

Thursday, July 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0437/17EYK	Zoning	EH & M3
Owner(s):	ST FIDELIS PROPERTIES LIMITED	Ward:	York West (07)
Agent:	STARLET AUTO COLLISION	Heritage:	Not Applicable
Property Address:	723 FENMAR DR	Community:	
Legal Description:			

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To maintain the existing vehicle body repair shop.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 6A(2)a, By-law 7625

A minimum of 106 parking spaces are required.

A total of 71 parking spaces will be provided.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition:

The Committee of Adjustment's decision of approval shall be valid for a period of 7 years, expiring on August 3, 2024.

SIGNATURE PAGE

File Number:	A0437/17EYK	Zoning	EH & M3
Owner:	ST FIDELIS PROPERTIES LIMITED	Ward:	York West (07)
Agent:	STARLET AUTO COLLISION	Heritage:	Not Applicable
Property Address:	723 FENMAR DR	Community:	
Legal Description:			

Denise Graham (signed)

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, July 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0481/17EYK	Zoning	RD & R4
Owner(s):	SARAH ANN MARIE ZAMMIT MIGUEL MEDEIROS PONTE	Ward:	York West (07)
Agent:	MIGUEL MEDEIROS PONTE	Heritage:	Not Applicable
Property Address:	66 SUNSET TRL	Community:	
Legal Description:	PLAN 3466 W PT LOT 72		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey east side addition which will include an attached garage and a second storey addition above the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 900.3.10.(5)(A), By-law 569-2013

The minimum required side yard setback is 1.8 m.

Section 13.2.3.(b), By-law 7625

The minimum required side yard setback is 1.6 m.

Section 900.3.10.(5)(A), By-law 569-2013 & Section 13.2.3.(b), By-law 7625

The altered dwelling will be located 0.65 m from the east side lot line and 1.35 m from the west side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0481/17EYK	Zoning	RD & R4
Owner:	SARAH ANN MARIE ZAMMIT MIGUEL MEDEIROS PONTE	Ward:	York West (07)
Agent:	MIGUEL MEDEIROS PONTE	Heritage:	Not Applicable
Property Address:	66 SUNSET TRL	Community:	
Legal Description:	PLAN 3466 W PT LOT 72		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Denise Graham (signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

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Etobicoke York Panel

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**NOTICE OF DECISION
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(Section 45 of the Planning Act)**

File Number:	A0301/17EYK	Zoning:	RM & R2
Owner(s):	OLGA DE JESUS OMAR GARCIA	Ward:	York South-Weston (11)
Agent:	DEVRY SMITH FRANK LLP	Heritage:	Not Applicable
Property Address:	23 LAXIS AVE	Community:	
Legal Description:	PLAN 652 PT LOT 5		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and maintain the rear north side addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.80.40.70.(3)(A), By-law 569-2013

The minimum required side yard setback is 1.2 m.

Section 8.3.(a), By-law 1-83

The minimum required side yard setback is 0.5 m on one side and 1.2 m on the other side.

Section 10.80.40.70.(3)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83

The existing dwelling will be located 0 m from the north side lot line.

File numbers B0027/17EYK & A0301/17EYK are considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0301/17EYK	Zoning	RM & R2
Owner:	OLGA DE JESUS OMAR GARCIA	Ward:	York South-Weston (11)
Agent:	DEVRY SMITH FRANK LLP	Heritage:	Not Applicable
Property Address:	23 LAXIS AVE	Community:	
Legal Description:	PLAN 652 PT LOT 5		

Denise Graham (signed)

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

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Etobicoke York Panel

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0357/17EYK	Zoning	R & R2 Z0.6
Owner(s):	NORMA DOREEN GRANT	Ward:	Davenport (17)
Agent:	LOWELL LO	Heritage:	Not Applicable
Property Address:	20 GILBERT AVE	Community:	
Legal Description:	PLAN 1338 PT LOT 32		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey front addition and a second storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.10.40.40.(1)(A), By-law 569-2013 and Section 6(3) Part I 1, By-law 438-86**
The maximum permitted floor space index is 0.6 times the area of the lot (121.7 m²).
Section 10.10.40.40.(1)(A), By-law 569-2013
The altered dwelling will have a floor space index of 0.9 times the area of the lot (181.7 m²).
Section 6(3) Part I 1, By-law 438-86
The altered dwelling will have a floor space index of 0.85 times the area of the lot (171.8 m²).
- Section 10.5.470.70.(4)(B), By-law 569-2013**
The minimum required side yard setback for additions to the rear of lawfully existing buildings is the greater of 50% of the required minimum side yard setback (0.23 m) or the lawful side yard setback for the lawfully existing building of 0.1 m to the north side lot line and 0.65 m to the south side lot line.
The altered dwelling will be located 0 m from the north side lot line.
- Section 6(3) Part II 3.B(I), By-law 438-86**
The minimum required side yard setback is 0.45 m for a depth not exceeding 17 m where the side wall contains no openings.
The altered dwelling will be located 0 m from the north side lot line.
- Section 6(3) Part II 3(II), By-law 438-86**
The minimum required side yard setback to the portion of the side wall of an adjacent building that contains openings is 1.2 m.
The altered dwelling will be located 1 m from an adjacent building to the north (24 Gilbert Avenue).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0357/17EYK	Zoning	R & R2 Z0.6
Owner:	NORMA DOREEN GRANT	Ward:	Davenport (17)
Agent:	LOWELL LO	Heritage:	Not Applicable
Property Address:	20 GILBERT AVE	Community:	
Legal Description:	PLAN 1338 PT LOT 32		

Denise Graham (signed)

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

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Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0377/17EYK	Zoning	R & R2
Owner(s):	ANDREW STUBBS KATARZYNA SENDROWICZ	Ward:	Parkdale-High Park (13)
Agent:	KATARZYNA SENDROWICZ	Heritage:	Not Applicable
Property Address:	15 NELLES AVE	Community:	
Legal Description:	PLAN 1676 PT LOT 23		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a third storey addition with a rear terrace above the existing dwelling and a second storey front balcony.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.10.40.40.(1)(A), By-law 569-2013 and Section 6(3) Part I 1, By-law 438-86**
The maximum permitted floor space index/gross floor area is 0.6 times the area of the lot (111.8 m²).
The altered dwelling will have a floor space index/gross floor area of 0.98 times the area of the lot (183.2 m²).
- Section 6(2) 1(iii)(A), By-law 438-86**
An addition to a converted house is permitted provided the increase in residential gross floor area does not exceed 0.15 times the area of the lot (39 m²).
The proposed third floor area will increase the residential gross floor area by 0.26 times the area of the lot (49.1 m²).
- Section 6(3) Part II 3.B(I), By-law 438-86**
The minimum required side yard setback is 0.45 m for a depth not exceeding 17 m where the side wall contains no openings.
The altered dwelling will be located 0 m from the west side lot line.
- Section 6(3) Part II 3.B(II), By-law 438-86**
The minimum required side yard setback is 0.9 m, for the portion of the building not exceeding 17 m in depth, where the side wall contains openings.
The altered dwelling will be located 0.6 m from the east side lot line.
- Section 6(2) 1(iii)(A), By-law 438-86**
An addition to a converted house is permitted provided that there is no alteration or addition to the front wall.
The proposed addition will alter the front wall.

6. **Section 10.10.40.10.(1)(A), By-law 569-2013**
The maximum permitted building height is 10 m.
The altered dwelling will have a height of 10.4 m.
7. **Section 10.10.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The altered dwelling will have a side exterior main wall height of 10.1 m facing a side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0377/17EYK	Zoning	R & R2
Owner:	ANDREW STUBBS KATARZYNA SENDROWICZ	Ward:	Parkdale-High Park (13)
Agent:	KATARZYNA SENDROWICZ	Heritage:	Not Applicable
Property Address:	15 NELLES AVE	Community:	
Legal Description:	PLAN 1676 PT LOT 23		

Allan Smithies (signed)

Edwin (Ted) Shepherd
(signed)

Dominic Gulli (signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

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**NOTICE OF DECISION
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(Section 45 of the Planning Act)**

File Number:	A0389/17EYK	Zoning	R & R2
Owner(s):	ROMAN ZAROWSKYJ THERESA ZAROWSKYJ	Ward:	Davenport (17)
Agent:	DK STUDIO INC	Heritage:	Not Applicable
Property Address:	117 WESTMOUNT AVE	Community:	
Legal Description:	PLAN 1296 PT LOTS 56 & 57		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To convert the existing attic into habitable space.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.10.40.40.(1)(A), By-law 569-2013 and Section 6(3) Part I(1), By-law 438-86

The maximum permitted floor space index/ gross floor area is 0.6 times the lot area (195.05 m²).

The altered dwelling will have a floor space index/ gross floor area of 0.75 times the lot area (243.98 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

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The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

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- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

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File Number:	A0389/17EYK	Zoning	R & R2
Owner:	ROMAN ZAROWSKYJ THERESA ZAROWSKYJ	Ward:	Davenport (17)
Agent:	DK STUDIO INC	Heritage:	Not Applicable
Property Address:	117 WESTMOUNT AVE	Community:	
Legal Description:	PLAN 1296 PT LOTS 56 & 57		

Denise Graham (signed)

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

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NOTICE OF DECISION
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File Number:	A0417/17EYK	Zoning	RD & R1 Z0.35
Owner(s):	PHILIP WHITE ANNA DOPICO	Ward:	Parkdale-High Park (13)
Agent:	LARRY MINTOFF	Heritage:	Not Applicable
Property Address:	37 RIVERSIDE CRES	Community:	
Legal Description:	PLAN M356 LOT 217 PT LOT 218		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.20.40.50.(1)(B), By-law 569-2013

The maximum permitted area of a platform at or above the second storey is 4 m².

The proposed second storey platform will have an area of 49.2 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

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- The general intent and purpose of the Zoning By-law is maintained.
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File Number:	A0417/17EYK	Zoning	RD & R1 Z0.35
Owner:	PHILIP WHITE ANNA DOPICO	Ward:	Parkdale-High Park (13)
Agent:	LARRY MINTOFF	Heritage:	Not Applicable
Property Address:	37 RIVERSIDE CRES	Community:	
Legal Description:	PLAN M356 LOT 217 PT LOT 218		

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Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

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LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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Thursday, July 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0425/17EYK	Zoning	R R2
Owner(s):	ANA PARSONS GRAHAM PARSONS	Ward:	Davenport (17)
Agent:	EPIC DESIGNS INC	Heritage:	Not Applicable
Property Address:	162 ASCOTAVE	Community:	
Legal Description:	PLAN 918 BLK J PT LOT 1		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition, a new rear deck and a new rear detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.10.40.40.(2)(A), By-law 569-2013**
The maximum permitted floor space index is 0.69 times the area of the lot (97.12 m²).
The altered dwelling will have a floor space index of 1.03 times the area of the lot (146.38 m²).
- 2. Section 10.10.60.20.(1)(A), By-law 569-2013**
The minimum required side yard setback for an ancillary building or structure is 1 m.
The proposed detached garage will be located 0.1 m from the east and west side lot lines.
- 3. Section 6(3) Part II 7(II) A, By-law 438-86**
The minimum required setback for an accessory structure from an adjacent residential building is 4.5 m.
The proposed rear detached garage will be located 2.44 m from the adjacent residential building (61 Harvie Avenue).
- 4. Section 10.5.60.40.(2)(B), By-law 569-2013**
The maximum permitted height of an ancillary structure is 4 m.
The proposed detached garage will have a height of 4.61 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0425/17EYK	Zoning	R R2
Owner:	ANA PARSONS GRAHAM PARSONS	Ward:	Davenport (17)
Agent:	EPIC DESIGNS INC	Heritage:	Not Applicable
Property Address:	162 ASCOT AVE	Community:	
Legal Description:	PLAN 918 BLK J PT LOT 1		

Denise Graham (signed)

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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Thursday, July 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0435/17EYK	Zoning:	IC
Owner(s):	2176905 ONTARIO LIMITED	Ward:	York South-Weston (11)
Agent:	MACNAUGHTON HERMSEN BRITTON CLARKSON PLANNING LTD (MHBC)	Heritage:	Not Applicable
Property Address:	1980 ST CLAIR AVE W	Community:	
Legal Description:	PLAN 1196 PT BLK B PLAN 1067 PT ALBANY RD PLAN 839 PT LOTS 1 TO 18 PT LANE RP 66R25063 PARTS 1 3 5 7 9 TO 11 13 TO 15 17 TO 26		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit A pinball or electric game machine establishment (arcade machines) within the proposed retail establishment (grocery store).

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 9(1)(f), By-law 438-86

A pinball or electric game machine establishment is not permitted within an IC zone.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0435/17EYK	Zoning	IC
Owner:	2176905 ONTARIO LIMITED	Ward:	York South-Weston (11)
Agent:	MACNAUGHTON HERMSEN BRITTON CLARKSON PLANNING LTD (MHBC)	Heritage:	Not Applicable
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Legal Description:	PLAN 1196 PT BLK B PLAN 1067 PT ALBANY RD PLAN 839 PT LOTS 1 TO 18 PT LANE RP 66R25063 PARTS 1 3 5 7 9 TO 11 13 TO 15 17 TO 26		

Denise Graham (signed)

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, July 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0442/17EYK	Zoning	R & R2
Owner(s):	JERRY SANTOS	Ward:	Davenport (17)
Agent:	EDDIE PERES	Heritage:	Not Applicable
Property Address:	21 NORTON AVE	Community:	
Legal Description:	PLAN D1307 LOT 79		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached garage in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.5.60.40.(2), By-law 569-2013 & Section 2(1), By-law 438-86**
The maximum permitted height for an ancillary building is 4 m.

Section 10.5.60.40.(2), By-law 569-2013
The proposed detached garage will have a height of 4.65 m.

Section 2(1), By-law 438-86
The proposed detached garage will have a height of 4.63 m.
- Section 10.5.50.10.(3)(A), By-law 569-2013**
A minimum of 50% of the rear yard shall be maintained as soft landscaping (69.03 m²).
A total of 25% of the rear yard will be maintained as soft landscaping (35 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0442/17EYK	Zoning	R & R2
Owner:	JERRY SANTOS	Ward:	Davenport (17)
Agent:	EDDIE PERES	Heritage:	Not Applicable
Property Address:	21 NORTON AVE	Community:	
Legal Description:	PLAN D1307 LOT 79		

Denise Graham (signed)

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, July 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0446/17EYK	Zoning	RD & R4
Owner(s):	RICHARD VALVERDE	Ward:	York South-Weston (12)
Agent:	VICTOR ROSA	Heritage:	Not Applicable
Property Address:	94 GEORGE ANDERSONDR	Community:	
Legal Description:	PLAN 4398 LOT 88		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling, a one-storey rear addition, a new rear deck and a new front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The altered dwelling will cover 32.86% of the lot area.
- 2. Section 10.5.40.70.(1)(B), By-law 569-2013**
The minimum required front yard setback is 9.72 m.
The altered dwelling will be located 9.07 m from the front lot line.
- 3. Section 10.5.40.60.(1)(A)(i), By-law 569-2013**
A front platform without main walls, located no higher than the first floor, may encroach into the required front yard setback a maximum of 2.5 m, if it is no closer to a side lot line than the required side yard setback.
The proposed front platform will encroach 2.78 m into the required front yard setback.
- 4. Section 900.3.10.(5)(A), By-law 569-2013 and Section 13.2.3(b), By-law 7625**
The minimum required side yard setback is 1.8 m.
The altered dwelling will be located 1.54 m from the east side lot line.
- 5. Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The altered dwelling will have a length of 17.65 m.
- 6. Section 13.2.6, By-law 7625**
The maximum permitted building height is 8.8 m.
The altered dwelling will have a height of 10.25 m.
- 7. Section 10.20.40.10.(3)(A), By-law 569-2013**
The maximum permitted number of storeys is 2.
The proposed number of storeys is 3.

8. Section 10.20.40.50.(1)(B), By-law 569-2013

The maximum permitted area of each platform at or above the second storey of a detached house is 4 m². The second storey rear platform will have an area of 17.71 m² and the second storey front platform will have an area of 15.03 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition:

The proposal shall be constructed substantially in accordance with the site plan and elevations submitted and held on file by the Committee of Adjustment office and date stamped as received on May 13, 2017, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0446/17EYK	Zoning	RD & R4
Owner:	RICHARD VALVERDE	Ward:	York South-Weston (12)
Agent:	VICTOR ROSA	Heritage:	Not Applicable
Property Address:	94 GEORGE ANDERSON DR	Community:	
Legal Description:	PLAN 4398 LOT 88		

Denise Graham (signed)

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

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Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

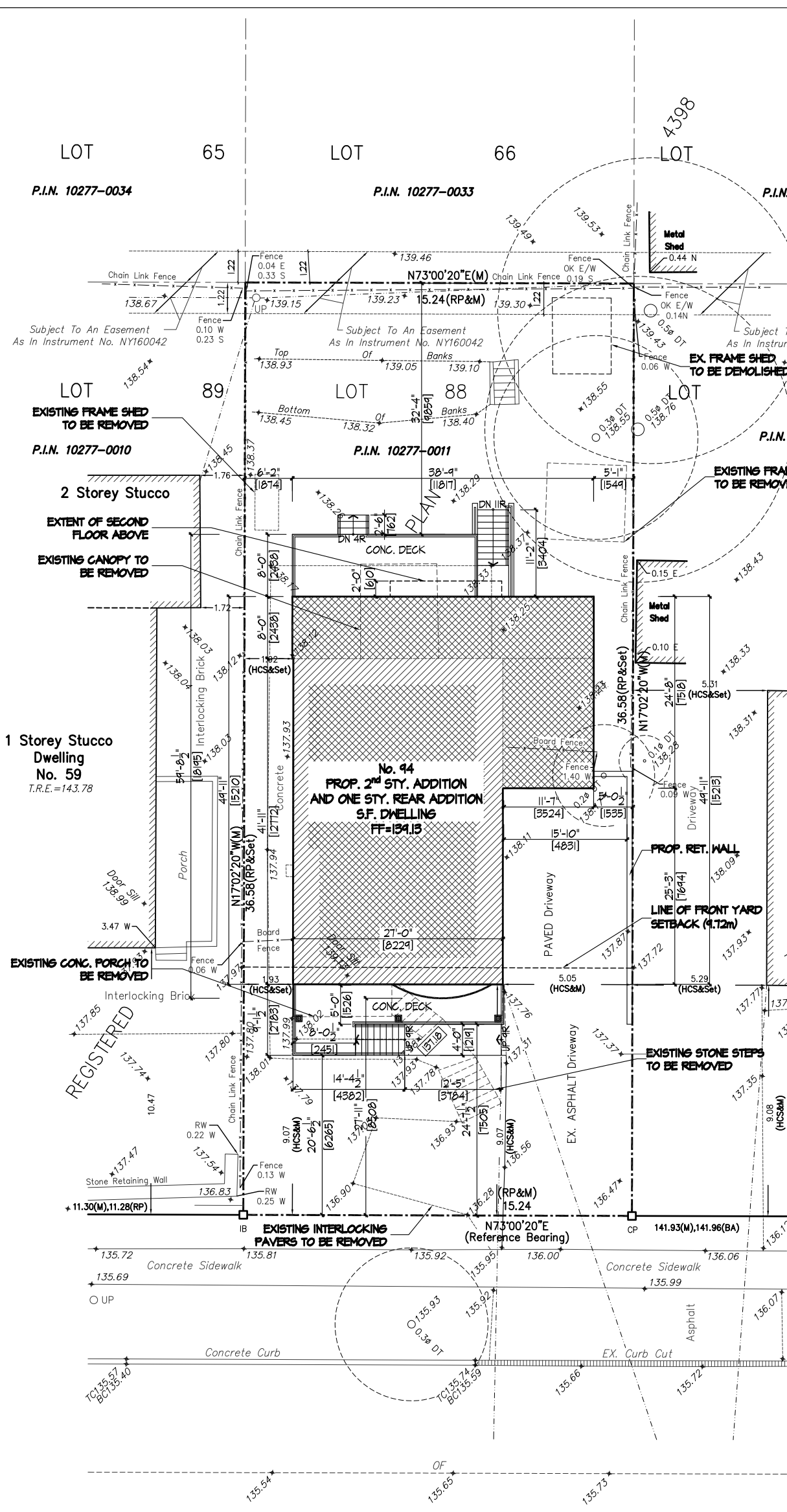
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SEE SURVEY BY O.L.S FOR VERIFICATION
 SURVEY INFORMATION TAKEN FROM
 SURVEYOR'S REAL PROPERTY REPORT
 OF PART 1, PLAN OF
 LOTS 88
 REGISTERED PLAN 4398
 CITY OF TORONTO
 FORMERLY IN THE CITY OF NORTH YORK
 AS PREPARED BY GTA SURVEYING INC.
 (O.L.S.) ONTARIO LAND SURVEYOR
 DATED: NOVEMBER 02, 2016



- LEGEND**
- DENOTES SURVEY MONUMENT SET
 - SURVEY MONUMENT FOUND
 - RP REGISTERED PLAN 4398
 - N,S,E,W NORTH,SOUTH,EAST, WEST
 - M MEASURED
 - SIB STANDARD IRON BAR
 - BA PLAN BA-467
 - CP CONCRETE PIN
 - HCS PLAN BY H.C. SEWELL, O.L.S., DATED OCTOBER 26, 1953
 - P.I.N. PROPERTY IDENTIFIER NUMBER
 - OVERHEAD WIRES
 - UP UTILITY POLE
 - BC BOTTOM OF CURB
 - TC TOP OF CURB
 - RW RETAINING WALL
 - DT DECIDUOUS TREE
 - CT CONIFEROUS TREE
 - CB CATCH BASIN
 - FH FIRE HYDRANT
 - T.R.E. TOP OF ROOF ELEVATION

BEARING NOTE
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTH LIMIT OF GEORGE ANDERSON DRIVE, HAVING A BEARING OF N73°00'20"E ACCORDING TO PLAN BA-467

ELEVATION NOTE
 ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE CITY OF TORONTO BENCHMARK No. 12319650217, HAVING A PUBLISHED ELEVATION OF 132.692 METRES

REAR YARD SOFT LANDSCAPING AREA

REAR YARD AREA 187.48 m²
 SOFT LANDSCAPED AREA PROVIDED 156.53 m² (83.49%)

FRONT YARD LANDSCAPING AREA

FRONT YARD AREA 136.65 m²
 AREA OF DRIVE WAY 45.18 m²
 FRONT YARD AREA WITHOUT DRIVE WAY 91.47 m²
 MIN. FRONT YARD LANDSCAPED AREA REQ'D (50% OF FRONT YARD AREA) 68.33 m²
 MIN. SOFT LANDSCAPED AREA REQ'D (75% OF FRONT YARD LANDSCAPED AREA) 68.60 m²
 SOFT LANDSCAPED AREA PROVIDED 69.78 m²

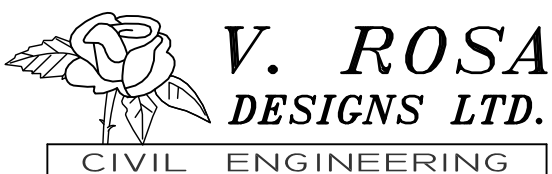
LOT AREA = 557.42 m ² (6000.00 SQ. FT.)			
SITE STATISTICS	EXISTING	PROPOSED	NEW TOTAL
	m ²	m ²	m ²
FIRST FLR. AREA	107.49	19.56	127.05
SECOND FLR. AREA	-0-	150.87	150.87
GROSS FLR. AREA	107.49	170.43	277.92

MAX. COVERAGE PERMITTED = 167.23 m²
 PROPOSED COVERAGE = 183.15 m² (32.86%)

GEORGE ANDERSON DRIVE
 (by Registered Plan 4398, Street Line as Confirmed by Plan BA-467)

P.I.N. 10277-0124

SITE PLAN
 SCALE: 1/16" = 1'-0"
 METRIC SCALE: 1:200



Victor M.D. Rosa
 B.A.S.C., P.ENG.

