

Thursday, May 4, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0002/17NY	Zoning	site specific rezoning
Owner(s):	2282014 ONTARO INC	Ward:	Don Valley West (25)
	ESTATES OF BAYVIEW INC		
Agent:	EMERALD PARK (2010) INC	Heritage:	Not Applicable
Property Address:	2710 BAYVIEW AVE	Community:	North York
Legal Description:	CON 1 EY PT LOT 14		

Notice was given and the application considered on Thursday, May 4, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the lands to create a separate building lot to construct a new detached dwelling. Related planning files include 15 267780 NNY 25 OZ and 16 21 2893 NNY 25 SA. The related rezoning and site plan applications permit townhouses along Bayview Avenue with a total of 20 units. One detached dwelling is proposed west of the townhouses on Caldby Court (subject of this consent) and will have access from Caldby Court.

Conveyed - PARTS 1, 3 and 5

Address to be determined

PARTS 1, 3 and 5 will have a frontage of 21.98 m and a lot area of 2,610.3m². This site is being created to accommodate a future detached dwelling.

Retained - PARTS 2, 4, and 6

Address to be determined

PARTS 2, 4, 6 will have a frontage of 91.41 m and a lot area of 3,322.3m². These lands will accommodate the proposed townhouse development.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of the this Decision:

SIGNATURE PAGE

File Number:	B0002/17NY	Zoning	site specific rezoning
Owner(s):	2282014 ONTARO INC ESTATES OF BAYVIEW INC	Ward:	Don Valley West (25)
Agent:	EMERALD PARK (2010) INC	Heritage:	Not Applicable
Property Address:	2710 BAYVIEW AVE	Community:	North York
Legal Description:	CON 1 EY PT LOT 14		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 31, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, May 4, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0147/17NY	Zoning	RD/R2 [ZZC]
Owner(s):	JAMES E CHALMERS AMIR CHARMCHI	Ward:	Willowdale (24)
Agent:	ELMIRA ZARRABI	Heritage:	Not Applicable
Property Address:	66 FOREST GROVE DR	Community:	North York
Legal Description:	PLAN M754 LOT 44		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.60.(3), By-law No. 569-2013**
Exterior stairs may encroach into a required setback provided they are no wider than 2.00m.
The proposed front stairs are 3.07m wide.
- 2. Chapter 10.5.60.20.(9), By-law No. 569-2013**
The minimum side yard setback for a swimming pool or other ancillary structure used to hold water that is a corner lot is 6.40m.
The proposed side yard setback for the structure holding water is 2.92m.
- 3. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 7.63m.
- 4. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013**
The minimum required front yard setback is 9.00m.
The proposed front yard setback is 8.60m.
- 5. Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 2.40m.
The proposed north side yard setback is 1.30m.

6. **Section 11.2.4(a), By-law No. 7625**
The minimum required front yard setback is 9.00m.
The proposed front yard setback is 8.60m.
7. **Section 11.2.4(b), By-law No. 7625**
The minimum required side yard setback is 2.40m.
The proposed north side yard setback is 1.30m.
8. **Section 11.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.05m.
9. **Section 6(9), By-law No. 7625**
The maximum permitted projection for eaves into a required yard setback is 0.50m.
The proposed eaves project 0.76m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0147/17NY	Zoning	RD/R2 [ZZC]
Owner:	JAMES E CHALMERS AMIR CHARMCHI	Ward:	Willowdale (24)
Agent:	ELMIRA ZARRABI	Heritage:	Not Applicable
Property Address:	66 FOREST GROVE DR	Community:	North York
Legal Description:	PLAN M754 LOT 44		

Wayne McEachern (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0163/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	HUNG CHIN-PAO HSU	Ward:	Willowdale (23)
Agent:	ELMIRA ZARRABI	Heritage:	Not Applicable
Property Address:	219 DUNVIEW AVE	Community:	North York
Legal Description:	PLAN 3691 PT LOT 83		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 8.30m.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 18.10m.
- 3. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013**
The minimum required front yard setback is 7.63m.
The proposed front yard setback is 7.32m.
- 4. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- 5. Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.0% of the lot area.
- 6. Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 18.10m.

7. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 9.20m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

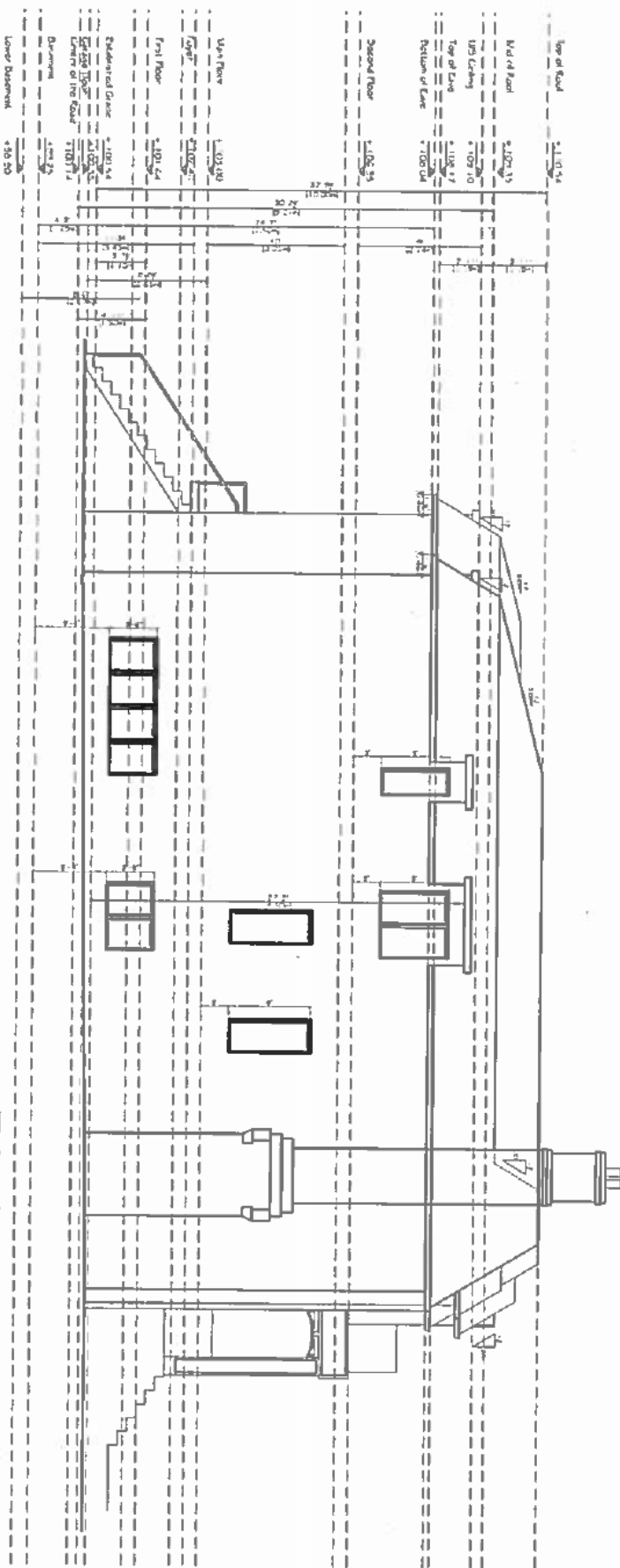
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the east and west side elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, April 24, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



RECEIVED

APR 24 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

GENERAL NOTES:

1. THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE REPRODUCED WITHOUT WRITTEN PERMISSION.
2. THESE DRAWINGS ARE FOR PRELIMINARY CONSTRUCTION PURPOSES ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL BUILDING CODE AND THE CANADIAN NATIONAL ELECTRICAL CODE.
4. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS.
5. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS.
6. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS.
7. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS.
8. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS.
9. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS.
10. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS.

NO.	REVISION	DATE
1	ISSUED	JAN 17/16
2	CA	FEB 27/16

PROJECT ADDRESS:
219 DUNDAS AVENUE
TORONTO, ONTARIO

PROJECT NO: 100-02

DRAWING TITLE:
EAST SIDE ELEVATION

NO.	REVISION	DATE
1	ISSUED	APR 17/17

ELMIRA ZARABI
DESIGN ASSOCIATES

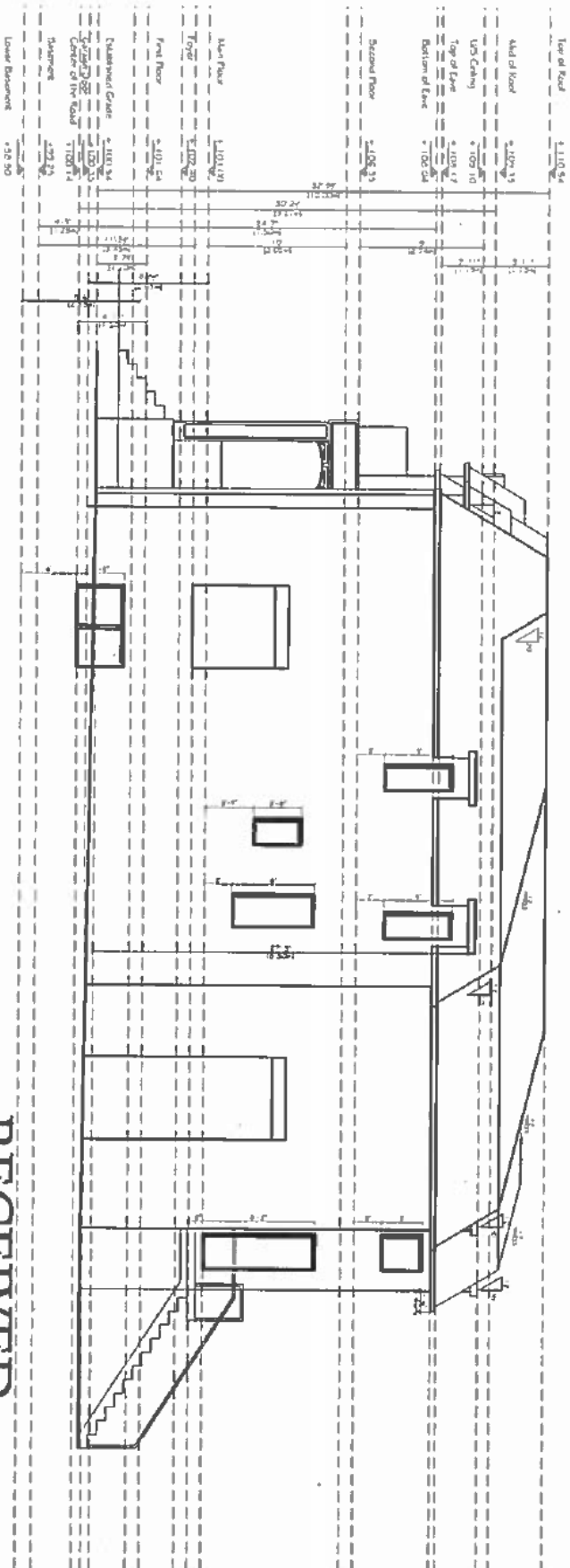
100-02-101-01
1178-0070A.CA
6000 SHEPPARD AVENUE EAST
SUITE 101
M1S 1V2
TORONTO, ONTARIO

STRUCTURAL ENGINEER:

SCALE: 1/8" = 1'-0"

DATE:

A9



RECEIVED

APR 24 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

GENERAL NOTES:

1. THESE DRAWINGS ARE THE PROPERTY OF THE CITY OF TORONTO AND WILL BE RETURNED TO THE CITY OF TORONTO UPON REQUEST.
2. THESE DRAWINGS ARE FOR INFORMATION ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES. CONSTRUCTION MUST BE BASED ON THE ORIGINAL DRAWINGS AND NOT THESE REPRODUCED DRAWINGS.
3. ALL WORK SHALL BE COMPLETED BY THE DATE INDICATED ON THE DRAWING.
4. ALL WORK SHALL BE COMPLETED BY THE DATE INDICATED ON THE DRAWING.
5. ALL WORK SHALL BE COMPLETED BY THE DATE INDICATED ON THE DRAWING.
6. ALL WORK SHALL BE COMPLETED BY THE DATE INDICATED ON THE DRAWING.
7. ALL WORK SHALL BE COMPLETED BY THE DATE INDICATED ON THE DRAWING.
8. ALL WORK SHALL BE COMPLETED BY THE DATE INDICATED ON THE DRAWING.
9. ALL WORK SHALL BE COMPLETED BY THE DATE INDICATED ON THE DRAWING.
10. ALL WORK SHALL BE COMPLETED BY THE DATE INDICATED ON THE DRAWING.

NO.	REVISION FOR	DATE
1	REVISION	JAN 11/16
2	COA	FEB 17/16

PROJECT ADDRESS:
219 DUNDAS AVENUE
TORONTO, ONTARIO

PROJECT NO: 1701-02
DRAWING TITLE:
WEST SIDE ELEVATION

NO.	REVISION	DATE
1	2/16/17	2/17/17

ELMIRA ZARRABI DESIGN ASSOCIATE

ELMIRA ZARRABI
DESIGN ASSOCIATE
1164/171-085
600 DUNDAS ST. UNIT 304
TORONTO, ONT. CANADA
M5G 1A7

STRUCTURAL ENGINEER:

SCALE: 1/8" = 1'-0"
DRAWN BY:
CHECKED BY:

A8

SIGNATURE PAGE

File Number: A0163/17NY
Owner: HUNG CHIN-PAO HSU
Agent: ELMIRA ZARRABI
Property Address: **219 DUNVIEW AVE**
Legal Description: PLAN 3691 PT LOT 83

Zoning: RD/R4 [ZZC]
Ward: Willowdale (23)
Heritage: Not Applicable
Community: North York

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0134/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	BABAK YAZDANPARAST	Ward:	Willowdale (24)
Agent:	OE DESIGN LTD	Heritage:	Not Applicable
Property Address:	4 RAVENSCROFT CRCL	Community:	North York
Legal Description:	PLAN M677 LOT 143		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey single family dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10, By-law No. 1676-2013**
The minimum size of the front vestibule is 10.00m².
The proposed size of the front vestibule is 0.00m².
- 2. Chapter 10.20.30.40.(1) A), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.70% of the lot area.
- 3. Chapter 10.20.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 7.99m.
The proposed front yard setback is 7.50m.
- 4. Chapter 10.20.40.70.(2) A), By-law No. 569-2013**
The minimum required rear yard setback is 7.50m.
The proposed rear yard setback is 6.94m.
- 5. Section 13.2.2., By-law No. 7625**
The minimum required lot area is 550.00m².
The proposed lot area is 535.00m².
- 6. Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.70% of the lot area.

7. **Section 13.2.3c, By-law No. 7625**
The minimum required rear yard setback is 9.50m.
The proposed rear yard setback is 6.94m.
8. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.26m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the South Elevation, West Elevation, and East Elevation drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, April 25, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



1 SOUTH ELEVATION

Scale: 3/16" = 1'-0"

RECEIVED

JAN 25 2017

Toronto City Planning
North York District

4 RAVENSCROFT CI

NORTH YORK ONTARIO

Item	Code	Material	Qty
1	1201	1201	1
2	1202	1202	1
3	1203	1203	1
4	1204	1204	1
5	1205	1205	1
6	1206	1206	1
7	1207	1207	1
8	1208	1208	1
9	1209	1209	1
10	1210	1210	1

All Drawings, Specifications and Related Documents are the property of OE Design Ltd. The copyright in the same being reserved to them. Reproductions of Drawings, Specifications and Related Documents in part or whole is not permitted without the written permission of OE Design Ltd. The contractor is to verify dimensions and data noted herein with conditions on the site and is held responsible for reporting any discrepancy to OE Design Ltd. for adjustment.

