
**COMMITTEE OF ADJUSTMENT
AGENDA
SCARBOROUGH PANEL**

Hearing Date: April 13, 2017
Time: 9:30 a.m.
Location: Council Chamber - Scarborough Civic Centre - 150 Borough Drive

1. **OPENING REMARKS**
Declarations of Interest
Confirmation of Minutes from Previous Hearing

2. **DEPUTATION ITEMS**

The following applications will be heard at 9:30 a.m. or shortly thereafter:

File Number	Owner	Property	Community (Ward)
<u>COMBINED APPLICATIONS</u>			
1. B0045/16SC, A0235/16SC, A0236/16SC	FARHANA CHOUDHURY ROBB CHOWDHURY	116 CLETA DR	Scarborough Southwest (35)
2. B0064/16SC, A0365/16SC & A0366/16SC	2491676 ONTARIO LTD.	68 BEXHILL AVE	Scarborough Southwest (35)
3. B0003/17SC	RAJI RAHMAN CHOUDHURY MUHAMMED ABDUL KHALIQUE	123 HARDING BLVD	Scarborough Southwest (36)

CONSENT APPLICATION

4.	B0070/16SC	MICHAEL MALTHANER 1110620 ONTARIO INC	110 RIDGETOP RD	Scarborough-Agincourt (40)
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MINOR VARIANCE APPLICATIONS

5.	A166/16SC	KINGSTON CORNELL DEVELOPMENTS INC	1390 - 1400 KINGSTON RD	Scarborough Southwest (36)
6.	A0312/16SC	KIM LANG TAING DONG JIANG	81 MEADOWCLIFFE DR	Scarborough Southwest (36)
7.	A0347/16SC	HOSNEARA AHMED FARIDUDDIN AHMED	27 GRADWELL DR	Scarborough Southwest (36)
8.	A0355/16SC	EKATERINI STAVROPOULOS GEORGE MOULATSIOTIS	3224 DANFORTH AVE & 2 WANSTEAD AVE	Scarborough Southwest (35)
9.	A0362/16SC	GOLDMAN ELLESMERE 2 DEVELOPMENTS INC ZAHAVISH DOWNTOWN DEVELOPMENTS LTD	1001 ELLESMERE RD	Scarborough Centre (37)
10.	A0377/16SC	ELIZABETH TRIVANOVIC	54 ALLANGROVE CRES	Scarborough-Agincourt (40)
11.	A0378/16SC	2350819 ONTARIO LTD.	23 ELMVIEW DR	Scarborough Southwest (36)
12.	A0401/16SC	S & P DREAM DEVELOPMENTS INC.	9 CHANCELLOR DR	Scarborough Centre (38)
13.	A0005/17SC	BRENDA J WINKLER JOHN WINKLER	96 DONSDR	Scarborough Southwest (35)
14.	A0012/17SC	LANCE HANG GAO	49 KNOCKBOLT CRES	Scarborough-Rouge River (41)
15.	A0025/17SC	TORONTO HYDRO- ELECTRIC SYSTEM LTD	715 MILNER AVE	Scarborough-Rouge River (42)
16.	A0035/17SC, A0036/17SC	FARHAT NAYEEM KHAN	70 A & B SOUTH WOODROW BLVD	Scarborough Southwest (36)

17.	A0042/17SC	LUXMIEPRIYAA RAJAMOHAN	104 ZAPH AVE	Scarborough East (44)
18.	A0043/17SC	MIRJANA CIRIC IGOR CIRIC	89 EASTVILLE AVE	Scarborough Southwest (36)
19.	A0044/17SC	JOANNE MARINOS CHRISTOPHER MARINOS	24 BLANTYRE AVE	Scarborough Southwest (36)
20.	A0045/17SC	SCARBOROUGH TRUCK CENTRE INC 1240060 ONTARIO LTD	1810 MARKHAM RD	Scarborough-Rouge River (41)
21.	A0046/17SC	SABRI ALLARAJ	44 MUIR DR	Scarborough Southwest (36)
22.	A0050/17SC	SANTHARUPAN BALAKRISHNARAJAH	50 CRITTENDEN SQ	Scarborough-Rouge River (42)
23.	A0054/17SC	ALICIA ABANADOR RODOLFO ABANADOR	94 WESTCROFT DR	Scarborough East (43)
24.	A0056/17SC	RUMANA SYEDA ASHRAF RABIUL MOHAMMED ASHRAF	187 RANDALL CRES	Scarborough Southwest (36)
25.	A0058/17SC	MELANIE PHILIP ERNIE PHILIP	1 KINGSBURY CRES	Scarborough Southwest (36)
26.	A0060/17SC	YI YING YU	50 BELLEFONTAINE ST	Scarborough-Agincourt (39)
27.	A0062/17SC	STEVEN JOHN LEWIS PELTON AMANDA HELENE PELTON	7 PARKLAND RD	Scarborough Southwest (36)
28.	A0063/17SC	LYNDON PETERSON MARY MORRIS-EDEY WILLIS MORRIS	148 BENJAMIN BLVD	Scarborough Southwest (35)
29.	A0072/17SC	MURRON JACQUES	89 LILIAN DR	Scarborough Centre (37)

3. OTHER BUSINESS

None.

4. ONTARIO MUNICIPAL BOARD

Appeals:

Appeals arising from March 16, 2107 Hearing:

a. 7 GAYLORD DR –
(Committee Refused – Applicant appealed to OMB)

File Number:	B0067/16SC, A0384/16SC & A0385/16SC	Zoning	Residential Detached (RD) & Single Family (S) [Waiver]
Owner(s):	HAIFENG SUN	Ward:	Scarborough Centre (37)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	7 GAYLORD DR	Community:	Wexford Community
Legal Description:	PLAN 4040 LOT 212 PT LOT 211		

b. 5131 SHEPPARD AVE E -
(Committee Refused – Applicant appealed to OMB)

File Number:	A0343/16SC	Zoning	Office Uses (OU), Apartment residential (A) & Commercial Residential (CR) Zone [Waiver]
Owners:	CITY OF TORONTO	Ward:	Scarborough-Rouge River (42)
Agent:	DIAMOND CORP	Heritage:	Not Applicable
Property Address:	5131 SHEPPARD AVE E	Community:	Malvern Community
Legal Description:	PLAN 66M2300 BLK 1		

c. 1 NORCAP AVE -
(Committee Refused – Applicant appealed to OMB)

File Number:	A0286/16SC	Zoning	Residential Detached (RD) & Single-Family Residential (S) Zone [ZR]
Owner(s):	XUE ZHI NA	Ward:	Scarborough-Agincourt (39)
Agent:	ALLERA ENGINEERING AND CONSTRUCTION INC	Heritage:	Not Applicable
Property Address:	1 NORCAP AVE	Community:	L'Amoreaux Community
Legal Description:	PLAN 4827 LOT 32		

* Website for OMB Orders: <http://www.omb.gov.on.ca/english/eDecisions/eDecisions.html>

5. DATE OF NEXT MEETING: May 11, 2017

6. ADJOURNMENT

* **Website for City of Toronto, Committee of Adjustment Agendas and Decisions:**

<http://www1.toronto.ca/wps/portal/contentonly?vgnextoid=ed2552cc66061410VgnVCM10000071d60f89RCRD>

Please Note: Looking for information regarding Case Manager on a file and/or hearing date prior to the agenda? Please use the following link:

* **Website for City Planning "Application Information Centre" (AIC);**

<http://app.toronto.ca/DevelopmentApplications/mapSearchSetup.do?action=init>

For Committee of Adjustment, please "select" "Committee of Adjustment" prior to entering your search information.

The following applications will be heard at 9:30 a.m. or shortly thereafter:

1. 116 CLETA DR

File Number:	B0045/16SC, A0235/16SC, A0236/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	FARHANA CHOUDHURY ROBB CHOWDHURY	Ward:	Scarborough Southwest (35)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	116 CLETA DR	Community:	Kennedy Park Community
Legal Description:	PLAN 3507 PT LOT 39		

THE CONSENT REQUESTED:

This application is for consent to sever the land into two lots, as shown on the attached Site Plan. Both lots to be created (Part 2) and (Part 1) would have a frontage of 10.52 metres and a lot area of 586.7 square metres. The owner is proposing to demolish the existing house and build two new detached houses. In order to facilitate the proposed development, relief from the provision of the Zoning By-law was requested, as outlined in A0235/16SC and A0236/16SC.

116 A Cleta Drive (Part 2) - A0235/16SC

By-law No. 569-2013

1. To permit the proposed 10.52 metres lot frontage, whereas the Zoning By-law requires a minimum 12 metres lot frontage.
2. To permit the proposed building length of 19.81 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.
3. To permit the proposed building depth of 19.82 metres measured from the front yard setback requirement on a lot to the rear wall, whereas the Zoning By-law permits maximum building depth of 19 metres.
4. To permit the proposed 10.8 square metres platform (rear balcony), whereas the Zoning By-law permits maximum 4 square metres platform at or above the second floor.

By-law No. 9276

5. To permit the proposed 10.52 metres lot frontage, whereas the Zoning By-law requires a minimum 12 metres lot frontage.

116 B Clela Drive (Part 1) - A0236/16SC

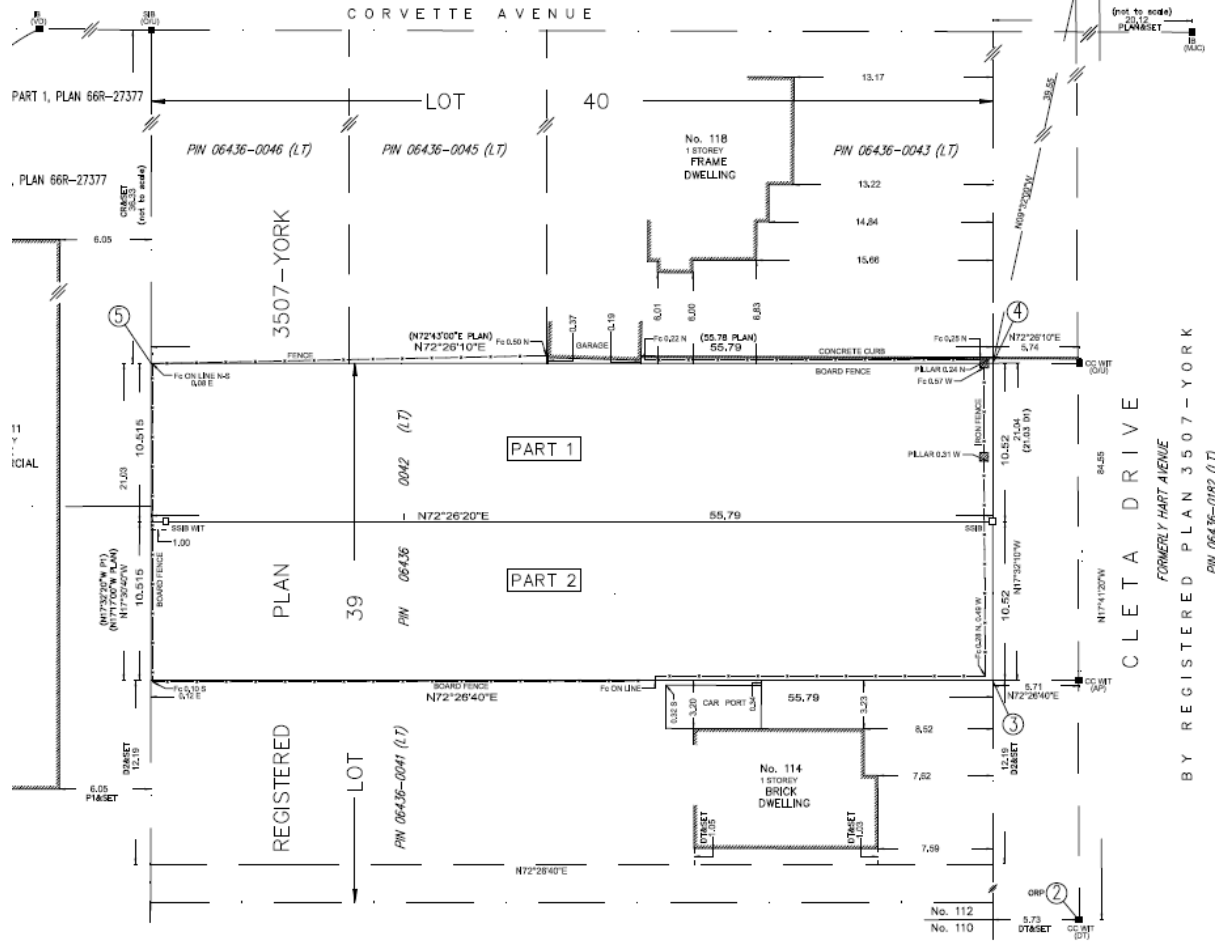
By-law No. 569-2013

1. To permit the proposed 10.52 metres lot frontage, whereas the Zoning By-law requires a minimum 12 metres lot frontage.
2. To permit the proposed building length of 18.81 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.
3. To permit the proposed 10.8 square metres platform (rear balcony), whereas the Zoning By-law permits maximum 4 square metres platform at or above the second floor.
4. To permit the proposed 7.6 front yard setback, whereas the Zoning By-law requires a minimum 7.59 metres front yard setback.

By-law No. 9276

5. To permit the proposed 10.52 metres lot frontage, whereas the Zoning By-law requires a minimum 12 metres lot frontage.

LAN 3507 - YORK
 OF TORONTO
 OF SCARBOROUGH
 CORPORATION LTD.