1726 St. Clair Ave. West
 Toronto Ontario, M6N 1J1
 Tel: (416) 588-0001 Fax: (416) 588-3728

DO NOT SCALE DRAWINGS.
 CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY OMISSIONS OR DISCREPANCIES TO V. ROSA DESIGNS BEFORE PROCEEDING WITH WORK.
 ALL PRINTS AND SPECIFICATIONS ARE THE PROPERTY OF V. ROSA DESIGNS AND SHALL BE RETURNED UPON COMPLETION OF WORK.

PROJECT
 PROP. ONE STOREY REAR
 ADDITION & SECOND FLOOR
 ADDIT'N & INTERIOR ALTERATIONS
 AT 94 GEORGE ANDERSON DR.
 CITY OF TORONTO

DRAWING
 SITE PLAN

SCALE
 AS SHOWN

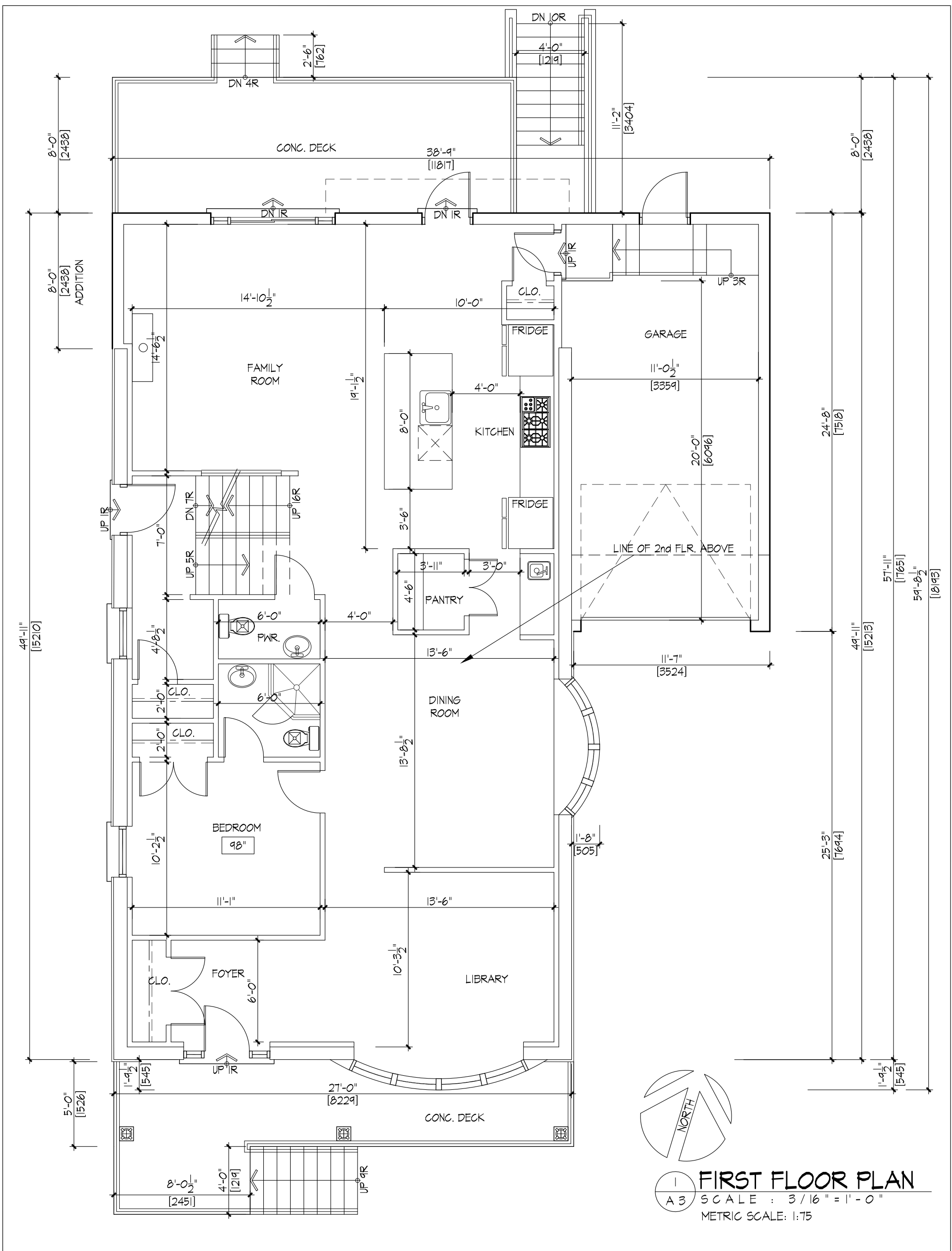

DATE
 02-16-17

PROJECT No.
 16062

DRAWN BY
 B.BAGHDADI

APPROVED BY
 V.M.D.R.

DRAWING No.
 A-1

**V. ROSA
DESIGNS LTD.**
CIVIL ENGINEERING

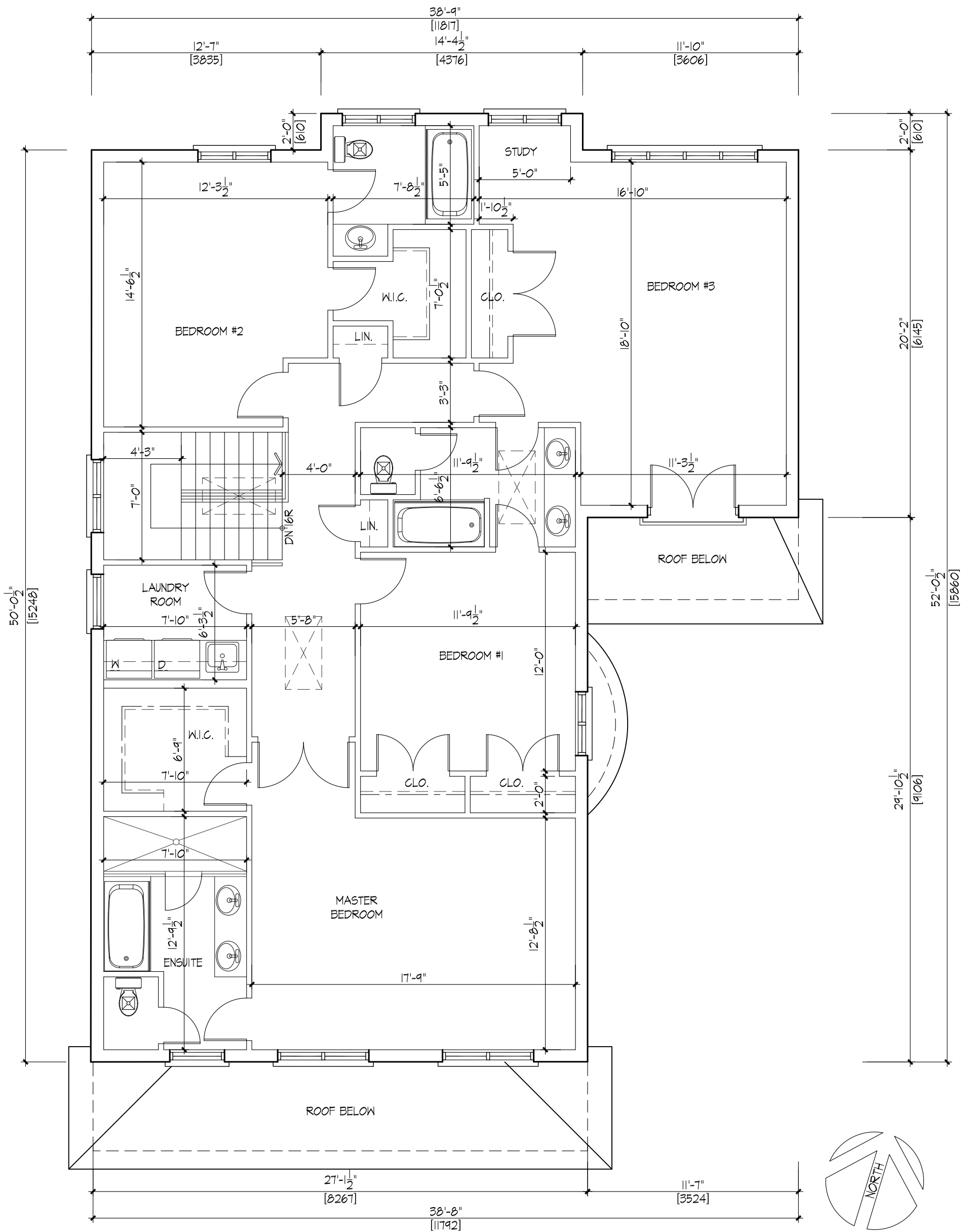
Victor M.D. Rosa
BASC., P.ENG.

1726 St. Clair Ave. West
Toronto Ontario, M6N 1J1
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PROJECT
PROP. ONE STOREY REAR
ADDITION & SECOND FLOOR
ADDIT'N & INTERIOR ALTERATIONS
AT 94 GEORGE ANDERSON DR.
CITY OF TORONTO

DRAWING FIRST FLOOR PLAN	
SCALE AS SHOWN	DRAWN BY B.BAGHDADI
DATE 02-16-17	APPROVED BY V.M.D.R.
PROJECT No. 16062	DRAWING No. A-3



1 SECOND FLOOR PLAN
 A 4 SCALE : 3/16" = 1'-0"
 METRIC SCALE: 1:75



**V. ROSA
 DESIGNS LTD.**

CIVIL ENGINEERING

Victor M.D. Rosa
 B.A.Sc., P.Eng.

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 Toronto Ontario, M6N 1J1
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PROJECT
 PROP. ONE STOREY REAR
 ADDITION & SECOND FLOOR
 ADDIT'N & INTERIOR ALTERATIONS
 AT 94 GEORGE ANDERSON DR.
 CITY OF TORONTO

DRAWING
 SECOND FLOOR PLAN

SCALE
 AS SHOWN

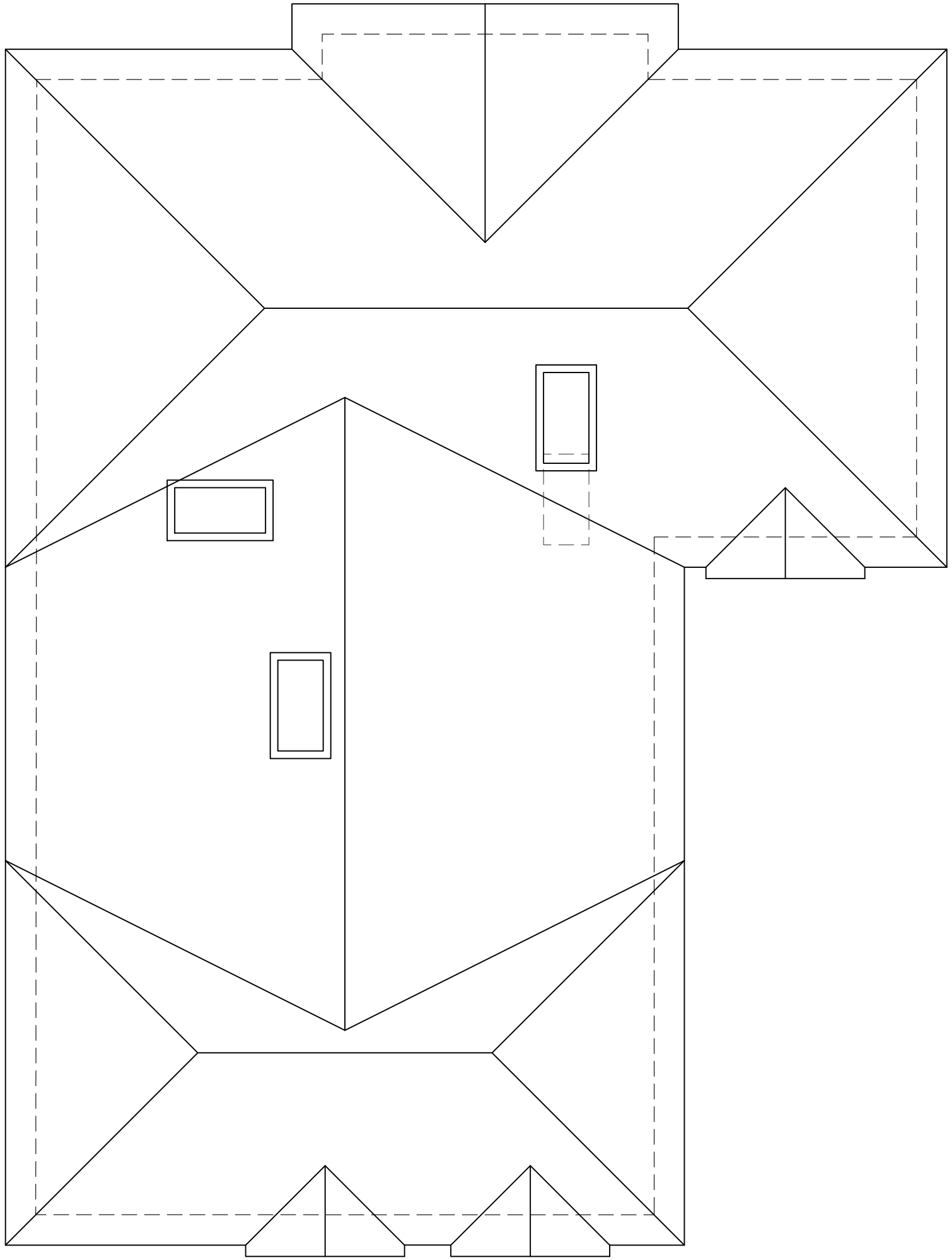
DATE
 02-16-17

PROJECT No.
 16062

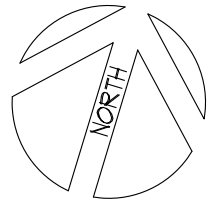
DRAWN BY
 B.BAGHDADI

APPROVED BY
 V.M.D.R.

DRAWING No.
 A-4



1 ROOF PLAN
 A5 SCALE : 3/16" = 1'-0"



**V. ROSA
 DESIGNS LTD.**

CIVIL ENGINEERING

Victor M.D. Rosa
 B.A.S.C., P.ENG.

1726 St. Clair Ave. West
 Toronto Ontario, M6N 1J1
 Tel: (416) 588-0001 Fax: (416) 588-3728

DO NOT SCALE DRAWINGS.
 CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY OMISSIONS OR DISCREPANCIES TO V. ROSA DESIGNS BEFORE PROCEEDING WITH WORK.
 ALL PRINTS AND SPECIFICATIONS ARE THE PROPERTY OF V. ROSA DESIGNS AND SHALL BE RETURNED UPON COMPLETION OF WORK.

DRAWING
 ROOF PLAN

PROJECT
 PROP. ONE STOREY REAR
 ADDITION & SECOND FLOOR
 ADDIT'N & INTERIOR ALTERATIONS
 AT 94 GEORGE ANDERSON DR.
 CITY OF TORONTO

SCALE
 AS SHOWN

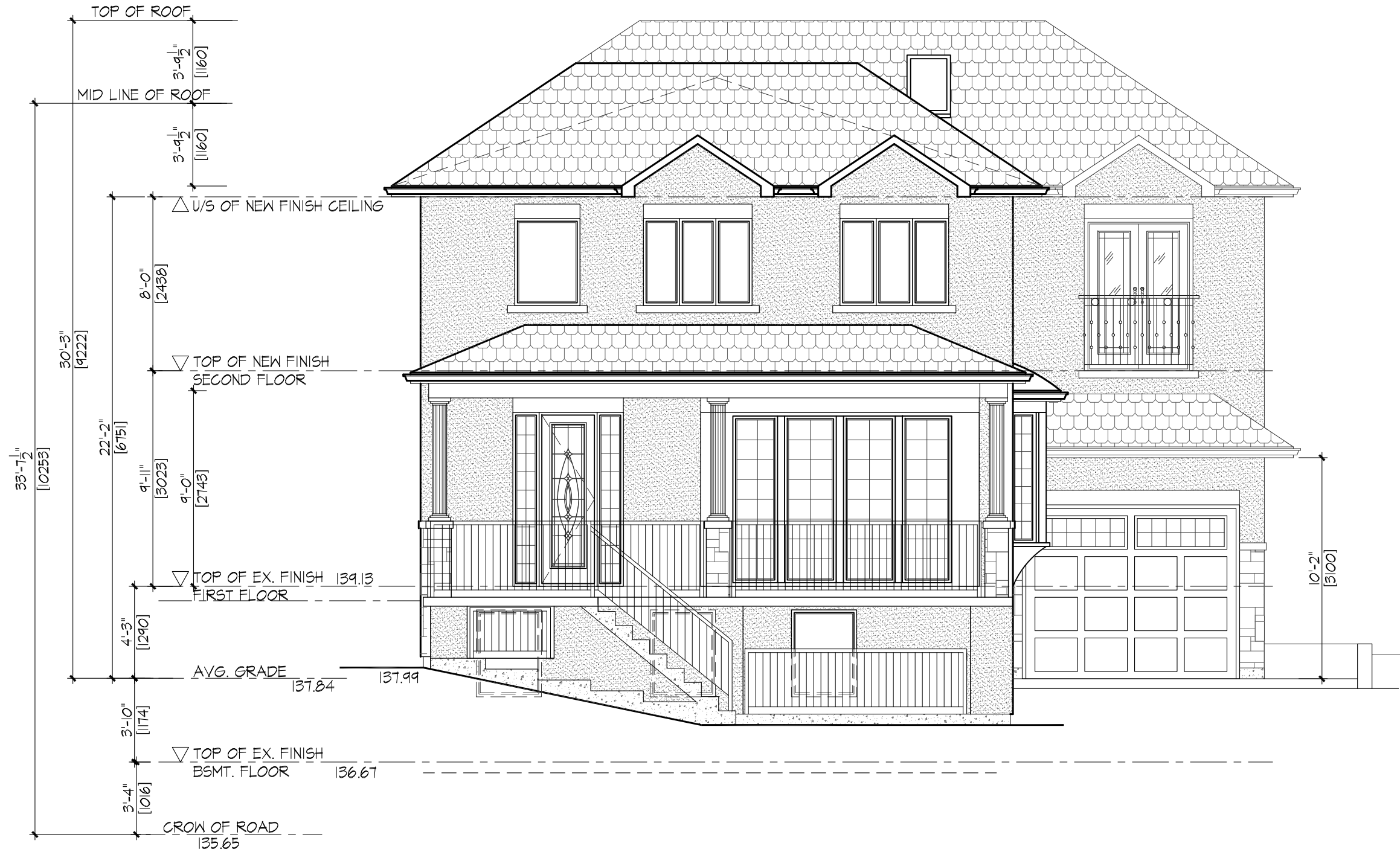
DATE
 02-16-17

PROJECT No.
 16062

DRAWN BY
 B.BAGHDADI

APPROVED BY
 V.M.D.R.

DRAWING No.
 A-5



1 SOUTH (FRONT) ELEVATION
 A6 SCALE : 3/16" = 1'-0"
 METRIC SCALE: 1:75

DRAWING	SOUTH (FRONT) ELEVATION		
	SCALE AS SHOWN	DRAWN BY B.BAGHDADI	
PROJECT	PROP. ONE STOREY REAR ADDITION & SECOND FLOOR ADDITN & INTERIOR ALTERATIONS AT 94 GEORGE ANDERSON DR. CITY OF TORONTO		
	DATE 02-16-17	APPROVED BY V.M.D.R.	DRAWING No. A-6
DO NOT SCALE DRAWINGS. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO V. ROSA DESIGNS BEFORE PROCEEDING WITH WORK. ALL PRINTS AND SPECIFICATIONS ARE THE PROPERTY OF V. ROSA DESIGNS AND SHALL BE RETURNED UPON COMPLETION OF WORK.			
V. ROSA DESIGNS LTD. CIVIL ENGINEERING Victor M.D. Rosa B.A.Sc., P.ENG. 1726 St. Clair Ave. West Toronto Ontario, M6N 1J1 Tel: (416) 588-0001 Fax: (416) 588-3728			



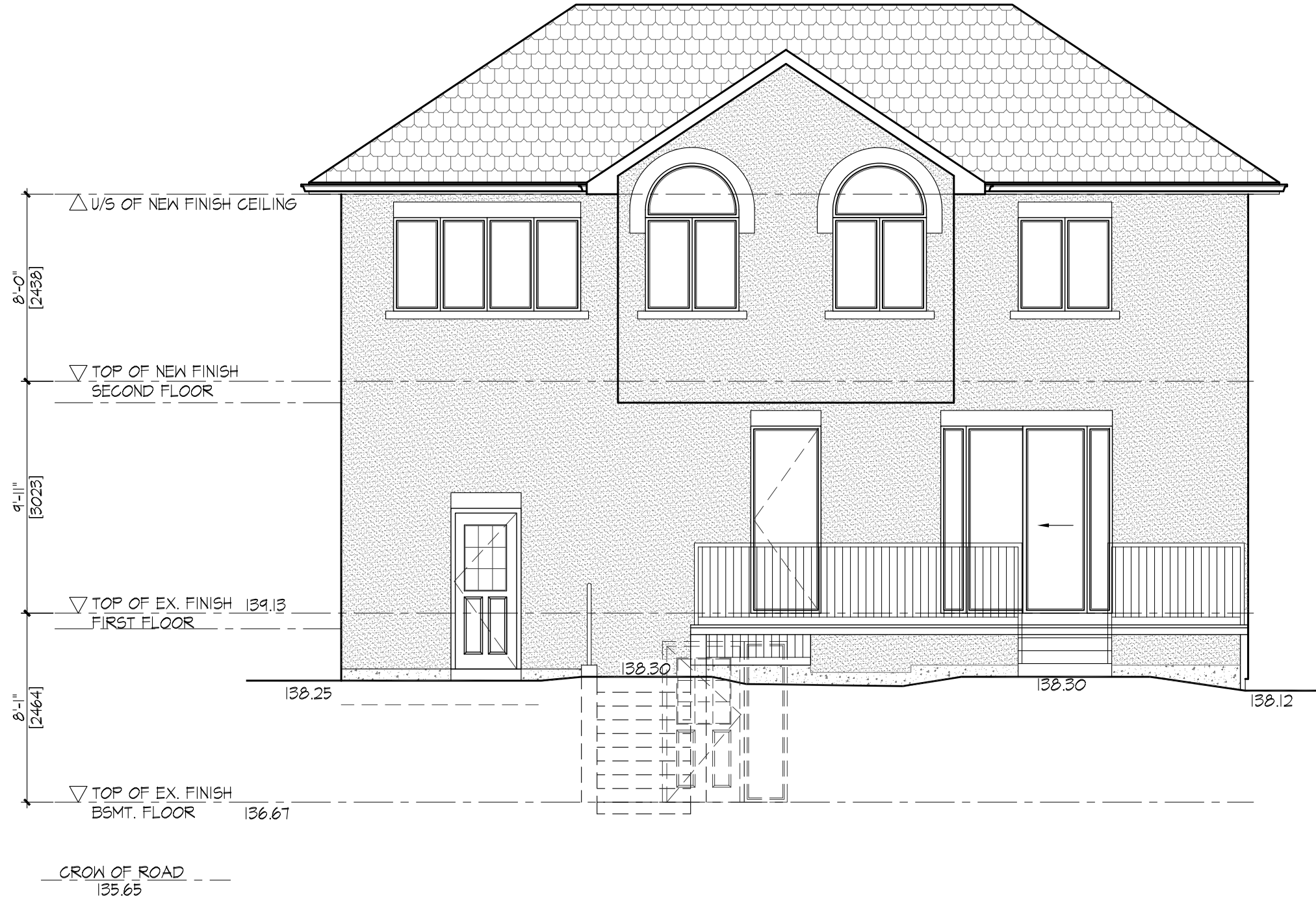
1 **EAST ELEVATION**
A7 SCALE : 1/8" = 1'-0"
 METRIC SCALE: 1:100

