



**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A1301/16TEY	Zoning:	E 3.0 (x311) & I2 D3 (BLD)
Owner(s):	CECILIA CHUNG DAVID TUNG LIN CHUNG	Ward:	Toronto Centre-Rosedale (28)
Agent:	KEVIN HUETHER	Heritage:	Not Applicable
Property Address:	<b>738 DUNDAS ST E</b>	Community:	Toronto
File Number:	A1301/16TEY		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To legalize and to maintain the existing recreational target range within the existing 1½-storey building.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**Chapter 200.5.10.1.(1), By-law 569-2013**

A minimum of one parking space is required to be provided.  
In this case, zero parking spaces will be provided

**Section 9(1)(F), By-law 438-86**

A Place of Amusement is not a permitted use.  
The building will be used as a Place of Amusement.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A1301/16TEY	Zoning	E 3.0 (x311) & I2 D3 (BLD)
Owner(s):	CECILIA CHUNG DAVID TUNG LIN CHUNG	Ward:	Toronto Centre-Rosedale (28)
Agent:	KEVIN HUETHER	Heritage:	Not Applicable
Property Address:	<b>738 DUNDAS ST E</b>	Community:	Toronto
File Number:	A1301/16TEY		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0151/17TEY	Zoning	R(d1.0)(x848) & R3 Z1.0 (ZZC)
Owner(s):	ARI KAPLAN	Ward:	Trinity-Spadina (20)
Agent:	SABA AL MATHNO	Heritage:	Designated
Property Address:	<b>170 ROBERT ST</b>	Community:	Toronto
Legal Description:	PLAN 459 LOT 47		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To convert the existing rear detached garage into a home office.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.10.60.70.(1), By-law 569-2013**

The area of the lot covered by all ancillary buildings and structures may not exceed 5% of the lot area (7.88 m<sup>2</sup>).

The rear detached garage will have a lot coverage of 20.94% (33.0 m<sup>2</sup>).

**2. Chapter 150.5.60.1.(1), By-law 569-2013**

A home occupation is a permitted use provided it is not located in an ancillary building or structure. In this case, the home occupation will be located in the rear detached garage.

**3. Chapter 200.5.10.1.(1), By-law 569-2013**

A minimum of one parking space is required to be provided.

In this case, zero parking spaces will be provided.

**1. Section 6(3) Part I 2, By-law 438-86**

An accessory building is permitted a maximum floor area no greater than 5% of the lot area (7.88 m<sup>2</sup>).

The rear detached garage will have a gross floor area equal to 17.97% of the lot area (28.32 m<sup>2</sup>).

**2. Section 6(3) Part II 7(II) A, By-law 438-86**

The minimum required setback of an accessory structure to an adjacent residential building is 4.5 m.

The rear detached garage will be located 3.17 m from the adjacent residential building.

**3. Section 6(3) Part II 7(I), By-law 438-86**

The minimum required setback of an accessory structure to all lot lines is 3.0 m.

The rear detached garage will be located 0.40 m from the north side lot line and 0.40 m from the south side lot line.

**4. Section 4(5)(B), By-law 438-86**

A minimum of one parking space is required to be provided.

In this case, zero parking spaces will be provided.

**5. Section 6(2) 20, By Law 438-86**

No part of an accessory building may be used for a home/work use.

In this case, the home/work use is will be located in the existing rear detached garage.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0151/17TEY	Zoning	R(d1.0)(x848) & R3 Z1.0 (ZZC)
Owner(s):	ARI KAPLAN	Ward:	Trinity-Spadina (20)
Agent:	SABA AL MATHNO	Heritage:	Designated
Property Address:	<b>170 ROBERT ST</b>	Community:	Toronto
Legal Description:	PLAN 459 LOT 47		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

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Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
(Section 45 of the Planning Act)

File Number:	A0152/17TEY	Zoning	R (d1.0)(x852) & R3 Z1.0 (ZPR)
Owner(s):	ELIZABETH DOHERTY ROY RENE	Ward:	Trinity-Spadina (20)
Agent:	ZUZANNA KRYKORKA	Heritage:	Designated
Property Address:	<b>208 ROBERT ST</b>	Community:	Toronto
Legal Description:	PLAN D10 PT LOT 30		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey semi-detached dwelling by constructing a rear two-storey addition. The existing rear ground floor addition will be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.10.40.40.(1)(A), By-law 569-2013**

The maximum permitted floor space index of a semi-detached dwelling is 1.0 times the area of the lot (172.5 m<sup>2</sup>).

The altered semi-detached dwelling will have a floor space index equal to 1.17 times the area of the lot (202 m<sup>2</sup>).

**2. Chapter 10.10.40.30.(1)(A), By-law 569-2013**

The maximum permitted depth of a semi-detached dwelling is 17 m.

The altered semi-detached dwelling will have a depth of 18.51 m.

**3. Chapter 10.5.50.10.(3)(A), By-law 569-2013**

A minimum of 50% (23.33 m<sup>2</sup>) of the rear yard must be maintained as soft landscaping.

In this case, 7.8% (3.64 m<sup>2</sup>) of the rear yard has been maintained as soft landscaping.

**1. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area of a semi-detached dwelling is 1.0 times the area of the lot (172.5 m<sup>2</sup>).

The altered semi-detached dwelling will have a gross floor area equal to 1.17 times the area of the lot (202 m<sup>2</sup>).

**2. Section 6(3) Part II 5(II), By-law 438-86**

The maximum permitted depth of a semi-detached dwelling is 17 m.

The altered semi-detached dwelling will have a depth of 18.51 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The maximum building length of the second floor of the altered dwelling shall not exceed 17.75 m, as illustrated on the second floor plan received by the Committee of Adjustment on February 22, 2017.
- (2) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (3) The applicant shall provide permeable pavers in the rear yard to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

**SIGNATURE PAGE**

File Number:	A0152/17TEY	Zoning	R (d1.0)(x852) & R3 Z1.0 (ZPR)
Owner(s):	ELIZABETH DOHERTY ROY RENE	Ward:	Trinity-Spadina (20)
Agent:	ZUZANNA KRYKORKA	Heritage:	Designated
Property Address:	<b>208 ROBERT ST</b>	Community:	Toronto
Legal Description:	PLAN D10 PT LOT 30		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District





City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0153/17TEY	Zoning	CR 3.0 (c1.0;r2.5) SS2 (x1571) & MCR T3.0 C12.0 R2.5
Owner(s):	JOYCE OMBONI TRISTINA SINOPOLI	Ward:	Trinity-Spadina (19)
Agent:	EDWARD LEE	Heritage:	Not Applicable
Property Address:	<b>838 COLLEGE ST</b>	Community:	Toronto
Legal Description:	PLAN 329 BLK K PT LOT 2		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey mixed-use building containing restaurant use on the ground floor and residential use on the second floor by constructing a rear outdoor patio on the ground floor.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 40.10.20.100.(21)(1)(B), By-law 569-2013**  
An outdoor patio is a permitted use provided it does not exceed 30.0 m<sup>2</sup>.  
In this case, the rear restaurant outdoor patio will be 52.30 m<sup>2</sup>.
- 2. Chapter 40.10.20.100.(21)(2)(D), By-law 569-2013**  
An outdoor patio is a permitted use provided it is located 30.0 m from a lot line in a Residential Zone category or Residential Apartment Zone category.  
The rear outdoor patio will be located 16.75 m from a lot in the Residential Zone category or Residential Apartment Zone category.
- 1. Section 8(2) 7(I), By-law 438-86**  
A patio is not a permitted if it located in the rear yard of a building if the lot abuts, or is separated from a lot in a residential district by distance of less than 10 m.  
The outdoor patio will be located 16.75 m from a lot in a residential district and is not permitted.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

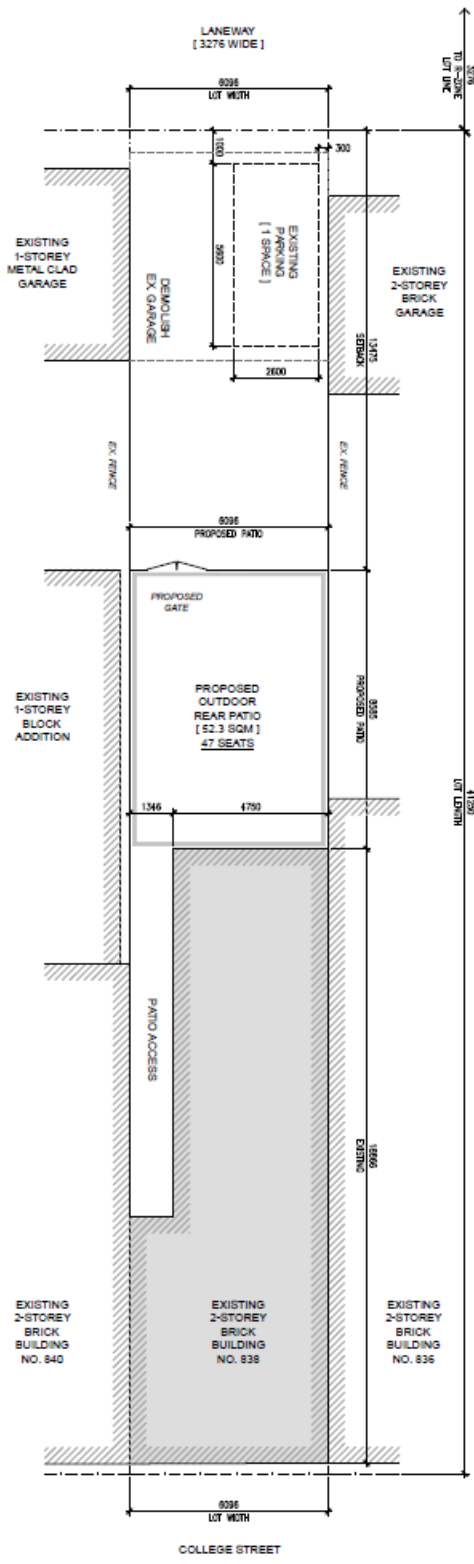
**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The opening hours for the patio shall be restricted to 11:00 a.m. to 11:00 p.m.;
- (2) No music, artificial or amplified sound shall be played on, or projected into, the patio area; and
- (3) The plans submitted to Toronto Building for building permit are substantially in accordance with plans received by the Committee of Adjustment Staff on February 10, 2017.



PROJECT STATISTICS	CR 3.0 (6/10/25) SR2 (M1571)
SITE LOT AREA	251.445 SQM / 27066.9 SQP
EXISTING BUILDING AREA	99.87 SQM / 10749.6 SQP
EXISTING GROSS FLOOR AREA	199.73 SQM / 21492.2 SQP
PROPOSED GROSS FLOOR AREA	NO CHANGE
EXISTING FLOOR SPACE INDEX	CR 0.794 (0.357 - 0.397)
PROPOSED FLOOR SPACE INDEX	NO CHANGE
EXISTING OUTDOOR PATIO AREA	52.33 SQM / 5632.8 SQP
PROPOSED OUTDOOR PATIO AREA	52.33 SQM / 5632.8 SQP
PARKING SPACES	1 EXISTING

**EDWARD LEE ARCHITECT**  
 6 AVONLE STREET  
 TORONTO ONTARIO M4U 1N4  
 E: lee@edwardlee.ca or T: 947.784.7172

Contractor must check and verify all dimensions on the job. Do not scale drawings. All drawings, specifications and conditions of contract are the copyright property of the architect and contractor. No part of this drawing or any reproduction of design, specifications and related documents in part or in whole is to be used without the architect's written permission. This drawing is not meant to be used for construction without the architect's approval.



838 COLLEGE STREET  
 TORONTO, ONTARIO  
**PROPOSED SITE PLAN**

PRAY TELL

SCALE	1:120	A-1
DRAWN BY	EL	
DATE	2017/03/10	COA

**\* COMMITTEE OF ADJUSTMENTS**

**EDWARD LEE  
ARCHITECT**  
6 AROYLE STREET  
TORONTO ONTARIO M4J 1N4  
E: info@edwardlee.ca T: 416-594-1172

Contractor must check and verify all dimensions on the job. Do not make changes. All drawings, specifications and related documents are the copyright property of the Architect and must be returned upon request. Reproduction of drawings, specifications and related documents in part or in whole is forbidden without the architect's written permission. This drawing is not meant to be used for construction until signed by the architect.

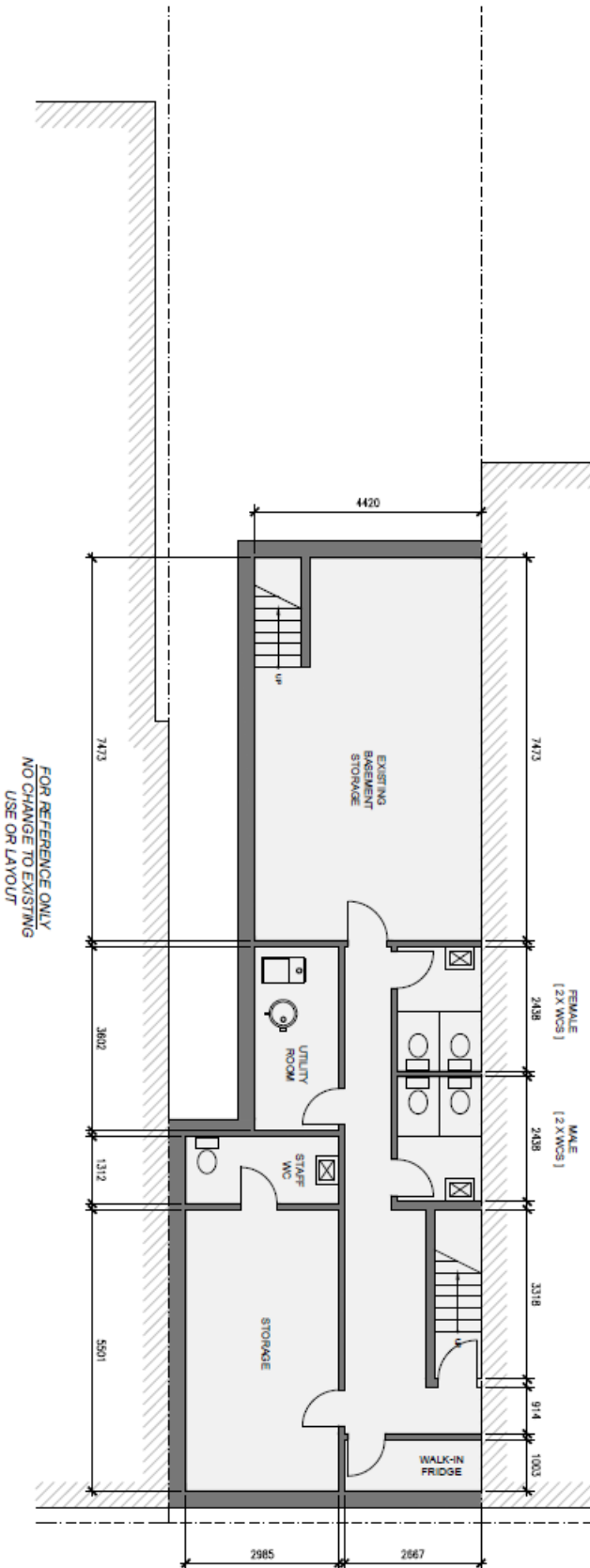


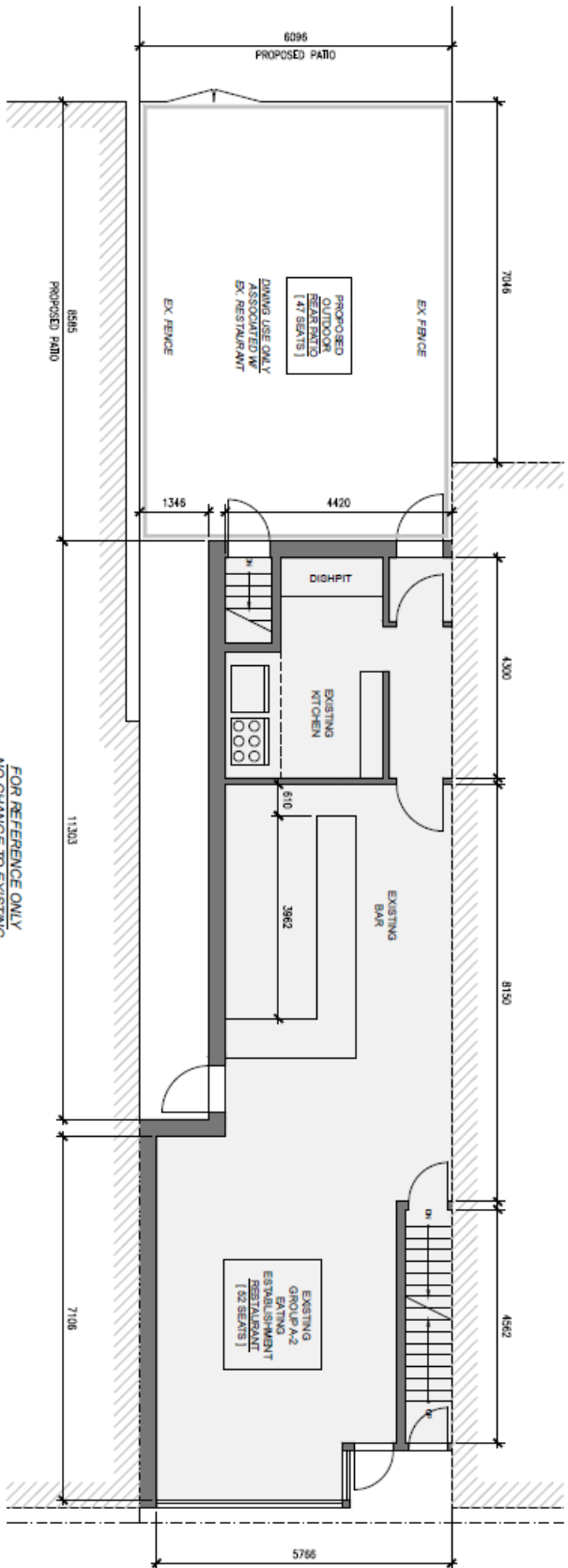
538 COLLEGE STREET  
TORONTO, ONTARIO

**EXISTING  
BASEMENT FLOOR PLAN**

PRAY TELL

SCALE	1/2" = 1'	A-2
DRAWN BY:	DL	COA
DATE:	2017/02/10	





FOR REFERENCE ONLY  
NO CHANGE TO EXISTING  
USE OR LAYOUT

**EDWARD LEE ARCHITECT**  
6 ARBYLE STREET  
TORONTO ONTARIO M4L 1M4  
E: info@edwardlee.ca T: 416-584-1172

Contractor must check and verify all dimensions on the job. Do not make drawings. All drawings, specifications and related documents are the copyright property of the Architect and must be returned upon request. Reproduction of drawings, specifications and related documents in part or in whole is forbidden without the architect's written permission. This drawing is not meant to be used for construction until signed by the architect.



538 COLLEGE STREET  
TORONTO, ONTARIO

EXISTING  
GROUND FLOOR PLAN &  
PROPOSED OUTDOOR PATIO PLAN



SCALE 1/2" = 1'-0"  
DRAWN BY: DL  
DATE: 2017/02/10

A-3  
COA

PRAY TELL

**EDWARD LEE  
ARCHITECT**  
6 ARROYO STREET  
TORONTO ONTARIO M6L 1N4  
E: lee@edwardlee.ca T: (416) 584-1172

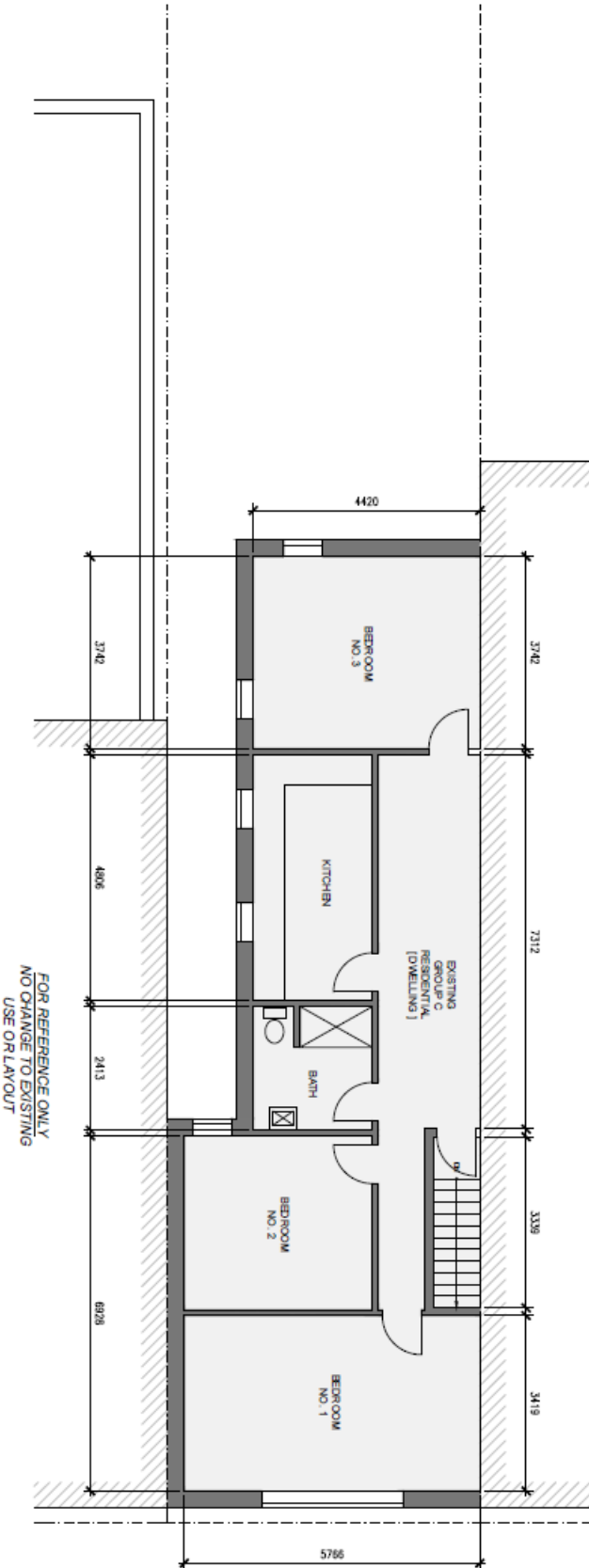
Contractor must check and verify all dimensions on the job. Do not make changes. All drawings, specifications and related documents are the copyright property of the Architect and must be returned upon request. Reproduction of drawings, specifications and related documents in part or in whole is forbidden without the architect's written permission. This drawing is not meant to be used for construction until signed by the architect.



538 COLLEGE STREET  
TORONTO, ONTARIO  
EXISTING  
SECOND FLOOR PLAN

PRAY TELL

SCALE	1/2"	A-4
DRAWN BY:	DL	
DATE	2017/02/20	COA



**SIGNATURE PAGE**

File Number:	A0153/17TEY	Zoning	CR 3.0 (c1.0;r2.5) SS2 (x1571) & MCR T3.0 C12.0 R2.5
Owner(s):	JOYCE OMBONI TRISTINA SINOPOLI	Ward:	Trinity-Spadina (19)
Agent:	EDWARD LEE	Heritage:	Not Applicable
Property Address:	<b>838 COLLEGE ST</b>	Community:	Toronto
Legal Description:	PLAN 329 BLK K PT LOT 2		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0154/17TEY	Zoning	RM (fl2.0, u2, d0.8) & R2 (ZZC)
Owner(s):	RYAN HUNTER	Ward:	St. Paul's (21)
Agent:	RYAN HUNTER	Heritage:	Not Applicable
Property Address:	<b>423 VAUGHAN RD</b>	Community:	York
Legal Description:	PLAN 1527 PT LOT 2		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To permit a cafe use (Take-out Eating Establishment) in the existing vacant commercial store. No external changes to the existing buildings are being contemplated.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**Chapter 10.80.20.10.(1), By-law 569-2013**

A take-out restaurant (coffee shop) is not permitted in the Residential Zone.  
In this case, a coffee shop (Take-out Eating Establishment) will be permitted.

**Section 8 (R2-2), By-law 1-83**

A take-out restaurant (coffee shop) is not permitted in the Residential Zone.  
In this case, a coffee shop (Take-out Eating Establishment) will be permitted.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**



It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0154/17TEY	Zoning	RM (f12.0, u2, d0.8) & R2 (ZZC)
Owner(s):	RYAN HUNTER	Ward:	St. Paul's (21)
Agent:	RYAN HUNTER	Heritage:	Not Applicable
Property Address:	<b>423 VAUGHAN RD</b>	Community:	York
Legal Description:	PLAN 1527 PT LOT 2		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

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Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0155/17TEY	Zoning:	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	DAVID GARRATT NADIA GARRATT	Ward:	Trinity-Spadina (19)
Agent:	DAVID GARRATT	Heritage:	Not Applicable
Property Address:	<b>30 MELVILLE AVE</b>	Community:	Toronto
Legal Description:	PLAN 778 BLK D LOT 18		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing 2½-storey semi-detached duplex by reconstructing a front and rear covered porch and front yard basement walkout.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.5.50.10.(1)(D), By-law 569-2013**

A minimum of 75% of the front yard must be maintained as soft landscaping (8.63 m<sup>2</sup>).  
The front yard soft landscaping area will be equal to 61% (7.04 m<sup>2</sup>).

**2. Chapter 10.5.50.10.(3)(A), By-law 569-2013**

A minimum of 50% of the rear yard must be maintained as soft landscaping (52.37 m<sup>2</sup>).  
The rear yard soft landscaping area will be equal to **18% (19.0 m<sup>2</sup>)**.

**3. Chapter 150.10.40.1.(3)(A), By-law 569-2013**

A secondary suite is a permitted use provided that an addition or exterior alteration to a building to accommodate a secondary suite does not alter or add to a main wall or roof that faces a street.  
In this case, the front yard basement walkout stairs will alter the front main wall that faces a street.

**1. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area is 0.6 times the area of the lot (126.38 m<sup>2</sup>).  
The altered dwelling will have a gross floor area equal to 1.21 times the area of the lot (255.89 m<sup>2</sup>).

**2. Section 6(3) Part III 3(B), By-law 438-86**

A minimum of 75% of the front yard must be maintained as soft landscaping (17.26 m<sup>2</sup>).  
The front yard soft landscaping area will be equal to 31% (7.04 m<sup>2</sup>).

**3. Section 6(3) Part II 8 D, By-law 438-86**

The maximum permitted platform projection from the rear main wall is 2.5 m.  
In this case, the rear ground floor deck will project 3.12 m from the rear wall.

**4. Section 6(3) Part II 8F, By-law 438-86**

The maximum permitted projection of a roof over a first floor platform which is attached to the rear wall of a residential building is 2.5 m.  
In this case, the roof located above the rear ground floor deck will project 3.43 m from the rear wall.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) The permitted hard landscaping between the rear deck and the wall of the garage, nearest to the dwelling, shall have a permeable surface.

**SIGNATURE PAGE**

File Number:	A0155/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	DAVID GARRATT NADIA GARRATT	Ward:	Trinity-Spadina (19)
Agent:	DAVID GARRATT	Heritage:	Not Applicable
Property Address:	<b>30 MELVILLE AVE</b>	Community:	Toronto
Legal Description:	PLAN 778 BLK D LOT 18		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

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Manager & Deputy Secretary-Treasurer  
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City Planning Division

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Toronto and East York District

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Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0156/17TEY	Zoning	RD (f12.0; d0.6)(x1249) & R1 Z0.6 (ZZC)
Owner(s):	ALONA ZAVET	Ward:	St. Paul's (21)
Agent:	DAVID LANG	Heritage:	Not Applicable
Property Address:	<b>191 MONTCLAIR AVE</b>	Community:	Toronto
Legal Description:	PLAN 1688 LOT 34		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To legalize and to maintain the existing rear covered deck which commenced construction without a building permit.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**Section 6(3) Part II 8 F, By-law 438-86**

A roof over a first floor platform or terrace is permitted provided it does not project more than 2.5 m from the wall to which it is attached.

In this case, the roof projects 5 m from the rear wall of the detached house.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0156/17TEY	Zoning	RD (f12.0; d0.6)(x1249) & R1 Z0.6 (ZZC)
Owner(s):	ALONA ZAVET	Ward:	St. Paul's (21)
Agent:	DAVID LANG	Heritage:	Not Applicable
Property Address:	<b>191 MONTCLAIR AVE</b>	Community:	Toronto
Legal Description:	PLAN 1688 LOT 34		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0157/17TEY	Zoning	R (d0.6)(x736) & R2 Z0.6 (BLD)
Owner(s):	BRITTA KRISTINE HILD	Ward:	Toronto-Danforth (30)
Agent:	STEVE SOCHA	Heritage:	Not Applicable
Property Address:	<b>391 PAPE AVE</b>	Community:	Toronto
Legal Description:	PLAN M73 PT LOT 29 RP 66R8939 PARTS 10 TO 12		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey semi-detached dwelling containing five residential units by constructing a rear exterior staircase from the second floor.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.50.10.(3)(A), By-law 569-2013**  
A minimum of 50% (25.06 m<sup>2</sup>), of the rear yard shall be maintained as soft landscaping.  
In this case, 0% (0.0 m<sup>2</sup>), of the rear yard will be maintained as soft landscaping.
- 2. Chapter 10.10.40.30.(1)(B), By-law 569-2013**  
The maximum permitted building depth is 14.0 m.  
The altered building will have a building depth of 23.8 m, measured to the rear new stair case.
- 3. Chapter 10.10.40.70.(2), By-law 569-2013**  
The minimum required rear yard setback is 7.5 m.  
The altered dwelling will be located 6.3 m from the east rear lot line, measured from the rear new stair case.
- 1. Section 6(3) Part II 4, By-law 438-86**  
The minimum required rear yard setback is 7.5 m.  
The altered dwelling will be located 6.3 m from the east rear lot line, measured from the rear new stair case.
- 2. Section 6(3) Part II 5(I), By-law 438-86**  
The maximum permitted building depth is 14.0 m.  
The altered building will have a building depth of 23.8 m, measured to the rear new stair case.