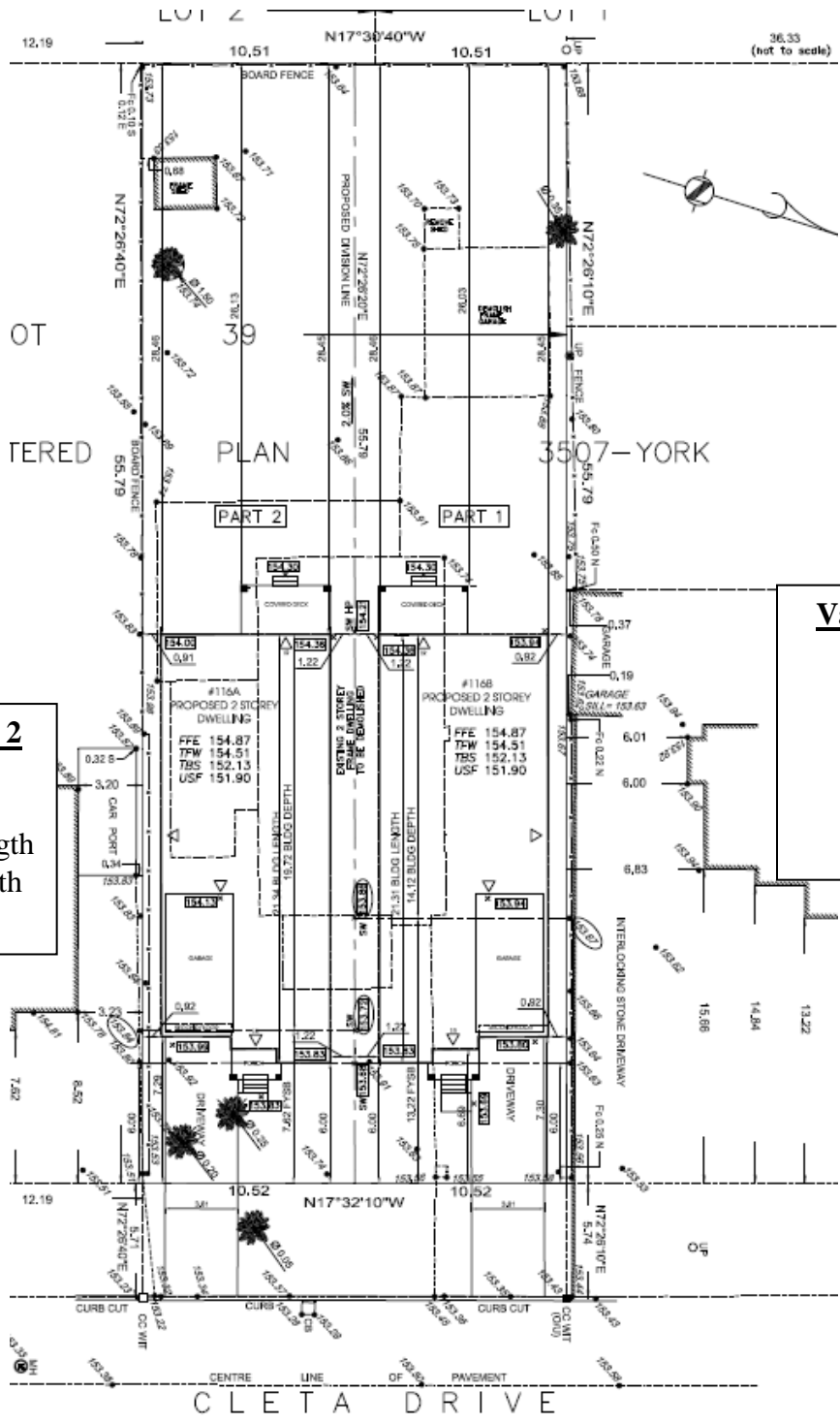
BY REGISTERED PLAN 3507 - YORK
 FORMERLY HART AVENUE
 PLAN 06436-0182 (LT)

Lot Division Plan
 Applicant's Submitted Drawing
 A0235/16SC, A0236/16SC
Not to Scale

116 Cleata Drive
 File # B0045/16SC,

08/10/2016 - PB

Attachment 2



- Variations for Part 2
(A0235/16SC):**
- Lot Frontage
 - Building Length
 - Building Depth
 - Platform

- Variations for Part 1
(A0236/16SC):**
- Lot Frontage
 - Building Length
 - Platform
 - Front Yard Setback

Site Plan

Applicant's Submitted Drawing
Not to Scale

03/06/2017 - P

116 Cleta Drive

File # B0045/16SC, A0235/16SC, A0236/16SC

Attachment 3

2. 68 BEXHILL AVE

File Number:	B0064/16SC, A0365/16SC & A0366/16SC	Zoning:	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	2491676 ONTARIO LTD.	Ward:	Scarborough Southwest (35)
Agent:	LEMCAD CONSULTANTS	Heritage:	Not Applicable
Property Address:	68 BEXHILL AVE	Community:	Clairlea Community
Legal Description:	PLAN M463 LOT 157		

THE CONSENT REQUESTED:

Proposed severance of the land into two lots for detached dwellings. Each proposed lot would have a frontage of 7.62 m on Bexhill Avenue a lot area of approximately 241.5 m². The proposed lots are shown as PARTS 1 and 2 on the attached Site Plan.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

PART 1 – 68B Bexhill Avenue (File A0365/16SC):

By-law No. 569-2013 & By-law No. 8978:

1. The proposed lot frontage is 7.6 m
Whereas the minimum required lot frontage is 12 m
2. The proposed lot area is 241 m²
Whereas the minimum required lot area is 371 m²
3. The proposed side yard setback is 0.46 m on the south side (PART 1)
Whereas the minimum required side yard setback is 0.9 m

By-law No. 569-2013:

4. The proposed lot coverage is 43%
Whereas the maximum permitted lot coverage is 33%
5. The proposed house would have a flat roof and a building height of 8.8 m
Whereas the maximum permitted building height for a detached house with a flat roof is 7.2 m
6. The proposed floor area located within 4.0 m of the front main wall is 8.4 m²
Whereas a minimum of 10.0 m² of the first floor must be within 4.0 m of the front main wall.
7. The proposed roof overhang and eaves trough would be located 0.15 m from the south side lot line (PART 1)
Whereas the eaves of a roof may encroach into a required minimum building setback a maximum of 0.9 m, if they are no closer to a lot line than 0.3 m

By-law No. 8978:

8. The proposed lot coverage is 44%
Whereas the maximum permitted lot coverage is 33%
9. A portion of the house would have three storeys (garage + two storeys above)
Whereas the maximum number of storeys excluding basement is two

PART 2 – 68A Bexhill Avenue (File A0366/16SC):

By-law No. 569-2013 & By-law No. 8978:

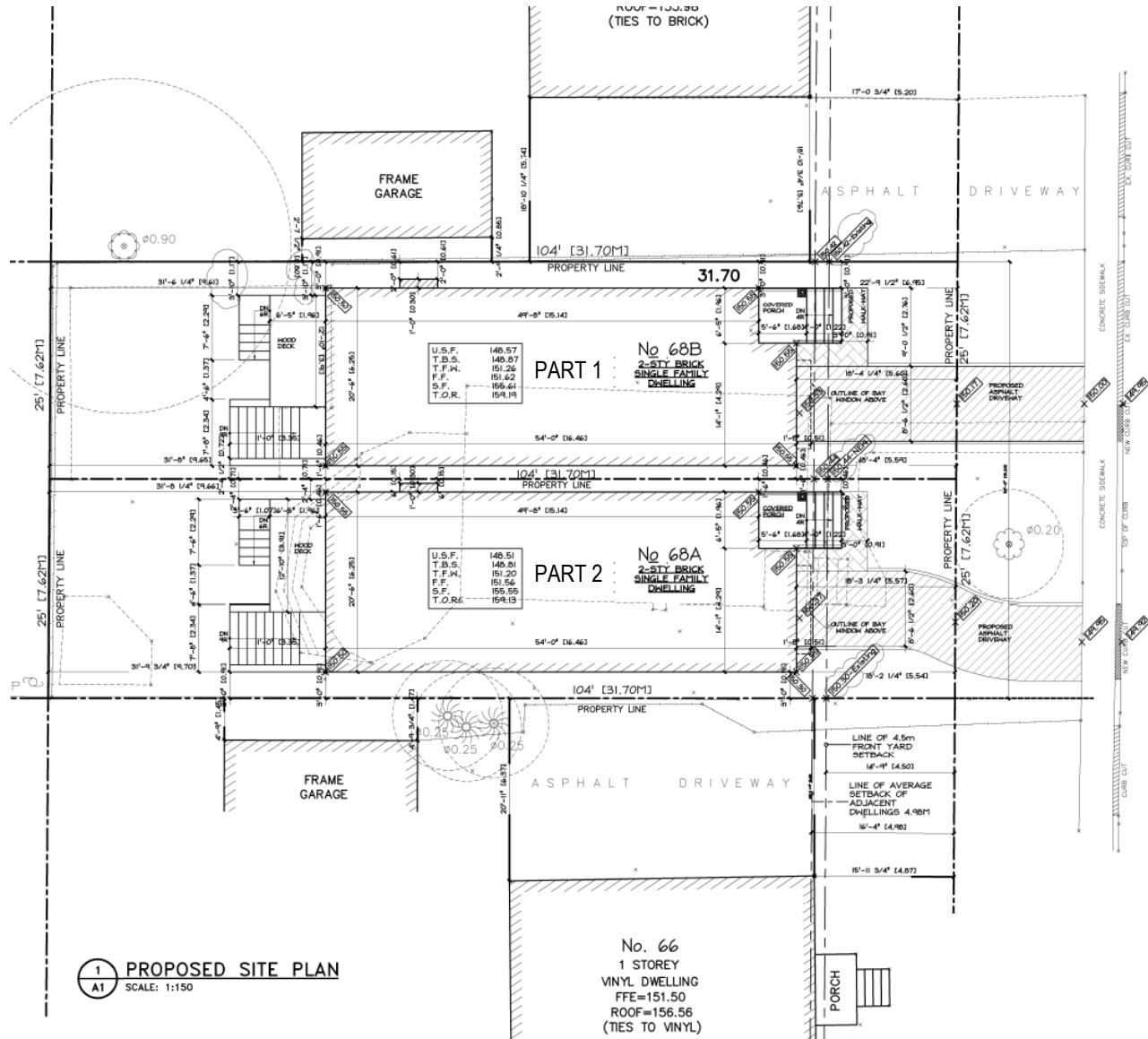
1. The proposed lot frontage is 7.6 m
Whereas the minimum required lot frontage is 12 m
2. The proposed lot area is 241 m²
Whereas the minimum required lot area is 371 m²
3. The proposed side yard setback is 0.46 m on the north side (PART 2)
Whereas the minimum required side yard setback is 0.9 m

By-law No. 569-2013:

4. The proposed lot coverage is 43%
Whereas the maximum permitted lot coverage is 33%
5. The proposed house would have a flat roof and a building height of 8.8 m
Whereas the maximum permitted building height for a detached house with a flat roof is 7.2 m
6. The proposed floor area located within 4.0 m of the front main wall is 8.4 m²
Whereas a minimum of 10.0 m² of the first floor must be within 4.0 m of the front main wall.
7. The proposed rear deck would have a setback of 0.7 m from the north lot line
Whereas the deck is required to be setback a minimum of 0.9 m
8. The proposed chimney breast setback from the north lot line is 0.15 m
Whereas a chimney breast may encroach into a required minimum building setback a maximum of 0.6 m if it is no wider than 2 m and no closer to a lot line than 0.3 m
9. The proposed roof overhang and eavestrough would be located 0.15 m from the north side lot line (PART 2)
Whereas the eaves of a roof may encroach into a required minimum building setback a maximum of 0.9 m, if they are no closer to a lot line than 0.3 m

By-law No. 8978:

10. The proposed lot coverage is 44%
Whereas the maximum permitted lot coverage is 33%
11. A portion of the house would have three storeys (garage + two storeys above)
Whereas the maximum number of storeys excluding basement is two



1 PROPOSED SITE PLAN
 A1 SCALE: 1:150

No. 66
 1 STOREY
 VINYL DWELLING
 FFE=151.50
 ROOF=156.56
 (TIES TO VINYL)

BEXHILL AVENUE



INFORMATION TAKEN FROM:
 SURVEYOR'S REAL PROPERTY RE
 PART 1) PLAN AND TOPOGRAPHY
 LOT 102
 REGISTERED PLAN 1859
 CITY OF TORONTO
 (FORMERLY CITY OF SCARBOROUGH)
 VLADIMIR DOSEN SURVEYING,

3. 123 HARDING BLVD

File Number:	B0003/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	RAJI RAHMAN CHOUDHURY MUHAMMED ABDUL KHALIQUE	Ward:	Scarborough Southwest (36)
Agent:	CANTAM GROUP	Heritage:	Not Applicable
Property Address:	123 HARDING BLVD	Community:	Birchcliff Community
Legal Description:	PLAN 1735 LOT 24		

THE CONSENT REQUESTED:

To obtain consent to sever the property into two (2) undersized residential lots.

Conveyed - Part 1

The proposed lot frontage is 7.63 m and the proposed lot area is 232.63 m². The existing detached dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling with an integral garage and basement walkout, requiring variances to the Zoning By-law, as outlined in Application A0038/17SC.

Retained - Part 2

The proposed lot frontage is 7.63 m and the proposed lot area is 232.63 m². The existing detached dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling with an integral garage and basement walkout, requiring variances to the Zoning By-law, as outlined in Application A0037/17SC.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Part 1 – Conveyed (A0038/17SC) & Part 2– Retained (A0037/17SC)

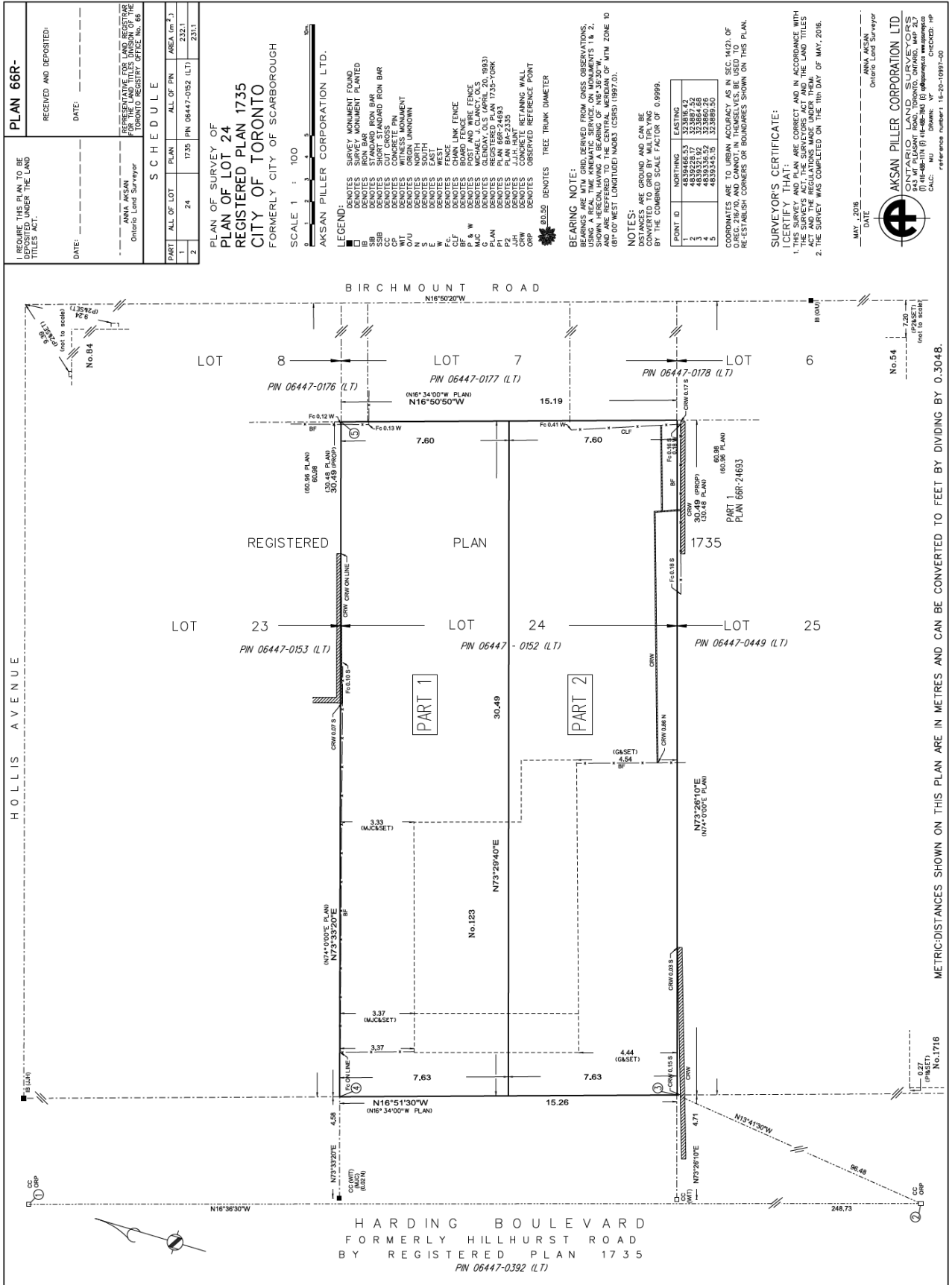
By-law No. 569-2013:

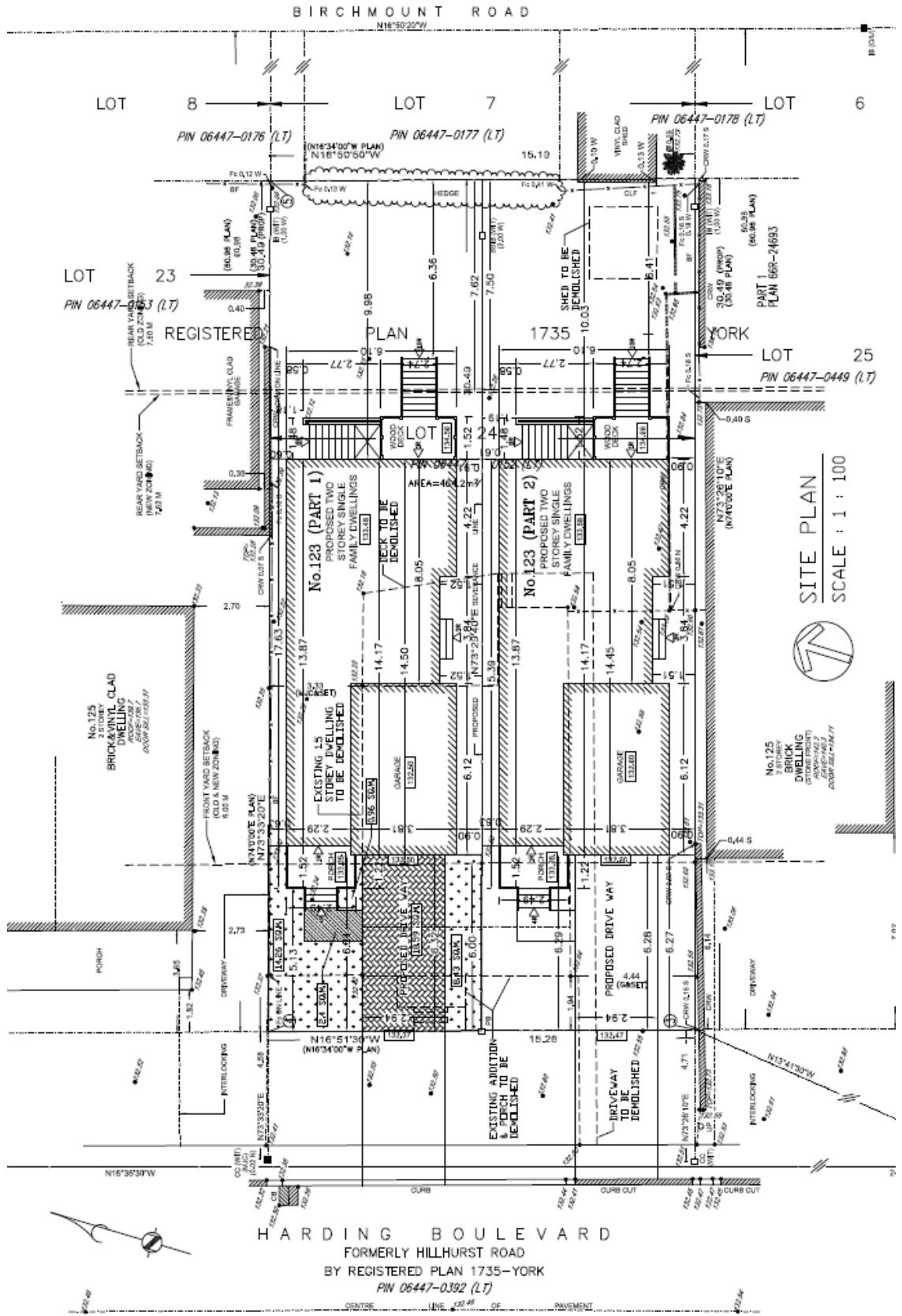
1. The proposed lot area is 232.63 m²;
Whereas the minimum required lot area is the existing lot area of 465.23 m².
2. The proposed dwelling will cover 36% of the lot area (83.4 m²);
Whereas the maximum permitted coverage is 33% of the lot area (76.77 m²).
3. The proposed dwelling will have a floor space index equal to 0.996 times the lot area (231.62 m²);
Whereas the maximum permitted floor space index is 0.6 times the lot area (139.6 m²).
Note: the basement is considered the first floor and is included in the FSI.
4. The proposed dwelling will be three (3) storeys in height;
Whereas the maximum permitted number of storeys is two (2).
Note: the Zoning By-law classifies the ground floor as the second storey and the top floor as the third storey.

5. The proposed dwelling will have side main walls with a height of 7.6 m;
Whereas the maximum permitted side main wall height is 7 m.
6. The proposed west side platform (rear deck) will have an area of 4.19 m²;
Whereas the maximum permitted area of a platform at or above the second storey is 4 m².

By-law No. 8786:

7. The proposed lot has a depth of 30.49 m;
Whereas the minimum required lot depth is 33 m.
Note: this is an existing condition.
8. The proposed dwelling will cover 37% of the lot area (87 m²);
Whereas the maximum permitted coverage is 33% of the lot area (76.77 m²).
9. The proposed dwelling will have a total floor area equal to 0.71 times the lot area (166.17 m²);
Whereas the maximum permitted floor area is 0.6 times the lot area (139.6 m²).





4. 110 RIDGETOP RD

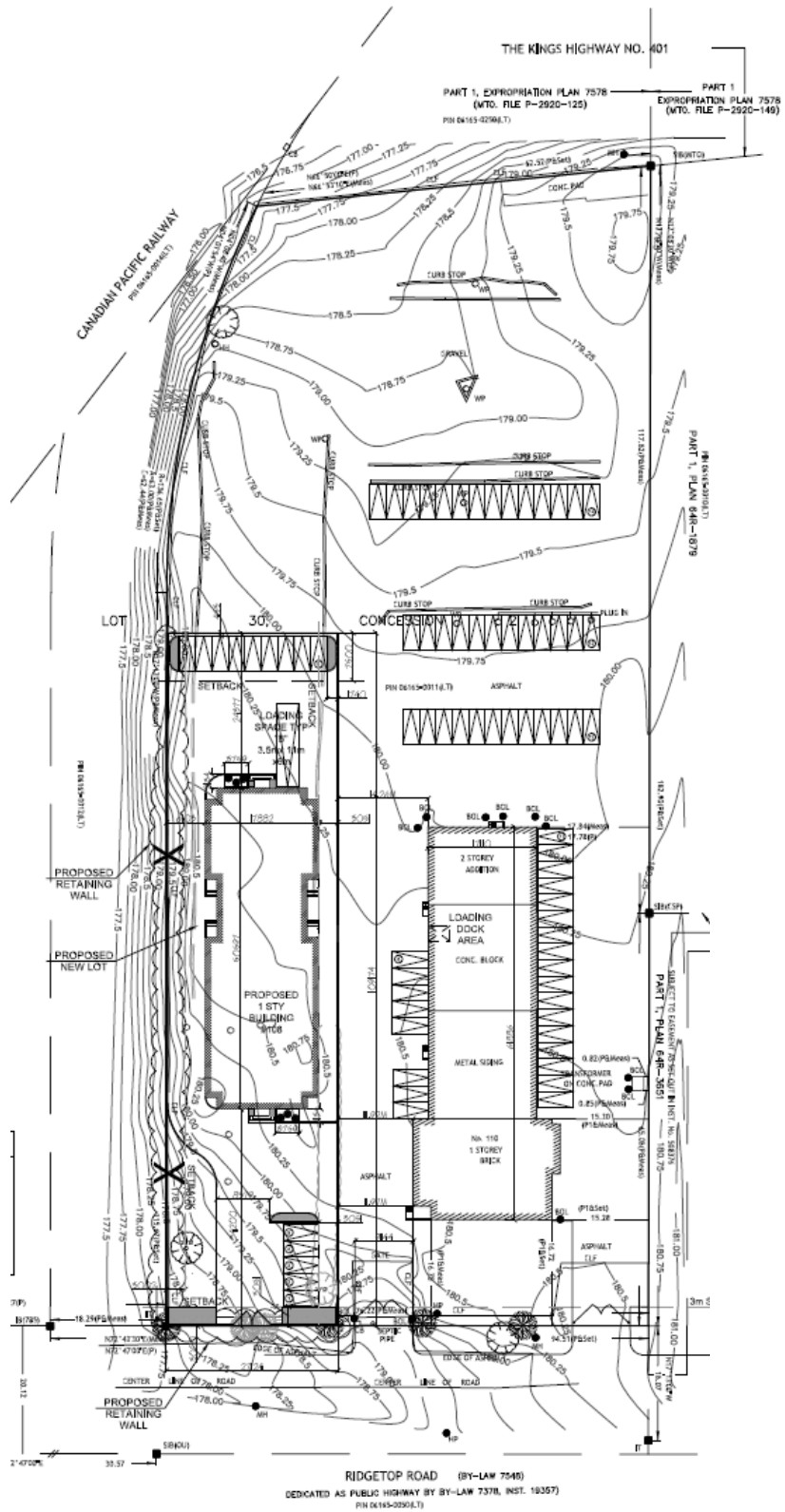
File Number:	B0070/16SC	Zoning	General Industrial (MG) Zone [Waiver]
Owners:	MICHAEL MALTHANER 1110620 ONTARIO INC	Ward:	Scarborough-Agincourt (40)
Agent:	ARCHITALCAN DESIGN INC	Heritage:	Not Applicable
Property Address:	110 RIDGETOP RD	Employment District:	Ellesmere Employment District
Legal Description:	CON 2 PT LOT 30		

THE CONSENT REQUESTED:

This application is for a proposal to sever the industrial property at 110 Ridgetop Road into two lots as shown on the attached Lot Division Plan.

The proposed lot shown as PART 1 would have a frontage of 49.2 m on Ridgetop Road and a lot area of approximately 10,641 m².

The proposed lot shown as PART 2 would have a frontage of 27 m on Ridgetop Road and a lot area of approximately 2,951 m².



SURVEY OF
PART OF LOT 30
CONCESSION 2
CITY OF TORONTO



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RIDGETOP ROAD (BY-LAW 7548)
DEDICATED AS PUBLIC HIGHWAY BY BY-LAW 7376, INST. 19357
PIN 04145-0206(L)

5. 1390 - 1400 KINGSTON RD

File Number:	A166/16SC	Zoning	Commercial Residential (CR) Zone [ZR]
Owners:	KINGSTON CORNELL DEVELOPMENTS INC	Ward:	Scarborough Southwest (36)
Agent:	BOUSFIELDS INC	Heritage:	Not Applicable
Property Address:	1390 - 1400 KINGSTON RD	Community:	Birchcliff Community
Legal Description:	PLAN M410 LOTS 10, 11 & 12		

PURPOSE OF THE APPLICATION:

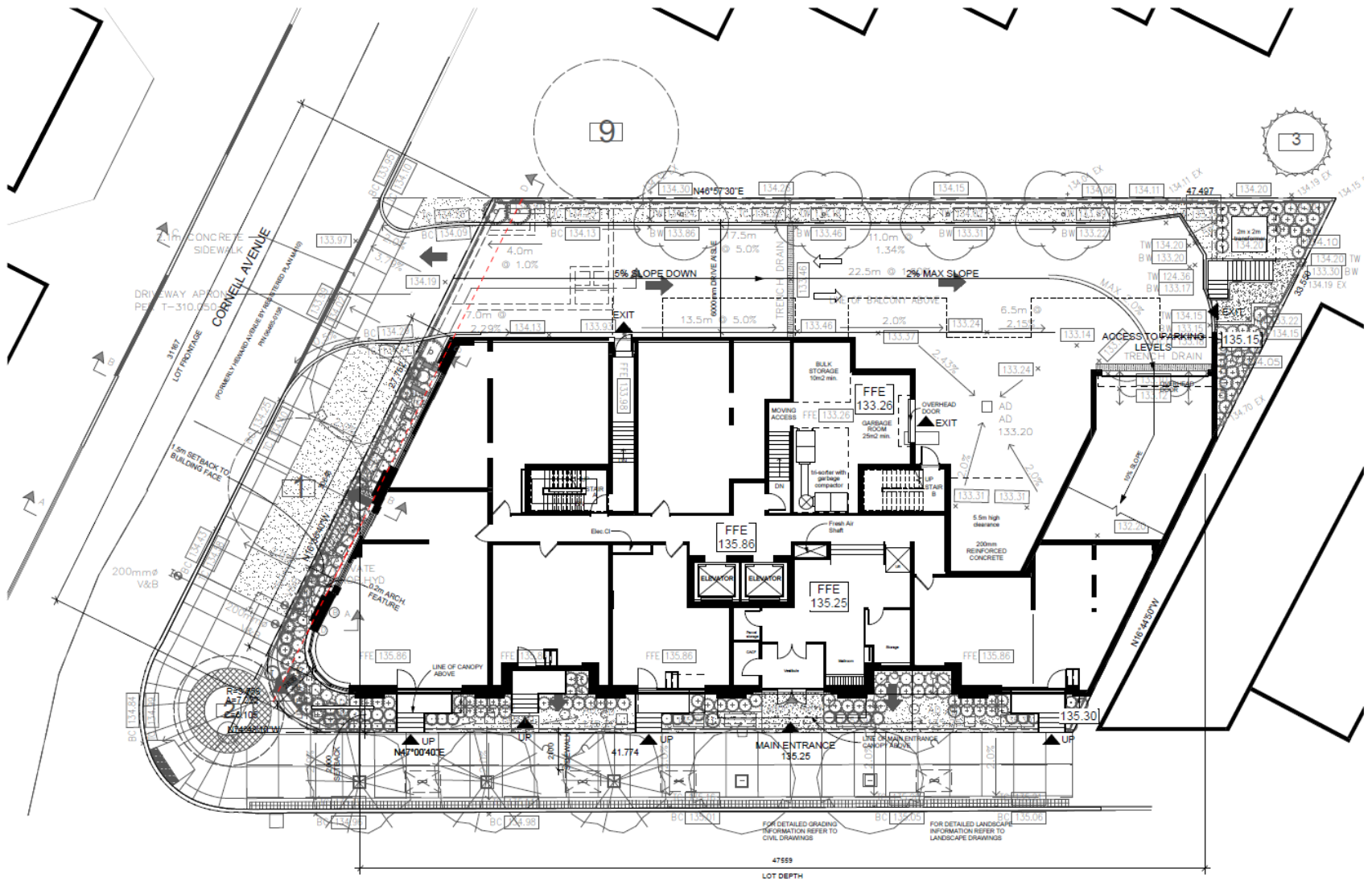
The owners are proposing to develop the site with a seven storey, mid-rise condominium building with 41 residential units.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 8786