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<p style="font-size: small;">PROJECT</p> <p style="text-align: center;">PROP. ONE STOREY REAR ADDITION & SECOND FLOOR ADDITN & INTERIOR ALTERATIONS AT 94 GEORGE ANDERSON DR. CITY OF TORONTO</p>	<p style="font-size: small;">SCALE</p> <p style="text-align: center;">AS SHOWN</p>	<p style="font-size: small;">DRAWN BY</p> <p style="text-align: center;">B.BAGHDADI</p>
<p style="font-size: small;">CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO V. ROSA DESIGNS BEFORE PROCEEDING WITH WORK.</p>	<p style="font-size: small;">DATE</p> <p style="text-align: center;">02-16-17</p>	<p style="font-size: small;">APPROVED BY</p> <p style="text-align: center;">V.M.D.R.</p>
<p style="font-size: small;">ALL PRINTS AND SPECIFICATIONS ARE THE PROPERTY OF V. ROSA DESIGNS AND SHALL BE RETURNED UPON COMPLETION OF WORK.</p>	<p style="font-size: small;">PROJECT No.</p> <p style="text-align: center;">16062</p>	<p style="font-size: small;">DRAWING No.</p> <p style="text-align: center;">A-7</p>

**V. ROSA
DESIGNS LTD.**

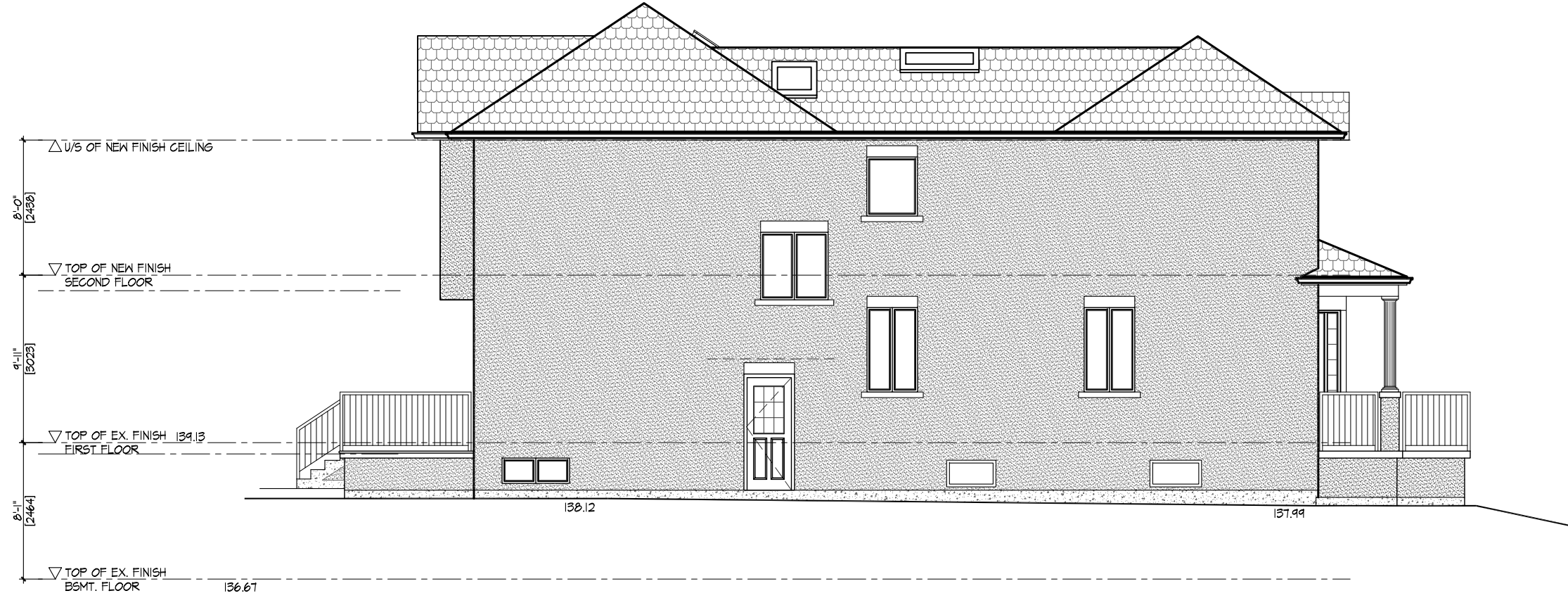
CIVIL ENGINEERING

Victor M.D. Rosa
BASC., P.ENG.
 1726 St. Clair Ave. West
 Toronto Ontario, M6N 1J1
 Tel: (416) 588-0001 Fax: (416) 588-3728



1 NORTH (REAR) ELEVATION
A 8 SCALE : 3/16" = 1'-0"
 METRIC SCALE: 1:75

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<p>PROJECT</p> <p>PROP. ONE STOREY REAR ADDITION & SECOND FLOOR ADDITN & INTERIOR ALTERATIONS AT 94 GEORGE ANDERSON DR. CITY OF TORONTO</p>	<p>SCALE AS SHOWN</p> <p>DATE 02-16-17</p> <p>PROJECT No. 16062</p>	
<p>V. ROSA DESIGNS LTD. CIVIL ENGINEERING</p> <p>Victor M.D. Rosa B.A.S.C., P.ENG. 1726 St. Clair Ave. West Toronto Ontario, M6N 1J1 Tel: (416) 588-0001 Fax: (416) 588-3728</p>		



1 **WEST ELEVATION**
A 9 SCALE : 3/16" = 1'-0"
 METRIC SCALE: 1:100

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	<p>SCALE AS SHOWN</p>	<p>DRAWN BY B.BAGHDADI</p>
	<p>DATE 02-16-17</p>	<p>APPROVED BY V.M.D.R.</p>
	<p>PROJECT No. 16062</p>	<p>DRAWING No. A-9</p>

**V. ROSA
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CIVIL ENGINEERING

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 B.A.S.C., P.ENG.
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 Tel: (416) 588-0001 Fax: (416) 588-3728

Thursday, July 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0449/17EYK	Zoning	R & R1S Z0.6
Owner(s):	NADEEM MANSOUR	Ward:	Parkdale-High Park (13)
Agent:	EXE URBAN INC	Heritage:	Not Applicable
Property Address:	32 WALLER AVE	Community:	
Legal Description:	PLAN 2437 LOT 27		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey front addition, a garbage enclosure along the east side of the dwelling and a rear yard deck. The existing front yard parking pad will be maintained.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.10.40.70.(1), By-law 569-2013 and Section 6(3) Part II 2(II), By-law 438-86**
The minimum required front yard setback 3.23 m.
The altered dwelling will be located 1.1 m from the front lot line.
- Section 10.10.40.70.(3)(A)(i), By-law 569-2013**
The minimum required side yard setback is 0.45 m.
The altered dwelling will be located 0.16 m from the west side lot line.
- Section 6(3) Part II 3.B(II), By-law 438-86**
The minimum required side yard setback if 0.9 m for that portion of the building not exceeding 17 m in depth.
The altered dwelling will be located 0.16 m from the west side lot line.
- Section 200.5.10.1.(1), By-law 569-2013 and Section 4(5)(B), By-law 438-86**
A total of one parking space is required.
No parking spaces will be provided.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition:

The site plan must include the following notations, to the satisfaction of Traffic Planning / Right of Way Management:

- a. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveway and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
- b. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services".

SIGNATURE PAGE

File Number:	A0449/17EYK	Zoning	R & R1S Z0.6
Owner:	NADEEM MANSOUR	Ward:	Parkdale-High Park (13)
Agent:	EXE URBAN INC	Heritage:	Not Applicable
Property Address:	32 WALLER AVE	Community:	
Legal Description:	PLAN 2437 LOT 27		

Denise Graham (signed)

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, July 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0455/17EYK	Zoning	R & R2 Z0.6
Owner(s):	PHATSALYVANH SOUTHLACK SIVICHAY SENGKHOUNMANY	Ward:	Davenport (17)
Agent:	ETTORE CERRA	Heritage:	Not Applicable
Property Address:	28 NORTHCLIFFEBLVD	Community:	
Legal Description:	PLAN 1296 PT LOTS 87 & 88		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey rear addition, a third storey rear addition, and to legalize the existing basement dwelling unit.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.10.40.40.(2)(A), By-law 569-2013**
The maximum permitted floor space index is 0.69 times the area of the lot (320.5 m²).
The altered dwelling will have a floor space index of 0.79 times the area of the lot (367.8 m²).
- Section 6(2)(1)(iii)(A), By-law 438-86**
A converted house is a permitted use provided only one addition is erected at the time of conversion or thereafter.
The altered dwelling will contain two additions erected at the time of conversion.
- Section 4(2)(A), By-law 438-86**
The maximum permitted dwelling height is 10 m.
The altered dwelling will have a height of 11.1 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0455/17EYK	Zoning	R & R2 Z0.6
Owner:	PHATSALYVANH SOUTHLACK SIVICHAY SENGKHOUNMANY	Ward:	Davenport (17)
Agent:	ETTORE CERRA	Heritage:	Not Applicable
Property Address:	28 NORTHCLIFFE BLVD	Community:	
Legal Description:	PLAN 1296 PT LOTS 87 & 88		

Denise Graham (signed)

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, July 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0457/17EYK	Zoning:	RD & R1
Owner(s):	KATE MACDONELL PHILIP ANDREW STEWART	Ward:	Parkdale-High Park (13)
Agent:	BATAY CSORBA ARCHITECTS	Heritage:	Not Applicable
Property Address:	81 METHUEN AVE	Community:	
Legal Description:	PLAN 1352 PT LOT 106		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.4 times the lot area.
The proposed dwelling will have a floor space index of 0.87 times the lot area.
- 2. Section 10.5.40.70.(1)(A), By-law 569-2013 & Section 7.(3)(f), By-law 1-83**
The minimum required front yard setback is 3.05 m.
The proposed dwelling will be located 2.64 m from the front lot line.
- 3. Section 10.20.40.70.(3)(C), By-law 569-2013, Section 7.(3)(g), By-law 1-83 & Section 7.3.(A), By-law 3623-97**
The minimum required side yard setback is 1.2 m.
The proposed dwelling will be located 0.55 m from the east side lot line.
- 4. Section 10.20.40.70.(2)(A), By-law 569-2013**
The minimum required rear yard setback is 7.5 m.
Section 7(3)(h), By-law 1-83 & Section 7(3)(a), By-law 3623-97
The minimum required rear yard setback is 9 m.
Section 10.20.40.70.(2)(A), By-law 569-2013, Section 7(3)(h), By-law 1-83 & Section 7(3)(a), By-law 3623-97
The proposed dwelling will be located 4.86 m from the rear lot line.

5. **Section 10.20.40.10.(6), By-law 569-2013**
The maximum permitted height of the first floor is 1.2 m, above established grade.
The proposed dwelling will have a first floor height of 1.24 m, above established grade.
6. **Section 10.20.40.10.(1)(A), By-law 569-2013**
The maximum permitted dwelling height is 11 m.
The proposed dwelling will have a height of 11.14 m.
7. **Section 10.5.80.40.(2), By-law 569-2013**
The elevation of the lowest point of a vehicle entrance in a main wall of the building must be higher than the elevation of the centreline of the driveway at the point where it intersects a lot line abutting a street (115.28).
The proposed elevation of the lowest point of a vehicle entrance in a main wall of a building is (115.19).
8. **Section 10.5.40.60.(3)(A)(iii), By-law 569-2013**
Exterior stairs providing access to a building or structure may encroach into a required minimum building setback provided that they are not closer to a lot line than 0.6 m.
The proposed side exterior stairs will be located 0 m from the west side lot line.
9. **Section 10.5.50.10.(3)(A), By-law 569-2013**
A minimum of 50% of the rear yard shall be maintained as soft landscaping.
No soft landscaping will be provided in the rear yard.
10. **Section 10.5.50.10.(2)(B), By-law 569-2013**
A minimum of 75% of the side yard shall be maintained as soft landscaping.
A total of 56% of the side yard will be maintained as soft landscaping.
11. **Section 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above the second storey is 4 m².
The proposed third storey west side platform will have an area of 16.1 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0457/17EYK	Zoning	RD & R1
Owner:	KATE MACDONELL PHILIP ANDREW STEWART	Ward:	Parkdale-High Park (13)
Agent:	BATAY CSORBA ARCHITECTS	Heritage:	Not Applicable
Property Address:	81 METHUEN AVE	Community:	
Legal Description:	PLAN 1352 PT LOT 106		

Edwin (Ted) Shepherd
(signed)

Allan Smithies (signed)

Dominic Gulli (signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, July 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0459/17EYK	Zoning	RD & R4
Owner(s):	SUSAN DEL TUFO LINDO DEL TUFO	Ward:	York South-Weston (12)
Agent:	LINDO DEL TUFO	Heritage:	Not Applicable
Property Address:	24 NORDALECRES	Community:	
Legal Description:	PLAN 3704 LOT 25		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition and a rear one-storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 13.2.3(a), By-law 7625**
The minimum required front yard setback is 6.5 m.
The altered dwelling will be located 4.85 m from the front lot line.
- 2. Section 900.3.10(5)(A), By-law 569-2013 and Section 13.2.3(b), By-law 7625**
The minimum required side yard setback is 1.8 m.
The altered dwelling will be located 1.48 m from the north side lot line.
- 3. Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The altered dwelling will have a length of 17.5 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

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- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0459/17EYK	Zoning	RD & R4
Owner:	SUSAN DEL TUFO LINDO DEL TUFO	Ward:	York South-Weston (12)
Agent:	LINDO DEL TUFO	Heritage:	Not Applicable
Property Address:	24 NORDALE CRES	Community:	
Legal Description:	PLAN 3704 LOT 25		

Denise Graham (signed)

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, July 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0463/17EYK	Zoning	RM & R2
Owner(s):	ALICIA SUTTON JONATHAN DOURADO	Ward:	Davenport (17)
Agent:	EDDIE PERES	Heritage:	Not Applicable
Property Address:	155 DAYAVE	Community:	
Legal Description:	PLAN 1957 S PT LOT 13		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a front basement walk-out and a second storey addition above the existing rear one-storey portion of the dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 8.3.(a), By-law 1-83**
The minimum required side yard setback is 0.5 m for one side and 1.2 m for the other side.
The altered dwelling will be located 0.5 m from the north side lot line and 0.2 m from the south side lot line.
- Section 3.3.1.(a), By-law 1-83**
Unenclosed steps may encroach into the front yard from the ground to the ground floor.
The proposed (unenclosed) steps will encroach into the front yard from the ground to the basement floor which is not permitted.
- Section 10.5.50.10.(1)(D), By-law 569-2013 & Section 8.3(c)(i)(5), By-law 1-83**
A minimum of 75% of the front yard, not covered by a permitted driveway, shall be maintained as soft landscaping (18.8 m²).
A total of 42.7% of the front yard, not covered by a permitted driveway, will be maintained as soft landscaping (10.7 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0463/17EYK	Zoning	RM & R2 (ZR)
Owner:	ALICIA SUTTON JONATHAN DOURADO	Ward:	Davenport (17)
Agent:	EDDIE PERES	Heritage:	Not Applicable
Property Address:	155 DAY AVE	Community:	
Legal Description:	PLAN 1957 S PT LOT 13		

Denise Graham (signed)

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, July 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0468/17EYK	Zoning	RM & R2
Owner(s):	2489674 ONTARIO INC 2489674 ONT INC	Ward:	York South-Weston (11)
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	98 GUESTVILLEAVE	Community:	
Legal Description:	PLAN 1030 PT LOT 3		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a third floor addition and to convert the existing mixed-use building into a fourplex building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.20.40.(1)(E), By-law 569-2013 and Section 2, By-law 1-83**
A fourplex is not a permitted building type in a RM and R2 zone.
- Section 10.80.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.8 times the area of the lot.
The altered building will have a floor space index of 0.97 times the area of the lot.
- Section 10.80.40.70.(3)(D), By-law 569-2013**
The minimum required side yard setback is 2.4 m for a fourplex building.
The altered building will be located 0.34 m from the north side lot line.
- Section 10.5.50.10.(3)(A), By-law 569-2013**
A minimum of 50% of the rear yard shall be maintained as soft landscaping.
A total of 23.2% of the rear yard is being maintained as soft landscaping.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0468/17EYK	Zoning	RM & R2
Owner:	2489674 ONTARIO INC 2489674 ONT INC	Ward:	York South-Weston (11)
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	98 GUESTVILLE AVE	Community:	
Legal Description:	PLAN 1030 PT LOT 3		

Denise Graham (signed)

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, July 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0475/17EYK	Zoning	RD & R4
Owner(s):	ASHLEY RAMOS CHRISTOPHER PACHECO	Ward:	York South-Weston (11)
Agent:	CHRISTOPHER PACHECO	Heritage:	Not Applicable
Property Address:	44 RANWOOD DR	Community:	
Legal Description:	PLAN M413 LOT 53		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The new dwelling will cover 30.3% of the lot area.
- 2. Section 900.3.10.(5)(A), By-law 569-2013 and Section 13.2.3.(b), By-law 7625**
The minimum required side yard setback is 1.8 m.
The new dwelling will be located 1.41 m from the north side lot line and 1.42 m from the south side lot line.
- 3. Section 10.5.100.1.(1)(C), By-law 569-2013**
The maximum permitted driveway width is 6 m.
The proposed driveway will have a width of 6.57 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
2. Submission of a complete application for permit to injure or destroy privately owned trees.
3. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 3.1 The site plan must be revised to show the width of the driveway within the public right-of-way being a maximum of 6.57 m wide;
 - 3.2 The site plan must be revised to illustrate the proposed driveway and curb cut within the abutting Ranwood Drive municipal boulevard, and any removal of the redundant portions of the existing driveway and restoration of the redundant curb cut with raised concrete curb in accordance to City of Toronto Design Standard No. T-600.05-1;
 - 3.3 The site plan must be revised to include a notation on the drawing stating: "The proposed new driveway shall be constructed to the applicable City of Toronto Design Standard(s)";
 - 3.4 The site plan must be revised to include a notation on the drawing stating: "The applicant must provide a Municipal Road Damage Deposit (MRDD) for the proposed driveway construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at 416-338-1045 in this regard;
 - 3.5 The site plan must be revised to include a notation on the drawing stating: "The applicant must obtain all required permits for work within the public road allowance from the Right-of-Way Management Section of Transportation Services".

SIGNATURE PAGE

File Number:	A0475/17EYK	Zoning	RD & R4
Owner:	ASHLEY RAMOS CHRISTOPHER PACHECO	Ward:	York South-Weston (11)
Agent:	CHRISTOPHER PACHECO	Heritage:	Not Applicable
Property Address:	44 RANWOOD DR	Community:	
Legal Description:	PLAN M413 LOT 53		

Denise Graham (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Allan Smithies (signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, July 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0454/17EYK	Zoning:	R & R1S
Owner(s):	DANIAL ABEDINIABYANEH BAHAREH SHAKIB	Ward:	Parkdale-High Park (13)
Agent:	ALI KASHANI	Heritage:	Not Applicable
Property Address:	129 BERESFORDAVE	Community:	
Legal Description:	PLAN 551 BLK J LOT 38		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the dwelling by constructing: a second storey addition above the existing dwelling, a two-storey rear addition with a rear deck and a rear basement walkout.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.6 times the area of the lot (131.7 m²).
The altered dwelling will have a floor space index of 0.86 times the area of the lot (189 m²).
- Section 10.10.40.70.(3)(A)(i), By-law 569-2013**
The minimum required side yard setback is 0.9 m.
The altered dwelling will be located 0.71 m from the north side lot line.
- Section 6(3) Part II 3.B(II), By-law 438-86**
The minimum required side yard setback is 0.9 m, for the portion of the building not exceeding 17 m in depth.
The portion of the altered dwelling not exceeding 17 m in depth will be located 0.31 m from the south side lot line and 0.71 m from the north side lot line.
- Section 10.10.40.10.(1)(A), By-law 569-2013**
The maximum permitted building height is 9 m.
The altered dwelling will have a height of 9.75 m.
- Section 200.5.10.1.(1), By-law 569-2013 and Section 4(4)(c)(i), By-law 438-86**
A total of 1 parking space is required.
No legal parking spaces will be provided.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.

SIGNATURE PAGE

File Number:	A0454/17EYK	Zoning	R & R1S
Owner:	DANIAL ABEDINIABYANEH BAHAREH SHAKIB	Ward:	Parkdale-High Park (13)
Agent:	ALI KASHANI	Heritage:	Not Applicable
Property Address:	129 BERESFORD AVE	Community:	
Legal Description:	PLAN 551 BLK J LOT 38		

Denise Graham (signed)

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, July 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0471/17EYK	Zoning	RD & R4
Owner(s):	ELSA LUISA KAIRIES PALMA	Ward:	York South-Weston (12)
Agent:	TONY HENRIQUES	Heritage:	Not Applicable
Property Address:	10 BATTERSEA CRES	Community:	
Legal Description:	PLAN 4044 LOT 116		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 900.3.10(5)(A), By-law 569-2013 and Section 13.2.3(b), By-law 7625

The minimum required side yard setback is 1.8 m.

The altered dwelling will be located 1.52 m from the north side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition:

The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

SIGNATURE PAGE

File Number:	A0471/17EYK	Zoning	RD & R4
Owner:	ELSA LUISA KAIRIES PALMA	Ward:	York South-Weston (12)
Agent:	TONY HENRIQUES	Heritage:	Not Applicable
Property Address:	10 BATTERSEA CRES	Community:	
Legal Description:	PLAN 4044 LOT 116		

Denise Graham (signed)

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, July 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0488/17EYK	Zoning	R & R2 Z0.6
Owner(s):	MICHAEL CHACHULA	Ward:	Parkdale-High Park (13)
Agent:	MICHAEL CHACHULA	Heritage:	Not Applicable
Property Address:	130 ANNETTE ST	Community:	
Legal Description:	PLAN 553 BLK 25 PT LOT 5		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To enlarge the third storey of the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.10.40.40.(1)(A), By-law 569-2013 and Section 6(3) Part I 1, By-law 438-86**
The maximum permitted floor space index/gross floor area is 0.6 times the area of the lot (156 m²).

Section 10.10.40.40.(1)(A), By-law 569-2013
The altered dwelling will have a floor space index equal to 1.05 times the area of the lot (271.8 m²).

