

1. 162 BROCK AVE

File Number:	A0660/16TEY	Zoning	R(d1.0) & R4 Z1.0 (ZZC)
Owner(s):	INGRID RABBA	Ward:	Davenport (18)
Agent:	DAVID BROWN	Heritage:	Not Applicable
Property Address:	162 BROCK AVE	Community:	Toronto
Legal Description:	PLAN 319 PT LOT 9		

PURPOSE OF THE APPLICATION:

To construct a new three-storey detached dwelling with a rear attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Chapter 10.10.40.10.(2)(A), By-law 569-2013**

The maximum permitted height of all front and rear exterior main walls is 7.5 m.
The height of the front and rear exterior main walls will be 9.38 m.

2. **Chapter 10.10.40.30.(1), By-law 569-2013**

The maximum permitted depth is 17.0 m.
The new building will have a depth of 28.15 m measured from the front yard setback to the rear garage main wall.

3. **Chapter 10.10.40.40.(1)(A), By-law 569-2013**

The maximum permitted floor space index is 1.0 times the area of the lot (231.50 m²).
The new building will have a floor space index equal to 1.14 times the area of the lot (263.68 m²).

4. **Chapter 10.10.40.70.(2), By-law 569-2013**

The minimum required rear yard setback is 7.5 m.
The new building will be located 0.61 m from the rear lot line, measured to the rear attached garage wall.

5. **Chapter 10.10.40.70.(3), By-law 569-2013**

The minimum required side yard setback is 0.9 m.
The new building will be located 0.36 m from the south side lot line.

6. **Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013**

Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.6 m.
The front stairs will be located 0.29 m from the east front lot line.

7. **Chapter 10.5.40.60.(7), By-law 569-2013**

Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.
The roof eaves will be located 0.06 m from the south side lot line and 0.10 m from the west side lot line.

8. **Chapter 10.5.50.10.(1)(D), By-law 569-2013**

A minimum of 75% (3.43 m²) of the required front yard landscaped open space shall be in the form of soft landscaping.

In this case, 66.9% (3.06 m²) of the required front yard landscaped open space will be in the form of soft landscaping.

9. Chapter 10.5.40.60.(1)(A) By-law 569-2013

A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required front yard setback 0.81 m if it is no closer to a side lot line than the required side yard setback. The front porch will encroach 1.32 m into the required front yard setback.

1. Section 4(2)(a), By-law 438-86

The maximum permitted building height is 10.0 m.
The new building will have a height of 10.15 m, measured to the top of the skylight.

2. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area is 1.0 times the area of the lot (231.50 m²).
The new building will have a gross floor area equal to 1.14 times the area of the lot (263.68 m²).

3. Section 6(3) Part II 3(II), By-law 438-86

The minimum required setback from the side wall of an adjacent building that contains openings is 1.2 m.
The new building will be located 0.79 m from the side wall of the north adjacent building.

4. Section 6(3) Part II 3.A(I), By-law 438-86

The minimum required setback from a flanking street is 1.25 m.
The new building will be located 0.36 m from the south flanking street (Delaney Crescent).

5. Section 6(3) Part II 3.B(II), By-law 438-86

The minimum required side lot line setback for the portion of the building exceeding a depth of 17.0 m is 7.5 m.
The 11.15 m portion of the new building, exceeding the 17.0 m depth, will be located 0.61 m from the north side lot line and 0.36 m from the south side lot line.

6. Section 6(3) Part II 8 A, By-law 438-86

The maximum permitted projection of the eaves or cornices into the required setbacks is 0.45 m.
The eaves or cornices will project 0.61 m into the south side yard setback and 0.51 m into the west rear yard setback.

7. Section 6(3) Part II 4, By-law 438-86

The minimum required rear yard setback is 7.5 m.
The new building will be located 0.61 m from the rear lot line.

8. Section 6(3) Part III 3(d)(i)D, By-law 438-86

A minimum of 75% (3.43 m²) of the required front yard landscaped open space shall be in the form of soft landscaping.
In this case, 66.9% (3.06 m²) of the required front yard landscaped open space will be in the form of soft landscaping.

The Committee had before it the following communication:

- Copy of the minutes from the October 19, 2016 public hearing and the materials submitted for consideration.

- Copy of plan of survey, revised site plan, floor plans and elevations.
- Covering letter from David Brown, agent, received April 4, 2017.
- Letter requesting withdrawal, from David Brown, agent, received June 6, 2017.

Commenting Agency Reports/Email

- Staff Report from the Director, Community Planning, City Planning, Toronto and East York District, received June 1, 2017.

Support

- Correspondence in support/no opposition from Kathryn Wortsman, 209 Brock Avenue, received June 6, 2017.

Interest/Concern

- Correspondence in concern/interest from:
 - Janet Walker, 6 Delaney Crescent, received May 30, 2017.
 - Nancy Rosa, 164 Brock Avenue, received June 1, 2017.
 - Marc Morissette, 1 Delaney Crescent, received June 1, 2017.
 - Morgan Charles, 1 Delaney Crescent, received June 1, 2017.

Opposition

- Correspondence in opposition from:
 - Marc Lafleur, 152 Brock Avenue, received May 30, 2017.
 - Fatima Botelho de Sousa, 176 Brock Avenue, received June 2, 2017.

The following persons appeared before the Committee of Adjustment in connection with the foregoing matter:

- David Brown, agent, appeared before the Committee to withdraw the application on behalf of the applicants.
- No other person appeared before Committee in interest.

MOTION:

It was moved by Carl Knipfel, seconded by Lisa Valentini, and carried unanimously, that application be **closed** and the application fee NOT be refunded, in accordance with the Committee of Adjustment refund policy.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0677/16TEY	Zoning:	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	VARINDER KAUR DHALIWAL	Ward:	St. Paul's (22)
Agent:	HOSSEIN EFTEKHARI	Heritage:	Not Applicable
Property Address:	14 WHITEWOOD RD	Community:	Toronto
Legal Description:	PLAN 590E PT LOT 133		

Notice was given and a Public Hearing was held on **Wednesday, June 7, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.40.10.(1)(A), By-law 569-2013

The maximum permitted height of a building or structure is 9.0 m.

The new two-storey detached dwelling will have a building height of **9.2 m**.

2. Chapter 10.10.40.70.(1), By-law 569-2013

The minimum required front yard setback is 4.68 m.

The new two-storey detached dwelling will be located 4.11 m from the east front lot line.

3. Chapter 10.10.40.40.(1)(A), By-law 569-2013.

The maximum permitted floor space index is 0.6 times the area of the lot (221.74 m²).

The new two-storey detached dwelling will have a floor space index equal to 0.68 times the area of the lot (252.68 m²).

1. Section 6(3) Part I 1, By-law 438-86

The maximum permitted residential gross floor area is 0.6 times the area of the lot (221.71 m²).

The new two-storey detached dwelling will have a floor space index equal to 0.68 times the area of the lot (252.68 m²).

2. Section 6(3) Part II 2(II), By-law 438-86

The minimum required front yard setback for a building on the inside lot is 4.68 m.

The new two-storey detached dwelling will be located 4.11 m from the east front lot line.

3. Section 6(3) Part II 8 D(I), By-law 438-86

The maximum permitted height of an uncovered platform which projects into the required setback is 1.2 m above grade.

The new rear deck will be 2.2 m above grade.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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SIGNATURE PAGE

File Number:	A0677/16TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	VARINDER KAUR DHALIWAL	Ward:	St. Paul's (22)
Agent:	HOSSEIN EFTEKHARI	Heritage:	Not Applicable
Property Address:	14 WHITEWOOD RD	Community:	Toronto
Legal Description:	PLAN 590E PT LOT 133		

Michael Clark (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, JUNE 13, 2017**

LAST DATE OF APPEAL: **TUESDAY, JUNE 27, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1037/16TEY	Zoning	R (d0.6)(x930) & R2 Z0.6 (ZZC)
Owner(s):	FATEMEH SABETZADEH SEYED-MEHDI SADROSSADAT-ZADEH	Ward:	St. Paul's (22)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	4 WHITEWOOD RD	Community:	Toronto
Legal Description:	PLAN 590E PT LOT 131 PT LOT 132		

Notice was given and a Public Hearing was held on **Wednesday, June 7, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.40.10.(2)(A)(i)(ii), By-law 569-2013**
The maximum permitted height of all front and rear exterior main walls is 7 m.
The height of the front and rear exterior main walls will be 7.9 m.
- Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7 m.
The height of the side exterior main walls facing a side lot line will be 7.9 m.
- Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (139.5 m²).
The new detached dwelling will have a floor space index equal to 0.75 times the area of the lot (175.7 m²).
- Chapter 10.5.50.10.(1)(B), By-law 569-2013**
A minimum of 50% (14.75 m²) of the front yard is required to be landscaping.
In this case, 46% (13.7 m²) of the front yard will be maintained as landscaping.

5. Chapter 10.5.50.10.(1)(D), By-law 569-2013

A minimum of 75% (11.1 m²) of the required front yard landscaped open space shall be in the form of soft landscaping.

In this case, 62% (9.2 m²) of the required front yard landscaped open space will be in the form of soft landscaping.

1. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (139.5 m²).

The new detached dwelling will have a gross floor area equal to 0.75 times the area of the lot (175.7 m²).

2. Section 6(3) Part II 3(II), By-law 438-86

The minimum required setback from the side wall of an adjacent building that contains openings is 1.2 m.

The new detached dwelling will be located 0.46 m from the side wall of the north adjacent building, 6 Whitewood Avenue.

3. Section 6(3) Part III 3(d)(D), By-law 438-86

A minimum of 75% (10.3 m²) of the required front yard landscaped open space shall be in the form of soft landscaping.

In this case, 67% (9.2 m²) of the required front yard landscaped open space will be in the form of soft landscaping.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

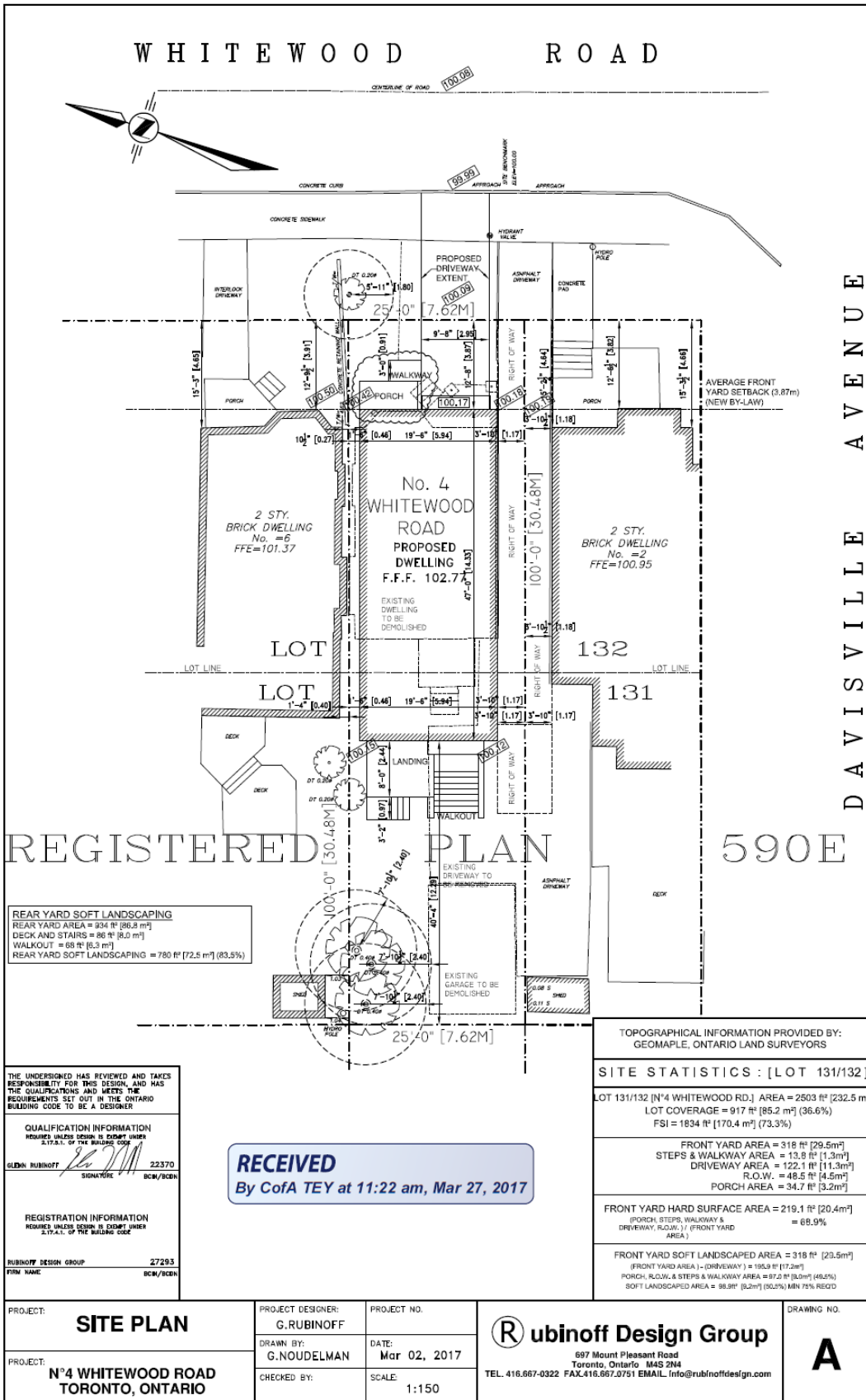
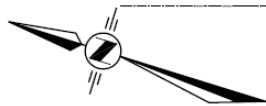
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) The height of the south side exterior main wall facing a side lot line will be 7.9 m, where necessary to allow for a second storey window.