OE Design

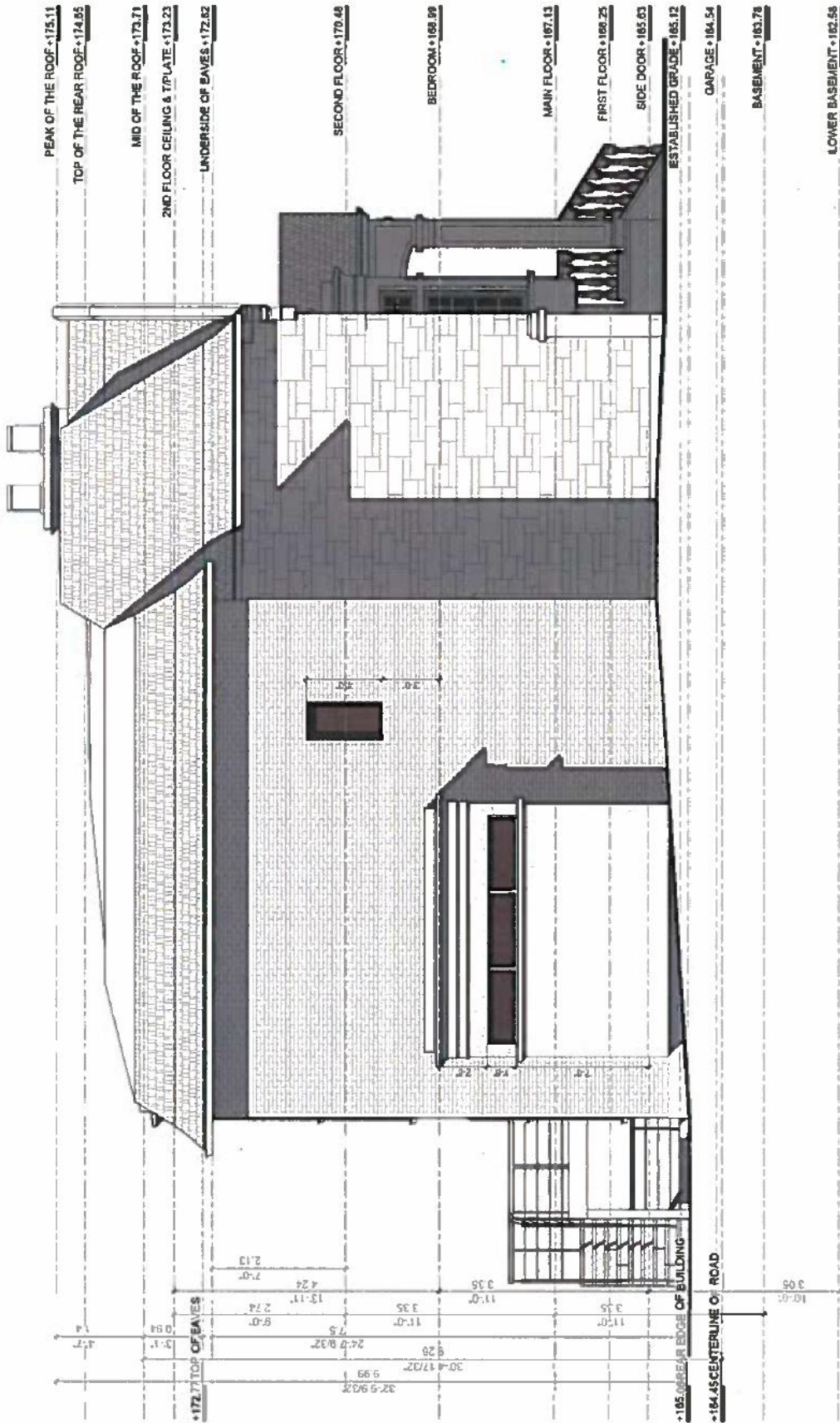


440-5799 Yonge St.
Toronto, M4M 1Y7
Tel: 416-344-1777
Fax: 416-344-1778
info@oedesign.ca

MAIN ELEVATION

Item	Code	Material	Qty
1	1201	1201	1
2	1202	1202	1
3	1203	1203	1
4	1204	1204	1
5	1205	1205	1
6	1206	1206	1
7	1207	1207	1
8	1208	1208	1
9	1209	1209	1
10	1210	1210	1

A2-01



RECEIVED

APR 25 2017

Toronto City Planning
North York District

1 WEST ELEVATION

Scale: 3/16" = 1'-0"

4 RAVENSCROFT CI

NORTH YORK ONTARIO

No.	Date	Issued For	By
1	10/14/14	FOR CLIENT REVIEW	AE
2	10/14/14	FOR CLIENT REVIEW	AE
3			
4			
5			
6			
7			
8			
9			
10			

All Drawings, Specifications and Related Documents are the property of OE Design Ltd. The copyright in the same being reserved to them. Reproduction of Drawings, Specifications and Related Documents without the prior written consent of OE Design Ltd. is prohibited. The drawings must not be scaled. The architect is to verify dimensions and data noted herein with conditions on the site and is to hold OE Design Ltd. harmless for any discrepancy to OE Design Ltd. for adjustment.

OE Design

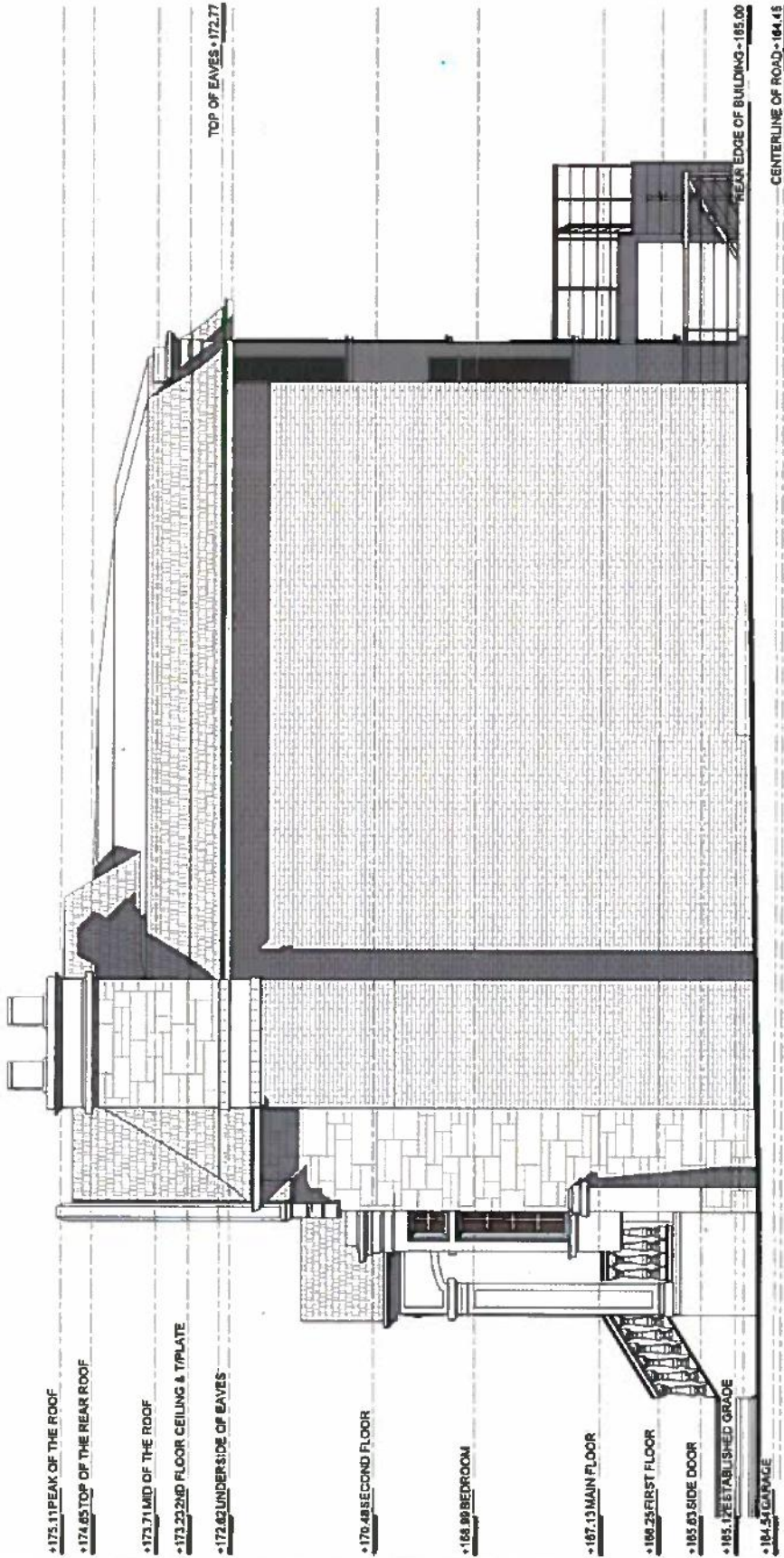


445-1791 Yonge St.
Toronto, M2M 3Y1
Tel: 416-344-1977
Fax: 416-344-1975
info@oedesignbuild.ca

SIDE ELEVATION

Author
Checked
18/18
DEC 2018
3/16" = 1'-0"

A2-03



1 EAST ELEVATION

Scale: 3/16" = 1'-0"

RECEIVED

APR 25 2017

Toronto City Planning
North York District

4 RAVENSCROFT CI

NORTH YORK ONTARIO

Item	Quantity	Unit
1. 1000.00	1000.00	sq. ft.
2. 1000.00	1000.00	sq. ft.
3. 1000.00	1000.00	sq. ft.
4. 1000.00	1000.00	sq. ft.
5. 1000.00	1000.00	sq. ft.
6. 1000.00	1000.00	sq. ft.
7. 1000.00	1000.00	sq. ft.
8. 1000.00	1000.00	sq. ft.
9. 1000.00	1000.00	sq. ft.
10. 1000.00	1000.00	sq. ft.

All Drawings, Specifications and Related Documents are the property of OE Design Ltd. The copyright in these documents is reserved by OE Design Ltd. Reproduction of Drawings, Specifications and Related Documents in part or whole is not permitted without the written permission of OE Design Ltd. The contractor is to verify all dimensions and data noted herein with conditions on the site and is held responsible for reporting any discrepancy to OE Design Ltd. for adjustment.

OE Design



640-518-1000
Toronto, Ontario
Tel: 416-343-1000
Fax: 416-343-1001
info@oe-design.com

SIDE ELEVATION

Item	Quantity	Unit
1. 1000.00	1000.00	sq. ft.
2. 1000.00	1000.00	sq. ft.
3. 1000.00	1000.00	sq. ft.
4. 1000.00	1000.00	sq. ft.
5. 1000.00	1000.00	sq. ft.
6. 1000.00	1000.00	sq. ft.
7. 1000.00	1000.00	sq. ft.
8. 1000.00	1000.00	sq. ft.
9. 1000.00	1000.00	sq. ft.
10. 1000.00	1000.00	sq. ft.

A2-04

SIGNATURE PAGE

File Number:	A0134/17NY	Zoning	RD/R4 [ZZC]
Owner:	BABAK YAZDANPARAST	Ward:	Willowdale (24)
Agent:	OE DESIGN LTD	Heritage:	Not Applicable
Property Address:	4 RAVENSCROFT CRCL	Community:	North York
Legal Description:	PLAN M677 LOT 143		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0139/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	SHULAMIT GRUNWALD JULES GRUNWALD	Ward:	York Centre (10)
Agent:	SARAH IFRAH	Heritage:	Not Applicable
Property Address:	14 ERICA AVE	Community:	North York
Legal Description:	PLAN 4883 PTS LOT 114 & 125 RP 64R 16430 PARTS 2 & 3		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new one-storey addition to the front and west side portion of the existing two-storey dwelling, in conjunction with other interior and exterior alterations.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.22m.
- 2. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013**
The minimum required front yard setback is 8.05m.
The proposed front yard setback is 5.03m.
- 3. Chapter 10.5.40.60.(1), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.30m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required front yard setback 2.50m if it is no closer to a side lot line than the required side yard setback.
The proposed platform encroaches 2.75m into the required front yard setback.
- 4. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 35.45% of the lot area.
- 5. Chapter 200.5.1.10.(2), By-law No. 569-2013**
The minimum required parking space must have a minimum width of 3.20m.
The proposed parking space will have a width of 3.09m.

6. **Section 13.2.3(a), By-law No. 7625**
The minimum required front yard setback is 6.50m.
The proposed front yard setback is 5.03m.
7. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.22m.
8. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 35.45% of the lot area.
9. **Section 6A(3), By-law No. 7625**
The minimum required parking space size is 5.60m in length and 3.20m in width.
The proposed parking space size is 6.10m in length and 3.09m in width.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Submission of a complete application for permit to injure or remove privately owned trees.

SIGNATURE PAGE

File Number:	A0139/17NY	Zoning	RD/R4 [ZZC]
Owner:	SHULAMIT GRUNWALD JULES GRUNWALD	Ward:	York Centre (10)
Agent:	SARAH IFRAH	Heritage:	Not Applicable
Property Address:	14 ERICA AVE	Community:	North York
Legal Description:	PLAN 4883 PTS LOT 114 & 125 RP 64R 16430 PARTS 2 & 3		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0140/17NY	Zoning	R4/RD (f15.0; a550) (x5)[ZONING]
Owner(s):	ZAKIA DOUERRACHALD MOHAMMED BRIHMI	Ward:	Don Valley East (34)
Agent:	JR DESIGN AND CONSTRUCTION	Heritage:	Not Applicable
Property Address:	71 CARONPORT CRES	Community:	North York
Legal Description:	PLAN M744 LOT 67		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10m² of the first floor must be within 4m of the front wall.
The proposed first floor [Mud Room] is 8.79m² and 9.40m from the front wall.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 8.25m.
- Chapter 10.20.40.50.(1), By-law No. 569-2013**
The permitted maximum area of each platform at or above the second storey of a detached house is 4.0m².
The proposed area of each platform at or above the second storey is 7.18m².
- Chapter 10.20.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 7.77m.
The proposed front yard setback is 7.01m.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed north side yard setback is 1.32m.

6. **Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length for a detached house is 17.0m.
The proposed building length is 17.73m.
7. **Chapter 10.5.40.60.(3), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2.0m.
The proposed basement walkout stairs are 4.56m wide.
8. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed north side yard setback is 1.32m.
9. **Section 13.2.3c, By-law No. 7625**
The minimum required rear yard setback is 9.5m.
The proposed rear yard setback is 8.90m.
10. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 27% of the lot area.
The proposed lot coverage is 29.9% of the lot area.
11. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 19.56m.
12. **Section 13.2.6A, By-law No. 7625**
The maximum permitted balcony area is 3.8m².
The proposed balcony area is 7.18m².
13. **Section 6(9)(b), By-law No. 7625**
The maximum permitted projection for exterior stairways is 2.1m.
The proposed projection for the basement walkout stairs is 2.44m.
14. **Section 6(9)(i), By-law No. 7625**
Canopies in the rear yard shall be permitted to project a maximum of 1.8m.
The proposed rear yard canopy projects 3.81m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10m² of the first floor must be within 4m of the front wall.
The proposed first floor [Mud Room] is 8.79m² and 9.40m from the front wall.
2. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 8.25m.