Section 6(3) Part I 1, By-law 438-86
The altered dwelling will have a gross floor area equal to 0.93 times the area of the lot (241.1 m²).
- Section 150.10.40.40.(1), By-law 569-2013**
A secondary suite is a permitted use provided that the interior floor area of a secondary suite is less than the interior floor area of the dwelling unit.
The interior floor area of the altered secondary suite is greater than the interior floor area of the dwelling unit.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0488/17EYK	Zoning	R & R2 Z0.6
Owner:	MICHAEL CHACHULA	Ward:	Parkdale-High Park (13)
Agent:	MICHAEL CHACHULA	Heritage:	Not Applicable
Property Address:	130 ANNETTE ST	Community:	
Legal Description:	PLAN 553 BLK 25 PT LOT 5		

Denise Graham (signed)

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, July 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0490/17EYK	Zoning:	RM & R2
Owner(s):	MICHAEL MORGADO ROSEMARY AMARAL- MORGADO	Ward:	York South-Weston (12)
Agent:	V ROSA DESIGNS LTD	Heritage:	Not Applicable
Property Address:	174 KANE AVE	Community:	
Legal Description:	PLAN 2245 LOT 411		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling and a garage in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.5.60.70.(1), By-law 569-2013**
The maximum permitted lot coverage for an ancillary building is 10% of the lot area.
The ancillary building (garage) will cover 14.4% of the lot area.
- Section 8.3(a), By-law 1-83**
The minimum required side yard setback is 0.5 m on one side and 1.2 m on the opposite side.
The altered dwelling will be located 0.12 m from the north side lot line and 1.29 m from the south side lot line.
- Section 10.5.40.60.(2)(A), By-law 569-2013**
A canopy, awning or similar structure above a platform may encroach into a required building setback to the same extent as the platform it is covering.
The proposed canopy will encroach 1.06 m into the side yard setback, beyond the platform it is covering.
- Section 10.5.50.10.(3)(A), By-law 569-2013**
A minimum of 50% of the rear yard shall be maintained as soft landscaping.
A total of 33% of the rear yard will be maintained as soft landscaping.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0490/17EYK	Zoning	RM & R2
Owner:	MICHAEL MORGADO ROSEMARY AMARAL- MORGADO	Ward:	York South-Weston (12)
Agent:	V ROSA DESIGNS LTD	Heritage:	Not Applicable
Property Address:	174 KANE AVE	Community:	
Legal Description:	PLAN 2245 LOT 411		

Denise Graham (signed)

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, July 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0498/17EYK	Zoning:	R2
Owner(s):	CONCHITA OLARTE ROLANDO OLARTE	Ward:	Davenport (17)
Agent:	MODULAR HOME ADDITIONS	Heritage:	Not Applicable
Property Address:	245 NORTHCLIFFE BLVD	Community:	
Legal Description:	PLAN 2798 LOT 8		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 8.3(a), By-law 1-83

The minimum required side yard setback is 0.5 m on one side and 1.2 m on the opposite side.

The altered dwelling will be located 0.29 m from the south side lot line and 1.07 m from the north side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0498/17EYK	Zoning	R2
Owner:	CONCHITA OLARTE ROLANDO OLARTE	Ward:	Davenport (17)
Agent:	MODULAR HOME ADDITIONS	Heritage:	Not Applicable
Property Address:	245 NORTHCLIFFE BLVD	Community:	
Legal Description:	PLAN 2798 LOT 8		

Denise Graham (signed)

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

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Thursday, July 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0500/17EYK	Zoning:	R & R2 Z0.6
Owner(s):	NIKHIL SHAH PUNITA SHAH	Ward:	Parkdale-High Park (13)
Agent:	LYNCH & COMISSO INC	Heritage:	Not Applicable
Property Address:	301 WILLARD AVE	Community:	
Legal Description:	PLAN 970 PT LOT 16		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a three-storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.6 times the lot area (217.55 m²).
The altered dwelling will have a floor space index of 0.8 times the lot area (291.59 m²).
- Section 10.10.40.70.(1), By-law 569-2013 & Section 6(3) Part II 2(II), By-law 438-86**
The minimum required front yard setback is 7.53 m.
The altered dwelling will be located 6.71 m from the front lot line.
- Section 6(3) Part 3.B(II), By-law 438-86**
The minimum required side yard setback is 0.9 m, for the portion of the building not exceeding 17 m in depth, where the side wall contains openings.
The altered dwelling not exceeding 17 m in depth will be located 0.18 m from the south side lot lines.
- Section 6(3) Part II 3(I), By-law 438-86**
The minimum required setback from the side wall of an adjacent building that contains no openings is 0.9 m.
The altered dwelling will be located 0.3 m from the adjacent building to the south (299 Willard Avenue).
- Section 6(3) Part II 3.B(II), By-law 438-86**
The minimum required side yard setback for the portion of the building exceeding 17 m in depth is 7.5 m.
The portion of the altered dwelling exceeding 17 m in depth will be located 1.06 m from the north side lot line and 0.18 m from the south side lot line.
- Section 10.10.40.30.(1)(A), By-law 569-2013**
The maximum permitted dwelling depth is 17 m.
The altered dwelling will have a depth of 17.41 m.
- Section 10.10.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls is 7.5 m, facing a side lot line.
The side exterior main walls of the altered dwelling will have a height of 9.42 m, facing a side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0500/17EYK	Zoning	R & R2 Z0.6
Owner:	NIKHIL SHAH PUNITA SHAH	Ward:	Parkdale-High Park (13)
Agent:	LYNCH & COMISSO INC	Heritage:	Not Applicable
Property Address:	301 WILLARD AVE	Community:	
Legal Description:	PLAN 970 PT LOT 16		

Denise Graham (signed)

Allan Smithies (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, July 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0513/17EYK	Zoning	R & R1S
Owner(s):	ALEXANDRA FRANCES DEVLIN MATTHEW ADAM T. DEVLIN	Ward:	Parkdale-High Park (13)
Agent:	KATHERINE HARRISON ARCHITECT & DESIGN INC	Heritage:	Not Applicable
Property Address:	58 A LAVINIA AVE	Community:	
Legal Description:	PLAN 551 PT LOT 2 BLK B		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear and north side addition and a new rear deck. A previous Committee of Adjustment application (A0197/17EYK) approved variances relating to side yard setback, depth and parking.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.10.40.40.(2)(B), By-law 569-2013

The minimum required side yard setback is 2.45 m.

The altered dwelling will be located 1.26 m from the north side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0513/17EYK	Zoning	R & R1S
Owner:	ALEXANDRA FRANCES DEVLIN	Ward:	Parkdale-High Park (13)
Agent:	MATTHEW ADAM T. DEVLIN KATHERINE HARRISON ARCHITECT & DESIGN INC	Heritage:	Not Applicable
Property Address:	58 A LAVINIA AVE	Community:	
Legal Description:	PLAN 551 PT LOT 2 BLK B		

Denise Graham (signed)

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, July 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0514/17EYK	Zoning	R4(h)
Owner(s):	POWERHOUSE PROPERTIES LTD.	Ward:	Davenport (17)
Agent:	BARRETT ARCHITECTS INC	Heritage:	Designated
Property Address:	31 POWERHOUSE ST	Community:	
Legal Description:			

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit a take out restaurant within a portion of the existing building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section (4), By-law 728-2006

The proposed non-residential use (take out restaurant) is not a permitted use.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

Prior to the issuance of a building permit, the owner shall submit drawings, including plans, elevations and details, to the satisfaction of the Senior Manager of Heritage Preservation Services, and apply and obtain a Heritage Permit under Section 33 of the Ontario Heritage Act.

SIGNATURE PAGE

File Number:	A0514/17EYK	Zoning	R4(h)
Owner:	POWERHOUSE PROPERTIES LTD.	Ward:	Davenport (17)
Agent:	BARRETT ARCHITECTS INC	Heritage:	Designated
Property Address:	31 POWERHOUSE ST	Community:	
Legal Description:			

Denise Graham (signed)

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, July 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0543/17EYK	Zoning	RM & R2
Owner(s):	ANDRE OLIVEIRA HERMINIO OLIVEIRA	Ward:	Davenport (17)
Agent:	HERMINIO OLIVEIRA	Heritage:	Not Applicable
Property Address:	250 NAIRN AVE	Community:	
Legal Description:	PLAN 1381 N PT LOT 168		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a detached garage in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.5.60.70.(1), By-law 569-2013**
The total area on a lot covered by ancillary buildings or structures shall not exceed 10% of the lot area.
The ancillary building (garage) will cover 18.2% of the lot area.
- Section 10.5.60.20.(3)(C)(iii), By-law 569-2013**
The minimum required side yard setback for an ancillary building or structure in a rear yard is 0.3 m.
The ancillary building (garage) will be located 0 m from the north and south side lot lines.
- Section 200.5.10.1.(1), By-law 569-2013 and Section 8.3.2.1D.1, By-law 1-83**
A total of 2 parking spaces are required for the site.
A total of 1 parking space will be provided.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition:

Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.

SIGNATURE PAGE

File Number:	A0543/17EYK	Zoning	RM & R2
Owner:	ANDRE OLIVEIRA HERMINIO OLIVEIRA	Ward:	Davenport (17)
Agent:	HERMINIO OLIVEIRA	Heritage:	Not Applicable
Property Address:	250 NAIRN AVE	Community:	
Legal Description:	PLAN 1381 N PT LOT 168		

Denise Graham (signed)

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, July 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0545/17EYK	Zoning	RD
Owner(s):	ANNE REMMEL	Ward:	Parkdale-High Park (13)
Agent:	PRAXIS DESIGN GROUP	Heritage:	Not Applicable
Property Address:	22 BRIDGEVIEW RD	Community:	
Legal Description:	PLAN 1582 N PT LOT 150 S PT LOT 151		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.20.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index is 0.4 times the area of the lot.

The altered dwelling will have a floor space index equal to 0.51 times the area of the lot.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0545/17EYK	Zoning	RD
Owner:	ANNE REMMEL	Ward:	Parkdale-High Park (13)
Agent:	PRAXIS DESIGN GROUP	Heritage:	Not Applicable
Property Address:	22 BRIDGEVIEW RD	Community:	
Legal Description:	PLAN 1582 N PT LOT 150 S PT LOT 151		

Denise Graham (signed)

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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Thursday, July 13, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0008/17EYK	Zoning	RM & R2
Owner(s):	SYLBERT THOMAS	Ward:	York South-Weston (11)
Agent:	LIMA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	39 BALA AVE	Community:	
Legal Description:	CON 4 PT LOT 2		

Notice was given and the application considered on Thursday, July 13, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the lot into two undersized residential lots.

Retained - Part 1

Address to be assigned

The lot frontage is 6.1 m and the lot area is 167.61 m². The existing dwelling will be demolished and the property will be developed as the site of the north half of a pair of semi-detached dwelling with an attached garage, requiring variances to the Zoning By-law, as outlined in Application A0065/17EYK.

Conveyed - Part 2

Address to be assigned

The lot frontage is 6.1 m and the lot area is 167.61 m². The existing dwelling will be demolished and the property will be developed as the site of the south half of a pair of semi-detached dwelling with an attached garage, requiring variances to the Zoning By-law, as outlined in Application A0066/17EYK.

File Numbers B0008/17EYK, A0065/17EYK AND A0066/17EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the attached plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of Survey and Mapping Services, Engineering Services, Engineering and Construction Services. Contact: John Fligg @ (416) 338-5031 or Elizabeth Machynia @ (416) 338-5029.
3. The applicant shall satisfy all conditions concerning City/Private owned trees, to the satisfaction of Urban Forestry Services.
4. Where no street trees exist, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting each new lot created, to the satisfaction of Urban Forestry Services.
5. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, of Property Records, at 416 392-8338; jhouse@toronto.ca
6. **An electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services, shall be filed with the Committee of Adjustment.
7. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare and submit for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act* , as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0008/17EYK	Zoning	RM & R2
Owner(s):	SYLBERT THOMAS	Ward:	York South-Weston (11)
Agent:	LIMA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	39 BALA AVE	Community:	
Legal Description:	CON 4 PT LOT 2		

Denise Graham (signed)

Allan Smithies (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Thursday, August 10, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, July 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0065/17EYK	Zoning	RM & R2
Owner(s):	SYLBERT THOMAS	Ward:	York South-Weston (11)
Agent:	LIMA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	39 BALA AVE – PART 1	Community:	
Legal Description:	CON 4 PT LOT 2		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new semi-detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.30.10.(1)(A), By-law 569-2013**
The minimum required lot area is 180 m².
The new lot area will be 167.61 m².
- Section 10.80.40.40.(1)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83**
The maximum permitted floor space index is 0.8 times the area of the lot.
Section 10.80.40.40.(1)(A), By-law 569-2013
The new dwelling will have a floor space index of 0.9 times the area of the lot.
Section 8.3.(a), By-law 1-83
The new dwelling will have a floor space index of 0.91 times the area of the lot.
- Section 10.5.40.70.(1)(A), By-law 569-2013**
The minimum required front yard setback is 3.73 m.
The new dwelling will be located 3.71 m from the front lot line.
- Section 10.5.40.60.(1)(C), By-law 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade, may encroach into the required rear yard setback 2.5 m, if it is no closer to a side lot line than 1.5 m.
Section 3.4.7(a)(1), By-law 1-83
A porch, verandah, deck or balcony shall not project more than 2.4 m within a required front yard or rear yard setback.
Section 10.5.40.60.(1)(C), By-law 569-2013 and Section 3.4.7(a)(1), By-law 1-83
The proposed platform will encroach 3 m into the required rear yard setback and will be located 1.5 m from the west side lot line.

5. Section 10.5.40.60.(6)(B)(i), By-law 569-2013

A bay window, or other window projections from a main wall of a building, which increases the floor area or enclosed space and does not touch the ground, may encroach into a required side yard setback a maximum of 0.6 m, if the window projections in total do not occupy more than 30% of the width of the side main wall at each storey.

The proposed windows will encroach 0.36 m from the wall into the required west side yard setback. The total window projections will occupy 51% of the first storey main wall width.

6. Section 200.5.1.10.(2)(A)(i), By-law 569-2013

The minimum required width of a parking space is 3.2 m.

The proposed parking space, within the proposed attached garage, will have a width of 3.05 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0008/17EYK**
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
3. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
4. The following conditions shall be fulfilled to the satisfaction of the Engineering and Construction Services Division:
 - 4.1 The applicant shall submit one revised site plan (scale of 1:200 or 1:250) illustrating the requirements specified in the following points to the satisfaction of Development Engineering Services and Transportation Services, at no cost to the City;
 - a) Illustrate a positive slope from the roadway to the garage and have a minimum driveway slope of 2% and maximum driveway slope of 8%. Driveway slopes should be identified on all proposed lots; and,
 - b) Illustrate existing structures (i.e. driveway, etc.) to be demolished; and,
 - c) Illustrate distance of proposed building from all lot lines; and,

- d) Each lot requires a separate sanitary and water service connection; and,
- e) Clearly indicate the restoration of the redundant portion of curb cuts for the former driveway and new curb cuts for the proposed dwellings, all of which shall be designed to municipal standards; and,
- f) Include a notation on the drawing stating: "The proposed new driveways shall be constructed to the applicable City of Toronto Design Standards"; and,
- g) Include a notation on the drawing stating: "The applicant must provide a Municipal Road Damage Deposit (MRDD) for the proposed driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at 416-338-1045 in this regard; and,
- h) Include a notation on the drawing stating: "The applicant must obtain all required permits to construct the proposed driveways from the Right-of-Way Management Section of Transportation Services (i.e. curb cut permits, etc.)".

SIGNATURE PAGE

File Number:	A0065/17EYK	Zoning	RM & R2
Owner:	SYLBERT THOMAS	Ward:	York South-Weston (11)
Agent:	LIMA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	39 BALA AVE – PART 1	Community:	
Legal Description:	CON 4 PT LOT 2		

Denise Graham (signed)

Allan Smithies (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, July 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0066/17EYK	Zoning	RM & R2
Owner(s):	SYLBERT THOMAS	Ward:	York South-Weston (11)
Agent:	LIMA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	39 BALA AVE – PART 2	Community:	
Legal Description:	CON 4 PT LOT 2		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new semi-detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.30.10.(1)(A), By-law 569-2013**
The minimum required lot area is 180 m².
The new lot area will be 167.61 m².
- Section 10.80.40.40.(1)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83**
The maximum permitted floor space index is 0.8 times the area of the lot.
Section 10.80.40.40.(1)(A), By-law 569-2013
The new dwelling will have a floor space index of 0.9 times the area of the lot.
Section 8.3.(a), By-law 1-83
The new dwelling will have a floor space index of 0.91 times the area of the lot.
- Section 10.5.40.70.(1)(A), By-law 569-2013**
The minimum required front yard setback is 3.73 m.
The new dwelling will be located 3.71 m from the front lot line.
- Section 10.5.40.60.(1)(C), By-law 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade, may encroach into the required rear yard setback 2.5 m. if it is no closer to a side lot line than 1.5 m.
Section 3.4.7(a)(1), By-law 1-83
A porch, verandah, deck or balcony shall not project more than 2.4 m within a required front yard or rear yard setback.
Section 10.5.40.60.(1)(C), By-law 569-2013 and Section 3.4.7(a)(1), By-law 1-83
The proposed platform will encroach 3 m into the required rear yard setback and will be located 1.5 m from the east side lot line.
- Section 200.5.1.10.(2)(A)(i), By-law 569-2013**
The minimum required width of a parking space is 3.2 m.
The proposed parking space, within the proposed attached garage, will have a width of 3.05 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0008/17EYK**
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
3. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
4. The following conditions shall be fulfilled to the satisfaction of the Engineering and Construction Services Division:
 - 4.1 The applicant shall submit one revised site plan (scale of 1:200 or 1:250) illustrating the requirements specified in the following points to the satisfaction of Development Engineering Services and Transportation Services, at no cost to the City;
 - a) Illustrate a positive slope from the roadway to the garage and have a minimum driveway slope of 2% and maximum driveway slope of 8%. Driveway slopes should be identified on all proposed lots; and,
 - b) Illustrate existing structures (i.e. driveway, etc.) to be demolished; and,
 - c) Illustrate distance of proposed building from all lot lines; and,
 - d) Each lot requires a separate sanitary and water service connection; and,
 - e) Clearly indicate the restoration of the redundant portion of curb cuts for the former driveway and new curb cuts for the proposed dwellings, all of which shall be designed to municipal standards; and,
 - f) Include a notation on the drawing stating: "The proposed new driveways shall be constructed to the applicable City of Toronto Design Standards"; and,

- g) Include a notation on the drawing stating: "The applicant must provide a Municipal Road Damage Deposit (MRDD) for the proposed driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at 416-338-1045 in this regard; and,
- h) Include a notation on the drawing stating: "The applicant must obtain all required permits to construct the proposed driveways from the Right-of-Way Management Section of Transportation Services (i.e. curb cut permits, etc.)".

SIGNATURE PAGE

File Number:	A0066/17EYK	Zoning	RM & R2
Owner:	SYLBERT THOMAS	Ward:	York South-Weston (11)
Agent:	LIMA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	39 BALA AVE – PART 2	Community:	
Legal Description:	CON 4 PT LOT 2		

Denise Graham (signed)

Allan Smithies (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, July 13, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0004/17EYK	Zoning:	RD & R1
Owner(s):	PETER YU CYNTHIA WILCHYNSKI	Ward:	Parkdale-High Park (13)
Agent:	ZORAN TIRNANIC	Heritage:	Not Applicable
Property Address:	10 METHUEN AVE	Community:	
Legal Description:	PLAN 1352 PT LOT 126		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a three-storey rear addition and a rear yard deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 2.1.1.(2), By-law 569-2013 and Section 3.6.1(1)(c), By-law 1-83

No person may use, erect or alter a building or structure that does not comply with this By-law.
The existing dwelling is a legal non-conforming use.

REQUESTED PERMISSION UNDER SUBSECTION 45(2)(A)(i) OF THE PLANNING ACT:

The use on the site consists of an existing single family semi-detached dwelling that is currently a legal non-conforming use. The proposed three-storey rear addition and proposed rear yard deck represents an enlargement or extension of a legal non-conforming use/building. Any alterations or additions and/or changes in use of a legal non-conforming building or structure, requires the permission of the Committee of Adjustment.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.
- The Committee of Adjustment considers that the application has not met the requirements of subsection 45(2)(a)(i) and (ii) of the Planning Act.

SIGNATURE PAGE

File Number:	A0004/17EYK	Zoning	RD & R1
Owner:	PETER YU CYNTHIA WILCHYNSKI	Ward:	Parkdale-High Park (13)
Agent:	ZORAN TIRNANIC	Heritage:	Not Applicable
Property Address:	10 METHUEN AVE	Community:	
Legal Description:	PLAN 1352 PT LOT 126		

Denise Graham (signed)

Edwin (Ted) Shepherd
(signed)

Dominic Gulli (signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, July 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0172/17EYK	Zoning	R & R2 Z0.6
Owner(s):	SPENCER THOMAS FARRELL JONATHAN MATTHEW CONWAY	Ward:	Parkdale-High Park (13)
Agent:	TH DESIGN INC	Heritage:	Not Applicable
Property Address:	51 MC MURRAY AVE	Community:	
Legal Description:	PLAN 593 PT LOT 16		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new triplex dwelling. The existing rear detached garage will be maintained.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 6(3) Part I 1, By-law 438-86**
The maximum permitted gross floor area is 0.6 times the lot area (208.4 m²).
The proposed dwelling will have a gross floor area of 0.88 times the lot area (305.1 m²).
- 2. Section 6(3) Part II 3(I), By-law 438-86**
The minimum required setback from the side wall of an adjacent building that contains no openings is 0.9 m.
The proposed dwelling will be located 0.7 m from the adjacent building to the north (55 Mc Murray Avenue).
- 3. Section 6(3) Part II 3.A.(II), By-law 438-86**
The minimum required side yard setback is 6 m from the flanking street.
The proposed dwelling will be located 4.3 m from the flanking street (Vine Avenue).
- 4. Section 10.5.40.60.(7), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m.
The eaves of the proposed dwelling will be located 0.11 m from the north side lot line.

5. **Section 10.10.40.30.(1)(B), By-law 569-2013 & Section 6(3) Part II 5(I), By-law 438-86**
The maximum permitted depth is 14 m for a triplex.
Section 10.10.40.30.(1)(B), By-law 569-2013
The proposed dwelling will have a depth of 15.2 m for a triplex.
Section 6(3) Part II 5(I), By-law 438-86
The proposed dwelling will have a depth of 17 m.
6. **Section 10.5.50.10.(1)(D), By-law 569-2013**
A minimum of 75% of the front yard, not covered by a permitted driveway, shall be maintained as soft landscaping (16.5 m²).
A total of 48.2% of the front yard, not covered by a permitted driveway, will be maintained as soft landscaping (10.6 m²).
7. **Section 10.5.50.10.(3)(A), By-law 569-2013**
A minimum of 50% of the rear yard shall be maintained as soft landscaping (79.8 m²).
A total of 46.6% of the rear yard will be maintained as soft landscaping (74.4 m²).
8. **Section 200.5.10.1.(1), By-law 569-2013**
A minimum of 3 parking spaces are required.
Section 4(4), By-law 438-86
A minimum of 3 parking spaces are required for the triplex and 1 visitor parking space.
Section 200.5.10.1.(1), By-law 569-2013 & Section 4(4), By-law 438-86
A total of 2 parking spaces will be provided.
9. **Section 10.10.20.40.(1), By-law 569-2013 & Section 6(1)(A)(iii), By-law 438-86**
An ancillary building/ accessory building is not a permitted building type in a R zone.
The existing detached garage will be the only building type on the lot prior to the completion of the dwelling.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.
2. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
3. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 3.1 The site plan must include the following notations to the satisfaction of Transportation Services:
 - a. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD;
 - b. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services";

SIGNATURE PAGE

File Number:	A0172/17EYK	Zoning	R & R2 Z0.6
Owner:	SPENCER THOMAS FARRELL JONATHAN MATTHEW CONWAY	Ward:	Parkdale-High Park (13)
Agent:	TH DESIGN INC	Heritage:	Not Applicable
Property Address:	51 MC MURRAY AVE	Community:	
Legal Description:	PLAN 593 PT LOT 16		

Denise Graham (signed)

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, July 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0359/17EYK	Zoning	RD & R1 Z0.35
Owner(s):	ANNE-MARIE O'NEILL GEOFFREY PERTSCH	Ward:	Parkdale-High Park (13)
Agent:	TYLER JAMES MOYES WALKER	Heritage:	Not Applicable
Property Address:	9 EASSON AVE	Community:	
Legal Description:	PLAN M624 LOT 21		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a third storey addition above the existing dwelling, a new front porch and a new rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.35 times the area of the lot (165.23 m²).
The altered dwelling will have a floor space index equal to 0.66 times the area of the lot (314.05 m²).
- Section 10.20.40.70.(1), By-law 569-2013 and Section 6(3) Part II 2(II), By-law 438-86**
The minimum required front yard setback is 9.55 m.
Section 10.20.40.70.(1), By-law 569-2013
The altered dwelling will be located 8.32 m from the front lot line.
Section 6(3) Part II 2(II), By-law 438-86
The altered dwelling will be located 7.61 m from the front lot line.
- Section 6(3) Part II 3.B(II), By-law 438-86**
The minimum required side yard setback is 0.9 m for that portion of the building not exceeding 17 m in depth.
The proposed dwelling will be located 0.8 m from the north side lot line for that portion of the building not exceeding 17 m in depth.
- Section 10.20.40.10.(1)(A), By-law 569-2013 and Section 4(2)(A), By-law 438-86**
The maximum permitted height is 9 m.
Section 10.20.40.10.(1)(A), By-law 569-2013
The altered dwelling will have a height of 9.99 m.
Section 4(2)(A), By-law 438-86

The altered dwelling will have a height of 9.6 m.