- (3) The new two-storey detached dwelling shall be constructed substantially in accordance with the plans date stamped received by Committee of Adjustment on March 27, 2017. Any variances that may appear on these plans that are NOT listed in the written decision are not authorized.

WHITEWOOD ROAD



REAR YARD SOFT LANDSCAPING
 REAR YARD AREA = 934 ft² [86.8 m²]
 DECK AND STAIRS = 86 ft² [8.0 m²]
 WALKOUT = 88 ft² [8.3 m²]
 REAR YARD SOFT LANDSCAPING = 780 ft² [72.5 m²] (83.8%)

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1. OF THE BUILDING CODE

GLEN RUBINOFF 22370
 SINGAPORE BCM/BCEN

REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1. OF THE BUILDING CODE

RUBINOFF DESIGN GROUP 27293
 FIRM NAME BCM/BCEN

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 By CofA TEY at 11:22 am, Mar 27, 2017

TOPOGRAPHICAL INFORMATION PROVIDED BY:
 GEOMAPLE, ONTARIO LAND SURVEYORS

SITE STATISTICS : [LOT 131/132]

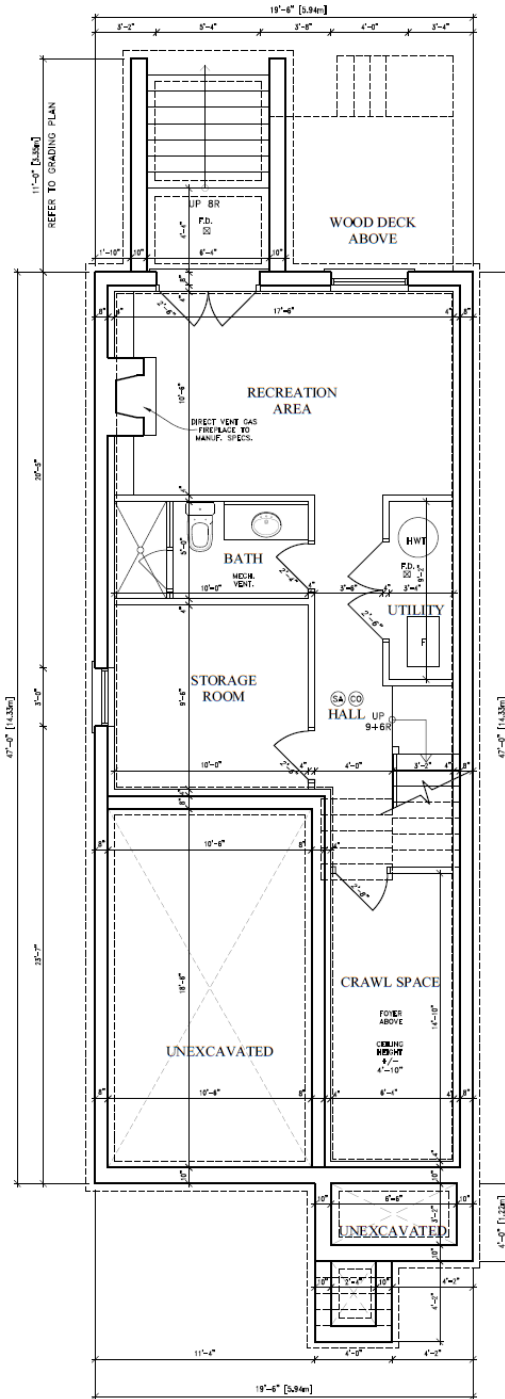
LOT 131/132 [N'4 WHITEWOOD RD.] AREA = 2503 ft² [232.5 m²]
 LOT COVERAGE = 917 ft² [85.2 m²] (36.6%)
 FSI = 1834 ft² [170.4 m²] (73.3%)

FRONT YARD AREA = 318 ft² [29.5m²]
 STEPS & WALKWAY AREA = 13.9 ft² [1.3m²]
 DRIVEWAY AREA = 122.1 ft² [11.3m²]
 R.O.W. = 48.5 ft [4.5m]
 PORCH AREA = 34.7 ft² [3.2m²]

FRONT YARD HARD SURFACE AREA = 219.1 ft² [20.4m²]
 (PORCH, STEPS, WALKWAY & DRIVEWAY, R.O.W.) / (FRONT YARD AREA) = 68.9%

FRONT YARD SOFT LANDSCAPED AREA = 318 ft² [29.5m²]
 (FRONT YARD AREA - (DRIVEWAY)) = 195.9 ft² [17.2m²]
 PORCH, R.O.W. & STEPS & WALKWAY AREA = 97.2 ft² [9.0m²] (49.2%)
 SOFT LANDSCAPED AREA = 98.9ft² (9.2m²) (50.2%) MIN 75% REQD

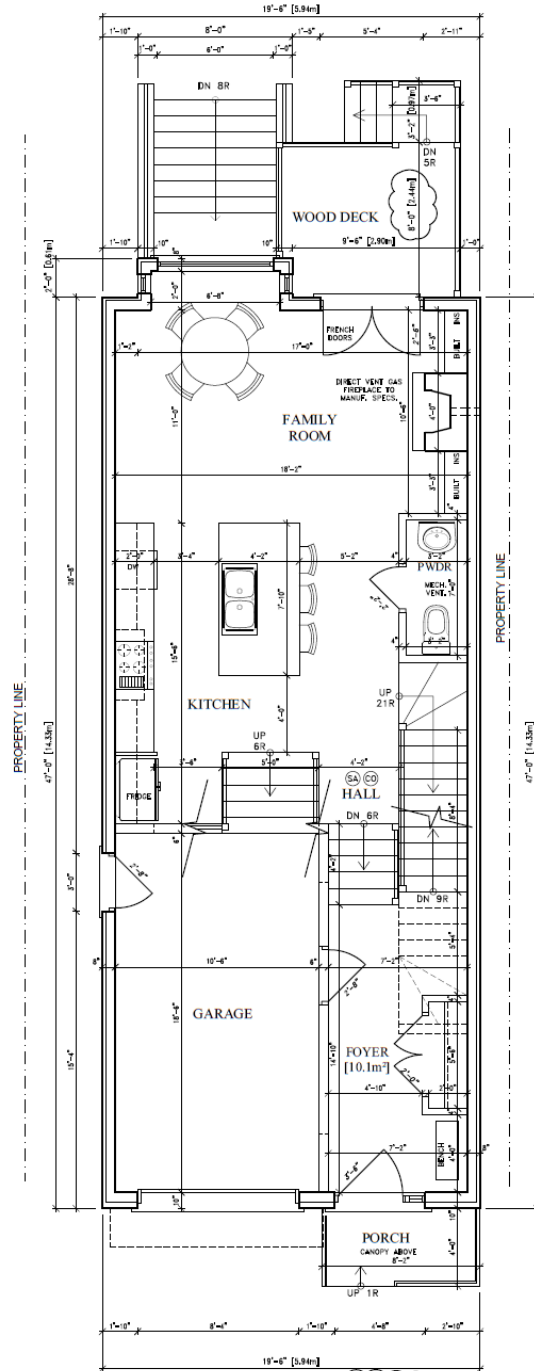
PROJECT: SITE PLAN	PROJECT DESIGNER: G. RUBINOFF	PROJECT NO.	<p>697 Mount Pleasant Road Toronto, Ontario M4S 2N4 TEL. 416.667-0322 FAX.416.667.0751 EMAIL. info@rubinoffdesgn.com</p>	DRAWING NO. A
PROJECT: N'4 WHITEWOOD ROAD TORONTO, ONTARIO	DRAWN BY: G. NOUDELMAN	DATE: Mar 02, 2017		
	CHECKED BY:	SCALE: 1:150		



BASEMENT FLOOR PLAN
- 4 WHITEWOOD ROAD -

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 697 Mount Pleasant Road
 Toronto, Ontario M4S 2N4
 TEL: 416.867.6522 FAX: 416.667.6751 EMAIL: info@rubinoffdesign.com
4 WHITEWOOD ROAD
 SCALE: 3/16" = 1'-0" MARCH 20, 2017



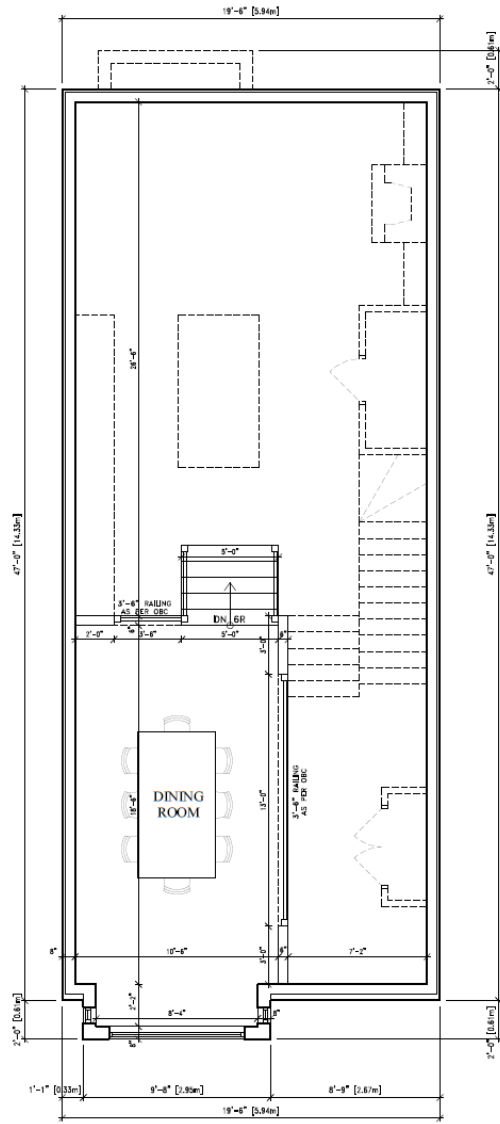
MAIN FLOOR PLAN

- 4 WHITEWOOD ROAD -

MAIN FLOOR AREA:
 GARAGE AREA = 215 ft² [20.0 m²]
 LIVABLE AREA = 702 ft² [65.2 m²]
 COVERAGE = 917 ft² [85.2 m²] (36.6%)
 TOTAL FSI = 1834 ft² [170.4 m²] (73.3%)