- 1. Exception 38**
To permit dwelling units on the ground floor.
Whereas dwelling units are only permitted on or above the second storey of a building.
- 2. Performance Standard 205**
To permit eight (8) visitor bicycle parking rings to be located outside the property lines.
Whereas three (3) visitor bicycle parking spaces are required to be located outside on the ground floor (on the lot) or first underground parking level in a publicly accessible area.
- 3. Performance Standard 283 (Applicable to westerly portion of the site only)**
To permit eight (8) storeys and a height of 22.5 m.
Whereas the By-law requires a minimum of two storeys and a maximum of 4 storeys not exceeding an overall height of 14 m.
- 4. Performance Standard 283 (Applicable to westerly portion of the site only)**
To permit a gross floor area of 3.0 times the area of the lot (4,279 m²).
Whereas the maximum permitted gross floor area is 2.5 times the area of the lot (3,575 m²).
- 5. Performance Standard 284**
To permit eight (8) storeys and a height of 22.5 m.
Whereas the By-law requires a minimum of two storeys and a maximum of 6 storeys not exceeding an overall height of 20 m.
- 6. Performance Standard 293**
To permit a 45-degree angular plane measured from the midpoint of the 7.5 m setback line and beginning at a height of 10.5 m. A portion of the building may project beyond the 45-degree angular plane as shown on, and shall be substantially in accordance with, the attached East and West Elevations.
Whereas buildings shall not exceed a 45-degree angular plane from a lot line abutting Single Family Residential (S), Two-Family Residential (T), Multiple-Family (M), and Park (P) Zones.

- 7. Performance Standard 296**
To permit the portion of the building above 14 m (5th floor) abutting Kingston Rd and Cornell Ave to be in line with the main walls below and not stepped back an additional 1.5 m.
Whereas for that portion of a building above 14 m in height, buildings shall be stepped back an additional 1.5 m from the main wall abutting a public street.
- 8. Performance Standard 299**
To permit the mechanical penthouse to be setback 3.5 m from Kingston Rd and 5.5 m from Cornell Ave.
Whereas mechanical penthouses shall be stepped back 5 m in addition to the required setbacks from all street yards. The mechanical penthouse shall cover no more than 30% of the roof area and extend no more than 5 m in height.
- 9. Performance Standard 300**
To permit the floor to ceiling height of the first floor to be 3.5 m.
Whereas the minimum required floor to ceiling height of the first floor shall be 4.5 metres for buildings or structures.
- 10.** To permit the green roof area to be 50 m².
Whereas the minimum required green roof area is 59.13 m²



KINGSTON ROAD
FIRE ROUTE

6. 81 MEADOWCLIFFE DR

File Number:	A0312/16SC	Zoning	Residential Detached (RD) & Single Family Residential (S) Zone [Waiver]
Owner(s):	KIM LANG TAING DONG JIANG	Ward:	Scarborough Southwest (36)
Agent:	RICHARD LIBRACH	Heritage:	Not Applicable
Property Address:	81 MEADOWCLIFFE DR	Community:	Cliffcrest Community
Legal Description:	PLAN M440 PT LOT 157 NOW RP R871 PART 1 AND LOT 158		

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling. A portion of the existing foundation will remain.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed dwelling will be located 23.44 m from the front lot line;
Whereas the minimum required front yard setback is 23.92 m.
2. The proposed dwelling will have a height of 26.86 m, as measured from established grade.
Whereas the maximum permitted height of a dwelling with a flat or shallow roof is 7.2 m.
3. The proposed dwelling will have three (3) storeys;
Whereas the maximum permitted number of storeys is two (2).
4. The proposed dwelling will have a first floor height of 19.8 m above established grade;
Whereas the maximum permitted first floor height above established grade is 1.2 m.
5. The proposed dwelling will have a parapet height of 0.91 m above the roof deck;
Whereas the maximum permitted height of a parapet is 0.3 m.

6. The area of the platforms are as follows:

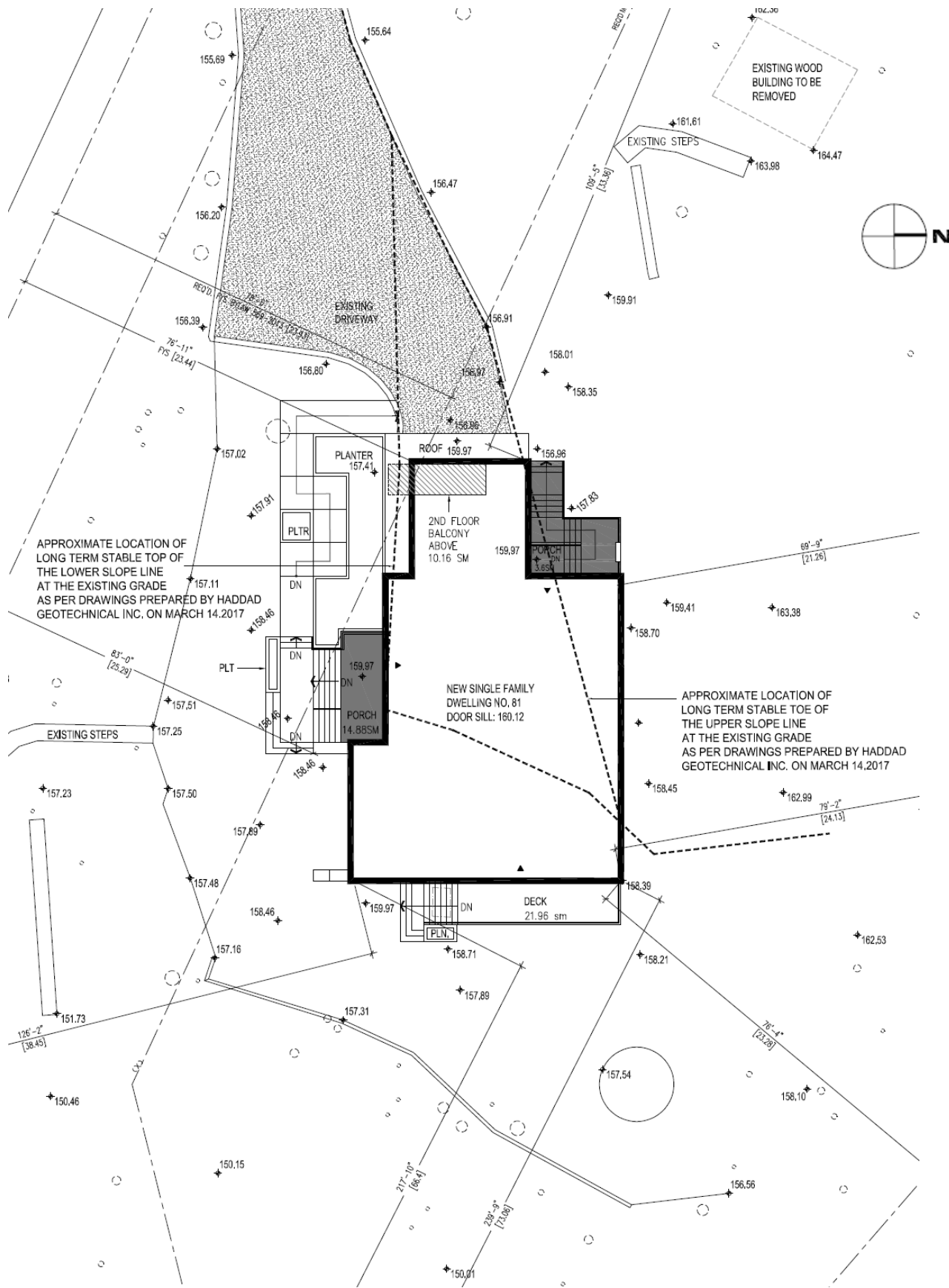
Second Floor: South Entrance Porch: 14.88 m²
East Deck: 21.96 m²

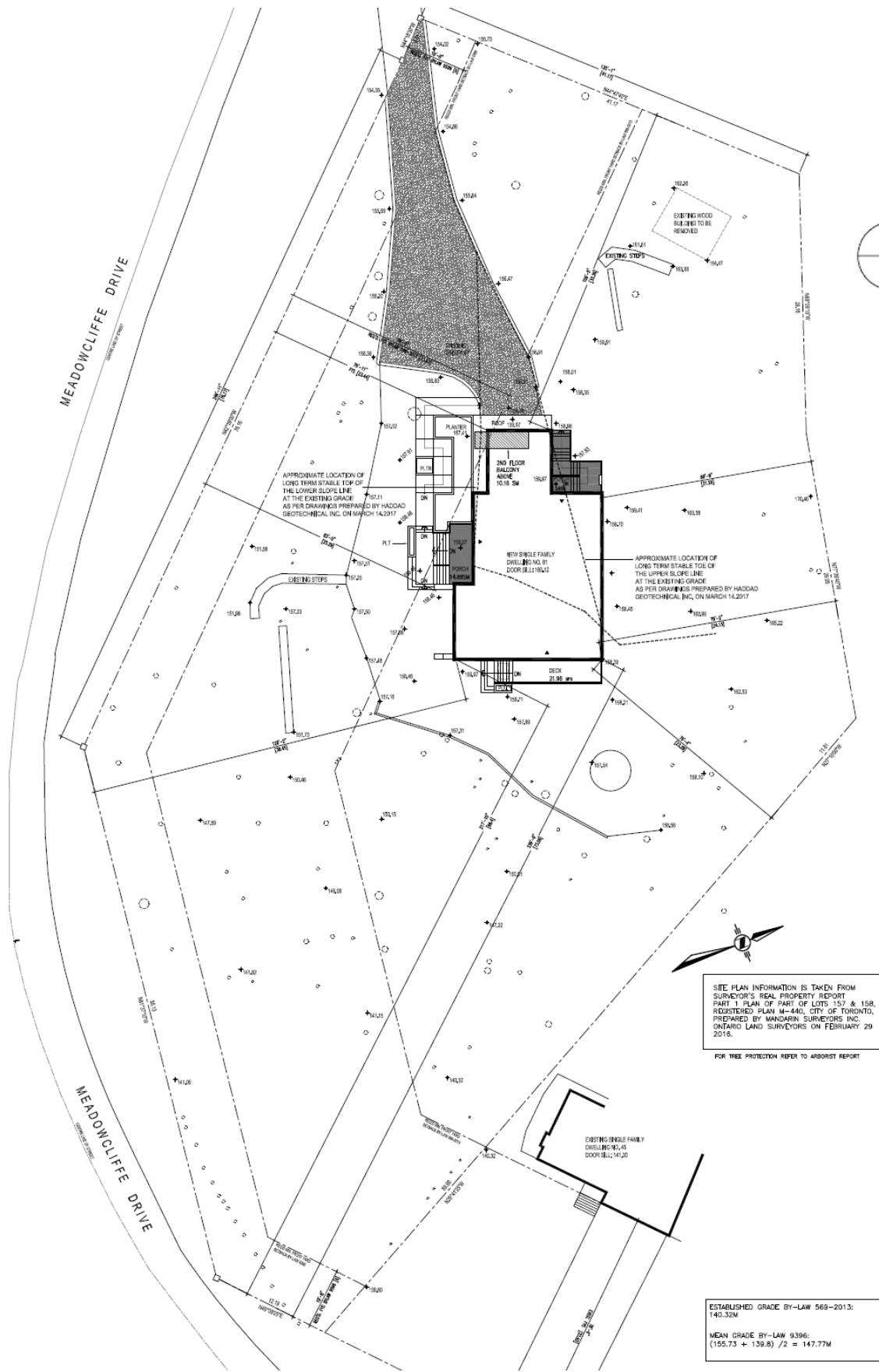
Third Floor: W Side Patio: 10.16 m²
Whereas the maximum permitted area of each platform is 4 m².

By-law No. 9396:

7. The proposed dwelling will be located 21.26 m from the rear lot line;
Whereas the minimum required rear yard setback is 27.73 m.

8. The proposed dwelling will have a height of 20.32 m, as measured from mean grade. Whereas the maximum permitted height is 9 m.
9. The proposed dwelling will have a basement height of 11.99 m, as measured from the mean grade to the ceiling of the basement; Whereas the maximum permitted basement height is 1 m.





SITE PLAN INFORMATION IS TAKEN FROM SURVEYOR'S REAL PROPERTY REPORT PART 1 PLAN OF PART OF LOTS 157 & 158, REGISTERED PLAN M-440, CITY OF TORONTO, PREPARED BY MANDARIN SURVEYORS INC. ONTARIO LAND SURVEYORS ON FEBRUARY 29 2015.