5. Section 10.20.40.10.(2)(B)(ii), By-law 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.

The altered dwelling will have a side exterior main wall height of 8.8 m facing a side lot line.

6. Section 10.20.40.50.(1)(B), By-law 569-2013

The maximum permitted area of each platform at or above the second storey of a detached house is 4 m².

The proposed second storey rear platform will have an area of 25 m².

7. Section 900.3.10(A)(1403), By-law 569-2013 and Section 6(3) Part II.8.K, By-law 438-86

A platform with a floor higher than the first floor of the dwelling may not encroach into the required yard setback.

The proposed front porch will encroach into the required front yard setback.

8. Section 6(3) Part II 8 D(1), By-law 438-86

The maximum permitted height of an uncovered platform which projects into the required setbacks is 1.2 m above grade.

The proposed front porch will have a height of 2.62 m above grade.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition:

1. The applicant shall submit a landscape plan to the satisfaction of the Director, Community Planning, Etobicoke York District:
2. The proposal shall be constructed substantially in accordance with the revised plans submitted and held on file by the Committee of Adjustment office and date stamped as received on July 5, 2017 to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0359/17EYK	Zoning	RD & R1 Z0.35
Owner:	ANNE-MARIE O'NEILL GEOFFREY PERTSCH	Ward:	Parkdale-High Park (13)
Agent:	TYLER JAMES MOYES WALKER	Heritage:	Not Applicable
Property Address:	9 EASSON AVE	Community:	
Legal Description:	PLAN M624 LOT 21		

Denise Graham (signed)

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

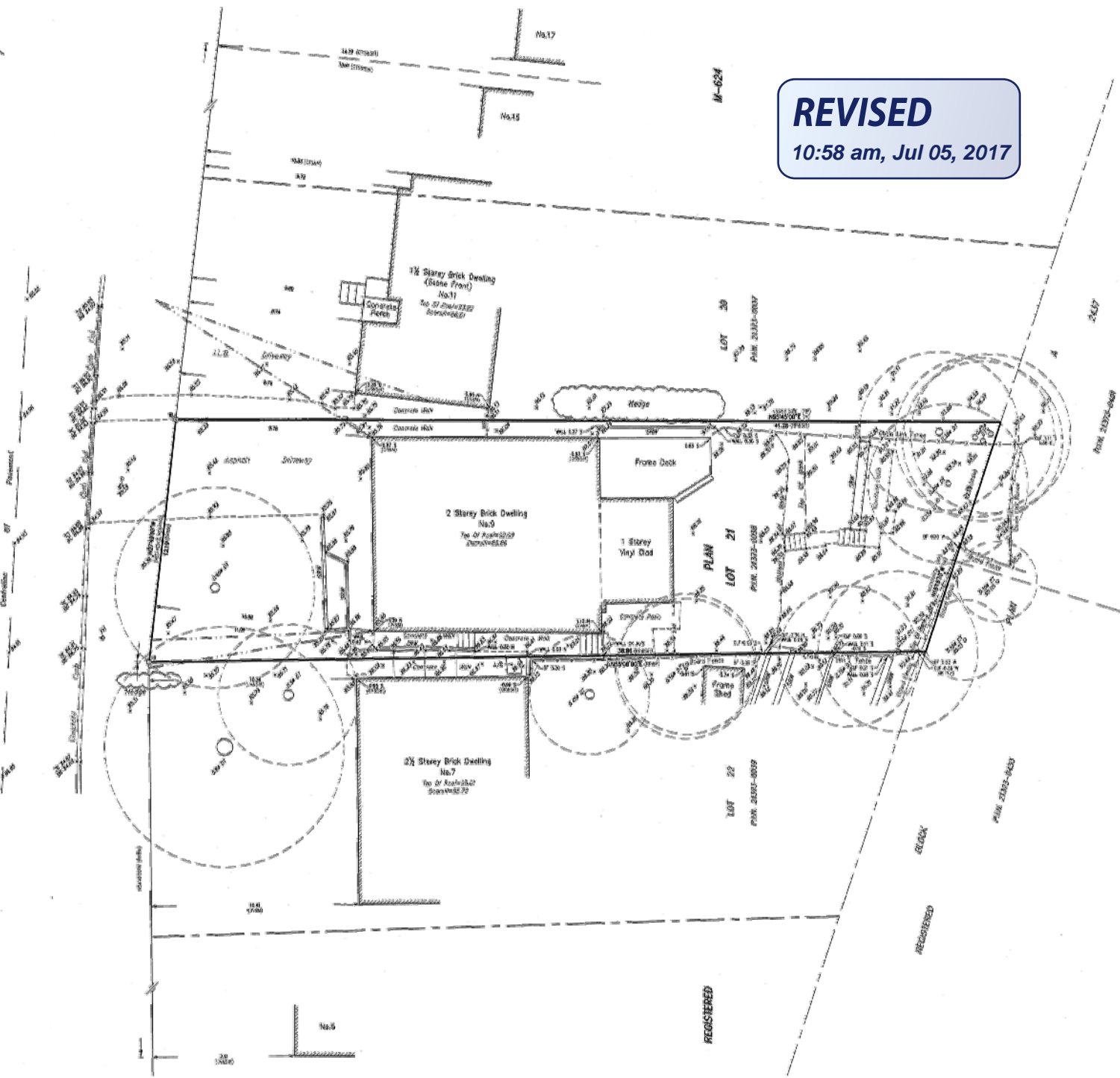
- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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EASSON AVENUE
(By Registered Plan M-624)
PLAN 20020-0043



REVISED
10:58 am, Jul 05, 2017

SURVEYOR'S REAL PROPERTY REPORT - PART 1
PLAN OF
LOT 21
REGISTERED PLAN 824
CITY OF TORONTO
SCALE 1:100
AVANTI SURVEYING INC.
© COPYRIGHT 2017

METRIC
DIMENSIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE
BEARINGS ARE GIVEN AS ANGLE MEASURED TO THE EAST FROM OF EASSON AVENUE, HAVING A BEARING OF 101°00'00" ACCORDING TO REGISTERED PLAN 10000.

ELEVATION NOTE
ELEVATIONS ARE GIVEN AND ARE REFERRED TO THE VEY OF BENCH PROGRAM IN WHICH HAVING A VALUE AT ELEVATION OF 82.88 METRES.

- LEGEND**
- CONCRETE SURFACE MARKER SET
 - IRON PIN
 - IRON ROD
 - SURVEY MONUMENT BOUNDARY
 - REGISTERED PLAN BOUNDARY
 - METRIC RELEASE LINE
 - HEAVY DUTY
 - STAIRCASE BOUNDARY
 - ROOF EAVE
 - CURB EDGE
 - WALKWAY
 - PRODUCTION
 - PROPERTY BOUNDARY NUMBER
 - OVERHEAD WIRE
 - LIGHTNING ROD
 - HYDROLOGICAL DRAIN
 - CLEAR LINE TYPE
 - BRICK FINISH
 - WOODEN FENCE
 - CONCRETE RETAINING WALL
 - STONE RETAINING WALL
 - IRON ROD
 - TOP OF CURB
 - BOTTOM OF CURB
 - FLOORING TILE
 - CONCRETE TILE
 - MASONRY
 - WATER VALVE
 - FIRE HYDRANT
 - REGISTERED PLAN
 - OFF OF TORONTO SURVEY
 - PLAN OF A RELEASED
 - DATED MARCH 18, 1972
 - PLAN OF A RELEASED
 - DATED TORONTO 24, 1994



SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. I AS SURVEYOR AND PLAN PREPARED AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM;
2. THE SURVEY WAS COMPLETED ON THE 04th DAY OF MARCH, 2017.

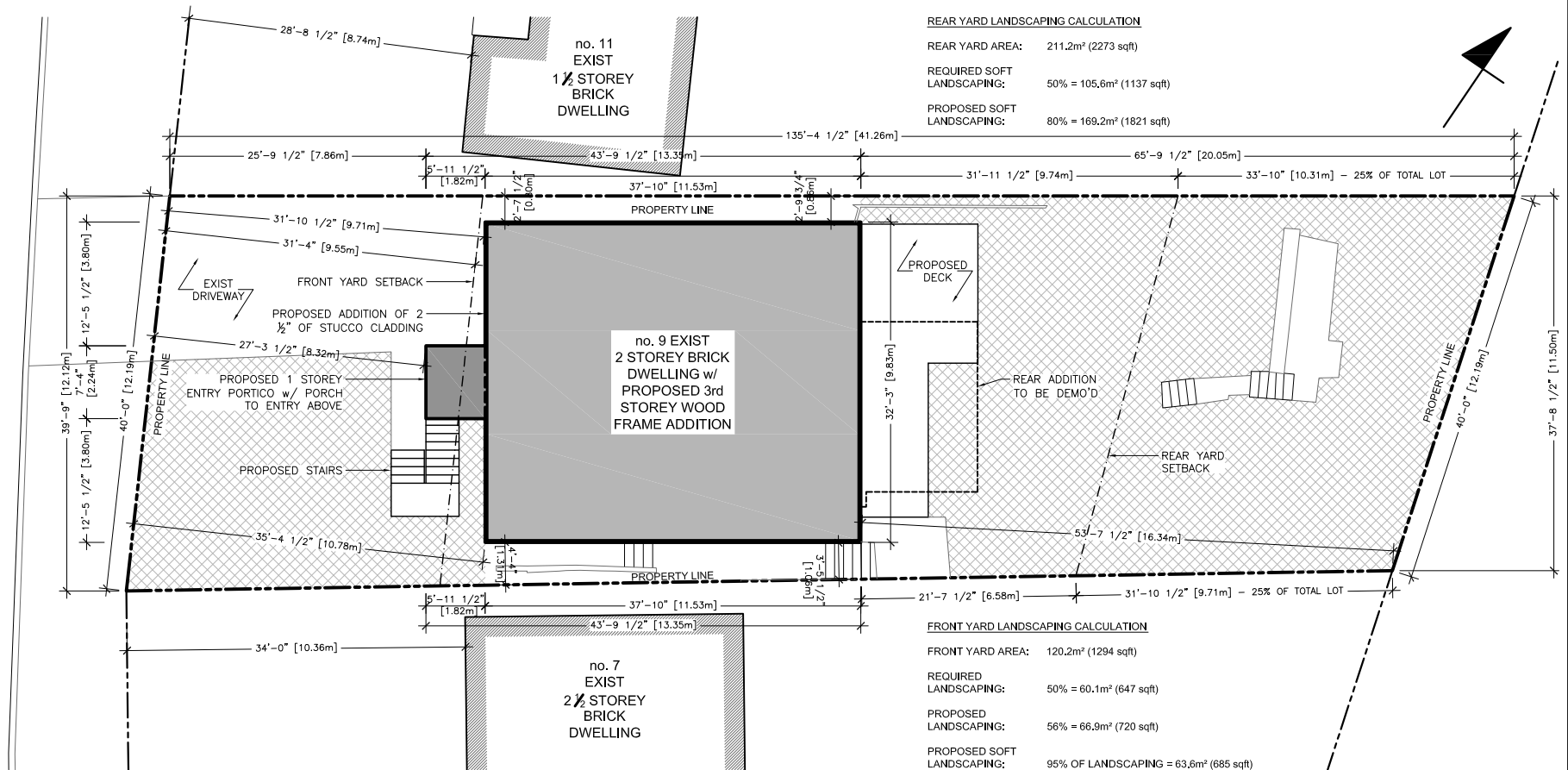
MAR 05 2017
DATE
S-1810
S-1810
S-1810

THIS PLAN WAS PREPARED FOR YOUR WORKER DESIGN.

PART 2 - SURVEY REPORT
1) PLEASE NOTE LOCATION OF EASES AND OVERHEAD WIRES AND RETAINING WALLS.
2) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY: NONE.
3) THIS PLAN DOES NOT CONFIRM COMPLIANCE WITH ZONING BY-LAWS.

Avanti
SURVEYING INC.
370 North Queen St., Unit 105, Toronto, ON M5C 1S4
(416) 531-3174 • Fax (416) 531-3166
E-MAIL: info@avantisurveying.com
WWW.PAT 10000015, 2016 PROJECT 17-048

I, TYLER WALKER, AM FULLY QUALIFIED AND RESPONSIBLE FOR THESE DRAWINGS. MY BCIN IS: 44948. MY FIRM'S BCIN IS: 47158. MY NAME IS: *Tyler Walker*



REAR YARD LANDSCAPING CALCULATION

REAR YARD AREA: 211.2m² (2273 sqft)
 REQUIRED SOFT LANDSCAPING: 50% = 105.6m² (1137 sqft)
 PROPOSED SOFT LANDSCAPING: 80% = 169.2m² (1821 sqft)

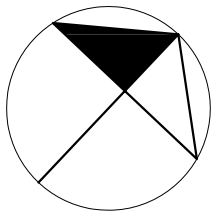
FRONT YARD LANDSCAPING CALCULATION

FRONT YARD AREA: 120.2m² (1294 sqft)
 REQUIRED LANDSCAPING: 50% = 60.1m² (647 sqft)
 PROPOSED LANDSCAPING: 56% = 66.9m² (720 sqft)
 PROPOSED SOFT LANDSCAPING: 95% OF LANDSCAPING = 63.6m² (685 sqft)

LEGEND

- EXIST ADJACENT HOUSE
- EXIST TO REMAIN
- EXIST TO BE DEMO'D
- PROPOSED ADDITION
- SOFT LANDSCAPING

REVISED
 10:58 am, Jul 05, 2017

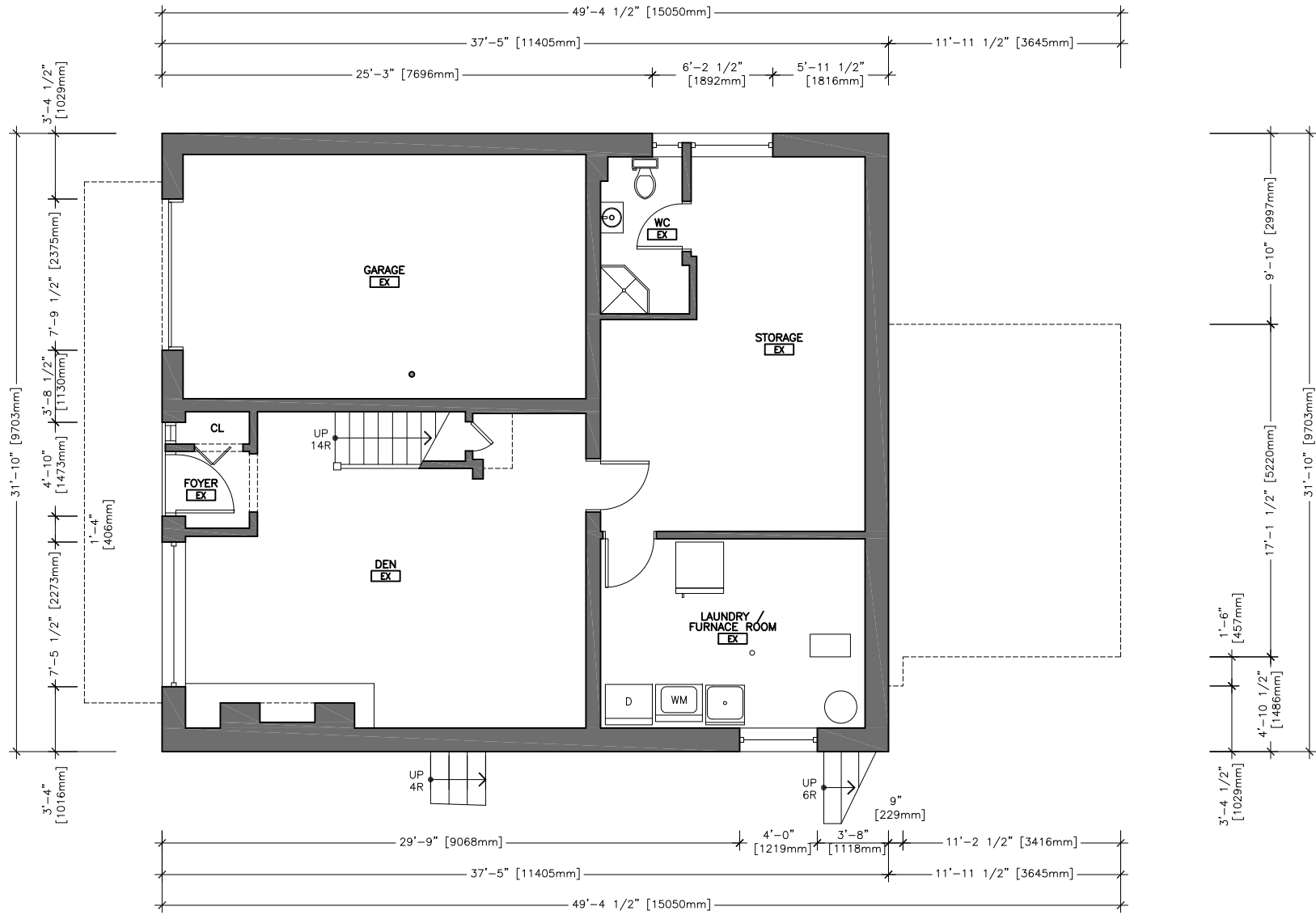


DATE	ISSUE
2017-03-24	ZONING CERTIFICATE SUBMISSION
2017-04-12	COMMITTEE OF ADJUSTMENT SUBMISSION

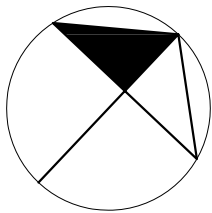
9 EASSON AVE

SITE PLAN

SCALE	DATE	PROJECT NO.	DWG NO
NTS	SEPT 2016	1614	A0.2



I, TYLER WALKER, AM FULLY QUALIFIED AND
 RESPONSIBLE FOR THESE DRAWINGS. MY BCIN
 IS: 44948. MY FIRM'S BCIN IS: 47158. MY
 NAME IS: *Tyler Walker*

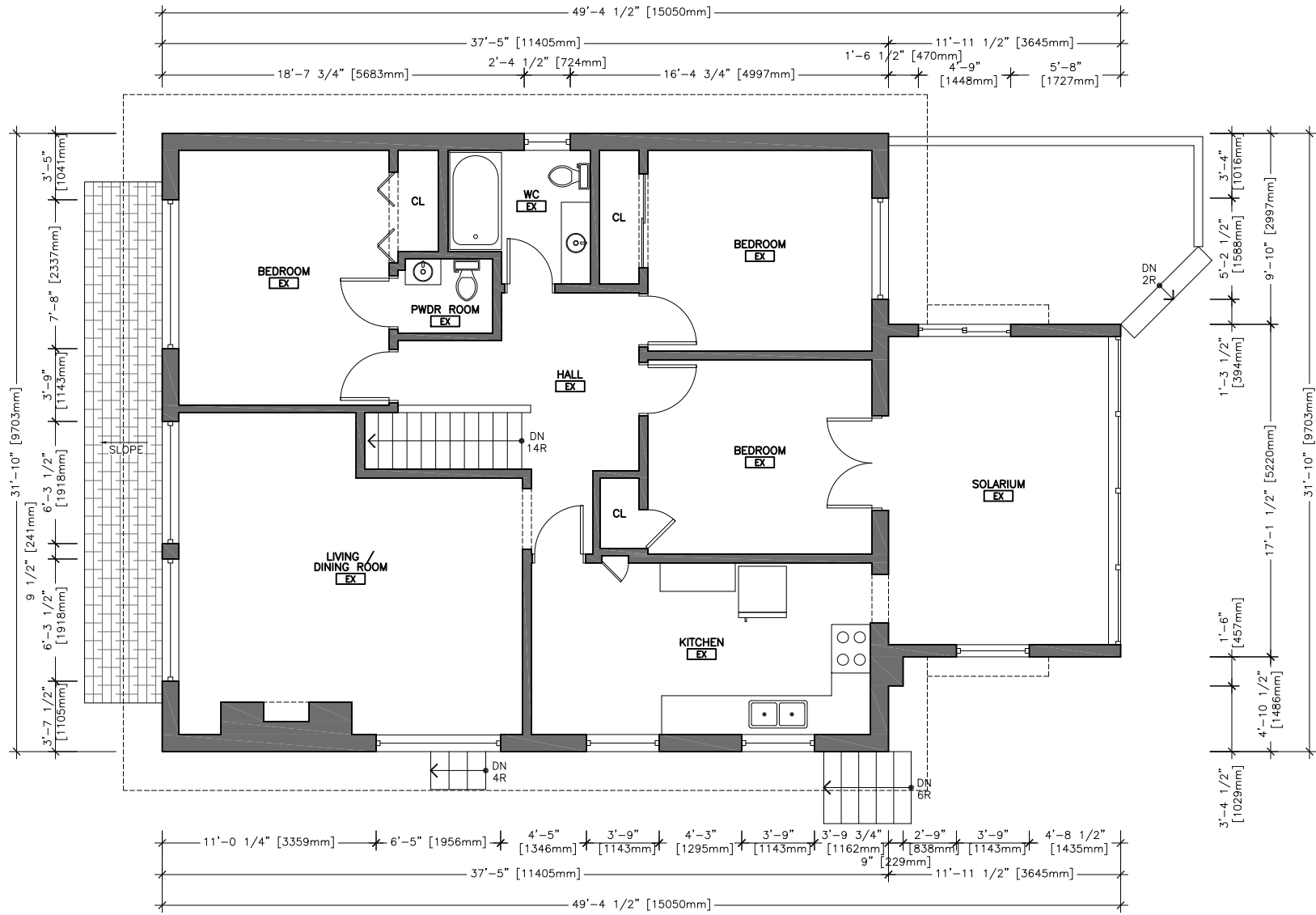


DATE	ISSUE
2017-03-24	ZONING CERTIFICATE SUBMISSION
2017-04-12	COMMITTEE OF ADJUSTMENT SUBMISSION

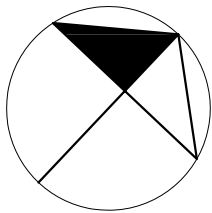
9 EASSON AVE

BASEMENT PLAN EXISTING

SCALE	DATE	PROJECT NO.	DWG NO
NTS	SEPT 2016	1614	A1.0



I, TYLER WALKER, AM FULLY QUALIFIED AND RESPONSIBLE FOR THESE DRAWINGS. MY BCIN IS: 44948. MY FIRM'S BCIN IS: 47158. MY NAME IS: *Tyler Walker*