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4 WHITEWOOD ROAD
 SCALE: 3/16" = 1'-0" MARCH 20, 2017



DINING (INTERMEDIATE) LEVEL

- 4 WHITEWOOD ROAD -

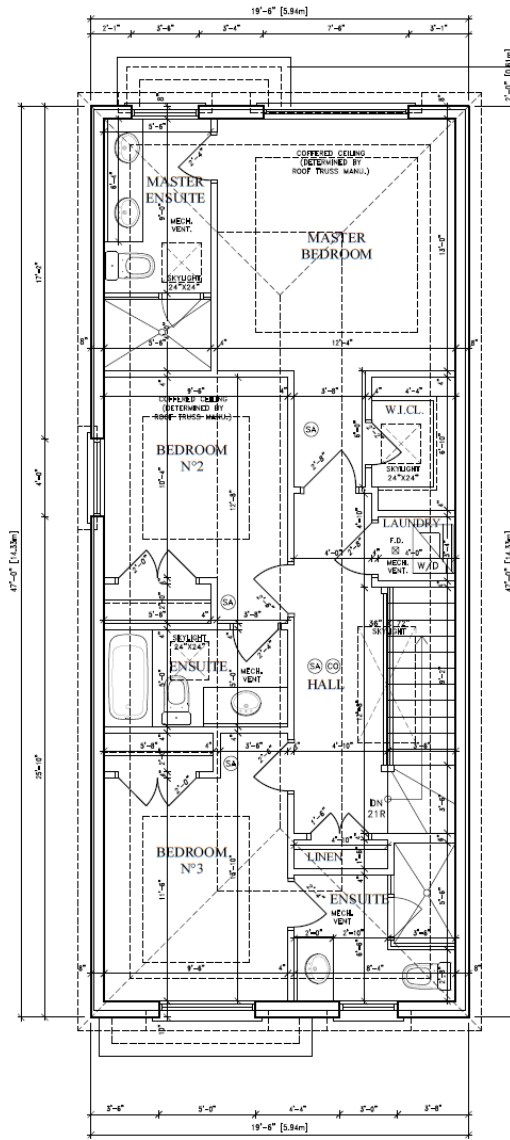
DINING AREA:
LIVABLE AREA = 215 ft² [20.0 m²]

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4 WHITEWOOD ROAD

SCALE: 3/16" = 1'-0" MARCH 20, 2017



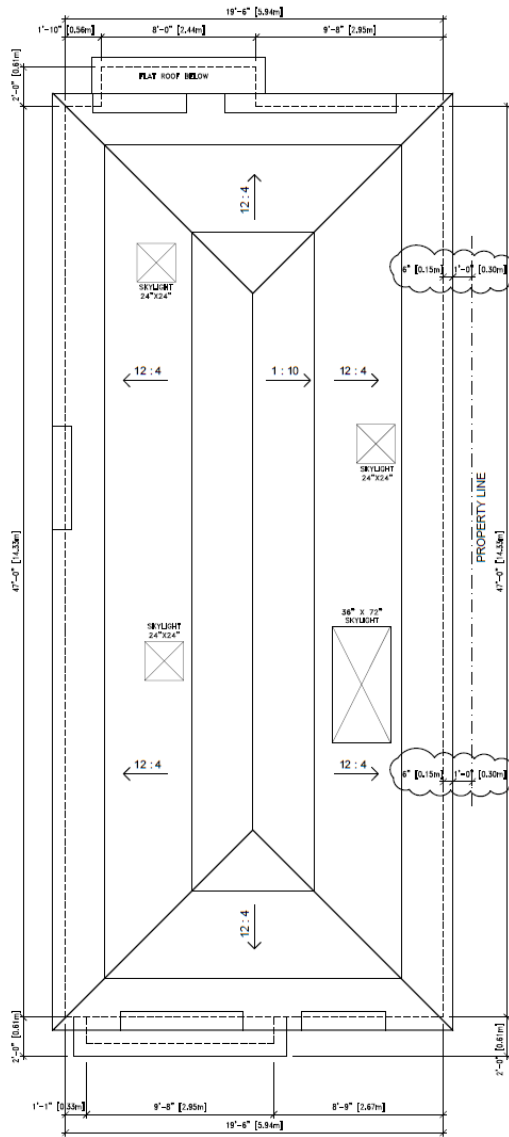
SECOND FLOOR PLAN

2ND FLOOR AREA:
LIVABLE AREA = 917 f² [85.2 m²]

- 4 WHITEWOOD ROAD -

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4 WHITEWOOD ROAD
 SCALE: 3/16" = 1'-0" MARCH 20, 2017



ROOF PLAN

- 4 WHITEWOOD ROAD -

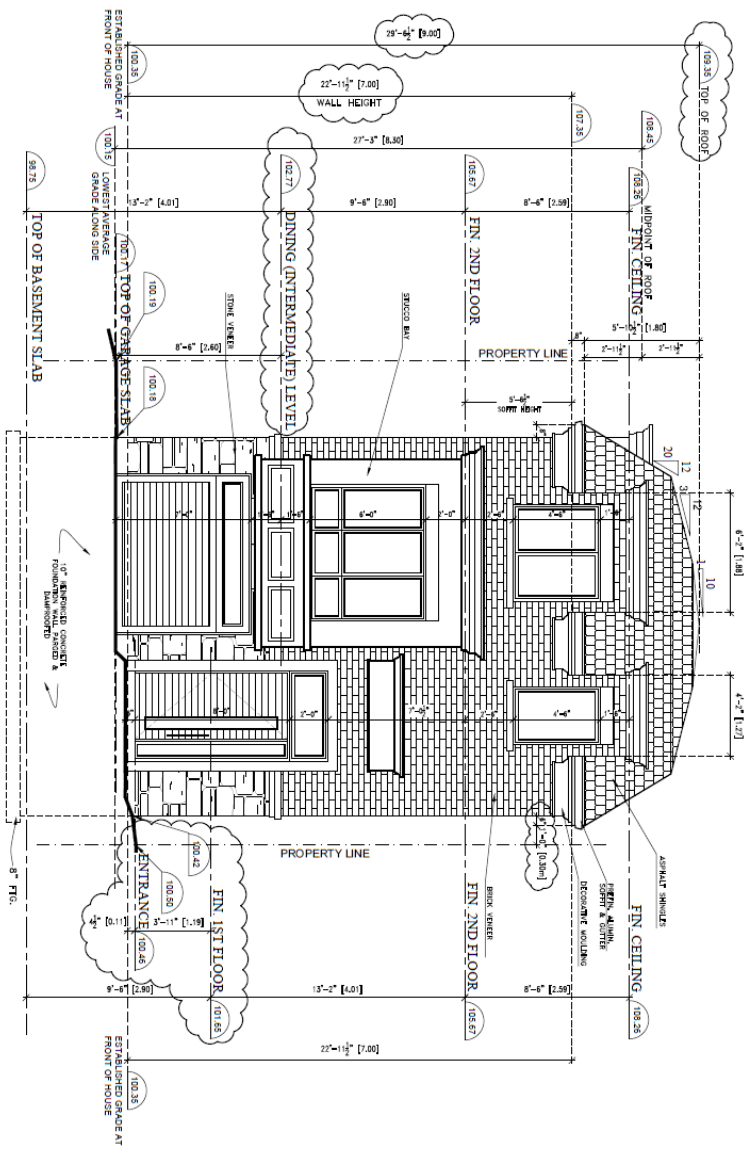
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Toronto, Ontario M4S 2N4
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4 WHITEWOOD ROAD

SCALE: $\frac{3}{16}" = 1'-0"$ MARCH 20, 2017

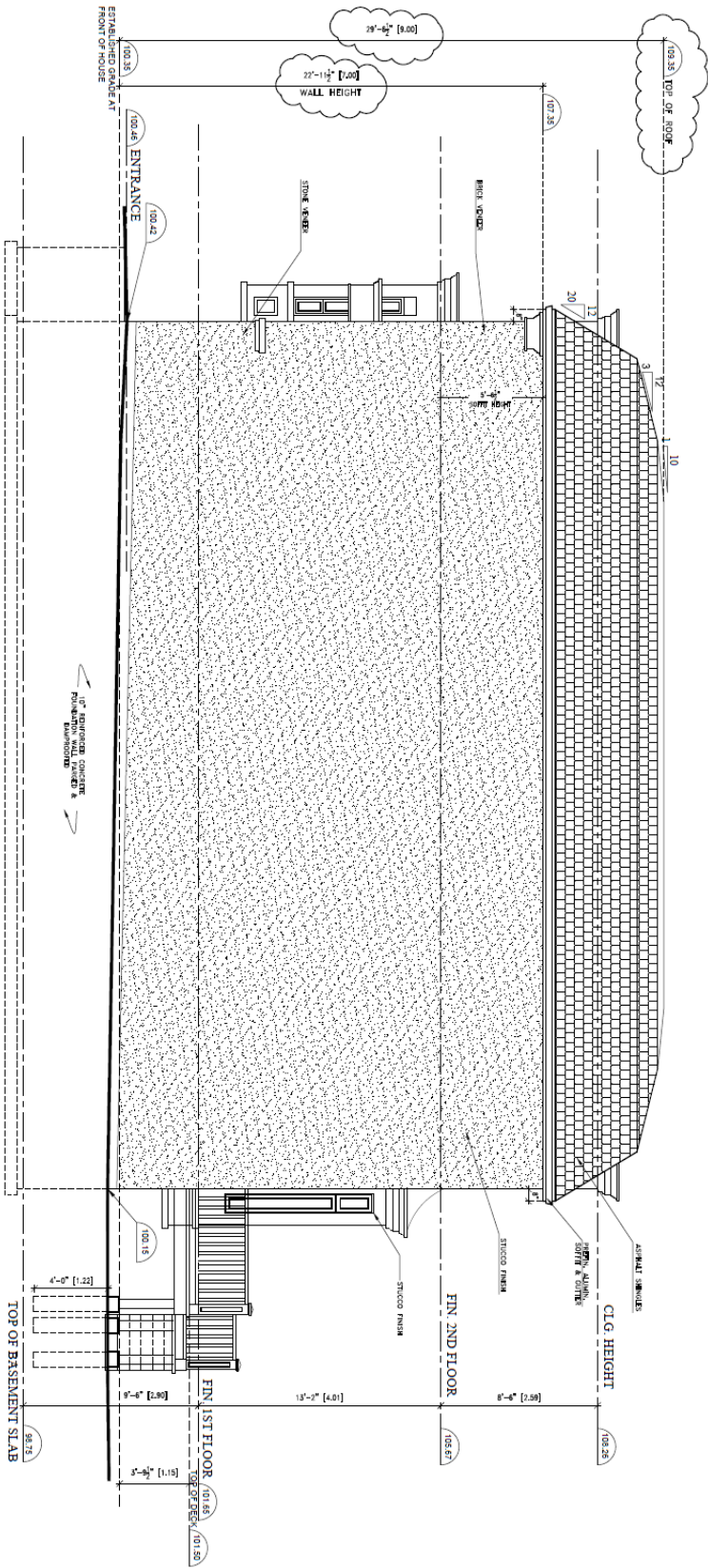
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FRONT (EAST) ELEVATION
 - 4 WHITEWOOD ROAD -

Rubioff Design Group
 697 Mount Pleasant Road
 Toronto, Ontario M8S 2M4
 TEL: (416) 223-7643 FAX: (416) 271-8861 WWW.RUBIOFFDESIGN.COM
 4 WHITEWOOD ROAD
 SCALE: 3/8" = 1'-0" MARCH 20, 2017

