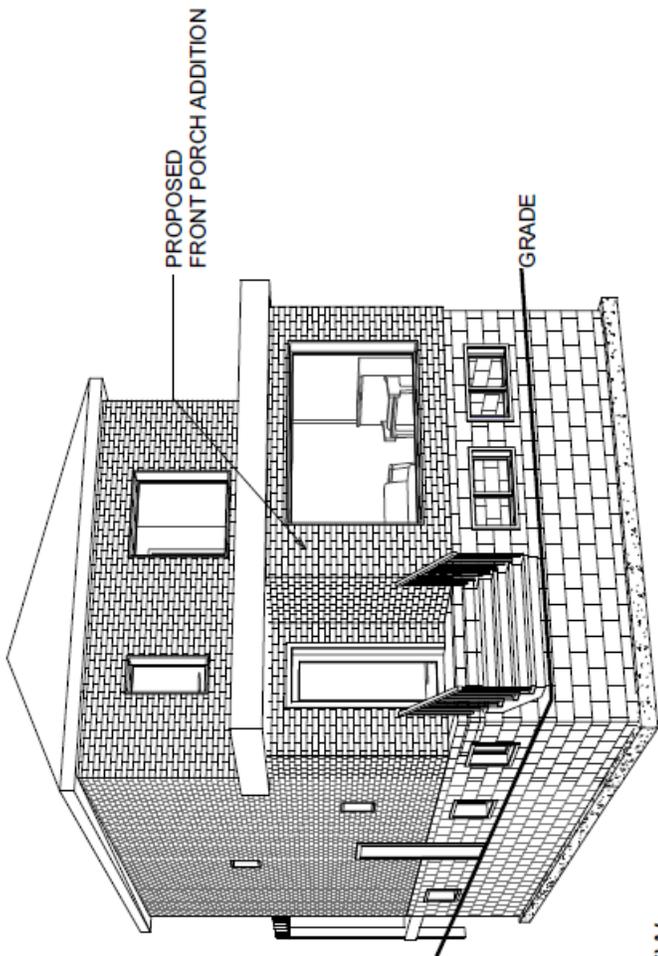
FRONT YARD 27.18m<sup>2</sup>  
SOFT LANDSCAPING 3.6m<sup>2</sup> = 13%

AVERAGE SETBACK 3.59  
NEW SETBACK OF ADDITION 1.09



1 SITE PLAN  
1 : 100

<p><b>AUTDESIGN CA</b> 147 SHERIDAN AVE TORONTO ON M6K 2H6 416 573 7625 obcpermits@gmail.com</p>		<p><b>SITE PLAN</b></p> <p>Project number 2013 Date NOV 2013 Drawn by Andrew Triller AATO Checked by _____ Scale 1 : 100</p>	
<p><b>264 ARLINGTON AVE</b> <b>M6C 2Z7</b></p>		<p><b>CONTRACTOR MUST VERIFY ALL DIMENSIONS</b> FIRST TO COMPLETION OF WORK AND MUST BE RETURNED TO THE DESIGNER ON COMPLETION OF THE WORK FOR ANY OTHER JOB THAN THE ONE FOR WHICH IT WAS APPROVED</p>	
<p>The user agreed to release and take responsibility for the design. The user shall be responsible for all requirements set out in the CITY OF TORONTO BUILDING CODE TO BE OBTAINED REGISTRATION INFORMATION REGISTERED ARCHITECT UNDER 222.23.1 OF THE BUILDING CODE NAME: ANDREW TRILLER PROFESSION: ARCHITECT REGISTRATION INFORMATION REGISTERED ARCHITECT UNDER 222.23.1.4 OF THE BUILDING CODE NAME: ANDREW TRILLER PROFESSION: ARCHITECT</p>			



1 SOUTH EAST VIEW

AUTDESIGN, CA  
 147, SHERIDAN AVE  
 TORONTO ON  
 M6K 2H6  
 416 573 7625  
 obqpermits@gmail.com

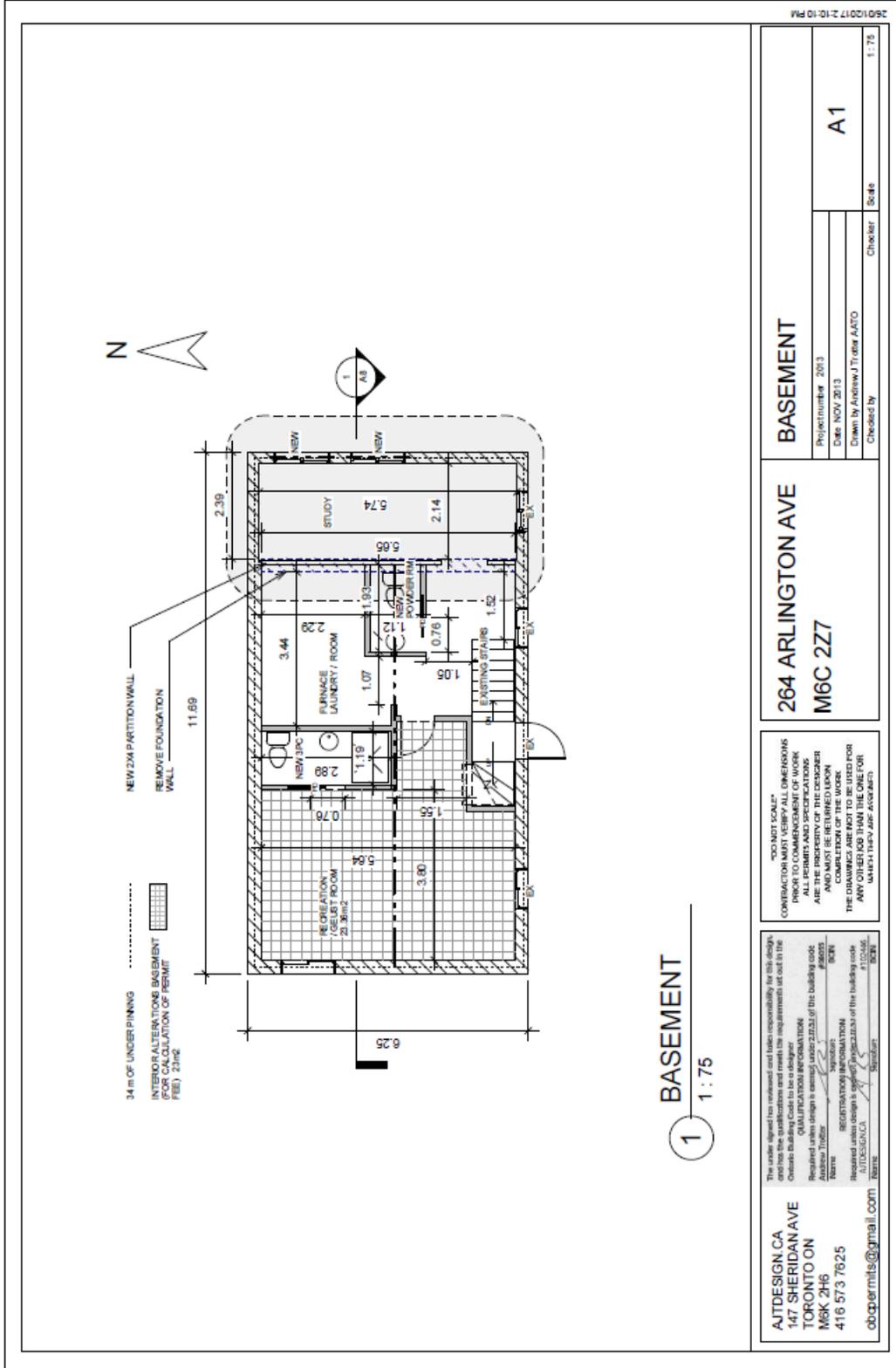
The user agrees to review and takes responsibility for the design and construction of the project. The user agrees to comply with the Ontario Building Code to be a occupier.  
 QUALIFICATION INFORMATION  
 Registered license design is exempt under 3.07.03.1 of the building code  
 Name: [Redacted] License No: [Redacted] Expiry: [Redacted]  
 REGISTRATION INFORMATION  
 Registered license design is exempt under 3.07.03.1 of the building code  
 Name: [Redacted] License No: [Redacted] Expiry: [Redacted]

"DO NOT SCALE"  
 CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK AND MUST BE RETURNED UPON COMPLETION OF THE WORK. THE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PURPOSE THAN THAT FOR WHICH THEY ARE ASSIGNED.

264 ARLINGTON AVE  
 M6C 2Z7

CONCEPT  
 Project Number: 2013  
 Date: NOV 2013  
 Drawn by: Andrew J Triller AATO  
 Checked by:

Checker: [Redacted] Scale: A0



**AT/DESIGN, CA**  
 147 SHERIDAN AVE  
 TORONTO ON  
 M6K 2H6  
 416 573 7625  
 obapermits@gmail.com

**BASEMENT**  
 264 ARLINGTON AVE  
 M6C 2Z7

Project Number: 2013  
 Date: NOV 2013  
 Drawn by: Andrew Trudeau AATO  
 Checked by: \_\_\_\_\_  
 Scale: 1:75

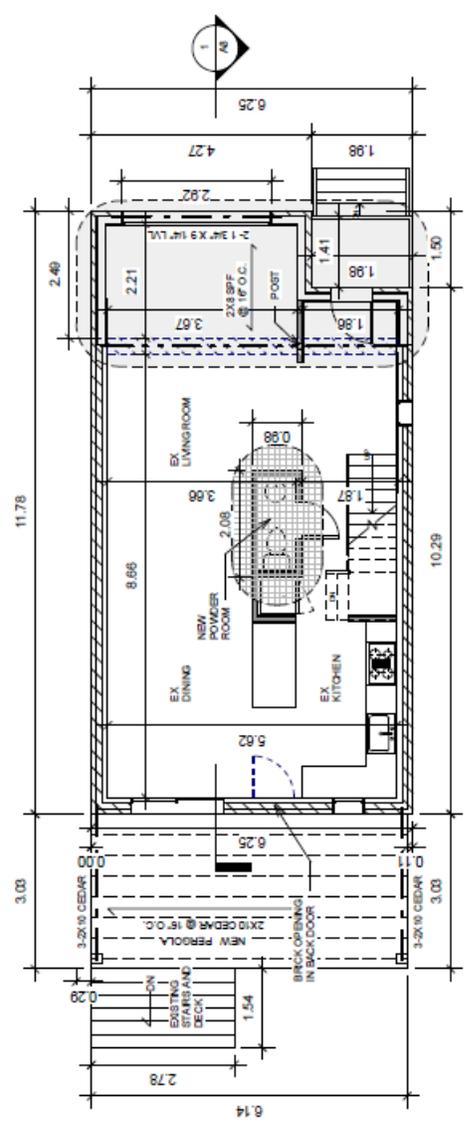
The undersigned has reviewed and takes responsibility for this design and the qualifications and meets the requirements set out in the Ontario Building Code.  
**QUALIFICATION INFORMATION**  
 Required under design is exempt under 2.2.2.3.1 of the building code.  
 Name: Andrew Trudeau  
 Title: Architect  
 Registration Number: 10000  
 Province: ONTARIO

**BASEMENT**  
 1:75

"DO NOT SCALE"  
 CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK AND MUST BE RETURNED UPON COMPLETION OF THE WORK. DIMENSIONS ARE TAKEN FROM THE CENTER POINTS UNLESS OTHERWISE SPECIFIED.