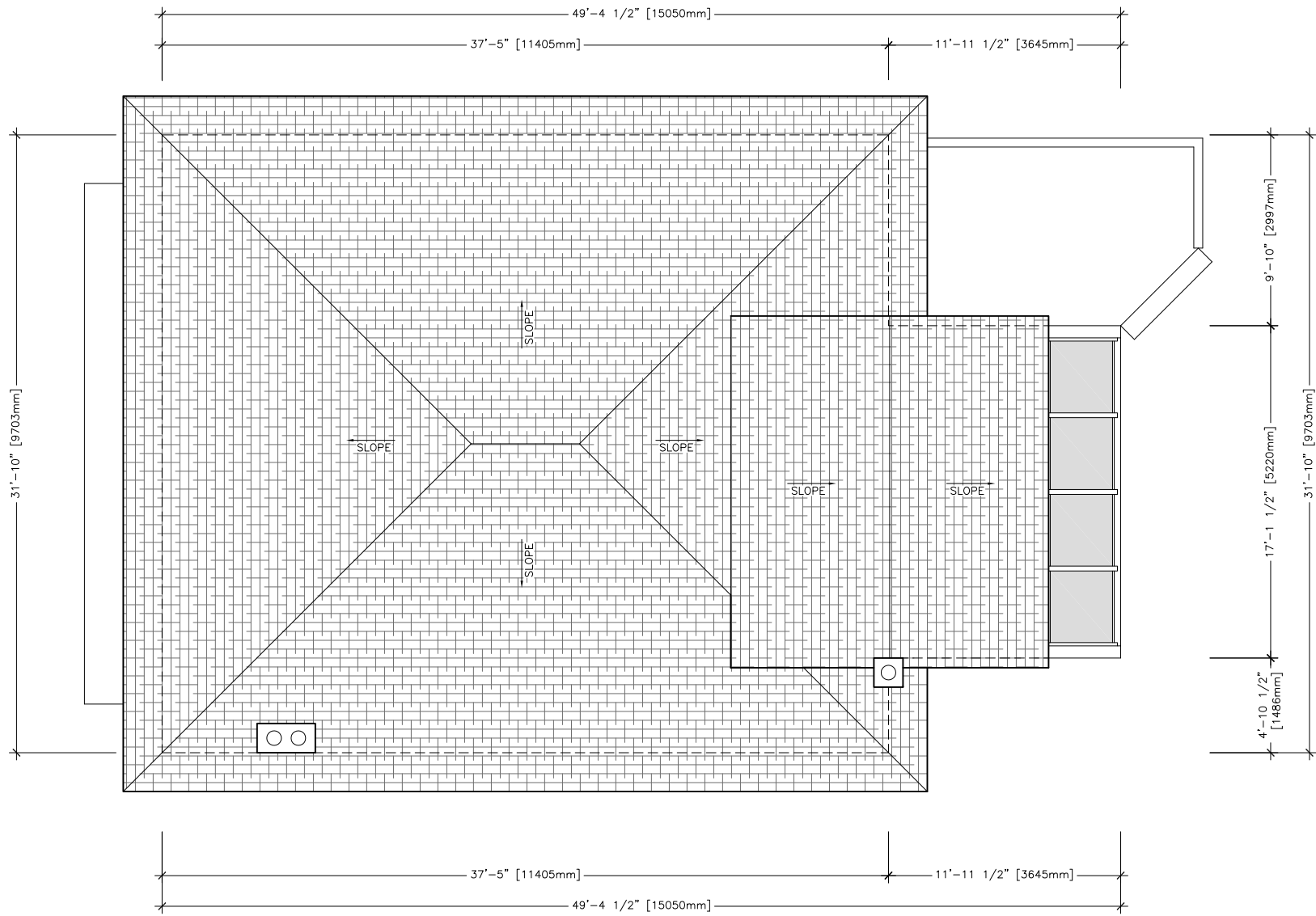
DATE	ISSUE
2017-03-24	ZONING CERTIFICATE SUBMISSION
2017-04-12	COMMITTEE OF ADJUSTMENT SUBMISSION

9 EASSON AVE

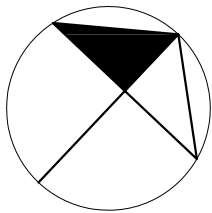
GROUND FLOOR PLAN

EXISTING

SCALE	DATE	PROJECT NO.	DWG NO
NTS	SEPT 2016	1614	A1.1



I, TYLER WALKER, AM FULLY QUALIFIED AND RESPONSIBLE FOR THESE DRAWINGS. MY BCIN IS: 44948. MY FIRM'S BCIN IS: 47158. MY NAME IS: *Tyler Walker*

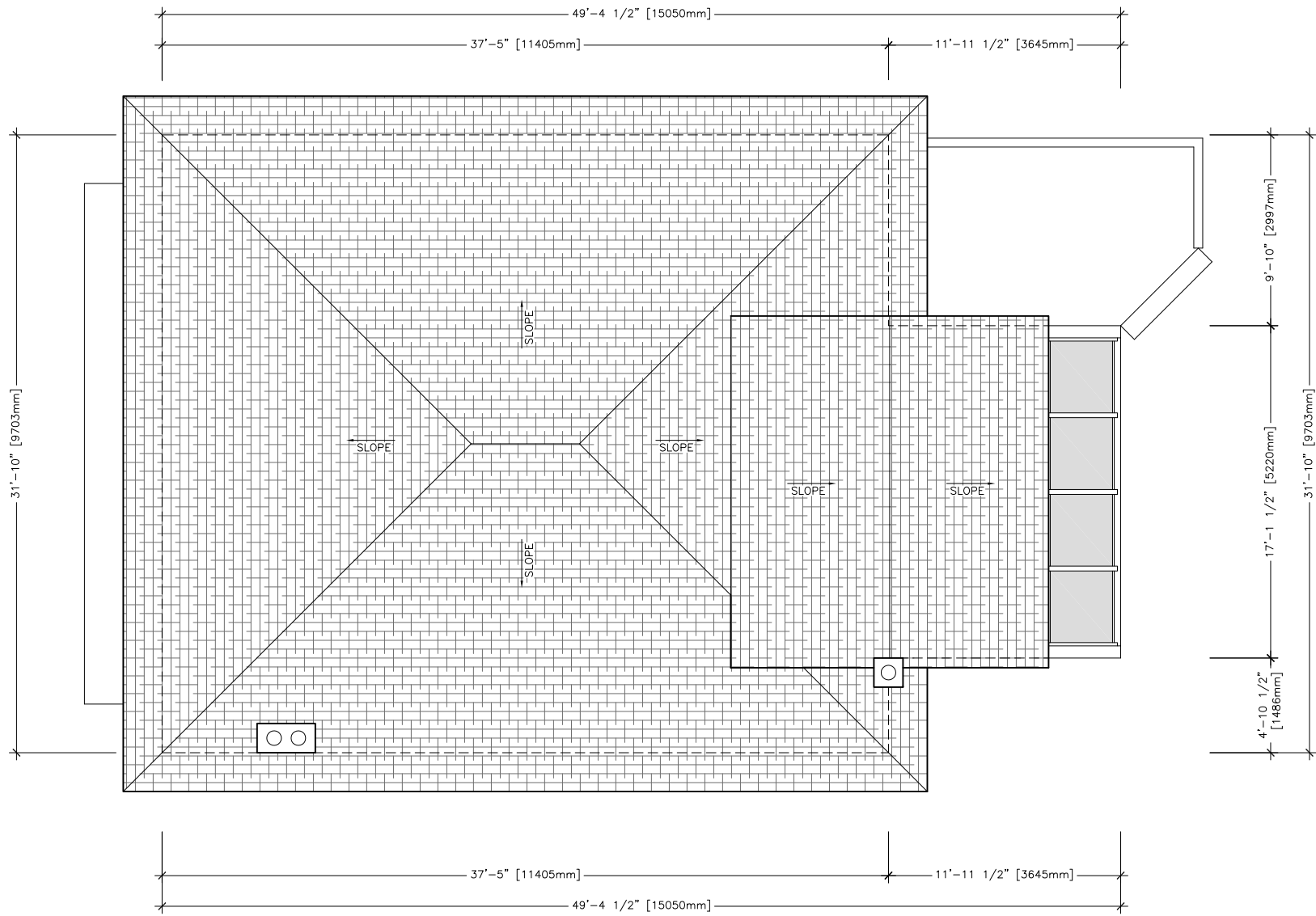


DATE	ISSUE
2017-03-24	ZONING CERTIFICATE SUBMISSION
2017-04-12	COMMITTEE OF ADJUSTMENT SUBMISSION

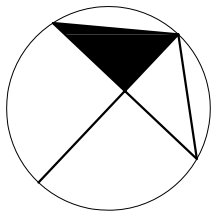
9 EASSON AVE

ROOF PLAN EXISTING

SCALE	DATE	PROJECT NO.	DWG NO
NTS	SEPT 2016	1614	A1.2



I, TYLER WALKER, AM FULLY QUALIFIED AND RESPONSIBLE FOR THESE DRAWINGS. MY BCIN IS: 44948. MY FIRM'S BCIN IS: 47158. MY NAME IS: *Tyler Walker*



DATE	ISSUE
2017-03-24	ZONING CERTIFICATE SUBMISSION
2017-04-12	COMMITTEE OF ADJUSTMENT SUBMISSION

9 EASSON AVE

ROOF PLAN EXISTING

SCALE	DATE	PROJECT NO.	DWG NO
NTS	SEPT 2016	1614	A1.2

EXIST HIGH POINT
OF ROOF
APPROX: 23'-6 3/4"
[7.2m]

14'-8 1/2" [4483mm]

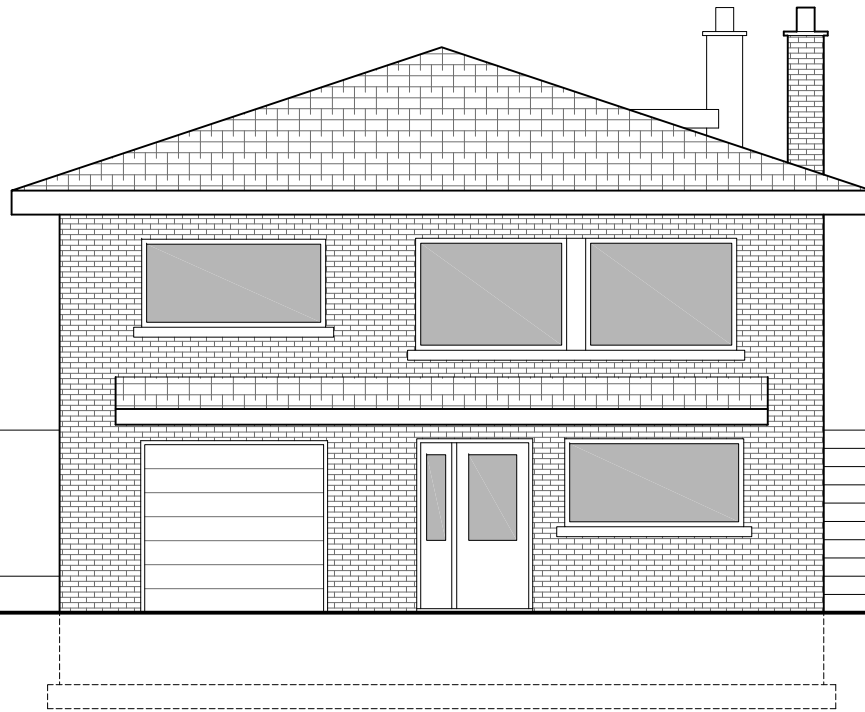
EXIST 1ST FLOOR
LEVEL
+8'-10 7/8" [2.7m]

1/4" [2648mm]

EXIST BASEMENT
LEVEL
+0'-2" [0.1m]

EST GRADE
+/-0'-0" [0.0m]

PROPERTY LINE



PROPERTY LINE

I, TYLER WALKER, AM FULLY QUALIFIED AND RESPONSIBLE FOR THESE DRAWINGS. MY BCIN IS: 44948. MY FIRM'S BCIN IS: 47158. MY NAME IS: *Tyler Walker*

DATE	ISSUE
2017-03-24	ZONING CERTIFICATE SUBMISSION
2017-04-12	COMMITTEE OF ADJUSTMENT SUBMISSION

9 EASSON AVE

WEST ELEVATION EXISTING

SCALE	DATE	PROJECT NO.	DWG NO
NTS	SEPT 2016	1614	A1.3

EXIST HIGH POINT
 OF ROOF
 APPROX: 23'-6 ³/₄"
 [7.2m]

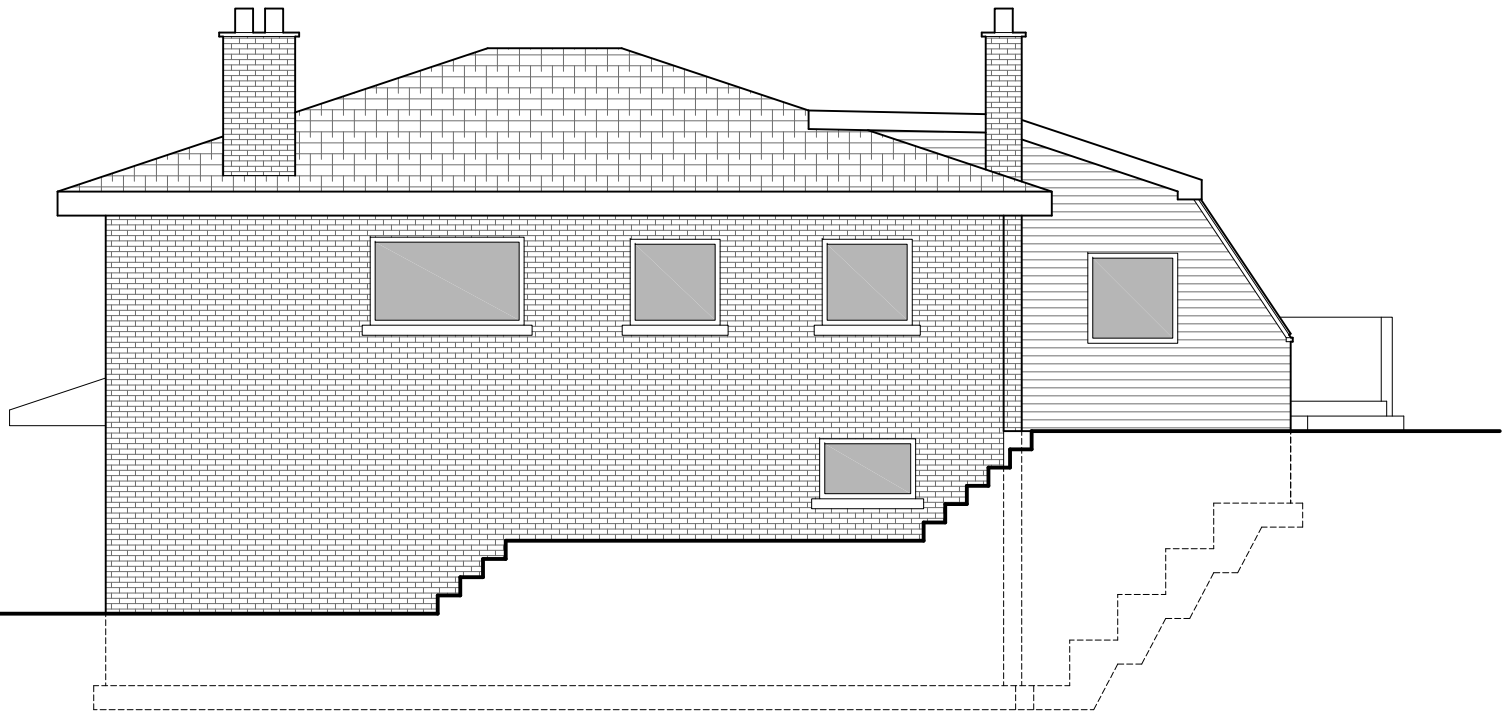
14'-8 ¹/₂" [4483mm]

EXIST 1ST FLOOR
 LEVEL
 +8'-10 ¹/₄" [2.7m]

8'-8 ¹/₄" [2648mm]

EXIST BASEMENT
 LEVEL
 +0'-2" [0.1m]

EST GRADE
 +/-0'-0" [0.0m]



I, TYLER WALKER, AM FULLY QUALIFIED AND
 RESPONSIBLE FOR THESE DRAWINGS. MY BCIN
 IS: 44948. MY FIRM'S BCIN IS: 47158. MY
 NAME IS: *Tyler Walker*

DATE	ISSUE
2017-03-24	ZONING CERTIFICATE SUBMISSION
2017-04-12	COMMITTEE OF ADJUSTMENT SUBMISSION

9 EASSON AVE			
SOUTH ELEVATION			
EXISTING			
SCALE	DATE	PROJECT NO.	DWG NO
NTS	SEPT 2016	1614	A1.4

EXIST HIGH POINT
 OF ROOF
 APPROX: 23'-6 3/4" [7.2m]

14'-8 1/2" [4483mm]

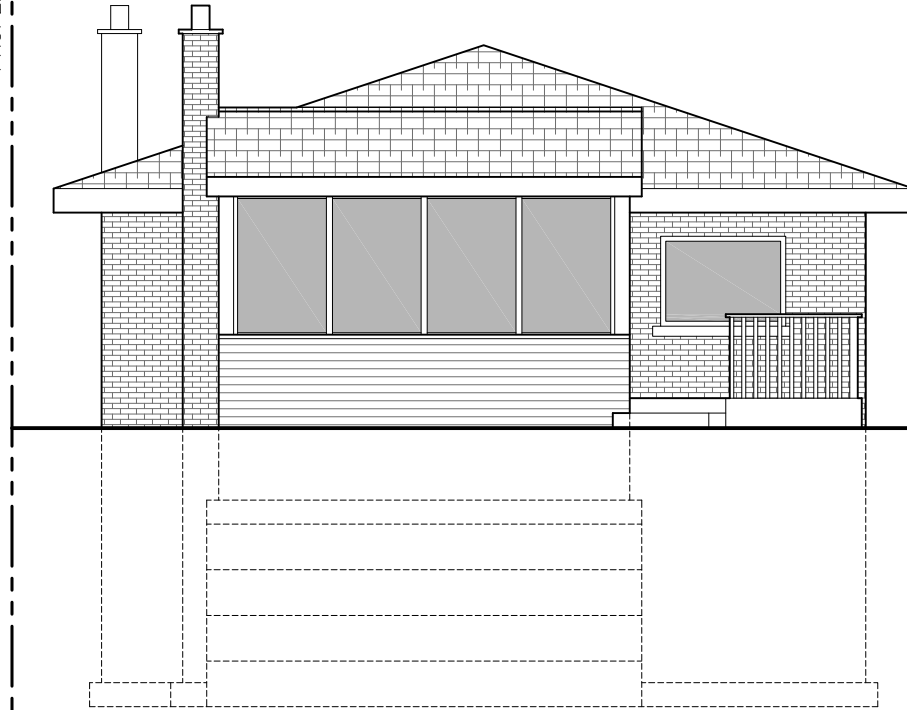
EXIST 1ST FLOOR
 LEVEL
 +8'-10 1/2" [2.7m]

1/4" [2648mm]

EXIST BASEMENT
 LEVEL
 +0'-2" [0.1m]

EST GRADE
 +/-0'-0" [0.0m]

PROPERTY LINE



PROPERTY LINE

I, TYLER WALKER, AM FULLY QUALIFIED AND
 RESPONSIBLE FOR THESE DRAWINGS. MY BCIN
 IS: 44948. MY FIRM'S BCIN IS: 47158. MY
 NAME IS: *Tyler Walker*

DATE	ISSUE
2017-03-24	ZONING CERTIFICATE SUBMISSION
2017-04-12	COMMITTEE OF ADJUSTMENT SUBMISSION

9 EASSON AVE

EAST ELEVATION EXISTING

SCALE	DATE	PROJECT NO.	DWG NO
NTS	SEPT 2016	1614	A1.5

EXIST HIGH POINT
OF ROOF
APPROX: 23'-6 3/4"
[7.2m]

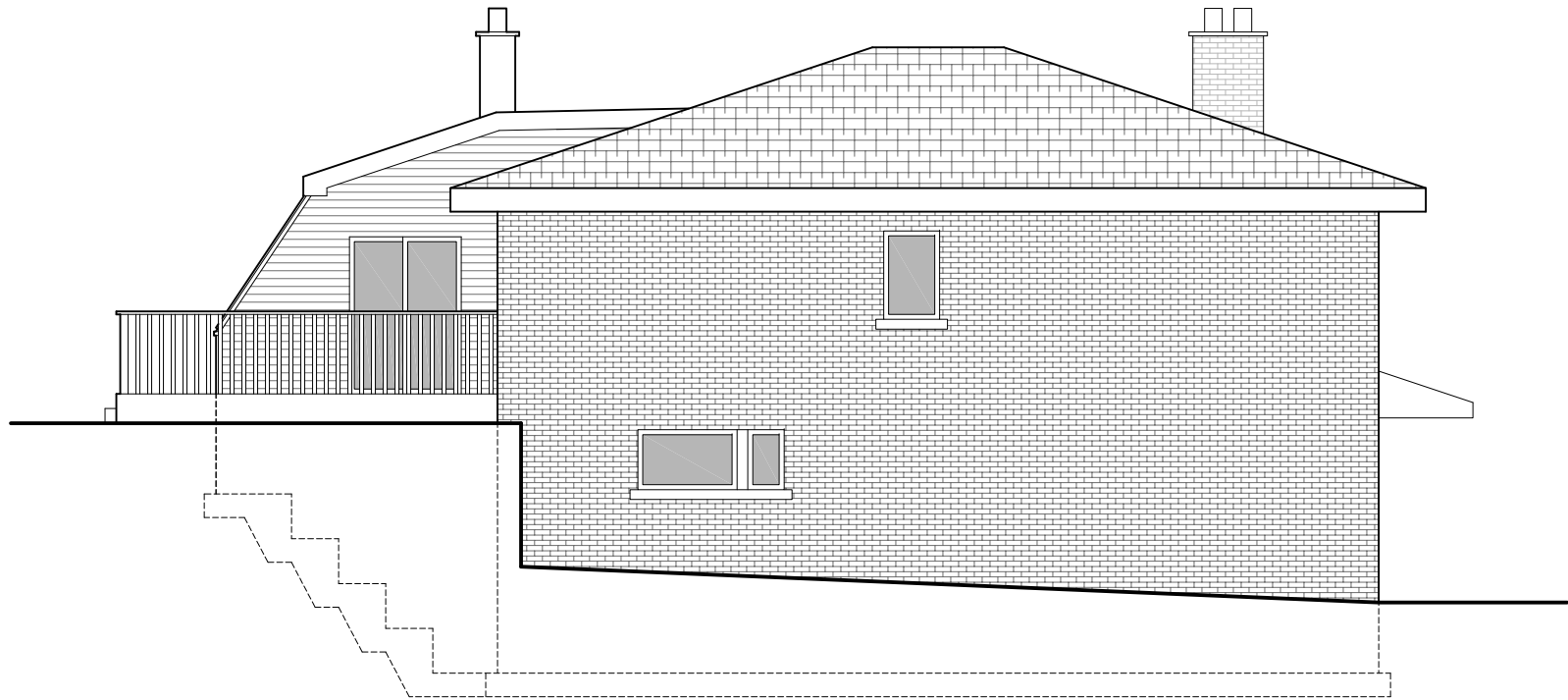
14'-8 1/2" [4483mm]