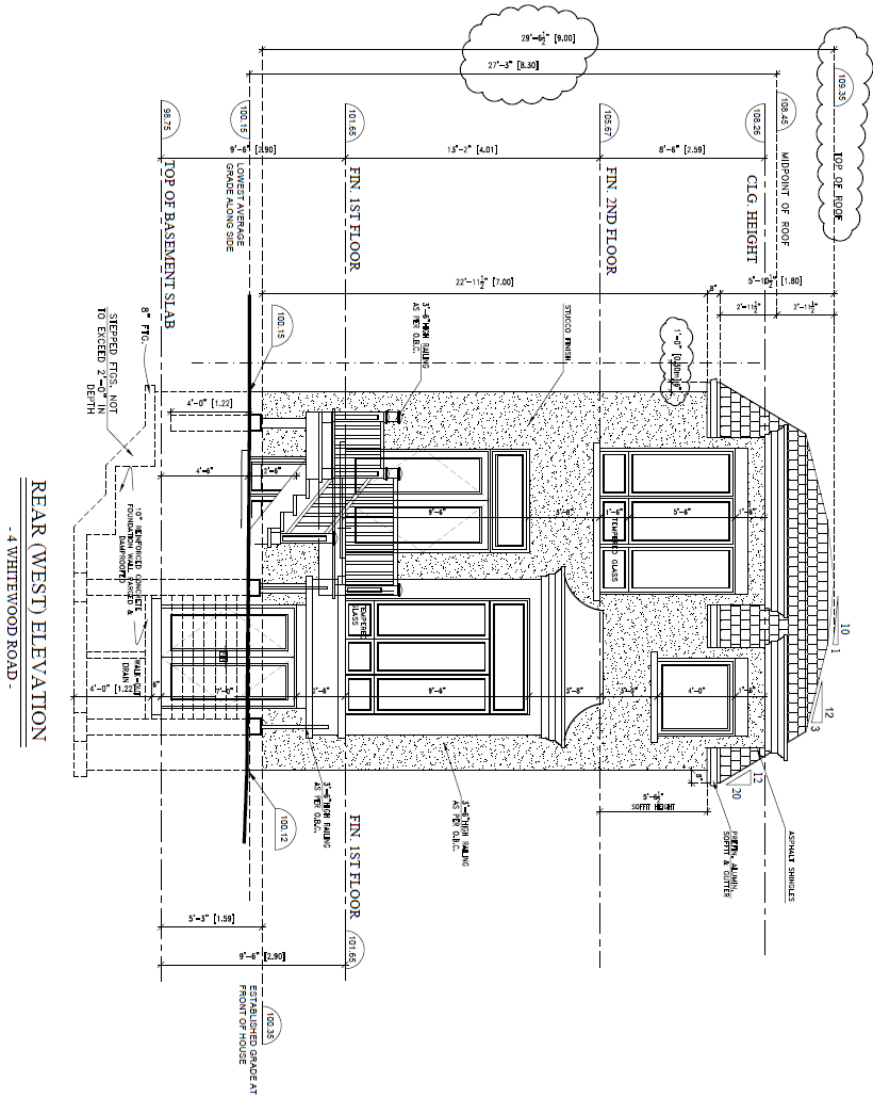
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RIGHT (NORTH) SIDE ELEVATION
 - 4 WHITEWOOD ROAD -

Rubinoft Design Group
 697 Mount Pleasant Road
 Toronto, Ontario M4S 2M4
 TEL: (416) 491-2222 FAX: (416) 491-2771 EMAIL: INFO@RUBINOFF.COM
 4 WHITEWOOD ROAD
 SCALE: 3/8" = 1'-0" MARCH 20, 2017

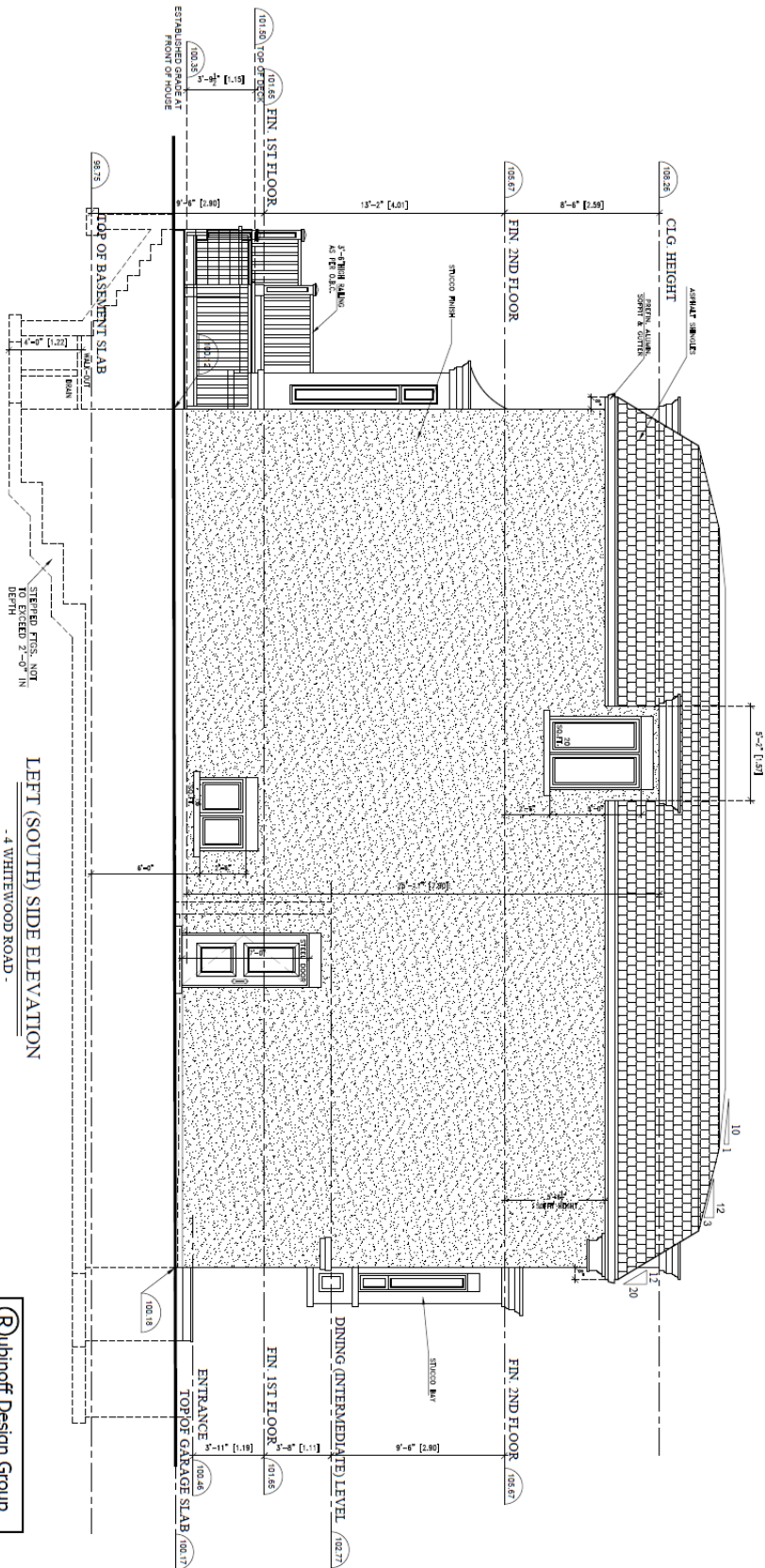
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REAR (WEST) ELEVATION
 - 4 WHITEWOOD ROAD -

Rubinfoff Design Group
 697 Mount Pleasant Road
 Toronto, Ontario M4S 2M4
 TEL: (416) 223-7443 FAX: (416) 291-8846 WWW: WWW.RUBINFOFF.COM
 4 WHITEWOOD ROAD
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LEFT (SOUTH) SIDE ELEVATION
 - 4 WHITEWOOD ROAD -

Rubioff Design Group
 697 Mount Pleasant Road
 Toronto, Ontario M6S 2M4
 TEL: (416) 223-7842 FAX: (416) 291-8861 WWW: RUBIOFFDESIGN.COM
 4 WHITEWOOD ROAD
 SCALE: 1/8" = 1'-0" MARCH 20, 2017

Appeal Information

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SIGNATURE PAGE

File Number:	A1037/16TEY	Zoning	R (d0.6)(x930) & R2 Z0.6 (ZZC)
Owner(s):	FATEMEH SABETZADEH SEYED-MEHDI SADROSSADAT-ZADEH	Ward:	St. Paul's (22)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	4 WHITEWOOD RD	Community:	Toronto
Legal Description:	PLAN 590E PT LOT 131 PT LOT 132		

Michael Clark (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, JUNE 13, 2017**

LAST DATE OF APPEAL: **TUESDAY, JUNE 27, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1089/16TEY	Zoning	RD(f15.0; d0.6)(x1438) & R1 Z0.6 (BLD)
Owner(s):	NARENDRA ARMOGAN	Ward:	Toronto Centre-Rosedale (27)
Agent:	VELTA MUSSELLAM	Heritage:	Designated
Property Address:	31 MAPLE AVE	Community:	Toronto
Legal Description:	PLAN 524 PT LOTS 11 & 12		

Notice was given and a Public Hearing was held on **Wednesday, June 7, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing three-storey detached dwelling by constructing a west side three-storey addition and maintaining the rear pool.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length for a detached dwelling is 17.0 m.
The existing building has a length of 24.11 m.
The building length measured to the extension of the basement built under permit 14 267538 BLD is 25.28 m which should have required Committee of Adjustment approval.
The west side three-storey addition will have a building length of 19.89 m.
- 2. Chapter 10.20.40.30.(1), By-law 569-2013**
The maximum permitted depth of a detached dwelling is 19.0 m.
The existing building has a depth of 24.88 m.
The building length measured to the extension of the basement built under permit 14 267538 BLD is 26.05 m which should have required Committee of Adjustment approval.
The west side three-storey addition will have a depth of 20.66 m.
- 3. Chapter 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (793.63 m²).
The altered detached dwelling will have a floor space index equal to 0.681 times the area of the lot (900.36 m²).

4. **Chapter 10.5.100.1.(1)(C)(iv), By-law 569-2013**
The maximum permitted driveway width for a driveway that is located in or passes through the front yard is 2.6 m.
In this case, the driveway width will be 4.47 m at the front gate.
5. **Chapter 10.5.100.1.(2)(B), By-law 569-2013**
The maximum permitted driveway width for a driveway that is not located in or does not pass through the front yard is 6.0 m.
In this case, the driveway width will be 9.29 m in the backyard.
6. **Chapter 10.5.50.10.(3), By-law 569-2013**
A minimum of 50% (274.38 m²) of the rear yard must be maintained as soft landscaping.
In this case, 39.83% (218.57 m²) of the rear yard will be maintained as soft landscaping.
7. **Chapter 10.10.40.10.(1)(A), By-law 569-2013**
The maximum permitted building height is 10.0 m.
The altered detached dwelling will have a height of 10.54 m.
8. **Chapter 10.10.40.10.(2)(B), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The height of the existing side exterior main walls is 10.54 m on the west side, and 7.83 m on the east side.
The height of the side exterior main walls facing a side lot line will be 10.54 m.
1. **Section 6(3) Part I 1, By-law 438-86**
The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (793.63 m²).
The altered detached dwelling will have a gross floor area equal to 0.687 times the area of the lot (908.67 m²).
2. **Section 6(3) Part II 3.B(II) 2, By-law 438-86**
The minimum required side lot line setback for the portion of the building exceeding a depth of 17.0 m is 7.5 m.
The portion of the altered detached dwelling, exceeding the 17.0 m depth, will be located 4.01 m from the west side lot line.
3. **Section 6(3) Part IV 4(a)(ii)C, By-law 438-86**
The maximum permitted width of a driveway is 2.6 m.
In this case, the driveway width will be 8.69 m in the rear yard.
4. **Section 6(3) Part II 7(I), By-law 438-86**
The minimum required setback of an accessory structure to all lot lines is 3.0 m.
The pool will be located 1.85 m from the west side lot line.
5. **Section 4(2)(a), By-law 438-86**
The maximum permitted building height is 10.0 m.
The existing building has a height of 12.36 m.
The west side three-storey addition will have a height of 11.13 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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SIGNATURE PAGE

File Number:	A1089/16TEY	Zoning	RD(f15.0; d0.6)(x1438) & R1 Z0.6 (BLD)
Owner(s):	NARENDRA ARMOGAN	Ward:	Toronto Centre-Rosedale (27)
Agent:	VELTA MUSSELLAM	Heritage:	Designated
Property Address:	31 MAPLE AVE	Community:	Toronto
Legal Description:	PLAN 524 PT LOTS 11 & 12		

Michael Clark (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, JUNE 13, 2017**

LAST DATE OF APPEAL: **TUESDAY, JUNE 27, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1108/16TEY	Zoning	R (d1.0)(x804) & R4 Z1.0 (ZZC)
Owner(s):	NUNO PACHECO MARIA FATIMA PACHECO	Ward:	Davenport (18)
Agent:	EDDIE PERES	Heritage:	Not Applicable
Property Address:	115 BEACONSFIELD AVE	Community:	Toronto
Legal Description:	PLAN 367 PT LOT 56		

Notice was given and a Public Hearing was held on **Wednesday, June 7, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey semi-detached dwelling by constructing a rear two-storey addition, a rear basement walkout, a rear second storey balcony, and a secondary suite.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.40.30.(1)(A), By-law 569-2013**
The maximum permitted depth of a semi-detached dwelling is 17 m.
The altered semi-detached dwelling will have a depth of 19.98 m.
- Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.6 m.
In this case, the rear basement walkout stairs will be located 0.3 m from the south side lot line.
- Section 6(3) Part II 3.C(I), By-law 438-86**
The minimum required side lot line setback of a semi-detached dwelling is 0.45 m where the side wall contains no openings.
The altered semi-detached dwelling will be located 0.3 m from the south side lot line.
- Section 6(3) Part II 5(II), By-law 438-86**
The maximum permitted depth of a semi-detached dwelling is 17 m.
The altered semi-detached dwelling will have a depth of 19.98 m.