FOR TREE PROTECTION REFER TO ARBORIST REPORT

ESTABLISHED GRADE BY-LAW 569-2013:
140.32M
MEAN GRADE BY-LAW 9396:
 $(155.73 + 139.8) / 2 = 147.77M$

7. 27 GRADWELL DR

File Number:	A0347/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [Waiver]
Owner(s):	HOSNEARA AHMED FARIDUDDIN AHMED	Ward:	Scarborough Southwest (36)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	27 GRADWELL DR	Community:	Cliffcrest Community
Legal Description:	PLAN M475 PT LOT 230 PT LOT 229		

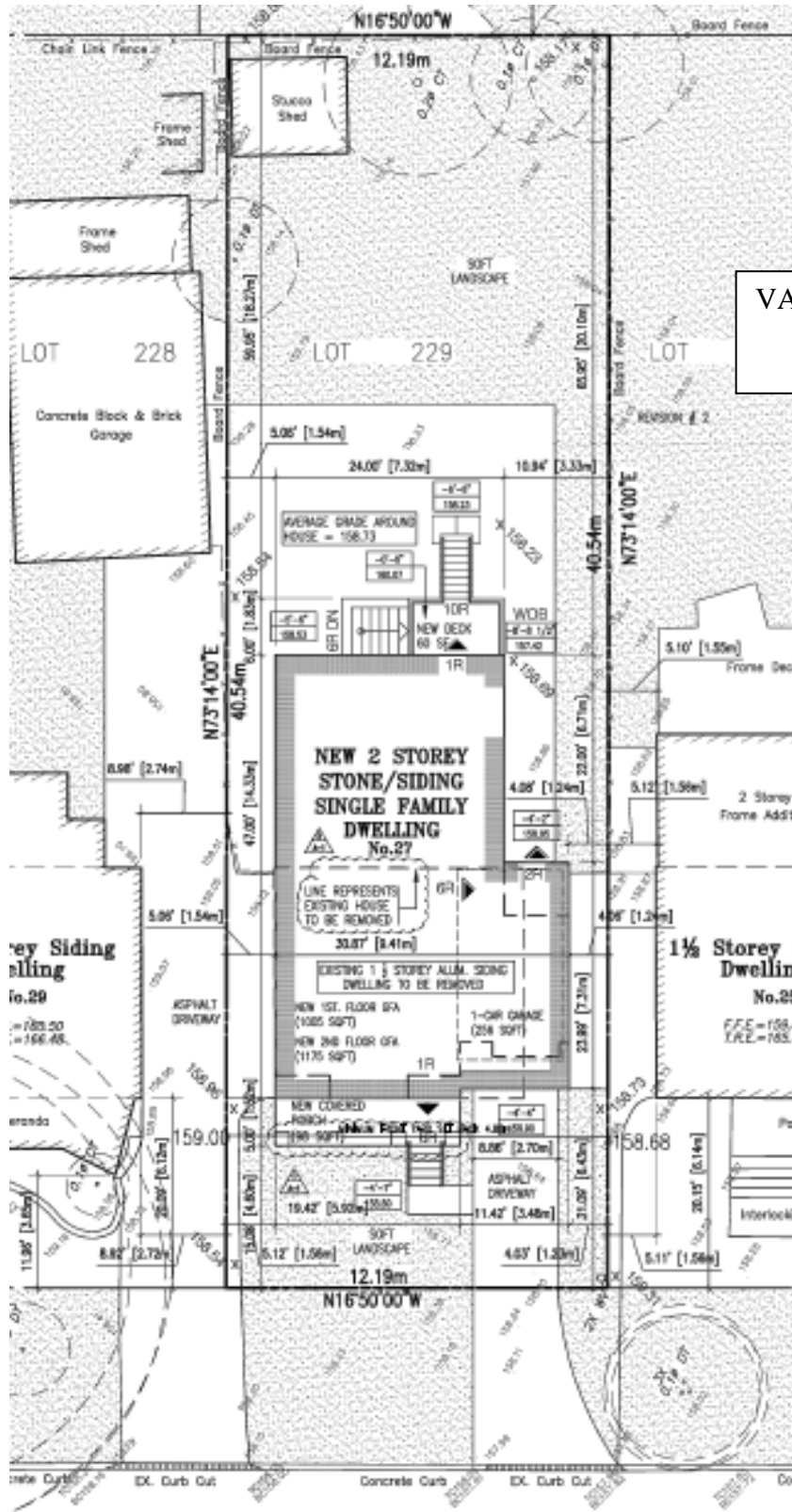
PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to permit the already constructed two storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed height of the first floor to be 1.45 metres above established grade, whereas the Zoning By-law permits the maximum height of the first floor above established grade to be 1.2 metres. Please note: The Committee of Adjustment approved 1.4 metres above established grade at the January 2014 hearing (A287/14SC).



VARIANCE:
 • First Floor Height

GRADWELL DRIVE
 (Formerly Woodside Avenue By Registered Plan M-475)

8. 3224 DANFORTH AVE & 2 WANSTEAD AVE

File Number:	A0355/16SC	Zoning	Commercial Residential (CR) Zone [ZR]
Owners:	EKATERINI STAVROPOULOS GEORGE MOULATSIOTIS	Ward:	Scarborough Southwest (35)
Agent:	ARISTOTLE CHRISTOU	Heritage:	Not Applicable
Property Address:	3224 DANFORTH AVE & 2 WANSTEAD AVE	Community:	Oakridge Community
Legal Description:	PLAN 808 PT LOT 6		

PURPOSE OF THE APPLICATION:

This application is for variances for a proposal to construct a third and fourth storey addition over the existing two storey mixed use building at 3224 Danforth Avenue, and a four storey addition at the rear of the building. The building would be used for commercial space on the ground floor and six apartment units on the upper floors. The detached building at the rear of the property at 2 Wanstead Avenue is proposed to be renovated and converted into a live/work residential unit.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The existing detached building at the rear of the property is proposed to be converted into a single family dwelling
Whereas a single family dwelling is not permitted in the Commercial Residential (CR) Zone
2. The proposed floor area is 3.24 x the area of the lot (603 m²)
Whereas the maximum permitted floor area is 2.5 x the area of the lot (464 m²)
3. The proposed residential floor area is 2.66 x the area of the lot (495 m²)
Whereas maximum permitted residential floor area is 1.9 x the area of the lot (353 m²)
4. The ground floor of the proposed single family dwelling at the rear of the property would be used for residential purposes
Whereas a dwelling unit in the Commercial Residential Zone must be located above the second above grade storey
5. The existing detached building at the rear of the property to be converted into a single family dwelling has no setback from the east lot line abutting Wanstead Avenue
Whereas the minimum required building setback from a lot line that abuts a street is 1.5 m
6. No parking spaces are existing or proposed on the property
Whereas a minimum of 5 parking spaces are required

7. The existing detached building at the rear of the property has a setback of 2.7 m from the lot line of the lot abutting the lane on the opposite side of the lane
Whereas where the rear lot line abuts a lane, the building must be set back a minimum of 7.5 m from the lot line of the lot abutting the lane on the opposite side of the lane
8. The existing buildings have no setback from the west lot line
Whereas where the main wall of a building has windows or openings, the main wall must be set back a minimum of 5.5 m from a lot line that is not adjacent to a street or lane
9. The mixed use building is located between the detached building at the rear of the property and Danforth Avenue
Whereas a building with a dwelling unit may not be located so that another building is between any main wall of the building and the street on which the building fronts

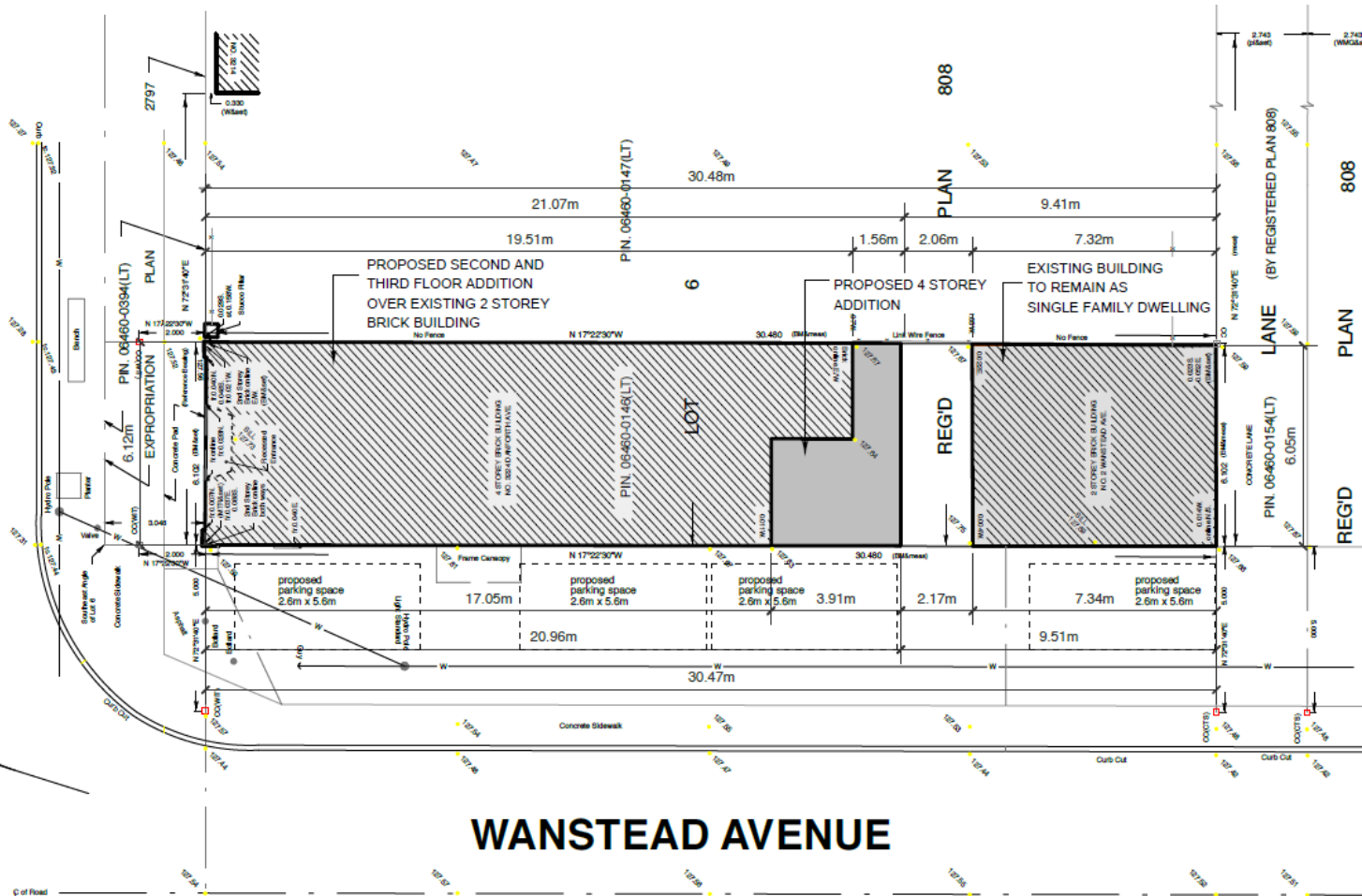
By-law No. 9812:

10. The existing detached building at the rear of the property is proposed to be converted into a single family dwelling
Whereas a single family dwelling is not permitted in the Commercial Residential (CR) Zone
11. The proposed floor area is 3.24 x the area of the lot (603 m²)
Whereas the maximum permitted floor area is 2.5 x the area of the lot (464 m²)
12. No parking spaces are existing or proposed on the property
Whereas a minimum of 8 parking spaces are required

DANFORTH AVENUE

(ROAD ALLOWANCE BETWEEN CONCESSIONS A & B)

PIN. 06460-0387(LT)



WANSTEAD AVENUE

(FORMERLY WESTLAKE AVENUE BY REGISTERED PLAN 808)

PIN. 06460-0372(LT)

9. 1001 ELLESMERE RD

File Number:	A0362/16SC	Zoning	Commercial Residential (CR) & Residential Townhouse (RT) Zone [Waiver]
Owners:	GOLDMAN ELLESMERE 2 DEVELOPMENTS INC ZAHAVISH DOWNTOWN DEVELOPMENTS LTD	Ward:	Scarborough Centre (37)
Agent:	BOUSFIELDS INC	Heritage:	Not Applicable
Property Address:	1001 ELLESMERE RD	Employment District:	Dorset Park Employment District
Legal Description:	RCP 9846 LOT 5		

PURPOSE OF THE APPLICATION:

This application is for variances to permit the minimum required front yard setback to be reduced for 46 proposed townhouse dwelling units in a 91-unit development. The 46 proposed units that are the subject of this application are located in Blocks 2 and 3, as shown on the attached Siting Plan.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

Block 2:

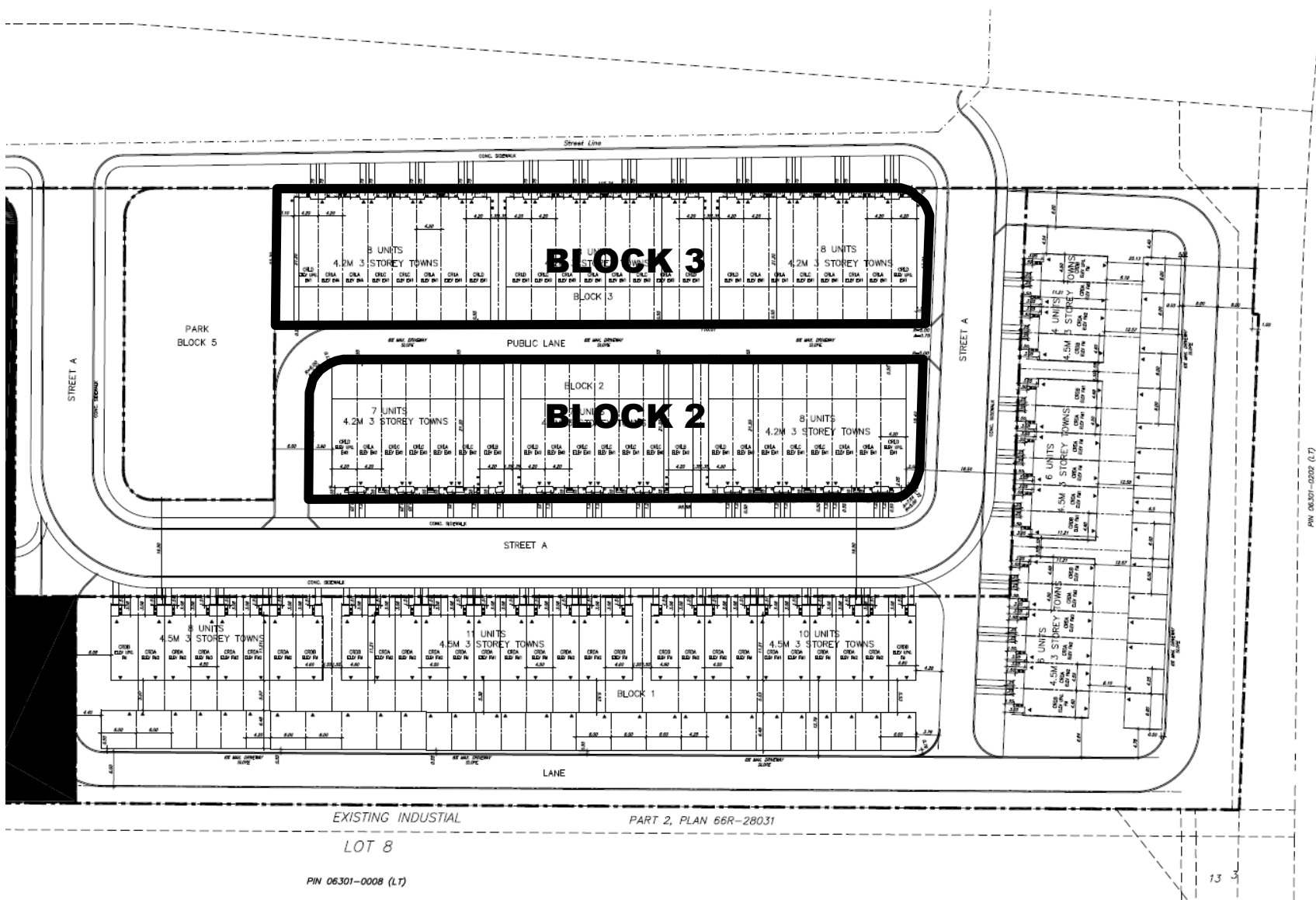
By-law No. 24982 & By-law No. 569-2013:

1. The proposed front yard setback for Block 2 is 2 m
Whereas the minimum required front yard setback for Block 2 is 3 m

Block 3:

By-law No. 24982 & By-law No. 569-2013:

2. The proposed front yard setback for Block 3 is 1.5 m
Whereas the minimum required front yard setback for Block 3 is 3 m



PIN 06301-0008 (L1)
 PART 1, PLAN 66R-19054
 METROLINX

EXISTING INDUSTRIAL
 LOT 8
 PIN 06301-0008 (L1)
 PART 2, PLAN 66R-28031

10. 54 ALLANGROVE CRES

File Number:	A0377/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	ELIZABETH TRIVANOVIC	Ward:	Scarborough-Agincourt (40)
Agent:	CEDOMIDR TRIVANOVIC	Heritage:	Not Applicable
Property Address:	54 ALLANGROVE CRES	Community:	L'Amoreaux Community
Legal Description:	PLAN M1174 LOT 25		

PURPOSE OF THE APPLICATION:

To legalize and maintain the as-built single storey addition on the north side of the detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 and No. 12466:

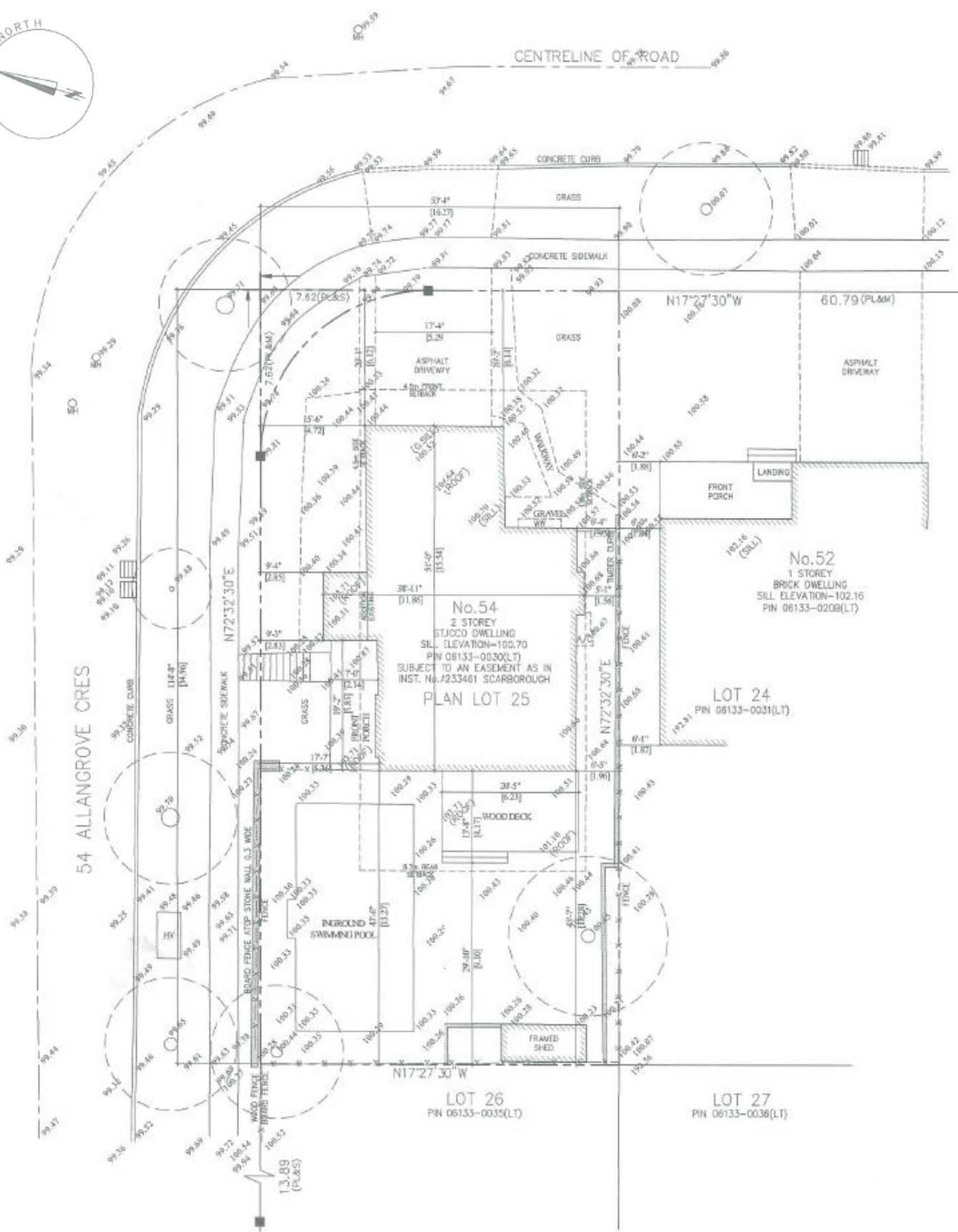
1. The addition is located 2.85 m from the side yard lot line abutting Allangrove Crescent;
Whereas the minimum required side yard setback that abuts a street (flankage yard) is 4.5 m.

By-law No. 569-2013:

2. The exterior landscaped stairs leading to the sidewalk will be located 0 m from the side lot line;
Whereas the minimum required side yard setback from a property line to a set of stairs is 0.6 m.

By-law No. 12466:

3. The front covered porch has dimensions of 9.47 m by 2.7 m;
Whereas the maximum permitted dimensions of an accessory structure is 7.6 m by 7.6 m.



11. 23 ELMVIEW DR

File Number:	A0378/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	2350819 ONTARIO LTD.	Ward:	Scarborough Southwest (36)
Agent:	M J DESIGN CONSULTANTS INC	Heritage:	Not Applicable
Property Address:	23 ELMVIEW DR	Community:	Birchcliff Community
Legal Description:	PLAN 3223 PT LOTS 133 AND 134		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey rear addition with a second storey over the existing one storey single family dwelling. This applicaiton was deferred at the February hearing to allow the owner and neighbours to meet. Please note that the plans have change, but the variances remain the same.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

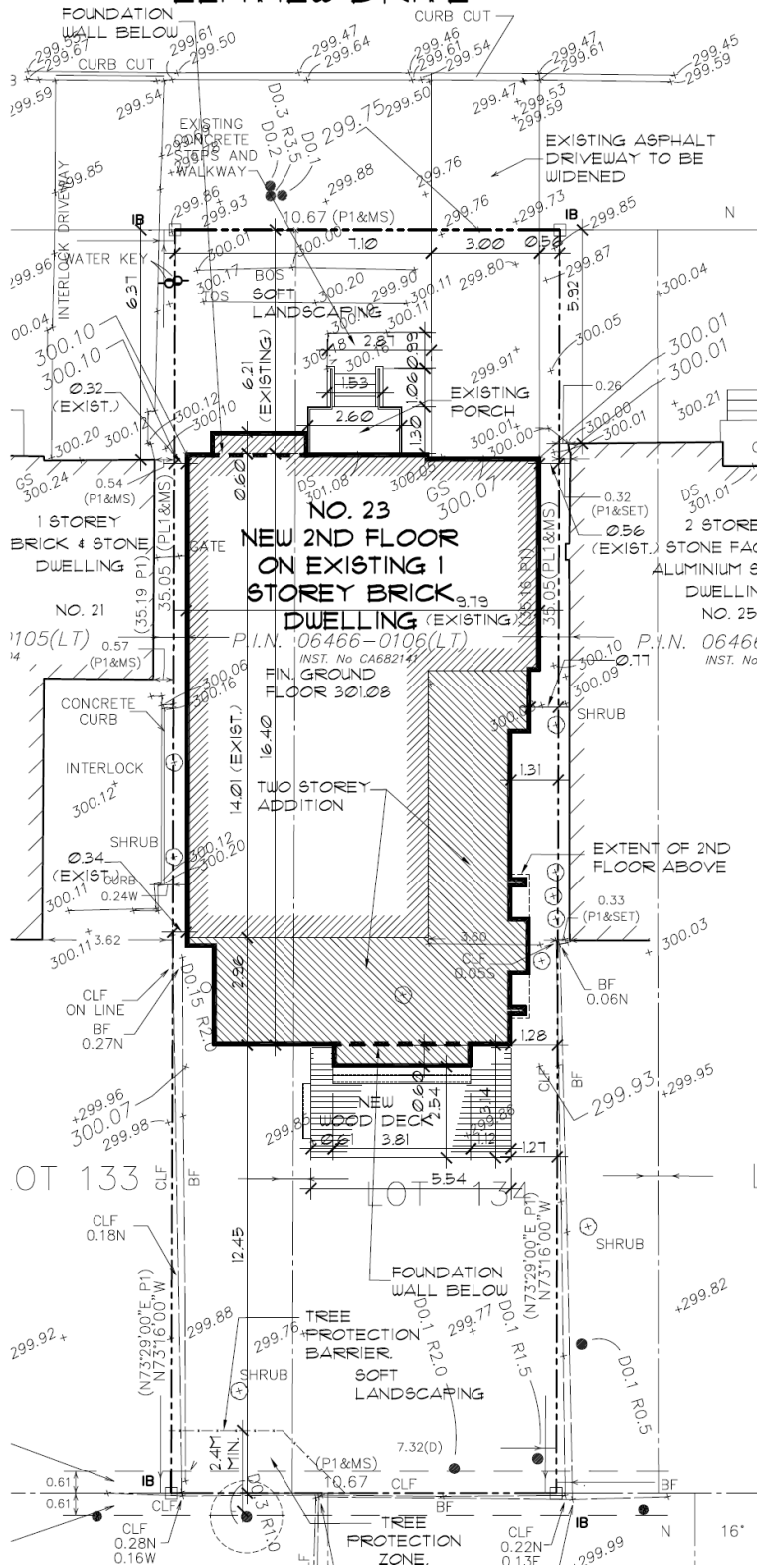
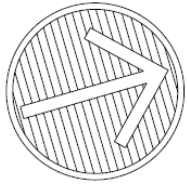
1. To permit the proposed 298 square metres floor area, whereas the Zoning By-law permits maximum 204 square metres floor area.
2. To permit the proposed 0.1 metres setback between the eaves/eavestrough and the property line, whereas the Zoning By-law requires a minimum 0.3 metres distance between eaves, eavestrough and property line.
3. To permit the proposed 41% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
4. To permit the proposed/existing 2.8 metres by 5.4 metres parking space dimension, whereas the Zoning By-law requires a minimum 3.2 metres by 5.6 metres parking space dimensions.

By-law No. 8786

5. To permit the proposed 0.32 metres south side yard setback, whereas the Zoning By-law requires a minimum 0.45 metres side yard setback.
6. To permit the proposed 43% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
7. To permit the proposed 296 square metres floor area, whereas the Zoning By-law permits maximum 204 square metres floor area.

8. To permit the proposed/existing 2.8 metres by 5.4 metres parking space dimension, whereas the Zoning By-law requires a minimum 3.3 metres by 5.6 metres parking space dimensions.
9. To permit the proposed/existing 2 metres wide driveway width, whereas the Zoning By-law requires a minimum 2.6 metres driveway width.

ELMVIEW DRIVE

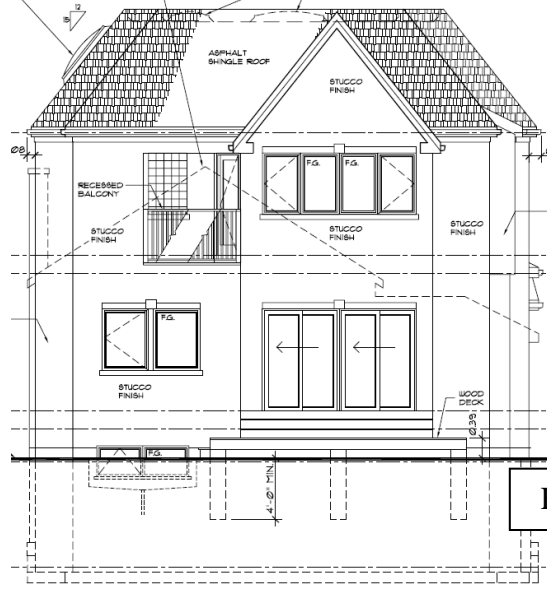


- VARIANCE:**
- Floor Area
 - Eaves
 - Coverage
 - Parking Space Dimension
 - South Side Yard Setback
 - Driveway Width