**3. Section 6(3) Part III 1(A), By-law 438-86**

A minimum of 30% (58.5 m<sup>2</sup>), of the area of the lot shall be landscaped open space.  
In this case, 26.9% (52.58 m<sup>2</sup>), will be maintained as landscaped open space.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

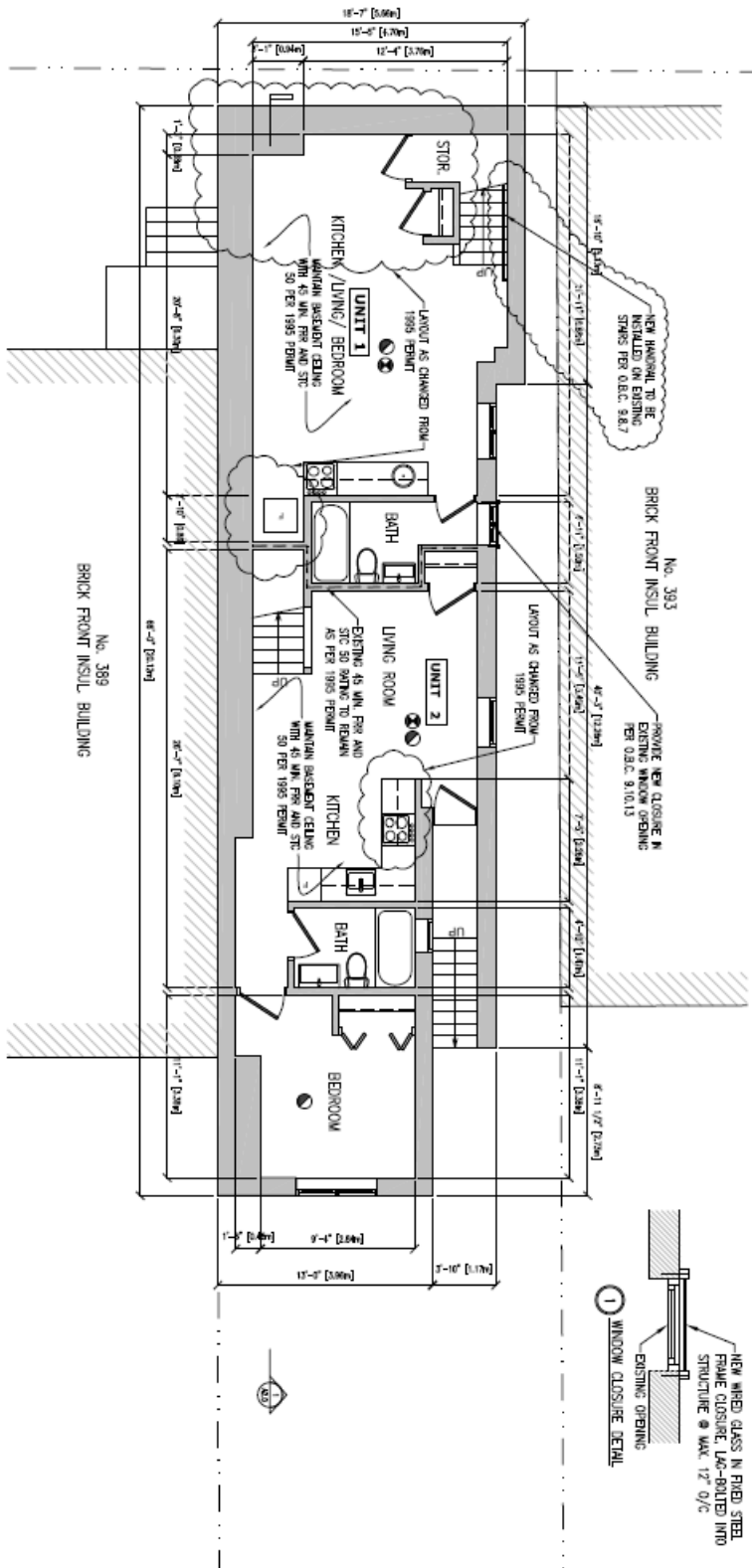
It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The building length at the ground floor shall be limited to 20.12 m, excluding the existing deck and new rear exterior stairs.
- (2) The building length at the second floor shall be limited to 17.53 m, excluding the existing terrace and new rear exterior stairs.
- (3) The alterations to the two-storey semi-detached dwelling shall be constructed substantially in accordance with the plans dated February 8, 2017. Any variances that may appear on these plans that are NOT listed in the written decision are not authorized.





NO.	DATE	REVISION	BY
1	2017/01/17	CONTRACT ADMINISTRATION	...
2	2017/01/17	CONTRACT ADMINISTRATION	...
3	2017/01/17	CONTRACT ADMINISTRATION	...
4	2017/01/17	CONTRACT ADMINISTRATION	...
5	2017/01/17	CONTRACT ADMINISTRATION	...
6	2017/01/17	CONTRACT ADMINISTRATION	...
7	2017/01/17	CONTRACT ADMINISTRATION	...
8	2017/01/17	CONTRACT ADMINISTRATION	...
9	2017/01/17	CONTRACT ADMINISTRATION	...
10	2017/01/17	CONTRACT ADMINISTRATION	...

**LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE EXPANDED AND REINFORCED
- EXISTING DOOR TO REMAIN
- NEW DOOR TO BE INSTALLED
- NEW OR EXISTING HAND-HELD CROWN AND VERTICAL SILL/RAIL AS PER DETAIL 9.10.13.1
- NEW OR EXISTING HAND-HELD SHAPE AND VERTICAL SILL/RAIL AS PER DETAIL 9.10.13.2
- NEW OR EXISTING WINDOW OPENING AS PER DETAIL 9.10.13.3
- NEW WORK REQUIRED
- UPGRADE TO EXISTING WORK IN 1995 PERMIT - NO NEW WORK REQUIRED

**WALL TYPES LEGEND**

OPTION 1

**INTERIOR FIRE SEPARATION: 1 HOUR FIRE RESISTANCE RATING**

- 8" SITC 50
- 15mm TYPE X GYPSUM BOARD
- 35mm x 88mm WOOD STUDS SPACED @ 610mm o.c.
- 88mm THICK ROCK WOOL SAFEN/SOUND
- RESILIENT METAL CHANNELS SPACED 610mm o.c.
- 2 LAYERS 15.88mm TYPE X GYPSUM BOARD

**WINDOW CLOSURE DETAIL**

NEW WIRE GLASS IN FIXED STEEL FRAME CLOSURE, LAG-BOLTED INTO STRUCTURE @ MAX. 12" O/C

**PROJECT NAME:** SUSTAINABLE TO 391 PARG AVENUE, TORONTO

**PROJECT NO.:** 16-106 SHEP NO.

**DATE:** 16/03/17

**SCALE:** 1/8" = 1'-0"

**DRAWN BY:** S.S.

**CHECKED BY:** P.S.

**PROJECT TITLE:** BASEMENT FLOOR PLAN

**DATE:** 16/03/17

**SCALE:** 1/8" = 1'-0"

**DRAWN BY:** S.S.

**CHECKED BY:** P.S.

**PROJECT NO.:** 16-106 SHEP NO.

**DATE:** 16/03/17

**SCALE:** 1/8" = 1'-0"

**DRAWN BY:** S.S.

**CHECKED BY:** P.S.

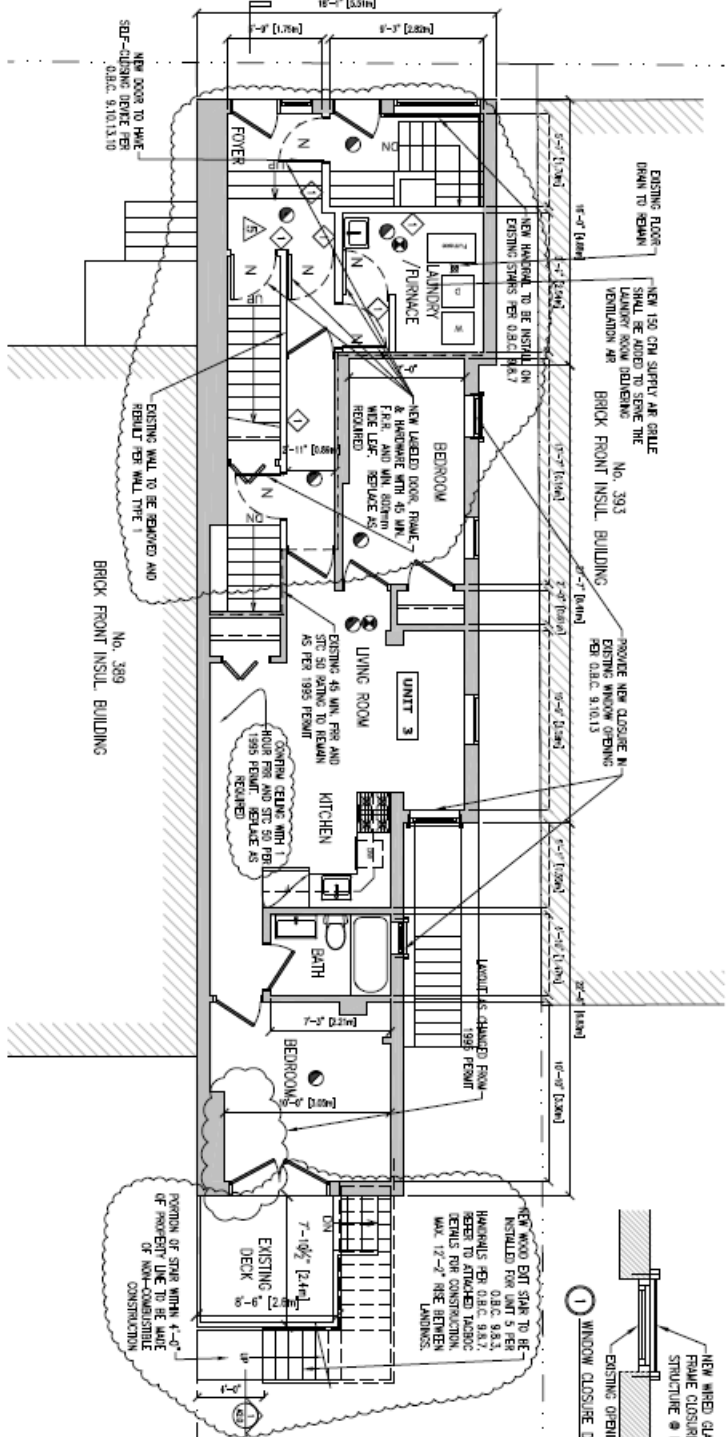
**PROJECT TITLE:** BASEMENT FLOOR PLAN

**DATE:** 16/03/17

**SCALE:** 1/8" = 1'-0"

**DRAWN BY:** S.S.

**CHECKED BY:** P.S.

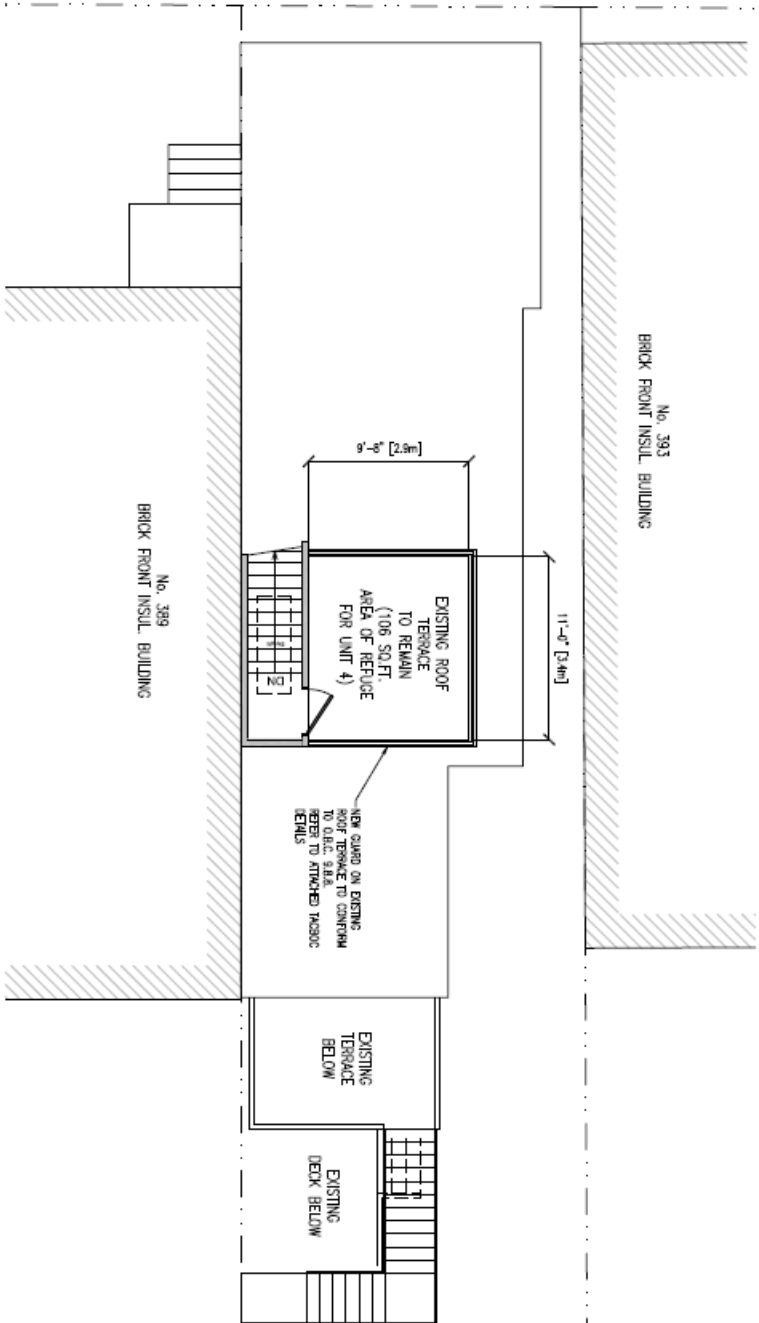


SUSTAINABLE TO			
NO.	DATE	REVISION	BY
1	2017/01/17	CONTRACT AGREEMENT	AMR
2	2017/01/17	CLIENT REVIEW	AMR
3	2017/01/17	CLIENT REVIEW	AMR
4	2017/01/17	CLIENT REVIEW	AMR
5	2017/01/17	CLIENT REVIEW	AMR
6	2017/01/17	CLIENT REVIEW	AMR
7	2017/01/17	CLIENT REVIEW	AMR
8	2017/01/17	CLIENT REVIEW	AMR
9	2017/01/17	CLIENT REVIEW	AMR
10	2017/01/17	CLIENT REVIEW	AMR
11	2017/01/17	CLIENT REVIEW	AMR
12	2017/01/17	CLIENT REVIEW	AMR
13	2017/01/17	CLIENT REVIEW	AMR
14	2017/01/17	CLIENT REVIEW	AMR
15	2017/01/17	CLIENT REVIEW	AMR
16	2017/01/17	CLIENT REVIEW	AMR
17	2017/01/17	CLIENT REVIEW	AMR
18	2017/01/17	CLIENT REVIEW	AMR
19	2017/01/17	CLIENT REVIEW	AMR
20	2017/01/17	CLIENT REVIEW	AMR
21	2017/01/17	CLIENT REVIEW	AMR
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23	2017/01/17	CLIENT REVIEW	AMR
24	2017/01/17	CLIENT REVIEW	AMR
25	2017/01/17	CLIENT REVIEW	AMR
26	2017/01/17	CLIENT REVIEW	AMR
27	2017/01/17	CLIENT REVIEW	AMR
28	2017/01/17	CLIENT REVIEW	AMR
29	2017/01/17	CLIENT REVIEW	AMR
30	2017/01/17	CLIENT REVIEW	AMR
31	2017/01/17	CLIENT REVIEW	AMR
32	2017/01/17	CLIENT REVIEW	AMR
33	2017/01/17	CLIENT REVIEW	AMR
34	2017/01/17	CLIENT REVIEW	AMR
35	2017/01/17	CLIENT REVIEW	AMR
36	2017/01/17	CLIENT REVIEW	AMR
37	2017/01/17	CLIENT REVIEW	AMR
38	2017/01/17	CLIENT REVIEW	AMR
39	2017/01/17	CLIENT REVIEW	AMR
40	2017/01/17	CLIENT REVIEW	AMR
41	2017/01/17	CLIENT REVIEW	AMR
42	2017/01/17	CLIENT REVIEW	AMR
43	2017/01/17	CLIENT REVIEW	AMR
44	2017/01/17	CLIENT REVIEW	AMR
45	2017/01/17	CLIENT REVIEW	AMR
46	2017/01/17	CLIENT REVIEW	AMR
47	2017/01/17	CLIENT REVIEW	AMR
48	2017/01/17	CLIENT REVIEW	AMR
49	2017/01/17	CLIENT REVIEW	AMR
50	2017/01/17	CLIENT REVIEW	AMR

WALL TYPES LEGEND			
	EXISTING WALL TO REMAIN		EXISTING WALL TO BE REMOVED AND REBUILT
	EXISTING DOOR TO REMAIN		NEW DOOR
	EXISTING DOOR FRAME & HARDWARE TO REMAIN		NEW DOOR FRAME & HARDWARE
	EXISTING WINDOW OPENING		NEW WINDOW CLOSURE
	EXISTING WINDOW CLOSURE		NEW WINDOW CLOSURE
	EXISTING WINDOW CLOSURE TO BE REMOVED AND REPLACED		NEW WINDOW CLOSURE
	EXISTING WINDOW CLOSURE TO BE REMOVED AND REPLACED - NO NEW WORK REQUIRED		NEW WINDOW CLOSURE

GROUND FLOOR PLAN			
PROJECT NO.	16-108	SHEET NO.	A1.1
DATE	16/01/17	SCALE	1/2" = 1'
DRAWN BY	S.S.	CHECKED BY	P.J.





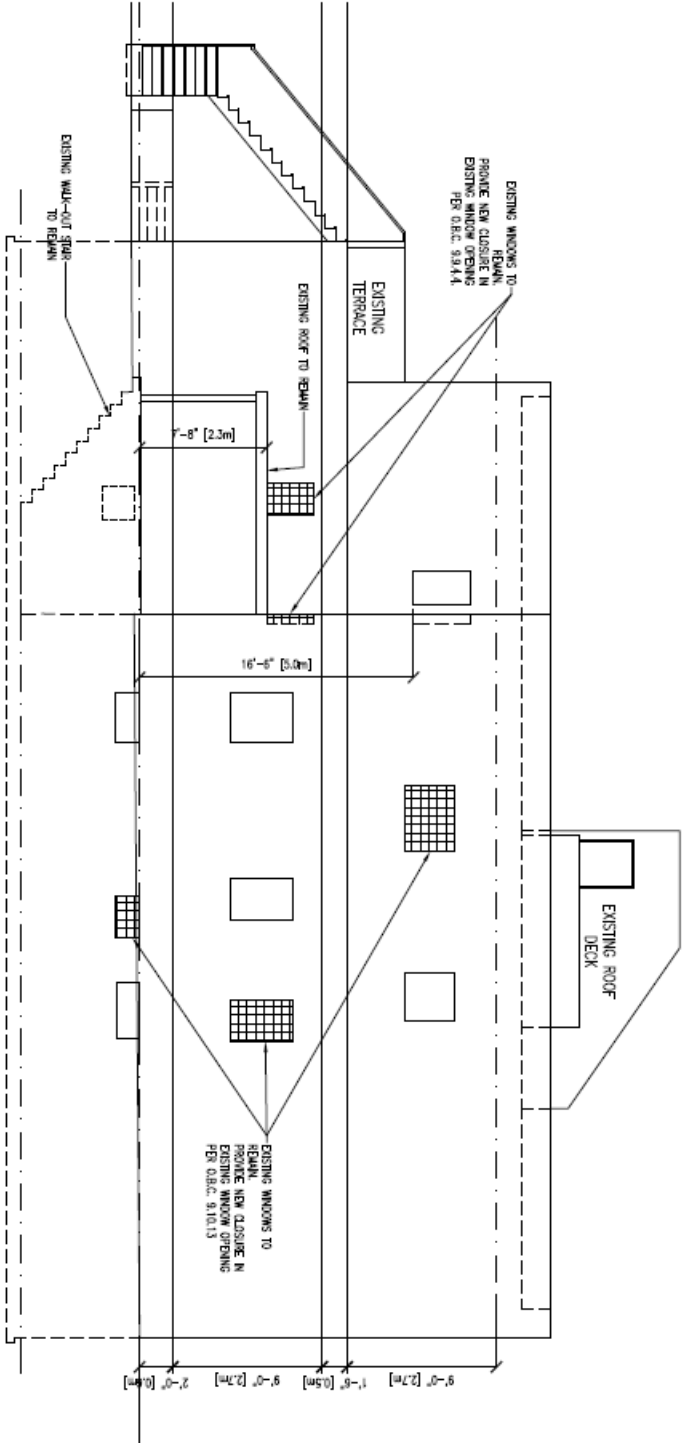
1	2018/12/06	COMMITTEE OF ADJUSTMENT	3	2018/12/06	AGRIUM, ZHANG AND
2	2017/12/17	ENG. REVIEW MEET. LMR	2	2018/12/28	REVIEW TO FINAL
3	2018/12/07	ENG. REVIEW MEET. LMR	1	2018/12/29	ARCHITECTURE + BUILDINGS
4					CLIENT REVIEW
5					NO. DATE

**SUSTAINABLE TO**  
 ARCHITECTURE + BUILDINGS  
 443 OREN STREET, SUITE 200  
 TORONTO, ONTARIO M5S 1S5  
 416-461-8198  
 WWW.SUSTAINABLETO.COM

PROJECT NAME  
 391 PAGE AVE.  
 TORONTO

DRAWING TITLE  
 ROOF PLAN

PROJECT NO.	16-106	SHEET NO.	A1.3
DATE	16.03.17		
SCALE	1/2" = 1'		
DRAWN BY	S.S.		
CHECKED BY	P.B.		



1	2018.12.18	APPROVAL ZONING AND	2018.12.18	REVISION TO PERMIT	ARCHITECTURE + BUILDINGS	PROJECT NAME
2	2018.11.18	REVISION TO PERMIT	2018.11.18	ENGINEERING CORRECTIONS	391 PAGE AVE.	
3	2018.11.17	ENGINEERING CORRECTIONS	2018.11.17	CLIENT REVIEW	TORONTO	
4	2018.12.01	CLIENT REVIEW	2018.12.01	NO DATE		
5	2018.12.01	NO DATE	2018.12.01			

**SUSTAINABLE TO**  
 PROJECT NAME  
 391 PAGE AVE.  
 TORONTO

PROJECT NO. 16-106 SHEET NO.  
 DATE 16.03.13  
 SCALE 1/25  
 DRAWN BY S.S.  
 CHECKED BY P.J.  
**A3.0**

**SIGNATURE PAGE**

File Number:	A0157/17TEY	Zoning	R (d0.6)(x736) & R2 Z0.6 (BLD)
Owner(s):	BRITTA KRISTINE HILD	Ward:	Toronto-Danforth (30)
Agent:	STEVE SOCHA	Heritage:	Not Applicable
Property Address:	<b>391 PAPE AVE</b>	Community:	Toronto
Legal Description:	PLAN M73 PT LOT 29 RP 66R8939 PARTS 10 TO 12		

DECLARED AN  
INTEREST

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0158/17TEY	Zoning	R(d0.60)(x771) & R2 Z0.60 (ZZC)
Owner(s):	JANE WENINGER	Ward:	Beaches-East York (32)
Agent:	JANE WENINGER	Heritage:	Not Applicable
Property Address:	<b>132 BELLEFAIR AVE</b>	Community:	Toronto
Legal Description:	PLAN 984 PT LOT 95		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To convert the existing two-storey semi-detached dwelling containing two dwelling units into three dwelling units.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 150.10.40.40.(1), By-law 569-2013**

A secondary suite is a permitted use provided that the interior floor area of a secondary suite is less than the interior floor area of the dwelling unit.

In this case, the interior floor area of the secondary suite(s) is greater than the interior floor area of the dwelling unit.

**2. Chapter 150.10.40.40.(3), By-law 569-2013**

The average floor area of the dwelling units in a building containing more than two dwelling units shall not be less than 65.0 m<sup>2</sup>.

In this case, the average floor area of the three dwelling units in the building will be 44.87 m<sup>2</sup>.

**1. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area of a semi-detached dwelling is 0.60 times the area of the lot (135.30 m<sup>2</sup>).

The altered dwelling will have a gross floor area equal to 0.76 times the area of the lot (170.60 m<sup>2</sup>).

**2. Section 6(2) 1(iv), By-law 438-86**

The minimum required average floor area of the dwelling units in a building used as a converted house is 65.0 m<sup>2</sup>.

In this case, the average floor area of the three dwelling units in the converted building is 44.87 m<sup>2</sup>.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0158/17TEY	Zoning	R(d0.60)(x771) & R2 Z0.60 (ZZC)
Owner(s):	JANE WENINGER	Ward:	Beaches-East York (32)
Agent:	JANE WENINGER	Heritage:	Not Applicable
Property Address:	<b>132 BELLEFAIR AVE</b>	Community:	Toronto
Legal Description:	PLAN 984 PT LOT 95		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0159/17TEY	Zoning	R(d0.6)(x736) & R2 Z0.6 (ZZC)
Owner(s):	PETER GRAY HILARY MCKINLEY	Ward:	Toronto-Danforth (30)
Agent:	PHILIPPE BEAUPARLANT	Heritage:	Not Applicable
Property Address:	<b>127 PARKMOUNT RD</b>	Community:	Toronto
Legal Description:	PLAN E411 LOT 43		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey detached dwelling by constructing a rear two-storey addition and a third-storey addition.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**

The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.  
The height of the side exterior main walls facing a side lot line will be 9.17 m.

**2. Chapter 10.10.40.40.(1)(A), By-law 569-2013**

The maximum permitted floor space index of a detached dwelling is 0.60 times the area of the lot (139.54 m<sup>2</sup>).  
The altered detached dwelling will have a floor space index equal to 0.96 times the area of the lot (223.38 m<sup>2</sup>).

**1. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (139.54 m<sup>2</sup>).  
The altered detached dwelling will have a gross floor area equal to 0.96 times the area of the lot (223.387 m<sup>2</sup>).

**2. Section 6(3) Part II 3(II), By-law 438-86**

The minimum required setback from the side wall of an adjacent building that contains openings is 1.2 m.

The altered detached dwelling will be located 0.56 m from the side wall of the south adjacent building (125 Parkmount Road) and 0.47 m from the side wall of the north adjacent building (129 Parkmount Road)..

**3. Section 6(3) Part II 3.B(II), By-law 438-86**

The minimum required side lot line setback for the portion of a detached dwelling not exceeding a depth of 17 m is 0.9 m.

The portion of the altered detached dwelling, not exceeding a depth of 17 m will be located 0.44 m from the south side lot line and 0.47 m from the north side lot line.

**4. Section 6(3) Part II 3.B(II), By-law 438-86**

The minimum required side lot line setback for the portion of the building exceeding a depth of 17.0 m is 7.5 m.

The portion of the altered detached dwelling exceeding the 17.0 m depth will be located 1.23 m from the south side lot line and 0.47 m from the north side lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0159/17TEY	Zoning	R(d0.6)(x736) & R2 Z0.6 (ZZC)
Owner(s):	PETER GRAY HILARY MCKINLEY	Ward:	Toronto-Danforth (30)
Agent:	PHILIPPE BEAUPARLANT	Heritage:	Not Applicable
Property Address:	<b>127 PARKMOUNT RD</b>	Community:	Toronto
Legal Description:	PLAN E411 LOT 43		

**DECLARED AN INTEREST**

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**11. 145 WOLSELEY ST**

File Number:	A0160/17TEY	Zoning	R(d1.0)(x806) & R4 Z1.0 (ZZC)
Owner(s):	ALAN MARTIN SLESS	Ward:	Trinity-Spadina (19)
Agent:	HANNAH LEE	Heritage:	Not Applicable
Property Address:	<b>145 WOLSELEY ST</b>	Community:	Toronto
Legal Description:	PLAN D114 PT LOT 1		

This application was placed on the public hearing agenda in error. The application was withdrawn by the applicant on May 17, 2017 and would be closed pending a refund of the application fee less a \$100 administrative fee.



**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0161/17TEY	Zoning	RD (d0.35)(x961) & R1 Z0.35 (WAIVER)
Owner(s):	RYAN TODD GLENN ANDREA SLOGGETT	Ward:	Beaches-East York (32)
Agent:	VICTOR ROSA	Heritage:	Not Applicable
Property Address:	<b>40 GLEN STEWART AVE</b>	Community:	Toronto
Legal Description:	PLAN M51 PT LOT 3		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey detached dwelling by reconstructing a front covered porch.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.5.40.60.(1)(A)(i), By-law 569-2013**

A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required front yard setback 2.5 m if it is no closer to a side lot line than the required side yard setback.

In this case, the front platform will be located 0.32 m closer to the side lot line than the required setback.

**2. Chapter 10.5.40.60.(2)(A), By-law 569-2013**

A canopy, awning or similar structure above a platform may encroach into a required building setback to the same extent as the platform it is covering.

In this case, the platform will encroach 0.3 m beyond the platform it is covering.

**1. Section 6(3) Part II 8 F(III), By-law 438-86**

A roof over a platform or terrace is permitted to project into the required setbacks provided it does not extend beyond the side walls of the building as projected.

In this case, the roof will extend beyond the side walls as projected.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**



**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0161/17TEY	Zoning	RD (d0.35)(x961) & R1 Z0.35 (WAIVER)
Owner(s):	RYAN TODD GLENN ANDREA SLOGGETT	Ward:	Beaches-East York (32)
Agent:	VICTOR ROSA	Heritage:	Not Applicable
Property Address:	<b>40 GLEN STEWART AVE</b>	Community:	Toronto
Legal Description:	PLAN M51 PT LOT 3		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0162/17TEY	Zoning	R (f9.0; d0.6)(x731) & R2 Z0.6 (ZZC)
Owner(s):	RICHARD GORMAN JUDITH GORMAN	Ward:	St. Paul's (22)
Agent:	HARRY LAY	Heritage:	Not Applicable
Property Address:	<b>79-81 BRAEMAR AVE</b>	Community:	Toronto
Legal Description:	PLAN 487E PART LOTS 17 & 18		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing multiplex dwelling containing four dwelling units by removing one dwelling unit within the portion of the dwelling municipally known as 79 Braemar Avenue.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**Chapter 10.5.50.10.(3)(A), By-law 569-2013**

A minimum of 50% (121.53 m<sup>2</sup>) of the rear yard must be maintained as soft landscaping.  
In this case, 42% (102.98 m<sup>2</sup>) of the rear yard has been maintained as soft landscaping.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0162/17TEY	Zoning	R (f9.0; d0.6)(x731) & R2 Z0.6 (ZZC)
Owner(s):	RICHARD GORMAN JUDITH GORMAN	Ward:	St. Paul's (22)
Agent:	HARRY LAY	Heritage:	Not Applicable
Property Address:	<b>79-81 BRAEMAR AVE</b>	Community:	Toronto
Legal Description:	PLAN 487E PART LOTS 17 & 18		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0163/17TEY	Zoning:	RD (f12.0;a370;d0.4) (x1199) & R1 (ZZC)
Owner(s):	WALTER UNGER	Ward:	St. Paul's (21)
Agent:	ALI SHAKERI NEZHAD	Heritage:	Not Applicable
Property Address:	<b>69 STRATHEARN RD</b>	Community:	York
Legal Description:	PLAN 2618 PT LOTS 64 & 65		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey detached dwelling with an integral garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.100.1.(1)(C)(iii), By-law 569-2013**  
The maximum permitted driveway width is 3.2 m.  
In this case, the driveway will have a width of 4.34 m.
- 2. Chapter 10.20.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.4 times the area of the lot (273.28 m<sup>2</sup>).  
The new dwelling will have a floor space index equal to 0.54 times the area of the lot (371.60 m<sup>2</sup>).
- 3. Chapter 10.40.40.50.(1)(B), By-law 569-2013**  
The maximum permitted area of each platform at or above the second storey is 4.0 m<sup>2</sup>.  
The area of each platform at or above the second storey will be 5.39 m<sup>2</sup>.
- 1. Section 3(b), By-law 3623-97**  
The maximum permitted floor space index is 0.48 times the area of the lot (330.64 m<sup>2</sup>).  
The new dwelling will have a floor space index equal to 0.54 times the area of the lot (371.60 m<sup>2</sup>).
- 1. Section 3(I), By-law 1-83**  
The maximum permitted floor space index is 0.4 times the area of the lot (273.28 m<sup>2</sup>).  
The new two-storey detached dwelling will have a floor space index equal to 0.54 times the area of the lot (371.60 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Where there are no existing street trees, the owner shall submit a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application or elsewhere in the community if there is no space, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

**SIGNATURE PAGE**

File Number:	A0163/17TEY	Zoning:	RD (f12.0;a370;d0.4) (x1199) & R1 (ZZC)
Owner(s):	WALTER UNGER	Ward:	St. Paul's (21)
Agent:	ALI SHAKERI NEZHAD	Heritage:	Not Applicable
Property Address:	<b>69 STRATHEARN RD</b>	Community:	York
Legal Description:	PLAN 2618 PT LOTS 64 & 65		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
(Section 45 of the Planning Act)

File Number:	A0164/17TEY	Zoning	R (d0.6) (x751) & R2 Z0.6 (ZZC)
Owner(s):	JOANNA MIRANDA JASON MIRANDA	Ward:	Davenport (18)
Agent:	MARCO VIEIRA	Heritage:	Not Applicable
Property Address:	<b>47 EDWIN AVE</b>	Community:	Toronto
Legal Description:	PLAN M1 PT LOT 85		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey semi-detached dwelling by constructing a rear two-storey addition, a front second-storey addition, a front porch, a front basement walkout, a rear ground floor covered deck, and a basement secondary suite.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.10.40.30.(1)(A), By-law 569-2013**  
The maximum permitted depth of a semi-detached dwelling is 17.00 m.  
The altered dwelling will have a depth of 17.43 m.
- Chapter 10.10.40.70.(1), By-law 569-2013**  
The minimum required front yard setback is 3.18 m.  
The altered dwelling will be located 2.71 m from the west front lot line, measured to the front second-storey addition.
- Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013**  
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.6 m.  
The front porch stairs will be located 0.45 m from the west front lot line.
- Chapter 10.5.50.10.(1)(A), By-law 569-2013**  
The minimum required front yard landscaping area is 16.10 m<sup>2</sup>.  
In this case, the front yard landscaping area will be 0.47 times the area of the lot (7.49 m<sup>2</sup>).