3. Section 6(2), (1)(iii)(A), By-law 438-86

The maximum permitted floor space of an addition to a converted house is 0.15 times the area of the lot (36.75 m²).

The rear two-storey addition will have an area equal to 0.18 times the area of the lot (43.38 m²).

4. Section 6(2), (1)(v), By-law 438-86

A converted dwelling is permitted provided that there is no substantial change in the appearance of the dwelling as the result of the conversion.

In this case, substantial change will occur in the appearance of the dwelling.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

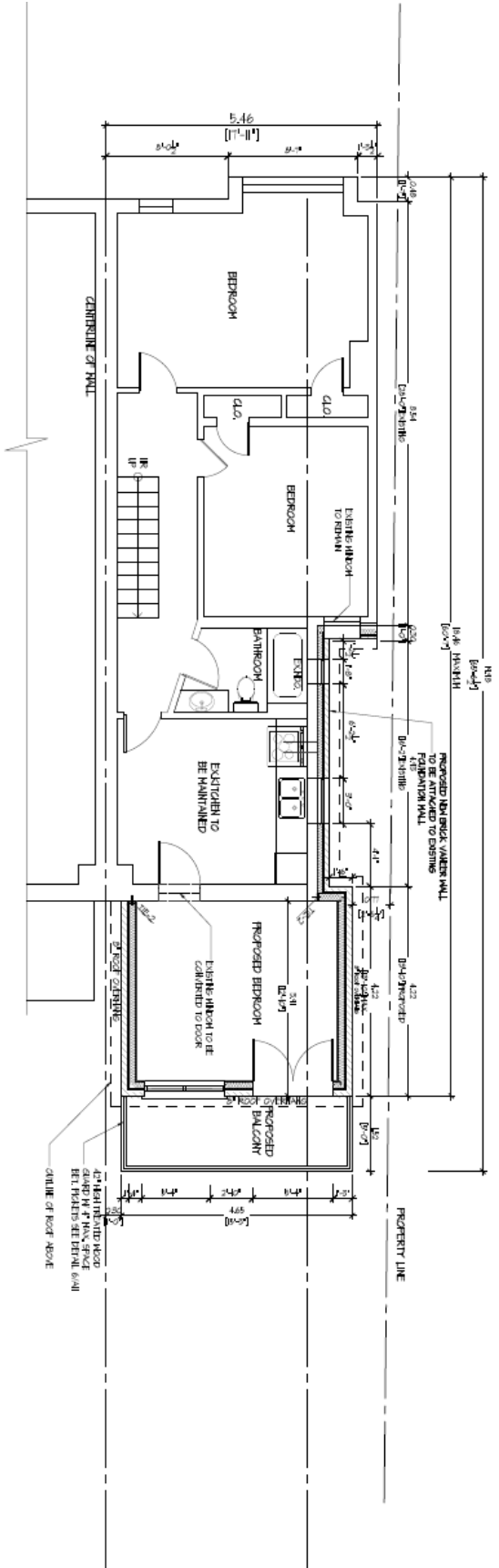
It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The building length of the second floor of the altered dwelling shall not exceed 18.5 m, excluding the rear deck, as illustrated on the second floor plan date stamped received by the Committee of Adjustment on March 1, 2017.

RECEIVED
By TEY CoFA at 3:35 pm, Mar 01, 2017



1 [UNIT-2] 2ND FLOOR PLAN
AF SCALE : 3/16" = 1'-0"

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
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SIGNATURE PAGE

File Number:	A1108/16TEY	Zoning	R (d1.0)(x804) & R4 Z1.0 (ZZC)
Owner(s):	NUNO PACHECO MARIA FATIMA PACHECO	Ward:	Davenport (18)
Agent:	EDDIE PERES	Heritage:	Not Applicable
Property Address:	115 BEACONSFIELD AVE	Community:	Toronto
Legal Description:	PLAN 367 PT LOT 56		

Michael Clark (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, JUNE 13, 2017**

LAST DATE OF APPEAL: **TUESDAY, JUNE 27, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1105/16TEY	Zoning	R(f4.5; d1.0)(x847) & R3 Z1.0 (ZZC)
Owner(s):	TERRY WILKINS	Ward:	Trinity-Spadina (20)
Agent:	TERRY WILKINS	Heritage:	Not Applicable
Property Address:	46 LIPPINCOTT ST	Community:	Toronto
Legal Description:	PLAN 314 PT LOT 18		

Notice was given and a Public Hearing was held on **Wednesday, June 7, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing one-storey semi-detached dwelling by constructing a second and third storey addition, front porch, rear ground floor deck with trellis, rear third floor deck and a rear detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index of a semi-detached dwelling is 1.0 times the area of the lot (157.22 m²).

The altered dwelling will have a floor space index equal to 1.17 times the area of the lot (184.31 m²).

2. Chapter 10.10.40.70.(4)(B), By-law 569-2013

The minimum required side yard setback is 0.45 m.

The altered dwelling will be located 0.0 m from the north side lot line.

3. Chapter 10.10.60.20.(1)(A), By-law 569-2013

The minimum required rear yard setback is 1.0 m.

The rear detached garage will be located 0.0 m from the west rear lot line.

1. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area of a semi-detached dwelling is 1.0 times the area of the lot (157.22 m²).

The altered dwelling will have a gross floor area equal to 1.17 times the area of the lot (184.31 m²).

2. Section 6(3) Part II 3(I), By-law 438-86

The minimum required setback from the side wall of an adjacent building that does not contain any openings is 0.9 m.

The altered dwelling will be located 0.0 m from the side wall of the north adjacent building, 48 Lippincott Street, and 0.0 m from the side wall of the south adjacent building, 44 Lippincott Street.

3. Section 6(3) Part II 3.C(I), By-law 438-86

The minimum required side lot line setback of a semi-detached dwelling is 0.45 m where the side wall contains no openings.

The altered dwelling will be located 0.0 m from the north side lot line, and 0.0 m from the south side lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The rear third storey deck shall be constructed with permanent opaque screening or fencing along the north and south edges, to a minimum height of 1.5 m, measured from the floor of the deck; and
- (2) The building depth of the third floor of the altered dwelling shall not exceed 14 m, exclusive of the rear deck, as illustrated on the third floor plan date stamped received by the Committee of Adjustment on April 7, 2017.

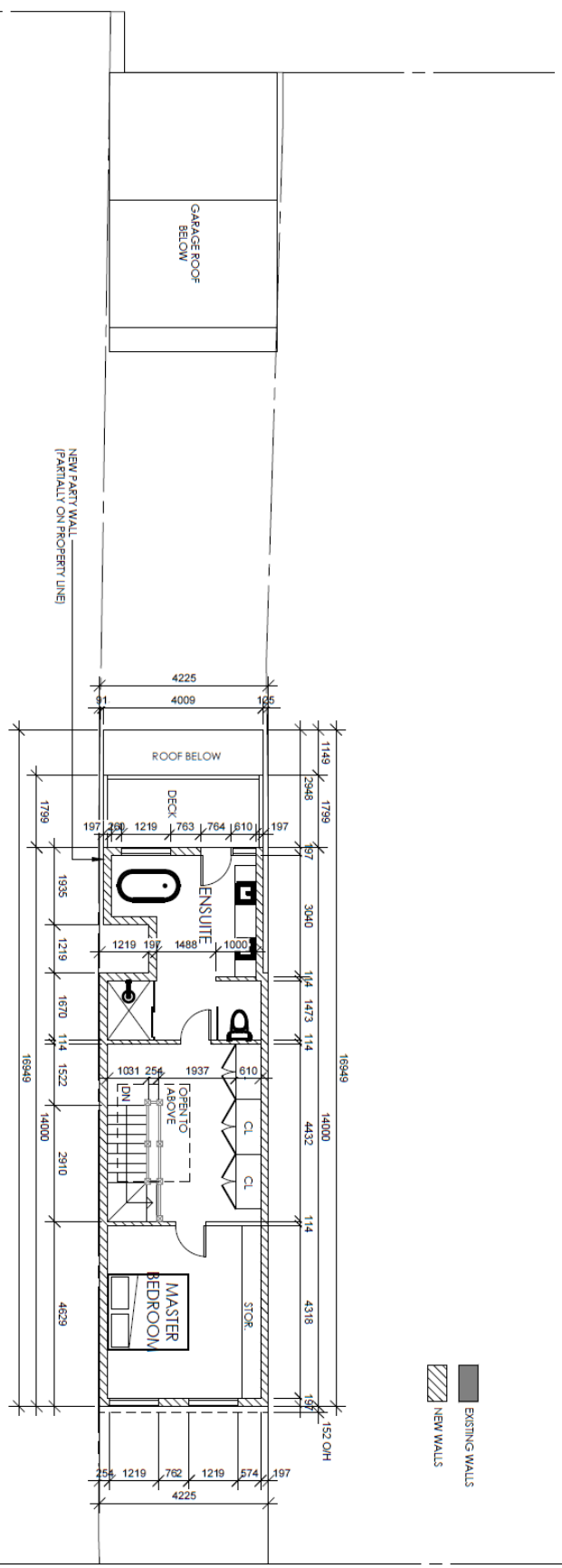


SCALE: 1/8" = 1'-0"
 DATE: 26/03/2017

THIRD FLOOR
 PLAN

SHEET
 A2.3

RECEIVED
 By Committee of Adjustment TEV at 9:42 am, Apr 07, 2017



Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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SIGNATURE PAGE

File Number:	A1105/16TEY	Zoning	R(f4.5; d1.0)(x847) & R3 Z1.0 (ZZC)
Owner(s):	TERRY WILKINS	Ward:	Trinity-Spadina (20)
Agent:	TERRY WILKINS	Heritage:	Not Applicable
Property Address:	46 LIPPINCOTT ST	Community:	Toronto
Legal Description:	PLAN 314 PT LOT 18		

DISSENTED

Michael Clark (signed)

Carl Knipfel (signed)

Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, JUNE 13, 2017**

LAST DATE OF APPEAL: **TUESDAY, JUNE 27, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment
Toronto and East York District

100 Queen Street West, 1st Floor
Toronto, Ontario M5H 2N2
Tel: 416-392-7565
Fax: 416-392-0580

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1109/16TEY	Zoning	MCR T2.0 C1 R2.0, By-law 607-2013 (ZZC)
Owner(s):	1917886 ONTARIO INC	Ward:	Beaches-East York (32)
Agent:	DI XING YANG	Heritage:	Not Applicable
Property Address:	2054 QUEEN ST E	Community:	Toronto
Legal Description:	PLAN M238 PT LOT 3		

Notice was given and a Public Hearing was held on **Wednesday, June 7, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing three-storey mixed-use building by constructing a rear three-storey addition, a front addition and to add a fourth dwelling unit.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 12(2) 284 (i), By-law 438-86 as amended by By-law 607-2013

Any building is required to be setback 4.8 m from the curb of Queen Street East, immediately adjacent to the property.