NEW CONSTRUCTION LEVEL 1 13m2  
 INTERIOR ALTERATION LEVEL 1 2m2



1 LEVEL 1  
 1:75

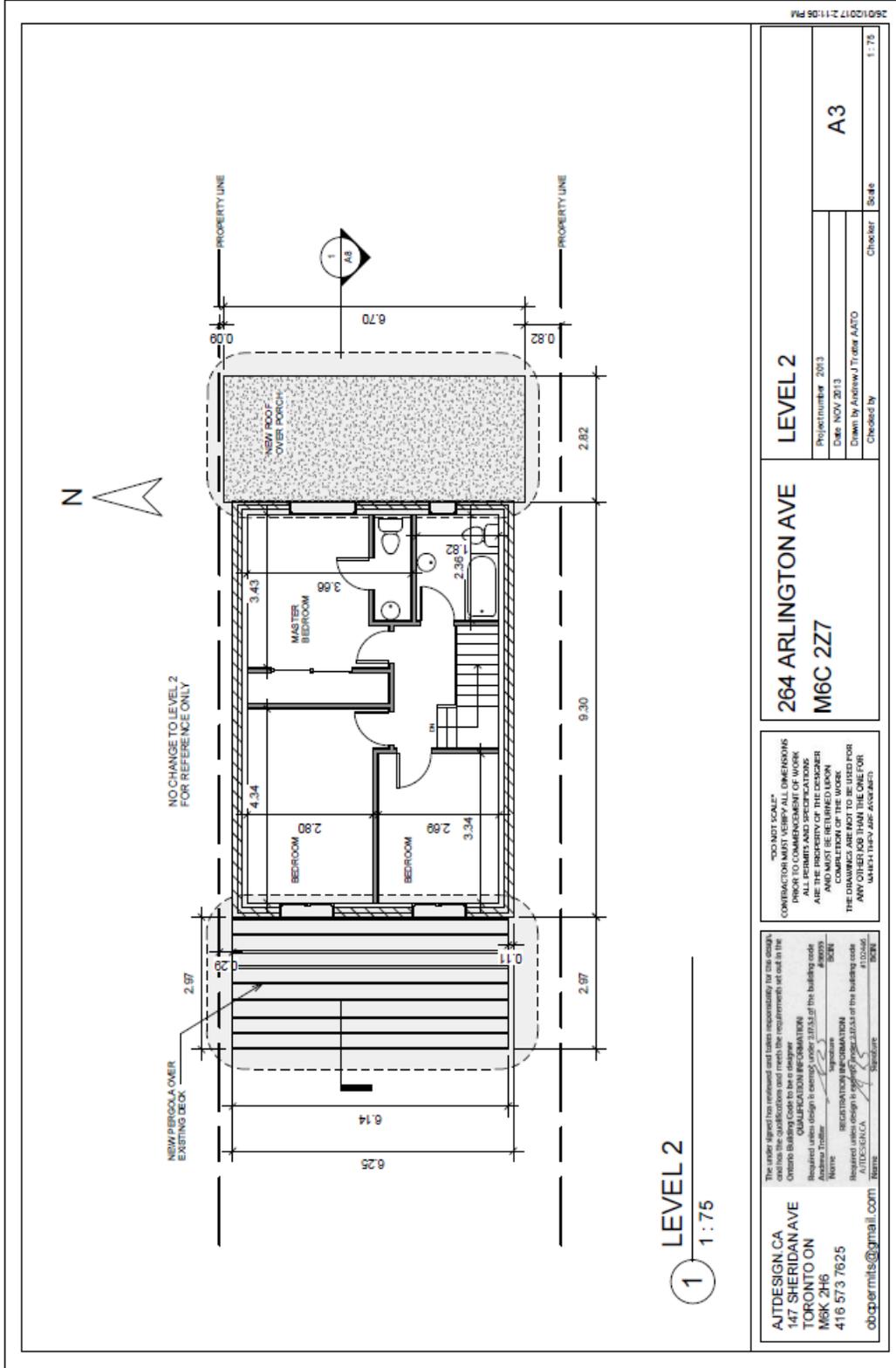
AUTDESIGN, CA  
 147, SHERIDAN AVE  
 TORONTO ON  
 M6K 2H6  
 416 573 7625  
 obapermits@gmail.com

The undersigned has reviewed and takes responsibility for this design, and that the qualifications and meet the requirements set out in the Ontario Building Code Act and Regulations.  
 QUALIFICATION INFORMATION  
 Required under design is exempt under 2.2.2.3.1 of the building code.  
 Name: Andrew Triller  
 Title: Architect  
 Registration Number: 10000  
 Registered under the Building Code Act, R.S.O. 1990, Chapter B.12, s. 12.1(1).  
 Registered under the Building Code Act, R.S.O. 1990, Chapter B.12, s. 12.1(1).  
 Registered under the Building Code Act, R.S.O. 1990, Chapter B.12, s. 12.1(1).

"DO NOT SCALE"  
 CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK AND MUST BE RETURNED UPON COMPLETION OF THE WORK. THE DIMENSIONS ARE NOT TO BE USED FOR ANY OTHER PURPOSE THAN THAT FOR WHICH THEY ARE ASSIGNED.

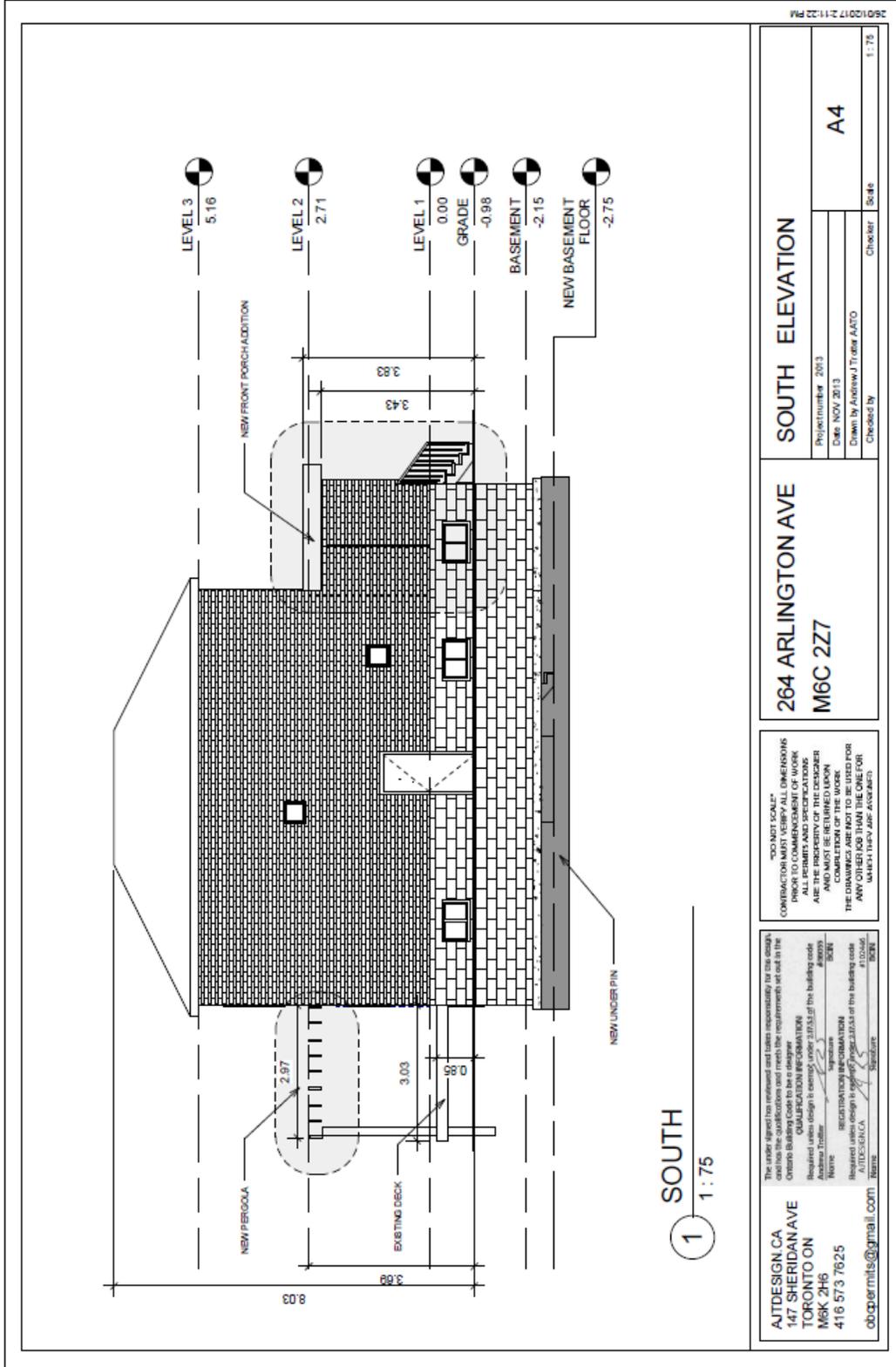
264 ARLINGTON AVE  
 M6C 2Z7

LEVEL 1  
 Project Number: 2013  
 Date: NOV 2013  
 Drawn by: Andrew Triller A.A.T.O.  
 Checked by: \_\_\_\_\_  
 Checker: \_\_\_\_\_  
 Scale: 1:75