**5. Chapter 10.5.50.10.(1)(D), By-law 569-2013**

A minimum of 75% (12.08 m<sup>2</sup>) of the front yard is required to be soft landscaping.  
In this case, 46% (7.44 m<sup>2</sup>) of the front yard will be maintained as soft landscaping.

**1. Section 6(3) Part II 3.B(I), By-law 438-86**

The minimum required side lot line setback for a semi-detached dwelling is 0.45 m for a depth not exceeding 17.0 m and where the side walls contain no openings.  
The altered dwelling will be located 0.00 m from the north side lot line, measured to the rear two-storey addition.

**2. Section 6(3) Part II 3.B(II), By-law 438-86**

The minimum required side lot line setback for the portion of the building exceeding a depth of 17.0 m is 7.5 m.  
The 0.43 m portion of the semi-detached dwelling, exceeding the 17.0 m depth, will be located 0.00 m from the north side lot line, and 0.91 m from the south side lot line.

**3. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area of a semi-detached dwelling is 0.60 times the area of the lot (137.21 m<sup>2</sup>).  
The altered dwelling will have a gross floor area equal to 0.92 times the area of the lot (209.72 m<sup>2</sup>).

**4. Section 6(3) Part II 2(II), By-law 438-86**

The minimum required front yard setback of a building on an inside lot is 3.18 m.  
The altered dwelling will be located 2.71 m from the west front lot line, measured to the front second-storey addition.

**5. Section 6(3) Part III 3(B), By-law 438-86**

A minimum of 50% (8.05 m<sup>2</sup>) of the required front yard landscaped open space shall be in the form of soft landscaping.  
In this case, 46.5 % (7.49 m<sup>2</sup>) of the required front yard landscaped open space will be in the form of soft landscaping.

**6. Section 6(2)(1)(v), By-law 438-86**

A converted dwelling is permitted provided that there is no substantial change in the appearance of the dwelling as the result of the conversion.  
In this case, substantial change will occur in the appearance of the dwelling.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The front yard setback of 2.71 m shall apply to the front second-storey addition only.

**SIGNATURE PAGE**

File Number:	A0164/17TEY	Zoning	R (d0.6) (x751) & R2 Z0.6 (ZZC)
Owner(s):	JOANNA MIRANDA JASON MIRANDA	Ward:	Davenport (18)
Agent:	MARCO VIEIRA	Heritage:	Not Applicable
Property Address:	<b>47 EDWIN AVE</b>	Community:	Toronto
Legal Description:	PLAN M1 PT LOT 85		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0419/17TEY	Zoning	R (d0.6)(x312) & R2 Z0.6 (WAIVER)
Owner(s):	DINA KOSSIFAKIS	Ward:	Toronto-Danforth (29)
Agent:	PAT ACQUISTO	Heritage:	Not Applicable
Property Address:	<b>98 BROWNING AVE</b>	Community:	Toronto
Legal Description:	PLAN M368 PT LOT 105 PT LOT 106		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey semi-detached dwelling by constructing a rear two-storey addition.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.10.40.40.(2)(A), By-law 569-2013**

The maximum permitted floor space index for additions to the rear of a semi-detached house erected before October 15, 1953 is 0.69 times the area of the lot (118.06 m<sup>2</sup>).

Minor Variance Decision A0999/16TEY permitted a floor space index equal to 0.75 times the area of the lot (127.57 m<sup>2</sup>).

The altered dwelling will have a floor space index equal to 0.77 times the area of the lot (131.70 m<sup>2</sup>).

**2. Chapter 10.10.40.70.(2), By-law 569-2013**

The minimum required rear yard setback is 7.5 m./

Minor Variance Decision A0999/16TEY permitted a rear yard setback of 4.92 m.

The altered dwelling will be located 4.32 m from the rear lot line.

**1. Section 6(3) Part VI 1(I), By-law 569-2013**

The by-law allows additions to the rear of a semi-detached house erected before October 15, 1953, or to a converted house, provided the residential gross floor area of the building as enlarged does not exceed 0.69 times the area of the lot (118.06 m<sup>2</sup>).

Minor Variance Decision A0999/16TEY permitted a floor space index equal to 0.75 times the area of the lot (127.57 m<sup>2</sup>).

The altered dwelling will have a gross floor area equal to 0.77 times the area of the lot (131.70 m<sup>2</sup>).

**2. Section 6(3) Part II 4, By-law 438-86**

The minimum required rear yard setback is 7.5 m.

Minor Variance Decision A0999/16TEY permitted a rear yard setback of 4.92 m.

The altered dwelling will be located 4.32 m from the rear lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0419/17TEY	Zoning	R (d0.6)(x312) & R2 Z0.6 (WAIVER)
Owner(s):	DINA KOSSIFAKIS	Ward:	Toronto-Danforth (29)
Agent:	PAT ACQUISTO	Heritage:	Not Applicable
Property Address:	<b>98 BROWNING AVE</b>	Community:	Toronto
Legal Description:	PLAN M368 PT LOT 105 PT LOT 106		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0165/17TEY	Zoning	RD(f10.0; d0.35)(x1392) & R1 Z0.35 (ZZC)
Owner(s):	JOHN SCHUMAN CHRISTINE CHIAROT	Ward:	Beaches-East York (32)
Agent:	STUART HATCH	Heritage:	Not Applicable
Property Address:	<b>34 GLEN STEWART CRES</b>	Community:	Toronto
Legal Description:	PLAN M568 PT LOTS 33 AND 34 RP 63R14412 PART 2		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey detached dwelling by constructing second and third storey additions.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**Chapter 10.20.40.40.(1)(A), By-law 569-2013**

The maximum permitted floor space index of a detached dwelling is 0.35 times the area of the lot (120.51 m<sup>2</sup>).

The altered detached dwelling will have a floor space index equal to 0.69 times the area of the lot (236.93 m<sup>2</sup>).

**Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area of a detached dwelling is 0.35 times the area of the lot (120.51 m<sup>2</sup>).

The altered detached dwelling will have a gross floor area equal to 0.69 times the area of the lot (236.93 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

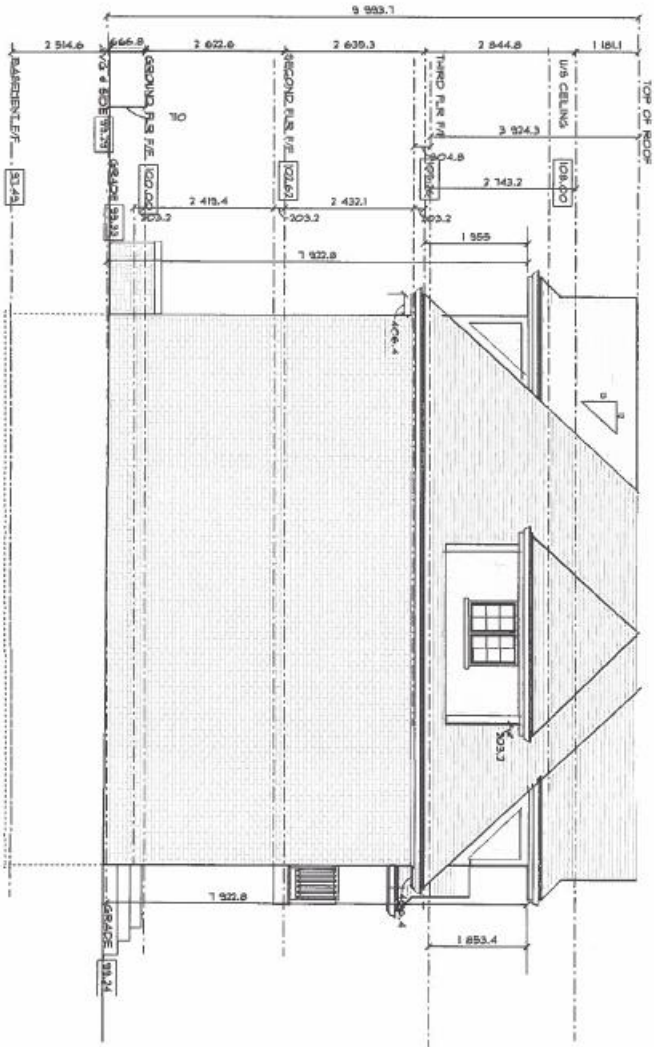
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The alterations to the dwelling shall be constructed substantially in accordance with the revised elevations filed at the June 14, 2017 public hearing, illustrating the revised roof line.



PROPOSED WEST ELEVATION



RECEIVED  
 JUN 14 2017  
 COMMITTEE OF  
 ADJUSTMENT

Revised

17

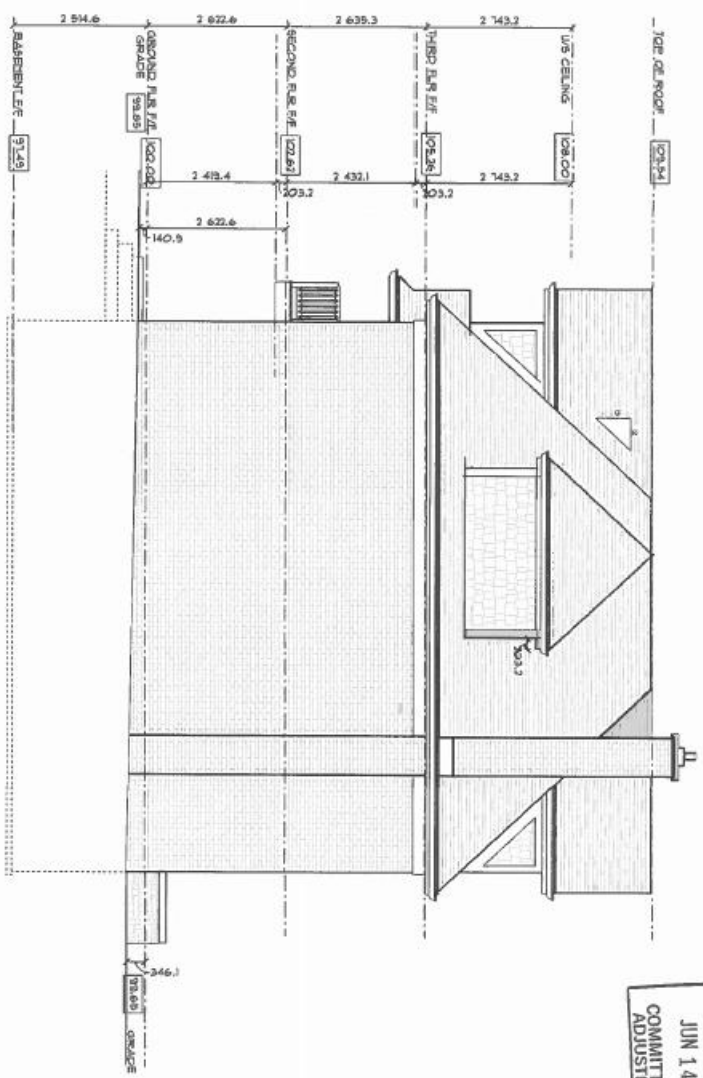
ARCHITECT  
 ENGINEER  
 CONTRACTOR  
 OTHER

**SMITH**  
 410 333 0941  
 1000 10th St  
 Seattle, WA 98101

DATE	DESCRIPTION
21	NOV 2014
02	1/14



PROPOSED EAST ELEVATION



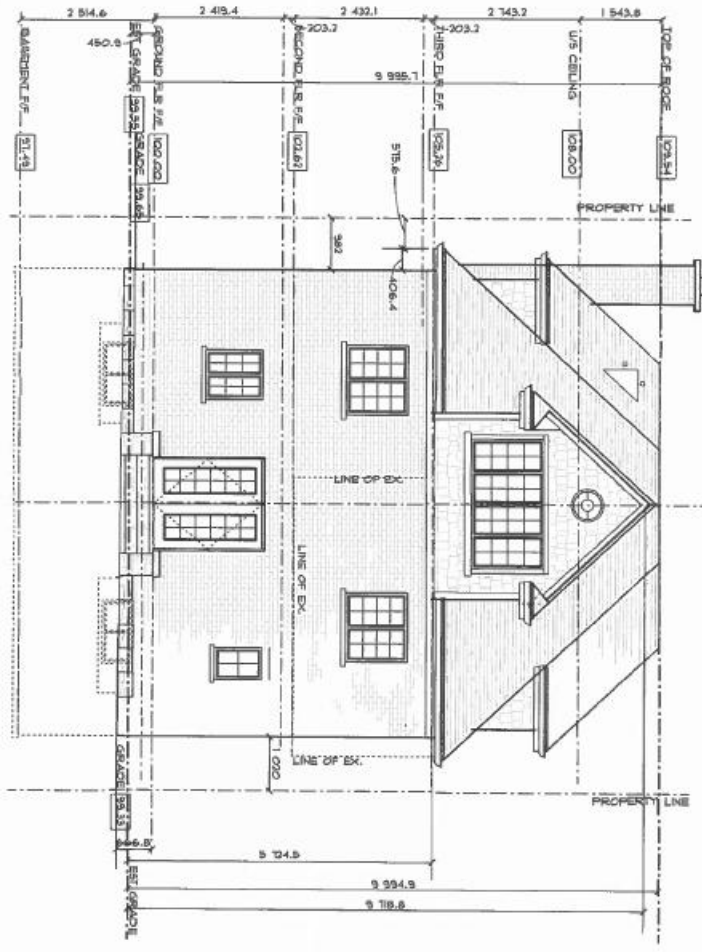
RECEIVED  
 JUN 14 2017  
 COMMITTEE C  
 ADJUSTMENT

Revised

<p>APPROVED FOR THE CITY OF CHICAGO                  COMMUNITY DEVELOPMENT DEPARTMENT                  COMMUNITY DEVELOPMENT DIVISION                  COMMUNITY DEVELOPMENT SECTION                  COMMUNITY DEVELOPMENT UNIT                  COMMUNITY DEVELOPMENT OFFICE                  COMMUNITY DEVELOPMENT STATION                  COMMUNITY DEVELOPMENT UNIT                  COMMUNITY DEVELOPMENT OFFICE                  COMMUNITY DEVELOPMENT STATION</p>	
<p>DATE: 06/14/2017                  TIME: 10:00 AM                  BY: [Signature]</p>	<p>DATE: 06/14/2017                  TIME: 10:00 AM                  BY: [Signature]</p>

Revised  
**RECEIVED**  
 JUN 14 2017  
 COMMITTEE  
 ADJUSTMENT

**PROPOSED NORTH ELEVATION**



PROJECT: [ ] DRAWING: [ ] DATE: [ ] SCALE: [ ]	
HATCH: [ ] 416 323 0141 11/17/2014	
ARCHITECT: [ ] PROJECT: [ ] DATE: [ ] SCALE: [ ]	18

**SIGNATURE PAGE**

File Number:	A0165/17TEY	Zoning	RD(f10.0; d0.35)(x1392) & R1 Z0.35 (ZZC)
Owner(s):	JOHN SCHUMAN CHRISTINE CHIAROT	Ward:	Beaches-East York (32)
Agent:	STUART HATCH	Heritage:	Not Applicable
Property Address:	<b>34 GLEN STEWART CRES</b>	Community:	Toronto
Legal Description:	PLAN M568 PT LOTS 33 AND 34 RP 63R14412 PART 2		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0166/17TEY	Zoning	R (d0.6) (x322) & R2 Z0.6 (ZZC)
Owner(s):	KATHY HUNG DENNIS HUNG	Ward:	Toronto-Danforth (29)
Agent:	JONATHAN BENCZOWSKI	Heritage:	Not Applicable
Property Address:	<b>19 R LIPTON AVE</b>	Community:	Toronto
Legal Description:	PLAN 1420 PT LOTS 15 & 16		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter an accessory structure and its' use by converting the existing second floor into an art studio (78.22 m<sup>2</sup>).

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 200.5.10.1.(1), By-law 569-2013**  
The minimum required number of parking spaces for the artist studio is 1 space, and the minimum number of parking spaces for the dwelling unit is 1 space, for a total of 2.  
In this case, there will be 1 space for the existing dwelling unit.
- 2. Chapter 10.10.40.70.(3)(C)(iii), By-law 5689-2013**  
The minimum required side yard setback for a non-residential building is 7.5 m.  
The side yard setback will be 0.0 m on the east and west sides.
- 3. Chapter 10.10.40.70.(2), By-law 569-2013**  
The minimum required rear yard setback is 7.5 m.  
The rear yard setback will be 0.0 m.
- 4. Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.6 times the area of the lot (164.57 m<sup>2</sup>).  
The floor space index will be 1.03 times the area of the lot (281.54 m<sup>2</sup>).
- 5. Chapter 10.10.20.10.(1), By-law 569-2013**  
The proposed use, artist studio, is not permitted in the Residential Zone.

**1. Section 6(2) 20(ii), By-law 438-86**

A home/work use is a permitted residential use accessory to a dwelling unit, if the maximum gross floor area being the aggregate of the areas of each floor above and below grade used for work purposes, does not exceed 30.0 m<sup>2</sup>.

The gross floor area to be used for work purposes will be 78.22 m<sup>2</sup>.

**2. Section 6(2) 20(viii), By-law 438-86**

A home/work use is a permitted residential use accessory to a dwelling unit, if no part of an accessory building is used for the home/work use.

The home/work use is proposed in an existing accessory building.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The approval of the minor variances shall extend for a term of 5 years, expiring on or before July 4, 2022.
- (2) The garage shall not be used as habitable space.
- (3) Retail sales related to the artist studio in the garage structure are NOT permitted.
- (4) Plumbing within the garage shall not include a bathtub or shower.

**SIGNATURE PAGE**

File Number:	A0166/17TEY	Zoning	R (d0.6) (x322) & R2 Z0.6 (ZZC)
Owner(s):	KATHY HUNG DENNIS HUNG	Ward:	Toronto-Danforth (29)
Agent:	JONATHAN BENCZOWSKI	Heritage:	Not Applicable
Property Address:	<b>19 R LIPTON AVE</b>	Community:	Toronto
Legal Description:	PLAN 1420 PT LOTS 15 & 16		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District





**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0167/17TEY	Zoning	RD & R1B (ZZC)
Owner(s):	CHOUDHRY HOLDING INC	Ward:	Beaches-East York (31)
Agent:	JONATHAN BENCZKOWSKI	Heritage:	Not Applicable
Property Address:	<b>2915 ST CLAIR AVE E</b>	Community:	East York
Legal Description:	PLAN 3627 PT LOTS 3 TO 5 RP 66R28276 PART 2		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing lawful non-conforming service station by constructing a canopy above the existing two gas pumps located on the west side of the building and expanding the existing retail store by converting an interior service bay for a take-out eating establishment and retail store.

**REQUESTED PERMISSION UNDER SUBSECTION 45(2)(a)(i) & (ii) OF THE PLANNING ACT:**

The property has lawful non-conforming status under the *Planning Act*, as the service station existed prior to the passing of the Zoning By-law, which does not permit the said use in a RD zone and R1B zone. Any change of use, alterations or additions to the building requires the permission of the Committee of Adjustment.

**Chapter 10.20.20.10.(1), By-law 569-2013 and Section 7.3.1, By-law 6752.**

In this case, the addition of the fuel dispenser canopy over the two gas pumps on the west side (Squires Avenue flankage) is an alteration and extension to the lawful non-conforming use.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.5.80.10.(3), By-law 569-2013**

A parking space may not be located in a front yard or a side yard abutting a street.

In this case, four parking spaces will be located in the front yard and one of the parking spaces will abut a street.

**2. Chapter 10.5.80.10.(6), By-law 569-2013**

On a corner lot, a parking space must be located within a building or structure in a rear yard or side yard that does not abut a street.

In this case, one parking space will be located adjacent to a street.

**3. Chapter 10.20.20.10.(1), By-law 569-2013**

A retail store and take-out eating establishment within a building in a Residential Zone is not permitted.

OMB Decision PL140962 permitted an ancillary retail use.

A retail store and take-out eating establishment will be permitted.

**1. Section 7.1.4, By-law 6752**

Parking in the front yard is not permitted in a residential zone.

In this case, four parking spaces will be located in the front yard.

**2. Section 7.3.1, By-law 6752**

A take-out restaurant and retail store are not permitted uses.

A take-out restaurant and retail store will be permitted.

OMB Decision PL140962 permitted an ancillary retail use.

A take-out restaurant and retail store will be permitted.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.
- Has not met the requirements of subsections 45(2)(a)(i)(ii) of the Planning Act.

**SIGNATURE PAGE**

File Number:	A0167/17TEY	Zoning	RD & R1B (ZZC)
Owner(s):	CHOUDHRY HOLDING INC	Ward:	Beaches-East York (31)
Agent:	JONATHAN BENCZKOWSKI	Heritage:	Not Applicable
Property Address:	<b>2915 ST CLAIR AVE E</b>	Community:	East York
Legal Description:	PLAN 3627 PT LOTS 3 TO 5 RP 66R28276 PART 2		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0168/17TEY	Zoning:	RS (ZZC)
Owner(s):	THOMAS SHERIDAN	Ward:	Toronto-Danforth (29)
Agent:	ALEXANDRA BISHEVSKY	Heritage:	Not Applicable
Property Address:	<b>34 ALDWYCH AVE</b>	Community:	Toronto
Legal Description:	PLAN 704 PT LOT 26		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey semi-detached dwelling by constructing a rear second storey addition and associated deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.75 times the area of the lot (143.76 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 0.82 times the area of the lot (157.08 m<sup>2</sup>).
- Chapter 10.40.40.50.(2)(C), By-law 569-2013**  
The minimum required setback for a deck at the rear of the dwelling located at or above the second storey is 1.8 m from the common wall dividing the dwelling units.  
In this case, the deck will be setback 0.0 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0168/17TEY	Zoning	RS (ZZC)
Owner(s):	THOMAS SHERIDAN	Ward:	Toronto-Danforth (29)
Agent:	ALEXANDRA BISHEVSKY	Heritage:	Not Applicable
Property Address:	<b>34 ALDWYCH AVE</b>	Community:	Toronto
Legal Description:	PLAN 704 PT LOT 26		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment  
Toronto and East York District

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Toronto, Ontario M5H 2N2  
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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0169/17TEY	Zoning	RD (f9.0; a280; d0.45) & R1A (ZZC)
Owner(s):	JEFFREY IKE	Ward:	Toronto-Danforth (29)
Agent:	JAY BROWN	Heritage:	Not Applicable
Property Address:	<b>371 O'CONNOR DR</b>	Community:	East York
Legal Description:	PLAN 3056 PT LOT 42		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.20.30.40.(1)(A), By-law 569-2013**

The maximum permitted lot coverage is 35% of the lot area (113.81 m<sup>2</sup>).  
The lot coverage will be equal to 39.4% of the lot area (128.25 m<sup>2</sup>).

**2. Chapter 10.20.40.40.(1)(A), By-law 569-2013**

The maximum permitted floor space index of a detached dwelling is 0.45 times the area of the lot (146.32 m<sup>2</sup>).  
The altered detached dwelling will have a floor space index equal to 0.63 times the area of the lot (204.54 m<sup>2</sup>).

**3. Chapter 200.5.10.1.(1), By-law 569-2013**

A minimum of two parking spaces are required to be provided.  
In this case, one parking space will be provided.

**1. Section 7.2.3, By-law 6752**

The maximum permitted floor space index of a detached dwelling is 0.45 times the area of the lot (146.32 m<sup>2</sup>).  
The altered detached dwelling will have a floor space index equal to 0.63 times the area of the lot (204.54 m<sup>2</sup>).

**2. Section 7.2.3, By-law 6752**

The maximum permitted lot coverage is 35% of the lot area (113.81 m<sup>2</sup>).  
The lot coverage will be equal to 39.9% of the lot area (129.87 m<sup>2</sup>).

**3. Section 7.2.3, By-law 6752**

A minimum of two parking spaces are required to be provided.  
In this case, one parking space will be provided.

**4. Section 7.1.4.(1)(a), By-law 6752**

The minimum required driveway width is 2.6 m.  
The driveway will have a width of 2.44 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0169/17TEY	Zoning	RD (f9.0; a280; d0.45) & R1A (ZZC)
Owner(s):	JEFFREY IKE	Ward:	Toronto-Danforth (29)
Agent:	JAY BROWN	Heritage:	Not Applicable
Property Address:	<b>371 O'CONNOR DR</b>	Community:	East York
Legal Description:	PLAN 3056 PT LOT 42		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



## 22. 1220 DUFFERIN STREET

File Number:	A0170/17TEY	Zoning	R d0.6 x740 & R2 Z0.6 (Waiver)
Owner(s):	SANTOS LEIVA LEIVA VICTOR MANUEL H ANDASOL	Ward:	Davenport (18)
Agent:	GIUSEPPE DIMARCO	Heritage:	Not Applicable
Property Address:	<b>1220 DUFFERIN ST</b>	Community:	Toronto
Legal Description:	PLAN M88 BLK X PT LOT 34		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

### **PURPOSE OF THE APPLICATION:**

To alter the existing 2 ½-storey semi-detached dwelling by constructing a rear four-storey addition, incorporating the detached garage and changing it to an integral garage, front second and third floor decks, construct a front third-storey addition and to convert the dwelling into six residential units.

### **REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.10.40.10.(2)(A)(i) & (ii), By-law 569-2013**

The maximum permitted height of all front exterior main walls is 9.5 m.  
The height of the front exterior main walls will be 11.63 m.

The maximum permitted height of all rear exterior main walls is 9.5 m.  
The height of the rear exterior main walls will be 11.63 m.

**2. Chapter 10.10.40.30.(1)(A), By-law 569-2013**

The maximum permitted building depth is 17.0 m.  
The altered dwelling will have a building length of 31.77 m.

**3. Chapter 10.10.40.40.(1)(A), By-law 569-2013**

The maximum permitted floor space index is 0.6 times the area of the lot (145.45 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 2.1 times the area of the lot (519.65 m<sup>2</sup>).

**4. Chapter 10.10.40.70.(2), By-law 569-2013**

The minimum required rear yard setback is 7.5 m.  
The altered dwelling will be located 0.8 m from the west rear lot line.

**5. Chapter 10.5.40.60.(1)(A)(i), By-law 569-2013**

A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required front yard setback 1.5 m if it is no closer to a side lot line than the required side yard setback.  
The platform form will encroach 2.16 m into the east front lot line.

**6. Chapter 10.5.50.10.(3), By-law 569-2013**

A minimum of 50% (2.76 m<sup>2</sup>), of the rear yard shall be maintained as soft landscaping.  
In this case, 0% (0.0 m<sup>2</sup>), of the rear yard will be maintained as soft landscaping.

7. **Chapter 10.5.40.70.(2), By-law 569-2013**  
A building or structure is required a minimum setback 2.5 m from the original centreline of a lane.  
The altered dwelling will be located 2.32 m from the original centreline of the lane at the rear.
8. **Chapter 150.10.40.1.(3)(A), By-law 569-2013**  
A secondary suite is a permitted use provided that an addition or exterior alteration to a building to accommodate a secondary suite does not alter or add to a main wall or roof that faces a street.  
The addition will alter the front main wall that faces the street.
9. **Chapter 200.5.1.10.(2)(A)(i), By-law 569-2013**  
A parking space is required a minimum width of 2.9 m.  
In this case, the two parking spaces will be 2.55 m measured wide.
10. **Chapter 200.5.10.1.(1), By-law 569-2013**  
A minimum of five parking spaces are to be provided.  
In this case, two parking spaces will be provided.
1. **Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted residential gross floor area is 0.6 times the area of the lot (148.45 m<sup>2</sup>).  
The altered dwelling will have a residential gross floor area equal to 2.53 times the area of the lot (657.7 m<sup>2</sup>).
2. **Section 6(3) Part II 2(I), By-law 438-86**  
A building having an existing front lot line setback of less than 6.0 m, the additions to the front are to be setback the same distance of the existing building.  
The altered dwelling will be located 1.73 m from the front lot line.
3. **Section 6(3) Part II 3(I), By-law 438-86**  
The minimum required side lot line setback is 0.45 m, where the side wall contains no openings.  
The altered dwelling will be located 0.0 m from the north side lot line.
4. **Section 6(3) Part II 4, By-law 438-86**  
The minimum required rear yard setback is 7.5 m.  
The altered dwelling will be located 0.8 m from the rear yard lot line.
5. **Section 6(3) Part II 5(I), By-law 436-86**  
The maximum permitted building depth is 14.0 m.  
The altered dwelling will have a building depth of 33.93 m.
6. **Section 6(3) Part III 1(A), By-law 438-86**  
A minimum of 30% (74.22 m<sup>2</sup>), is required to be landscaped open space.  
In this case, 25% (62.0 m<sup>2</sup>), of the lot will be landscaped open space.
7. **Section 4(14)(A), By-law 438-86**  
A building or structure is required a minimum setback 2.5 m from the original centreline of a public lane.  
The altered dwelling will be located 2.32 m from the original centreline of the public lane at the rear.

**8. Section 6(2) 1(iii) A, By-law 438-86**

A converted house is a permitted use provided there is no addition to or alteration to the front main wall of the building that faces a street.

The alterations/additions will change the front main wall that faces a street.

**9. Section 6(2) 1(iii) A, By-law 438-86**

A converted house is a permitted use provided the increase in residential gross floor area does not exceed 0.15 times the area of the lot (37.11 m<sup>2</sup>).

The converted house will have a residential gross floor area equal to 1.57 times the area of the lot (387.75 m<sup>2</sup>).

**10. Section 6(2) 1(V), By-law 438-86**

A converted house is a permitted use provided there is no substantial change in the appearance of the dwelling house as the result of the conversion.

The conversion of the dwelling will result in substantial changes in the appearance of the dwelling.

**11. Section 4(17)(e), By-law 438-86**

The minimum parking space width is 2.9 m.

The two parking spaces will have a width of 2.55 m measured wide.

**12. Section 4(5)(B), By-law 438-86**

A minimum of five parking spaces are to be provided.

In this case, two parking spaces will be provided.

**MOTION**

It was moved by Carl Knipfel, seconded by Lisa Valentini and carried unanimously that the application be **deferred, for a maximum of 3 months**. The deferral would provide the applicant with an opportunity to discuss the proposal in more detail with City Planning staff and the Ward Councillor. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel B**.



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0171/17TEY	Zoning	R (d2.0) & R3 Z2.0 (ZZC)
Owner(s):	32 MAYNARD HOLDINGS CORP ONTARIO HOLDINGS LTD	Ward:	Parkdale-High Park (14)
Agent:	ANDREW DALES	Heritage:	Not Applicable
Property Address:	<b>32 MAYNARD AVE</b>	Community:	Toronto
File Number:	A0171/17TEY		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing eight-storey residential building containing 43 dwelling units by converting the ground floor locker room into a new dwelling unit, for a total of 44 dwelling units in the building.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 200.5.10.1.(1), By-law 569-2013**

A minimum of one additional parking space is required for the additional dwelling unit.  
In this case, there will be 20 parking spaces, zero additional parking spaces will be provided for the additional dwelling unit.