Following the construction of the front addition the building will be located 2.8 m from the curb of Queen Street East.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

Appeal Information

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SIGNATURE PAGE

File Number:	A1109/16TEY	Zoning	MCR T2.0 C1 R2.0, By-law 607-2013 (ZZC)
Owner(s):	1917886 ONTARIO INC	Ward:	Beaches-East York (32)
Agent:	DI XING YANG	Heritage:	Not Applicable
Property Address:	2054 QUEEN ST E	Community:	Toronto
Legal Description:	PLAN M238 PT LOT 3		

Michael Clark (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, JUNE 13, 2017**

LAST DATE OF APPEAL: **TUESDAY, JUNE 27, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1186/16TEY	Zoning	CR12.0 (c8.0; r11.7) SS1 (x2327) & CR T7.0 C5.5 R 5.5 & Site Specific By-law 996-88 (WAIVER)
Owner(s):	OMERS REALTY CORPORATION	Ward:	Toronto Centre-Rosedale (28)
Agent:	ANDREW FERANCIK	Heritage:	Designated
Property Address:	1 ADELAIDE ST E	Community:	Toronto
Legal Description:	PLAN TOWN OF YORK PT LOT 1 WITH ROW		

Notice was given and a Public Hearing was held on **Wednesday, June 7, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct two outdoor patios to be associated with restaurant uses in the east courtyard area.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 1.5(c) By-law 996-88

The minimum amount of Common Outdoor Space to be provided and maintained on the Yonge, Adelaide, Victoria Lands is 2263 m² including landscaping, and at grade continuous public pedestrian walkways, extending from Adelaide Street East to the south limits of the Yonge, Adelaide, Victoria Lands.

In this case, the amount of Common Outdoor Space to be provided and maintained on the Yonge, Adelaide, Victoria Lands will be not less than 2087.96 m².

2. Section 1.5(g) By-law 996-88

The owners of the Yonge, Adelaide, Victoria Lands must provide and maintain one or more works of art in publicly accessible portions of such lands of a value not less than one percent of the cost of construction of all buildings and structures erected on such lands on or after August 12, 1988.

No additional public art will be provided as a result of the construction of the patios.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The applicant shall enter into a Section 45 Agreement to secure the following items, in accordance with the Proposed Site Plan filed with the Committee of Adjustment:

- a. The installation of new prefinished aluminum wayfinding signage at the pedestrian passageways at Yonge Street, Victoria Street, and Adelaide Street. The prefinished metal headers at each connection will sign the courtyard and identify access to the opposite street. The signage will be designed and installed to the satisfaction of Heritage Preservation Services.
- b. The installation of standard City of Toronto "Privately Owned Publicly-Accessible Space" (POPS) signage to help visitors and residents to identify the courtyard. The number and locations of the signage will be done in consultation with and to the satisfaction of Community Planning and Urban Design staff.
- c. The replacement of the existing globe lights in pedestrian passageways with eight (8) LED surface mounted vertical and horizontal fixtures.
- d. The installation of a decorative mosaic mural along south wall of the passageway and south columns of Victoria Street pedestrian passageway. The feature images will depict Toronto's commercial history or the evolution of development in Toronto. The image selection and installation of the mosaic mural will be done in consultation with Heritage Preservation Services.
- e. The preservation of existing trees and the planting of six (6) new Honey Locust trees in planter pits. Existing planter pits will be restored, and a new grille with sedum in slats will be installed.
- f. Thirteen (13) existing concrete and wood planters are to be retained. Three will be re-located as per the reviewed site plan for the courtyard.
- g. The replacement of the existing globe light sconces on walls and columns with twenty-five (25) new LED linear surface mounted fixtures.
- h. The perimeter of the new patio (K1) will be a combination of wood faced planters and metal hand rails with mesh screen.
- i. The reconstruction of the existing stair with ramps on either side at south portion of courtyard. The western-most ramp is to be leveled to the existing courtyard and covered in brick pavers.

- j. The removal and replacement of the existing concrete wall at south west with new glass railing to open up sightlines within the courtyard.
- k. The refurbishment of the existing benches, as required. A total of thirty-six (36) benches will be placed in the arrangement as per the proposed plan.
- l. The installation of fifteen (15) new café tables and seating to the courtyard, within the passage to Yonge Street, beneath the 1 Adelaide Street East building overhang.
- m. The relocation of existing garbage receptacles according to the plan.

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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SIGNATURE PAGE

File Number:	A1186/16TEY	Zoning	CR12.0 (c8.0; r11.7) SS1 (x2327) & CR T7.0 C5.5 R 5.5 & Site Specific By-law 996-88 (WAIVER)
Owner(s):	OMERS REALTY CORPORATION	Ward:	Toronto Centre-Rosedale (28)
Agent:	ANDREW FERANCIK	Heritage:	Designated
Property Address:	1 ADELAIDE ST E	Community:	Toronto
Legal Description:	PLAN TOWN OF YORK PT LOT 1 WITH ROW		

Michael Clark (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, JUNE 13, 2017**

LAST DATE OF APPEAL: **TUESDAY, JUNE 27, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment
Toronto and East York District

100 Queen Street West, 1st Floor
Toronto, Ontario M5H 2N2
Tel: 416-392-7565
Fax: 416-392-0580

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1192/16TEY	Zoning	CRE(x74) & RA (ZZC)
Owner(s):	2254298 ONTARIO LIMITED	Ward:	Trinity-Spadina (20)
Agent:	SAM SPAGNUOLO	Heritage:	Designated
Property Address:	269, 271 & 273 RICHMOND ST W	Community:	Toronto
Legal Description:	PLAN 471 LOTS 11 TO 13		

Notice was given and a Public Hearing was held on **Wednesday, June 7, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing three-storey rowhouse complex currently containing office uses by constructing a rear third-storey addition, and the addition of an internal elevator and staircase within the existing internal courtyard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 200.5.10.1.(1), By-law 569-2013**
The minimum required number of parking spaces is 8.
In this case, 0 parking spaces will be provided.
- Chapter 230.5.10.1.(1), By-law 569-2013**
The minimum required number of bicycle parking spaces for the additional office uses is 4.
In this case, 0 bicycle parking spaces will be provided.
- Chapter 50.10.40.70.(1), By-law 569-2013**
The minimum required building setback from a side and rear lot line is 7.5 m.
The altered building will be located 0.0 m to the west side lot line.
- Chapter 50.10.40.70.(3), By-law 569-2013**
Where a lot abuts a lane, the minimum building setback from a side lot line or rear lot line that abuts the lane is 7.5 m measured from the original centreline of the lane.
The altered building will be setback 1.68 m from the original centreline of the lane.

1. Section 7(3) Part II 1(I) & 3, By-law 438-86

The by-law requires the portion of a building located beyond 25 m of a street or a public park to be set back a minimum distance of 7.5 m from the side and rear lot lines.

The altered building will be set back 0.0 m from the west side lot line and 1.68 m from the rear lot line.

2. Section 4(5)(B), By-law 438-86

The minimum required number of parking spaces for the additional office space is 1.

In this case, 0 parking spaces will be provided.

3. Section 4(14)(A), By-law 438-86

The minimum required building setback from the centre line of a public lane is 3.0 m.

The altered building will be setback 1.68 m from the centre line of the public lane.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
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SIGNATURE PAGE

File Number:	A1192/16TEY	Zoning	CRE(x74) & RA (ZZC)
Owner(s):	2254298 ONTARIO LIMITED	Ward:	Trinity-Spadina (20)
Agent:	SAM SPAGNUOLO	Heritage:	Designated
Property Address:	269, 271 & 273 RICHMOND ST W	Community:	Toronto
Legal Description:	PLAN 471 LOTS 11 TO 13		

Michael Clark (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, JUNE 13, 2017**

LAST DATE OF APPEAL: **TUESDAY, JUNE 27, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1227/16TEY	Zoning:	R(d1.0) & R3 Z1.0 (BLD)
Owner(s):	YOLANDA PANDOLFO JAMES GARDNER	Ward:	Toronto Centre-Rosedale (27)
Agent:	SAM SPAGNUOLO	Heritage:	Not Applicable
Property Address:	68 MCGILL ST	Community:	Toronto
Legal Description:	PLAN 203 PT LOT 41 RP63R1595 PARTS 12 & 13		

Notice was given and a Public Hearing was held on **Wednesday, June 7, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a rear second storey deck with an attached rear ground level shed and a spa pool in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.30.(1)(A), By-law 569-2013**
The maximum permitted depth of a detached dwelling is 17.0 m.
The altered detached dwelling will have a depth of 17.32 m. measured to the rear of the attached shed.
- 2. Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index of a detached dwelling is 1.0 times the area of the lot (185.67m²).
The altered detached dwelling will have a floor space index equal to 1.21 times the area of the lot (224.62 m²), which includes the area of the attached shed.
- 3. Chapter 10.10.40.70.(2), By-law 569-2013**
The minimum required rear yard setback is 7.5 m.
The altered detached dwelling will be located 4.80 m from the rear lot line, measured to the attached shed.
- 4. Chapter 10.5.60.20.(8)(A)(iii), By-law 569-2013**
The minimum required rear yard setback for a swimming pool or other ancillary structure used to hold water is 1.2 m.
The rear spa pool will be located 0.39 m from the rear lot line.

5. Chapter 10.5.60.20.(9)(A)(i), By-law 569-2013

The minimum required side yard setback for a swimming pool or other ancillary structure used to hold water is 1.2 m.

The rear spa pool will be located 1.14 m from the west side lot line.

6. Chapter 10.5.60.20.(11), By-law 569-2013

The minimum required rear yard setback and side yard setback for a deck located no closer the residential building on the lot than 0.3 m is 0.76 m.

The spa pool's deck will be located 0.26 m from the rear lot line, 0.20 m from the east side lot line, and 0.30 m from the west side lot line

1. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area of a detached dwelling is 1.0 times the area of the lot (185.67 m²).

The altered detached dwelling will have a gross floor area equal to 1.21 times the area of the lot (224.62 m²), which includes the area of the attached shed.

2. Section 6(3) Part II 3.B(II), By-law 438-86

The minimum required side lot line setback for the portion of the building exceeding a depth of 17.0 m is 7.5 m.

The 0.32 m portion of the altered detached dwelling (measured to the attached shed), exceeding the 17.0 m depth, will be located 0.58 m from the east side lot line and 5.14 m from the west side lot line.

3. Section 6(3) Part II 4, By-law 438-86

The minimum required rear yard setback is 7.5 m.

The altered detached dwelling will be located 4.80 m from the rear lot line, measured to the attached shed.

4. Section 6(3) Part II 4, By-law 438-86

A privately-owned outdoor swimming pool is permitted provided it is accessory to a detached house provided no part of the portion of the swimming pool filled or capable of being filled with water is on a portion of the lot closer to the front lot line than the front wall of the principal building or structure or closer to the rear lot line or a side lot line or public lane than the distance of 1.2 metres.