4. **Chapter 10.20.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 7.77m.
The proposed front yard setback is 7.01m.
5. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed north side yard setback is 1.32m.
6. **Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length for a detached house is 17.0m.
The proposed building length is 17.73m.
7. **Chapter 10.5.40.60.(3), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2.0m.
The proposed basement walkout stairs are 4.56m wide.
8. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed north side yard setback is 1.32m.
9. **Section 13.2.3c, By-law No. 7625**
The minimum required rear yard setback is 9.5m.
The proposed rear yard setback is 8.90m.
10. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 27% of the lot area.
The proposed lot coverage is 29.9% of the lot area.
11. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 19.56m.
13. **Section 6(9)(b), By-law No. 7625**
The maximum permitted projection for exterior stairways is 2.1m.
The proposed projection for the basement walkout stairs is 2.44m.
14. **Section 6(9)(i), By-law No. 7625**
Canopies in the rear yard shall be permitted to project a maximum of 1.8m.
The proposed rear yard canopy projects 3.81m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

3. Chapter 10.20.40.50.(1), By-law No. 569-2013

The permitted maximum area of each platform at or above the second storey of a detached house is 4.0m².
The proposed area of each platform at or above the second storey is 7.18m².

12. Section 13.2.6A, By-law No. 7625

The maximum permitted balcony area is 3.8m².
The proposed balcony area is 7.18m².

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

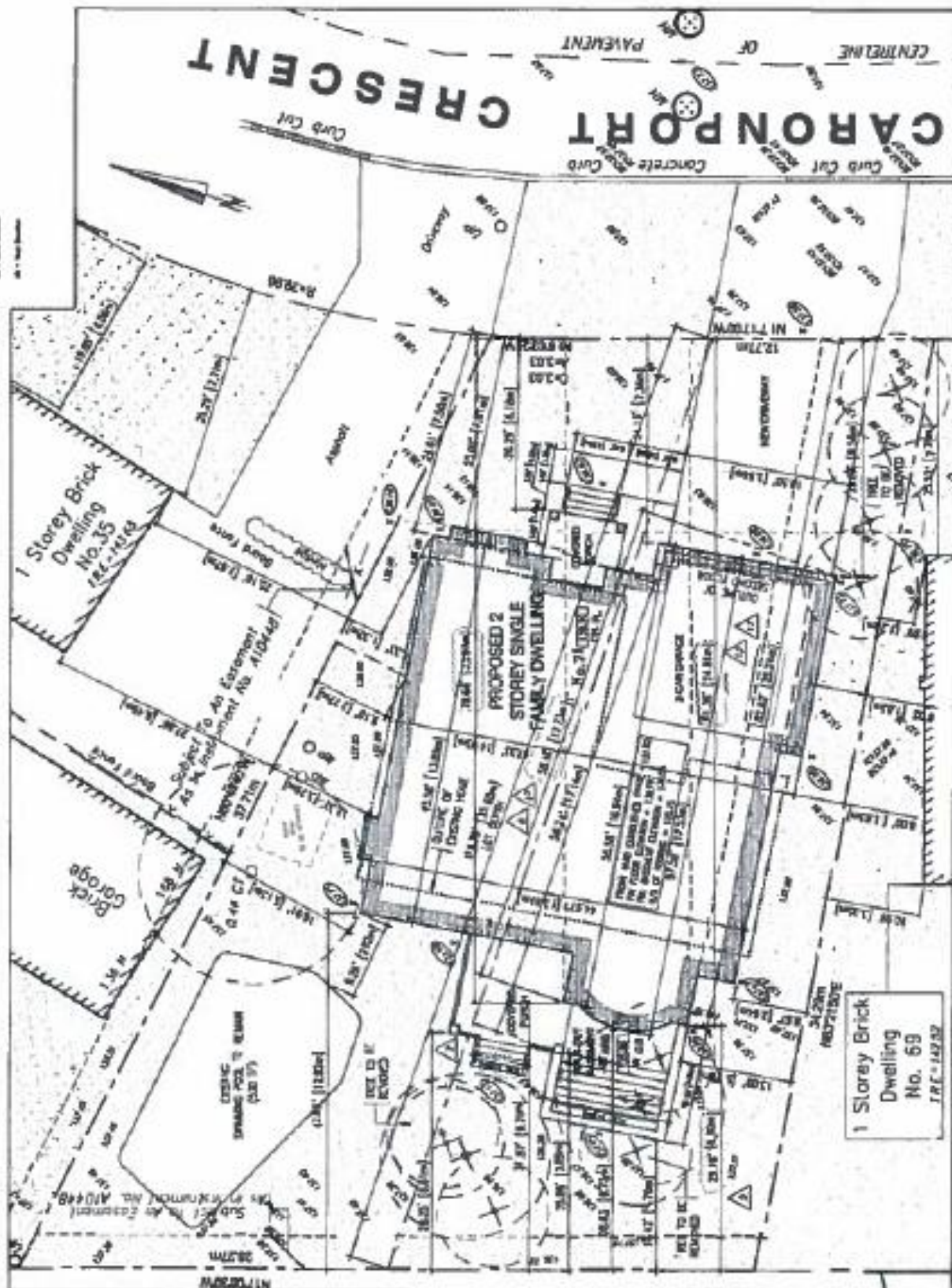
This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the Site Plan, North Elevation, and South Elevation drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, April 25, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

Property Information	71. CONCEPTS DEVELOPED OFF OF ROYALTON, BRANSON - Lot 47 - RES. PLAT 10-714
Selling Brokerage	(90) 371-81 0500 1-613 Total Lot Area: 1.049 acs 788.77 sq. ft.
Lot Description	2.48-01 acs, 17.25% imp. 200' front
Lot Size	1.049 acs (1.049 ac)
Front Yard Zone - Required Front Yard	30'
Front Yard Zone - Suggested Front Yard	30'
Front Yard Zone - Minimum Front Yard	30'
Front Yard Zone - Maximum Front Yard	100.00 acs (100.00 acs)
Front Yard Zone - Area	147.88 acs (147.88 acs)
Front Yard Zone - Area	340.31 acs (340.31 acs) 3.403 acs

Drawing Title List

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----



① SITE PLAN SCALE 1/8" = 1'-0"

RECEIVED

APR 25 2017

Toronto City Planning
North York District

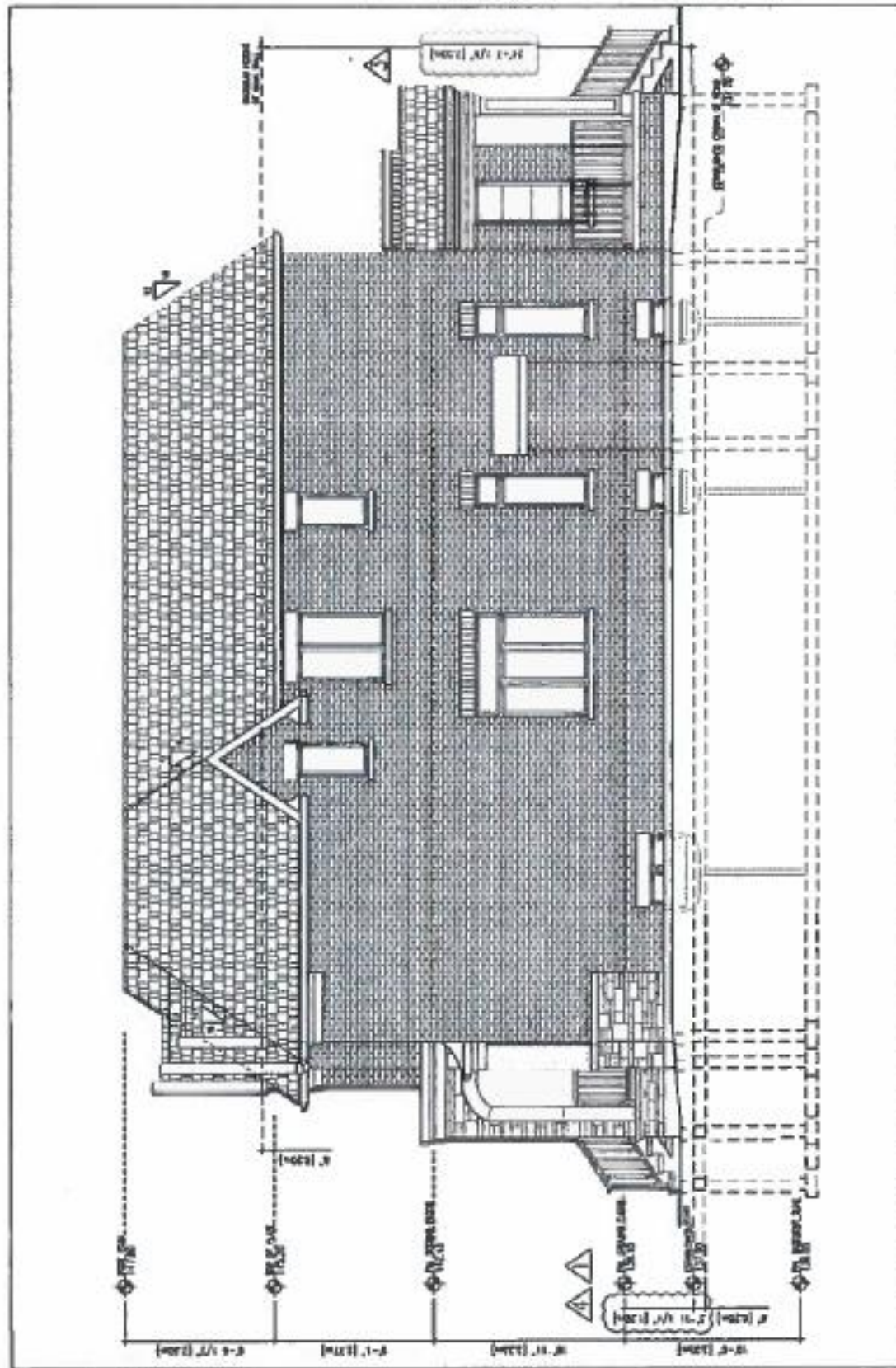
North York District

EXCLUSIVO PARA VENDER POR INTERNET
(Reservados todos los derechos. No se permite la explotación económica ni el uso de esta obra en forma alguna sin consentimiento expreso del autor.)
ISBN 978-0-963-003-00-0

RECEIVED

APR 25 2017

Toronto City Planning
North York District



1 NORTH ELEVATION
SCALE 1/4" = 1'-0"

[illegible]

Notes

[illegible][illegible]

Dr. Stephen

71 CAMDEN RD
TORONTO, ONTARIO
M5S 1A5

NEW 3 STORY HOUSE

[illegible]

SIGNATURE PAGE

File Number:	A0140/17NY	Zoning	R4/RD (f15.0; a550) (x5)[ZONING]
Owner:	ZAKIA DOUERRACHALD MOHAMMED BRIHMI	Ward:	Don Valley East (34)
Agent:	JR DESIGN AND CONSTRUCTION	Heritage:	Not Applicable
Property Address:	71 CARONPORT CRES	Community:	North York
Legal Description:	PLAN M744 LOT 67		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0142/17NY	Zoning	RD / R1B (ZR)
Owner(s):	SUJATA KULKARNI KEVIN CLUETT	Ward:	Don Valley West (26)
Agent:	KAMLESH SEDANI	Heritage:	Not Applicable
Property Address:	58 SUTHERLAND DR	Community:	East York
Legal Description:	PLAN 2122 PT LOT 193 PT LOT 194		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

Addition to existing house.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The altered building will have a length of 18.68 m.
- 2. Chapter 10.20.40.40.(1), By-law 569-2013**
The permitted floor space index is 0.6 times the area of the lot.
The proposed floor space index is 1.02 times the area of the lot.
- 3. Chapter 10.5.40.71.(4), By-law 569-2013**
The minimum building setback from a side lot line for any addition or extension to the rear or the side of a lawfully existing building or structure on a lot with a lot frontage of 9.0 m to 12.2 m is 0.9 m.
The proposed minimum building side yard setback is 0.87 m from the west lot line.
- 4. Section 6.1.1(5), By-law No. 1916**
The maximum permitted building length is 16.75 m.
The proposed building length is 18.86
- 5. Section 6.3.3, By-law No. 1916**
The minimum required west side yard setback is 0.9 m.
The proposed west side yard setback is 0.87 m.

6. Section 6.3.3, By-law No. 1916

The maximum permitted floor space index is 0.6 x the lot area.

The proposed floor space index is 0.66 x the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0142/17NY	Zoning	RD / R1B (ZR)
Owner:	SUJATA KULKARNI KEVIN CLUETT	Ward:	Don Valley West (26)
Agent:	KAMLESH SEDANI	Heritage:	Not Applicable
Property Address:	58 SUTHERLAND DR	Community:	East York
Legal Description:	PLAN 2122 PT LOT 193 PT LOT 194		

Wayne McEachern (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0143/17NY	Zoning	RD/R1 Z0.35 [WAV]
Owner(s):	CHRISTOPHER JOHN SHAHEEN DARANI	Ward:	Eglinton-Lawrence (16)
Agent:	MANARCH DESIGN INC	Heritage:	Not Applicable
Property Address:	75 ALEXANDRA BLVD	Community:	Toronto
Legal Description:	PLAN 1532 LOT 92		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.35 times the lot area.
The proposed floor space index is 0.689 times the lot area.
- 2. Chapter 10.5.40.60.(1), By-law No. 569-2013**
A platform attached or less than 0.30m from a building, with a floor no higher than the first floor of the building, may encroach into the required rear yard setback a maximum of 2.50m.
The proposed platform encroaches 3.66m into the required rear yard setback.
- 3. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 20.58m.
- 4. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.00m.
The proposed building depth is 20.665m.
- 5. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.50m.
The proposed east side yard setback is **1.22m**.

6. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.50m.
The proposed west side yard setback is 0.91m **for the front 10.57m of the dwelling only.**
7. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side yard setback is 7.50m for the portion of the dwelling exceeding 17.00m in depth.
The proposed east side yard setback is 1.22m for the portion of the dwelling exceeding 17.00m in depth.
8. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side yard setback is 7.50m for the portion of the dwelling exceeding 17.00m in depth.
The proposed west side yard setback is **1.52m** for the portion of the dwelling exceeding 17.00m in depth.
9. **Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted gross floor area is 0.35 times the lot area.
The proposed gross floor area is 0.689 times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The property being developed essentially in accordance with the site plan, dated May 3, 2017 attached to this decision.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.
- 2) That the proposed covered porch to remain open on three (3) sides.