**2. Chapter 10.10.40.50.(1), By-law 569-2013**

An apartment building with 20 or more dwelling units must provide indoor amenity space at a minimum rate of 2.0 m<sup>2</sup> for each unit and outdoor amenity space at a minimum rate of 2.0 m<sup>2</sup> for each unit.  
In this case, there will be no amenity space provided on the lot.

**1. Section 4(12), By-law 438-86**

An apartment building with 20 or more dwelling units must provide indoor amenity space at a minimum rate of 2.0 m<sup>2</sup> for each unit and outdoor amenity space at a minimum rate of 2.0 m<sup>2</sup> for each unit.  
In this case, there will be no amenity space provided on the lot.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0171/17TEY	Zoning	R (d2.0) & R3 Z2.0 (ZZC)
Owner(s):	32 MAYNARD HOLDINGS CORP ONTARIO HOLDINGS LTD	Ward:	Parkdale-High Park (14)
Agent:	ANDREW DALES	Heritage:	Not Applicable
Property Address:	<b>32 MAYNARD AVE</b>	Community:	Toronto
File Number:	A0171/17TEY		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0172/17TEY	Zoning	RD (f12.0; a370; d0.6) & R1B (ZZC)
Owner(s):	MELISSA MARIA MAGNO	Ward:	Beaches-East York (31)
Agent:	ANGELO KAMARATAKIS	Heritage:	Not Applicable
Property Address:	<b>34 ASHALL BLVD</b>	Community:	East York
Legal Description:	PLAN 3698 LOT 61		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey detached dwelling with an integral garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.30.40.(1)(A), By-law 569-2013**  
The maximum permitted lot coverage is 35% of the lot area (121.57 m<sup>2</sup>).  
The lot coverage will be equal to 40.8% of the lot area (141.73 m<sup>2</sup>).
- Chapter 10.5.40.60.(1)(A)(i) By-law 569-2013**  
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required front yard setback 2.5 m if it is no closer to a side lot line than 0.90 m.  
The front porch will be located 0.60 m from the north side lot line.
- Chapter 10.20.40.10.(1)(A), By-law 569-2013**  
The maximum permitted building height is 8.5 m.  
The new detached dwelling will have a height of 9.48 m.
- Chapter 10.20.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index of a detached dwelling is 0.60 times the area of the lot (208.42 m<sup>2</sup>).  
The new detached dwelling will have a floor space index equal to 0.76 times the area of the lot (264.92 m<sup>2</sup>).

5. **Chapter 10.20.40.70.(3)(B), By-law 569-2013**  
The minimum required side yard setback is 0.90 m.  
The new detached dwelling will be located 0.60 m from the north side lot line.
6. **Chapter 10.5.40.60.(5)(A), By-law 569-2013**  
An architectural feature on a building may encroach into a required minimum building setback a maximum of 0.6 m, if it is no closer to a lot line than 0.3 m.  
The column will encroach 1.53 m into the required front yard setback.
1. **Section 7.3.3, By-law 6752**  
The maximum permitted building height is 8.5 m.  
The new detached dwelling will have a height of 9.48 m.
2. **Section 7.3.3, By-law 6752**  
The maximum permitted floor space index of a detached dwelling is 0.60 times the area of the lot (208.42 m<sup>2</sup>).  
The new detached dwelling will have a floor space index equal to 0.76 times the area of the lot (264.92 m<sup>2</sup>).
3. **Section 7.3.3, By-law 6752**  
The maximum permitted lot coverage is 35% of the lot area (121.57 m<sup>2</sup>).  
The lot coverage will be equal to 43.8% of the lot area (152.14 m<sup>2</sup>).
4. **Section 7.3.3, By-law 6752**  
The minimum required side yard setback is 0.90 m.  
The new detached dwelling will be located 0.60 m from the north side lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

(A) Variance requests, outlined in the Notice of Public Hearing are **refused, as follows:**

**3. Chapter 10.20.40.10.(1)(A), By-law 569-2013; and**

**1. Section 7.3.3, By-law 6752**

The maximum permitted building height is 8.5 m.

The new detached dwelling will have a height of 9.48 m.

**6. Chapter 10.5.40.60.(5)(A), By-law 569-2013**

An architectural feature on a building may encroach into a required minimum building setback a maximum of 0.6 m, if it is no closer to a lot line than 0.3 m.

The column will encroach 1.53 m into the required front yard setback.

AND



(B) Variance Requests 1, 2, 4 and 5 By-law 560-2013 and Variance Requests 2, 3 and 4 By-law 438-86 outlined in the Notice of Public Hearing are **approved**, together with amended height variances, as follows:

**3. Chapter 10.20.40.10.(1)(A), By-law 569-2013; and**

**1. Section 7.3.3, By-law 6752**

The maximum permitted building height is 8.5 m.

The new detached dwelling will have a height of **9.0 m**.

It is the decision of the Committee of Adjustment to approve this amended variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0172/17TEY	Zoning	RD (f12.0; a370; d0.6) & R1B (ZZC)
Owner(s):	MELISSA MARIA MAGNO	Ward:	Beaches-East York (31)
Agent:	ANGELO KAMARATAKIS	Heritage:	Not Applicable
Property Address:	<b>34 ASHALL BLVD</b>	Community:	East York
Legal Description:	PLAN 3698 LOT 61		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment  
Toronto and East York District

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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0173/17TEY	Zoning	R(fl0.5,d1.0) (x714) & R2 Z1.0 (ZZC)
Owner(s):	CLIFFORD MARK GOLDLIST	Ward:	Trinity-Spadina (20)
Agent:	KRISTINA KOSTADINOVIC	Heritage:	Not Applicable
Property Address:	<b>48 ADMIRAL RD</b>	Community:	Toronto
Legal Description:	PLAN M6 N PT LOT 84		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter a three-storey semi-detached dwelling by constructing a rear two-storey addition and the completion of interior alterations throughout the dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.10.40.30.(1)(A), By-law 569-2013**  
The maximum permitted building depth for a semi-detached house is 17.0 m.  
The building depth of the altered dwelling will be 24.99 m.
- 2. Chapter 10.10.40.30.(1) (A), By-law 569-2013**  
The maximum permitted floor space index is 1.0 times the area of the lot (329.8 m<sup>2</sup>).  
The floor space index will be 1.10 times the area of the lot (363.60 m<sup>2</sup>)
- 1. Section 6(3) Part II 5(II), By-law 438-86**  
The maximum permitted building depth is 17.0 m.  
The building depth of the altered dwelling will be 25.22 m.
- 2. Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted floor space index is 1.0 times the area of the lot (329.8 m<sup>2</sup>).  
The floor space index will be 1.10 times the area of the lot (363.60 m<sup>2</sup>).
- 3. Section 6(3) Part II 3.B(I), By-law 438-86**  
The minimum required side lot line setback is 0.45 m for a depth not exceeding 17.0 m where the side walls contain no openings.  
The side lot line setback will be 0.0 m to the south lot line

**4. Section (3) Part II 3(I), By-law 438-86**

A building is required to have a minimum separation distance of 0.90 m to the side wall of an adjacent building that contains no openings.

The building will be located 0.0 m from the adjacent building.

**5. Section 6(3) Part II 2(II), By-law 438-86**

A building on an inside lot is required to have a minimum front lot line setback of 3.91 m.

The front lot line setback will be 3.68 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0173/17TEY	Zoning	R(f10.5,d1.0) (x714) & R2 Z1.0 (ZZC)
Owner(s):	CLIFFORD MARK GOLDLIST	Ward:	Trinity-Spadina (20)
Agent:	KRISTINA KOSTADINOVIC	Heritage:	Not Applicable
Property Address:	<b>48 ADMIRAL RD</b>	Community:	Toronto
Legal Description:	PLAN M6 N PT LOT 84		

**DISSENTED**

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0174/17TEY	Zoning:	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	ALAN M KOSCHE ALEXANDRA B NICK	Ward:	St. Paul's (22)
Agent:	KAMLESH SEDANI	Heritage:	Not Applicable
Property Address:	<b>32 LE MAY RD</b>	Community:	Toronto
Legal Description:	PLAN 590E PT LOT 123		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey semi-detached dwelling by constructing a rear two-storey addition.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.10.40.30.(1)(A), By-law 569-2013**  
The maximum permitted building depth for a semi-detached dwelling is 17.0 m.  
The altered two-storey semi-detached dwelling will have a depth of 17.91 m.
- Chapter 10.10.40.40.(2)(A), By-law 569-2013**  
Additions to the rear of a semi-detached dwelling erected before October 15, 1953, are permitted provided the floor space index of the building, as enlarged, does not exceed 0.69 times the area of the lot (141.20 m<sup>2</sup>).  
The altered semi-detached dwelling will have a floor space index equal to 0.73 times the area of the lot (148.76 m<sup>2</sup>).
- Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted gross floor area is 0.6 times the area of the lot (122.78 m<sup>2</sup>).  
The altered semi-detached dwelling will have a residential gross floor area equal to 0.73 times the area of the lot (148.76 m<sup>2</sup>).
- Section 6(3) Part II 5(II), By-law 438-86**  
The maximum permitted depth of a semi-detached dwelling is 17.0 m.  
The altered semi-detached dwelling will have a depth of 17.91 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0174/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	ALAN M KOSCHE ALEXANDRA B NICK	Ward:	St. Paul's (22)
Agent:	KAMLESH SEDANI	Heritage:	Not Applicable
Property Address:	<b>32 LE MAY RD</b>	Community:	Toronto
Legal Description:	PLAN 590E PT LOT 123		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

---

Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0175/17TEY	Zoning:	RS & R2A (ZZC)
Owner(s):	BLAGOJA DIMITRIEVSKI	Ward:	Toronto-Danforth (29)
Agent:	DARKO DUNAT	Heritage:	Not Applicable
Property Address:	<b>4 ALDWYCH AVE</b>	Community:	East York
Legal Description:	PLAN 825 PT LOT 7		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey detached dwelling by constructing a two-storey rear addition and new front porch.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.40.30.40, By-law 569-2013**

The maximum permitted lot coverage is 35% of the lot area (65.52 m<sup>2</sup>)  
In this case, the lot coverage will be equal to 50% of the lot area (94.43 m<sup>2</sup>).

**2. Chapter 10.40.40.70.(3)(A), By-law 569-2013**

The minimum required side yard setback is 0.9 m.  
The altered dwelling will be located 0.38 m to the east side lot line.

**3. Chapter 10.5.50.10.(1)(D), By-law 569-2013**

A minimum of 75% of the front yard landscaping must be soft landscaping (12.41 m<sup>2</sup>).  
In this case, the front yard soft landscaping area will be equal to 24.66% (4.08 m<sup>2</sup>).

**1. Section 5.6, By-law 6752**

The minimum required front stair setback is 1.5 m to the front lot line.  
The front stairs will be located 1.25 m to the front lot line.

**2. Section 7.5.3, By-law 6752**

The minimum required side yard setback is 0.45 m.  
The altered dwelling will be located 0.41 m to the west side lot line and 0.38 m to the east side lot line.

**3. Section 7.5.3, By-law 6752**

The maximum permitted lot coverage is 35% of the lot area (65.52 m<sup>2</sup>).  
In this case, the lot coverage will be equal to 50% of the lot area (94.43 m<sup>2</sup>).

**4. Section 7.1.6, By-law 6752**

A minimum of 75% of the front yard landscaping must be soft landscaping (12.41 m<sup>2</sup>).  
In this case, the front yard soft landscaping area will be equal to 24.66% (4.08 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The lot coverage of the altered detached dwelling exclusive of any detached accessory structures shall be no greater than 35 % of the lot area under Zoning By-law 569-2013 and under Zoning By-law 6752.
- (2) The front basement walkout shall be eliminated from the plans.

**SIGNATURE PAGE**

File Number:	A0175/17TEY	Zoning	RS & R2A (ZZC)
Owner(s):	BLAGOJA DIMITRIEVSKI	Ward:	Toronto-Danforth (29)
Agent:	DARKO DUNAT	Heritage:	Not Applicable
Property Address:	<b>4 ALDWYCH AVE</b>	Community:	East York
Legal Description:	PLAN 825 PT LOT 7		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0176/17TEY	Zoning	RM (f12.0; u2; d0.8)(x252) & R2 (BLD)
Owner(s):	SARAH MACKEY JOSHUA MACKEY	Ward:	St. Paul's (21)
Agent:	ALI TORABI	Heritage:	Not Applicable
Property Address:	<b>265 VAUGHAN RD</b>	Community:	York
Legal Description:	PLAN 1741 E PT LOT 23		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey detached dwelling by constructing a rear two-storey addition, a third storey addition, and a rear third storey terrace.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.80.40.10.(2)(B)(ii), By-law 569-2013**

The maximum permitted height of all side exterior main walls facing a side lot line is 8.5 m.  
The height of the side exterior main walls facing a side lot line will be 8.96 m.

**2. Chapter 10.80.40.40.(1)(A), By-law 569-2013**

The maximum permitted floor space index of a detached dwelling is 0.8 times the area of the lot (225.04 m<sup>2</sup>).

The altered detached dwelling will have a floor space index equal to 0.802 times the area of the lot (225.66 m<sup>2</sup>).

**1. Section 3.(a), By-law 1-83**

The maximum permitted floor space index of a detached dwelling is 0.8 times the area of the lot (225.04 m<sup>2</sup>).

The altered detached dwelling will have a floor space index equal to 0.802 times the area of the lot (225.66 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0176/17TEY	Zoning	RM (f12.0; u2; d0.8)(x252) & R2 (BLD)
Owner(s):	SARAH MACKEY JOSHUA MACKEY	Ward:	St. Paul's (21)
Agent:	ALI TORABI	Heritage:	Not Applicable
Property Address:	<b>265 VAUGHAN RD</b>	Community:	York
Legal Description:	PLAN 1741 E PT LOT 23		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0177/17TEY	Zoning:	R2 Z1.0 (ZZC)
Owner(s):	HONG ZHENG YE CHEN	Ward:	St. Paul's (22)
Agent:	ALEXANDRA BISHEVSKY	Heritage:	Not Applicable
Property Address:	<b>729 AVENUE RD</b>	Community:	Toronto
Legal Description:	PLAN 2369 LOT 1 PLAN 569E LOT 166		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey detached dwelling by constructing a third-storey addition and to convert the dwelling into three dwelling units.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.10.40.10.(2)(A)(ii) & (B)(i), By-law 569-2013**

The maximum permitted height of all rear exterior main walls is 7.5 m.  
The height of the rear exterior main walls will be 9.84 m.

The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.  
The height of the side exterior main walls facing a side lot line will be 9.74 m.

**2. Chapter 10.5.50.10.(3)(A), By-law 569-2013**

A minimum of 50% (67.08 m<sup>2</sup>) of the rear yard shall be maintained as soft landscaping.  
In this case, 38.62% (43.97 m<sup>2</sup>), of the rear yard will be maintained as soft landscaping.

**1. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted residential gross floor area is 1.0 times the area of the lot (452.37 m<sup>2</sup>).  
The converted dwelling will have a residential gross floor area equal to 1.35 times the area of the lot (612.84 m<sup>2</sup>), which includes the basement.

**2. Section 6(3) Part II 5(I), By-law 438-86**

The minimum required side lot line setback is 1.2 m, where the side wall contains openings.  
The converted dwelling will be located 0.91 m from the north side lot line.

**3. Section 6(3) Part II 5(I), By-law 438-86**

The maximum permitted building depth is 14.0 m.

The converted dwelling will have a building depth of **17.8 m** and including the rear deck.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The alterations to the dwelling shall be constructed substantially in accordance with the side elevation A207 and A209 dated February 15, 2017, AND excluding the three rear decks, which will not be constructed. Any variances that may appear on these plans that are NOT listed in the written decision are not authorized.



1987 LAMBERT RD. UNIT 1,  
TORONTO, ON M2C 3C3  
www.a207.com  
416-463-2888  
PROFESSIONAL  
ARCHITECTS

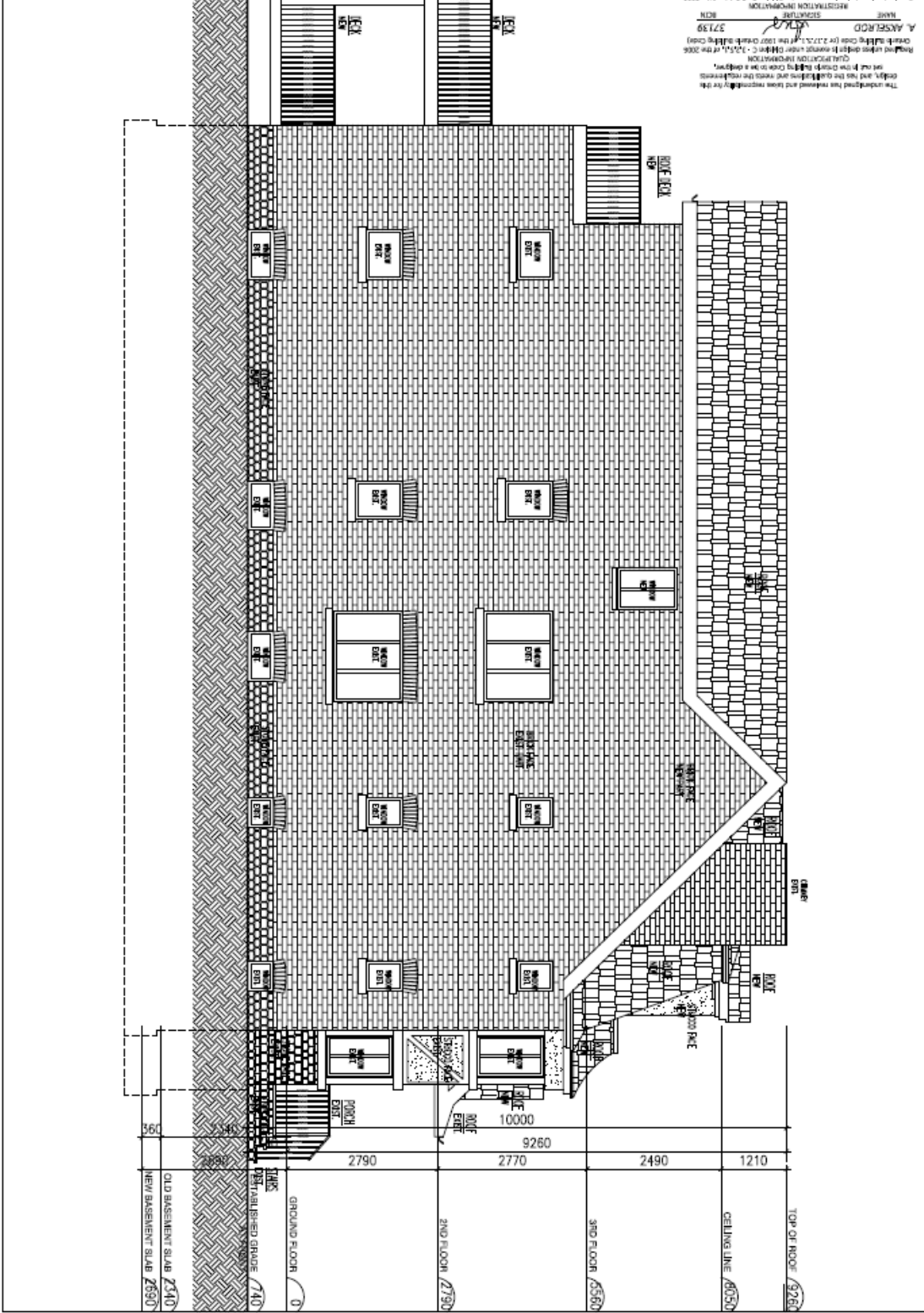
**RENOVATION**  
729 Avenue Road  
Toronto

**DRAWING TITLE**  
2018-12-20 2. PARTIAL RENOVATION  
CONCRETE LAYOUT  
2018-11-27 WORK - NEW CONCRETE, NEW LAMBS, GIBBS 3-WAY SECTION 2A  
2018-11-17 PRE-COMPLETING ROOF LAYOUT, INCLUDING THE ROOF CHANGELINE  
2018-11-16 FINISHING THE 2ND AND 3RD FLOOR RENOVATION  
2018-11-02 CONCRETE LAYOUT

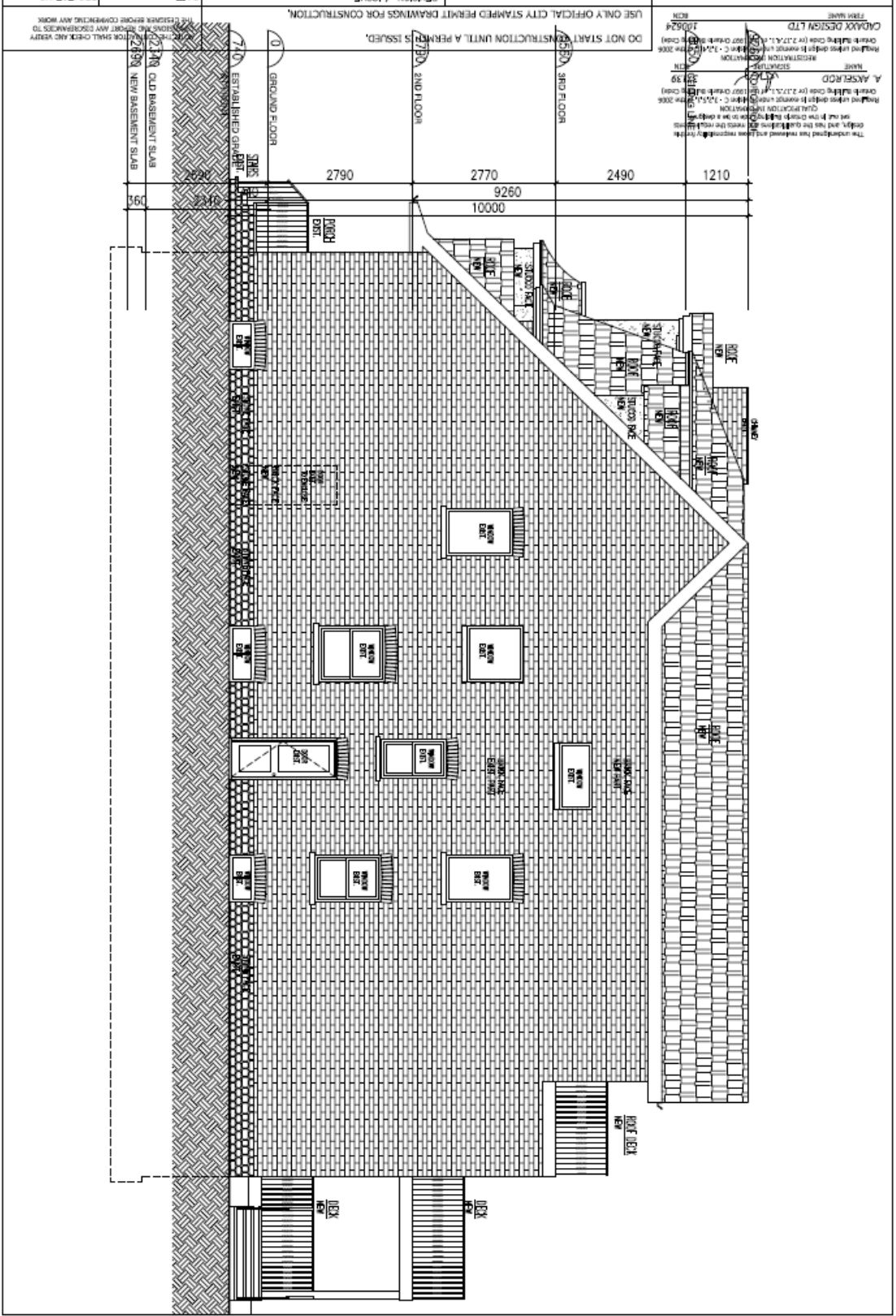
**REVISION / ISSUE**

**DATE:** 02-15-2017  
**SCALE:** 1:50  
**DRAWN / CHECKED:** A.A.  
**PROJECT NO.:** A207

USE ONLY OFFICIAL CITY STAMPED PERMIT DRAWINGS FOR CONSTRUCTION.  
DO NOT START CONSTRUCTION UNTIL A PERMIT IS ISSUED.  
THE CONTRACTOR SHALL CHECK AND VERIFY THE EXISTING BEFORE COMMENCING ANY WORK.



PROJECT: RENOVATION 729 Avenue Road Toronto		DATE: 02-15-2017 SCALE: 1:50 DRAWN: A.A. CHECKED:	
REVISION / ISSUE:		PROJECT NO: 09-83	



DRAWING TITLE: SOUTH ELEVATION 2016-12-01 2. PARTIAL RENOVATION 2016-11-17 1. PRELIMINARY DESIGN AND PERMITTING 2016-11-17 1. PRELIMINARY DESIGN AND PERMITTING		PROJECT NO: 09-83	
DATE: 02-15-2017 SCALE: 1:50 DRAWN: A.A. CHECKED:		PROJECT NO: 09-83	

**SIGNATURE PAGE**

File Number:	A0177/17TEY	Zoning	R2 Z1.0 (ZZC)
Owner(s):	HONG ZHENG YE CHEN	Ward:	St. Paul's (22)
Agent:	ALEXANDRA BISHEVSKY	Heritage:	Not Applicable
Property Address:	<b>729 AVENUE RD</b>	Community:	Toronto
Legal Description:	PLAN 2369 LOT 1 PLAN 569E LOT 166		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

---

Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0178/17TEY	Zoning	R(d0.6)(x741) & R2 Z0.6 (ZZC)
Owner(s):	CELALEDDIN UCAR LYNETTE ANNE FORTUNE	Ward:	Toronto-Danforth (30)
Agent:	CELALEDDIN UCAR	Heritage:	Not Applicable
Property Address:	<b>359 ASHDALE AVE</b>	Community:	Toronto
Legal Description:	PLAN 1345 PT LOT 62		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey detached dwelling with a rear ground floor deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.10.40.30.(1)(A), By-law 569-2013**

The maximum permitted depth of a detached dwelling is 17.0 m.  
The altered dwelling will have a depth of 17.69 m.

**2. Chapter 10.10.40.40.(1)(A), By-law 569-2013**

The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (234.84 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 0.67 times the area of the lot (262.1 m<sup>2</sup>).

**1. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (234.84 m<sup>2</sup>).  
The altered dwelling will have a gross floor area equal to 0.67 times the area of the lot (262.1 m<sup>2</sup>).

**2. Section 6(3) Part II 3.A(II), By-law 438-86**

The minimum required setback from a flanking street is 6.0 m.  
The altered dwelling will be located 1.22 m from the north flanking street Fairford Avenue, measured to the north side platform.  
The altered dwelling will be located 1.66 m from the north flanking street Fairford Avenue, measured to the second-storey cantilever.

**3. Section 6(3) Part II 3.B(II), By-law 438-86**

The minimum required side lot line setback for the portion of the building exceeding a depth of 17.0 m is 7.5 m.

The rear portion of the altered dwelling, exceeding the 17.0 m depth, will be located 0.81 m from the south side lot line, and 4.05 m from the north side lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

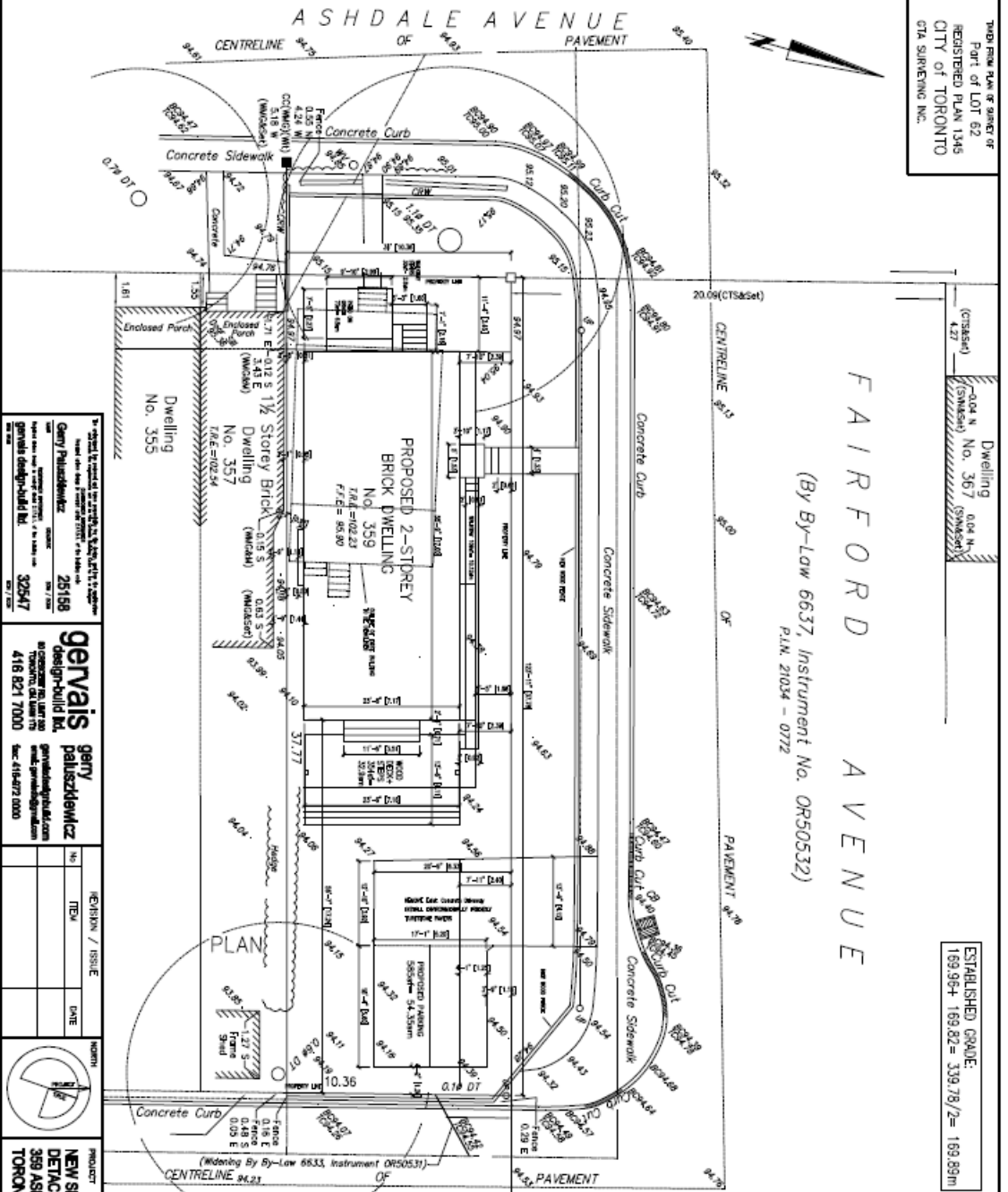
It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The approved building depth of 17.69 m shall apply to the second floor only, excluding the 0.61 m front bay window.
- (2) The new detached dwelling shall be constructed substantially in accordance with the plans submitted to the Committee of Adjustment February 15, 2017. Any variances that may appear on these plans that are NOT listed in the written decision are not authorized.

TRAIL FROM PLAN OF SUBJECT OF  
 Part of Lot 62  
 REGISTERED PLAN 1346  
 CITY OF TORONTO  
 GTA SURVEYING INC.