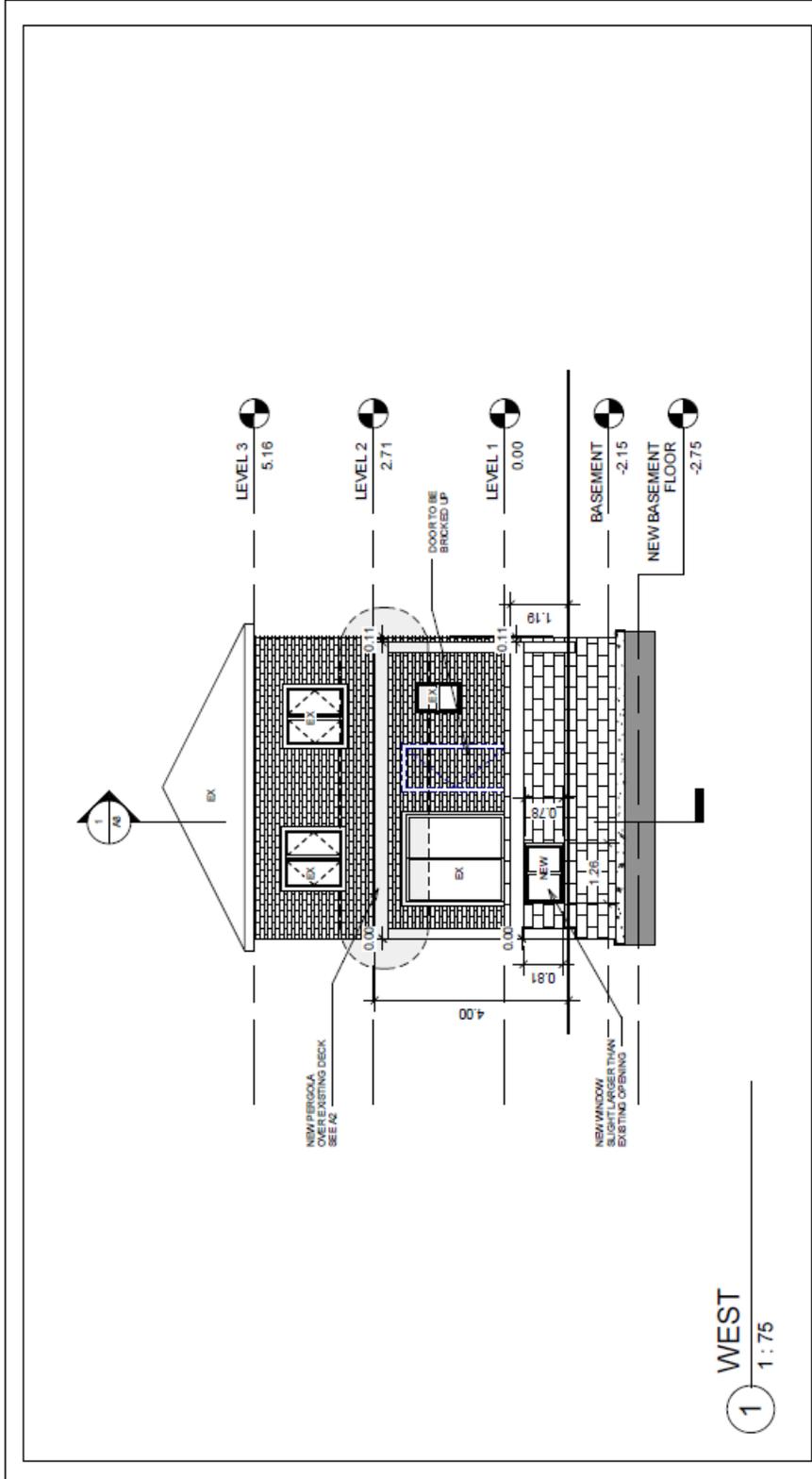
1 LEVEL 2  
1:75

<p><b>AUTDESIGN, CA</b> 147 SHERIDAN AVE TORONTO ON M6K 2H6 416 573 7625 obpapermits@gmail.com</p>		<p><b>LEVEL 2</b></p>	
<p>The undersigned has reviewed and takes responsibility for the design and construction of the building and its components set out in the Ontario Building Code to be a complete and accurate representation of the design and construction of the building.</p>		<p>Project Number: 2013 Date: NOV 2013 Drawn by: Andrew J Triller AATO Checked by: _____ Scale: 1:75</p>	
<p>Required license design is exempt under 3.07.03.1 of the building code Autodesk Triller Name: _____ Registration Information Autodesk Triller, CA Registration Number: _____ Registration State: _____</p>		<p>264 ARLINGTON AVE M6C 2Z7</p>	
<p>Required license design is exempt under 3.07.03.1 of the building code Autodesk Triller, CA Registration Number: _____ Registration State: _____</p>		<p>"DO NOT SCALE" CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK AND MUST BE RETURNED UPON COMPLETION OF THE WORK WITHIN 48 HOURS FROM THE DATE FOR WHICH THEY ARE ASSIGNED.</p>	



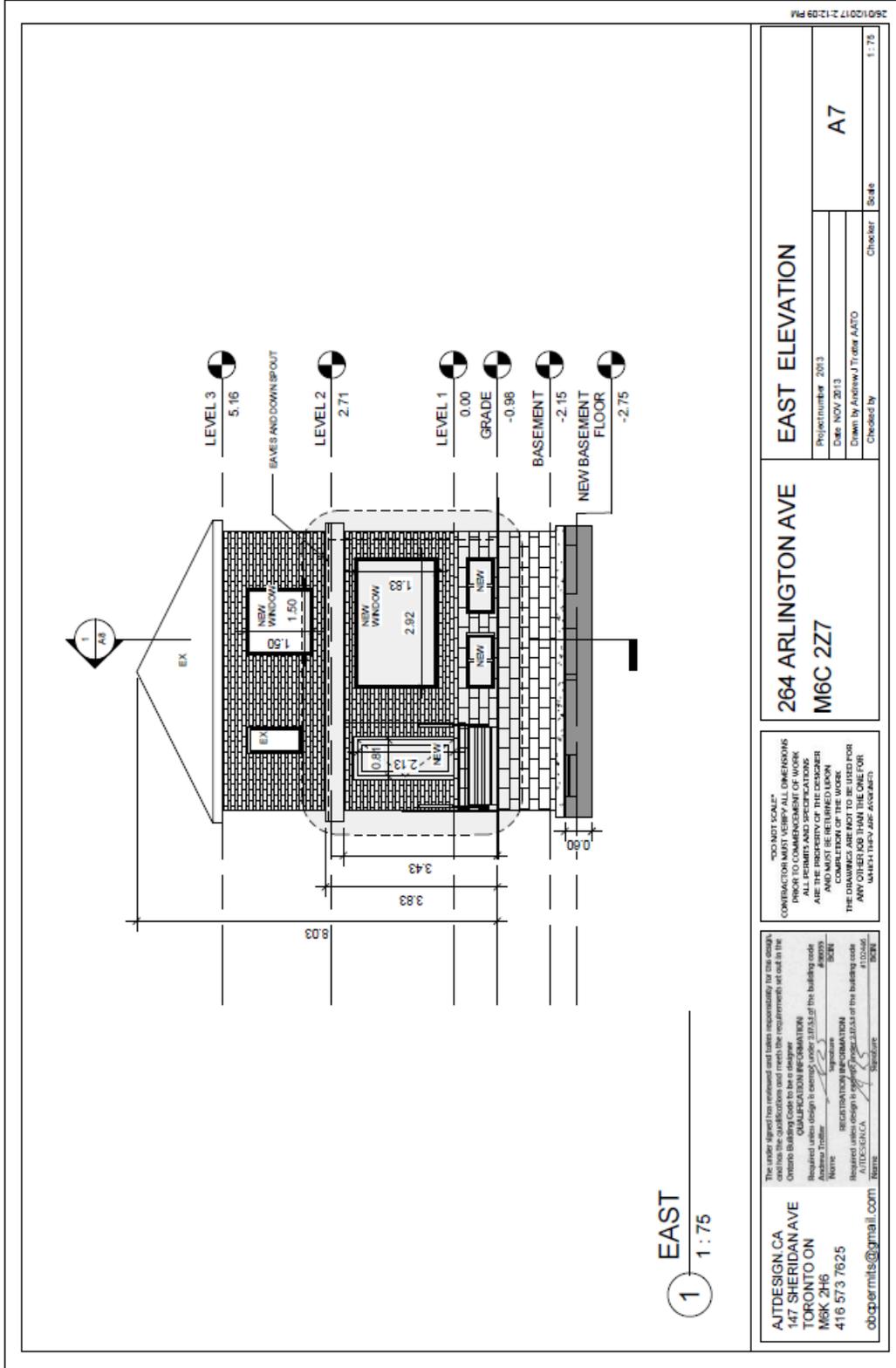
<p><b>AUTDESIGN, CA</b>          147 SHERIDAN AVE          TORONTO ON          M6K 2H6          416 573 7625          obcpermits@gmail.com</p>		<p><b>SOUTH ELEVATION</b></p>	
<p>The user agrees to indemnify and hold the architect harmless for the design of the building and any other requirements set out in the Ontario Building Code to be a complete and accurate representation of the building design.</p>		<p><b>264 ARLINGTON AVE</b>  <b>M6C 2Z7</b></p>	
<p>Required unless design is exempt under 3.07.03.1 of the building code          Name: _____          Title: _____          Registration Information: _____          License No.: _____          Expiry Date: _____</p>		<p>Project Number: 2013          Date: NOV 2013          Drawn by: Andrew J Triller A.A.T.O.          Checked by: _____          Scale: 1:7.5</p>	
<p>Required unless design is exempt under 3.07.03.1 of the building code          Name: _____          Title: _____          Registration Information: _____          License No.: _____          Expiry Date: _____</p>		<p><b>"DO NOT SCALE"</b>          CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK AND MUST BE RETURNED UPON COMPLETION OF THE WORK WITHIN 48 HOURS OF THE DATE ON WHICH THEY ARE ASSIGNED.</p>	





1 WEST  
1:75

<p><b>AUTDESIGN, CA</b> 147, SHERIDAN AVE TORONTO ON M6K 2H6 416 573 7625 obpapermits@gmail.com</p>		<p><b>WEST ELEVATION</b></p>	
<p>The undersigned has reviewed and takes responsibility for the design of the building and its components. The requirements set out in the Ontario Building Code to be a responsible professional engineer.</p> <p>Required unless design is exempt under 3.0.3.3.3 of the building code          Name: <u>Andrew J. Triller</u> License No: <u>10000</u> Firm: <u>OBP</u></p> <p>Required unless design is exempt under 3.0.3.3.3 of the building code          Name: <u>Andrew J. Triller</u> License No: <u>10000</u> Firm: <u>OBP</u></p>		<p><b>264 ARLINGTON AVE</b> <b>M6C 2Z7</b></p>	
<p>Project number: 2013 Date: NOV 2013 Drawn by: Andrew J. Triller AATO Checked by: _____ Scale: 1:75</p>		<p><b>WEST ELEVATION</b></p>	
<p><b>"DO NOT SCALE"</b> CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK AND MUST BE RETURNED UPON COMPLETION OF THE WORK. THE DRAWING AND ANY INFORMATION WHICH THEY ARE ASSIGNED.</p>			