ALEXANDRA BOULEVARD

EXISTING CURB CUT
TO BE REWORKED

CURB

SIDEWALK

SRW

DRIVEWAY
11'-0"
(3.35M)

50.06' (15.26M)

18'-5"
(5.62M)

59'-4"
(18.08M)

55'-6"
(16.92M)

34'-8"
(10.57M)

6'-0"
(1.83M)

12'-0"
(3.66M)

21'-6"
(6.55M)

11'-0"
(3.35M)

2'-0"
(0.61M)

2'-0"
(0.61M)

2'-0"
(0.61M)

2'-0"
(0.61M)

2'-0"
(0.61M)

2'-0"
(0.61M)

2'-0"
(0.61M)

2'-0"
(0.61M)

2'-0"
(0.61M)

2'-0"
(0.61M)

2'-0"
(0.61M)

2'-0"
(0.61M)

2'-0"
(0.61M)

2'-0"
(0.61M)

2'-0"
(0.61M)

2'-0"
(0.61M)

2'-0"
(0.61M)

2'-0"
(0.61M)

2'-0"
(0.61M)

2'-0"
(0.61M)

2'-0"
(0.61M)

2'-0"
(0.61M)

2'-0"
(0.61M)

2'-0"
(0.61M)

2'-0"
(0.61M)

2'-0"
(0.61M)

2'-0"
(0.61M)

75 ALEXANDRA BOULEVARD

PROPOSED 2-STORY
SINGLE FAMILY DWELLING

F.F.F. = 166.21M
BASEMENT SLAB = 163.16M
U/S OF FOOTINGS = 162.86M

EXISTING DWELLING
TO BE DEMOLISHED

COVERED PORCH

12'-0"
(3.66M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

WINDOW WELL
9'-10"x2'-4"
(3.00x0.73M)
CANTILEVERED
1-STORY BOXBAY

1-STORY PORTION

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

4'-1"
(1.22M)

135.04' (41.16M)

50.10' (15.27M)

135.04' (41.16M)

50.10' (15.27M)

135.04' (41.16M)

50.10' (15.27M)

135.04' (41.16M)

50.10' (15.27M)

135.04' (41.16M)

50.10' (15.27M)

135.04' (41.16M)

50.10' (15.27M)

135.04' (41.16M)

50.10' (15.27M)

135.04' (41.16M)

50.10' (15.27M)

135.04' (41.16M)

50.10' (15.27M)

135.04' (41.16M)

50.10' (15.27M)

135.04' (41.16M)

50.10' (15.27M)

135.04' (41.16M)

50.10' (15.27M)

135.04' (41.16M)

50.10' (15.27M)

135.04' (41.16M)

50.10' (15.27M)

135.04' (41.16M)

50.10' (15.27M)

135.04' (41.16M)

Project Name and Address

DARANI - JOHN RESIDENCE
75 ALEXANDRA BOULEVARD
TORONTO

Drawing

SITE PLAN

Date

REV. MAY 3, 2017

Scale

3/32" = 1'-0"

Project No.

026-16

Firm Name and Address

MD ManArch Design Inc.

1 Trillium Drive
Toronto, Ont. M2H 2H9
Tel: (416) 414-2835
Fax: (416) 414-2835
Website: manarch.ca
Email: madi@manarch.ca

SIGNATURE PAGE

File Number:	A0143/17NY	Zoning	RD/R1 Z0.35 [WAV]
Owner:	CHRISTOPHER JOHN SHAHEEN DARANI	Ward:	Eglinton-Lawrence (16)
Agent:	MANARCH DESIGN INC	Heritage:	Not Applicable
Property Address:	75 ALEXANDRA BLVD	Community:	Toronto
Legal Description:	PLAN 1532 LOT 92		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0144/17NY	Zoning	R1 Z0.35/RD (f10.5; d0.35) x1429[ZONING]
Owner(s):	HANCHING HSU	Ward:	Don Valley West (25)
Agent:	TAYLOR DESIGN SERVICES	Heritage:	Not Applicable
Property Address:	9 BLYTHWOOD GDNS	Community:	Toronto
Legal Description:	PLAN 604E PT LOT 10 PT LOT 11		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition, new rear deck, front porch and interior alterations to all floors of the existing single family dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted Floor Space Index is 0.35 times the area of the lot.
The proposed Floor Space Index is **0.646** times the area of the lot.
- Section 6(3)Part I 1, By-law No. 438-86**
The maximum permitted Gross Floor Area is 0.35 times the area of the lot.
The proposed Gross Floor Area is **0.646** times the area of the lot.
- Section 6(3) Part II 3. B(II), By-law No. 438-86**
The minimum required side lot line setback for that portion of the building exceeding 17.0m in depth is 7.5m.
The proposed south side lot line is **1.20m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.

- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The property being developed essentially in accordance with the site plan, dated April 27, 2017, attached to this decision.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

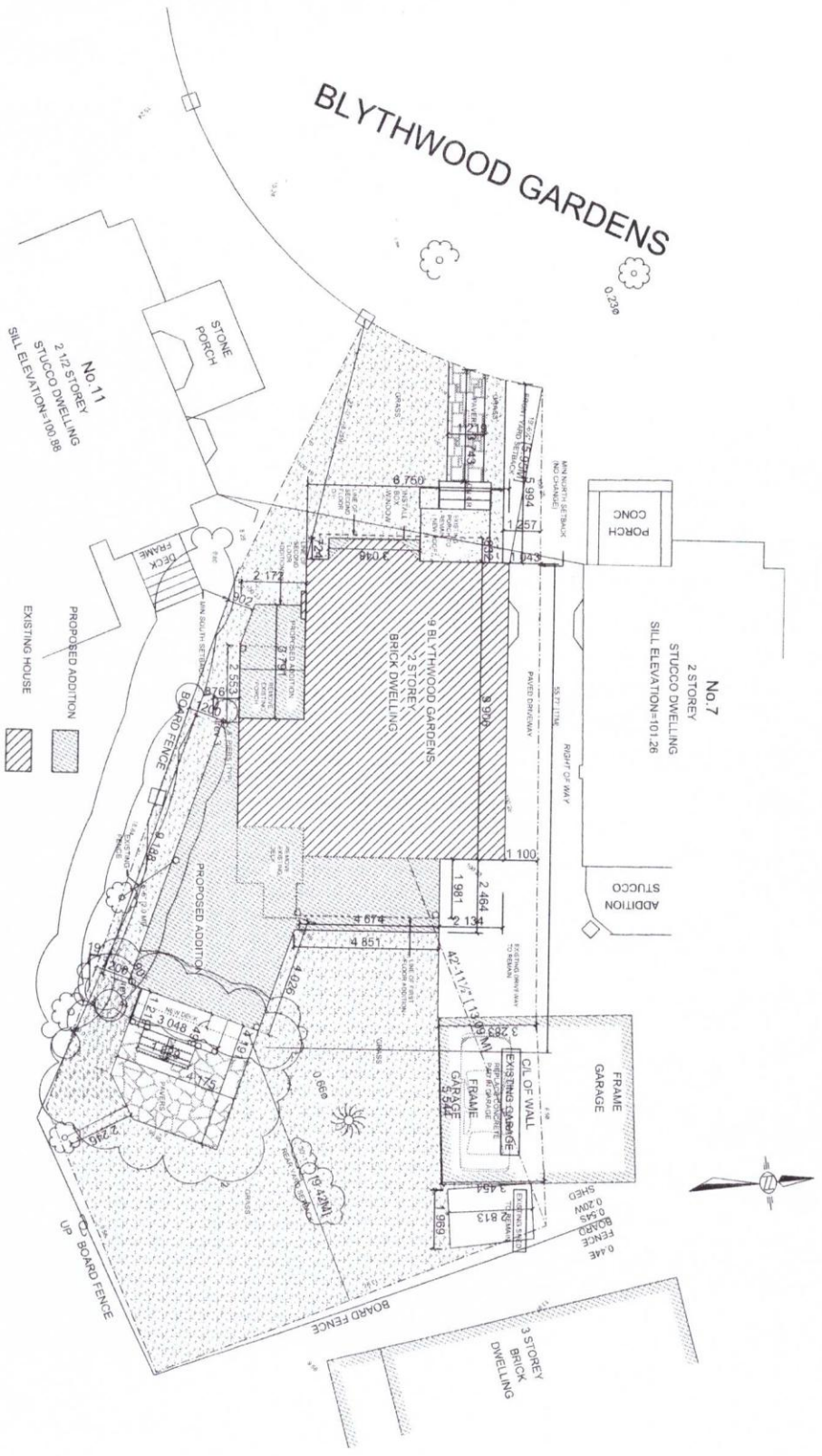
1 SITE PLAN
SCALE: 1:150

LANDSCAPING FRONT YARD		BACK YARD	
AREA	(SQ.FT.)	(SQ.M)	(SQ.FT.)
PORCH+STAIR	77.7	7.22	
PAVER WALK	49.1	4.56	
DECK+PATIO			235.3
GARAGE			21.86
DRIVEWAY	81.1	7.54	18.75
GREEN	398.1	34.20	125.00
TOTAL	576.1	53.52	1987.2

LOT AREA: 395.42 SQ. M		4256.3 SF	
GFA	SQ. FT.	SQ. M	SQ. M
EXISTING	823.6	76.5	76.5
PROPOSED	509.1	47.3	47.3
ADDITION			59.2
TOTAL	1332.6	123.8	123.8

DECK: 40 SF (3.72 SM)

ESTABLISHED GRADE = (100.25 + 100.19) / 2 = +100.22



TAYLOR DESIGN SERVICES
CREATING SOLUTIONS FOR YOUR SPACE

9 BLYTHWOOD GARDENS
INTERIOR RENOVATIONS / ADDITION
DECEMBER 12-16
TAYLOR DESIGN SERVICES
SCALE: 1:150 (11 X 17)

4/27/2017 11:55 PM

- rev 3 notes April 27-17
- move setback of addition to 1.2 m from south p/p per City Planning request
- rev 2 notes March 15-17
- move paver patio edge towards deck
- move edge to 2.246m from tree
- rev 1 notes Feb 2-17
- move south wall to 0.9M
- move rear wall to west by 0.5M

SIGNATURE PAGE

File Number:	A0144/17NY	Zoning	R1 Z0.35/RD (f10.5; d0.35) x1429[ZONING]
Owner:	HANCHING HSU	Ward:	Don Valley West (25)
Agent:	TAYLOR DESIGN SERVICES	Heritage:	Not Applicable
Property Address:	9 BLYTHWOOD GDNS	Community:	Toronto
Legal Description:	PLAN 604E PT LOT 10 PT LOT 11		

Beth Levy (signed)

Wayne McEachern (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0145/17NY	Zoning	R4 / RD(f12.0; a370) (x1463) [WAIVER]
Owner(s):	HUI XU XIAOFENG CHEN	Ward:	York Centre (10)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	149 ALEXIS BLVD	Community:	North York
Legal Description:	PLAN 1938 W PT LOT 48		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey single family dwelling with integral garage. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.20, By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is **18.39m**.
- 2. Chapter 10.20.40.10. (2), By-law No. 569-2013**
The maximum permitted main wall height is 7.50m of 100.00%.
The proposed main wall height is 7.50m of 83.00%.
- 3. Chapter 10.20.30.40 (1)(A), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **30.67%** of the lot area.
- 4. Section 14-A (9)(a), By-law No. 7625**
The maximum permitted building length is 15.30m.
The proposed building length is **19.24m**.
- 5. Section 14-A(8)(b), By-law no, 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.00m.

7. Section 14-(6)(a), By-law No. 7625

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is **30.67%** of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. Chapter 10.20.40.10. (2), By-law No. 569-2013

The maximum permitted main wall height is 7.50m of 100.00%.

The proposed main wall height is 7.50m of 83.00%.

3. Chapter 10.20.30.40 (1)(A), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is **30.67%** of the lot area.

4. Section 14-A (9)(a), By-law No. 7625

The maximum permitted building length is 15.30m.

The proposed building length is **19.24m**.

5. Section 14-A(8)(b), By-law no, 7625

The maximum permitted building height is 8.80m.

The proposed building height is 9.00m.

7. Section 14-(6)(a), By-law No. 7625

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is **30.67%** of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

1. Chapter 10.20.40.20, By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is **18.39m**.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

- 1) That the second storey bathroom windows, on the east elevation, be of a permanently frosted nature.

SIGNATURE PAGE

File Number:	A0145/17NY	Zoning	R4 / RD(f12.0; a370) (x1463) [WAIVER]
Owner:	HUI XU XIAOFENG CHEN	Ward:	York Centre (10)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	149 ALEXIS BLVD	Community:	North York
Legal Description:	PLAN 1938 W PT LOT 48		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0148/17NY	Zoning	R2 Z0.6/R (d0.6) (x767)[ZONING]
Owner(s):	KEVIN ROSE ELIZABETH SEO	Ward:	Eglinton-Lawrence (16)
Agent:	DREW LASZCO ARCHITECT INC	Heritage:	Not Applicable
Property Address:	134 EDITH DR	Community:	Toronto
Legal Description:	PLAN 734 RANGE 1 PT LOT 15		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second floor addition above the existing one-storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.40.40.(2), By-law No. 569-2013**
The maximum permitted Floor Space Index is 0.69 times the area of the lot.
The proposed Floor Space Index is 0.73 times the area of the lot.
- Section 6(3) Part VI 1(I), By-law No. 438-86**
The maximum permitted Gross Floor Area is 0.69 times the area of the lot.
The proposed Gross Floor Area is 0.73 times the area of the lot.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Submission of a complete application for permit to injure or remove privately owned trees.

SIGNATURE PAGE

File Number:	A0148/17NY	Zoning	R2 Z0.6/R (d0.6) (x767)[ZONING]
Owner:	KEVIN ROSE ELIZABETH SEO	Ward:	Eglinton-Lawrence (16)
Agent:	DREW LASZCO ARCHITECT INC	Heritage:	Not Applicable
Property Address:	134 EDITH DR	Community:	Toronto
Legal Description:	PLAN 734 RANGE 1 PT LOT 15		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0151/17NY	Zoning	RD5/R4 [WAIVER]
Owner(s):	ANIS NASEHI	Ward:	Willowdale (23)
	AKBAR MOHAMAD-HOSAINI		
Agent:	AGA ENGINEERING INC	Heritage:	Not Applicable
Property Address:	158 HARLANDALE AVE	Community:	North York
Legal Description:	PLAN M389 LOT 154		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached single family dwelling. The existing structure would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.70 (3) (A), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.52m.
- 2. Chapter 10.20.40.70 (3) (A), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.52m.
- 3. Chapter 10.5.40.50, By-law No. 569-2013**
A platform without main walls such as a deck, attached to or within 0.30m of a building must comply with the required minimum building side yard setbacks: 1.80m.
The proposed platform east side yard setback is 1.52m.
- 4. Chapter 10.20.30.40.(1) A), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area: 163.95m².
The proposed lot coverage is 32.00% of the lot area: 174.90m².
- 5. Chapter 10.5.80.40.(2), By-law No. 569-2013**
The elevation of the lowest point of a vehicle entrance in a main wall of the building shall be higher than the elevation of the centreline of the driveway at the point where it intersects a lot line abutting a street (100.07).
The proposed elevation of the garage entrance will be lower than the elevation of the centreline of the driveway at the point where it intersects the lot line abutting the street (99.91).

6. **Chapter 10.5.40.60.(3) (A)(iii), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.60m.
The proposed stairs are 0.45m from the west side lot line.
7. **Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550.00m².
The proposed lot area is 546.51m².