# FAIRFORD AVENUE

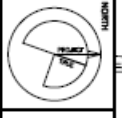
(By By-Law 6637, Instrument No. OR50532)  
 PLN. 21034 - 0772

ESTABLISHED GRADE:  
 169.964 - 169.82 = 339.78/2 = 169.89m

Prepared by: **gervais**  
 Gervais Design-build Inc.  
 32547

Prepared by: **germy**  
 Gervais Design-build Inc.  
 416 821 7000

NO.	REVISION / ISSUE	DATE
1	ISSUE	



PROJECT:  
**NEW SINGLE FAMILY  
 DETACHED HOUSE  
 369 ASHDALE AVE.  
 TORONTO**

SCALE:  
**1/8" = 1'-0"**

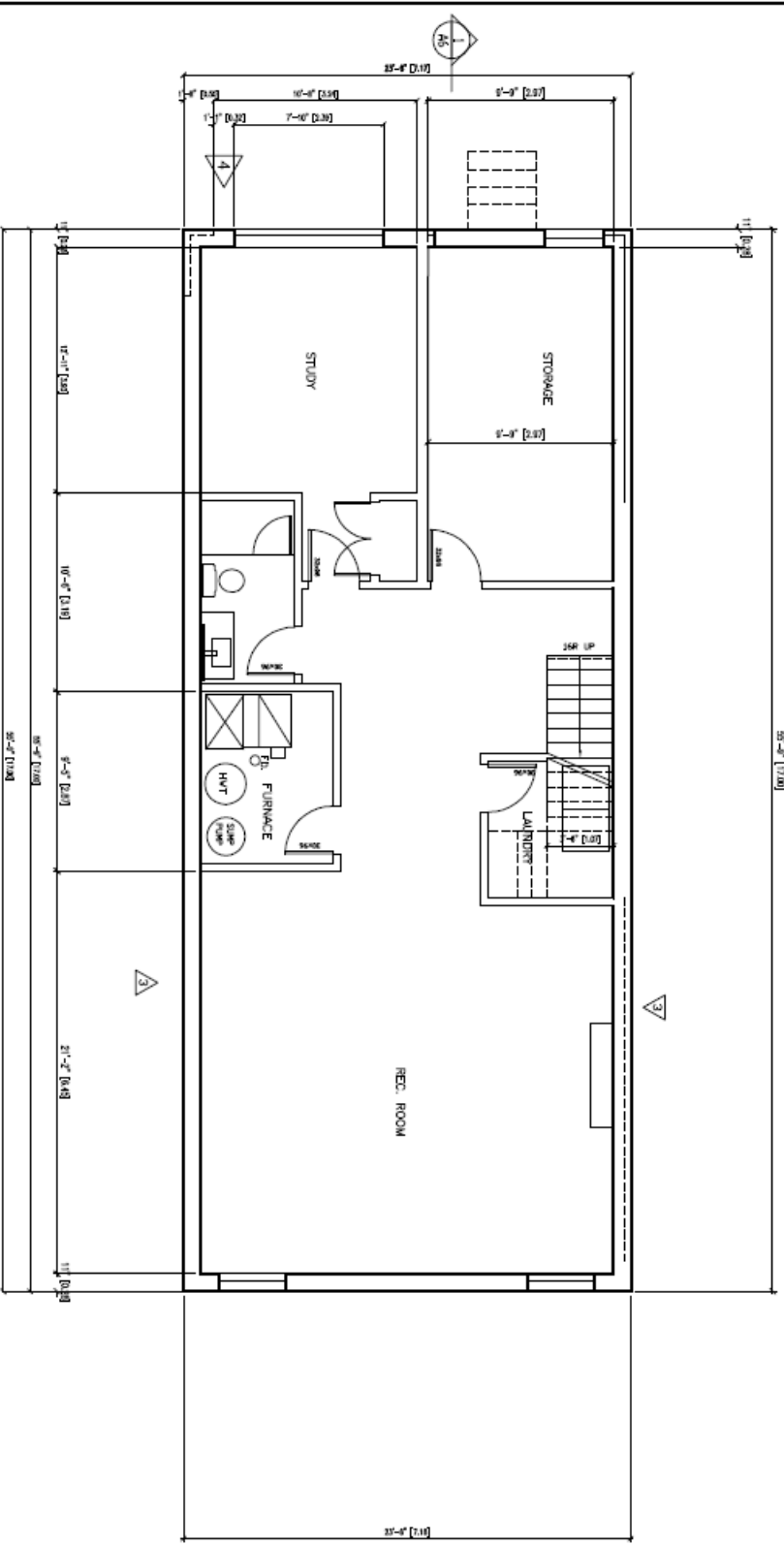
DRAWING NUMBER:  
**A1**

**NOTES RE ZONING BY-LAW**  
 ZONING R (O-6) (7.41)

1. LOT AREA - 10.5m x 37.7m = 391.45m<sup>2</sup>
2. BUILDING C.F.A. 2.8714 = 262.11m<sup>2</sup> OF 67.2% LOT AREA
3. MAX. ALLOWABLE 60% LOT AREA = 234.84m<sup>2</sup> = 2,550sf
4. BUILDING DEPTH - 55'-0" = 17.00m (MAX. 17.00m)
5. BUILDING DEPTH - 55'-0" = 17.00m (MAX. 17.00m)
6. REAR YARD SETBACK - 12.21m = 40'0" (MIN. 2.91m)
7. SIDE YARD SETBACK - MIN: 4.8m
8. SOUTH YARD: 0.61m
9. DISTANCE BETWEEN ADJACENT WALLS OF ADJACENT BUILDINGS SOUTH YARD WITHOUT MINORS: 4.35m
10. BUILDING HEIGHT - TO RAFT ROOF = 7.47m (MAX. 7.5m)
11. UNOCCUPIED OPEN SPACE OF THE LOT (37.14m x 12.16m) = 450.6 / 391.4 = 85.9% (MIN. 33%)

**LANDSCAPE CALCULATIONS:**

Front Yard Landscaping: 232m<sup>2</sup> = 20.00% 100%  
 Front, Side, Backyard: 2.84 = 0.24% 0.00%  
 Side Yard: 100 = 8.5% 100%  
 Total Yard Area: 130.04 = 10.48% 100%  
 Total Yard Landscaping: 100 = 8.5% 100%  
 Total North Side Yard Area: 2.99m x 17.00m = 50.83m<sup>2</sup> 100%  
 Minimum: 2.99m = 24.9%  
 Side Yard Landscaping: 100 = 8.5% 100%  
 Side Yard Soft Landscaping: 100 = 24.9% 75.00%

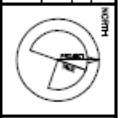


SEE ALSO FLOOR FINISH PLAN BY A.M.A.R.K.O.P. TRUSLER INC.  
 BASEMENT FLOOR OF # 1,311# 121.8mm

25158  
 GARY PALUSZKIEWICZ  
 32547

**gervais gerry**  
 paluszkiewicz  
 416 821 7000

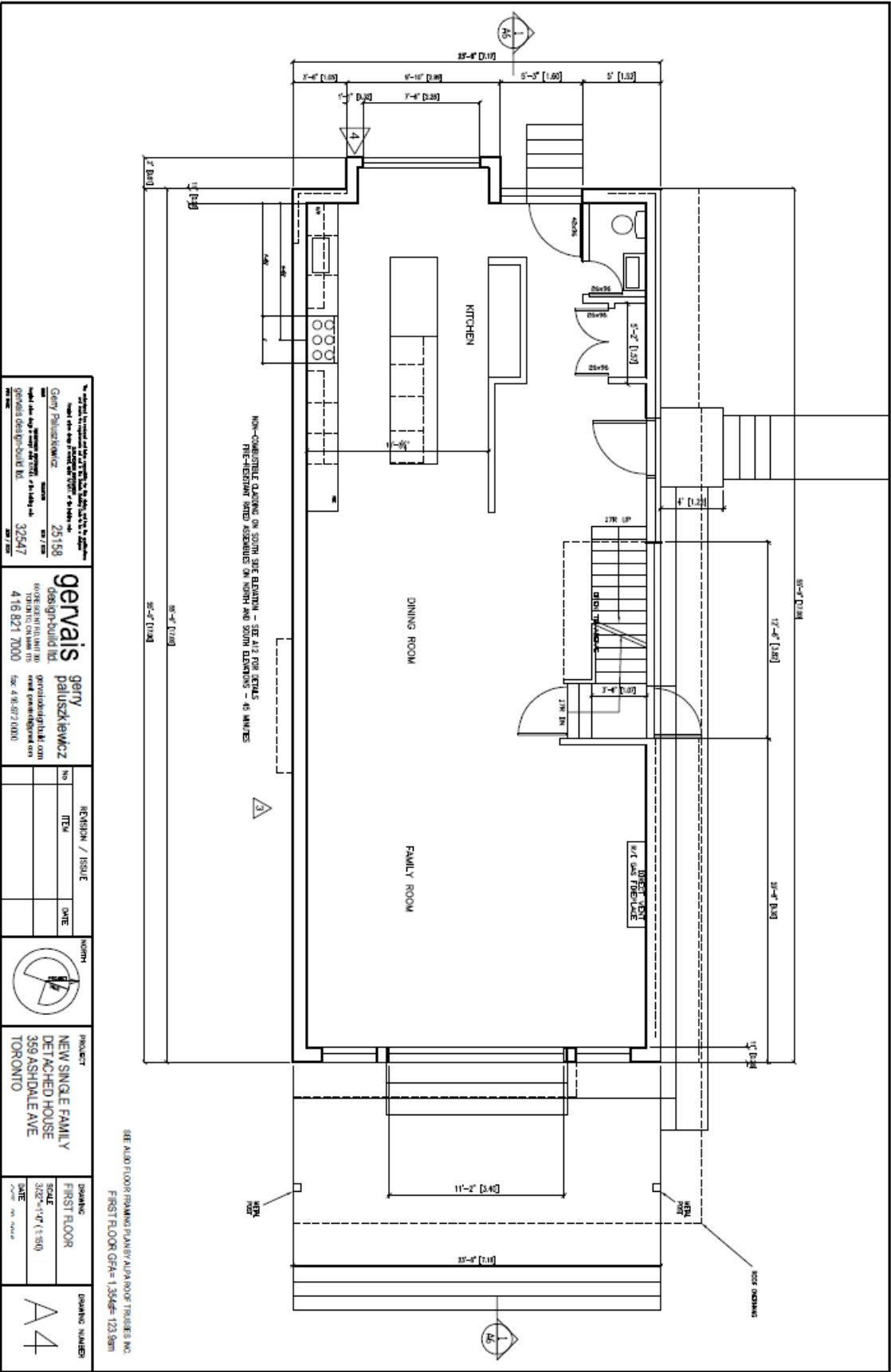
NO	REV	DATE



PROJECT  
 NEW SINGLE FAMILY  
 DETACHED HOUSE  
 359 ASHDALE AVE  
 TORONTO

DRAWING  
 BASEMENT  
 SCALE 1/4" = 1'-0"  
 DATE

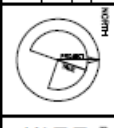
DRAWING NUMBER  
**A3**



25158  
 32547

**gervais** gerry paluszkiwicz  
 design/build inc.  
 60 DUNDAS STREET WEST  
 TORONTO, ONTARIO M5G 1C4  
 416 821 7000 fax: 416 821 7000

REVISION / ISSUE	DATE
REV	

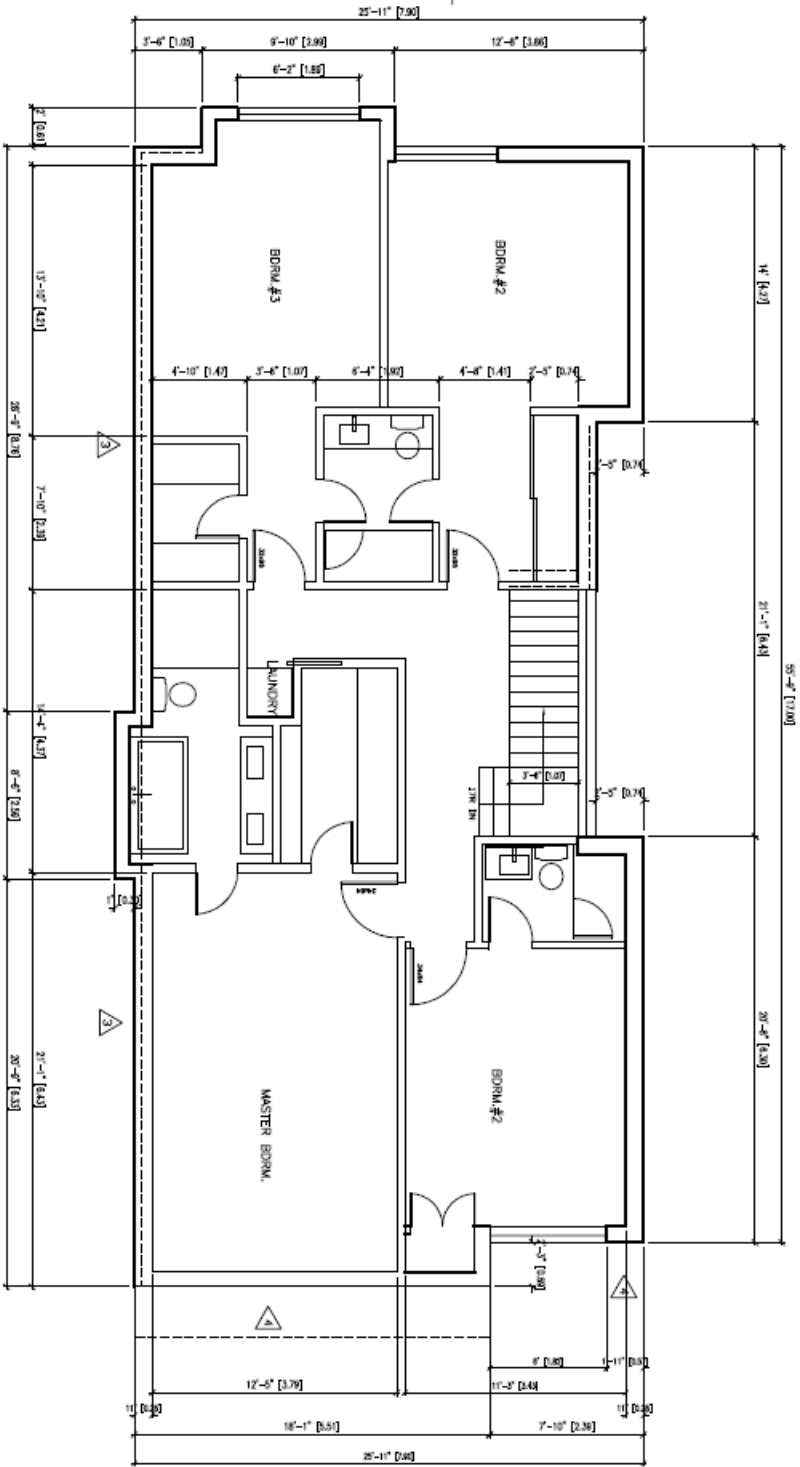


PROJECT  
 NEW SINGLE FAMILY  
 DETACHED HOUSE  
 359 ASHDALE AVE  
 TORONTO

DRAWING  
 FIRST FLOOR  
 SCALE: 1/4" = 1'-0"  
 DATE: 08/11/10

DRAWING NUMBER  
**A4**



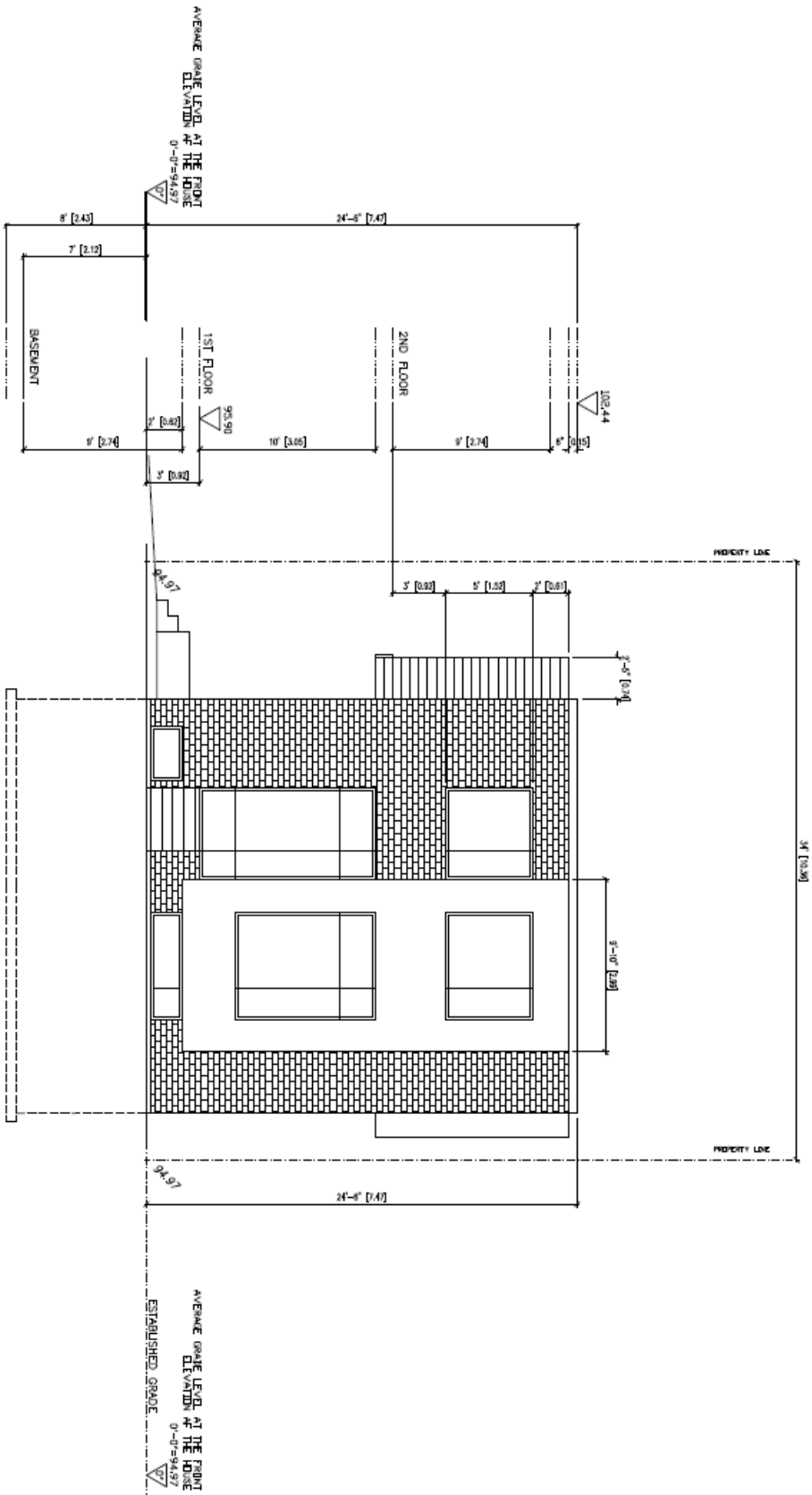


NON-COMMERCIAL CLADDING ON NORTH AND SOUTH FACE BARRING - SEE A15 FOR DETAILS  
 FIRE-RESISTANT WOOD ASSEMBLIES ON NORTH AND SOUTH BARRING - 40 MINUTES

SEE ALSO FLOOR FRAMING PLAN BY ALVA ROOF TRUSSEES INC.

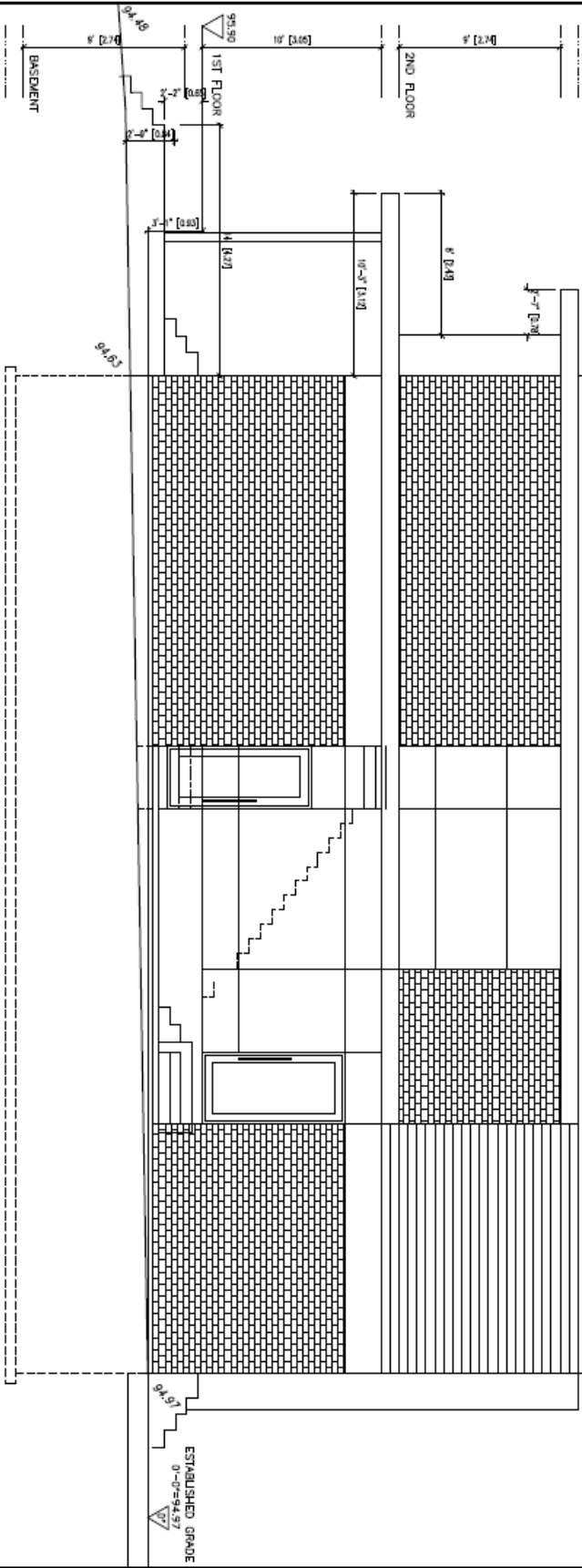
SECOND FLOOR GF# = 1.487 GF# = 138.28m

<p>25158          25158          32547</p>		<p>gervais gerry          paluszkiewicz          60 DUNDAS ST. W. TORONTO, ONT. M5G 1K4          416 821 7000</p>		<p>REVISION / ISSUE</p>		<p>NO. DATE</p>		<p>PROJECT</p>		<p>DRAWING NUMBER</p>	
<p>gervais design-build inc.          416 821 7000</p>		<p>gerry paluszkiewicz          416 821 7000</p>		<p>DATE</p>		<p>PROJECT</p>		<p>SECOND FLOOR</p>		<p>A5</p>	
<p>NEW SINGLE FAMILY DETACHED HOUSE          359 ASHDALIE AVE          TORONTO</p>		<p>SCALE          1/8" = 1'-0" (1:50)</p>		<p>DATE</p>		<p>PROJECT</p>		<p>SECOND FLOOR</p>		<p>A5</p>	



ESTABLISHED GRADE:  
 169.964' 169.872' = 339.78/2 = 169.891m

<b>gervais gerry</b> design-build inc. paluszkiwicz <small>60 DUNDAS ST. W. TOR. ONT. M5G 1K8 CAN. 416 821 7000</small> <small>gryphindesign.com</small> <small>www.gervaisgerry.com</small> <small>fax: 416 821 7000</small>		No.    ITEM    DATE   		PROJECT NEW SINGLE FAMILY DETACHED HOUSE 359 ASHDALE AVE. TORONTO		DRAWING WEST ELEVATION SCALE 3/32" = 1'-0" (1:50) DATE 11/15/11		DRAWING NUMBER <h1>A8</h1>	
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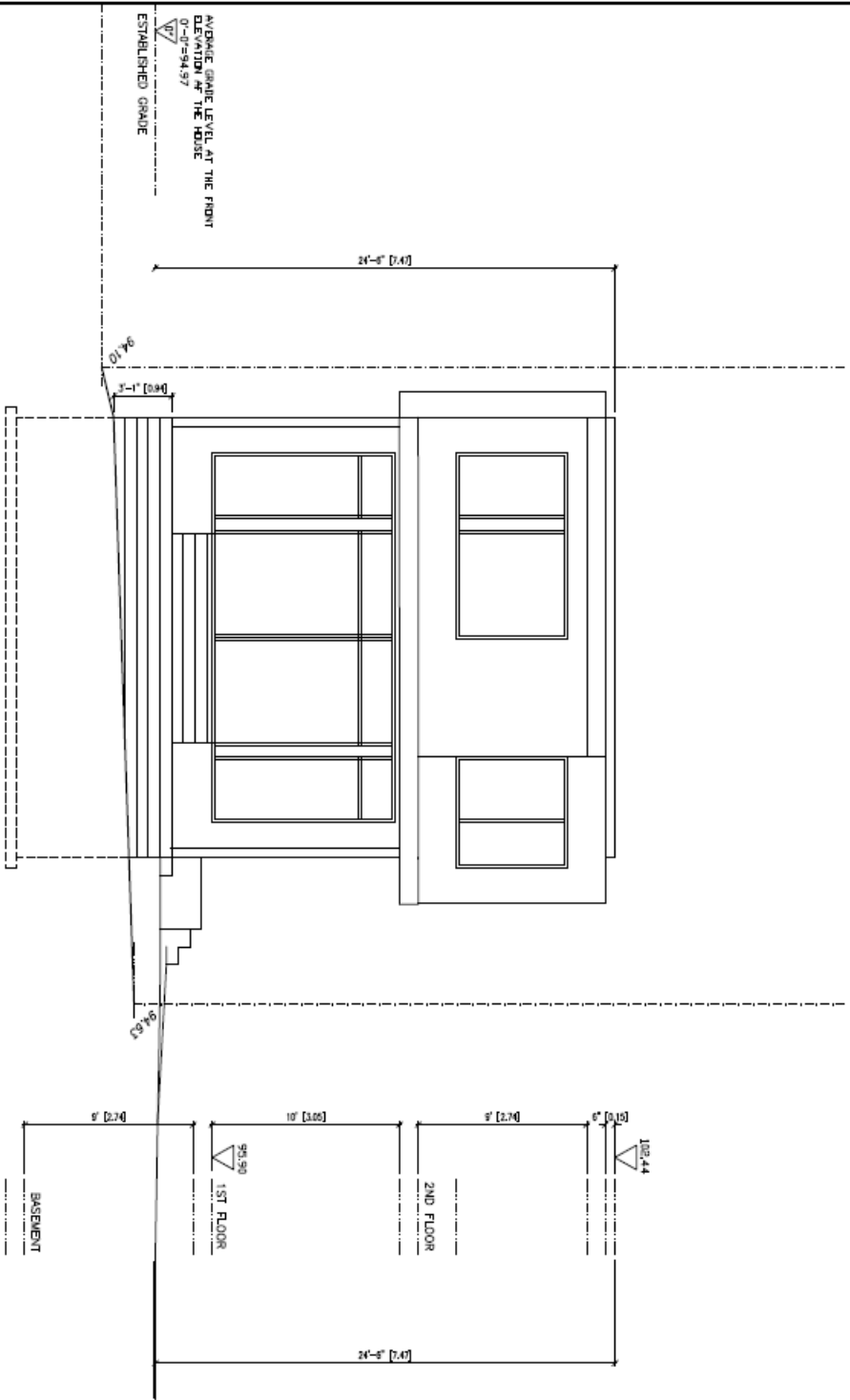
**gervais** gerry  
 design-build inc. paluszkiwicz  
 60 DUNDAS STREET WEST TORONTO ONTARIO M5G 1C5  
 416.821.7000 fax: 416.877.0000  
 gervaisdesign-build.com  
 info@gervaisdesign-build.com

REVISION / ISSUE	
No.	DATE
1	10/10/10

PROJECT  
 NEW SINGLE FAMILY  
 DETACHED HOUSE  
 359 ASHDALE AVE  
 TORONTO

DRAWING  
 NORTH ELEVATION  
 SCALE  
 1/2" = 1'-0" (1:50)  
 DATE  
 10/10/10

DRAWING NUMBER  
**A9**



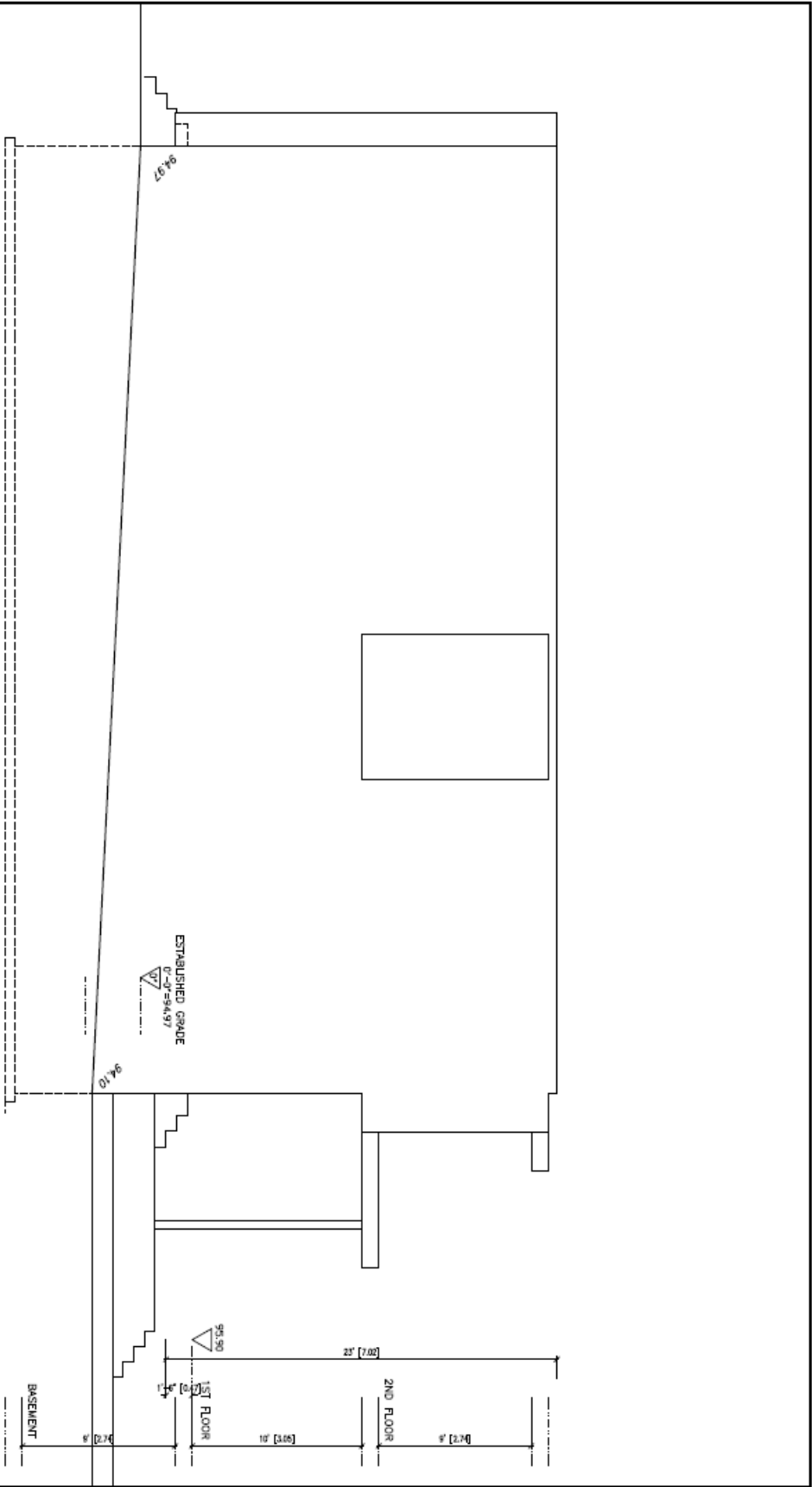
**gervais gerry**  
 paluszkiewicz  
 design-build inc.  
 60 DUNDAS ST. W. #10  
 TORONTO, ONT. M5G 1K5  
 416.821.7000 fax: 416.877.0000  
 gervaisgerrypalushkiewicz.com  
 www.gervaisgerrypalushkiewicz.com

REVISION / ISSUE	
NO.	DATE

**PROJECT**  
 NEW SINGLE FAMILY  
 DETACHED HOUSE  
 359 ASHDALE AVE  
 TORONTO

**DRAWING**  
 EAST ELEVATION  
 SCALE: 1/2" = 1'-0" (1:50)  
 DATE: 08/10/10  
 DRAWN BY: G.P.

**DRAWING NUMBER**  
 A10



<b>gervais</b> design-build inc. 60 DUNDAS ST. W. #10 TORONTO, ONT. M5G 1R7 416.821.7000 fax: 416.877.0000	<b>gerry</b> paluszkiwicz gervaispaluszki.com	No. _____	REVISION / ISSUE _____	DATE _____
		No. _____	REVISION / ISSUE _____	DATE _____
PROJECT NEW SINGLE FAMILY DETACHED HOUSE 359 ASHDALE AVE TORONTO				
DRAWING SOUTH ELEVATION SCALE: 3/2"=1'-0" (1:50) DATE: _____		DRAWING NUMBER <b>A11</b>		

**SIGNATURE PAGE**

File Number:	A0178/17TEY	Zoning	R(d0.6)(x741) & R2 Z0.6 (ZZC)
Owner(s):	CELALEDDIN UCAR LYNETTE ANNE FORTUNE	Ward:	Toronto-Danforth (30)
Agent:	CELALEDDIN UCAR	Heritage:	Not Applicable
Property Address:	<b>359 ASHDALE AVE</b>	Community:	Toronto
Legal Description:	PLAN 1345 PT LOT 62		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0179/17TEY	Zoning	CR T3.0 C2.0 R3.0 & Site-specific Zoning By-law 1724-2013 (WAIVER)
Owner(s):	454 YONGE GP INC.	Ward:	Toronto Centre-Rosedale (27)
Agent:	CRAIG HUNTER	Heritage:	Designated
Property Address:	<b>454-464 YONGE ST</b>	Community:	Toronto
Legal Description:	PLAN 159 LOTS 1 TO 5		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the redevelopment plan approved under Site Specific By-law 1724-2013 for the construction of a 60-storey mixed use building by adding three residential dwelling units and reducing the amount of parking.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Section 8, By-law 1724-2013**

The total residential gross floor area including any live/work units located within the site shall not exceed 43,284 m<sup>2</sup> and the total number of dwelling units erected or used on the site shall not exceed 636.