The spa pool will be located 0.39 metres from the north rear lot line, 1.05 metres from the east side lot line, and 1.14 metres from the west side lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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SIGNATURE PAGE

File Number:	A1227/16TEY	Zoning	R(d1.0) & R3 Z1.0 (BLD)
Owner(s):	YOLANDA PANDOLFO JAMES GARDNER	Ward:	Toronto Centre-Rosedale (27)
Agent:	SAM SPAGNUOLO	Heritage:	Not Applicable
Property Address:	68 MCGILL ST	Community:	Toronto
Legal Description:	PLAN 203 PT LOT 41 RP63R1595 PARTS 12 & 13		

Michael Clark (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, JUNE 13, 2017**

LAST DATE OF APPEAL: **TUESDAY, JUNE 27, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1288/16TEY	Zoning	R (d0.6)(x322) & R2 Z0.6 (ZZC)
Owner(s):	MARINA DEGTEVA STUART KNIGHT	Ward:	Toronto-Danforth (29)
Agent:	STUART HATCH	Heritage:	Not Applicable
Property Address:	22 FIELDING AVE	Community:	Toronto
Legal Description:	PLAN 417E PT LOTS 90 & 91		

Notice was given and a Public Hearing was held on **Wednesday, June 7, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey semi-detached dwelling by constructing a rear ground floor deck and a rear detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.60.20.(1)(A), By-law 569-2013

The minimum required rear yard setback for an ancillary building or structure is 1 m.
The rear detached garage will be located 0.2 m from the north rear lot line.

2. Chapter 10.5.60.30.(2), By-law 569-2013

A heating or air-conditioning device that is mounted on the ground in the rear yard of a lot may be no more than 2 m from the rear main wall of the residential building.
In this case, the heating or air-conditioning device will be located 3.34 m from the rear main wall of the residential building.

3. Chapter 10.5.60.40.(2)(B), By-law 569-2013

The maximum permitted height of an ancillary building is 4 m.
The rear detached garage will have a height of 4.67 m.

1. Section 4(2)(d)(i), By-law 438-86

The maximum permitted height of an ancillary building is 4 m.
The rear detached garage will have a height of 4.67 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

1. Variance Requests 3. Chapter 10.5.60.40.(2)(B), By-law 569-2013 and 1. Section 4(2)(d)(i), By-law 438-86 relating to garage height, be **refused**; and
2. Variance Requests 1 and 2 By-law 569-2013 are **approved, subject to the following condition:**

Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

The **reason** for the decision is that, in the opinion of the Committee of Adjustment, Variance Request 3 from By-law 569-2013 and Variance Request 1 from By-law 438-86 are not minor in nature, are not desirable for the appropriate development and use of the subject property and do not maintain the general intent and purpose of the Zoning By-law and the Official Plan and Variance Requests 1 and 2 from By-law 569-2013 are minor in nature, are desirable for the appropriate development and use of the subject property and do maintain the general intent and purpose of the Zoning By-law and the Official Plan.

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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SIGNATURE PAGE

File Number:	A1288/16TEY	Zoning	R (d0.6)(x322) & R2 Z0.6 (ZZC)
Owner(s):	MARINA DEGTEVA STUART KNIGHT	Ward:	Toronto-Danforth (29)
Agent:	STUART HATCH	Heritage:	Not Applicable
Property Address:	22 FIELDING AVE	Community:	Toronto
Legal Description:	PLAN 417E PT LOTS 90 & 91		

Michael Clark (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, JUNE 13, 2017**

LAST DATE OF APPEAL: **TUESDAY, JUNE 27, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District



NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0084/16TEY	Zoning	RS(f10.5; a325; d0.75) & R2A (ZZC)
Owner(s):	IET THAT MELANIE THAT	Ward:	Beaches-East York (31)
Agent:	LEO MASTRANDREA	Heritage:	Not Applicable
Property Address:	107 VIRGINIA AVE	Community:	East York
Legal Description:	PLAN 2450 LOT 25 PT LOT 26		

Notice was given and a Public Hearing was held on **Wednesday, June 7, 2017**, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two residential lots.

CONVEYED - PART 2, Draft R-Plan

Address to be assigned

Part 2 has a frontage of 5.71 m and an area of 170.8 m². The existing detached dwelling will be demolished and a new semi-detached dwelling with an integral garage will be constructed. Variances will be required as outlined in Minor Variance application A1194/16TEY.

RETAINED - PART 1, Draft R-Plan

Address to be assigned

Part 1 has a frontage of 5.71 m and an area of 170.8 m². The existing detached dwelling will be demolished and a new semi-detached dwelling with an integral garage will be constructed. Variances will be required as outlined in Minor Variance application A1193/16TEY.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the transaction as shown on the plan filed with the Committee of Adjustment on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services.
- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services.
- (4) **One electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services.
- (5) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act* as it pertains to the conveyed land and/or consent transaction.

Appeal Information

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SIGNATURE PAGE

File Number:	B0084/16TEY	Zoning	RS(f10.5; a325; d0.75) & R2A (ZZC)
Owner(s):	IET THAT MELANIE THAT	Ward:	Beaches-East York (31)
Agent:	LEO MASTRANDREA	Heritage:	Not Applicable
Property Address:	107 VIRGINIA AVE	Community:	East York
Legal Description:	PLAN 2450 LOT 25 PT LOT 26		

Michael Clark (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, JUNE 13, 2017**

LAST DATE OF APPEAL: **TUESDAY, JULY 4, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1193/16TEY	Zoning	RS(f10.5; a325; d0.75) & R2A (ZZC)
Owner(s):	IET THAT MELANIE THAT	Ward:	Beaches-East York (31)
Agent:	LEO MASTRANDREA	Heritage:	Not Applicable
Property Address:	107 VIRGINIA AVE – PART 1	Community:	East York
Legal Description:	PLAN 2450 LOT 25 PT LOT 26		

Notice was given and a Public Hearing was held on **Wednesday, June 7, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new semi-detached dwelling with an integral garage on the retained lot described in consent application B0084/16TEY.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.40.30.40.(1), By-law 569-2013**
The maximum permitted lot coverage is 35% of the lot area (59.75 m²).
The lot coverage will be equal to 42.8% of the lot area (73.12 m²).
- Chapter 10.40.40.10.(2)(A(i) &(ii), By-law 569-2013**
The maximum permitted height of all front and rear exterior main walls is 7.0 m.
The height of the front and rear exterior main walls will be 8.03 m.
- Chapter 10.40.40.10.(6), By-law 569-2013**
The maximum permitted height of the first floor of a semi-detached dwelling above established grade is 1.2 m.
The first floor of the new semi-detached dwelling will have a height of 2.21 m above established grade.
- Chapter 10.40.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index of a semi-detached dwelling is 0.75 times the area of the lot (128.03 m²).
The new semi-detached dwelling will have a floor space index equal to 1.16 times the area of the lot (198.45 m²).

5. Chapter 200.5.1.10.(2), By-law 569-2013

The required parking space must have a minimum width of 3.2 m.

The parking space will measure 2.75 m in width.

1. Section 7.5.3, By-law 6752

The maximum permitted lot coverage is 35% of the lot area (59.75 m²).

The lot coverage will be equal to 42.8% of the lot area (73.12 m²).

2. Section 7.5.3, By-law 6752

The maximum permitted floor space index of a semi-detached dwelling is 0.75 times the area of the lot (128.03 m²).

The new semi-detached dwelling will have a floor space index equal to 1.16 times the area of the lot (198.45 m²).

3. Section 7.5.3, By-law 6752

The minimum required rear yard setback is 9.0 m.

The new semi-detached dwelling will be located 7.62 m from the rear lot line.

4. Section 4.23, By-law 6752

The required parking space must have a minimum width of 3.2 m.

The parking space will measure 2.75 m in width.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

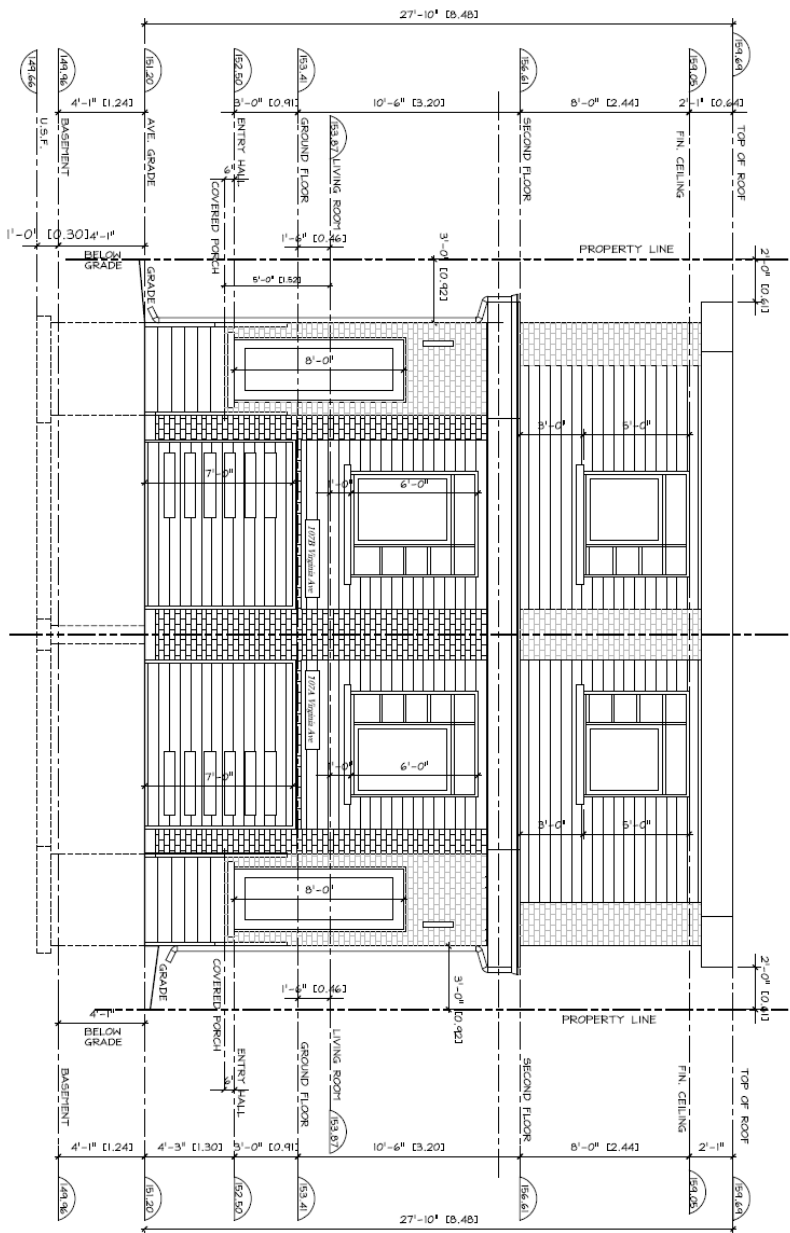
It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

- (3) Where there are no existing street trees, the owner shall submit a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application or elsewhere in the community if there is no space, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (4) The elevation at the front door shall not be greater than 1.3 m above grade and the elevation at the rear walkout exit shall not be greater than 1.5 m above grade, as shown on the drawings dated February 15, 2017.
- (5) The floor space index excluding the lower basement floor shall not be greater than 0.832 times the area of the lot (141.96 m²).