1 EAST  
1:75

<p><b>AUTDESIGN, CA</b> 147, SHERIDAN AVE TORONTO ON M6K 2H6 416 573 7625 obp@permits@gmail.com</p>		<p><b>EAST ELEVATION</b></p>	
<p>The user agrees to review and takes responsibility for the design. The user agrees to verify the requirements set out in the Ontario Building Code to be a complete QUALIFICATION INFORMATION Required license design is exempt under 3.07.03.1 of the building code Autodesk Titleblock Name: _____ Registration Number: _____ Required license design is exempt under 3.07.03.1 of the building code AUTDESIGN, CA Name: _____ Registration Number: _____</p>		<p><b>264 ARLINGTON AVE</b> <b>M6C 2Z7</b></p>	
<p><b>CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK AND MUST BE RETURNED UPON COMPLETION OF THE WORK WHICH ARE FROM THE OWNER WHICH THEY ARE ASSIGNED.</b></p>		<p>Project Number: 2013 Date: NOV 2013 Drawn by: Andrew J Triller A.A.T.O. Checked by: _____ Scale: 1:75</p>	





## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**SIGNATURE PAGE**

File Number:	A0097/17TEY	Zoning	RM(f12.0; u2; d0.8)(x252) & R2 (ZZC)
Owner(s):	EINAT DANIELI GIL COHEN	Ward:	St. Paul's (21)
Agent:	ANDREW TROTTER	Heritage:	Not Applicable
Property Address:	<b>264 ARLINGTON AVE</b>	Community:	York
Legal Description:	PLAN 2487 N PT LOT 22		

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Alex Bednar (signed)

---

Michael Clark (signed)

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Donald Granatstein (signed)

---

Carl Knipfel (signed)

---

Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0098/17TEY	Zoning:	CR (SS1) & MCR (BLD)
Owner(s):	NO-JO HOLDINGS INC	Ward:	Trinity-Spadina (20)
Agent:	PETER MCNEIL	Heritage:	Not Applicable
Property Address:	<b>1086 BATHURST ST</b>	Community:	Toronto
Legal Description:	PLAN 696 LOT 1 PT LOT 2		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the approved building permit plans issued under permit 16 26098 BLD for alterations to an existing two-storey mixed-use building by adding a window on the south side of the building.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 40.10.40.70.(2)(C), By-law 569-2013 (Development Standard Set 2)**  
The minimum required setback for a main wall that has windows or openings that is not adjacent to a street or lane is 5.5 m.  
In this case, the main wall with a new window will be located 0.25 m from the south lot line.
- Section 8(3) Part II 1(A)(II), By-law 438-86**  
A window of a dwelling unit shall not be closer than 5.5 m to a lot line that is not a street line or from a wall of a building.  
In this case, the new window will be located 0.25 m from the south lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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## SIGNATURE PAGE

File Number:	A0098/17TEY	Zoning	CR (SS1) & MCR (BLD)
Owner(s):	NO-JO HOLDINGS INC	Ward:	Trinity-Spadina (20)
Agent:	PETER MCNEIL	Heritage:	Not Applicable
Property Address:	<b>1086 BATHURST ST</b>	Community:	Toronto
Legal Description:	PLAN 696 LOT 1 PT LOT 2		

---

Alex Bednar (signed)

---

Michael Clark (signed)

---

Donald Granatstein (signed)

---

Carl Knipfel (signed)

---

Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

### 30. 11 SIMPSON AVE

File Number:	A0099/17TEY	Zoning	R (d0.6)(x736) & R2 Z0.6 (ZZC)
Owner(s):	KAIFU CHI PENG JIN	Ward:	Toronto-Danforth (30)
Agent:	PENG JIN	Heritage:	Not Applicable
Property Address:	<b>11 SIMPSON AVE</b>	Community:	Toronto
Legal Description:	PLAN M95 LOT 89 LOT 90		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

#### PURPOSE OF THE APPLICATION:

To construct a new three-storey detached dwelling with an integral garage.

#### REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), By-law 569-2013**  
A minimum of 10.0 m<sup>2</sup> of the first floor is required to be within 4.0 m of the front main wall. In this case, a total of 3.93 m<sup>2</sup> of the first floor will be within 4.0 m of the front wall.
  - 2. Chapter 10.10.40.10.(1)(A), By-law 569-2013**  
The maximum permitted height of a building or structure is 10.0 m.  
The new dwelling will have a building height of 10.79 m.
  - 3. Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.  
The height of the side exterior main walls facing a side lot line is 10.57 m.
  - 4. Chapter 10.10.40.30.(1)(A), By-law 569-2013**  
The maximum permitted building depth is 17.0 m.  
The new detached dwelling will have a building depth of 18.0 m.
  - 5. Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.6 times the area of the lot (157.64 m<sup>2</sup>).  
The new detached dwelling will have a floor space index equal to 0.86 times the area of the lot (226.61 m<sup>2</sup>).
  - 6. Chapter 10.10.40.70.(3)(A)(i), By-law 569-2013**  
The minimum required side yard setback for a detached house is 0.9 m.  
The new detached dwelling will be located 0.5 m from the west side lot line.
- 1. Section 4(2)(a), By-law 438-86**  
The maximum permitted height of a building is 10.0 m.  
The new dwelling will have a building height of 10.79 m.

**2. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted residential gross floor area is 0.6 times the area of the lot (157.64 m<sup>2</sup>). The new detached dwelling will have a residential gross floor area equal to 0.86 times the area of the lot (226.61 m<sup>2</sup>).

**3. Section 6(3) Part II 3(II), By-law 438-86**

The minimum required side lot line setback from the side wall of an adjacent building that contains openings is 1.2 m. The new detached dwelling will be setback 0.9 m from the side wall of the west adjacent building at 9 Simpson Avenue, which contains openings.

**4. Section 6(3) Part II 3.B(II), By-law 438-86**

The minimum required side lot line setback for the portion of the dwelling not exceeding a depth of 17 m is 0.9 m. The new detached dwelling will be located 0.5 m from the west side lot line.

**5. Section 6(3) Part II 3.B(II), By-law 438-86**

The minimum required side lot line setback for the portion of the building exceeding a depth of 17.0 m is 7.5 m. The 1.0 m portion of the new three-storey dwelling, exceeding the 17 m depth, will be setback 0.5 m from the west side lot line and 2.05 m from the east side lot line.

**MOTION**

It was moved by Alex Bednar and seconded by Carl Knipfel, and carried unanimously that that the application be **deferred, for a maximum of 3 months**. The deferral would provide the applicant with an opportunity to discuss the proposal in more detail with City Planning staff and area residents. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel B**.

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0100/17TEY	Zoning:	OR (Waiver)
Owner(s):	TORONTO PUBLIC LIBRARY BOARD	Ward:	St. Paul's (21)
Agent:	ERUC RIDDELL	Heritage:	Listed
Property Address:	<b>1433 BATHURST ST</b>	Community:	Toronto
Legal Description:	PLAN D1380 LOT 1 LOT 2 S PT LOT 3		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To demolish the existing south side addition and to construct a two-storey addition on the south side and rear of the existing Toronto Library (Wychwood) with portion to be used by Wells Hill Lawn Bowling Club (private club use).

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 200.5.10.1.(1), By-Law 569-2013**

The minimum required number of additional parking spaces required for the new library area is at a minimum rate of 0.5 for each 100 square meters of gross floor area, in this case 4.49 required parking spaces.

In this case, 0 additional parking spaces will be provided.

**2. Chapter 90.30.40.70.(2)(B), By-Law 569-2013**

The minimum required rear and side yard setbacks are 3.0 m.

The rear yard setback will be 0.0 m.

The north side yard setback will be 1.31 m.

The south side yard setback will be 0.0 m.

**3. Chapter 220.5.10.1.(8), B-Law 569-2013**

A building with ... any other use similar involving shipping, loading ... must provide a minimum of one loading space for 500 to 2,300 square meters of Gross Floor Area. One loading space is required.

No additional loading spaces will be provided.

**1. Section 8(3) Part II 4(a), By-Law 438-86**

The by-law requires the building to be set back a distance of at least 7.5 m from a lot in a residential (R) or park (G) district.

The building wall will be set back 0.0 m from the adjacent G district to the east.

The canopy projection, on the east side, overhangs the property line 1.8 m on the adjacent G district to the east.

**2. Section 12(2)222, By-Law 438-86**

No person shall, in any CR or MCR district of Bathurst-St. Clair, erect any non-residential building or the non-residential portion of a mixed-use building in such a manner so that the front wall of any such building is located more than 0.3 m from the front lot line.

New portions of the front wall vary from 11.76 m to 14.5 m away from the front lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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**SIGNATURE PAGE**

File Number:	A0100/17TEY	Zoning	OR (Waiver)
Owner(s):	TORONTO PUBLIC LIBRARY BOARD	Ward:	St. Paul's (21)
Agent:	ERUC RIDDELL	Heritage:	Listed
Property Address:	<b>1433 BATHURST ST</b>	Community:	Toronto
Legal Description:	PLAN D1380 LOT 1 LOT 2 S PT LOT 3		

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Alex Bednar (signed)

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Michael Clark (signed)

---

Donald Granatstein (signed)

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Carl Knipfel (signed)

---

Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

---

Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0101/17TEY	Zoning	R (d0.6) & R2 Z0.6 (WAIVER)
Owner(s):	DANIEL HIMMEL JOSHUA HIMMEL	Ward:	St. Paul's (21)
Agent:	CLIVE GRANDFIELD	Heritage:	Not Applicable
Property Address:	<b>150 RUSHTON RD</b>	Community:	Toronto
Legal Description:	PLAN D1346 PT LOT 8 PT LOT 9		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey semi-detached dwelling by constructing a rear two-storey addition and first and second floor front and side bay windows.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.10.40.30.(1)(A), By-law 569-2013**  
The maximum permitted building depth is 17.0 m.  
The altered dwelling will have a building depth of 17.7 m.
- 2. Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.6 times the area of the lot (89.67 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 1.04 times the area of the lot (155.56 m<sup>2</sup>).
- 3. Chapter 10.10.40.70.(1), By-law 569-2013**  
The minimum required front yard setback is 3.12 m.  
The altered dwelling will be located 2.43 m from the front lot line.
- 4. Chapter 10.5.40.60.6(B)(ii), By-law 569-2013**  
A bay window, or other window projection from a main wall of a building, which increases floor area or enclosed space and does not touch the ground, may encroach provided that they are no closer to the side lot line than 0.6 m.  
In this case, the window will be located 0.1 m from the south lot line.