In this case, 639 dwelling units will be erected and used on the site.

**2. Section 22, By-law 1724-2013**

The minimum number of parking spaces required to be provided and maintained in an underground parking garage within the site shall be 50 parking spaces less than the minimum number of parking spaces otherwise required by Section 21.

In this case, 55 parking spaces less than the minimum number of parking spaces otherwise required by Section 21 will be provided.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.



**SIGNATURE PAGE**

File Number:	A0179/17TEY	Zoning	CR T3.0 C2.0 R3.0 & Site-specific Zoning By-law 1724-2013 (WAIVER)
Owner(s):	454 YONGE GP INC.	Ward:	Toronto Centre-Rosedale (27)
Agent:	CRAIG HUNTER	Heritage:	Designated
Property Address:	<b>454-464 YONGE ST</b>	Community:	Toronto
Legal Description:	PLAN 159 LOTS 1 TO 5		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

---

Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0180/17TEY	Zoning:	RS(f10.5,a325,d0.75)(x312) & R 2A (ZZC)
Owner(s):	SANDRA GULUK STEFANO TINTONI LAUREN TINTONI	Ward:	Toronto-Danforth (29)
Agent:	SAIED MAHBOUBI	Heritage:	Not Applicable
Property Address:	<b>39 ALDWYCH AVE</b>	Community:	East York
Legal Description:	PLAN M342 LOT 25		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey single family detached house with a rear detached garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.40.40.40.(1) (A), By-law 569-2013**  
The maximum permitted floor space index is 0.75 times the area of the lot (139.36 m<sup>2</sup>).  
The floor space index will be 0.84 times the area of the lot (155.58 m<sup>2</sup>).
- Chapter 10.40.40.70.(2)(B), By-law 569-2013**  
The minimum required rear yard setback is 7.62 m.  
The rear yard setback will be 7.26 m.
- Chapter 10.5.60.20.(6) (B), By-law 569-2013**  
The minimum side yard setback for an ancillary building or structure containing a parking space where it is on a corner lot, and vehicle access is from the street abutting the side lot line, is 6.0 m.  
The side yard setback for the ancillary building will be 0.0 m.
- Chapter 10.40.40.10.(2)(B)(i), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line that abuts a street is 7.0 m.  
The height of the side exterior main walls facing a side lot line will be 7.39 m.

5. **Chapter 10.40.40.10.(2)(B)(ii), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line that does not abut a street is 7.0 m.  
The height of the side exterior main walls facing a side lot line will be 7.39 m.
6. **Chapter 10.5.60.70.(1), By-law 569-2013**  
The total area on a lot covered by ancillary buildings or structures may not exceed 10% of the lot area (18.58 m<sup>2</sup>).  
The ancillary buildings or structures will cover 11.5% of the lot area (21.35 m<sup>2</sup>).
7. **Chapter 10.40.40.70.(3) (A), By-law 569-2013**  
The minimum required side yard setback is 0.9 m.  
The side yard setback will be 0.6 m.
8. **Chapter 10.40.40.20.(1), By-law 569-2013**  
The maximum permitted building length is 17.0 m.  
The building length will be 17.35 m.
9. **Chapter 10.5.50.10.(3)(A), By-law 569-2013**  
A lot with a residential building, other than an apartment building, must have a minimum of 50% of the rear yard for soft landscaping (18.1 m<sup>2</sup>).  
The rear yard landscaping area will be 41% (14.89 m<sup>2</sup>).
10. **Chapter 10.40.30.40.(1) (A), By-law 569-2013**  
The maximum permitted lot coverage is 35% of the lot area (65.03 m<sup>2</sup>).  
The lot coverage will be 52% of the lot area (98.01 m<sup>2</sup>).
1. **Section 7.5.3, By-law 6752**  
The maximum permitted floor space index is 0.75 times the area of the lot (185.81 m<sup>2</sup>).  
The floor space index will be 0.84 times the area of the lot (155.58 m<sup>2</sup>).
2. **Section 7.5.3, By-law 6752**  
The maximum permitted lot coverage is 35% of the lot area (65.03 m<sup>2</sup>).  
The lot coverage will be 54% of the lot area (100.33 m<sup>2</sup>).
3. **Section 7.5.3, By-law 6752**  
The minimum required front yard setback is 6.0 m.  
The front yard setback will be 5.87 m.
4. **Section 5.6(g), By-law 6752**  
Accessory buildings or structures are required to be setback 0.45 m from all side and rear lot lines.  
The garage will be located 0.0 m from the west side lot line.
5. **Section 5.6(b)(iii), By-law 6752**  
Steps or stairs required for access to the first storey of a permitted building may encroach into any yard, provided such steps or stairs shall be set back a minimum of 1.5 m from any lot line adjacent to a street.  
The west side yard stairs are 0.6 m from the west lot line.

6. **Section 7.5.3, By-law 6752**  
The minimum required rear yard setback is 9.0 m.  
The rear yard setback will be 7.26 m.

7. **Section 7.5.3, By-law 6752**  
The maximum permitted building length is 16.75 m.  
The building length will be 17.35 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (3) Where there are no existing street trees, the owner shall submit a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application or elsewhere in the community if there is no space, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (4) The driveway leading to the parking space be paved with semi-permeable paving materials., to the satisfaction of the Manager, Right-of-Way Management, Transportation Services, Toronto and East York District.
- (5) The lot coverage of the new detached dwelling exclusive of any detached accessory structures shall be no greater than 43% of the lot area under Zoning By-law 569-2013 and under Zoning By-law 6752.
- (4) A front basement walkout shall NOT be permitted.

**SIGNATURE PAGE**

File Number:	A0180/17TEY	Zoning	RS(f10.5,a325,d0.75)(x312) & R 2A (ZZC)
Owner(s):	SANDRA GULUK STEFANO TINTONI LAUREN TINTONI	Ward:	Toronto-Danforth (29)
Agent:	SAIED MAHBOUBI	Heritage:	Not Applicable
Property Address:	<b>39 ALDWYCH AVE</b>	Community:	East York
Legal Description:	PLAN M342 LOT 25		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

### 33. 635 QUEEN STREET EAST

File Number:	A0181/17TEY	Zoning	CR 2.5(c2.0; r2.0) SS2 (x2294) & MCR T2.5 C2.0 R2.0 (ZPR)
Owner(s):	HULLMARK (635 QUEEN) LTD.	Ward:	Toronto-Danforth (30)
Agent:	KENDRA FITZRANDOLPH	Heritage:	Not Applicable
Property Address:	<b>635 QUEEN ST E</b>	Community:	Toronto
File Number:	A0181/17TEY		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

#### **PURPOSE OF THE APPLICATION:**

To alter the existing three-storey office building by converting the ground floor to retail, constructing a rooftop terrace with access area and performing interior and exterior modifications to the building.

#### **REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 40.10.40.40.(B), By-law 569-2013**  
The maximum permitted non-residential gross floor area is 2.0 times the area of the lot (2030.8 m<sup>2</sup>).  
The altered building will have a non-residential gross floor area equal to 2.51 times the area of the lot (2539.2 m<sup>2</sup>).
- 2. Chapter 200.5.10.1.(1), By-law 569-2013**  
One additional parking space is required to be provided on the lot.  
In this case, zero parking spaces will be provided on the lot.
- 3. Chapter 200.15.10.(A), By-law 569-2013**  
The minimum required number of accessible parking spaces is one.  
In this case, zero accessible parking spaces will be provided.
- 4. Chapter 220.5.10.1.(3), By-law 569-2013**  
A minimum of one Type B loading space is required to be provided on the lot.  
In this case, zero Type B loading spaces will be provided.
- 5. Chapter 230.5.1.10.(7), By-law 569-2013**  
A minimum of one shower and change facilities for each gender are required to be provided.  
In this case, no shower and change facilities will be provided.
- 6. Chapter 230.5.10.1.(1)(A), By-law 569-2013**  
A minimum of 7 short term and 4 long term bicycle parking spaces are required to be provided for the office use and a minimum of 6 short term and 1 long term bicycle parking spaces are required to be provided for the retail use.  
The total bicycle parking required on the lot is 18 spaces.  
In this case, no bicycle parking will be provided on the lot.

- 7. Chapter 40.10.40.1.(2)(A), By-law 569-2013**  
For any non-residential use the floor level of the first storey must be within 0.2 m of grade measured at the lot line abutting the street directly opposite each pedestrian entrance.  
In this case, the first floor level will be 0.45 m from grade.
- 8. Chapter 40.10.40.1.(2)(B), By-law 569-2013**  
For any non-residential use the floor level of the first storey must have a pedestrian access by a ramp which rises no more than 0.04 m vertically for every 1.0 m horizontally.  
In this case, the access does not provide a ramp or level entrance.
- 1. Section 4(2)(a)(ii)(B), By-law 438-86**  
A structure on the roof of a building, used for the outside open air recreation, safety or wind protection purposes is permitted provided no part of the structure is less than 2.0 m from an adjacent outside wall or vertical projection of the wall.  
In this case, the guard is located 0 m from an adjacent outside wall.
- 2. Section 4(6)(B), By-law 438-86**  
A minimum of one Type B loading space is required to be provided on the lot.  
In this case, zero Type B loading spaces will be provided.
- 3. Section 8(3) Part I 1, By-law 438-86**  
The maximum permitted combined residential and non-residential gross floor area is 2.5 times the area of the lot (2538.5 m<sup>2</sup>).  
The altered building will have a combined residential and non-residential gross floor area equal to 2.72 times the area of the lot (2758.61 m<sup>2</sup>).
- 4. Section 8(3) Part I 2, By-law 438-86**  
The maximum permitted non-residential gross floor area is 2.0 times the area of the lot (2020.8 m<sup>2</sup>).  
The altered building will have a non-residential gross floor area equal to 2.72 times the area of the lot (2758.61 m<sup>2</sup>).
- 5. Section 8(3) part XI 2(1), By-law 438-86**  
The main floor level of every commercial use must be within 0.2 m of the level of the sidewalk opposite the door to such commercial use.  
In this case, the level of the floor of the commercial use will be within 0.45 m of the level of the sidewalk.
- 6. Section 8(3) Part VI 2(3), By-law 438-86**  
All exterior commercial entrance doors shall be directly accessible from the sidewalk by a level surface or a ramp having a slope not greater than 1 in 25 (4%).  
In this case, the entrances are not accessible by a level surface or ramp.
- 7. Section 4(4)(b), By-law 438-86**  
One additional parking space is required to be provided on the lot.  
In this case, zero parking spaces will be provided on the lot.

**MOTION**

It was moved by Lisa Valentini, seconded by Carl Knipfel and carried unanimously that the application be **deferred to the public hearing of July 12, 2017** with Committee of Adjustment, Toronto and East York, **Panel B**. The deferral was required due to an error in the Notice of Public Hearing (missed variance).





City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0182/17TEY	Zoning:	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	LHARA EBEN MICHAEL KRAUSS	Ward:	Trinity-Spadina (20)
Agent:	IAN CUNHA	Heritage:	Not Applicable
Property Address:	<b>489 CLINTON ST</b>	Community:	Toronto
Legal Description:	PLAN 560 PT LOT 51		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey semi-detached dwelling by constructing a rear two-storey addition, a rear porch, a basement secondary suite with a front basement walkout, and by reconstructing the front porch.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.10.40.30.(1)(A), By-law 569-2013**  
The maximum permitted depth of a semi-detached dwelling is 17 m.  
The altered semi-detached dwelling will have a depth of 17.73 m.
- Chapter 10.10.40.40.(2)(A), By-law 569-2013**  
Additions to the rear of a semi-detached dwelling erected before October 15, 1953 are permitted provided the residential floor space index of the building, as enlarged, does not exceed 0.69 times the area of the lot (138.3 m<sup>2</sup>).  
The altered semi-detached dwelling will have a floor space index equal to 0.78 times the area of the lot (156.65 m<sup>2</sup>).
- Section 6(3) Part VI 1(I), By-law 438-86**  
Additions to the rear of a semi-detached dwelling erected before October 15, 1953, or to a converted house, are permitted provided the residential gross floor area of the building, as enlarged, does not exceed 0.69 times the area of the lot (138.3 m<sup>2</sup>).  
The altered semi-detached dwelling will have a gross floor area equal to 0.78 times the area of the lot (156.65 m<sup>2</sup>).

**2. Section 6(3) Part VI 1(V), By-law 438-86**

Additions to the rear of a semi-detached dwelling erected before October 15, 1953, or to a converted house, are permitted provided the depth of the residential building including the addition or additions does not exceed 17 m.

The altered semi-detached dwelling will have a depth of 17.98 m.

**3. Section 6(3) Part II 3.F(I)(2), By-law 438-86**

The minimum required side yard setback for a converted house is 1.2 m where the side wall contains openings.

The altered semi-detached dwelling will be located 0.67 m from the south side lot line.

**4. Section 6(2) 1, By-law 438-86**

The maximum permitted floor space of an addition to a converted house is 0.15 times the area of the lot (30.65 m<sup>2</sup>).

The additions will have an area equal to 0.24 times the area of the lot (49.05 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The applicant shall provide permanent landscaped screening along the railing of the front basement walkout to the satisfaction of the Director of Community Planning, Toronto and East York District.

**SIGNATURE PAGE**

File Number:	A0182/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	LHARA EBEN MICHAEL KRAUSS	Ward:	Trinity-Spadina (20)
Agent:	IAN CUNHA	Heritage:	Not Applicable
Property Address:	<b>489 CLINTON ST</b>	Community:	Toronto
Legal Description:	PLAN 560 PT LOT 51		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0183/17TEY	Zoning	CR 1.5(c1.0;r1.0)(SS2) (x1160) & CR T1.5 C1.0 R1.0
Owner(s):	BEITES INVESTMENTS INC	Ward:	Davenport (18)
Agent:	IAN CUNHA	Heritage:	Not Applicable
Property Address:	<b>654 LANSDOWNE AVE</b>	Community:	Toronto
File Number:	A0183/17TEY		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To legalize and to maintain the conversion of the attached rear garage into storage space for the commercial part of the building.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**Chapter 200.5.10.1.(1), By-law 569-2013**

The minimum required number of parking spaces for the dwelling units is two.  
In this case, zero parking spaces will be provided.

**Section 4(4), By-law 438-86**

A minimum of two parking spaces are to be provided on the lot.  
In this case, zero parking spaces will be provided on the lot.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0183/17TEY	Zoning	CR 1.5(c1.0;r1.0)(SS2) (x1160) & CR T1.5 C1.0 R1.0
Owner(s):	BEITES INVESTMENTS INC	Ward:	Davenport (18)
Agent:	IAN CUNHA	Heritage:	Not Applicable
Property Address:	<b>654 LANSDOWNE AVE</b>	Community:	Toronto
File Number:	A0183/17TEY		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0184/17TEY	Zoning	R3 & Site-Specific By-law 826-2013 (Waiver)
Owner(s):	159 WELLESLEY STREET EAST INC	Ward:	Toronto Centre-Rosedale (27)
Agent:	CALVIN LANTZ	Heritage:	Not Applicable
Property Address:	<b>159 WELLESLEY ST E</b>	Community:	Toronto
Legal Description:	PLAN D30 PT LOT 59 RP 66R25934 PART 1		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the redevelopment plan for a 36-storey mixed-used building, approved under Site-Specific By-law 826-2013 with respect to development standards associated with: gross floor area, building height, dwelling unit breakdown, rate of indoor amenity space, off-site parking, bicycle parking spaces, and building envelope.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Section 1(a), Site-Specific By-law 826-2013**

The maximum combined residential and non-residential gross floor area erected or used on the lot shall not exceed 23,175 m<sup>2</sup>, subject to the following:

- (i) The maximum residential gross floor area erected or used on the lot is 23,025 m<sup>2</sup>.
- (ii) The maximum non-residential gross floor area erected or used on the lot is 150 m<sup>2</sup>.

The altered 36-storey mixed-use building will have a combined residential and non-residential gross floor area of 23,480 m<sup>2</sup>, subject to the following:

- (i) The maximum residential gross floor area erected or used on the lot is 23,320 m<sup>2</sup>.
- (ii) The maximum non-residential gross floor area erected or used on the lot is 160 m<sup>2</sup>.

**2. Section 1(c), Site-Specific By-law 826-2013**

Residential dwelling units shall be provided as follows:

- (i) 69 % one-bedroom units (196 dwelling units)
- (ii) 22% two-bedroom units (65 dwelling units)
- (iii) 9% three-bedroom units (25 dwelling units)

The altered 36-storey mixed-use building will contain a total of 360 dwelling units, which shall be provided as follows:

- (i) 79% one-bedroom units (282 dwelling units)
- (ii) 12% two-bedroom units (44 dwelling units)
- (iii) 9% three-bedroom units (34 dwelling units)

**3. Section 1(d)(i), Site-Specific By-law 826-2013**

A minimum of 3.2 m<sup>2</sup> per dwelling unit of indoor residential amenity space shall be provided on the lot

In this case, the altered 36-storey mixed-use building will have a minimum of 2.9 m<sup>2</sup> per dwelling unit of indoor residential amenity space.

**4. Section 1(e), Site-Specific By-law 826-2013**

No portion of any building or structure erected on the lot shall exceed the height limits indicated by the numbers following the symbol H on Map 2 of By-law 826-2013.

In this case, no portion of any building or structure erected on the lot shall exceed the height limits indicated by the numbers following the symbol H on the attached Revised Map 2, date stamped received by the Committee of Adjustment on February 16, 2017.

**5. Section 1(f), Site-Specific By-law 826-2013**

No portion of any building or structure erected or used above finished ground level on the lot is located other than wholly within the areas delineated by heavy lines on Map 2 of By-law 826-2013.

In this case, no portion of any building or structure erected or used above finished ground level on the lot is located other than wholly within the areas delineated by heavy lines on the attached Revised Map 2, date stamped received by the Committee of Adjustment on February 16, 2017.

**6. Section 1(g), Site-Specific By-law 826-2013**

The structures and elements listed in Section 1(g)(i) of By-law 826-2013 are permitted to project beyond the heavy lines and above the height limits shown on Map 2 of By-law 826-2013.

In this case, the structures and elements listed in Section 1(g)(i) of By-law 826-2013 are permitted to project beyond the heavy lines and above the height limits shown on the attached Revised Map 2, date stamped received by the Committee of Adjustment on February 16, 2017.

**7. Section 1(h)(i), Site-Specific By-law 826-2013**

A minimum of 77 parking spaces is required to be provided on the lot, provided that an additional 50 resident parking spaces shall be provided off-site by means of a lease arrangement in relation to the premises at 155 Wellesley Street East or elsewhere at a property located within 60 m of the lot.

In this case, the altered 36-storey mixed-use building will provide an additional 50 resident parking spaces at a property located within 150 m of the lot, at 200 Wellesley Street East.



**1. Section 2(1), By-law 438-86**

Bicycles are to be parked on a horizontal surface, have horizontal dimensions of at least 0.6 m by 1.8 m and a vertical dimension of at least 1.9 m.

In this case, the bicycle parking spaces will be located in bicycle stackers, and will have a dimension of 0.4 m by 1.8 m and a vertical clearance of 1.2 m.

**2. Section 2(1), By-law 438-86**

Visitor bicycle parking spaces may be located outdoors or indoors but not within a secured room, enclosure or bicycle locker.

In this case, visitor bicycle parking spaces will be located in a secured indoor area.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0184/17TEY	Zoning	R3 & Site-Specific By-law 826-2013 (Waiver)
Owner(s):	159 WELLESLEY STREET EAST INC	Ward:	Toronto Centre-Rosedale (27)
Agent:	CALVIN LANTZ	Heritage:	Not Applicable
Property Address:	<b>159 WELLESLEY ST E</b>	Community:	Toronto
Legal Description:	PLAN D30 PT LOT 59 RP 66R25934 PART 1		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
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Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0185/17TEY	Zoning	R(d1.0)(x808) & R3 Z1.0 (ZZC)
Owner(s):	LAUREN TURCHET ALEXANDER BIELECKI	Ward:	Toronto-Danforth (30)
Agent:	EDDIE PERES	Heritage:	Designated
Property Address:	<b>68 TIVERTON AVE</b>	Community:	Toronto
Legal Description:	PLAN 791 PT LOT 28		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing 2½-storey townhouse/rowhouse by constructing a rear one-storey addition and a rear third storey addition with a rear third storey deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.10.40.30.(1)(B), By-law 569-2013**  
The maximum permitted depth of a townhouse is 14.0 m.  
The altered townhouse will have a depth of 15.45 m.
- 2. Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index of a townhouse is 1.0 times the area of the lot (139.29 m<sup>2</sup>).  
The altered townhouse will have a floor space index equal to 1.06 times the area of the lot (147.58 m<sup>2</sup>).
- 1. Section 6(3) Part II 5(I), By-law 438-86**  
The maximum permitted depth of a rowhouse is 14.0 m.  
The altered rowhouse will have a depth of 15.45 m.
- 2. Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted gross floor area of a rowhouse is 1.0 times the area of the lot (139.29 m<sup>2</sup>).  
The altered rowhouse will have a gross floor area equal to 1.06 times the area of the lot (147.58 m<sup>2</sup>).

**3. Section 6(3) Part II 3.C(I), By-law 438-86**

The minimum required side lot line setback of a rowhouse is 0.45 m where the side wall contains no openings.

The rear one-storey addition will be located 0.0 m from the north side lot line.

**4. Section 6(3) Part II 3.C(II), By-law 438-86**

The minimum required side lot line setback of a rowhouse is 0.9 m where the side wall contains openings.

The rear third storey addition will be located 0.0 m from the north and south side lot lines.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The 15.45 m dwelling depth shall apply to the first floor of the altered dwelling only.
- (2) There shall not be a rear second floor deck (i.e. constructed on the roof of the rear one-storey addition).

**SIGNATURE PAGE**

File Number:	A0185/17TEY	Zoning	R(d1.0)(x808) & R3 Z1.0 (ZZC)
Owner(s):	LAUREN TURCHET ALEXANDER BIELECKI	Ward:	Toronto-Danforth (30)
Agent:	EDDIE PERES	Heritage:	Designated
Property Address:	<b>68 TIVERTON AVE</b>	Community:	Toronto
Legal Description:	PLAN 791 PT LOT 28		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0186/17TEY	Zoning:	RS & R2A (ZZC)
Owner(s):	HERBERT T BROWN RAFIC HADDAD	Ward:	Toronto-Danforth (29)
Agent:	LEO MASTRANDREA	Heritage:	Not Applicable
Property Address:	<b>245 DEWHURST BLVD N</b>	Community:	East York
Legal Description:	PLAN M484 PT LOT 774 PT LOT 775		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter a bungalow by constructing a second floor and a two-storey rear addition including a deck and a parking pad. Interior alterations will be completed throughout the dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.40.40.40.(1) (A), By-law 569-2013**  
The maximum permitted floor space index is 0.75 times the area of the lot (178.29 m<sup>2</sup>).  
The floor space index will be 0.81 times the area of the lot (193.88 m<sup>2</sup>).
  - Chapter 10.40.30.40.(1) (A), By-law 569-2013**  
The maximum permitted lot coverage is 35% of the lot area (83.20 m<sup>2</sup>).  
The lot coverage is 44.7% of the lot area (106.44 m<sup>2</sup>).
  - Chapter 10.40.40.50.(1) (A), By-law 569-2013**  
The maximum permitted number of platforms at or above the second storey located on the (front/rear) wall of a detached house is 1.  
The number of platforms located on the rear wall will be 2.
  - Chapter 10.5.80.40.(3)(B), By-law 569-2013**  
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street. The vehicle access to a parking space will be from Mortimer Avenue (Major Street).
- Section 7.5.3, By-law 6752**  
The maximum permitted floor space index is 0.75 times the lot area.  
The floor space index will be 0.79 times the lot area (186.86 m<sup>2</sup>).

**2. Section 7.5.3, By-law 6752**

The maximum permitted lot coverage is 35% of the lot area.

The lot coverage will be 47.6% of the lot area (113.23 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The driveway leading to the parking space shall be paved with semi-permeable paving materials.

**SIGNATURE PAGE**

File Number:	A0186/17TEY	Zoning	RS & R2A (ZZC)
Owner(s):	HERBERT T BROWN RAFIC HADDAD	Ward:	Toronto-Danforth (29)
Agent:	LEO MASTRANDREA	Heritage:	Not Applicable
Property Address:	<b>245 DEWHURST BLVD N</b>	Community:	East York
Legal Description:	PLAN M484 PT LOT 774 PT LOT 775		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

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Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District





**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0187/17TEY	Zoning:	R (d1.0) & R2 Z1.0 (ZZC)
Owner(s):	DONALD THOMAS MACDONALD MARGARET JESSIE HALLIWELL	Ward:	St. Paul's (21)
Agent:	LEO MASTRANDREA	Heritage:	Not Applicable
Property Address:	<b>351 HOWLAND AVE</b>	Community:	Toronto
Legal Description:	PLAN 817 LOT 24		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing 2½-storey detached dwelling by constructing a rear two-storey addition.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.10.40.30.(1)(A), By-law 569-2013**  
The maximum permitted building depth for a detached dwelling is 17.0 m.  
The altered detached dwelling will have a depth of 18.5 m.
- Section 6(3) Part II 3.B(II), By-law 438-86**  
The minimum required side lot line setback for the portion of the dwelling not exceeding a depth of 17 m is 0.9 m.  
The altered detached dwelling not exceeding a depth of 17 m will be located 0.24 m from the north side lot line.
- Section 6(3) Part II 3.B(II), By-law 438-86**  
The minimum required side lot line setback for the portion of the building exceeding a depth of 17.0 m is 7.5 m.  
The rear 1.5 m portion of the altered detached dwelling, exceeding the 17 m depth, will be setback 0.24 m on the north side lot line and 0.97 m from the south side lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0187/17TEY	Zoning	R (d1.0) & R2 Z1.0 (ZZC)
Owner(s):	DONALD THOMAS MACDONALD MARGARET JESSIE HALLIWELL	Ward:	St. Paul's (21)
Agent:	LEO MASTRANDREA	Heritage:	Not Applicable
Property Address:	<b>351 HOWLAND AVE</b>	Community:	Toronto
Legal Description:	PLAN 817 LOT 24		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

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City Planning Division

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Tel: 416-392-7565  
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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0188/17TEY	Zoning	R(d2.5)(x880) & R3 Z2.5 (ZPR)
Owner(s):	TORONTO TRANSIT COMMISSION	Ward:	Toronto Centre-Rosedale (27)
Agent:	KIERAN RANDALL	Heritage:	Listed
Property Address:	<b>15 DUNDONALD ST</b>	Community:	Toronto
Legal Description:	CON 1 FB PT PARK LOT 8 PLAN 250E PT LOTS 43 TO 47		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing 23-storey residential apartment building by converting a portion of the ground floor to retail uses which will be combined with a newly constructed ground floor addition at the northeast corner of the building.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**Chapter 10.10.20.10.(1), By-law 569-2013**

Retail and restaurant uses are not permitted in the Residential Zone.  
The altered building will contain retail and restaurant uses.

**Section 6(1)(A), By-law 438-86**

Retail and restaurant uses are not permitted in the R3 Zone.  
The altered building will contain retail and restaurant uses.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The floor area dedicated to the retail and restaurant uses shall not exceed 200 m<sup>2</sup>.
- (2) The applicant shall submit a signed and dated letter from a Professional Engineer, to the Executive Director, Construction Services, clarifying the following:
  - (a) If the sanitary flows generated by the new building addition are increased in comparison with the existing sanitary flows; and
  - (b) If the required fire flows for the building are increased in comparison with the existing required fire flows (Note: The fire flow calculation should be based on Fire Underwriters Survey).

**SIGNATURE PAGE**

File Number:	A0188/17TEY	Zoning	R(d2.5)(x880) & R3 Z2.5 (ZPR)
Owner(s):	TORONTO TRANSIT COMMISSION	Ward:	Toronto Centre-Rosedale (27)
Agent:	KIERAN RANDALL	Heritage:	Listed
Property Address:	<b>15 DUNDONALD ST</b>	Community:	Toronto
Legal Description:	CON 1 FB PT PARK LOT 8 PLAN 250E PT LOTS 43 TO 47		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

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Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



City Planning Division

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Toronto and East York District

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0189/17TEY	Zoning:	I1 D1 (Waiver)
Owner(s):	180 JOHN STREET INC	Ward:	Trinity-Spadina (20)
Agent:	EILEEN COSTELLO	Heritage:	Not Applicable
Property Address:	<b>180 JOHN ST</b>	Community:	Toronto
Legal Description:	CON 1 FB PARK PT LOT 13 BLK 8		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To convert the existing five-storey building to include office uses and to construct a three-storey addition (with mezzanine) above the fifth floor for office uses. In minor variance Decision A1199/15TEY the Committee approved the variances listed below with the exception of the variance request to not provide parking on-site (see item #6).

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Section 9(1)(F), By-law 438-86**  
Offices are not a permitted use on lands zoned I1 D1.  
Office uses will be permitted.
- 2. Section 9(3) Part 12, By-law 438-86**  
The maximum permitted non-residential gross floor area is 1.0 times the area of the lot (805 m<sup>2</sup>).  
The altered building will have a non-residential gross floor area 5.8 times the area of the lot (4683 m<sup>2</sup>).
- 3. Section 9(3) Part II (1), By-law 438-86**  
The minimum required building setback from the front lot line is 0.45 m.  
The building addition and the first floor reconstruction will be located 0.0 m from the front lot line (John Street).
- 4. Section 9(3) Part II 2(A), By-law 438-86**  
The portion of a non-residential building above grade is to be set back a minimum distance of 3.0 m from a lot in a residential district.  
The building addition, levels 6 -8, will be located 2.8 m at its closest point from the north side lot line and, the enlarged one-storey first floor reconstructed addition will be located 0.07 m from the north lot line.