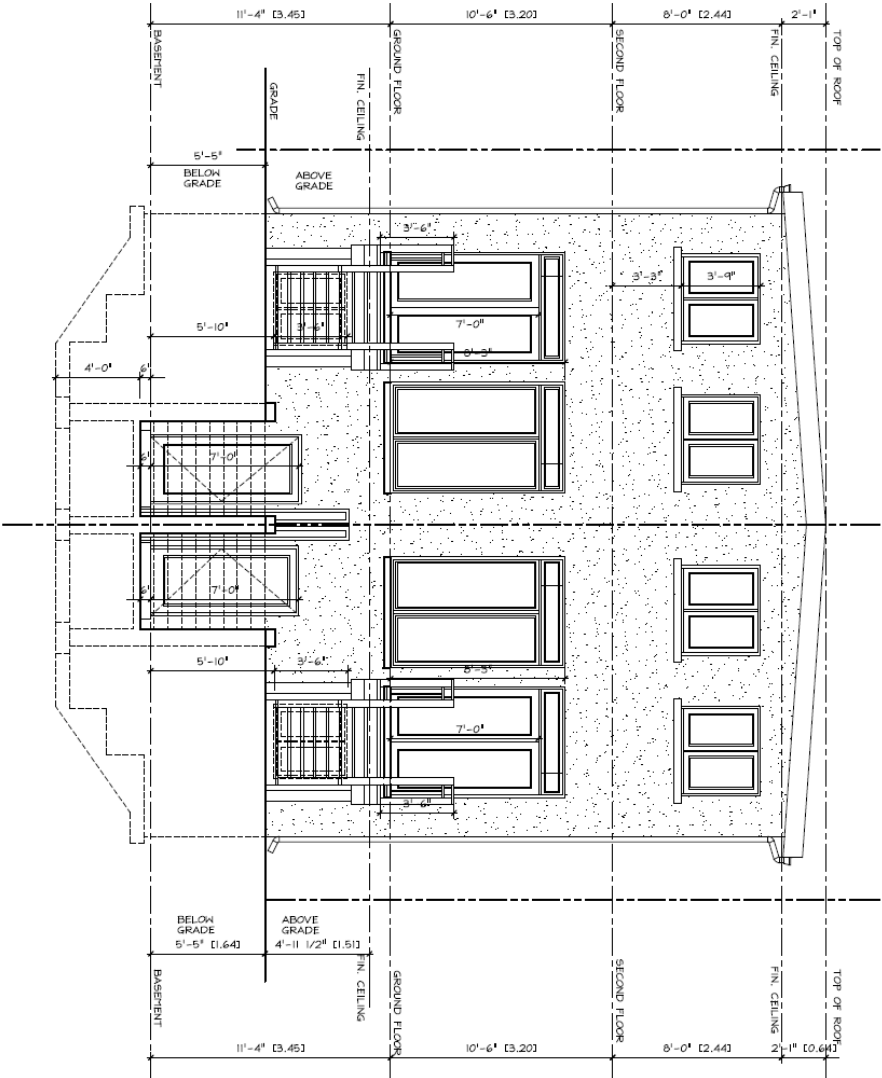


1 PROPOSED FRONT (NORTH) ELEVATION
SCALE: 3/16"=1'-0"

LEMCAD CONSULTANTS
 817 COBURN AVENUE, Toronto, Ontario M4C 2V9
 PHONE: (416) 405-8164 FAX: (416) 405-9601

PROJECT: PROPOSED NEW 2 (PAIR) SEMI-DETACHED DWELLINGS
 LOCATION: 107A & 107B VIRGINIA AVENUE, EAST YORK

A ✓



PROPOSED
 REAR (SOUTH) ELEVATION
 SCALE: 3/16"=1'-0"

LEMCAD CONSULTANTS	
817 COBURN AVENUE, Toronto, Ontario M4C 2V9 PHONE: (416) 405-8164 FAX: (416) 405-1601	
PROJECT: PROPOSED NEW 2 (PAIR) SEMI-DETACHED DWELLINGS	
A-7	LOCATION: 107A & 107B VIRGINIA AVENUE, EAST YORK

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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SIGNATURE PAGE

File Number:	A1193/16TEY	Zoning	RS(f10.5; a325; d0.75) & R2A (ZZC)
Owner(s):	IET THAT MELANIE THAT	Ward:	Beaches-East York (31)
Agent:	LEO MASTRANDREA	Heritage:	Not Applicable
Property Address:	107 VIRGINIA AVE – PART 1	Community:	East York
Legal Description:	PLAN 2450 LOT 25 PT LOT 26		

Michael Clark (signed)

Carl Knipfel (signed)

Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, JUNE 13, 2017**

LAST DATE OF APPEAL: **TUESDAY, JUNE 27, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1194/16TEY	Zoning	RS(f10.5; a325; d0.75) & R2A (ZZC)
Owner(s):	IET THAT MELANIE THAT	Ward:	Beaches-East York (31)
Agent:	LEO MASTRANDREA	Heritage:	Not Applicable
Property Address:	107 VIRGINIA AVE – PART 2	Community:	East York
Legal Description:	PLAN 2450 LOT 25 PT LOT 26		

Notice was given and a Public Hearing was held on **Wednesday, June 7, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new semi-detached dwelling with an integral garage on the conveyed lot described in consent application B0084/16TEY.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.40.30.40.(1), By-law 569-2013**
The maximum permitted lot coverage is 35% of the lot area (59.75 m²).
The lot coverage will be equal to 42.8% of the lot area (73.12 m²).
- 2. Chapter 10.40.40.10.(2)(A(i) &(ii), By-law 569-2013**
The maximum permitted height of all front and rear exterior main walls is 7.0 m.
The height of the front and rear exterior main walls will be 8.03 m.
- 3. Chapter 10.40.40.10.(6), By-law 569-2013**
The maximum permitted height of the first floor of a semi-detached dwelling above established grade is 1.2 m.
The first floor of the new semi-detached dwelling will have a height of 2.21 m above established grade.
- 4. Chapter 10.40.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index of a semi-detached dwelling is 0.75 times the area of the lot (128.03 m²).
The new semi-detached dwelling will have a floor space index equal to 1.16 times the area of the lot (198.45 m²).

5. Chapter 200.5.1.10.(2), By-law 569-2013

The required parking space must have a minimum width of 3.2 m.

The parking space will measure 2.75 m in width.

1. Section 7.5.3, By-law 6752

The maximum permitted lot coverage is 35% of the lot area (59.75 m²).

The lot coverage will be equal to 42.18% of the lot area (73.12 m²).

2. Section 7.5.3, By-law 6752

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3. Section 7.5.3, By-law 6752

The minimum required rear yard setback is 9.0 m.

The new semi-detached dwelling will be located 7.62 m from the rear lot line.

4. Section 4.23, By-law 6752

The required parking space must have a minimum width of 3.2 m.

The parking space will measure 2.79 m in width.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

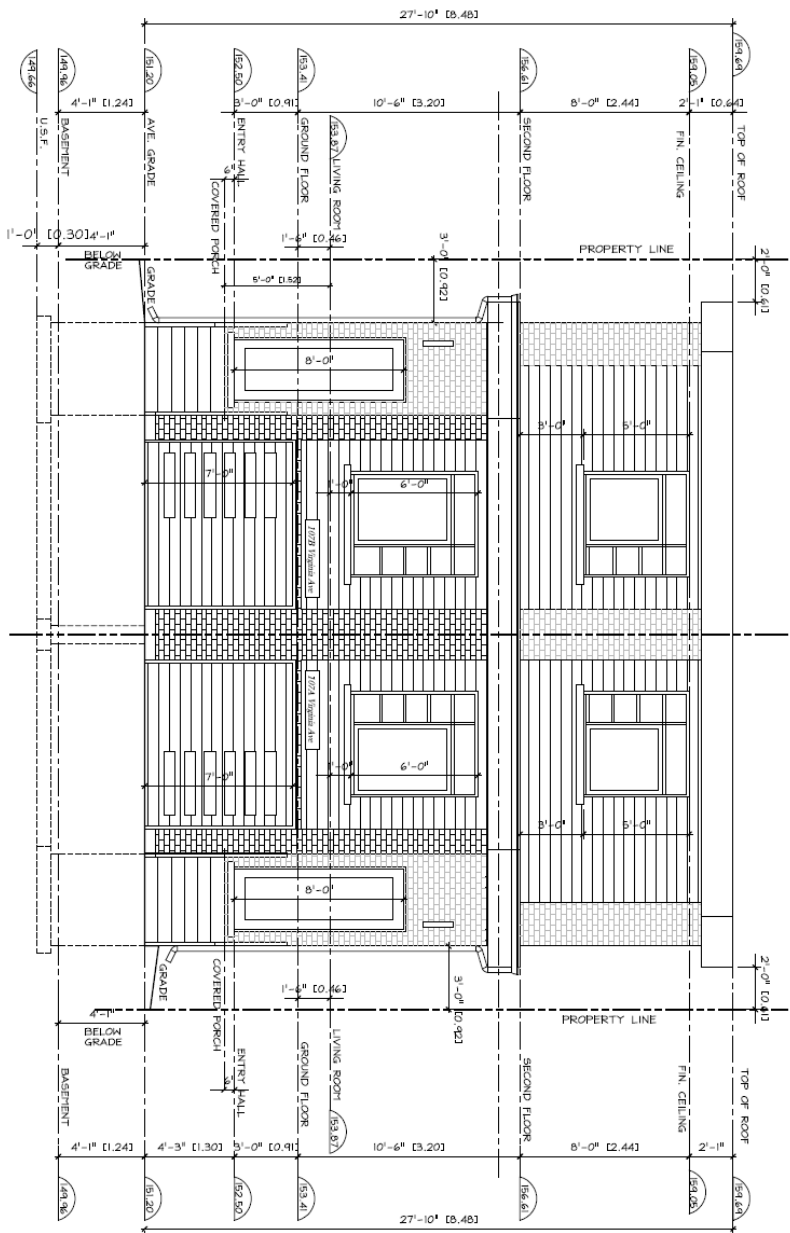
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This decision is subject to the following condition(s):

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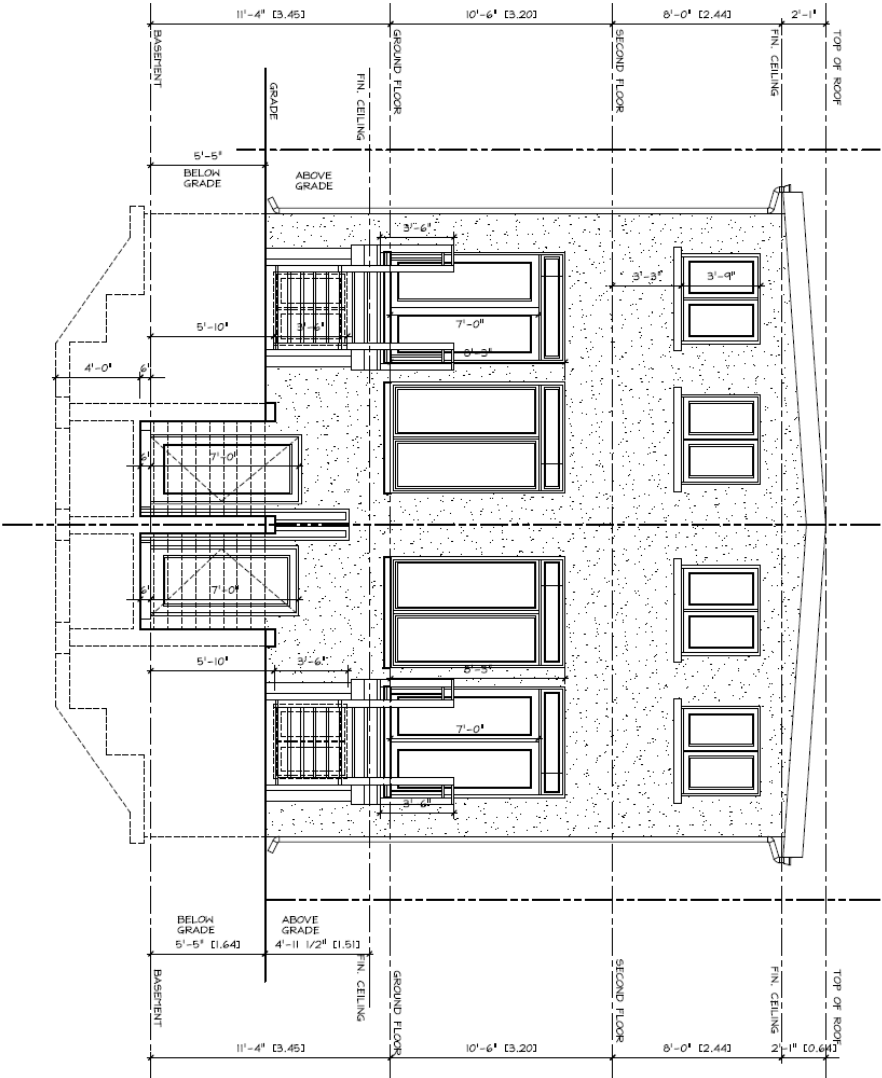


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