EXIST 1ST FLOOR
LEVEL
+8'-10 1/4" [2.7m]

1/4" [2648mm]

EXIST BASEMENT
LEVEL
+0'-2" [0.1m]

EST GRADE
+/-0'-0" [0.0m]



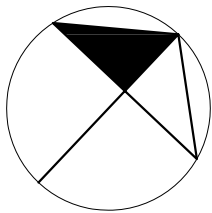
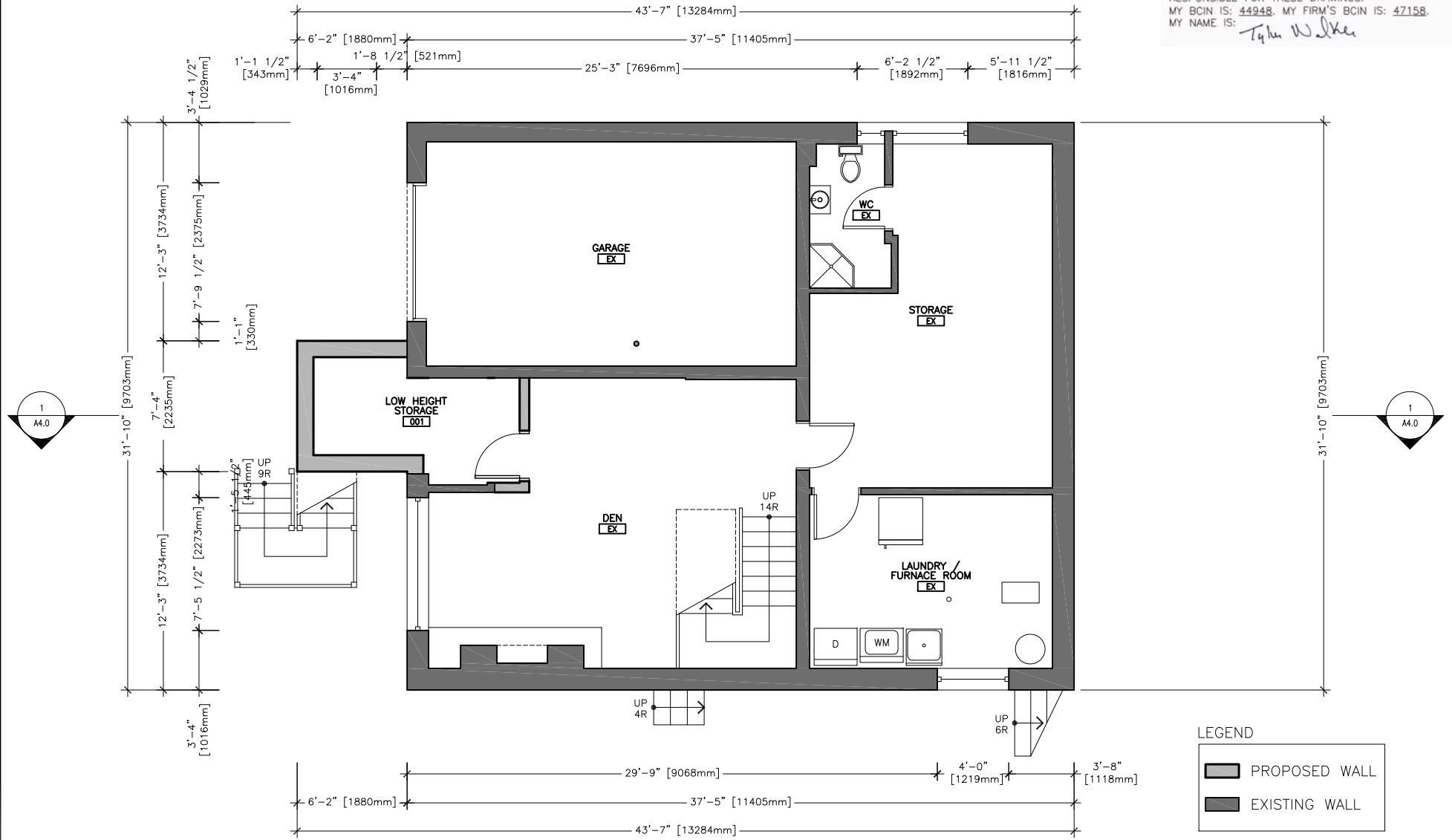
I, TYLER WALKER, AM FULLY QUALIFIED AND RESPONSIBLE FOR THESE DRAWINGS. MY BCIN IS: 44948. MY FIRM'S BCIN IS: 47158. MY NAME IS: *Tyler Walker*

DATE	ISSUE
2017-03-24	ZONING CERTIFICATE SUBMISSION
2017-04-12	COMMITTEE OF ADJUSTMENT SUBMISSION

9 EASSON AVE
NORTH ELEVATION
EXISTING

SCALE	DATE	PROJECT NO.	DWG NO
NTS	SEPT 2016	1614	A1.6

I, TYLER WALKER, AM FULLY QUALIFIED AND RESPONSIBLE FOR THESE DRAWINGS.
 MY BCIN IS: 44948. MY FIRM'S BCIN IS: 47158.
 MY NAME IS: *Tyler Walker*



DATE	ISSUE
2017-03-24	ZONING CERTIFICATE SUBMISSION
2017-04-12	COMMITTEE OF ADJUSTMENT SUBMISSION
2017-06-16	COMMITTEE OF ADJUSTMENT RE-SUBMISSION

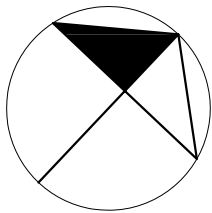
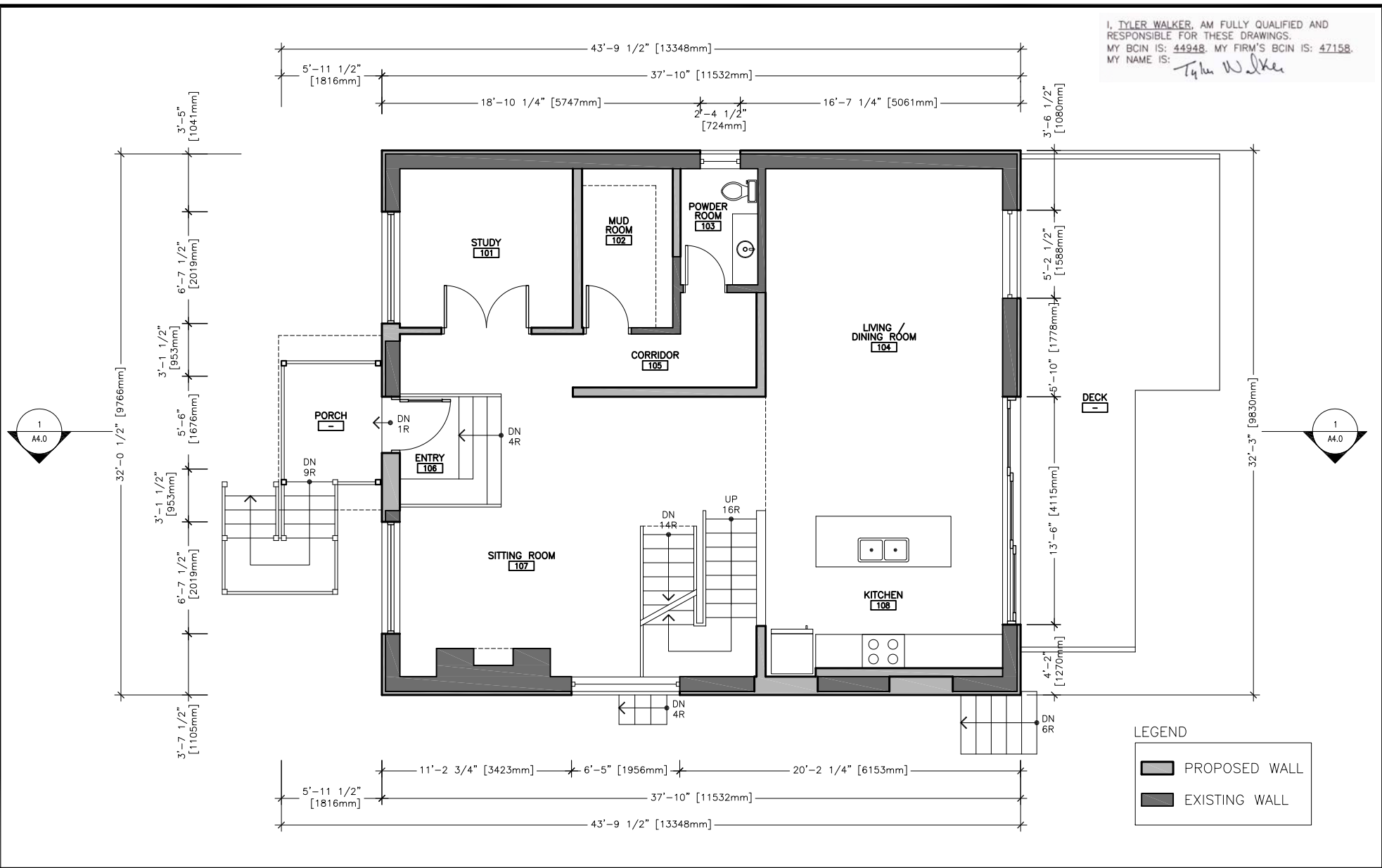
9 EASSON AVE

BASEMENT PLAN

PROPOSED

SCALE	DATE	PROJECT NO.	DWG NO
NTS	SEPT 2016	1614	A2.0

I, TYLER WALKER, AM FULLY QUALIFIED AND RESPONSIBLE FOR THESE DRAWINGS.
 MY BCIN IS: 44948. MY FIRM'S BCIN IS: 47158.
 MY NAME IS: *Tyler Walker*



DATE	ISSUE
2017-03-24	ZONING CERTIFICATE SUBMISSION
2017-04-12	COMMITTEE OF ADJUSTMENT SUBMISSION
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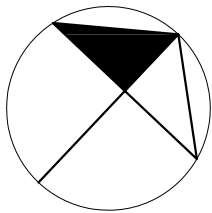
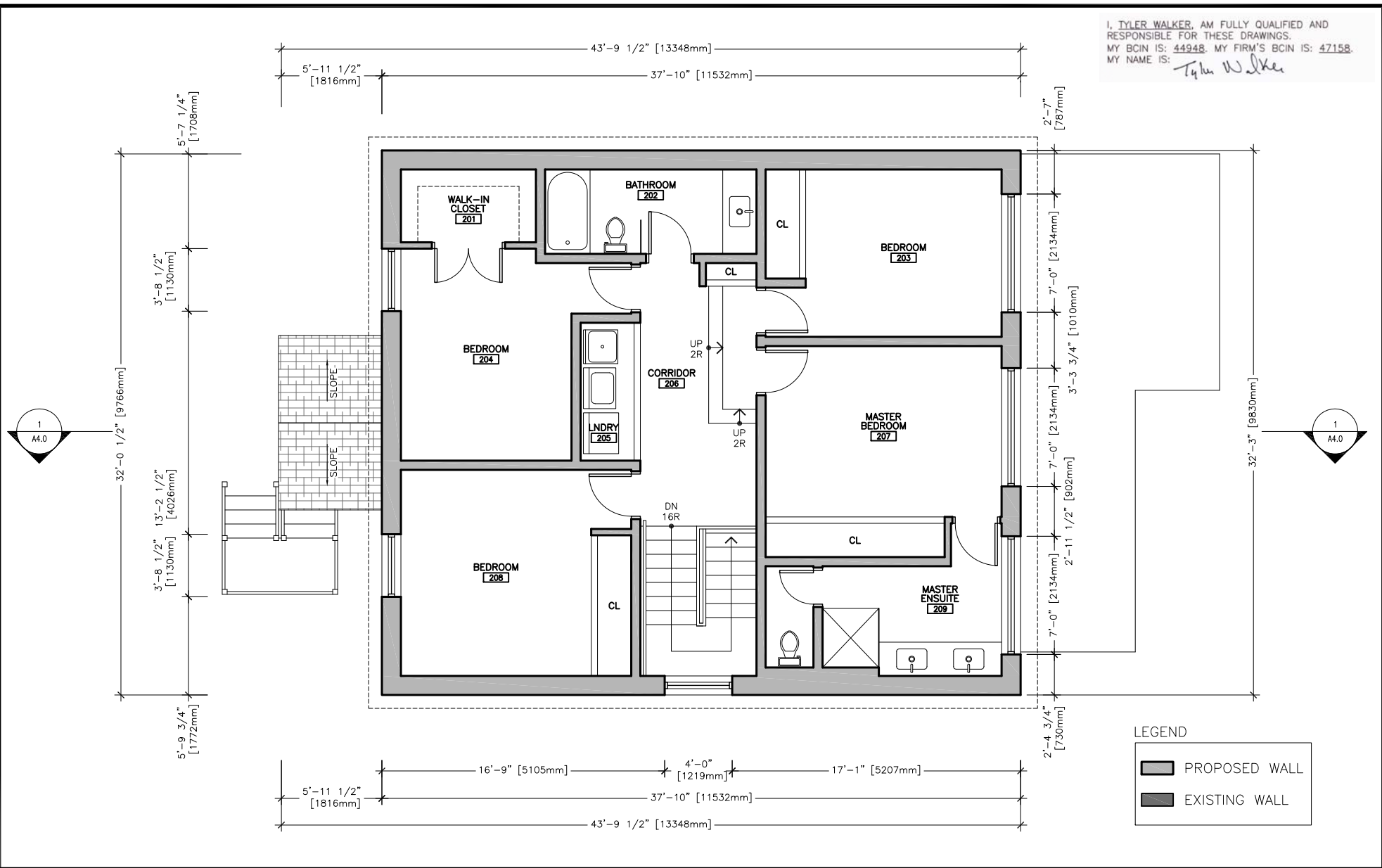
9 EASSON AVE

GROUND FLOOR PLAN

PROPOSED

SCALE	DATE	PROJECT NO.	DWG NO
NTS	SEPT 2016	1614	A2.1

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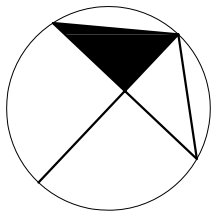
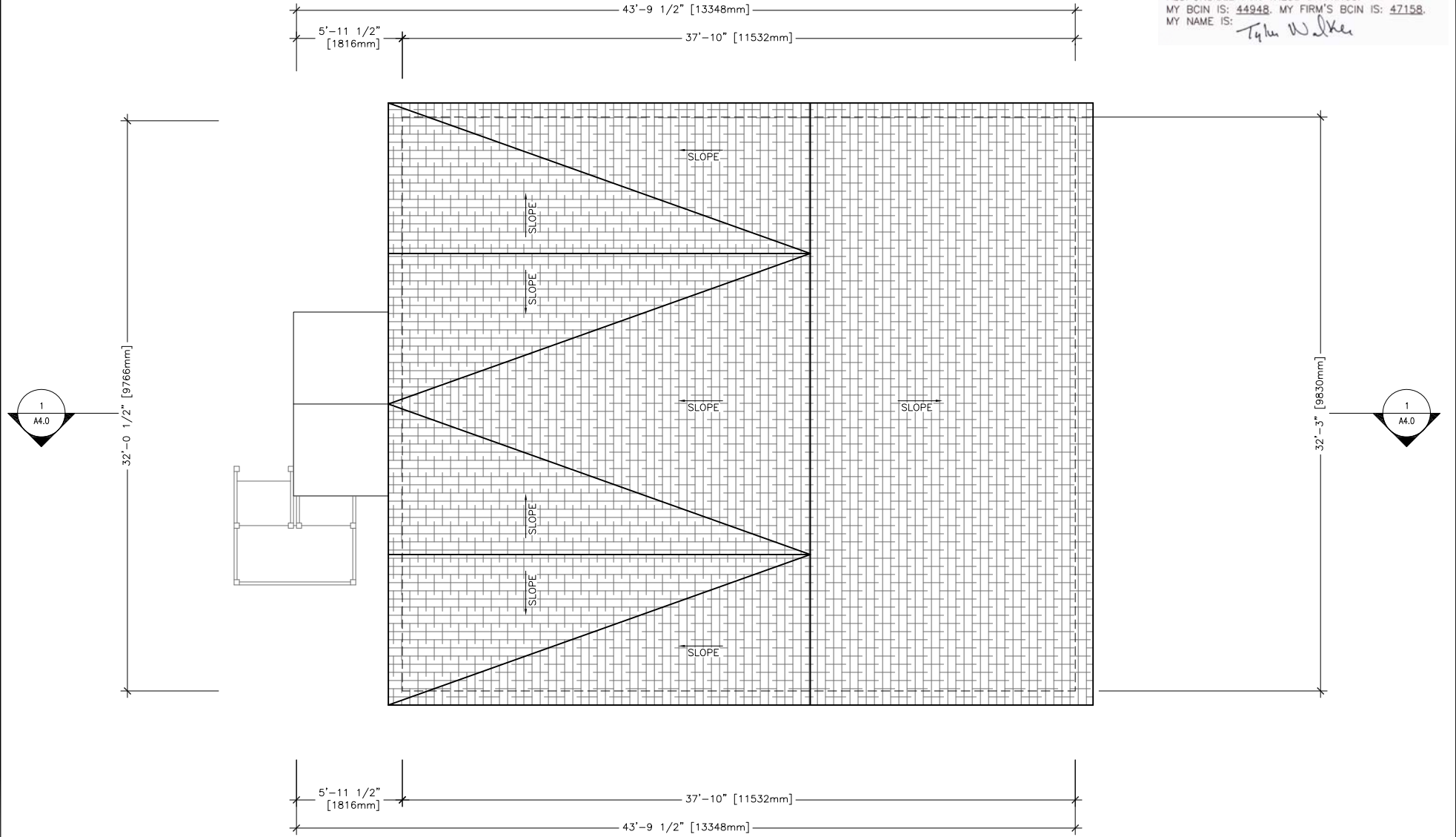
DATE	ISSUE
2017-03-24	ZONING CERTIFICATE SUBMISSION
2017-04-12	COMMITTEE OF ADJUSTMENT SUBMISSION
2017-06-16	COMMITTEE OF ADJUSTMENT RE-SUBMISSION

9 EASSON AVE

SECOND FLOOR PLAN PROPOSED

SCALE	DATE	PROJECT NO.	DWG NO
NTS	SEPT 2016	1614	A2.2

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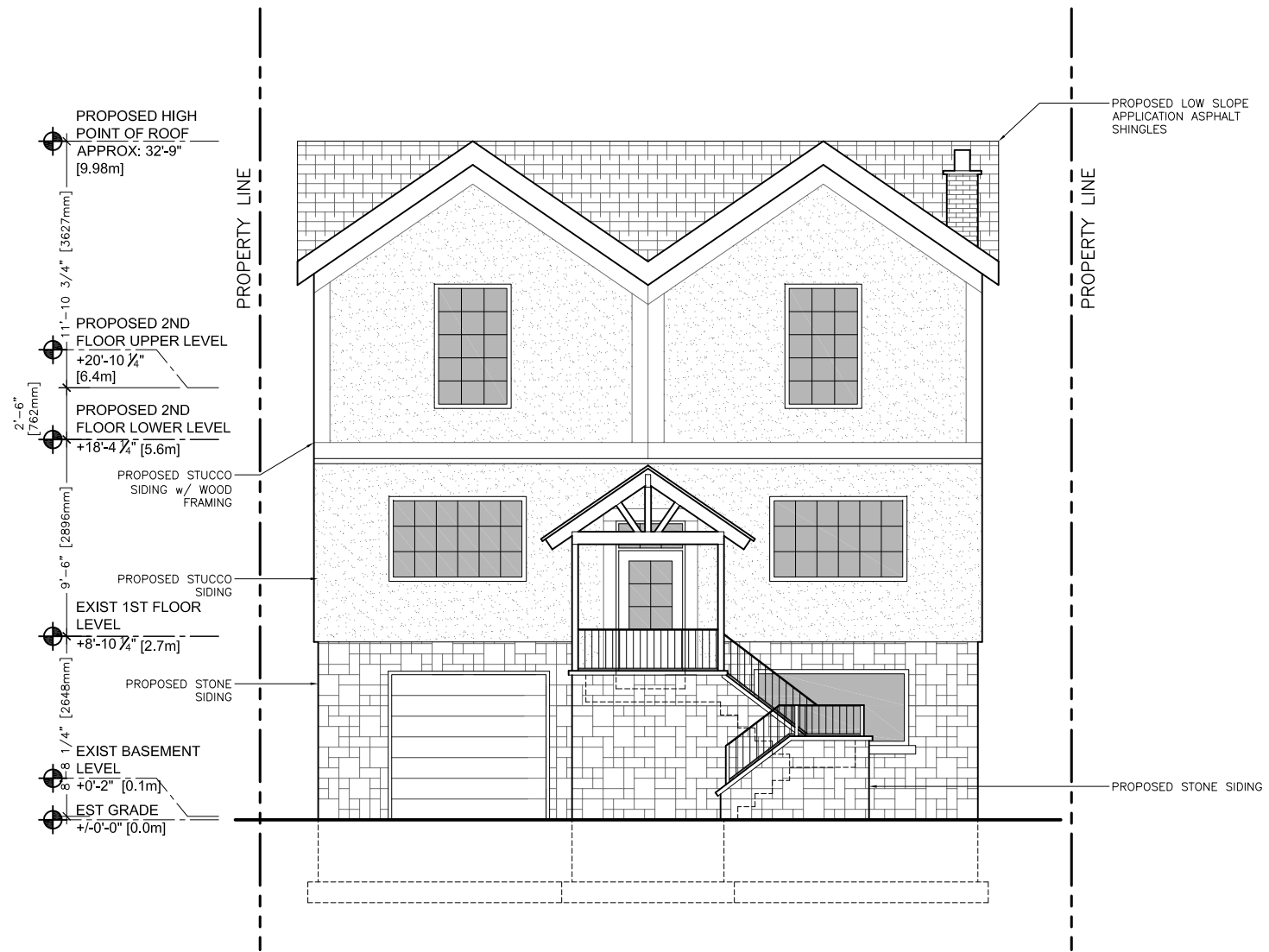
DATE	ISSUE
2017-03-24	ZONING CERTIFICATE SUBMISSION
2017-04-12	COMMITTEE OF ADJUSTMENT SUBMISSION
2017-06-16	COMMITTEE OF ADJUSTMENT RE-SUBMISSION

9 EASSON AVE

ROOF PLAN PROPOSED

SCALE	DATE	PROJECT NO.	DWG NO
NTS	SEPT 2016	1614	A2.3

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DATE	ISSUE
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2017-06-16	COMMITTEE OF ADJUSTMENT RE-SUBMISSION