**5. Section 4(2)(A), By-law 438-86**

The maximum permitted building height is 18.0 m.  
The altered building will have a height of 30.508 m

**6. Section 4(5)(B), By-law 438-86**

The minimum required number of parking spaces for the additional 1132 m<sup>2</sup> of office floor area is 4 spaces.  
No parking spaces will be provided on the lot.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The owner shall provide additional bicycle rings, solely at their cost, to the satisfaction of the Chief Planner and Executive Director of the City of Toronto Planning Division



**SIGNATURE PAGE**

File Number:	A0189/17TEY	Zoning	I1 D1 (Waiver)
Owner(s):	180 JOHN STREET INC	Ward:	Trinity-Spadina (20)
Agent:	EILEEN COSTELLO	Heritage:	Not Applicable
Property Address:	<b>180 JOHN ST</b>	Community:	Toronto
Legal Description:	CON 1 FB PARK PT LOT 13 BLK 8		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0190/17TEY	Zoning:	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	YEN LY QUOC PHONG TRUONG	Ward:	Trinity-Spadina (19)
Agent:	ENZO LOCCISANO	Heritage:	Not Applicable
Property Address:	<b>185 PALMERSTON AVE</b>	Community:	Toronto
Legal Description:	PLAN 74 PT LOT 109		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey semi-detached dwelling by constructing: a rear second floor addition, a third floor addition with a front and rear balcony and to convert the dwelling into two dwelling units.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.40.70.(1), By-law 569-2013**  
The minimum front lot line setback is 8.33 m.  
The altered dwelling will be located 5.27 m from the front lot line.
- 2. Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.  
The height of the side exterior main walls facing a side lot line will be 9.45 m.
- 3. Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.6 times the area of the lot (126.98 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 0.95 times the area of the lot (200.71 m<sup>2</sup>).
- 4. Chapter 10.10.40.70.(4)(B), By-law 569-2013**  
The minimum side yard setback for a semi-detached house is 0.45 m.  
The altered dwelling will be located 0.00 m from the north side lot line, measured from the rear third floor balcony.

**5. Chapter 10.5.50.10.(1)(D), By-law 569-2013**

A minimum of 75% (21.66 m<sup>2</sup>), of the front yard landscaping shall be maintained as soft landscaping.

In this case, 52% (15.14 m<sup>2</sup>), of the front yard landscaping will be maintained as soft landscaping.

**6. Chapter 150.10.40.1.(3)(A), By-law 569-2013**

A secondary suite is a permitted use provided that an additional or exterior alteration to a building to accommodate a secondary suite does not alter or add to a main wall or roof that faces a street.

The full third-storey addition alters both the main wall that faces a street.

**1. Section 6(2)(1)(iii)(A), By-law 438-86**

A converted house is a permitted use provided the increase in residential gross floor area does not exceed 0.15 times the area of the lot (31.74 m<sup>2</sup>).

The full third-storey addition and the rear second-storey addition will increase the overall residential gross floor area equal to 0.30 times the area of the lot (63.87 m<sup>2</sup>).

**2. Section 6(2)(1)(v), By-law 438-86**

A converted house is a permitted use provided there is no substantial change in the appearance of the dwelling house as the result of the conversion.

The full third-storey addition and the rear second-storey addition will substantially change the appearance of the existing house.

**3. Section 6(3) Part II 2(II), By-law 438-86**

A building on an inside lot is required a minimum front lot setback of 8.33 m.

The altered dwelling will be located 5.27 m from the front lot line.

**4. Section 6(3) Part II 3.B(I), By-law 438-86**

The minimum required side lot line setback for a portion of the dwelling not exceeding a building depth of 17.0 m is 0.45 m.

The altered dwelling will be located 0.0 m from the north and south side lot line.

**5. Section 6(3) Part II 3(I), By-law 438-86**

A building is required to be setback a minimum of 0.9 m from the side wall of an adjacent building that contains no openings.

The altered dwelling will be located 0.0 m from the side wall of the north adjacent building at, 187 Palmerston Avenue, measured from the third-storey addition.

**6. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted residential gross floor area is 0.6 times the area of the lot (126.98 m<sup>2</sup>).

The altered dwelling will have a residential gross floor area equal to 1.30 times the area of the lot (275.61 m<sup>2</sup>).

- 7. Section 6(3) Part II 3.C(I), By-law 438-86**  
The minimum required side lot line setback is 0.45 m.  
The altered dwelling will be located 0.0 m from the north side lot line, measured from the second floor addition.
- 8. Section 6(3) Part II 3(I), By-law 569-2013**  
A building is required to be setback a minimum of 0.9 m from the side wall of an adjacent building that contains no openings.  
The altered dwelling will be located 0.0 m from the side wall of the north adjacent building at, 187 Palmerston Avenue, measured from the second floor addition.
- 9. Section 6(3) Part II 3.C(I), By-law 438-86**  
The minimum required side lot line setback is 0.45 m.  
The altered dwelling will be located 0.0 m from the north side lot line, measured from the third floor addition.
- 10. Section 6(3) Part II 3(I), By-law 438-86**  
A building is required to be setback a minimum of 0.9 m from the side wall of an adjacent building that contains no openings.  
The altered dwelling will be located 0.0 m from the side wall of the north adjacent building at, 187 Palmerston Avenue, measured from the third-storey balcony.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0190/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	YEN LY QUOC PHONG TRUONG	Ward:	Trinity-Spadina (19)
Agent:	ENZO LOCCISANO	Heritage:	Not Applicable
Property Address:	<b>185 PALMERSTON AVE</b>	Community:	Toronto
Legal Description:	PLAN 74 PT LOT 109		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0370/17TEY	Zoning	R (d1.0)(x82) & R3 Z1.0 (ZZC)
Owner(s):	NA-ME-RES (NATIVE MEN'S RESIDENCE) CITY OF TORONTO	Ward:	Toronto Centre-Rosedale (27)
Agent:	NATIVE MENS RESIDENCE C/O MORRIS MACDONALD	Heritage:	Not Applicable
Property Address:	<b>63-65 HOMEWOOD AVE</b>	Community:	Toronto
Legal Description:	PLAN D30 PT LOT 97		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing pair of semi-detached single family dwellings by combining them into one building with a total of 16 dwelling units.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.10.40.40.(1)(A), By-law 569-2013**

The maximum permitted floor space index is 1.0 times the area of the lot (700.7 m<sup>2</sup>).

The altered building will have a floor space index equal to 1.21 times the area of the lot (847.9 m<sup>2</sup>).

**2. Chapter 10.5.50.10.(5), By-law 569-2013**

A lot with an apartment building must have a minimum 1.5 m wide strip of land for soft landscaping along any part of a lot line abutting another lot in the Residential Zone Category.

In this case, no soft landscaping strip will be provided along the north, south and east lot lines.

**1. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area is 1.0 times the area of the lot (700.7 m<sup>2</sup>).

The altered building will have a gross floor area equal to 1.27 times the area of the lot (891.10 m<sup>2</sup>).

**2. Section 6(3) Part II 5, By-law 438-86**

The maximum permitted building depth is 14.0 m.

The altered building will have a building depth equal to 25.95 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

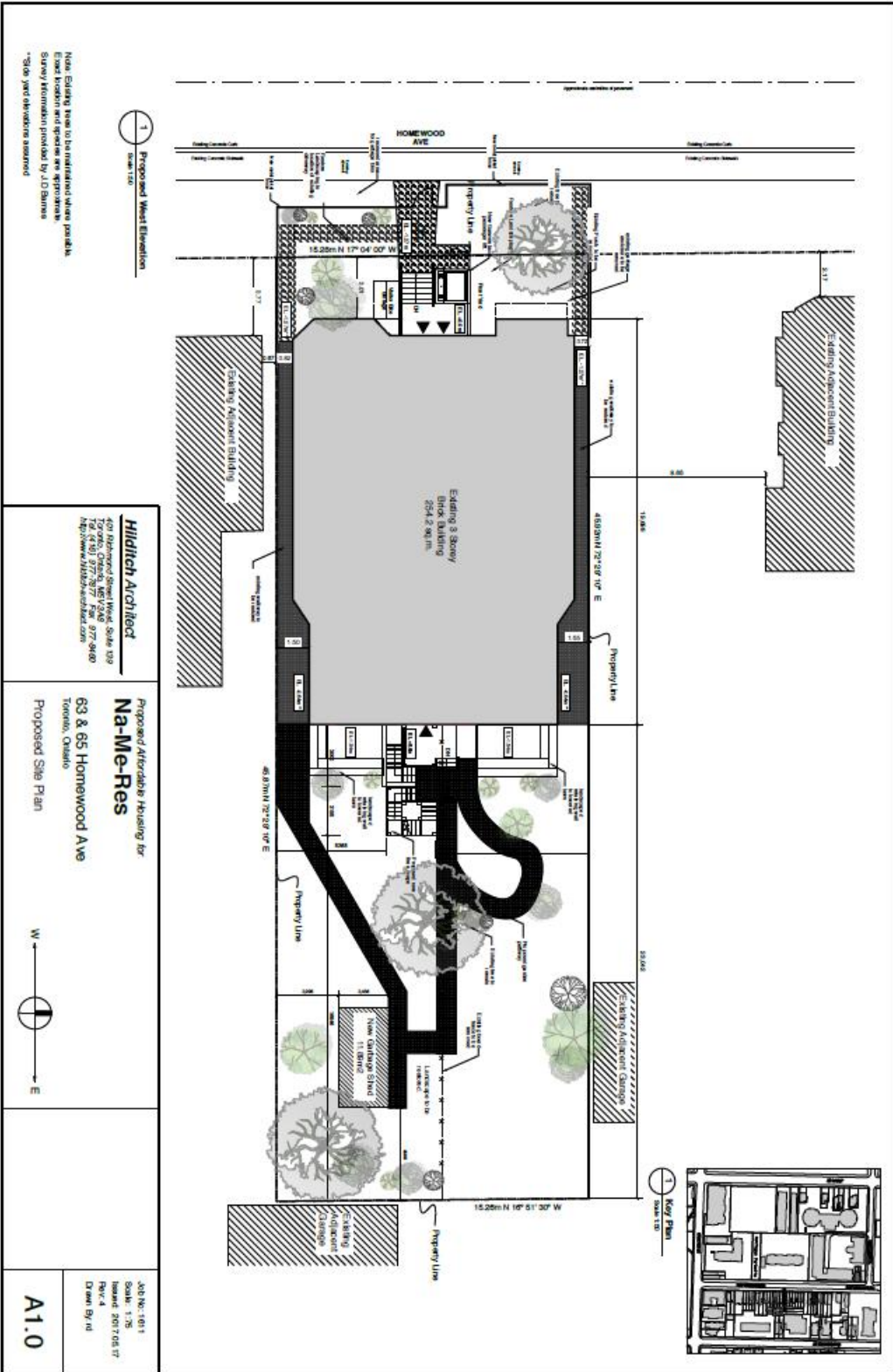
**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The alterations shall be constructed substantially in accordance with Drawing A1.0, on file with the Committee of Adjustment application.

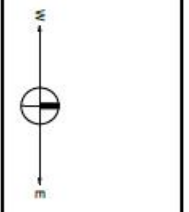


Proposed West Elevation  
Scale: 1:50

Note: Existing trees to be retained where possible.  
Exact locations and species are approximate.  
Survey information provided by J.O. Barrow.  
\*Site yard dimensions assumed.

**Hilditch Architect**  
420 Midland Street West, Suite 109  
Toronto, Ontario, M5V 2A8  
Tel: (416) 577-0400  
Fax: (416) 577-0400  
www.hilditcharchitect.com

Proposed Affordable Housing for  
**Na-Me-Res**  
63 & 65 Homewood Ave  
Toronto, Ontario  
Proposed Site Plan



Job No: 161  
Scale: 1:75  
Issued: 20.7.05.17  
Rev: 4  
Drawn By: rd

**A1.0**





**SIGNATURE PAGE**

File Number:	A0370/17TEY	Zoning	R (d1.0)(x82) & R3 Z1.0 (ZZC)
Owner(s):	NA-ME-RES (NATIVE MEN'S RESIDENCE) CITY OF TORONTO[	Ward:	Toronto Centre-Rosedale (27)
Agent:	NATIVE MENS RESIDENCE C/O MORRIS MACDONALD	Heritage:	Not Applicable
Property Address:	<b>63-65 HOMEWOOD AVE</b>	Community:	Toronto
Legal Description:	PLAN D30 PT LOT 97		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

## NOTICE OF DECISION

### CONSENT

(Section 53 of the Planning Act)

File Number:	B0021/17TEY	Zoning	R (d0.6)(X735) & R2 Z0.6 (ZZC)
Owner(s):	NANCY JEAN COHEN ROBERT JOHN GALLANT	Ward:	Trinity-Spadina (19)
Agent:	ROBERT JOHN GALLANT	Heritage:	Not Applicable
Property Address:	<b>48 DEWSON ST</b>	Community:	Toronto
Legal Description:	PLAN 329 BLK O PT LOT 3 PT LOT 4		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

#### **THE CONSENT REQUESTED:**

To obtain consent to sever the property into two residential lots.

#### **THE CONSENT REQUESTED:**

To obtain a consent to sever the property into two residential lots.

#### **Conveyed – Part 2, Draft R-Plan**

##### **48 Dewson Street**

The lot frontage is 6.64 m and the lot area is 267.7 m<sup>2</sup>.

The existing two-storey semi-detached triplex will remain and requires variances to the Zoning By-law as outlined in application A0248/17TEY.

#### **Retained – Part 1, Draft R-Plan**

##### **48A Dewson Street**

The lot frontage is 8.59 m and the lot area is 346.3 m<sup>2</sup>.

The existing two-storey semi-detached triplex will remain and requires variances to the Zoning By-law as outlined in application A0249/17TEY.

**File Numbers B0021/17TEY, A0248/17TEY & A0249/17TEY were considered jointly.**

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Consent Application is Approved on Condition**

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the transaction as shown on the plan filed with the Committee of Adjustment on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services.
- (3) Confirmation that servicing arrangements shall be to the satisfaction of the Manager, Engineering & Construction Services, Toronto and East York District.
- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services.
- (4) **One electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services.
- (5) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act* as it pertains to the conveyed land and/or consent transaction.

**SIGNATURE PAGE**

File Number:	B0021/17TEY	Zoning	R (d0.6)(X735) & R2 Z0.6 (ZZC)
Owner(s):	NANCY JEAN COHEN ROBERT JOHN GALLANT	Ward:	Trinity-Spadina (19)
Agent:	ROBERT JOHN GALLANT	Heritage:	Not Applicable
Property Address:	<b>48 DEWSON ST</b>	Community:	Toronto
Legal Description:	PLAN 329 BLK O PT LOT 3 PT LOT 4		

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Michael Clark (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 10, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0248/17TEY	Zoning	R (d0.6)(x735) & R2 Z0.6 (ZZC)
Owner(s):	NANCY JEAN COHEN ROBERT JOHN GALLANT	Ward:	Trinity-Spadina (19)
Agent:	ROBERT JOHN GALLANT	Heritage:	Not Applicable
Property Address:	<b>48 DEWSON ST (PART 2)</b>	Community:	Toronto
Legal Description:	PLAN 329 BLK O PT LOT 3 PT LOT 4		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To maintain the existing two-storey semi-detached triplex and to convert the existing semi-detached garage in the rear yard into a garden shed, on a lot as described in Consent Application B0021/17TEY.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 200.5.10.1, By-law 569-2013**  
A minimum of three parking spaces are required to be provided.  
In this case, no parking spaces will be provided.
- Chapter 10.5.40.60.(7)(b), By-law 569-2013**  
Roof eaves are permitted to project 0.9 m provided they are no closer than 0.3 m to a lot line.  
In this case, the roof eaves will be located 0.10 m from the lot line.
- Chapter 10.5.60.20, By-law 569-2013**  
The required minimum setback from a rear lot line for an ancillary building or structure is 0.3 m.  
The rear garden storage shed will be located 0.17 m from the rear lot line.
- Chapter 10.10.20.40.(1), By-law 569-2013**  
A semi-detached triplex is not a permitted residential building type in the Residential Zone.  
In this case, a semi-detached triplex will be a permitted building type.
- Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.6 times the area of the lot (160.62 m<sup>2</sup>).  
The semi-detached triplex will have a floor space index equal to 1.25 times the area of the lot (336.29 m<sup>2</sup>).

- 6. Chapter 10.10.60.70.(1), By-law 569-2013**  
The maximum permitted lot coverage of an ancillary building or structure is 5% of the area of the lot (13.38 m<sup>2</sup>).  
The rear garden storage shed will have a lot coverage equal to 12% of the area of the lot (34.3 m<sup>2</sup>).
- 1. Section 6(3) Part II 5(I), By-law 438-86**  
The maximum permitted building depth is 14.0 m.  
The semi-detached triplex will have a depth of 18.59 m.
- 2. Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted gross floor area is 0.6 times the area of the lot (160.62 m<sup>2</sup>).  
The semi-detached triplex will have a residential gross floor area equal to 1.25 times the area of the lot (336.29 m<sup>2</sup>).
- 3. Section 6(3) Part II 3(I), By-law 438-86**  
The minimum required side lot line setback where the side wall contains openings is 1.2 m.  
The semi-detached triplex will be located 0.62 m from the east side lot line.
- 4. Section 4(4)(b), By-law 438-86**  
A minimum of three parking spaces are required to be provided.  
In this case, no parking spaces will be provided.
- 5. Section 6(3) Part I 2, By-law 438-86**  
An accessory building is permitted a maximum floor area no greater than 5% of the lot area of the lot (13.38 m<sup>2</sup>).  
The rear garden shed will have a gross floor area equal to 12% of the area of the lot (23.3 m<sup>2</sup>).
- 6. Section 6(3) Part II 7(I), By-law 438-86**  
The minimum required setback of an accessory structure to all lot lines is 3.0 m.  
The rear garden storage shed will be located 0.17 m from the north lot line, 0 m from the west lot line and 0.86 m from the east side lot line.

**File Numbers B0021/17TEY, A0248/17TEY & A0249/17TEY were considered jointly.**

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

### **The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0248/17TEY	Zoning	R (d0.6)(x735) & R2 Z0.6 (ZZC)
Owner(s):	NANCY JEAN COHEN ROBERT JOHN GALLANT	Ward:	Trinity-Spadina (19)
Agent:	ROBERT JOHN GALLANT	Heritage:	Not Applicable
Property Address:	<b>48 DEWSON ST (PART 2)</b>	Community:	Toronto
Legal Description:	PLAN 329 BLK O PT LOT 3 PT LOT 4		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0249/17TEY	Zoning	R (d0.6)(X735) & R2 Z0.6 (ZZC)
Owner(s):	NANCY JEAN COHEN ROBERT JOHN GALLANT	Ward:	Trinity-Spadina (19)
Agent:	ROBERT JOHN GALLANT	Heritage:	Not Applicable
Property Address:	<b>48 DEWSON ST (PART 1)</b>	Community:	Toronto
Legal Description:	PLAN 329 BLK O PT LOT 3 PT LOT 4		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To maintain the existing two-storey semi-detached triplex and existing semi-detached garage in the rear yard on a lot as described in Consent Application B0021/17TEY.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.50.10.(3), By-law 569-2013**  
A minimum of 50% (54 m<sup>2</sup>) of the rear yard shall be maintained as soft landscaping.  
In this case, 0% (0 m<sup>2</sup>) of the rear yard will be maintained as soft landscaping.
- 2. Chapter 200.5.10.1, By-law 569-2013**  
A minimum of three parking spaces are required to be provided.  
In this case, two parking spaces will be provided in the existing rear garage.
- 3. Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.6 times the area of the lot (207.54 m<sup>2</sup>).  
The semi-detached triplex will have a floor space index equal to 0.98 times the area of the lot (339.96 m<sup>2</sup>).
- 4. Chapter 10.10.20.10.(1), By-law 569-2013**  
A semi-detached triplex is not a permitted use in the Residential Zone.  
In this case, a semi-detached triplex will be a permitted.



**1. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area is 0.6 times the area of the lot (207.54 m<sup>2</sup>).  
The semi-detached triplex will have a residential gross floor area equal to 0.98 times the area of the lot (339.96 m<sup>2</sup>).

**2. Section 6(3) Part II 5(I), By-law 438-86**

The maximum permitted building depth is 14.0 m.  
The semi-detached triplex will have a depth of 18.59 m.

**3. Section 6(3) Part III 1(a), By-law 438-86**

A minimum of 30% of the lot area (103.77 m<sup>2</sup>) shall be landscaped open space.  
In this case, 13.82% of the lot area (47.8 m<sup>2</sup>) will be landscaped open space.

**4. Section 4(4)(b), By-law 438-86**

A minimum of three parking spaces are required to be provided.  
In this case, two parking spaces will be provided in the existing rear garage.

**File Numbers B0021/17TEY, A0248/17TEY & A0249/17TEY were considered jointly.**

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0249/17TEY	Zoning	R (d0.6)(X735) & R2 Z0.6 (ZZC)
Owner(s):	NANCY JEAN COHEN ROBERT JOHN GALLANT	Ward:	Trinity-Spadina (19)
Agent:	ROBERT JOHN GALLANT	Heritage:	Not Applicable
Property Address:	<b>48 DEWSON ST (PART 1)</b>	Community:	Toronto
Legal Description:	PLAN 329 BLK O PT LOT 3 PT LOT 4		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A1164/16TEY	Zoning:	File Number:
Owner(s):	NICOLA MARY MACINTYRE COLIN JAMES BROWN	Ward:	Owner(s):
Agent:	ELISA JANSEN	Heritage:	Agent:
Property Address:	<b>77 CORLEY AVE</b>	Community:	Property Address:
File Number:	A1164/16TEY		

Notice was given and a Public Hearing was held on **Wednesday, June 14, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new three-storey semi-detached dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index of a semi-detached dwelling is 0.6 times the area of the lot (119.64 m<sup>2</sup>).  
The new semi-detached dwelling will have a floor space index equal to 1.34 times the area of the lot (267.10 m<sup>2</sup>).
- Chapter 10.10.40.70.(1), By-law 569-2013**  
The minimum required front yard setback is 4.20 m.  
The new semi-detached dwelling will be located 3.64 m from the front lot line, measured to the enclosed area beneath the front porch.
- Chapter 10.10.40.70.(2), By-law 569-2013**  
The minimum required rear yard setback is 7.5 m.  
The new semi-detached dwelling will be located 5.67 m from the rear lot line.
- Chapter 200.5.1.10.(2), By-law 569-2013**  
The required parking space must have a minimum width of 2.9 m.  
The west side yard parking space will measure 2.2 m in width.

- 1. Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted gross floor area of a semi-detached dwelling is 0.6 times the area of the lot (119.64 m<sup>2</sup>).  
The new semi-detached dwelling will have a gross floor area equal to 0.97 times the area of the lot (193.80 m<sup>2</sup>).
- 2. Section 6(3) Part II 2(II), By-law 438-86**  
The minimum required front yard setback is 4.20 m.  
The new semi-detached dwelling will be located 3.64 m from the front lot line, measured to the front porch and roof.
- 3. Section 6(3) Part II 4, By-law 438-86**  
The minimum required rear yard setback is 7.5 m.  
The new semi-detached dwelling will be located 5.67 m from the rear lot line.
- 4. Section 6(3) Part II 3.C(I), By-law 438-86**  
The minimum required side lot line setback of a semi-detached dwelling is 0.45 m where the side wall contains no openings.  
The new semi-detached dwelling will be located 0.0 m from the east side lot line.
- 5. Section 6(3) Part II 3(I), By-law 438-86**  
The minimum required setback from the side wall of an adjacent building that does not contain any openings is 0.9 m.  
The new semi-detached dwelling will be located 0.0 m from the side wall of the east adjacent building.
- 6. Section 4(4)(c)(ii), By-law 438-86**  
The minimum permitted driveway width is 2.6 m.  
In this case, the driveway width will be 2.2 m.
- 7. Section 4(17)(a), By-law 438-86**  
The minimum required width of a parking space is 2.9 m.  
The west side yard parking space will measure 2.2 m wide.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Where there are no existing street trees, the owner shall submit a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application or elsewhere in the community if there is no space, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) The new three-storey dwelling shall be constructed substantially in accordance with the plans date stamped received by the Committee of Adjustment on November 30, 2016. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.




**SITE STATISTICS**

DESCRIPTION	EXISTING	NEW PROPOSED
Lot Area	199.4m <sup>2</sup> (2,146sf)	199.4m <sup>2</sup> (2,146sf)
Gross Floor Area	124.4m <sup>2</sup> (1,339sf)	193.8m <sup>2</sup> (2,086sf)
Ground Floor Area	61.5m <sup>2</sup> (662sf)	68.3m <sup>2</sup> (735sf)
2nd Floor Area	62.9m <sup>2</sup> (677sf)	75.6m <sup>2</sup> (814sf)
3rd Floor Area	N/A	49.9m <sup>2</sup> (537sf)

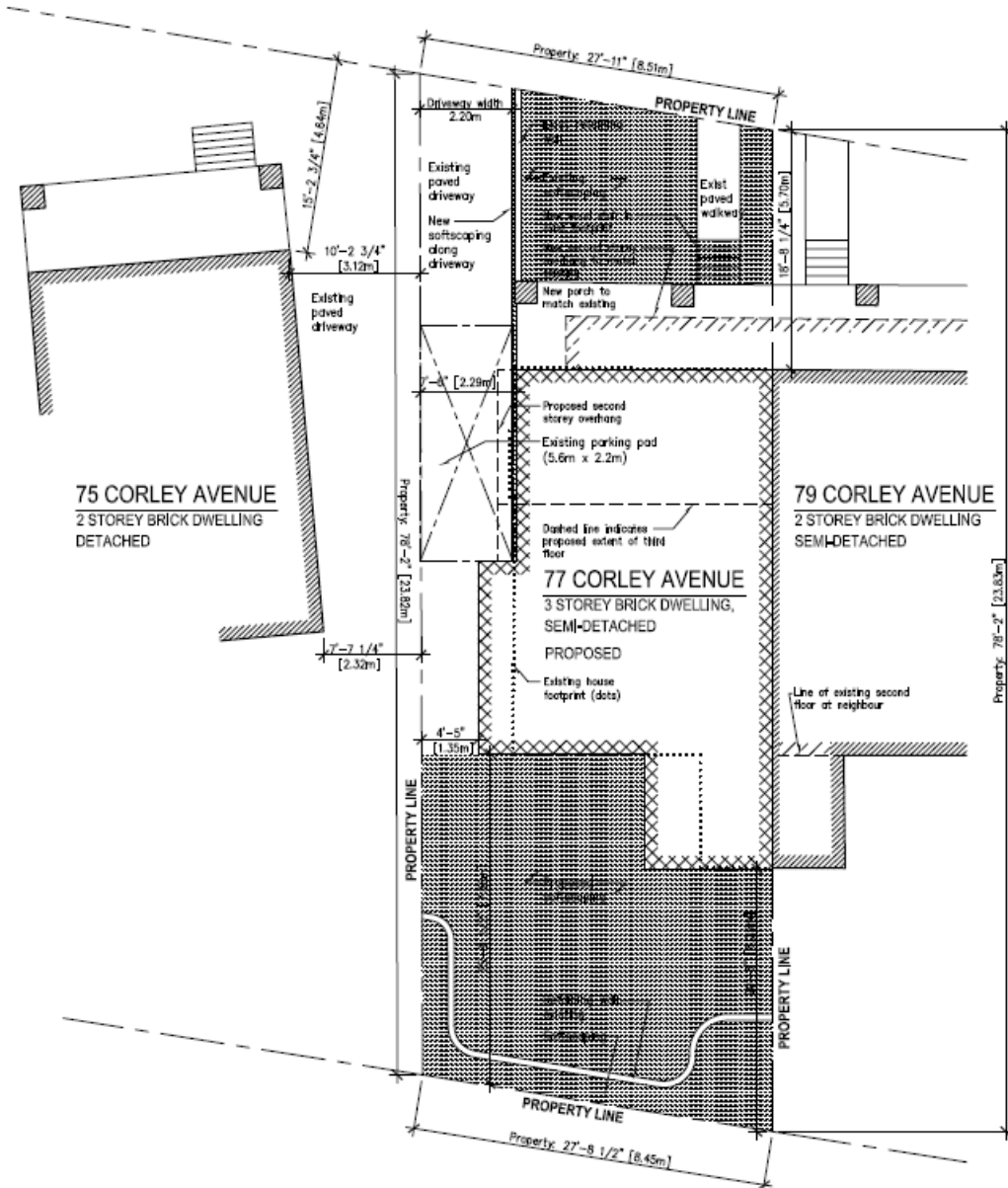
**LANDSCAPING AREAS**

	FRONT YARD	REAR YARD
Total Area	465 sf [43.2m <sup>2</sup> ]	630 sf [58.5m <sup>2</sup> ]
Landscaping Area	272 sf (58%)	N/A
Softscaping Area	235 sf (86%)	610 sf (97%)

 Indicates areas of Softscaping

**SITE PLAN INFORMATION**

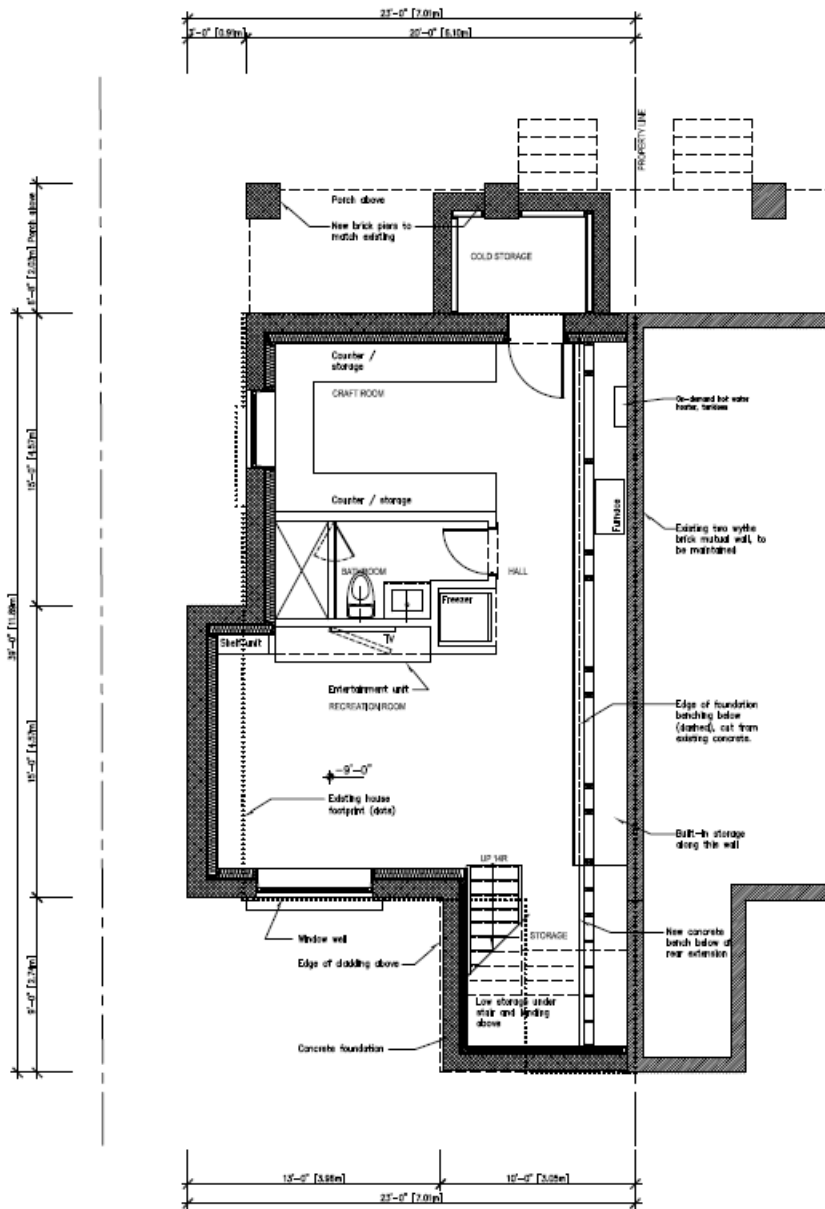
Drawing based on survey prepared by Muckleshane O.L.S., dated June 17, 1924 and survey prepared by Avanti Surveying Inc., dated July 18 2016. Lot 263 & Parts of Lots 261 & 262, Registered Plan no. 485-E, City of Toronto.