8. Section 6 (24)(d)(ii)(A), By-law No. 7625
In the rear yard, unexcavated porches or decks attached to or detached from the main building shall not be located closer to the side lot lines than the minimum side yard setback for the main building; 1.80m.
The proposed rear platform is 1.52m from the east lot line.
9. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.52m.
10. **Section 6(9)(e), By-law No. 7625**
Exterior stairs may project into one minimum side yard setback not more than 1.60m, if the stairs are no closer to a side lot line than 0.60m.
The proposed stairs are 0.45m from the west side lot line.
11. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.52m.
12. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
13. **Section 13.26.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.30m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The driveway to maintain a minimum of 2% positive slope from the street to the entry of the integral garage.
- 2) The driveway to be constructed of permeable materials.
- 3) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0151/17NY	Zoning	RD5/R4 [WAIVER]
Owner:	ANIS NASEHI	Ward:	Willowdale (23)
	AKBAR MOHAMAD-HOSAINI		
Agent:	AGA ENGINEERING INC	Heritage:	Not Applicable
Property Address:	158 HARLANDALE AVE	Community:	North York
Legal Description:	PLAN M389 LOT 154		

Beth Levy (signed)

Wayne McEachern (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0152/17NY	Zoning	RD / R1 (ZR)
Owner(s):	SUKRIT GANGULY	Ward:	Don Valley West (25)
Agent:	ANDREW DEANE	Heritage:	Not Applicable
Property Address:	76 GLENGOWAN RD	Community:	Toronto
Legal Description:	PLAN 511E LOT 32		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new dwelling with attached garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.35 times the area of the lot.
The proposed floor space index is **0.59** times the area of the lot.
- 2. Chapter 10.20.40.10.(6), By-law No. 569-2013**
The permitted maximum height of the first floor above established grade is 1.2 m.
The proposed height of the first floor above established grade is 1.38 m.
- 3. Section 6(3) Part I 1, By-law No. 438-86**
The permitted maximum residential gross floor area is 0.35 times the area of the lot.
The proposed residential gross floor area of the building is **0.59** times the area of the lot.
- 4. Section 6(3) Part IV 3(II), By-law No. 438-86**
The by-law does not permit an integral garage in a building where the floor level of the garage is located below grade and the vehicle access to the garage is located in a wall facing the front lot line.
The proposed integral garage is below grade.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The driveway to maintain a minimum of 1.75% positive slope from the street to the entry of the integral garage.

SIGNATURE PAGE

File Number: A0152/17NY
Owner: SUKRIT GANGULY
Agent: ANDREW DEANE
Property Address: **76 GLENGOWAN RD**
Legal Description: PLAN 511E LOT 32

Zoning: RD / R1 (ZR)
Ward: Don Valley West (25)
Heritage: Not Applicable
Community: Toronto

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0154/17NY	Zoning	R4/RD (f 15 ; a 550) (x 5) [ZONING]
Owner(s):	FARSHI RANA MOHAMMADI FARHAD CHAHICHI	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	22 HOMEWOOD AVE	Community:	North York
Legal Description:	PLAN 2366 LOT 162		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 31.9% of the lot area.
- 2. Chapter 10.5.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 8.08m.
The proposed front yard setback is 6.57m.
- 3. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.52m.
- 4. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.52m.
- 5. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.52m.

6. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.52m.
7. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 31.9% of the lot area.
8. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is **9.10m**.
9. **Section 6(30)a, By-law No. 7625**
The maximum permitted finished first floor height is 1.5m.
The proposed finished first floor height is 1.78m.
10. **Section 6(24), By-law No. 7625**
Decks greater than 1m in height may not project more than 2.m from the wall and must be less than 0.5 times the width of the dwelling.
The proposed deck is greater than 1m in height and projects 3.46m from the wall.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0154/17NY	Zoning	R4/RD (f 15 ; a 550) (x 5) [ZONING]
Owner:	FARSHI RANA MOHAMMADI FARHAD CHAHICHI	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	22 HOMEWOOD AVE	Community:	North York
Legal Description:	PLAN 2366 LOT 162		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0155/17NY	Zoning	RD(f 12; a370)/ R6 [ZZC]
Owner(s):	ZARMINE AHMADY AZIZ AHMAD AHMADY	Ward:	Willowdale (24)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	31 NEWTON DR	Community:	North York
Legal Description:	PLAN 2324 LOT 145 W PT LOT 144		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey single family detached dwelling with integral garage. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1) A), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area: 139.98m².
The proposed lot coverage is 32.10% of the lot area 149.79m².
- Section 14-A(6), By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.10% of the lot area.
- Section 6(24), By-law No. 7625**
Decks greater than 1.00m in height may not project more than 2.10m from the wall and be less than 0.50 times the width of the dwelling.
The proposed deck is greater than 1.00m in height and projects 3.048m from the wall.
- Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.08m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

i) Submission of a complete application for a permit to injure or destroy a City-owned tree(s).

A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at

www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

SIGNATURE PAGE

File Number:	A0155/17NY	Zoning	RD(f 12; a370)/ R6 [ZZC]
Owner:	ZARMINE AHMADY AZIZ AHMAD AHMADY	Ward:	Willowdale (24)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	31 NEWTON DR	Community:	North York
Legal Description:	PLAN 2324 LOT 145 W PT LOT 144		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0157/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	HOSSEIN TABATABAEI	Ward:	Willowdale (24)
Agent:	HAYDEH AMIRBEHBOODI	Heritage:	Not Applicable
Property Address:	134 NORTHWOOD DR	Community:	North York
Legal Description:	PLAN 3344 E PT LOT 33		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of the front main wall is 7.50m.
The proposed height of the front main wall is 8.44m.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 18.50m.
- 3. Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.54m.
- 4. Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.49m.
- 5. Chapter 10.5.40.60.(1), By-law No. 569-2013**
The maximum permitted encroachment for a porch into a required front yard setback is 2.50m.
The proposed front porch encroaches 3.04m into the required front yard setback.
- 6. Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.105m.

7. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 18.29m.
8. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.54m.
9. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.49m.
10. **Section 6(30), By-law No. 7625**
The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is **1.62m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the east elevation and west elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, April 24, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



**CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE**

[illegible]

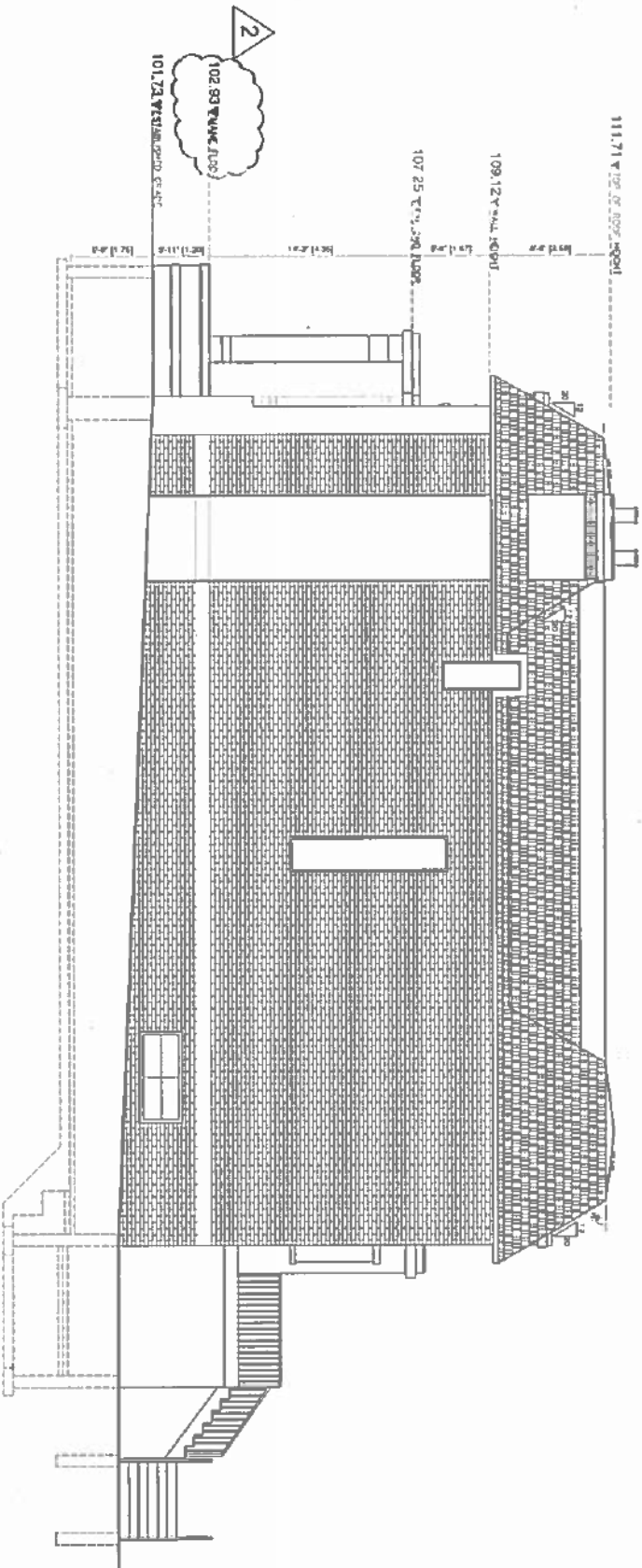
PRODUCT		134 NORTHWOOD DRIVE TORONTO, ONTARIO	
GRATING TYPE			
EAST ELEVATION			
ORDER	M.E.	NOT VALID BEYOND 90 INCHES	SCALE
DATE	M.E.		AS SHOWN
PROJECT NO.			DATE
			A-5

[illegible]

APR 24 2017

CITY OF TORONTO PLANNING
NORTH YORK CITY CENTRE

8 EAST ELEVATION
A-B SCALE 1/8" = 1'-0" 136 NORTHWOOD



SIGNATURE PAGE

File Number:	A0157/17NY	Zoning	RD/R4 [ZZC]
Owner:	HOSSEIN TABATABAEI	Ward:	Willowdale (24)
Agent:	HAYDEH AMIRBEHBOODI	Heritage:	Not Applicable
Property Address:	134 NORTHWOOD DR	Community:	North York
Legal Description:	PLAN 3344 E PT LOT 33		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0158/17NY	Zoning	R1B/RD (f12.0; a370; d0.6)[ZONING]
Owner(s):	NADINE ORR MARC IAFOLLA	Ward:	Don Valley West (26)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	37 DONEGALL DR	Community:	East York
Legal Description:	PLAN 2121 PT LOT 111 PT LOT 112		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 8.5m.
The proposed building height is 8.8m.
- 2. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.2m.
The proposed north yard setback is 1.07m.
- 3. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.2m.
The proposed south yard setback is **0.60m**.
- 4. Chapter 10.5.40.60.(8), By-law No. 569-2013**
Wall mounted equipment may encroach into a required setback 0.6m if it is no closer to a lot line than 0.3m
The proposed equipment is 0.15m from the south side lot line.
- 5. Chapter 200.5.10.1(1), By-law No. 569-2013**
The required minimum number of parking spaces is 1.
The proposed parking spaces is 0.

6. **Section 6.3.3, By-law No. 1916**
The maximum permitted building height is 8.5m.
The proposed building height is 8.8m.
7. **Section 6.3.3, By-law No. 1916**
The required minimum number of parking spaces is 1.
The proposed parking spaces is 0.
8. **Section 6.3.3, By-law No. 1916**
The minimum required side yard setback is 0.9m.
The proposed south side yard setback is **0.60m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0158/17NY	Zoning	R1B/RD (f12.0; a370; d0.6)[ZONING]
Owner:	NADINE ORR MARC IAFOLLA	Ward:	Don Valley West (26)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	37 DONEGALL DR	Community:	East York
Legal Description:	PLAN 2121 PT LOT 111 PT LOT 112		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0159/17NY	Zoning	R (f7.5; d0.6) x933/ R2 Z0.6 [ZZC]
Owner(s):	MICHELLE COOK	Ward:	Don Valley West (25)
Agent:	ROWLANDS ASSOCIATES INC	Heritage:	Not Applicable
Property Address:	211 RANLEIGH AVE	Community:	North York
Legal Description:	PLAN M260 PT LOTS 305 & 306		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a rear three-storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.10.(2), By-law No. 569-2013**
The maximum permitted height of exterior side main walls is 7.50m.
The proposed height of all side exterior main walls is 9.43m.
- 2. Chapter 10.5.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 5.04m.
The proposed front yard setback is 3.77m.
- 3. Chapter 900.2.10(933)B, By-law No. 569-2013**
The minimum side yard setback is 0.90m.
The proposed east side yard setback is 0.17m.
- 4. Chapter 10.10.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 17.00m.
The proposed building depth is 19.13m.
- 5. Section 6(3) Part II 2(II), By-law No. 438-86**
The minimum front yard setback is 5.04m.
The proposed front yard setback is 3.77m.

6. Section 6(3) Part II 3.B(II), By-law No, 438-86

The minimum side lot setback for a building not exceeding 17.00m is 0.90m.
The proposed east side lot setback is 0.17m.

7. Section 6(3) Part VI 1(V), By-law No. 438-86

The maximum permitted depth of a building is 17.00m.
The proposed building depth is 20.40m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0159/17NY	Zoning	R (f7.5; d0.6) x933/ R2 Z0.6 [ZZC]
Owner:	MICHELLE COOK	Ward:	Don Valley West (25)
Agent:	ROWLANDS ASSOCIATES INC	Heritage:	Not Applicable
Property Address:	211 RANLEIGH AVE	Community:	North York
Legal Description:	PLAN M260 PT LOTS 305 & 306		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0160/17NY	Zoning	MC(11)(H) - ZBL 7625 (ZW)
Owner(s):	RIMROCK PLAZA INC	Ward:	York West (08)
Agent:	AIRD & BERLIS LLP	Heritage:	Not Applicable
Property Address:	150 RIMROCK RD	Community:	North York
Legal Description:	PLAN M1664 BLK K RP 66R11082 PARTS 7 AND 9		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

New use in an existing retail plaza.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 6A(2), By-law No. 7625

The minimum required number of parking spaces is 298 spaces.

The proposed number of parking spaces is 278 spaces.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0160/17NY	Zoning	MC(11)(H) - ZBL 7625 (ZW)
Owner:	RIMROCK PLAZA INC	Ward:	York West (08)
Agent:	AIRD & BERLIS LLP	Heritage:	Not Applicable
Property Address:	150 RIMROCK RD	Community:	North York
Legal Description:	PLAN M1664 BLK K RP 66R11082 PARTS 7 AND 9		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0164/17NY	Zoning	R1 Z0.35[ZONING]
Owner(s):	JENNIFER DAWN MAJER SHAUN JASON MAJER	Ward:	Eglinton-Lawrence (16)
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	197 COLDSTREAM AVE	Community:	Toronto
Legal Description:	PLAN M87 LOT 252		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new accessory structure.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 6(3) Part II 7(I), By-law No. 438-86

The minimum required lot line setback is 3.00m from all lot lines for an accessory structure.
The proposed lot line setback is 0.61m from the east lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0164/17NY	Zoning	R1 Z0.35[ZONING]
Owner:	JENNIFER DAWN MAJER SHAUN JASON MAJER	Ward:	Eglinton-Lawrence (16)
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	197 COLDSTREAM AVE	Community:	Toronto
Legal Description:	PLAN M87 LOT 252		

Beth Levy (signed)

Wayne McEachern (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0165/17NY	Zoning	R (f7.5, d0.6)10.0/ R2 Z0.6/ 10.0 [ZZC]
Owner(s):	CHUN FANG ZHAN	Ward:	Don Valley West (25)
Agent:	LORNE ROSE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	19 LEITH PL	Community:	Toronto
Legal Description:	PLAN 1707 PT LOT 95		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey single family detached dwelling with integral garage. The existing structure would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.10.(1), By-law No. 569-2013**
The maximum permitted height of a building is 10.00m.
The proposed height of the building is **10.72m**.
- 2. Chapter 10.10.40.10.(2) A)(i), By-law No. 569-2013**
The maximum permitted height of all exterior main walls is 7.50m.
The proposed height of the front exterior main walls is 8.20m.
- 3. Chapter 10.10.40.10.(2) A)(ii), By-law No. 569-2013**
The maximum permitted height of all exterior main walls is 7.50m.
The proposed height of the rear exterior main walls is 8.20m.
- 4. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the first floor must be within 4.00m of the front main wall.
The proposed first floor area within 4.00m of the front wall is 6.30m².
- 5. Chapter 10.10.40.30.(1) A), By-law No. 569-2013**
The maximum permitted building depth is 17.00m
The proposed building depth is 17.61m.