1. **Section 6(3) Part II 3.C(II), By-law 438-86**  
The minimum required side lot line setback where the side wall contains openings is 0.9 m.  
The altered dwelling will be located 0.1 m to the south side lot line at the bay window.
2. **Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted gross floor area is 0.6 times the area of the lot (89.67 m<sup>2</sup>).  
The altered dwelling will have a gross floor area equal to 1.04 times the area of the lot (155.56 m<sup>2</sup>).
3. **Section 6(3) Part II 2(II), By-law 438-86**  
The minimum required front yard setback is 3.12 m.  
The altered dwelling will be located 2.43 m from the front lot line at the enlarged bay window.
4. **Section 6(3) Part II 5(II), By-law 438-86**  
The maximum permitted building depth is 17.0 m.  
The altered dwelling will have a building depth of 17.6 m.
5. **Section 6(3) Part II 3(II), By-law 438-86**  
The minimum required setback to the portion of the side wall of an adjacent building that contains openings is 1.2 m.  
In this case, the altered dwelling will be located 0.52 m from the adjacent building.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The alterations to the dwelling shall be constructed substantially in accordance with the plans received by the Committee of Adjustment on October 1, 2016, with the exception of the north side wall of the rear addition which will not be a party wall. Any variances that may appear on these plans that are NOT listed in the written decision are not authorized.



DESIGNERS COLLABORATIVE

(416) 533-0916

150 RUSHTON RD.

PROJECT PROPOSAL

DRAWINGS PROPOSE ENLARGING FRONT BAY WINDOW, REBUILDING SIDE BAY WINDOW REDUCING DEPTH AND GLASS AREA, ADDING NEW 2 STOREY REAR ADDITION EXTENDING PARTY WALL, UNPINNING AND BENCHING BASEMENT AND INTERIOR ALTERATIONS

AREA CALCULATIONS

LOT AREA : 16.5' x 97.5' = 1,608.7 SF (149.45 M<sup>2</sup>)  
FLOOR INDEX : 0.69% = 1,110.0 sf

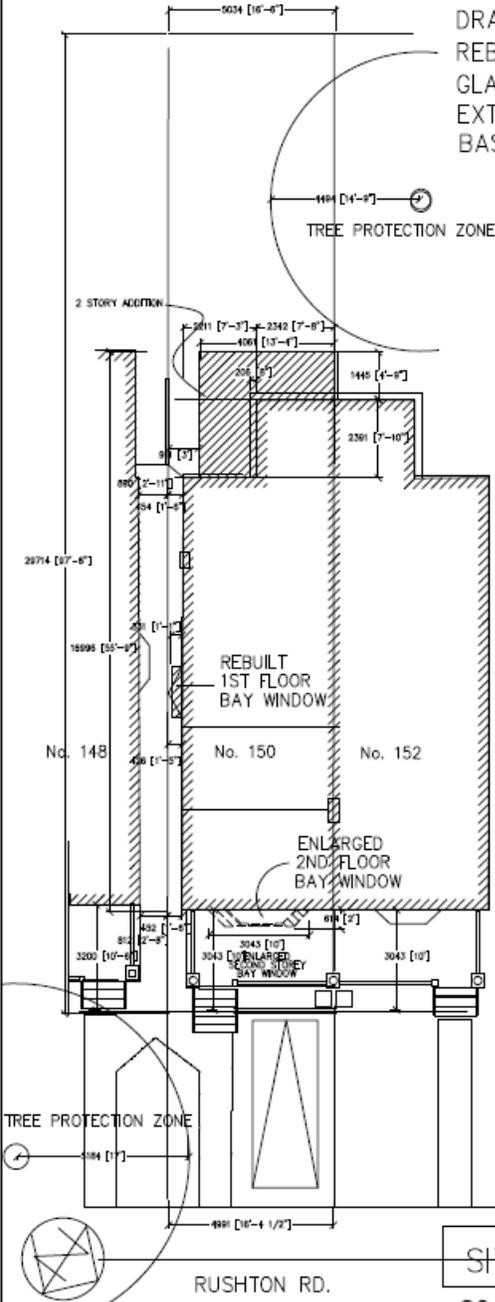
	EXISTING	NEW	PROPOSED
EXISTING 1ST FLOOR	714.5 SF	114.5 SF	829 SF
EXISTING SECOND FLOOR	729.5 SF	116 SF	845.5 SF

GROSS FLOOR AREA 1,444 SF 230.5 SF 1,674.5 SF

FLOOR INDEX : 0.69% = 103.12 M<sup>2</sup>

	EXISTING	NEW	PROPOSED
EXISTING 1ST FLOOR	66.38	10.64	77.02
EXISTING SECOND FLOOR	67.77	10.78	78.55

GROSS FLOOR AREA 134.15 M<sup>2</sup> 21.42 M<sup>2</sup> 155.56 M<sup>2</sup>



SITE PLAN

SCALE 1:150

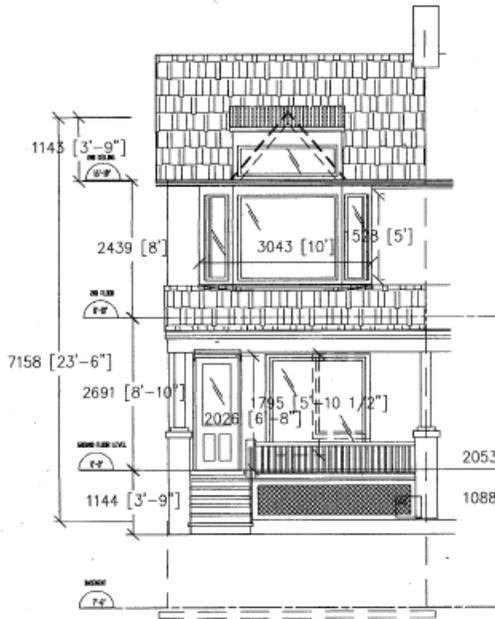
DRAWING PROVIDED BY:  
 DESIGNERS COLLABORATIVE  
 154 HOWLAND AVE.  
 TORONTO, ONT. M5R 3B6  
 BUILDING CODE IDENTIFICATION NUMBER  
 34817  
DATE: (DATE CHANGED)







OCT. 1, 2016



FRONT ELEVATION

DESIGNED PREPARED BY  
 DESIGNERS COLLABORATIVE  
 104 HOWLAND AVE  
 TORONTO, ONT. M5R 3B6  
 BUILDING CODE IDENTIFICATION NUMBER  
 [34817]  
 DATE (DATE SHOWN)

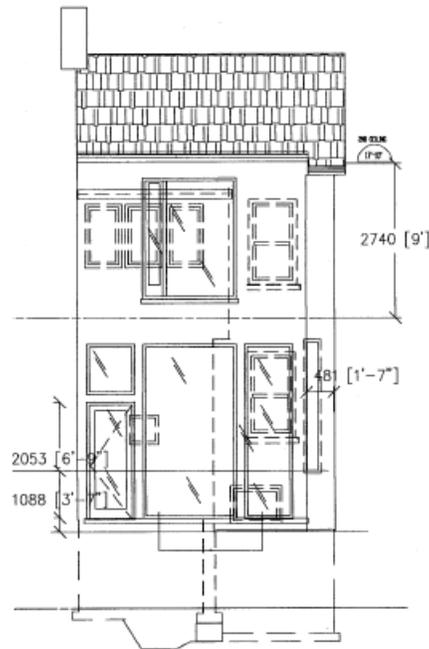
SCALE 1:75



DESIGNERS COLLABORATIVE

(416) 533-0916

OCT. 1, 2016



WEST ELEVATION

DESIGNED PREPARED BY  
DESIGNERS COLLABORATIVE  
104 HOWLAND AVE  
TORONTO, ONT. M5R 3B6  
BUILDING CODE IDENTIFICATION NUMBER  
34817  
DATE (CLAUDE SHAMFIELD)