LEGEND	
	EXISTING CONDITION
	NEW CONSTRUCTION in foundation where shown
	BUILT-UP POST
	BEAM ABOVE
	JOIST FRAMING ABOVE
	FLOOR DRAIN
	LEVEL CHANGE
	CARBON MONOXIDE DETECTOR
	SMOKE ALARM

All ceiling heights 8'-0" unless otherwise noted.  
For existing conditions, refer to Demolition Permit # 15 215768 DEM 00 DW



**NOT FOR CONSTRUCTION**  
Architects Ltd. 434 Sheppard Ave. E., Toronto M4G 1K5  
416 469 7764 / [info@architects.com](mailto:info@architects.com)

November 20, 2016, Issued for C. of A. Application  
November 21, 2016, Issued for ZC Application Rev1  
November 18, 2016, Progress Issue for Review

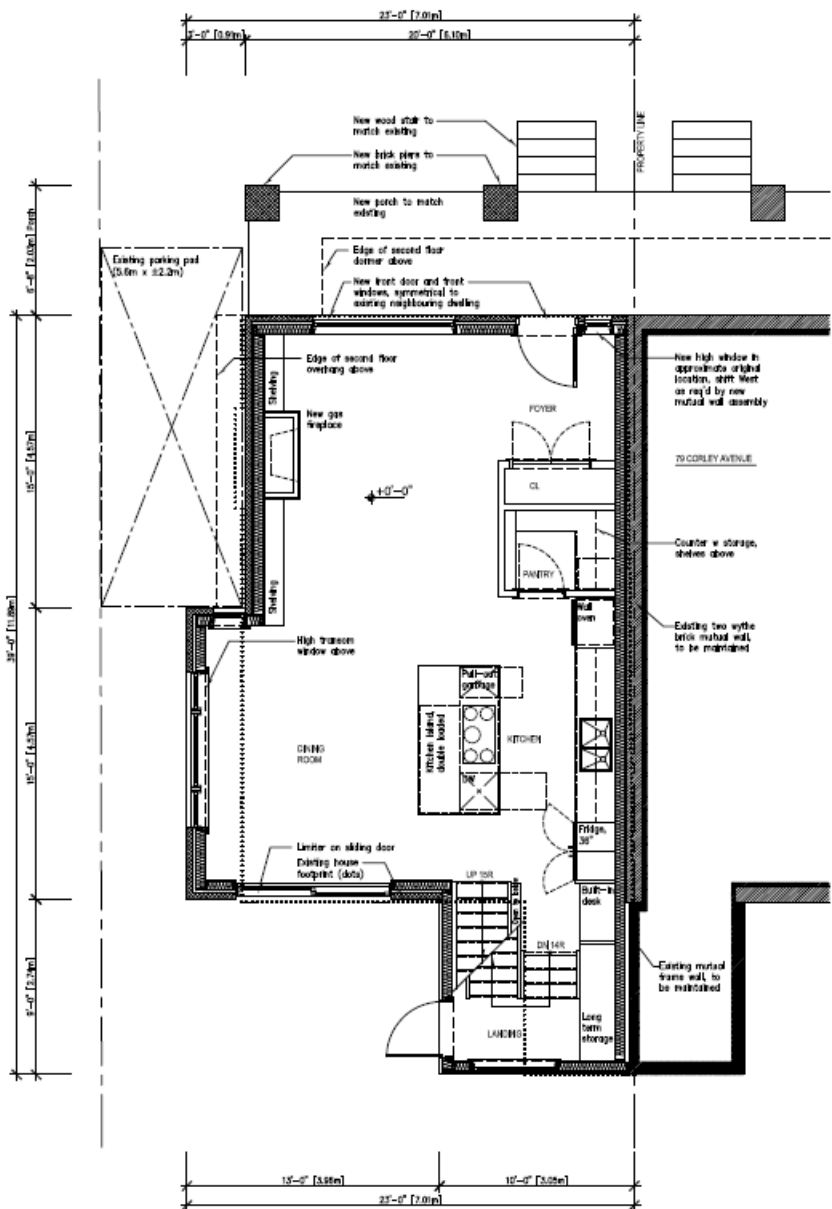
77 GORLEY AVENUE  
PLAN • BASEMENT • PROPOSED  
3/16 • 1/2

**A2.1**



LEGEND	
	EXISTING CONDITION
	NEW CONSTRUCTION w. location where shown
	BUILT-UP POST
	BEAM ABOVE
	JOIST FRAMING ABOVE
	FLOOR DRAIN
	LEVEL CHANGE
	CARBON MONOXIDE DETECTOR
	SMOKE ALARM

All ceiling heights 8'-4" unless otherwise noted.  
For existing conditions, refer to Demolition Permit # 15 215768 DEM 00 DW

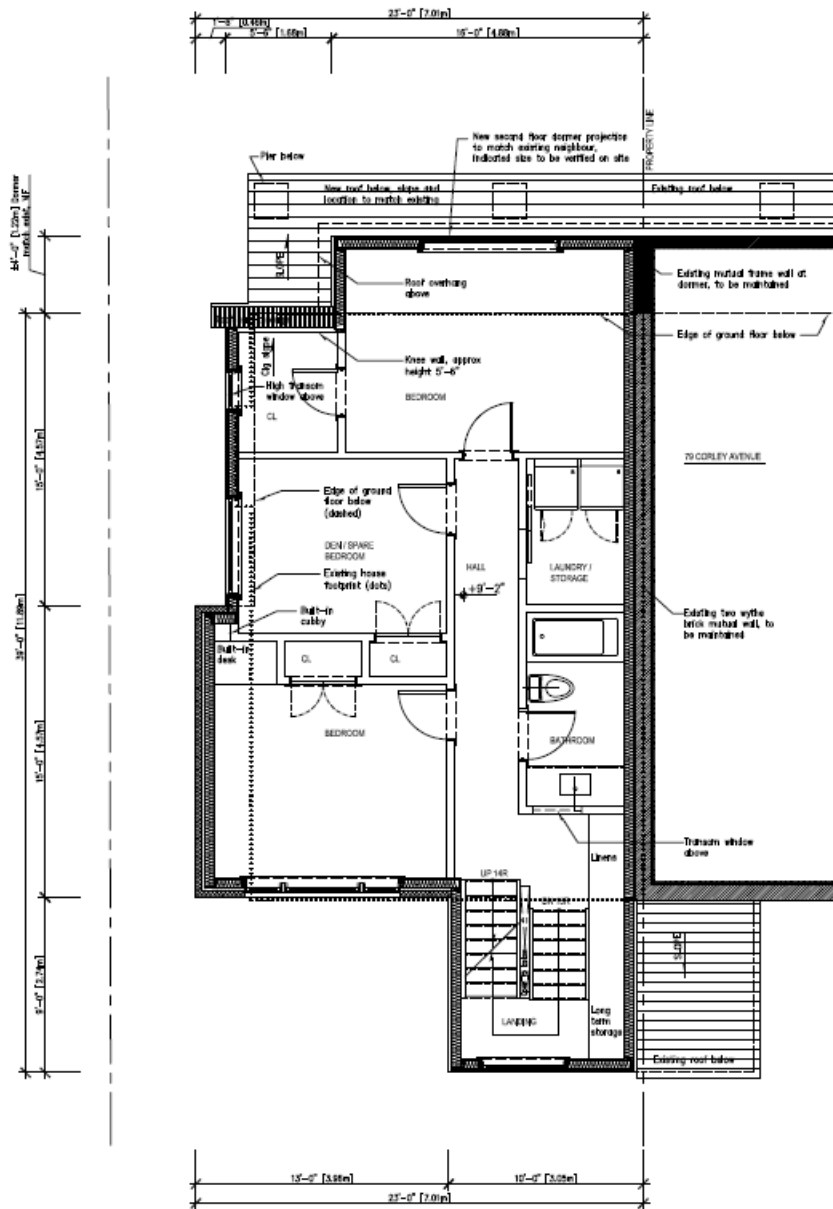






LEGEND	
	EXISTING CONDITION
	NEW CONSTRUCTION or Indication where shown
	BUILT-UP POST
	BEAM ABOVE
	JOIST FRAMING ABOVE
	FLOOR DRAIN
	LEVEL CHANGE
	CARBON MONOXIDE DETECTOR
	SMOKE ALARM

All ceiling heights 7'-10" unless otherwise noted  
 For existing conditions, refer to Demolition Permit # 15 215765 DEM CO DM

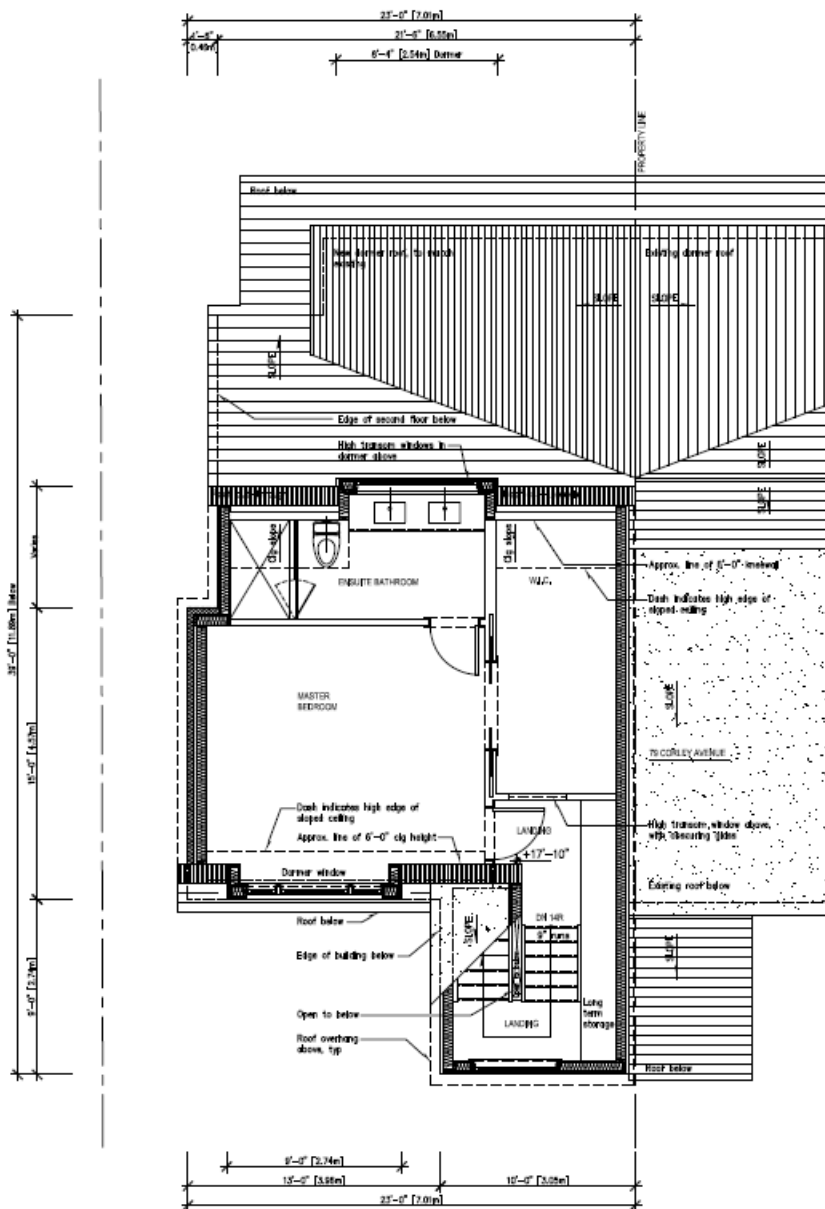




LEGEND	
	EXISTING CONDITION
	NEW CONSTRUCTION or Indication where shown
	BUILT-UP FOOT
	BEAM ABOVE
	JOIST FRAMING ABOVE
	FLOOR DRAIN
	LEVEL CHANGE
	CARBON MONOXIDE DETECTOR
	SMOKE ALARM

All ceiling heights 8'-0" unless otherwise noted

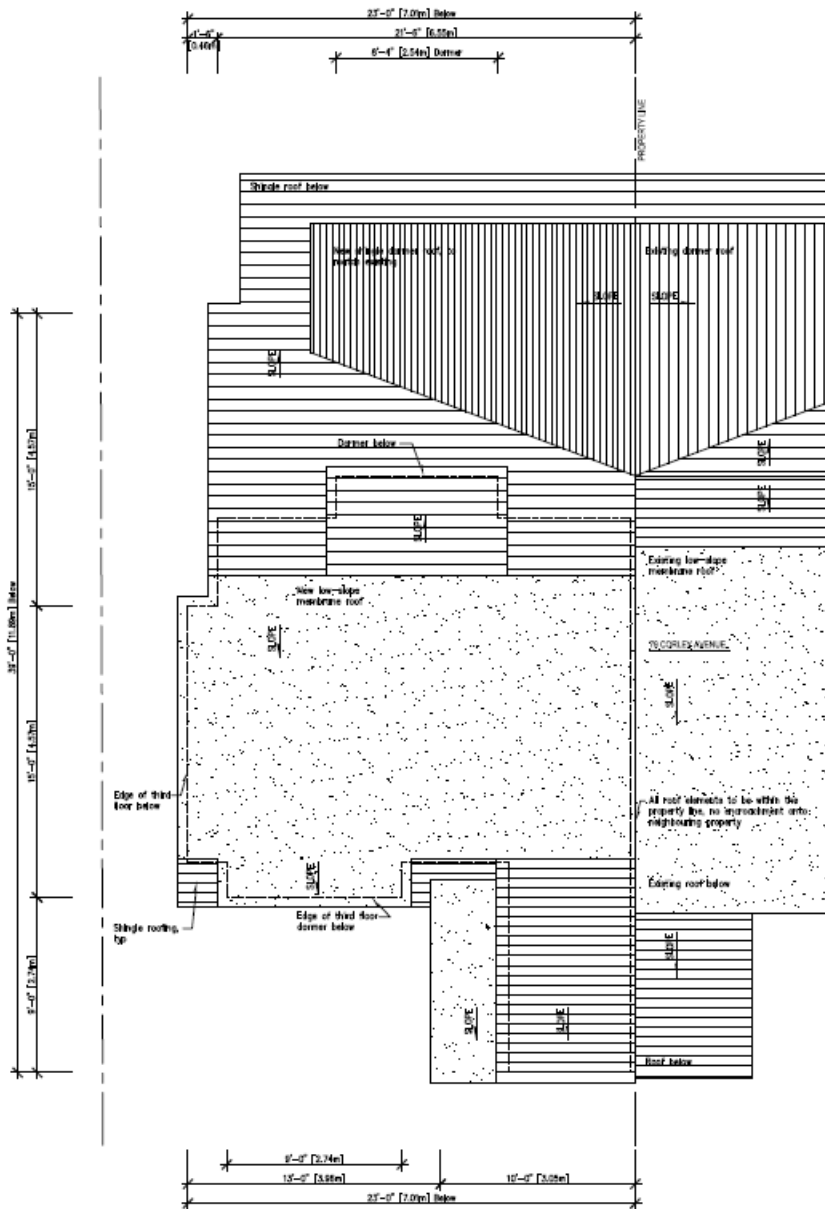
For existing conditions, refer to Demolition Permit # 15 215768 DEM CO DM





LEGEND	
	EXISTING CONDITION
	NEW CONSTRUCTION in hatched where shown
	BUILT-UP FOOT
	SEAM ABOVE
	JOIST FRAMING ABOVE
	FLOOR DRAIN
	LEVEL CHANGE
	CARBON MONOXIDE DETECTOR
	SMOKE ALARM

For existing conditions, refer to Demolition Permit # 18 213766 DEM 00 DM

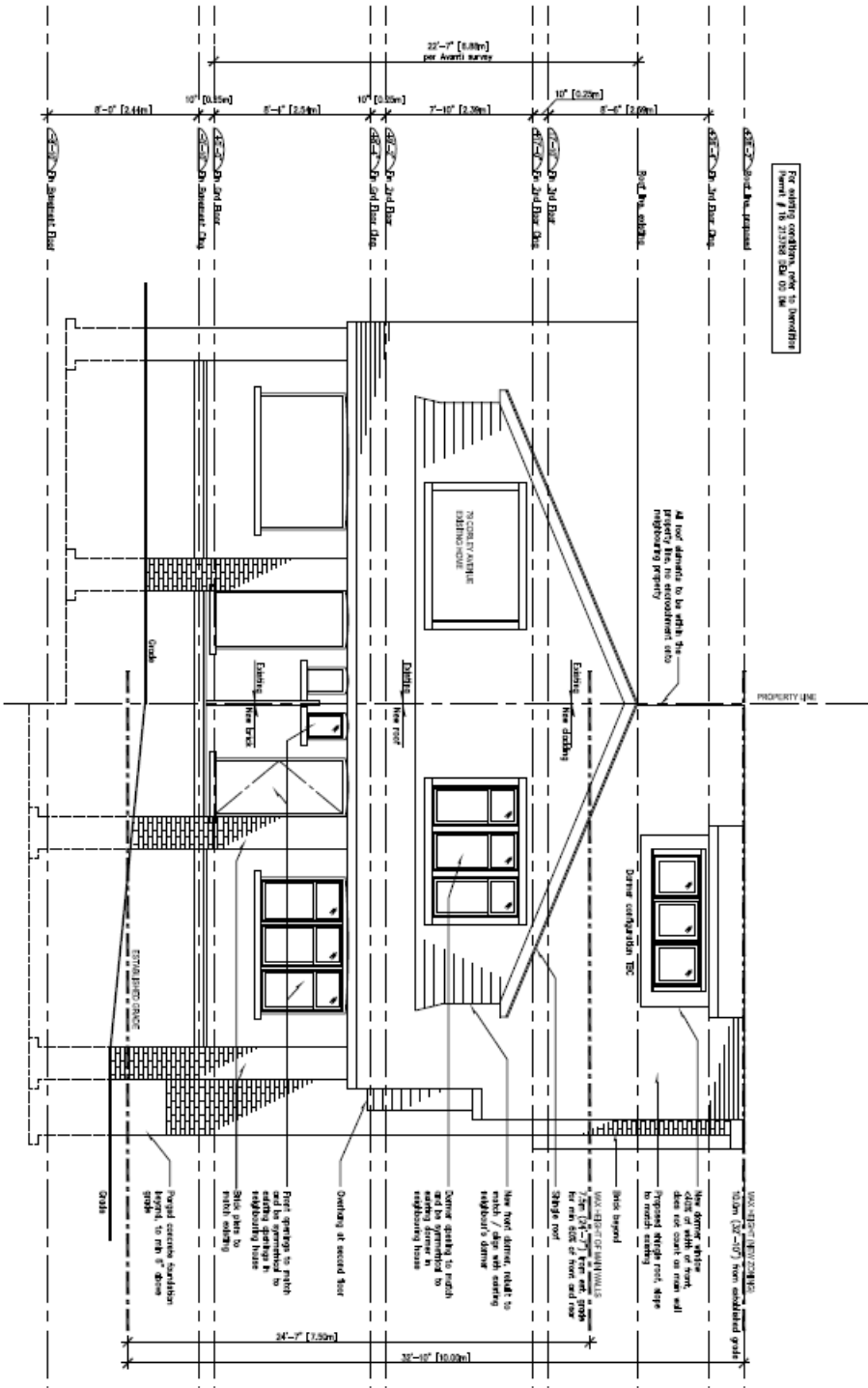


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 Architects Ltd 434 Sheppard Ave., Toronto M4G 1K5  
 416 469 7764 / [info@architects.com](mailto:info@architects.com)

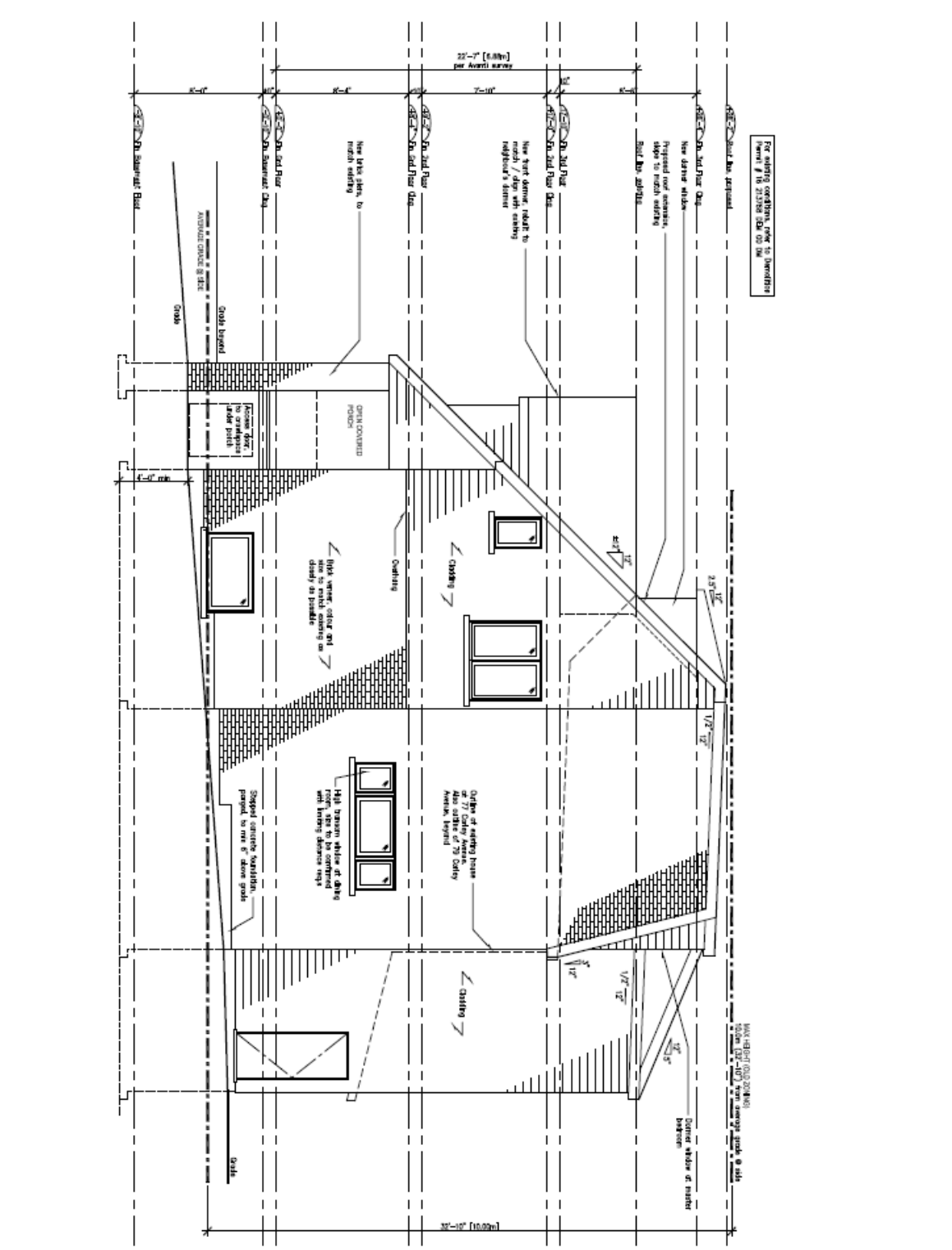
November 20, 2016, Issued for C. of A. Approval  
 November 21, 2016, Issued for ZC Approval/Review  
 November 18, 2016, Progress Issue for Review

77 GORLEY AVENUE  
 PLAN + ROOF + PROPOSED  
 318 + 102

**A2.5**

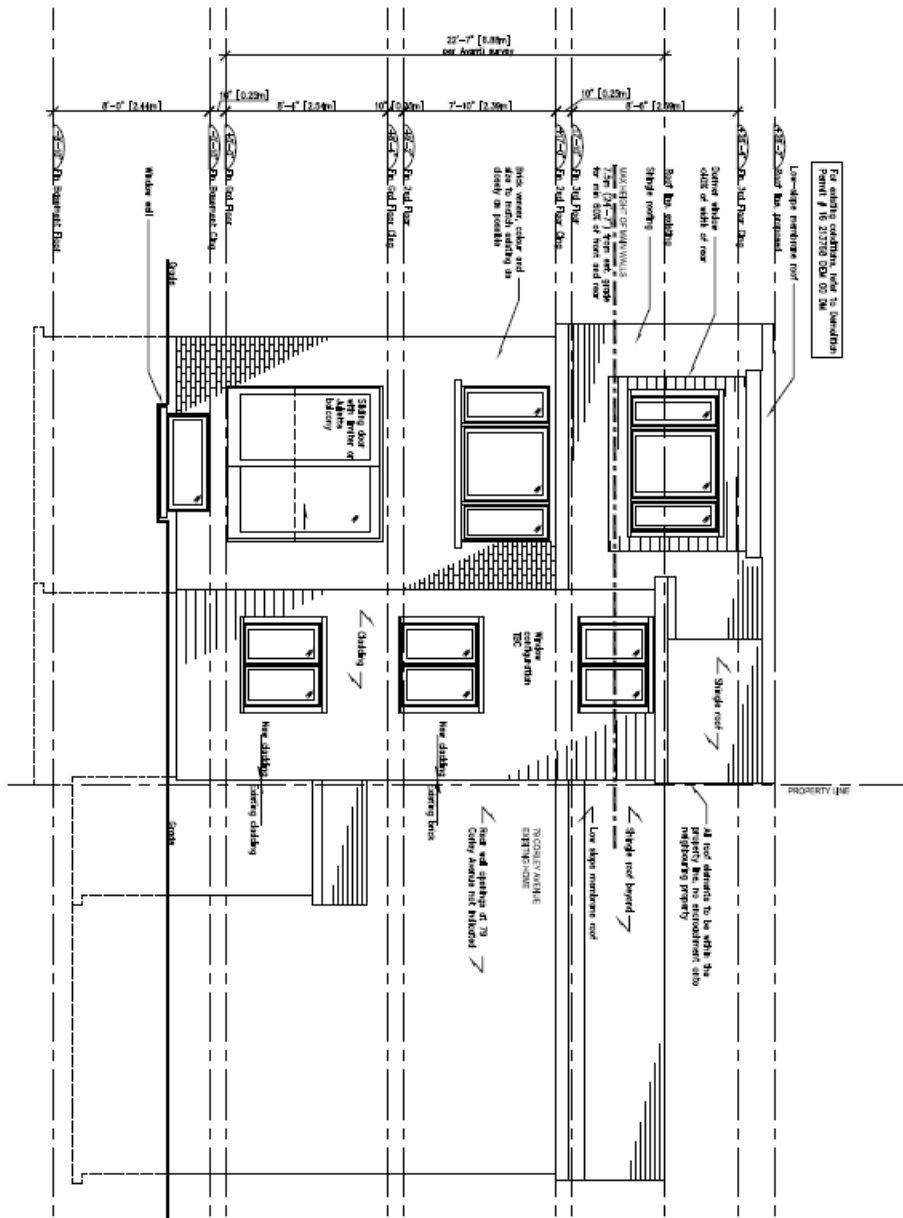


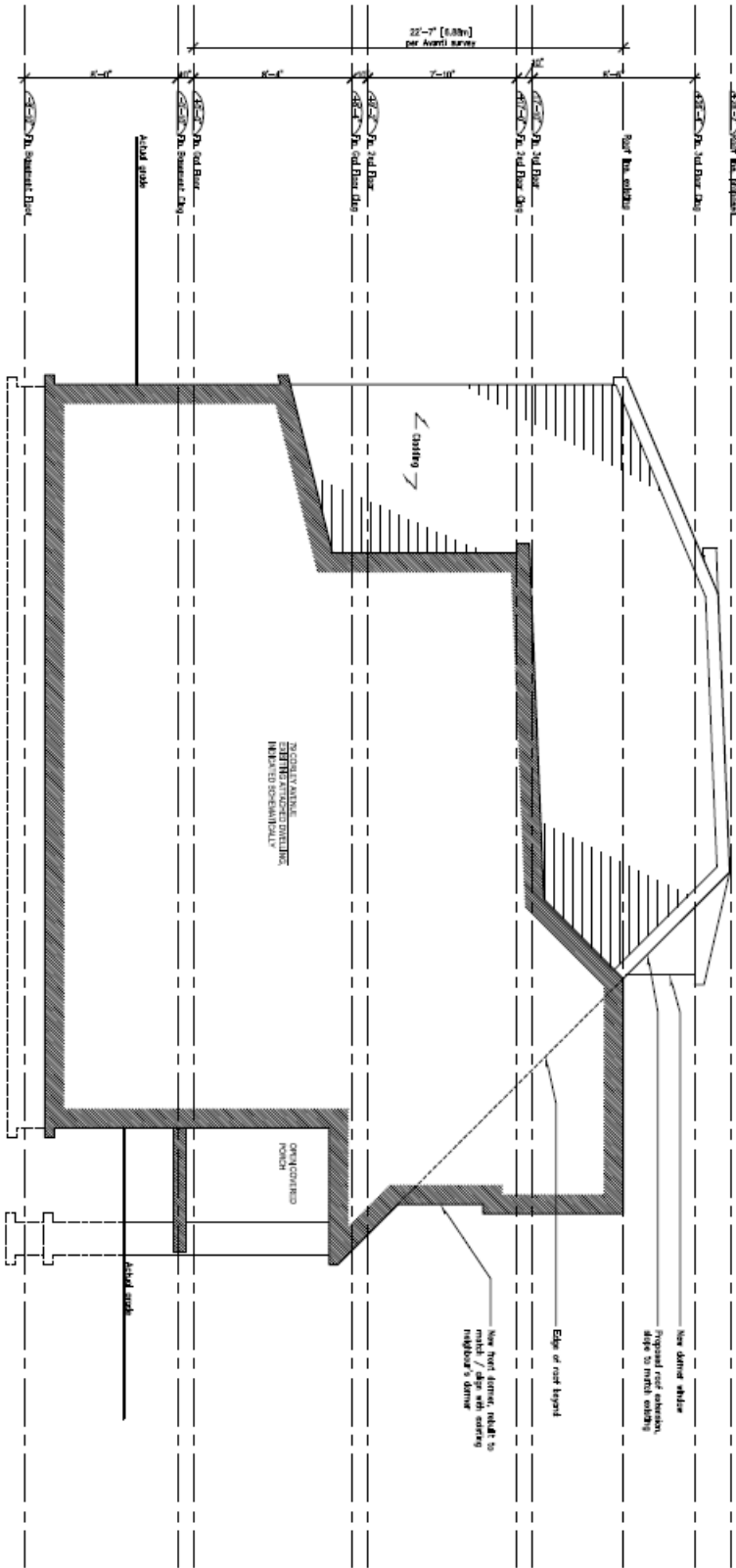
For existing conditions, refer to Development Permit # 18-23389-004 on 16.



For existing conditions, refer to drawings sheets # 18, 23/24, 25A, 25, 26

Vertical height of 20.00m  
Scale: 1/8" = 1'-0" (1:120) from average grade @ site





For existing conditions, refer to Appendix  
 Section 1 to 2/2/2016 02:00:00 PM

**SIGNATURE PAGE**

File Number:	A1164/16TEY	Zoning	File Number:
Owner(s):	NICOLA MARY MACINTYRE COLIN JAMES BROWN	Ward:	Owner(s):
Agent:	ELISA JANSEN	Heritage:	Agent:
Property Address:	<b>77 CORLEY AVE</b>	Community:	Property Address:
File Number:	A1164/16TEY		

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Michael Clark

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Carl Knipfel

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 20, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District