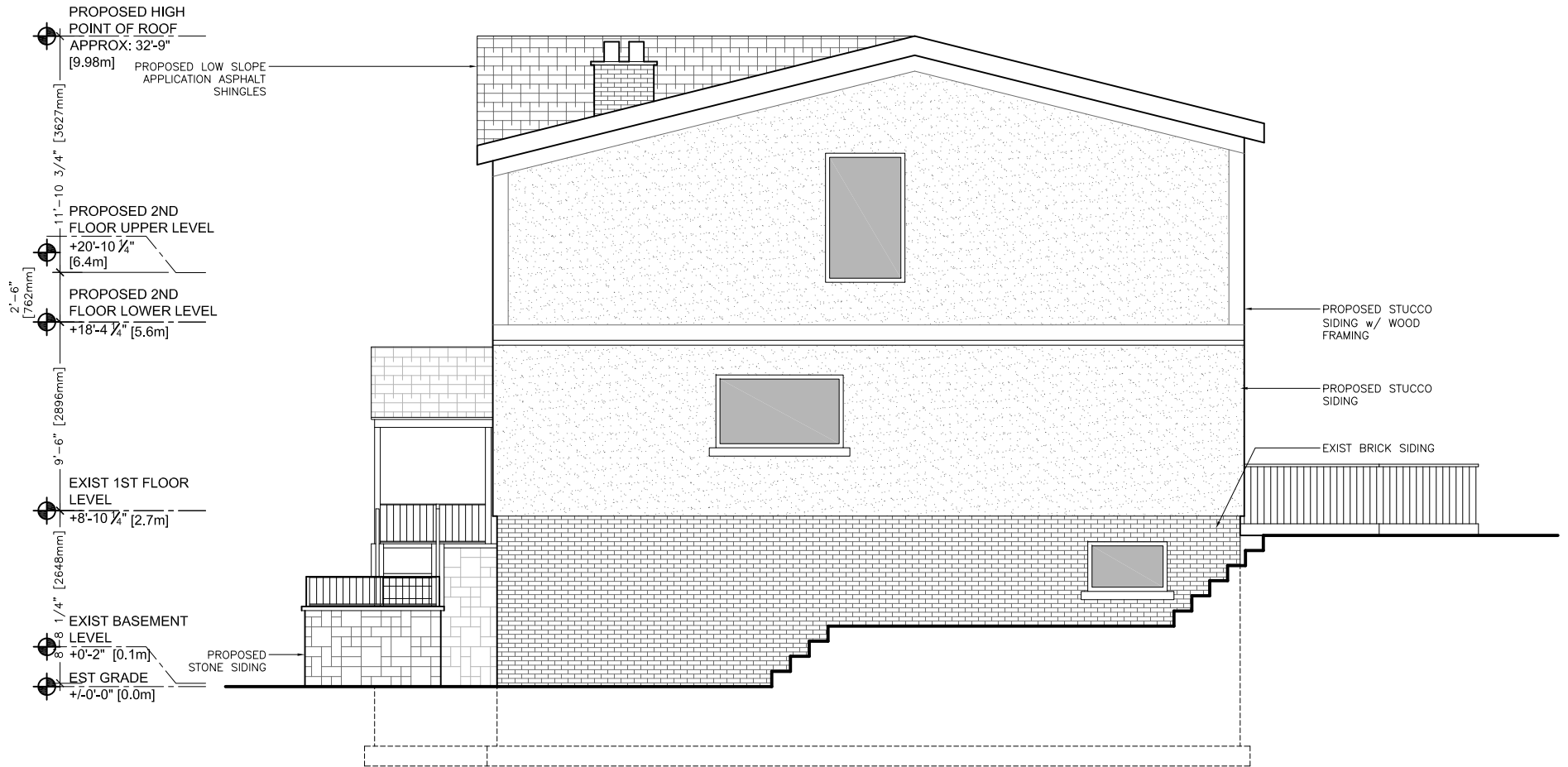
9 EASSON AVE

WEST ELEVATION

PROPOSED

SCALE	DATE	PROJECT NO.	DWG NO
NTS	SEPT 2016	1614	A3.0

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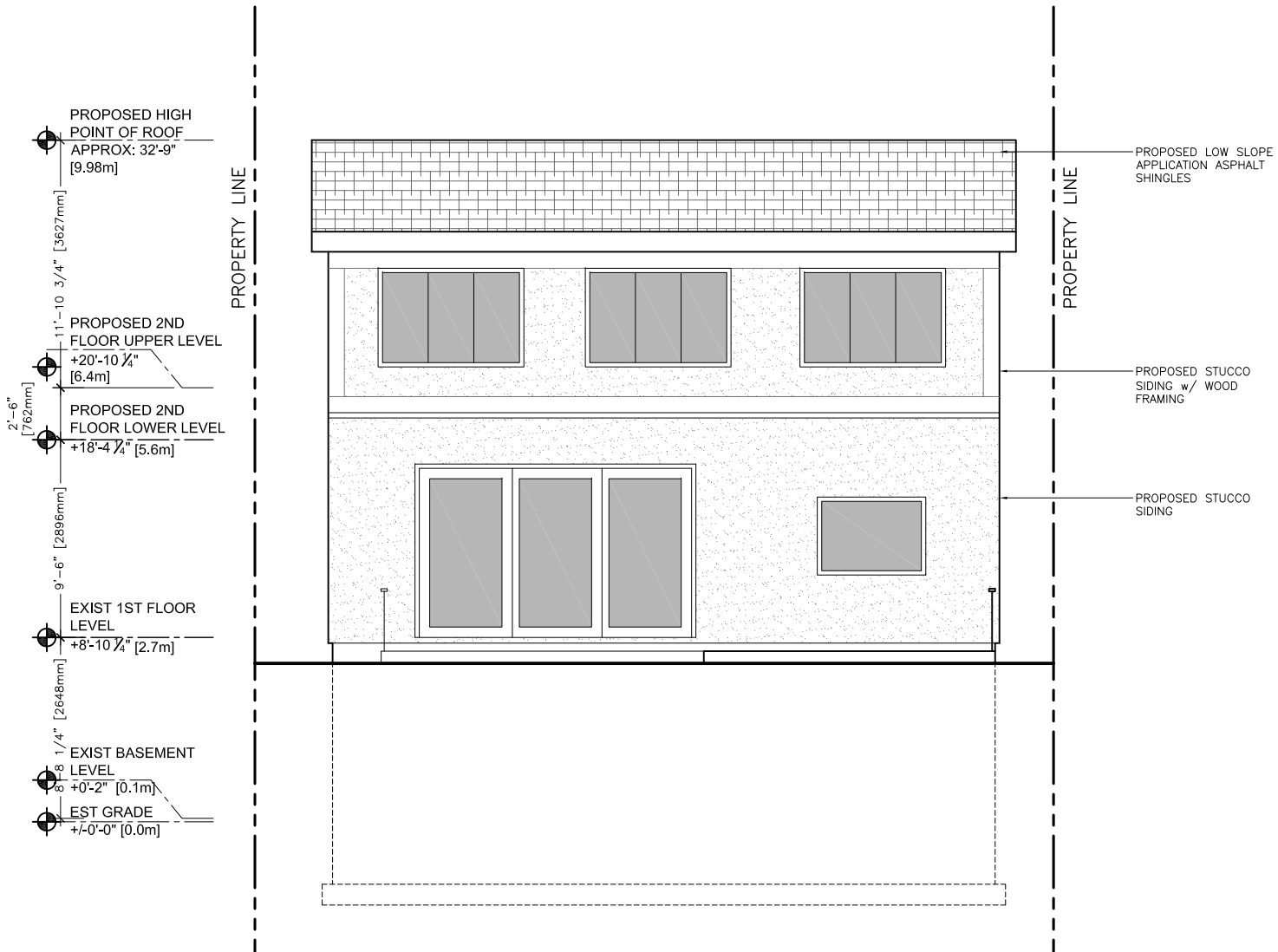
9 EASSON AVE

SOUTH ELEVATION

PROPOSED

SCALE	DATE	PROJECT NO.	DWG NO
NTS	SEPT 2016	1614	A3.1

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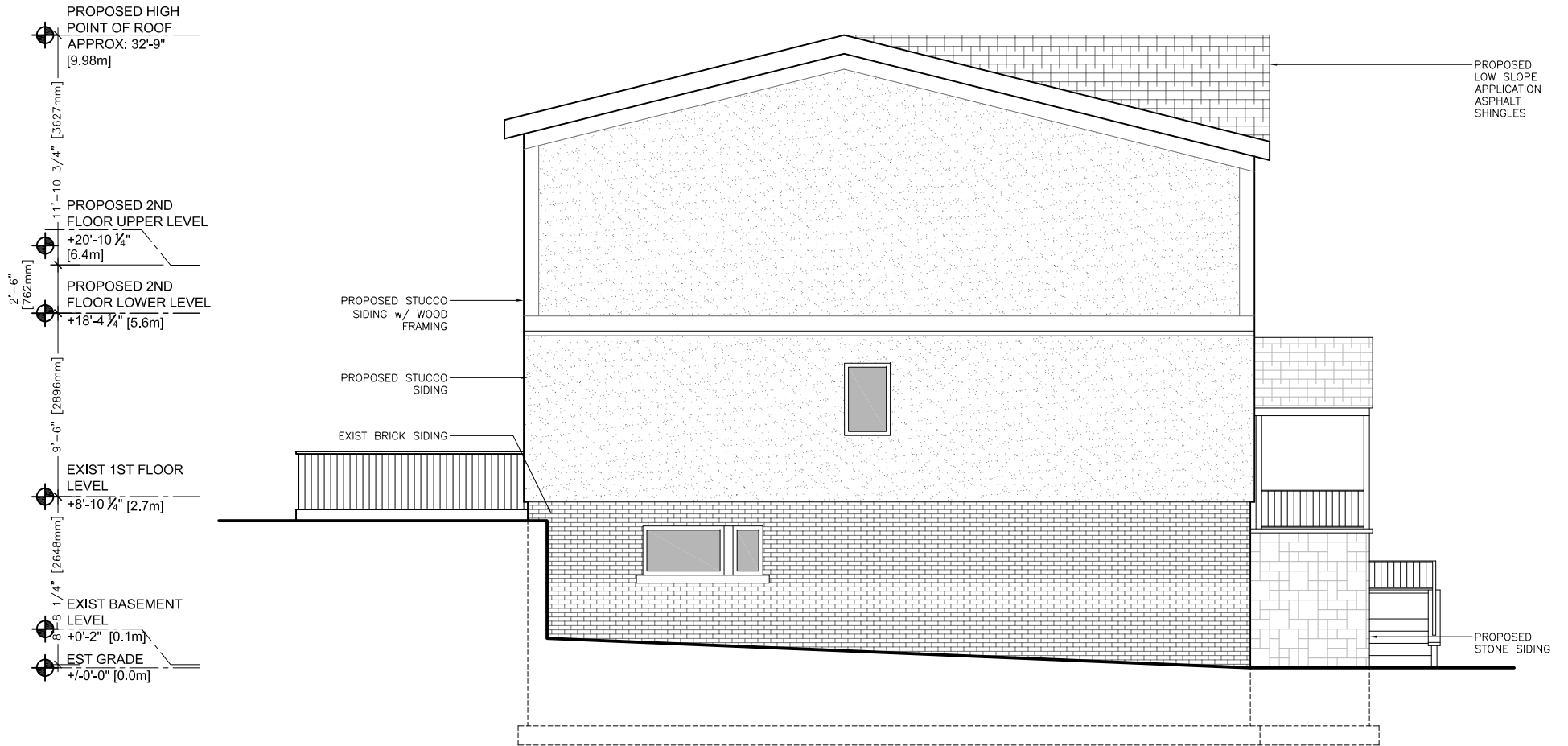
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2017-03-24	ZONING CERTIFICATE SUBMISSION
2017-04-12	COMMITTEE OF ADJUSTMENT SUBMISSION
2017-06-16	COMMITTEE OF ADJUSTMENT RE-SUBMISSION

9 EASSON AVE

EAST ELEVATION PROPOSED

SCALE	DATE	PROJECT NO.	DWG NO
NTS	SEPT 2016	1614	A3.2

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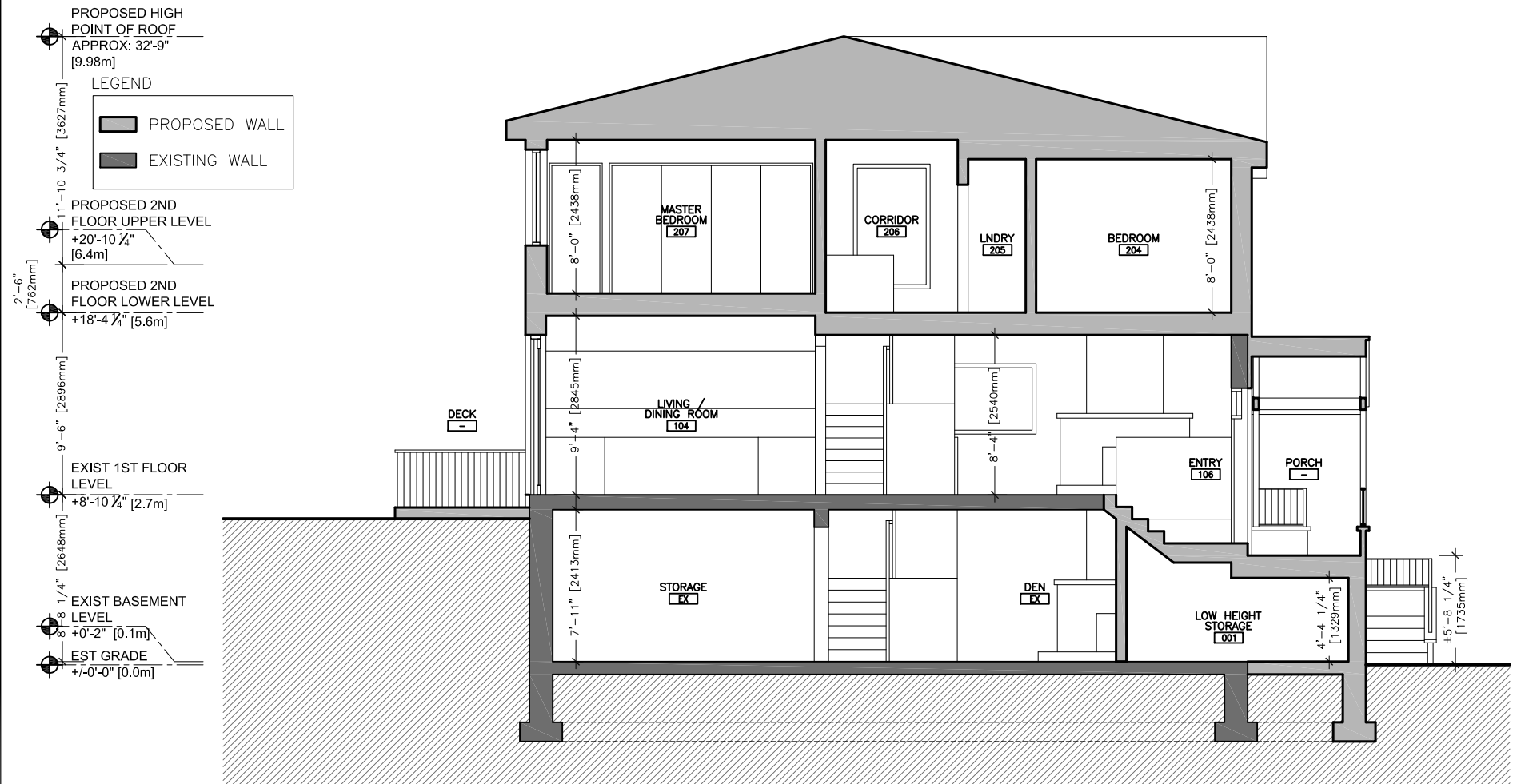
9 EASSON AVE

NORTH ELEVATION

PROPOSED

SCALE	DATE	PROJECT NO.	DWG NO
NTS	SEPT 2016	1614	A3.3

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2017-04-12	COMMITTEE OF ADJUSTMENT SUBMISSION
2017-06-16	COMMITTEE OF ADJUSTMENT RE-SUBMISSION

9 EASSON AVE

BUILDING SECTION PROPOSED

SCALE	DATE	PROJECT NO.	DWG NO
NTS	SEPT 2016	1614	A4.0

Thursday, July 13, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0295/17EYK	Zoning:	RM & R2
Owner(s):	EVAN LANDIS	Ward:	York South-Weston (11)
Agent:	MICHAEL COGAN ARCHITECT	Heritage:	Not Applicable
Property Address:	37 CRAYDON AVE – PART 2	Community:	
Legal Description:	PLAN 1638 PT LOT 24 PT LOT 25		

Notice was given and a Public Hearing was held on Thursday, July 13, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.6.10(252), By-law 569-2013 & Section 8.3(a), By-law 1-83**
The minimum required lot frontage is 8 m.
The lot frontage is 7.61 m.
- Section 10.80.30.10.(1)(C), By-law 569-2013**
The minimum required lot area is 240 m².
The lot area is 232.28 m².
- Section 10.80.40.40.(1)(A), By-law 569-2013 & Section 8.3(a), By-law 1-83**
The maximum permitted floor space index is 0.8 times the lot area.
The proposed dwelling will have a floor space index of 0.83 times the lot area.
- Section 10.80.40.70.(3).(A), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
The proposed dwelling will be located 0.61 m from the east side lot line.
- Section 10.5.40.60.(7), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m.
The proposed eaves of the new dwelling will be located 0.2 m from the east side lot line.
- Section 10.5.40.10.(5), By-law 569-2013**
A minimum of 10 m² of the first floor must be within 4 m of the front main wall.
A total of 4 m² of the first floor will be located within 3.71 m of the front main wall.

7. **Section 10.5.40.60.(3)(A)(iii), By-law 569-2013**
Exterior stairs providing access to a building or structure may encroach into a required minimum building setback provided that they are not closer to a lot line than 0.6 m.
The proposed stairs will be located 0 m from the front lot line.
8. **Section 10.5.50.10.(1)(D), By-law 569-2013 & Section 8.3(c)(i)(5), By-law 1-83**
A minimum of 75% of the front yard, not covered by a permitted driveway, shall be maintained as soft landscaping.
A total of 57.18% of the front yard, not covered by a permitted driveway, will be maintained as soft landscaping.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
2. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
3. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.

SIGNATURE PAGE

File Number:	A0295/17EYK	Zoning	RM & R2
Owner:	EVAN LANDIS	Ward:	York South-Weston (11)
Agent:	MICHAEL COGAN ARCHITECT	Heritage:	Not Applicable
Property Address:	37 CRAYDON AVE – PART 2	Community:	
Legal Description:	PLAN 1638 PT LOT 24 PT LOT 25		

Denise Graham (signed)

Dominic Gulli (signed)

Allan Smithies (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, July 20, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0027/17EYK	Zoning	RM & R2
Owner(s):	KOSHY KURIEN ERIN KURIEN	Ward:	York South-Weston (11)
Agent:	DEVRY SMITH FRANK LLP	Heritage:	Not Applicable
Property Address:	25 LAXIS AVE	Community:	
Legal Description:	PLAN 652 PT LOT 5		

Notice was given and the application considered on Thursday, July 13, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever a portion of the lot for the purpose of a lot addition.

Retained - Parts 1 and 2

25 Laxis Avenue

Parts 1 and 2 have a combined lot frontage of 6.99 m and a combined lot area of 229 m². The existing detached dwelling will be maintained and will require no variances to the Zoning By-law.

Conveyed - Part 3

23 Laxis Avenue

Part 3 has a lot area of 3 m² and will be added to the holdings of the south abutting lot known as 23 Laxis Avenue (Parts 4 & 5). Parts 3, 4 & 5 will have a combined lot area of 235 m². The existing dwelling will be maintained and will require variances to the Zoning By-law, as outlined in Application A0301/17EYK.

The Deputy Secretary-Treasurer, considered the written submissions relating to the application prior to making the decision. In so doing, **IT WAS THE DECISION OF THE SECRETARY TREASURER THAT:**

The Consent Application is Approved on Condition

The Deputy Secretary-Treasurer has considered the provisions of Section 51(24) of the Planning Act, is satisfied that a plan of subdivision is not necessary for the proper and orderly development of the municipality and therefore consents to the requested transaction, pursuant to subsection 53(42) of the Planning Act, **subject to the following conditions:**

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
2. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, of Property Records, at 416 392-8338; jhouse@toronto.ca
3. **An electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services, shall be filed with the Committee of Adjustment.
4. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare and submit for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0027/17EYK	Zoning	RM & R2
Owner(s):	KOSHY KURIEN	Ward:	York South-Weston (11)
	ERIN KURIEN		
Agent:	DEVRY SMITH FRANK LLP	Heritage:	Not Applicable
Property Address:	25 LAXIS AVE	Community:	
Legal Description:	PLAN 652 PT LOT 5		

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL : Thursday, August 10, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

This day of, 2017

Appeal Information

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Friday, July 21, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0029/17EYK	Zoning	R & R1S
Owner(s):	RALPH SCHATZMAIR	Ward:	Parkdale-High Park (13)
Agent:	Michael J. Day	Heritage:	Not Applicable
Property Address:	70 LAVINIA AVE	Community:	
Legal Description:	PLAN 569 LOT 28		

Notice was given and the application considered on Thursday, July 13, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to create a reciprocal easement/right-of-way for the purpose of drainage maintenance and to maintain the dwelling located on the lands.

Easement/Right-of-Way - Part 1

Part 1 has an area of 13.4 m² will be subject to a reciprocal easement/right-of-way for the purpose of drainage maintenance and to maintain the dwelling located on the lands, in favour of the property to the north (72 Lavinia Avenue).

The Deputy Secretary-Treasurer, considered the written submissions relating to the application prior to making the decision. In so doing, **IT WAS THE DECISION OF THE SECRETARY TREASURER THAT:**

The Consent Application is Approved on Condition

The Deputy Secretary-Treasurer has considered the provisions of Section 51(24) of the Planning Act, is satisfied that a plan of subdivision is not necessary for the proper and orderly development of the municipality and therefore consents to the requested transaction, pursuant to subsection 53(42) of the Planning Act, **subject to the following conditions:**

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File Number:	B0029/17EYK	Zoning	R & R1S
Owner(s):	RALPH SCHATZMAIR	Ward:	Parkdale-High Park (13)
Agent:	Michael J. Day	Heritage:	Not Applicable
Property Address:	70 LAVINIA AVE	Community:	
Legal Description:	PLAN 569 LOT 28		

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL : Thursday, August 10, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

This day of, 2017

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Friday, July 21, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0030/17EYK	Zoning	R & R1S
Owner(s):	SANDRA ANN BOWERS	Ward:	Parkdale-High Park (13)
Agent:	Michael J. Day	Heritage:	Not Applicable
Property Address:	72 LAVINIA AVE	Community:	
Legal Description:	PLAN 569 LOT 26		

Notice was given and the application considered on Thursday, July 13, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to create a reciprocal easement/right-of-way for the purpose of drainage maintenance and to maintain the dwelling located on the lands.

Easement/Right-of-Way - Part 2

Part 2 has an area of 6 m² will be subject to a reciprocal easement/right-of-way for drainage maintenance and to maintain the dwelling located on the lands, in favour of the property to the south (70 Lavinia Avenue).

The Deputy Secretary-Treasurer, considered the written submissions relating to the application prior to making the decision. In so doing, **IT WAS THE DECISION OF THE SECRETARY TREASURER THAT:**

The Consent Application is Approved on Condition

The Deputy Secretary-Treasurer has considered the provisions of Section 51(24) of the Planning Act, is satisfied that a plan of subdivision is not necessary for the proper and orderly development of the municipality and therefore consents to the requested transaction, pursuant to subsection 53(42) of the Planning Act, **subject to the following conditions:**

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SIGNATURE PAGE

File Number:	B0030/17EYK	Zoning	R & R1S
Owner(s):	SANDRA ANN BOWERS	Ward:	Parkdale-High Park (13)
Agent:	Michael J. Day	Heritage:	Not Applicable
Property Address:	72 LAVINIA AVE	Community:	
Legal Description:	PLAN 569 LOT 26		

DATE DECISION MAILED ON: Friday, July 21, 2017

LAST DATE OF APPEAL : Thursday, August 10, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

This day of, 2017

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.