6. **Chapter 10.10.40.40.(1) A), By-law No. 569-2013**
The maximum permitted floor space index is 0.60 times the area of the lot: 177.48m².
The proposed floor space index is **0.799** times the area of the lot: 319.98m².
7. **Chapter 10.5.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.90m provided they are no closer than 0.30m to a lot line.
The proposed eaves are 0.00m from the north lot line.
8. **Section 6(3) Part IV 3(II), By-law No. 438-86**
The by-law does not permit an integral garage where the floor level of the garage is below grade and access is facing the front lot line.
The proposed integral garage is below grade.
9. **Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted gross floor area is 0.60 times the area of the lot: 177.48m².
The proposed gross floor area of the building is **0.799** times the lot area (236.34m²).
10. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum permitted side lot setback for a building exceeding 17.00m is 7.50m.
The proposed north side lot setback exceeding 17.00m is 0.46m.
11. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum permitted side lot setback for a building exceeding 17.00m is 7.50m.
The proposed south side lot setback exceeding 17.00m is 4.05m.
12. **Section 6(3) Part II 8 D, By-law No. 438-86**
For an uncovered platform, the maximum permitted projection into required setbacks from the wall is 2.50m.
The proposed uncovered platform projects from the rear wall 3.51m.
13. **Section 6(3) Part II 8 D(I), By-law No. 438-86**
For an uncovered platform, the maximum height projecting into required setbacks is 1.20m above grade.
The proposed height of the rear platform is 2.30m above grade.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The driveway to maintain a positive slope from the street to the entry of the integral garage.

SIGNATURE PAGE

File Number:	A0165/17NY	Zoning	R (f7.5, d0.6)10.0/ R2 Z0.6/ 10.0 [ZZC]
Owner:	CHUN FANG ZHAN	Ward:	Don Valley West (25)
Agent:	LORNE ROSE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	19 LEITH PL	Community:	Toronto
Legal Description:	PLAN 1707 PT LOT 95		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0166/17NY	Zoning	RD / R4 (ZW)
Owner(s):	ISSIE CHAIMOVITCH	Ward:	Willowdale (23)
Agent:	ALEX BOROS DESIGN INC.	Heritage:	Not Applicable
Property Address:	27 DALLAS RD	Community:	North York
Legal Description:	PLAN 4328 LOT 14		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new dwelling with attached garage. The existing dwelling is to be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.50.(1), By-law No. 569-2013**
The permitted maximum area of each platform at or above the second story of a detached house is 4.0 m².
The proposed area of each platform at or above the second story is 8.21 m².
- Section 13.2.6A, By-law No. 7625**
The maximum permitted balcony area is 3.8 m².
The proposed balcony area is 8.21 m²
- Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 31.39% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

3. Section 13.2.4, By-law No. 7625

The maximum permitted lot coverage is 30% of the lot area.

The proposed lot coverage is 31.39% of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

1. Chapter 10.20.40.50.(1), By-law No. 569-2013

The permitted maximum area of each platform at or above the second story of a detached house is 4.0 m².

The proposed area of each platform at or above the second story is 8.21 m².

2. Section 13.2.6A, By-law No. 7625

The maximum permitted balcony area is 3.8 m².

The proposed balcony area is 8.21 m²

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0166/17NY	Zoning	RD / R4 (ZW)
Owner:	ISSIE CHAIMOVITCH	Ward:	Willowdale (23)
Agent:	ALEX BOROS DESIGN INC.	Heritage:	Not Applicable
Property Address:	27 DALLAS RD	Community:	North York
Legal Description:	PLAN 4328 LOT 14		

Wayne McEachern (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0169/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	ULRICH KURT KRUPKA	Ward:	Willowdale (23)
Agent:	HOMELAND	Heritage:	Not Applicable
Property Address:	279 EMPRESS AVE	Community:	North York
Legal Description:	PLAN 1751 LOT 71		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.22m **for the front 6.60m garage portion only.**
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is **8.79m.**
- 3. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **31.93%** of the lot area.
- 4. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.22m **for the front 6.60m garage portion only.**
- 5. Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is **9.16m.**

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

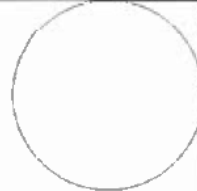
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the east elevation (right) and west elevation (left) drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, April 24, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



SCALE OF
FOOT

LEAN OR
ROOF

TOP OF
PLATE

EAVES OF
ROOF

FINISHED
SECOND
FLOOR

FINISHED
FIRST
FLOOR

FINISHED
POTEN

EST. GRACE

CRAN OF R

EST. R.B.

US OF
FOOTING

SCALE OF
FOOT

LEAN OR
ROOF

TOP OF
PLATE

EAVES OF
ROOF

FINISHED
SECOND
FLOOR

FINISHED
FIRST
FLOOR

EST. GRACE

CRAN OF R

EST. R.B.

US OF
FOOTING



RECEIVED

APR 24 2017

CITY OF TORONTO PLANNING

110 ALBERTA ST. N. 4TH FLOOR HOTEL AND 416-514-6030 219 HURON AVE. NORTH YORK CITY CENTRE RIGHT ELEVATION

09



Autodesk
Reseller

MEAN OF
RANGE

TSP CONCENTRATION

EAVEB ON
MCOB

SECOND FLOOR

PLACER

5

51. ~~GRADE~~

—

Electromechanics

9

Tues

APR 24 2017

RECEIVED

 2.8×10^4 [2.79]

-24'-9" [7.55]

CEEDAR
SHINGLE

U.S. 5.7

THESE DRAWINGS ARE THE PROPERTY OF HOWLAND AND NO REPRODUCTION OR USE FOR OTHER PROJECTS IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF THE DESIGNER IS FORBIDDEN

SIGNATURE PAGE

File Number:	A0169/17NY	Zoning	RD/R4 [ZZC]
Owner:	ULRICH KURT KRUPKA	Ward:	Willowdale (23)
Agent:	HOMELAND	Heritage:	Not Applicable
Property Address:	279 EMPRESS AVE	Community:	North York
Legal Description:	PLAN 1751 LOT 71		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0171/17NY	Zoning	RD(f18;a690)/R3[ZONING]
Owner(s):	MICHAEL HURWICH	Ward:	Willowdale (24)
Agent:	MICHAEL HURWICH	Heritage:	Not Applicable
Property Address:	2 CHALLISTER CRT	Community:	North York
Legal Description:	PLAN M677 LOT 195		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(4), By-law No. 569-2013**
The maximum permitted building height is 7.2m.
The proposed building height is **8.45m**.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0m.
The proposed building length is 22.05m.
- 3. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.0m.
The proposed building depth is 20.53m.
- 4. Chapter 10.5.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 7.65m.
The proposed front yard setback is 6.95m.
- 5. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed south side yard setback is 1.25m.
- 6. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is **32.00%** of the lot area.

7. **Chapter 10.20.40.70.(6), By-law No. 569-2013**
The minimum required side yard setback for a corner lot where there is an adjacent lot fronting on the street is 3.0m.
The proposed north side yard setback is 1.84m.
8. **Chapter 10.20.40.50.(1), By-law No. 569-2013**
The permitted maximum area of each platform at or above the second storey of a detached house is 4.0m².
The proposed north east platform area is 10.53m².
9. **Chapter 10.20.40.50.(1), By-law No. 569-2013**
The permitted maximum area of each platform at or above the second storey of a detached house is 4.0m².
The proposed west platform area is 9.6m².
10. **Section 12.7, By-law No. 7625**
The maximum permitted building height is 8m.
The proposed building height is **9.12m**.
11. **Section 12.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 20.53m.
12. **Section 12.4(c), By-law No. 7625**
The minimum required rear yard setback is 9.5m.
The proposed rear yard setback is 9.24m.
13. **Section 12.4(b), By-law No. 7625**
The minimum required north side yard setback is 3m.
The proposed north side yard setback is 1.84m.
14. **Section 12.4(b), By-law No. 7625**
The minimum required south side yard setback is 3m.
The proposed south side yard setback is 1.25m.
15. **Section 12.6, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is **32.00%** of the lot area.
16. **Section 12.7A, By-law No. 7625**
The permitted maximum area of each platform at or above the second storey of a detached house is 3.8m².
The proposed north east platform area is 10.53m².
17. **Section 12.7A, By-law No. 7625**
The permitted maximum area of each platform at or above the second storey of a detached house is 3.8m².
The proposed west platform area is 9.6m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.40.10.(4), By-law No. 569-2013**
The maximum permitted building height is 7.2m.
The proposed building height is **8.45m**.
2. **Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0m.
The proposed building length is 22.05m.
3. **Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.0m.
The proposed building depth is 20.53m.
4. **Chapter 10.5.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 7.65m.
The proposed front yard setback is 6.95m.
5. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed south side yard setback is 1.25m.
6. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is **32.00%** of the lot area.
7. **Chapter 10.20.40.70.(6), By-law No. 569-2013**
The minimum required side yard setback for a corner lot where there is an adjacent lot fronting on the street is 3.0m.
The proposed north side yard setback is 1.84m.
8. **Chapter 10.20.40.50.(1), By-law No. 569-2013**
The permitted maximum area of each platform at or above the second storey of a detached house is 4.0m².
The proposed north east platform area is 10.53m².
10. **Section 12.7, By-law No. 7625**
The maximum permitted building height is 8m.
The proposed building height is **9.12m**.
11. **Section 12.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 20.53m.
12. **Section 12.4(c), By-law No. 7625**
The minimum required rear yard setback is 9.5m.
The proposed rear yard setback is 9.24m.
13. **Section 12.4(b), By-law No. 7625**
The minimum required north side yard setback is 3m.
The proposed north side yard setback is 1.84m.
14. **Section 12.4(b), By-law No. 7625**
The minimum required south side yard setback is 3m.
The proposed south side yard setback is 1.25m.

15. Section 12.6, By-law No. 7625

The maximum permitted lot coverage is 30% of the lot area.

The proposed lot coverage is **32.00%** of the lot area.

16. Section 12.7A, By-law No. 7625

The permitted maximum area of each platform at or above the second storey of a detached house is 3.8m².

The proposed north east platform area is 10.53m².

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

9. Chapter 10.20.40.50.(1), By-law No. 569-2013

The permitted maximum area of each platform at or above the second storey of a detached house is 4.0m².

The proposed west platform area is 9.6m².

17. Section 12.7A, By-law No. 7625

The permitted maximum area of each platform at or above the second storey of a detached house is 3.8m².

The proposed west platform area is 9.6m².

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

i) Submission of a complete application for a permit to injure or destroy a City-owned tree(s).

A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at

www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

ii) Submission of a complete application for permit to injure or remove privately owned trees.

SIGNATURE PAGE

File Number:	A0171/17NY	Zoning	RD(f18;a690)/R3[ZONING]
Owner:	MICHAEL HURWICH	Ward:	Willowdale (24)
Agent:	MICHAEL HURWICH	Heritage:	Not Applicable
Property Address:	2 CHALLISTER CRT	Community:	North York
Legal Description:	PLAN M677 LOT 195		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0172/17NY	Zoning	RD(t30;a1100)(x97I)/ R1(1) [ZZC]
Owner(s):	XUEQIN HUANG	Ward:	Don Valley West (25)
Agent:	TRAN DIEU & ASSOCIATES INC	Heritage:	Not Applicable
Property Address:	18 SUNCREST DR	Community:	North York
Legal Description:	PLAN M809 LOT 112		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached, two-storey single family dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.10.(6) 6), By-law No. 569-2013**
The maximum permitted height of the first floor above established grade is 1.20m.
The proposed height of the first floor above established grade is 1.40m.
- Chapter 10.5.100.1.(1)(D), By-law No. 569-2013**
For a driveway passing through the front yard, the maximum permitted width is 9.00m.
The proposed width of the driveway is **9.50m on the private portion and 9.00m within the City owned portion.**
- Chapter 10.5.40.60.(3)(A)(ii), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building may encroach into a required building setback if the stairs are no wider than 2.00m.
The proposed front stairs are 2.90m wide.
- Section 10.2.6, By-law No. 7625**
The maximum permitted building height is 9.50m.
The proposed building height is 9.84m.
- Section 6(3)a, By-law No. 7625**
The maximum permitted height of the finished first floor is 1.50m.
The proposed height of the finished first floor is 2.57m.

6. Section 6A(5)a, By-law No. 7625

The maximum permitted width of the driveway is 9.00m.

The proposed width of the driveway is **9.50m on the private portion and 9.00m within the City owned portion.**

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0172/17NY	Zoning	RD(t30;a1100)(x97I)/ R1(1) [ZZC]
Owner:	XUEQIN HUANG	Ward:	Don Valley West (25)
Agent:	TRAN DIEU & ASSOCIATES INC	Heritage:	Not Applicable
Property Address:	18 SUNCREST DR	Community:	North York
Legal Description:	PLAN M809 LOT 112		

Beth Levy (signed)

Denise Graham (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0173/17NY	Zoning	RD / R4 (ZW)
Owner(s):	2391324 ONTARIO LIMITED	Ward:	Willowdale (24)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	5 GLENELIA AVE	Community:	North York
Legal Description:	PLAN 4577 LOT 5		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new dwelling with attached garage. The existing dwelling is to be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the side exterior main wall facing the west side lot is 8.15 m.
- 3. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0 m.
The proposed building length is 18.74 m
- 4. Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
- 5. Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 21.0 m.
- 6. Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.51 m.

7. Section 6(30)a, By-law No. 7625

The maximum finished first floor height is 1.5 m.

The proposed finished first floor height is 2.08 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the site plan and west side elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, April 24, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

KEY LOT FRONT YARD
SETBACK (BYLAW NO. 7625)

FRONT YARD SETBACK
(BYLAW NO. 569-2013)

LINE OF RAY
WINDOW ABOVE

WALKWAY

DRIVEWAY

PORCH

GARAGE DOOR (+101.3)

2-STOREY DWELLING
NEW CONSTRUCTION

(+102.10)

DECK

(+101.56)

110%

1.65m 1.52m 1.65m

4.83m

RECEIVED

APR 24 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

NOA	144/27217
1. Proposed Review	04/02/2017
2. Second Review	
3. Third Review	
4. Final Review	

Drawing Title

SITE PLAN

PROJECT TITLE :

5 GLENELIA AVENUE
NORTH YORK
ONTARIO

Scale: 1/8"=1'-0"

Drawn by: SJA

Checked by: M.H.