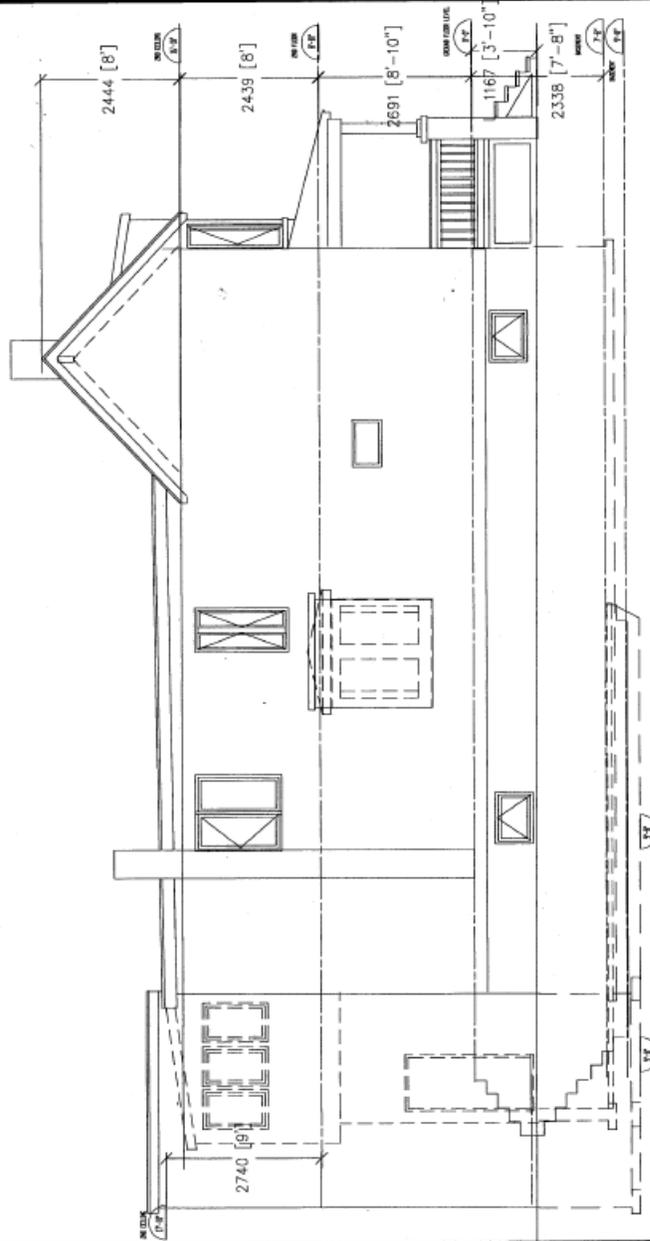
SCALE 1:75



DESIGNERS COLLABORATIVE

(416) 533-0916

OCT. 1, 2016

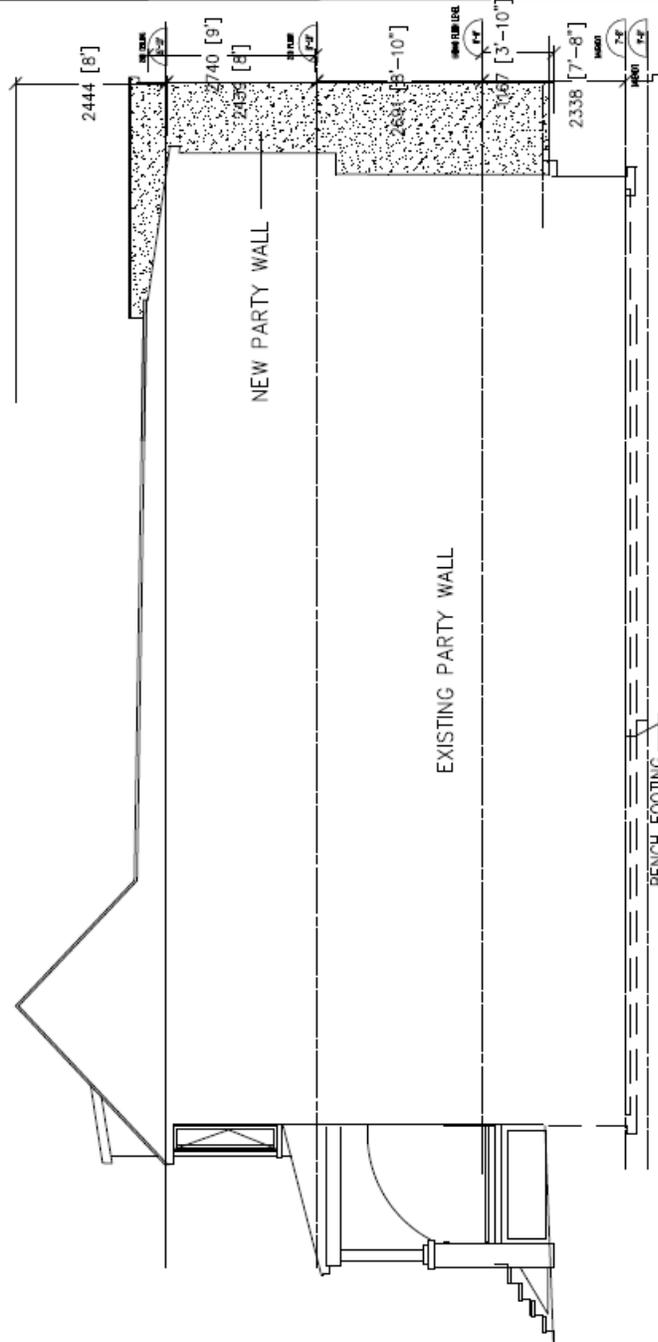


SOUTH ELEVATION

DESIGNERS COLLABORATIVE  
ARCHITECTS  
1000 DUNDAS ST. W.  
TORONTO, ONT. M5G 1A5  
BUILDING CODE IDENTIFICATION NUMBER  
DATE 10/1/16  
DRAW NUMBER 02

SCALE 1:75

JAN. 20, 2016



DESIGNED BY  
 DESIGNERS COLLABORATIVE  
 TORONTO, ONT. M5R 3B5  
 BUILDING CODE IDENTIFICATION NUMBER  
 34817  
 DATE: 01/20/16

NORTH ELEVATION

SCALE 1:75

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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**SIGNATURE PAGE**

File Number:	A0101/17TEY	Zoning	R (d0.6) & R2 Z0.6 (WAIVER)
Owner(s):	DANIEL HIMMEL JOSHUA HIMMEL	Ward:	St. Paul's (21)
Agent:	CLIVE GRANDFIELD	Heritage:	Not Applicable
Property Address:	<b>150 RUSHTON RD</b>	Community:	Toronto
Legal Description:	PLAN D1346 PT LOT 8 PT LOT 9		

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Alex Bednar (signed)

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Michael Clark (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0102/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZPR)
Owner(s):	ELEANORE LINDO	Ward:	Beaches-East York (32)
Agent:	JULIA BOURQUE	Heritage:	Not Applicable
Property Address:	<b>297 WAVERLEY RD</b>	Community:	Toronto
Legal Description:	PLAN M252 PT LOT 33		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing 2½-storey detached dwelling by constructing a rear third storey addition.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.10.40.10.(1)(A), By-law 569-2013**  
The maximum permitted building height is 10 m.  
The altered detached dwelling will have a height of 10.24 m.
- 2. Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.  
The height of the side exterior main walls facing a side lot line will be 10.02 m.
- 3. Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (158.81 m<sup>2</sup>).  
The altered detached dwelling will have a floor space index equal to 0.72 times the area of the lot (189.92 m<sup>2</sup>).
- 1. Section 4(2)(a), By-law 438-86**  
The maximum permitted building height is 10 m.  
The altered detached dwelling will have a height of 10.24 m.
- 2. Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (158.81 m<sup>2</sup>).  
The altered detached dwelling will have a gross floor area equal to 0.72 times the area of the lot (189.92 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

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To appeal this decision to the OMB you need the following:

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**SIGNATURE PAGE**

File Number:	A0102/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZPR)
Owner(s):	ELEANORE LINDO	Ward:	Beaches-East York (32)
Agent:	JULIA BOURQUE	Heritage:	Not Applicable
Property Address:	<b>297 WAVERLEY RD</b>	Community:	Toronto
Legal Description:	PLAN M252 PT LOT 33		

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Alex Bednar (signed)

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Michael Clark (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0103/17TEY	Zoning:	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	L & M WESTBURY INC	Ward:	Davenport (18)
Agent:	FRANCESCO PANZA	Heritage:	Not Applicable
Property Address:	<b>308 SALEM AVE</b>	Community:	Toronto
Legal Description:	PLAN 622 BLK S PT LOT 29		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing 2½-storey detached dwelling containing two dwelling units by adding a third dwelling unit in the basement.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Section 6(2), 1(iii)A, By-law 438-86**

The maximum permitted floor space of an addition to a converted house is 0.15 times the area of the lot (42.31 m<sup>2</sup>).

The rear two-storey addition previously permitted under building permit 15-152316 BLD will have an area equal to 0.26 times the area of the lot (73.44 m<sup>2</sup>).

**2. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (169.22 m<sup>2</sup>).

The altered dwelling will have a gross floor area equal to 0.86 times the area of the lot (243.39 m<sup>2</sup>).

**3. Section 6(2) 1(v), By-law 438-86**

A converted dwelling is permitted provided that there is no substantial change in the appearance of the dwelling as the result of the conversion.

In this case, the rear two-storey addition previously permitted under building permit 15-152316 BLD will substantially change the appearance of the dwelling.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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**SIGNATURE PAGE**

File Number:	A0103/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	L & M WESTBURY INC	Ward:	Davenport (18)
Agent:	FRANCESCO PANZA	Heritage:	Not Applicable
Property Address:	<b>308 SALEM AVE</b>	Community:	Toronto
Legal Description:	PLAN 622 BLK S PT LOT 29		

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Alex Bednar (signed)

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Michael Clark (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0104/17TEY	Zoning	RS(f10.5; a325; d0.75)(x312) & R2A (BLD)
Owner(s):	JOHN FLEMING	Ward:	Toronto-Danforth (29)
Agent:	ALONA PEROV	Heritage:	Not Applicable
Property Address:	<b>3 MARLOW AVE</b>	Community:	East York
Legal Description:	PLAN 2587 PT LOT 45		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey semi-detached dwelling by enclosing the front porch and reconstructing the front stairs.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.40.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.75 times the area of the lot (142.72 m<sup>2</sup>).  
The altered semi-detached dwelling will have a floor space index equal to 0.93 times the area of the lot (177.39 m<sup>2</sup>).
- 2. Chapter 10.40.40.70.(1)(B), By-law 569-2013**  
The minimum required front yard setback is 3.17 m.  
The altered semi-detached dwelling will be located 0.72 m from the front lot line.
- 3. Chapter 10.40.40.70.(3)(A), By-law 569-2013**  
The minimum required side yard setback is 0.9 m.  
The altered semi-detached dwelling will be located 0.0 m from the north side lot line.
- 4. Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013**  
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.6 m.  
The front stairs will be located 0.49 m from the north side lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The portion of the building containing the reduced front yard setback of 0.72 m shall be limited to one storey in height.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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### ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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**SIGNATURE PAGE**

File Number:	A0104/17TEY	Zoning	RS(f10.5; a325; d0.75)(x312) & R2A (BLD)
Owner(s):	JOHN FLEMING	Ward:	Toronto-Danforth (29)
Agent:	ALONA PEROV	Heritage:	Not Applicable
Property Address:	<b>3 MARLOW AVE</b>	Community:	East York
Legal Description:	PLAN 2587 PT LOT 45		

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Alex Bednar (signed)

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Michael Clark (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0105/17TEY	Zoning	II D2 Max Hgt 14.0 M (Waiver)
Owner(s):	2217433 ONTARIO INC	Ward:	Parkdale-High Park (14)
Agent:	GIUSEPPE DIMARCO	Heritage:	Not Applicable
Property Address:	<b>1266 QUEEN ST W</b>	Community:	Toronto
Legal Description:	PLAN 294 PT LOTS 2 & 3 PLAN 1121 LOT 2		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct third and fourth floor additions to an existing two-storey building. The building will continue to be used for offices.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Section 4(2)(a), By-law 438-86**  
The maximum permitted height of a building or structure is 14.0 m (measured from the average grade from the sidewalk on Queen Street, which is 18.95 m after construction).  
The building will exceed the allowable 14.0 m by 4.95 m, for a total of 18.95 m.  
The new rear east stairwell is 19.11 m in height.
- Section 9(1)(F), By-law 438-86**  
Office is not listed as a permitted use in an I1 zone.  
In this case, the building will continue to be used for offices.
- Section 9(3) Part I 2, By-law 438-86**  
The non-residential gross floor area in the building is not permitted to be more than 2.0 times the area of the lot (4524.92 m<sup>2</sup>).  
The non-residential gross floor area of the building will be 2.48 times the area of the lot (5608.75 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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**SIGNATURE PAGE**

File Number:	A0105/17TEY	Zoning	II D2 Max Hgt 14.0 M (Waiver)
Owner(s):	2217433 ONTARIO INC	Ward:	Parkdale-High Park (14)
Agent:	GIUSEPPE DIMARCO	Heritage:	Not Applicable
Property Address:	<b>1266 QUEEN ST W</b>	Community:	Toronto
Legal Description:	PLAN 294 PT LOTS 2 & 3 PLAN 1121 LOT 2		

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Alex Bednar (signed)

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Michael Clark (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0106/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	ELIZABETH MCLEOD MATHIEU CARDINAL	Ward:	Parkdale-High Park (14)
Agent:	GABRIELE GUIDUCCI	Heritage:	Not Applicable
Property Address:	<b>125 SUNNYSIDE AVE</b>	Community:	Toronto
Legal Description:	PLAN 951 PT LOTS 15 & 16		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing three-storey semi-detached dwelling by reconstructing the rear two-storey addition and to construct a new rear third-floor dormer and a rear third-floor deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.10.40.40.(2)(A), By-law 569-2013**

Additions to the rear of a detached house erected before October 15, 1953, are permitted provided the floor space index as enlarged does not exceed 0.69 times the area of the lot (156.80 m<sup>2</sup>). The altered semi-detached house will have a floor space index equal to 1.08 times the area of the lot (246.38 m<sup>2</sup>).