Project No.: 145

Date: 2017 FEB. 08

A1



APR 24 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

SIGNATURE PAGE

File Number:	A0173/17NY	Zoning	RD / R4 (ZW)
Owner:	2391324 ONTARIO LIMITED	Ward:	Willowdale (24)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	5 GLENELIA AVE	Community:	North York
Legal Description:	PLAN 4577 LOT 5		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0189/17NY	Zoning	RD/R1B [ZZC]
Owner(s):	PEI PEN KAO	Ward:	Don Valley West (26)
Agent:	ZIGGY CEHIC	Heritage:	Not Applicable
Property Address:	165 GLENVALE BLVD	Community:	East York
Legal Description:	PLAN 3111 PT LOT 886 PT LOT 887		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 36.00% of the lot area.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.00m.
The proposed height of the side exterior main walls facing a side lot line is 7.14m.
- 3. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.60 times the lot area.
The proposed floor space index is 0.621 times the lot area.
- 4. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.20m.
The proposed west side yard setback is 0.90m.
- 5. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.20m.
The proposed east side yard setback is 0.60m.
- 6. Section 6.3.3, By-law No. 1916**
The maximum permitted floor space index is 0.60 times the lot area.
The proposed floor space index is 0.621 times the lot area.

7. Section 6.3.3, By-law No. 1916

The minimum required side yard setback is 0.90m.

The proposed east side yard setback is 0.60m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0189/17NY	Zoning	RD/R1B [ZZC]
Owner:	PEI PEN KAO	Ward:	Don Valley West (26)
Agent:	ZIGGY CEHIC	Heritage:	Not Applicable
Property Address:	165 GLENVALE BLVD	Community:	East York
Legal Description:	PLAN 3111 PT LOT 886 PT LOT 887		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0190/17NY	Zoning	R (f7.5; d0.6) x933/R2 Z0.6[ZONING]
Owner(s):	GHOLAMREZA TALEGHANI	Ward:	Don Valley West (25)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	109 ROSLIN AVE	Community:	Toronto
Legal Description:	PLAN M260 PT LOT 186		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.50.10.(1), By-law No. 569-2013**
The minimum required soft front yard landscaping is 75%.
The proposed soft front yard landscaping is **35.99%**.
- 2. Chapter 10.10.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 8.75m.
- 3. Chapter 10.10.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 17.0m.
The proposed building depth is **17.98m**.
- 4. Chapter 10.10.40.40.(1), By-law No. 569-2013**
The maximum permitted Floor Space Index is 0.6 times the area of the lot.
The proposed Floor Space Index is **0.77** times the area of the lot.
- 5. Chapter 10.10.40.70.(1), By-law No. 569-2013**
The minimum required side yard setback is 0.9m.
The proposed east side yard setback is **0.36m**.
- 6. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.0m² of the first floor must be within 4.0m of the front main wall.
The proposed area of the first floor within 4.0m of the front wall is 3.40m².

7. **Chapter 10.10.80.40.(1), By-law No. 569-2013**
Vehicle entrances through the front main wall of the building are permitted provided the lot has a minimum frontage of 7.6m.
The proposed lot frontage is 7.16m.
8. **Section 6(3) Part II, By-law No. 438-86**
The maximum permitted Gross Floor Area is 0.6 times the area of the lot.
The proposed Gross Floor Area is **0.77** times the area of the lot.
9. **Section 6(3) Part II 3(I), By-law No. 438-86**
The by-law requires a building to be located no closer than 0.90m to the side wall of an adjacent building that contains no openings.
The proposed building is located **0.57m** from the adjacent building.
10. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback for that portion of the building not exceeding 17.0m in depth, where the side wall does not contain openings is 0.9m
The proposed east side lot line setback is **0.36m**.
11. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback for that portion of the building exceeding 17.0m in depth is 7.5m.
The proposed east side lot line setback is **0.36m**.
12. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback for that portion of the building exceeding 17.0m in depth is 7.5m.
The proposed west side lot line setback is 1.07m.
13. **Section 6(3) Part III 3(d)i(D), By-law No. 438-86**
The minimum required front yard soft landscaping area is 75%.
The proposed front yard soft landscaping area is **35.99%**.
14. **Section 6(3) Part IV 3(I), By-law No. 438-86**
The by-law does not permit an integral garage in a building on a lot having a frontage of less than 7.62m where access to the garage is located in a wall facing the front lot line.
The proposed integral garage is in a wall that faces the front lot line.
15. **Section 6(3) Part IV 3(II), By-law No. 438-86**
Below-grade garage is not permitted.
The proposed is a below-grade garage.
16. **Section 4(4)C, By-law No. 438-86**
The bylaw requires the access to a parking space to have a minimum width of 2.6m.
The proposed access width is 2.19m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The applicant to satisfy the requirements of the Transportation Services Division;
- 2) The driveway to maintain a positive slope from the street to the entry of the integral garage.
- 3) The proposed driveway be constructed with a central landscaped strip and permeable pavers.

SIGNATURE PAGE

File Number:	A0190/17NY	Zoning	R (f7.5; d0.6) x933/R2 Z0.6[ZONING]
Owner:	GHOLAMREZA TALEGHANI	Ward:	Don Valley West (25)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	109 ROSLIN AVE	Community:	Toronto
Legal Description:	PLAN M260 PT LOT 186		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0191/17NY	Zoning	RD / R4 (ZR)
Owner(s):	ASA ELISABET HELLENBERG	Ward:	Don Valley East (34)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	17 FARMCOTE RD	Community:	North York
Legal Description:	PLAN 4760 LOT 912		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new dwelling with attached garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 25.00% of the lot area.
The proposed lot coverage is 25.3% of the lot area.
- 2. Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 25% of the lot area.
The proposed lot coverage is 25.3% of the lot area.
- 3. Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 20.15 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0191/17NY	Zoning	RD / R4 (ZR)
Owner:	ASA ELISABET HELLENBERG	Ward:	Don Valley East (34)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	17 FARMCOTE RD	Community:	North York
Legal Description:	PLAN 4760 LOT 912		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0192/17NY	Zoning	RD / R3 (ZR)
Owner(s):	MARLENE DELZOTTO	Ward:	Don Valley West (25)
Agent:	AIRD & BERLIS LLP	Heritage:	Not Applicable
Property Address:	11 FOREST GLEN CRES	Community:	North York
Legal Description:	PLAN 1975 LOT 27		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new circular driveway and to legalize and maintain the existing dwelling as constructed.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 37.5% of the lot area.
- Chapter 10.5.50.10.(1), By-law No. 569-2013**
A minimum of 60% of the front yard must be landscaping.
The proposed front yard landscaping area is **55.03%**.
- Section 12.6, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 37.5% of the lot area.
- Section 7.4A, By-law No. 7625**
The minimum required front yard landscaping is 60%.
The proposed front yard landscaping is **55.03%**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0192/17NY	Zoning	RD / R3 (ZR)
Owner:	MARLENE DELZOTTO	Ward:	Don Valley West (25)
Agent:	AIRD & BERLIS LLP	Heritage:	Not Applicable
Property Address:	11 FOREST GLEN CRES	Community:	North York
Legal Description:	PLAN 1975 LOT 27		

Wayne McEachern (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0193/17NY	Zoning	RD/R3 [WAV]
Owner(s):	HELEN MALAMIS	Ward:	Don Valley West (25)
Agent:	BASILE MALAMIS	Heritage:	Not Applicable
Property Address:	83 YORKMINSTER RD	Community:	North York
Legal Description:	PLAN 3563 LOT 306		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 37.00% of the lot area.
- 2. Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.22m for the first 6.78m portion of the dwelling only.
- 3. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 18.88m.
- 4. Section 12.6, By-law No. 7625**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 37.00% of the lot area.
- 5. Section 12.4(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.22m for the first 6.78m portion of the dwelling only.
- 6. Section 12.7, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 8.95m.

7. Section 12.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length is 18.88m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 35.00% of the lot area.

The proposed lot coverage is 37.00% of the lot area.

4. Section 12.6, By-law No. 7625

The maximum permitted lot coverage is 35.00% of the lot area.

The proposed lot coverage is 37.00% of the lot area.

6. Section 12.7, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 8.95m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

2. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.22m for the first 6.78m portion of the dwelling only.

3. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is 18.88m.

5. Section 12.4(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.22m for the first 6.78m portion of the dwelling only.

7. Section 12.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length is 18.88m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.

- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0193/17NY	Zoning	RD/R3 [WAV]
Owner:	HELEN MALAMIS	Ward:	Don Valley West (25)
Agent:	BASILE MALAMIS	Heritage:	Not Applicable
Property Address:	83 YORKMINSTER RD	Community:	North York
Legal Description:	PLAN 3563 LOT 306		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0198/17NY	Zoning	R (f7.5; u2; d0.6) (x958)/ R1S Z0.6 [ZZC]
Owner(s):	MICHAEL ROY SPENCE AMANDA COWAN	Ward:	Don Valley West (25)
Agent:	MODULAR HOME ADDITIONS	Heritage:	Not Applicable
Property Address:	411 KEEWATIN AVE	Community:	Toronto
Legal Description:	PLAN M257 LOT 64		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey rear addition and back porch. The existing basement walkout would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.40.30.(1) A), By-law No. 569-2013**
The maximum permitted building depth is 17.00m.
The proposed building depth is 19.63m.
- Chapter 10.10.40.70.(3) A)(i), By-law No. 569-2013**
The minimum required side yard setback for a detached house is 0.90m.
The proposed east side yard setback is 0.55m.
- Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot setback is 0.90m for the portion of a building not exceeding 17.00m depth.
The proposed east side lot setback is 0.55m.
- Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot setback is 7.50m for the portion of a building exceeding 17.00m depth.
The proposed east side setback is 0.55m.
- Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot setback is 7.50m for the portion of a building exceeding 17.00m depth.
The proposed west side setback is 1.08m

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0198/17NY	Zoning	R (f7.5; u2; d0.6) (x958)/ R1S Z0.6 [ZZC]
Owner:	MICHAEL ROY SPENCE AMANDA COWAN	Ward:	Don Valley West (25)
Agent:	MODULAR HOME ADDITIONS	Heritage:	Not Applicable
Property Address:	411 KEEWATIN AVE	Community:	Toronto
Legal Description:	PLAN M257 LOT 64		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0199/17NY	Zoning	RA/RM6 [ZZC]
Owner(s):	IMH 4979-4981 BATHURST LTD	Ward:	Willowdale (23)
Agent:	DALES CONSULTING	Heritage:	Not Applicable
Property Address:	4979 BATHURST ST	Community:	North York
Legal Description:	CON 1 WY LOT 21		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit interior alterations for the creation of seven additional rental dwelling units (six, one-bedroom and one, two-bedroom units) within the existing six-storey rental apartment building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 15.10.40.50.(1), By-law No. 569-2013

An apartment building with twenty (20) or more dwelling units must provide amenity space at a minimum rate of 4.00m² for each unit of which a minimum of 2.00m² for each dwelling unit must be indoor amenity space; the required indoor amenity space for the seven (7) proposed units is 14.00m².
The proposed indoor amenity space is 0.00m².

2. Chapter 15.5.80.10.(2), By-law No. 569-2013

A minimum of 50.00% of the parking spaces for an apartment building, other than required visitor parking spaces, must be located in a building or underground structure.

3. Chapter 200.5.10.1(1), By-law No. 569-2013

The minimum required number of parking spaces is 85 spaces.
The proposal will have 79 spaces.

4. Chapter 200.5.10.1(1), By-law No. 569-2013

The required minimum number of visitor parking spaces is 15 spaces.
The proposal will have 11 spaces.

5. Section 6A(2)a, By-law No. 7625

The minimum required number of parking spaces is 126 spaces and 25 visitor spaces.
The proposed number of parking spaces is 79 spaces and 11 visitor spaces.

6. Section 6A(16)a, By-law No. 7625

The minimum required number of loading spaces is 1 space.

The proposed number of loading spaces is 0.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0199/17NY	Zoning	RA/RM6 [ZZC]
Owner:	IMH 4979-4981 BATHURST LTD	Ward:	Willowdale (23)
Agent:	DALES CONSULTING	Heritage:	Not Applicable
Property Address:	4979 BATHURST ST	Community:	North York
Legal Description:	CON 1 WY LOT 21		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0200/17NY	Zoning	RA/RM6 [ZZC]
Owner(s):	IMH 4979-4981 BATHURST LTD	Ward:	Willowdale (23)
Agent:	DALES CONSULTING	Heritage:	Not Applicable
Property Address:	4981 BATHURST ST	Community:	North York
Legal Description:	CON 1 WY PT LOT 22		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit interior alterations for the creation of four additional rental dwelling units (four, one-bedroom units) within the existing six-storey rental apartment building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 15.5.80.10.(2), By-law No. 569-2013**
A minimum of 50.00% of the parking spaces for an apartment building, other than required visitor parking spaces, must be located in a building or underground structure.
- Chapter 15.10.40.50.(1), By-law No. 569-2013**
An apartment building with twenty (20) or more dwelling units must provide amenity space at a minimum rate of 4.00m² for each unit of which a minimum of 2.00m² for each dwelling unit must be indoor amenity space; the required indoor amenity space is 8.00m².
The proposed indoor amenity space is 0.00m².
- Chapter 200.5.10.1(1), By-law No. 569-2013**
The minimum required number of parking spaces is 95 spaces.
The proposal will have 75 spaces.
- Chapter 200.5.10.1(1), By-law No. 569-2013**
The required minimum number of visitor parking spaces is 19 spaces.
The proposal will have 9 spaces.
- Section 6A(2)a, By-law No. 7625**
The minimum required number of parking spaces is 123 spaces and 24 visitor spaces.
The proposed number of parking spaces is 75 spaces and 9 visitor spaces.

6. Section 6A(16)a, By-law No. 7625

The minimum required number of loading spaces is 1 space.

The proposed number of loading spaces is 0.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0200/17NY	Zoning	RA/RM6 [ZZC]
Owner:	IMH 4979-4981 BATHURST LTD	Ward:	Willowdale (23)
Agent:	DALES CONSULTING	Heritage:	Not Applicable
Property Address:	4981 BATHURST ST	Community:	North York
Legal Description:	CON 1 WY PT LOT 22		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0201/17NY	Zoning	R3/RD (f18.0; a690) (x871)[ZONING]
Owner(s):	KEVIN MC KEOWN EMILY MC KEOWN	Ward:	Don Valley West (25)
Agent:	MANARCH DESIGN INC	Heritage:	Not Applicable
Property Address:	99 DONWOODS DR	Community:	North York
Legal Description:	PLAN 2469 LOT 16 RP 64R10349 PART 3 IRREG		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey porch enclosure and deck to the existing two-storey dwelling. The existing decks would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0m.
The proposed building length is 20.08m.
- 2. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.0m.
The proposed building depth is 24.46m.
- 3. Section 12.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 20.08m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.

- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposed porch and deck to be constructed substantially in accordance with the site plan submitted to the Community of Adjustment date stamped received by the City of Toronto Planning Division, April 13, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

Toronto City Planning
North York District

RENOVATION TO
99 DONWOODS DRIVE

NO PROPOSED WORK
TO FRONT YARD--

THE UNIVERSITY OF CHICAGO

2010 13005 2
3400 5000000 46

06/5/79 21542

14697

LINE OF SERVICE AND
GROSS DOLLAR FIGURES
AS PER THE SPECIFICATION

**10. I X
27 I .01**

1975-1976

MD	NonArch Design Inc.	RENOVATION/ADDITION TO MCKEOWN RESIDENCE	99 DOWNWOODS DRIVE HODGES HOLLOW
Client Name and Address	Surveying	SITE PLAN	
Date	FEB 22 2017		
Scale	1/4" = 1' - 0"		
Name	ZONING, C&A, & TRAC REVIEW		

1. Approved Plans
 No. [000] 4-14-2007
 Pkg. [010] 4-14-1 [002]
 Plan. [010] 4-14-1 [002]
 Envtl. [010] 4-14-1 [002]

SIGNATURE PAGE

File Number:	A0201/17NY	Zoning	R3/RD (f18.0; a690) (x871)[ZONING]
Owner:	KEVIN MC KEOWN EMILY MC KEOWN	Ward:	Don Valley West (25)
Agent:	MANARCH DESIGN INC	Heritage:	Not Applicable
Property Address:	99 DONWOODS DR	Community:	North York
Legal Description:	PLAN 2469 LOT 16 RP 64R10349 PART 3 IRREG		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0328/17NY	Zoning	CR[ZONING]
Owner(s):	1661379 ONTARIO LTD ANNA MARIA GRAZIANO	Ward:	Eglinton-Lawrence (16)
Agent:	TURNER FLEISCHER ARCHITECT INC	Heritage:	Not Applicable
Property Address:	1718 AVENUE RD	Community:	North York
Legal Description:	PLAN 2247 PT LOTS 98 & 99		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

Proposal for a new second floor outdoor patio in existing restaurant - "Tutto Pronto"

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 40.10.20.100.(21), By-law No. 569-2013

An outdoor patio is a permitted use provided that if it is located above the first storey of the building, it is at least 40.0m from a lot in the Residential Zone category or Residential Apartment Zone category.
The proposed outdoor patio is setback 28.2m from a lot in the Residential Zone category or Residential Apartment Zone category

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

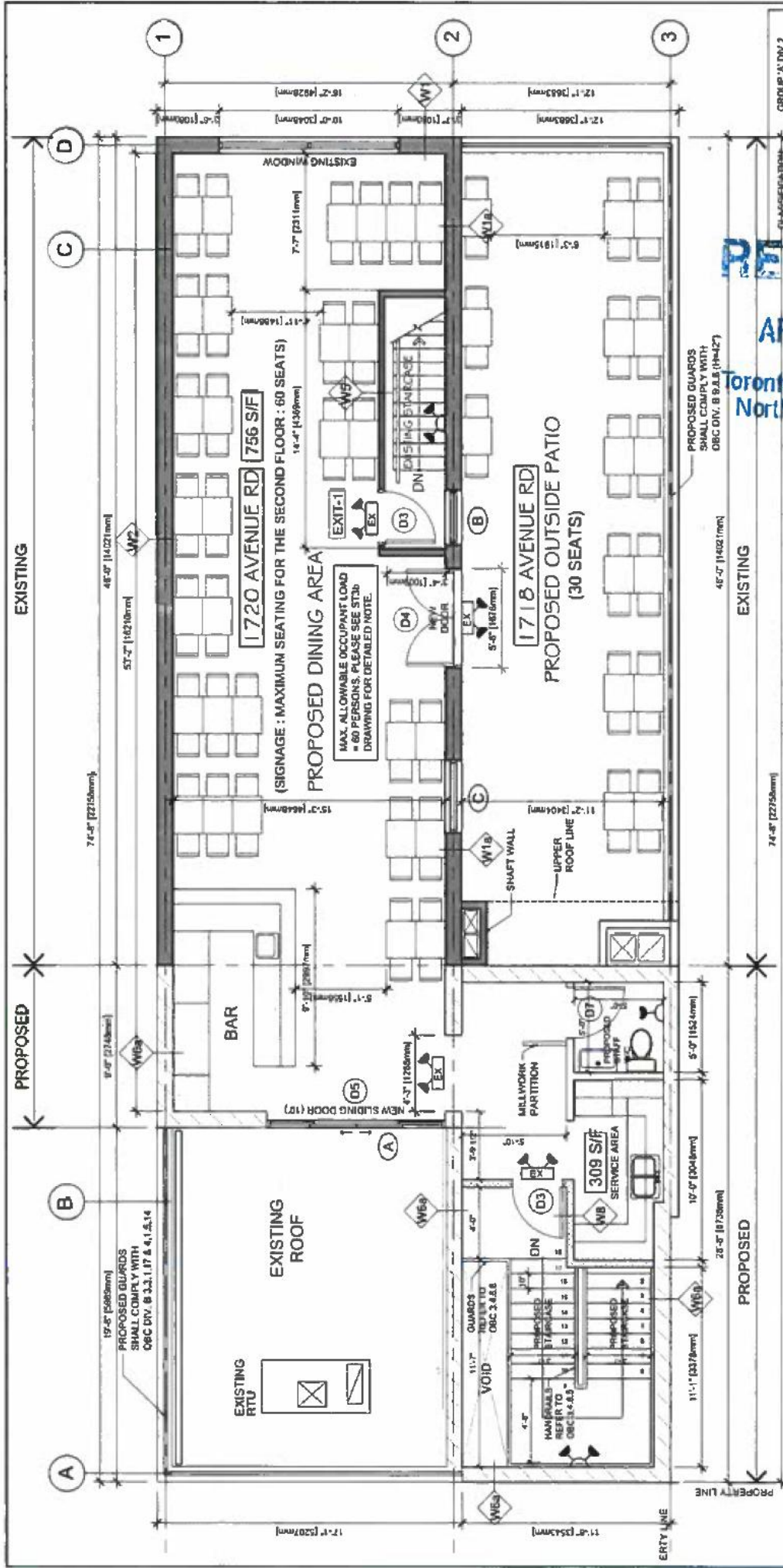
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be constructed substantially in accordance with the second level floor layout plan submitted to the Community of Adjustment date stamped received by the City of Toronto Planning Division, April 21, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.
- 2) The applicant is to provide permanent opaque screening or fencing along the southern edge of the proposed outdoor patio; with a minimum height of 1.5 metres from the floor of the outdoor patio.



CLASSIFICATION: GROUP 'A' DIV 2
 TOTAL OCCUPANCY LOAD: 156 SEATS
 GROUND FLOOR: 66 SEATS
 SECOND FLOOR: 60 SEATS
 OUTSIDE PATIO/SEASONAL: 30 SEATS
 NUMBER OF STAFF: 9

RECEIVED
APR 21 2017
 Toronto City Planning
 North York District

1 PROPOSED SECOND FLOOR LAYOUT PLAN
 A8 SCALE: 3/16" = 1'-0"

ALL DRAWINGS, DETAILS AND SPECIFICATIONS AND REPORT ALL DISCREPANCIES TO DESIGNER BEFORE PROCEEDING WITH WORK.
 ALL DIMENSIONS AND SPECIFICATIONS ARE SUBJECTS OF SERVICE AND THE PROPERTY OF THE DESIGNER. DIMENSIONS MUST BE OBTAINED AT THE COMPLETION OF THE WORK.
 CONTRACTOR MUST VERIFY ALL JOB DIMENSIONS. LATEST APPROVED DRAWINGS TO BE USED FOR CONSTRUCTION ONLY.

4 KERR ROAD, SUITE 202
 TORONTO, ON M3B 1T1
 Tel: (416) 269-8744 Fax: (416) 269-3864
 Email: info@victorjhenrichs.com

VICTOR J. HENRICHS INC. ARCHITECT



NO.	REVISION	DATE	BY	RY
5	PLAN REVISION	04/12/15	JK	
4	PLAN REVISION	03/16/15	SC	
3	PLAN REVISION	04/12/15	SC	
2	PLAN REVISION	03/05/15	SC	
1	PLAN REVISION	06/17/15	AC	

DATE	BY	RY
04/12/15	JK	
03/16/15	SC	
04/12/15	SC	
03/05/15	SC	
06/17/15	AC	

PROJECT: 1718 & 1720 Avenue Rd.
 Restaurant Addition
 Toronto, Ontario

SIGNATURE PAGE

File Number:	A0328/17NY	Zoning	CR[ZONING]
Owner:	1661379 ONTARIO LTD ANNA MARIA GRAZIANO	Ward:	Eglinton-Lawrence (16)
Agent:	TURNER FLEISCHER ARCHITECT INC	Heritage:	Not Applicable
Property Address:	1718 AVENUE RD	Community:	North York
Legal Description:	PLAN 2247 PT LOTS 98 & 99		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0081/17NY	Zoning	RD / R6(20) (ZR)
Owner(s):	STEPHEN BROWN	Ward:	Eglinton-Lawrence (16)
Agent:	QUYNH DANG	Heritage:	Not Applicable
Property Address:	459 FAIRLAWN AVE	Community:	North York
Legal Description:	PLAN 2247 PT LOT 55A		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a rear deck and accessory structure.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.50.10.(3), By-law No. 569-2013**
A lot with a residential building, other than an apartment building, must have a minimum of 50% of the rear yard for soft landscaping if the lot frontage is greater than 6.0 m.
The proposed rear yard landscaping area is 34.4%.
- 2. Chapter 10.20.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 35.3% of the lot area.
- 3. Chapter 10.20.40.20.(1), By-law No. 569-2013**
In the RD zone with a minimum required lot frontage of 18.0 m or less, the permitted maximum building length for a detached house is 17.0 m.
The proposed building length is 21 m.
- 4. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The permitted maximum building depth for a detached house is 19.0 m.
The proposed building depth is 21 m.
- 5. Section 14-A(6), By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 35.3% of the lot area.

6. Section 14-A(9), By-law No. 7625

The maximum permitted building length is 18.9 m

The proposed building length is 21m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Submission of a complete application for permit to injure or remove privately owned trees.

SIGNATURE PAGE

File Number:	A0081/17NY	Zoning	RD / R6(20) (ZR)
Owner:	STEPHEN BROWN	Ward:	Eglinton-Lawrence (16)
Agent:	QUYNH DANG	Heritage:	Not Applicable
Property Address:	459 FAIRLAWN AVE	Community:	North York
Legal Description:	PLAN 2247 PT LOT 55A		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0108/17NY	Zoning	RD / R6 (ZR)
Owner(s):	HESHMATOLLAH GHORBANKHANI PEYMAN GHORBANKHANI	Ward:	Willowdale (23)
Agent:	BEHZAD SABBAGHI	Heritage:	Not Applicable
Property Address:	164 NORTON AVE	Community:	North York
Legal Description:	PLAN 2633 W PT LOTS 107 AND 108		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with attached garage. The existing dwelling will be demolished.

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 31.98% of the lot area.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0 m.
The proposed building length is 17.45 m.
- 3. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback is 1.2 m where the required minimum lot frontage is 12.0 m to less than 15.0 m.
The proposed west side yard setback is 0.95 m.
- 4. Section 6-24, By-law No. 7625**
The first 2.1 m projection of an unexcavated porch or deck in the rear may be higher than 1 m in height and shall not be wider than half of the width of the dwelling's widest point and not exceed the height of the first storey joists.
The proposed rear deck is projection 3.18 m into the rear yard.
- 5. Section 14-A(5)c, By-law No. 7625**
The minimum required west side yard setback is 1.2 m.
The proposed west side yard setback is 0.95 m.
- 6. Section 14-A(6), By-law No. 7625**
The permitted lot coverage is 30% of the lot area.

The proposed lot coverage is 31.98% of the lot area.

7. **Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.5 m
The proposed first floor height is **1.64m**.
8. **Section 14-A(9), By-law No. 7625**
The maximum permitted building length is 15.30 m
The proposed building length is 17.45 m.
9. **14-A(8), By-law No. 7625**
The permitted maximum height for the sloped roof is 8.80 m.
There proposed building height is **9.10m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 31.98% of the lot area.
2. **Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0 m.
The proposed building length is 17.45 m.
4. **Section 6-24, By-law No. 7625**
The first 2.1 m projection of an unexcavated porch or deck in the rear may be higher than 1 m in height and shall not be wider than half of the width of the dwelling's widest point and not exceed the height of the first storey joists.
The proposed rear deck is projection 3.18 m into the rear yard.
6. **Section 14-A(6), By-law No. 7625**
The permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 31.98% of the lot area.
7. **Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.5 m
The proposed first floor height is **1.64m**.
8. **Section 14-A(9), By-law No. 7625**
The maximum permitted building length is 15.30 m
The proposed building length is 17.45 m.
9. **14-A(8), By-law No. 7625**
The permitted maximum height for the sloped roof is 8.80 m.
There proposed building height is **9.10m**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

3. Chapter 10.20.40.70.(3), By-law No. 569-2013

The required minimum side yard setback is 1.2 m where the required minimum lot frontage is 12.0 m to less than 15.0 m.

The proposed west side yard setback is 0.95 m.

5. Section 14-A(5)c, By-law No. 7625

The minimum required west side yard setback is 1.2 m.

The proposed west side yard setback is 0.95 m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0108/17NY	Zoning	RD / R6 (ZR)
Owner:	HESHMATOLLAH GHORBANKHANI PEYMAN GHORBANKHANI	Ward:	Willowdale (23)
Agent:	BEHZAD SABBAGHI	Heritage:	Not Applicable
Property Address:	164 NORTON AVE	Community:	North York
Legal Description:	PLAN 2633 W PT LOTS 107 AND 108		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 4, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0120/17NY	Zoning	R1/RD & RM4/RM [WAIVER]
Owner(s):	HAVERGAL COLLEGE	Ward:	Eglinton-Lawrence (16)
Agent:	BOUSFIELDS INC	Heritage:	Listed
Property Address:	1451 AVENUE RD	Community:	Toronto
Legal Description:	CON 1 WY PT LOT 5 ABUTTING NORTH YORK		

Notice was given and a Public Hearing was held on Thursday, May 4, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three story addition for educational space to the upper school, as well as to construct a new two-storey addition for educational space to the junior school.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 5.10.40.70.(6), By-law No. 569-2013**
A building on a lot must be setback 10.00m from a shoreline hazard limit or a stable top-of-bank.
The proposed building is setback **8.61m from a shoreline hazard limit or a stable top-of-bank and a 1.43m setback (existing school building setback) from the stable top of bank.**
- 2. Chapter 10.5.80.10.(3), By-law No. 569-2013**
A parking space may not be located in a front yard or a side yard abutting a street.
The proposed parking spaces of the proposed building addition are located in the front and side yards.
- 3. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.35 times the area of the lot.
The proposed floor space index is 0.51 times the area of the lot.
- 4. Section 4(2)(a), By-law No. 438-86**
The maximum permitted height on the lot is 10.00m.
The height of the proposed Upper School building to the top of the peak of the clerestory and photovoltaic panel is 10.62m.
- 5. Section 6(3) Part II (5), By-law No. 438-86**
The maximum permitted depth of a building is 14.00m.
The depth of the proposed Junior School building addition from Lawrence Avenue is 258.70m

6. Section 6(3) Part II (5), By-law No. 438-86

The maximum permitted depth of a building is 14.00m.

The depth of the proposed Upper School building addition from Lawrence Avenue is 328.40m.

7. Section 6(3) Part IV, 1(E), By-law No. 438-86

A parking space may not be located between the front lot line and the front wall of a building.

Parking spaces are located between the front lot line and the front wall of the proposed building addition.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0120/17NY	Zoning	R1/RD & RM4/RM [WAIVER]
Owner:	HAVERGAL COLLEGE	Ward:	Eglinton-Lawrence (16)
Agent:	BOUSFIELDS INC	Heritage:	Listed
Property Address:	1451 AVENUE RD	Community:	Toronto
Legal Description:	CON 1 WY PT LOT 5 ABUTTING NORTH YORK		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, May 11, 2017

LAST DATE OF APPEAL: Wednesday, May 24, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.