**2. Chapter 10.5.50.10.(3)(A), By-law 569-2013**

A minimum of 50% (44.18 m<sup>2</sup>) of the rear yard shall be maintained as soft landscaping. In this case, 48% (42.71 m<sup>2</sup>) of the rear yard will be maintained as soft landscaping.

**1. Section 6(3) Part VI 1(I), By-law 438-86**

Additions to the rear of a semi-detached house erected before October 15, 1953, or to a converted house are permitted, provided the residential gross floor area as enlarged does not exceed 0.69 times the area of the lot (156.80 m<sup>2</sup>). The altered semi-detached house will have a residential gross floor area equal to 1.07 times the area of the lot (244.08 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) The rear third storey deck shall be constructed with permanent opaque screening or fencing along the north and south edges to a minimum height of 1.5 m, measured from the floor of the deck; and,
- (3) The building depth of the third floor of the altered dwelling shall not exceed 10.25 m, exclusive of the rear deck, and 14.5 m inclusive of the rear deck, as illustrated on the third floor plan received by the Committee of Adjustment on April 26, 2017.



## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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### ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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**SIGNATURE PAGE**

File Number:	A0106/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	ELIZABETH MCLEOD MATHIEU CARDINAL	Ward:	Parkdale-High Park (14)
Agent:	GABRIELE GUIDUCCI	Heritage:	Not Applicable
Property Address:	<b>125 SUNNYSIDE AVE</b>	Community:	Toronto
Legal Description:	PLAN 951 PT LOTS 15 & 16		

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Alex Bednar (signed)                      Michael Clark (signed)                      Donald Granatstein (signed)

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Carl Knipfel (signed)                      Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0108/17TEY	Zoning	R (f4.5;d1.0)(x834) & R3 Z1.0 (ZZC)
Owner(s):	DAVID OCAMPO FRANCES CHAN	Ward:	Trinity-Spadina (20)
Agent:	EDDIE PERES	Heritage:	Not Applicable
Property Address:	<b>79 SULLIVAN ST</b>	Community:	Toronto
Legal Description:	PLAN 317 PT LOTS 14 AND 15		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing 2½-storey townhouse by constructing a rear ground floor addition and a rear third storey addition. The existing rear ground floor addition will be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.10.40.30.(1)(B), By-law 569-2013**  
The maximum permitted depth of a townhouse is 14 m.  
The altered townhouse will have a depth of 18.94 m.
- 2. Chapter 10.10.40.80.(1)(C), By-law 569-2013**  
The minimum required distance between main walls for a townhouse is 11 m where there are openings to dwelling units in those main walls.  
The distance between main walls will be 2.18 m.
- 3. Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 9.5 m.  
The height of the side exterior main walls facing a side lot line will be 9.65 m.
- 4. Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index of a townhouse is 1.0 times the area of the lot (172.8 m<sup>2</sup>).  
The altered townhouse will have a floor space index equal to 1.25 times the area of the lot (216.84 m<sup>2</sup>).

**1. Section 6(3) Part II 5(I), By-law 438-86**

The maximum permitted depth of a townhouse is 14 m.  
The altered townhouse will have a depth of 18.94 m.

**2. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area of a townhouse is 1.0 times the area of the lot (172.8 m<sup>2</sup>).  
The altered townhouse will have a gross floor area equal to 1.25 times the area of the lot (216.84 m<sup>2</sup>).

**3. Section 6(3) Part II (6)(I), By-law 438-86**

No person shall erect or use a building or structure in an R district having a distance between external walls of a building or structure, that face each other that is less than 11 m.  
The distance between the main walls will be 2.18 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The building depth of the second and third floors of the altered dwelling shall not exceed 14.5 m, as illustrated on the second and third floor plans, received by the Committee of Adjustment on February 2, 2017.





## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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### ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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**SIGNATURE PAGE**

File Number:	A0108/17TEY	Zoning	R (f4.5;d1.0)(x834) & R3 Z1.0 (ZZC)
Owner(s):	DAVID OCAMPO FRANCES CHAN	Ward:	Trinity-Spadina (20)
Agent:	EDDIE PERES	Heritage:	Not Applicable
Property Address:	<b>79 SULLIVAN ST</b>	Community:	Toronto
Legal Description:	PLAN 317 PT LOTS 14 AND 15		

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Alex Bednar (signed)

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Michael Clark (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0109/17TEY	Zoning	RD (f12.0;a370;d0.4) & R1 (ZPR)
Owner(s):	MITCHELL DAVID FELLEN	Ward:	St. Paul's (21)
Agent:	ALLAN STONE	Heritage:	Not Applicable
Property Address:	<b>132 CHILTERN HILL RD</b>	Community:	York
Legal Description:	PLAN M511 LOT 158		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey detached dwelling by constructing a rear and side two-storey addition, a rear ground floor deck and basement walkout.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.4 times the area of the lot (149.57 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 0.65 times the area of the lot (243.65 m<sup>2</sup>).
- 2. Chapter 200.5.10.1.(1), By-law 569-2013**  
The minimum required number of parking spaces for a detached house is one.  
In this case, zero parking spaces will be provided.
- 1. Section 3.4.7(a)(1), By-law 1-83**  
Porches, verandahs, decks and balconies shall not project within a required side yard setback.  
The rear deck projects 0.50 m into the required side yard setback.
- 2. Section 3(I), By-law 1-83**  
The maximum permitted floor space index is 0.4 times the area of the lot (149.57 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 0.65 times the area of the lot (243.99 m<sup>2</sup>).
- 3. Section 3.2.1(V), By-law 1-83**  
A minimum of one parking space is required to be provided on the lot.  
In this case, zero parking spaces will be provided on the lot.

4. **Section 3(a), By-law 1-83 as amended by By-law 3623-97**  
The minimum required side yard setback is 1.2 m.  
The altered dwelling will be located 0.79 m from the north side lot line.
  
5. **Section 3(b), By-law 1-83 as amended by By-law 3623-97**  
The maximum permitted floor space index is 0.59 times the area of the lot (223.57 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 0.65 times the area of the lot (243.99 m<sup>2</sup>).
  
6. **Section 3(g), By-law 1-83**  
The minimum required side yard setback for a residential building is 1.2 m.  
The altered dwelling will be located 0.79 m from the north side yard lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

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**SIGNATURE PAGE**

File Number:	A0109/17TEY	Zoning	RD (f12.0;a370;d0.4) & R1 (ZPR)
Owner(s):	MITCHELL DAVID FELLEN	Ward:	St. Paul's (21)
Agent:	ALLAN STONE	Heritage:	Not Applicable
Property Address:	<b>132 CHILTERN HILL RD</b>	Community:	York
Legal Description:	PLAN M511 LOT 158		

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Alex Bednar (signed)

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Michael Clark (signed)

---

Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0110/17TEY	Zoning	R (f9.0; u2; d0.6) (x956) & R1S Z0.6 (ZZC)
Owner(s):	LINDA FORSYTHE GEORGE PRZYBYLOWSKI	Ward:	St. Paul's (22)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	<b>29 FAIRFIELD RD</b>	Community:	Toronto
Legal Description:	PLAN 639 PT LOT 28		

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey detached dwelling with an integral garage, front porch, rear first floor deck, and a rear basement walkout.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.40.10.(5), By-law 569-2013**  
A minimum of 10.0 m<sup>2</sup> of the first floor must be within 4.0 m of the front main wall.  
In this case, 7.29 m<sup>2</sup> of the first floor will be within 4.0 m of the front main wall.
- Chapter 10.10.40.10.(1)(A), By-law 569-2013**  
The maximum permitted building height is 9.0 m.  
The new detached dwelling will have a height of **9.24 m**.
- Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.0 m.  
The height of the side exterior main walls facing a side lot line will be 7.54 m.
- Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index of a detached dwelling is 0.60 times the area of the lot (187.26 m<sup>2</sup>).  
The new detached dwelling will have a floor space index equal to 0.676 times the area of the lot (211.1 m<sup>2</sup>).
- Chapter 10.5.40.70.(1), By-law 569-2013**  
The minimum required front yard setback is 8.02 m.  
The new detached dwelling will be located 7.07 m from the north front lot line.

- 1. Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted gross floor area of a detached dwelling is 0.60 times the area of the lot (187.26 m<sup>2</sup>).  
The new detached dwelling will have a gross floor area equal to 0.676 times the area of the lot (211.1 m<sup>2</sup>).
- 2. Section 6(3) Part II 2(II), By-law 438-86**  
The minimum required front yard setback is 8.02 m.  
The new detached dwelling will be located 7.07 m from the north front lot line.
- 3. Section 6(3) Part II 3.B(II), By-law 438-86**  
The minimum required side lot line setback for the portion of a new detached dwelling not exceeding a depth of 17 m is 0.9 m.  
The portion of the new detached dwelling, not exceeding a depth of 17 m will be located 0.75 m from the east side lot line.
- 4. Section 6(3) Part II 8 D (I), By-law 438-86**  
The maximum permitted height of an uncovered platform which projects into the required setbacks is 1.2 m above grade.  
The front porch will have a height of 1.24 m above grade, and the rear first floor deck will have a height of 2.36 m above grade **for a maximum projection of 1.22 m from the rear exterior main wall and beyond that point the rear deck will have a height of 1.2 m above grade.**
- 5. Section 6(3) Part IV 3(II), By-law 438-86**  
An integral garage in a building where the floor level of the garage is located below grade and the vehicle access to the garage is located in a wall facing the front lot line, is not permitted.  
The new detached dwelling will have an integral below grade garage.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

### **The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to refuse this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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**SIGNATURE PAGE**

File Number:	A0110/17TEY	Zoning	R (f9.0; u2; d0.6) (x956) & R1S Z0.6 (ZZC)
Owner(s):	LINDA FORSYTHE GEORGE PRZYBYLOWSKI	Ward:	St. Paul's (22)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	<b>29 FAIRFIELD RD</b>	Community:	Toronto
Legal Description:	PLAN 639 PT LOT 28		

**DISSENTED**

_____	_____	_____
Alex Bednar (signed)	Michael Clark	Donald Granatstein (signed)
_____	_____	
Carl Knipfel (signed)	Lisa Valentini (signed)	

DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

\_\_\_\_\_  
Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0111/17TEY	Zoning	I3 D3 & Site-Specific Zoning By-law 943-2015(OMB) (ZPR)
Owner(s):	CASTLEPOINT GREYBROOK STERLING INC	Ward:	Davenport (18)
Agent:	ANTONIO DE FRANCO	Heritage:	Designated
Property Address:	<b>158 STERLING RD</b> <b>BLOCK 3C</b>	Community:	Toronto
Legal Description:	PLAN 1261 BLK F PLAN 1260 PT BLK E PLAN M-44 LOTS 45 TO 53 PT LOTS 22 24 25 44 PT 1 FT RESERVE RP 66R25805 PARTS 1 TO 7 14		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the redevelopment plan approved under Site Specific By-law 943-2015(OMB) by constructing a west one-storey glass addition for an office lobby, a west one-storey glass addition for a takeout restaurant, and a three-storey freight elevator addition on the north side of Block 3C.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Section 6.(4)(a), By-law 943-2015(OMB)**

No portion of a building erected above grade shall be located otherwise than wholly within the maximum permitted building heights shown on Map 4.

In this case, the three-storey freight elevator addition on the north side of Block 3C will have a height of 16.5 m.

**2. Section 6.(2)(a), By-law 943-2015(OMB)**

No portion of a building erected above grade shall be located otherwise than wholly within the area delineated by heavy lines shown on Map 4.

In this case, the west one-storey glass additions on Block 3C will be located outside of the building envelope lines as shown on the site plan (A-1.01) date stamped received by the Committee of Adjustment on March 22, 2017.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of a building permit, building permit drawings, including plans, elevations and details shall be submitted to the satisfaction of the Senior Manager, Heritage Preservation Services and a heritage permit shall be obtained under the provision of Section 33 of the Ontario Heritage Act.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**SIGNATURE PAGE**

File Number:	A0111/17TEY	Zoning	I3 D3 & Site-Specific Zoning By-law 943-2015(OMB) (ZPR)
Owner(s):	CASTLEPOINT GREYBROOK STERLING INC	Ward:	Davenport (18)
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Property Address:	<b>158 STERLING RD</b> <b>BLOCK 3C</b>	Community:	Toronto
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Alex Bednar (signed)	Michael Clark (signed)	Donald Granatstein (signed)
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Carl Knipfel (signed)	Lisa Valentini (signed)
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DATE DECISION MAILED ON: **MONDAY, JUNE 5, 2017**

LAST DATE OF APPEAL: **MONDAY, JUNE 19, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## **42A. 140 EMERSON AVE**

File Number:	B0025/17TEY	Zoning	R (d0.6)(x740) & R2 Z0.6 (ZZC)
Owner(s):	2469490 ONTARIO INC MIRZA MAHAVES	Ward:	Davenport (18)
Agent:	NADEEM IRFAN	Heritage:	Not Applicable
Property Address:	<b>140 EMERSON AVE</b>	Community:	Toronto
Legal Description:	PLAN M88 BLK R PT LT 19		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

### **THE CONSENT REQUESTED:**

To obtain consent to sever the property into two lots for residential purposes.

#### **Retained – Part 1, Draft R-Plan**

##### **Address to be assigned**

The lot frontage is 5.48 m and the lot area is 200.3 m<sup>2</sup>. A new three-storey detached dwelling will be constructed and will require variances to the Zoning By-law, outlined in Application number A0322/17TEY.

#### **Conveyed – Part 2, Draft R-Plan**

##### **Address to be assigned**

The lot frontage is 5.48 m and the lot area is 200.3 m<sup>2</sup>. A new three-storey detached dwelling will be constructed and will require variances to the Zoning By-law, outlined in Application number A0323/17TEY.

**Applications B0025/17TEY, A0322/17TEY and A0323/17TEY will be considered jointly.**

### **MOTION**

It was moved by Alex Bednar, seconded by Donald Granatstein and carried unanimously that the application be **deferred, for a maximum of 3 months**. The deferral would provide the applicant with an opportunity to revise the proposal in accordance with the recommendations of City Planning staff. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel B**.

## 42B. 140 EMERSON AVE (PART 1)

File Number:	A0322/17TEY	Zoning	R (d0.6)(x740) & R2 Z0.6 (ZZC)
Owner(s):	2469490 ONTARIO INC MIRZA MAHAVES	Ward:	Davenport (18)
Agent:	NADEEM IRFAN	Heritage:	Not Applicable
Property Address:	<b>140 EMERSON AVE (PART 1)</b>	Community:	Toronto
Legal Description:	PLAN M88 BLK R PT LT 19		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

### PURPOSE OF THE APPLICATION:

To construct a new three-storey detached dwelling with rear yard parking pad.

### REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.30.20.(1)(B), By-law 569-2013**  
The minimum required lot frontage is 6.0 m.  
The newly severed lot will have a frontage of 5.48 m.
  - Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.6 times the area of the lot (120.53 m<sup>2</sup>).  
The new dwelling will have a floor space index equal to 1.16 times the area of the lot (233.07 m<sup>2</sup>).
  - Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013**  
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.60 m.  
The front yard basement walkout stairs will be 0.45 m from the north side lot line.
  - Chapter 10.5.50.10.(1)(A), By-law 569-2013**  
A minimum of 100% of the front yard, excluding a permitted driveway, must be landscaping (20.86 m<sup>2</sup>).  
In this case, 74% of the front yard will be landscaping (15.42 m<sup>2</sup>).
  - Chapter 10.5.50.10.(1)(D), By-law 569-2013**  
A minimum of 75% of the front yard landscaping must be maintained as soft landscaping (15.65 m<sup>2</sup>).  
In this case, 36% of the front yard will be maintained as soft landscaping (7.58 m<sup>2</sup>).
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- Section 6(VII)(1)(ii), By-law 438-86**  
The minimum required lot frontage is 6.0 m.  
The newly severed lot will have a frontage of 5.48 m.
  - Section 6(3) Part II 3(I), By-law 438-86**  
The minimum required setback to the side wall of an adjacent building that contains no openings is 0.90 m.  
The new dwelling will be located 0.75 m to the adjacent building to the south.

**3. Section 6(3) Part II 3.B(II), By-law 438-86**

The minimum required side lot line setback from the portion of the building exceeding 17.0 m in depth is 7.5 m.

The new detached dwelling will have a depth of 19.44 m and will be located 0.45 m to the north side lot line and 0.46 m to the south side lot line.

**4. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area is 0.6 times the area of the lot (120.53 m<sup>2</sup>).

The new dwelling will have a gross floor area equal to 1.16 times the area of the lot (233.07 m<sup>2</sup>).

**5. Section 6(3) Part III 3(B), By-law 438-86**

A minimum of 75% of the front yard landscaping must be maintained as soft landscaping (7.82 m<sup>2</sup>).

In this case, 73% of the front yard will be maintained as soft landscaping (7.58 m<sup>2</sup>).

**6. Section 6(3) Part II 2(II), By-law 438-86**

The minimum required front lot line setback is 3.81 m.

The new dwelling will be located 2.59 m to the front lot line at the second floor balcony and 2.80 to the front lot line at the third floor balcony.

**7. Section 6(3) Part II 3.B(II), By-law 438-86**

The minimum required side lot line setback from the portion of the building exceeding 17.0 m in depth is 7.5 m.

The new detached dwelling will have a depth of 19.44 m (to the second and third floor rear decks) and will be located 0.46 m to the north side lot line and 0.46 m to the south side lot line.

**Applications B0025/17TEY, A0322/17TEY and A0323/17TEY will be considered jointly.**

**MOTION**

It was moved by Alex Bednar, seconded by Donald Granatstein and carried unanimously that the application be **deferred, for a maximum of 3 months**. The deferral would provide the applicant with an opportunity to revise the proposal in accordance with the recommendations of City Planning staff. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel B**.

## 42C. 140 EMERSON AVE (PART 2)

File Number:	A0323/17TEY	Zoning	R (d0.6)(x740) & R2 Z0.6 (ZZC)
Owner(s):	2469490 ONTARIO INC MIRZA MAHAVES	Ward:	Davenport (18)
Agent:	NADEEM IRFAN	Heritage:	Not Applicable
Property Address:	<b>140 EMERSON AVE (PART 2)</b>	Community:	Toronto
Legal Description:	PLAN M88 BLK R PT LT 19		

Notice was given and a Public Hearing was held on **Tuesday, May 30, 2017**, as required by the Planning Act.

### PURPOSE OF THE APPLICATION:

To construct a new three-storey detached dwelling with rear yard parking pad.

### REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.30.20.(1)(B), By-law 569-2013**  
The minimum required lot frontage is 6.0 m.  
The newly severed lot will have a frontage of 5.48 m.
  - Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.6 times the area of the lot (120.31 m<sup>2</sup>).  
The new dwelling will have a floor space index equal to 1.16 times the area of the lot (233.07 m<sup>2</sup>).
  - Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013**  
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.60 m.  
The front yard basement walkout stairs will be 0.45 m from the north side lot line.
  - Chapter 10.5.50.10.(1)(A), By-law 569-2013**  
A minimum of 100% of the front yard, excluding a permitted driveway, must be landscaping (20.99 m<sup>2</sup>).  
In this case, 73% of the front yard will be landscaping (15.41 m<sup>2</sup>).
  - Chapter 10.5.50.10.(1)(D), By-law 569-2013**  
A minimum of 75% of the front yard landscaping must be maintained as soft landscaping (15.74 m<sup>2</sup>).  
In this case, 37% of the front yard will be maintained as soft landscaping (7.83 m<sup>2</sup>).
- Section 6(VII)(1)(ii), By-law 438-86**  
The minimum required lot frontage is 6.0 m.  
The newly severed lot will have a frontage of 5.48 m.
  - Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted gross floor area is 0.6 times the area of the lot (120.31 m<sup>2</sup>).  
The new dwelling will have a gross floor area equal to 1.16 times the area of the lot (233.07 m<sup>2</sup>).

**3. Section 6(3) Part II 3.B(II), By-law 438-86**

The minimum required side lot line setback from the portion of the building exceeding 17.0 m in depth is 7.5 m.

The new detached dwelling will have a depth of 19.44 m and will be located 0.45 m to the north side lot line and 0.45 m to the south side lot line.

**4. Section 6(3) Part II 2(II), By-law 438-86**

The minimum required front lot line setback is 3.77 m.

The new dwelling will be located 2.58 m to the front lot line at the second floor balcony and 2.79 to the front lot line at the third floor balcony.

**5. Section 6(3) Part II 3.B(II), By-law 438-86**

The minimum required side lot line setback from the portion of the building exceeding 17.0 m in depth is 7.5 m.

The new detached dwelling will have a depth of 19.44 m (to the second and third floor rear decks) and will be located 0.45 m to the north side lot line and 0.45 m to the south side lot line.

**Applications B0025/17TEY, A0322/17TEY and A0323/17TEY will be considered jointly.**

**MOTION**

It was moved by Alex Bednar, seconded by Donald Granatstein and carried unanimously that the application be **deferred, for a maximum of 3 months**. The deferral would provide the applicant with an opportunity to revise the proposal in accordance with the recommendations of City Planning staff. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel B**.