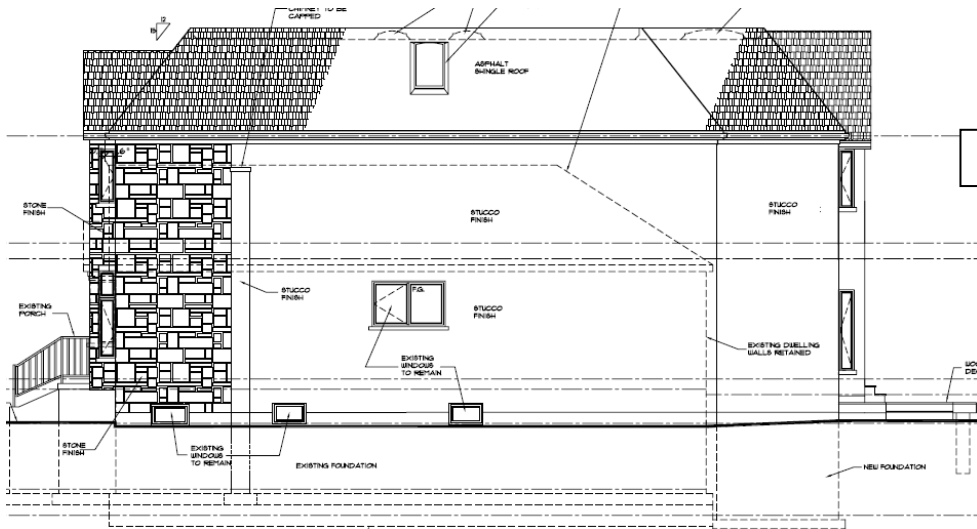
West Elevation



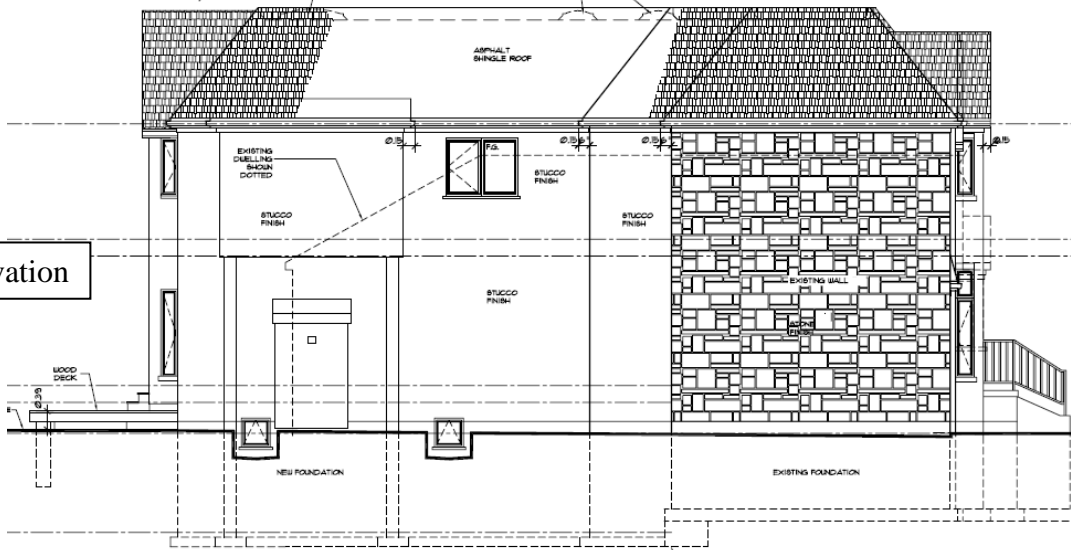
East Elevation



South Elevation



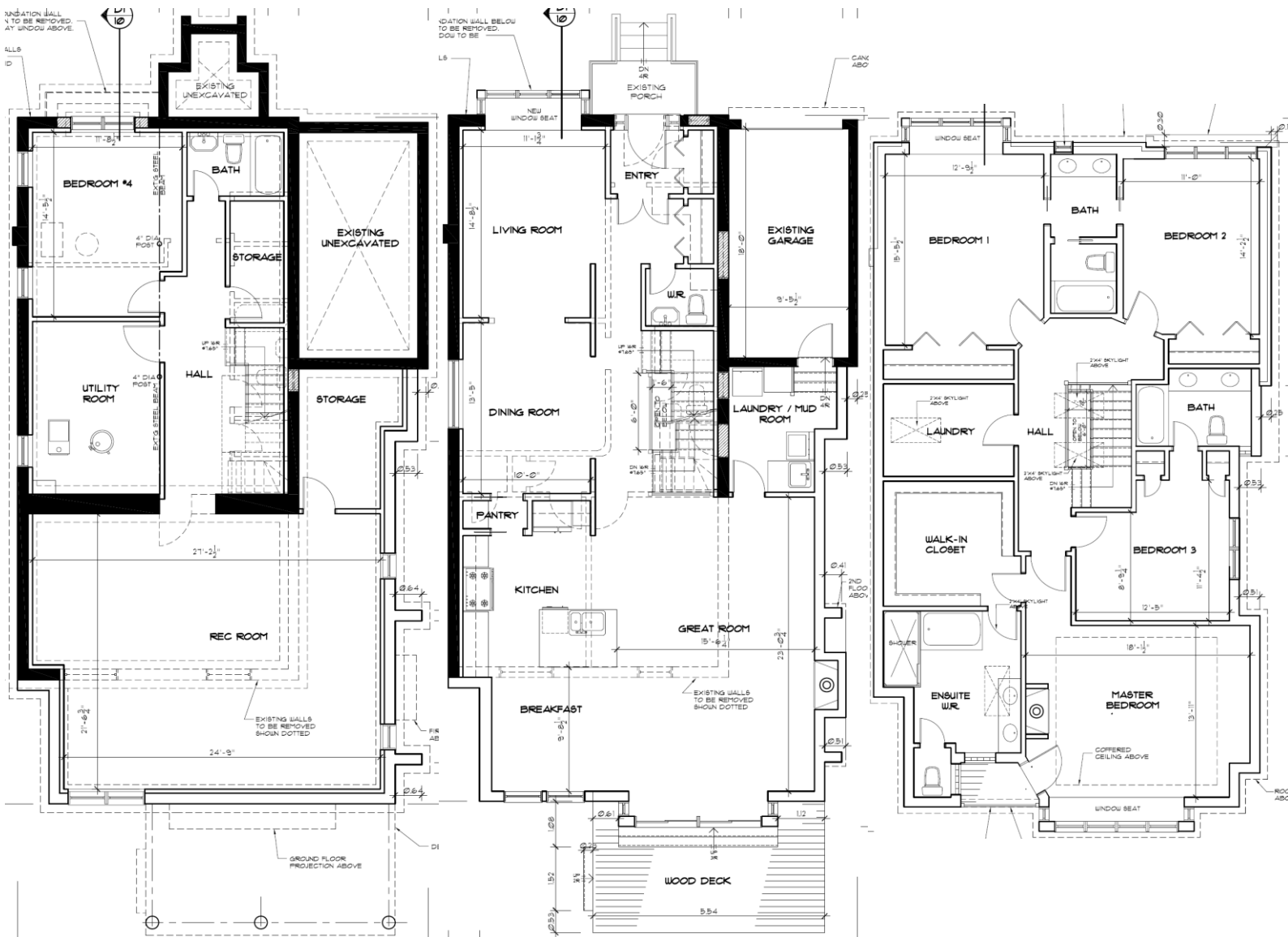
North Elevation



Basement

Ground Floor

Second Floor



12. 9 CHANCELLOR DR

File Number:	A0401/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	S & P DREAM DEVELOPMENTS INC.	Ward:	Scarborough Centre (38)
Agent:	S & P DREAM DEVELOPMENTS INC	Heritage:	Not Applicable
Property Address:	9 CHANCELLOR DR	Community:	Woburn Community
Legal Description:	PLAN M749 LOT 661		

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral garage.

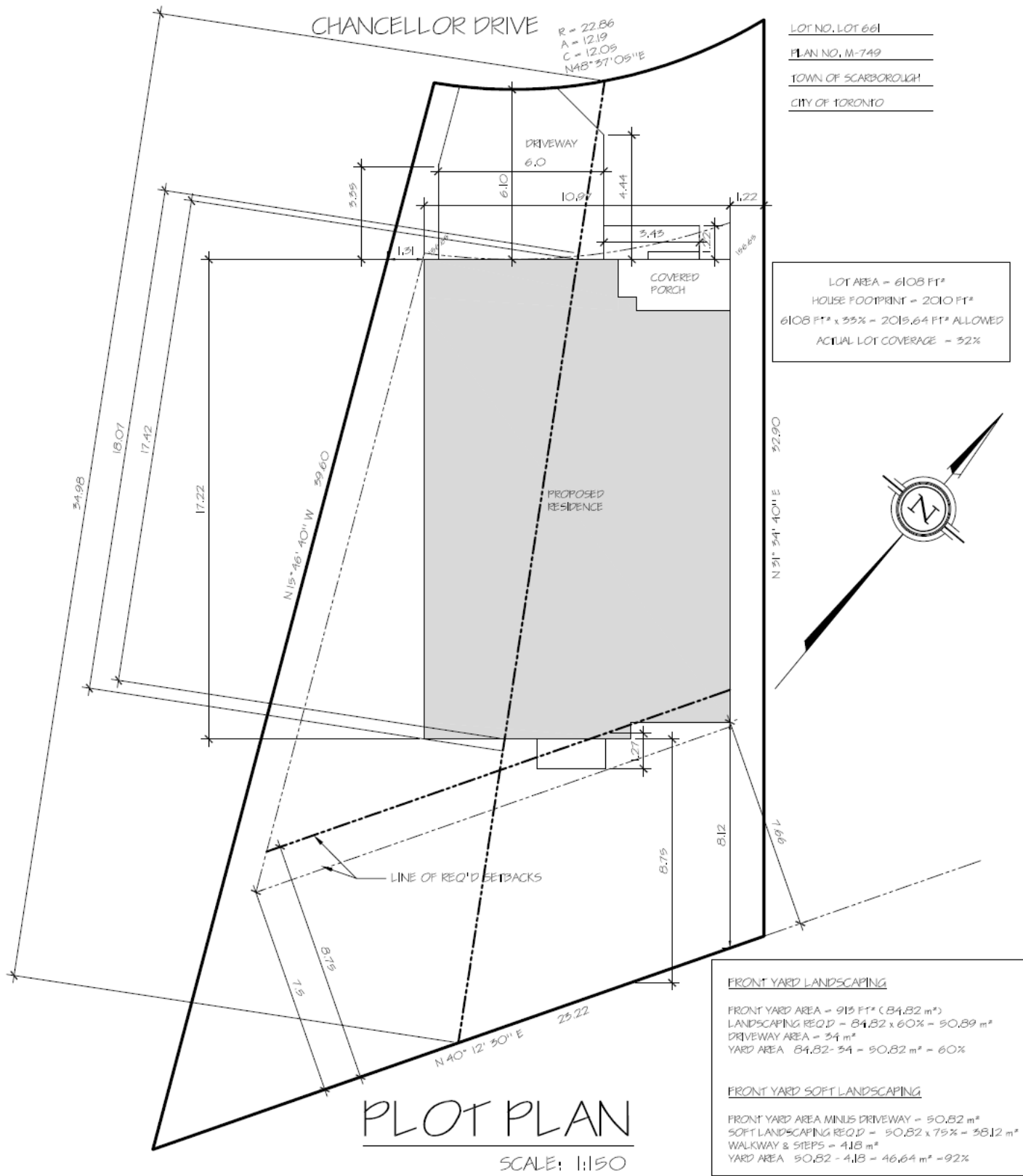
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed dwelling will be located 6.1 m from the front lot line;
Whereas the minimum required front yard setback is 7.55 m.
2. The proposed dwelling will be located 7.66 m from the rear lot line;
Whereas the minimum required rear yard setback is 8.75 m.
3. The proposed dwelling will have a main wall height of 7.6 m;
Whereas the maximum permitted main wall height is 7 m for no less than 60% of the total width of all front and rear main walls.
4. The proposed dwelling will have a total length of 18.07 m;
Whereas the maximum permitted dwelling length is 17 m.

By-law No. 9510:

5. The proposed dwelling will be located 7.66 m from the rear lot line;
Whereas the minimum required rear yard setback is 8.24 m.



13. 96 DONSIDR DR

File Number:	A0005/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	BRENDA J WINKLER JOHN WINKLER	Ward:	Scarborough Southwest (35)
Agent:	TENG MENG CHOW	Heritage:	Not Applicable
Property Address:	96 DONSIDR DR	Community:	Clairlea Community
Legal Description:	PLAN M464 PT LOT 89		

PURPOSE OF THE APPLICATION:

Proposal to convert the existing garage into a dwelling unit by doing interior renovations and constructing a second storey addition on top of the existing structure.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 8978 and By-law No. 569-2013:

1. The existing lot area is 116 m²
Whereas the minimum required lot area is 371 m²
2. The existing lot frontage is 7.62 m
Whereas the minimum required lot frontage is 12 m
3. The existing/proposed lot coverage is 41%
Whereas the maximum permitted lot coverage is 33%
4. A total of 68% of the required front yard landscaping is proposed to be maintained as soft landscaping
Whereas a minimum of 75% of the required front yard landscaping must be soft landscaping.
(For the purposes of this requirement, soft landscaping means trees, shrubs, grass, flowers, vegetables, and other vegetation but excludes hard-surfaced areas such as decorative stonework, walkways, or other hard-surfaced landscape-architectural elements.)
5. The existing/proposed rear yard setback is 4.5 m
Whereas the minimum required rear yard setback is 7.5 m
6. The existing/proposed front yard setback is 2 m
Whereas the minimum required front yard setback is 4.5 m

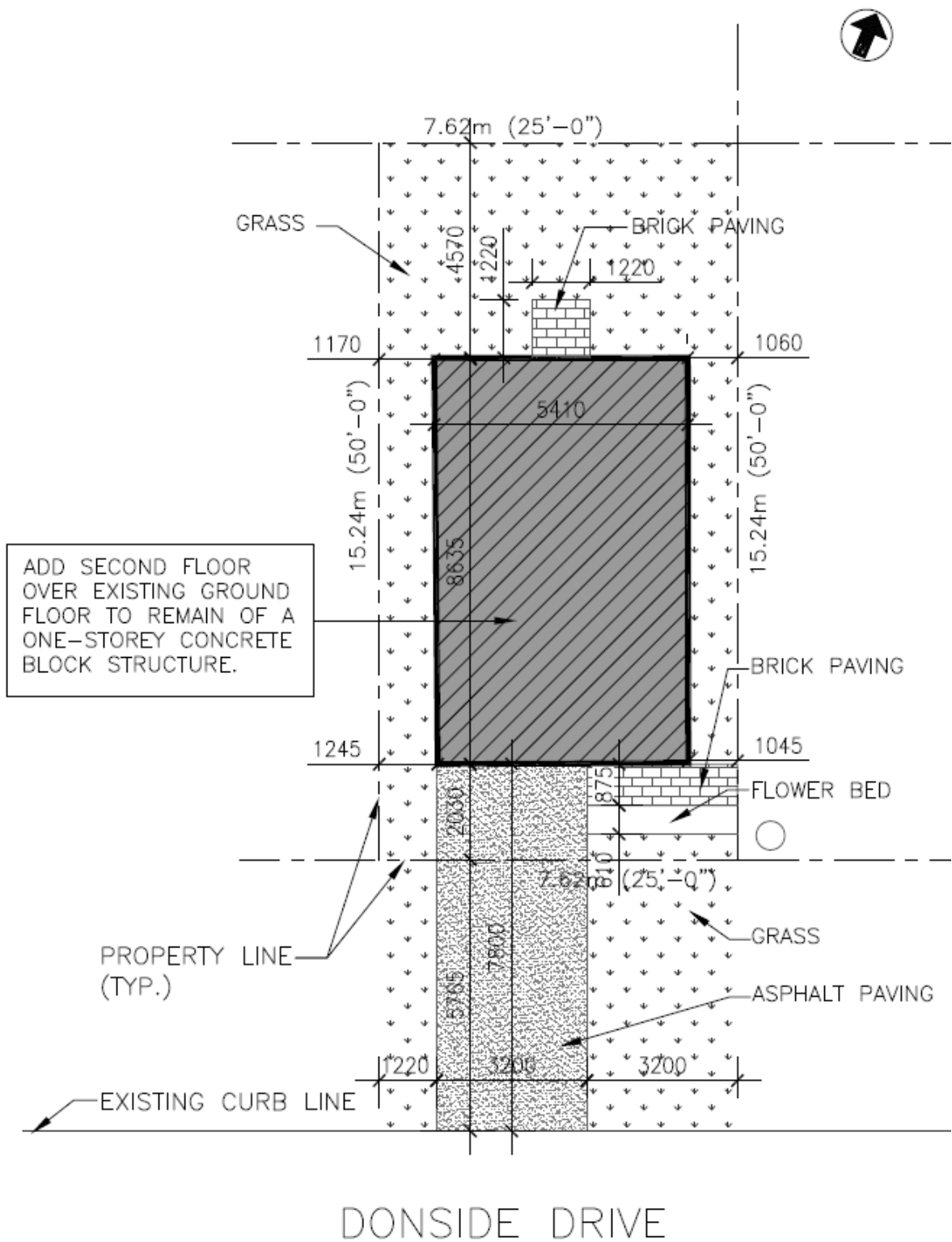
By-law No. 8978:

7. The proposed first floor area is 46 m²
Whereas the minimum required first floor area is 51 m²

8. The proposed parking space dimensions are 3.2 m x 5.5 m
Whereas the minimum required parking space dimensions are 3.3 m x 5.6 m

By-law No. 569-2013:

9. The proposed parking space length is 5.5 m
Whereas the minimum required parking space length is 5.6 m



14. 49 KNOCKBOLT CRES

File Number:	A0012/17SC	Zoning	RD - Residential Detached/ S- Single Family Residential [ZZC]
Owner(s):	LANCE HANG GAO	Ward:	Scarborough-Rouge River (41)
Agent:	LANCE HANG GAO	Heritage:	Not Applicable
Property Address:	49 KNOCKBOLT CRES	Community:	Agincourt North Community
Legal Description:	PLAN M1214 LOT 467		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey rear addition to the existing two-storey single family dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 351 square metres floor area or 0.57 times the lot area, whereas the Zoning By-law permits maximum 279 square metres floor area or 0.5 times the lot area.
2. To permit the proposed building length of 21.6 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.
3. To permit the proposed building depth of 22 metres measured from the front yard setback requirement on a lot to the rear wall, whereas the Zoning By-law permits maximum building depth of 19 metres.

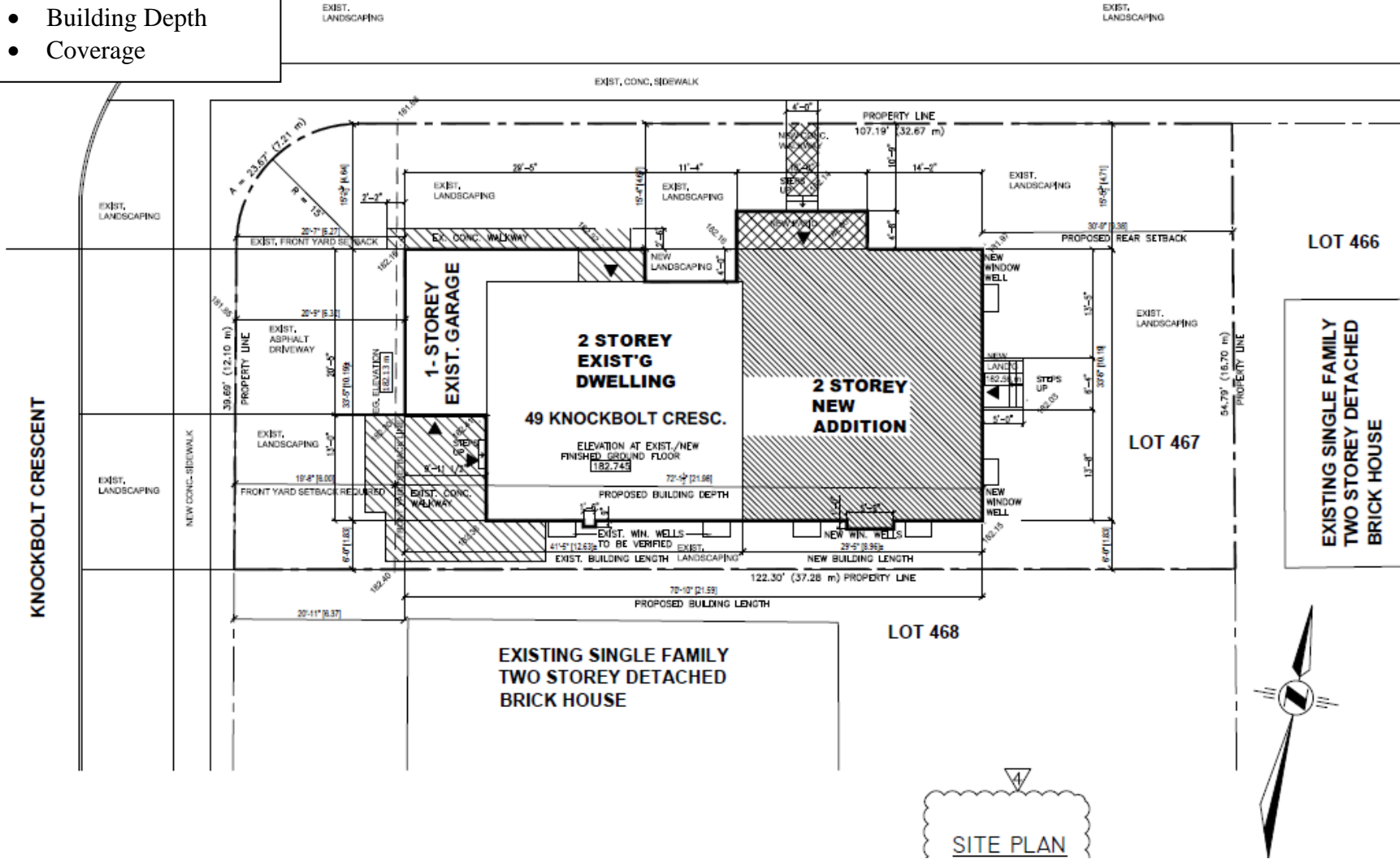
By-law No. 12797

4. To permit the proposed 36.1% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
5. To permit the proposed 332 square metres floor area or 0.54 times the lot area, whereas the Zoning By-law permits maximum 279 square metres floor area or 0.5 times the lot area.

KNOCKBOLT CRESCENT

VARIANCE:

- Floor Area
- Building Length
- Building Depth
- Coverage



15. 715 MILNER AVE

File Number:	A0025/17SC	Zoning	M - Industrial Zone [ZZC]
Owner(s):	TORONTO HYDRO-ELECTRIC SYSTEM LTD	Ward:	Scarborough-Rouge River (42)
Agent:	BARRY AND BRYAN ASSOCIATES	Heritage:	Not Applicable
Property Address:	715 MILNER AVE	Community:	
Legal Description:	PLAN M1705 PT BLKS C AND D PLAN M1700 PT BLK I RP 66R24746 PARTS 2 AND 3		

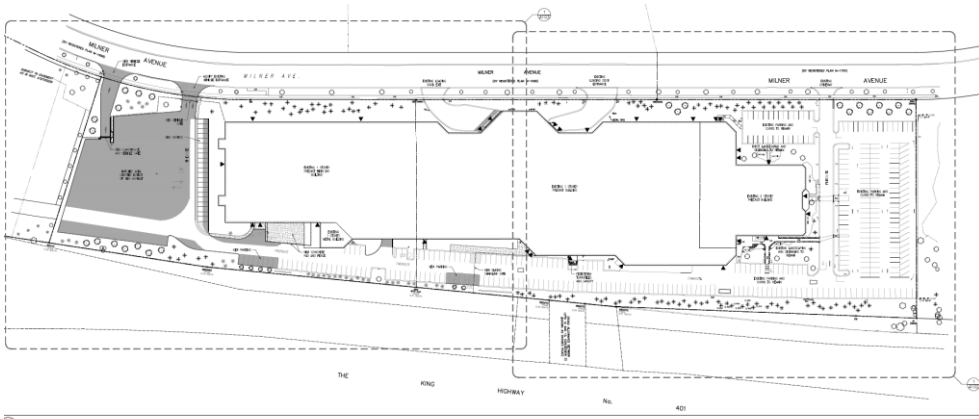
PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to permit open storage on the site.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 24982

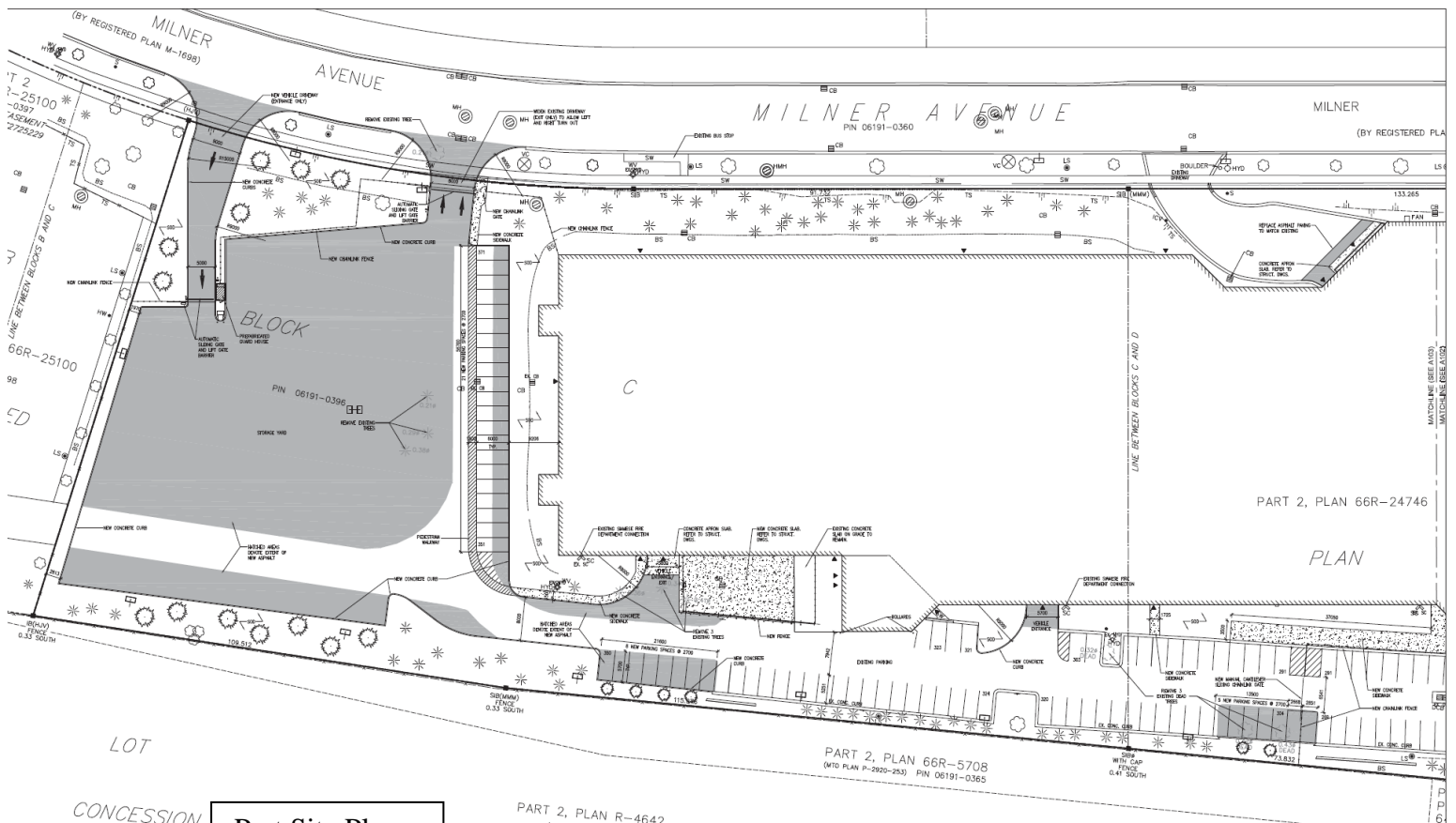
To permit the proposed open storage area to the west of the existing building, whereas the Zoning By-law does not permit open storage.



VARIANCE

- Outdoor Storage Area

Overall Site Plan



Part Site Plan – West End

Site Plan

Applicant's Submitted Drawing
Not to Scale

02/07/2017 – PB

715 Milner Avenue

File # A0025/17SC

Attachment 2

16. 70 A & B SOUTH WOODROW BLVD

File Number:	A0035/17SC, A0036/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [WAIVER]
Owner(s):	FARHAT NAYEEM KHAN	Ward:	Scarborough Southwest (36)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	70 A & B SOUTH WOODROW BLVD	Community:	Cliffside Community
Legal Description:	PLAN 1964 LOT 270 LOT 271		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a two-storey single family dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

70 A South Woodrow Blvd (A0036/17SC)

By-law No. 569-2013

1. To permit the proposed 209 square metres floor area or 0.72 times the lot area, whereas the Zoning By-law permits maximum 174 square metres floor area or 0.6 times the lot area.
2. To permit the proposed 36% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
3. To permit the proposed 3.75 square metres of the first floor to be within 4 metres of the front main wall, whereas the Zoning By-law requires a minimum 10 square metres of the first floor to be within 4 meters of the front main wall.
4. To permit the eaves of the roof encroach into the side yard setback by 0.33 metres, whereas the Zoning By-law permits 0.22 metres for the eaves of a roof to encroach into a required minimum building setback.
5. To permit the proposed 6 metres front yard setback, whereas the Zoning By-law requires a minimum 6.07 metres front yard setback.

By-law No. 9364

6. To permit the proposed 36% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
7. To permit the proposed 209.1 square metres floor area or 0.72 times the lot area, whereas the Zoning By-law permits maximum 174 square metres floor area or 0.6 times the lot area.

70 B South Woodrow Blvd (A0035/17SC)

By-law No. 569-2013

1. To permit the proposed 209 square metres floor area or 0.72 times the lot area, whereas the Zoning By-law permits maximum 174 square metres floor area or 0.6 times the lot area.
2. To permit the proposed 36% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
3. To permit the proposed 9.05 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
4. To permit the proposed 3.75 square metres of the first floor to be within 4 metres of the front main wall, whereas the Zoning By-law requires a minimum 10 square metres of the first floor to be within 4 meters of the front main wall.
5. To permit the eaves of the roof encroach into the side yard setback by 0.33 metres, whereas the Zoning By-law permits 0.22 metres for the eaves of a roof to encroach into a required minimum building setback.

By-law No. 9364

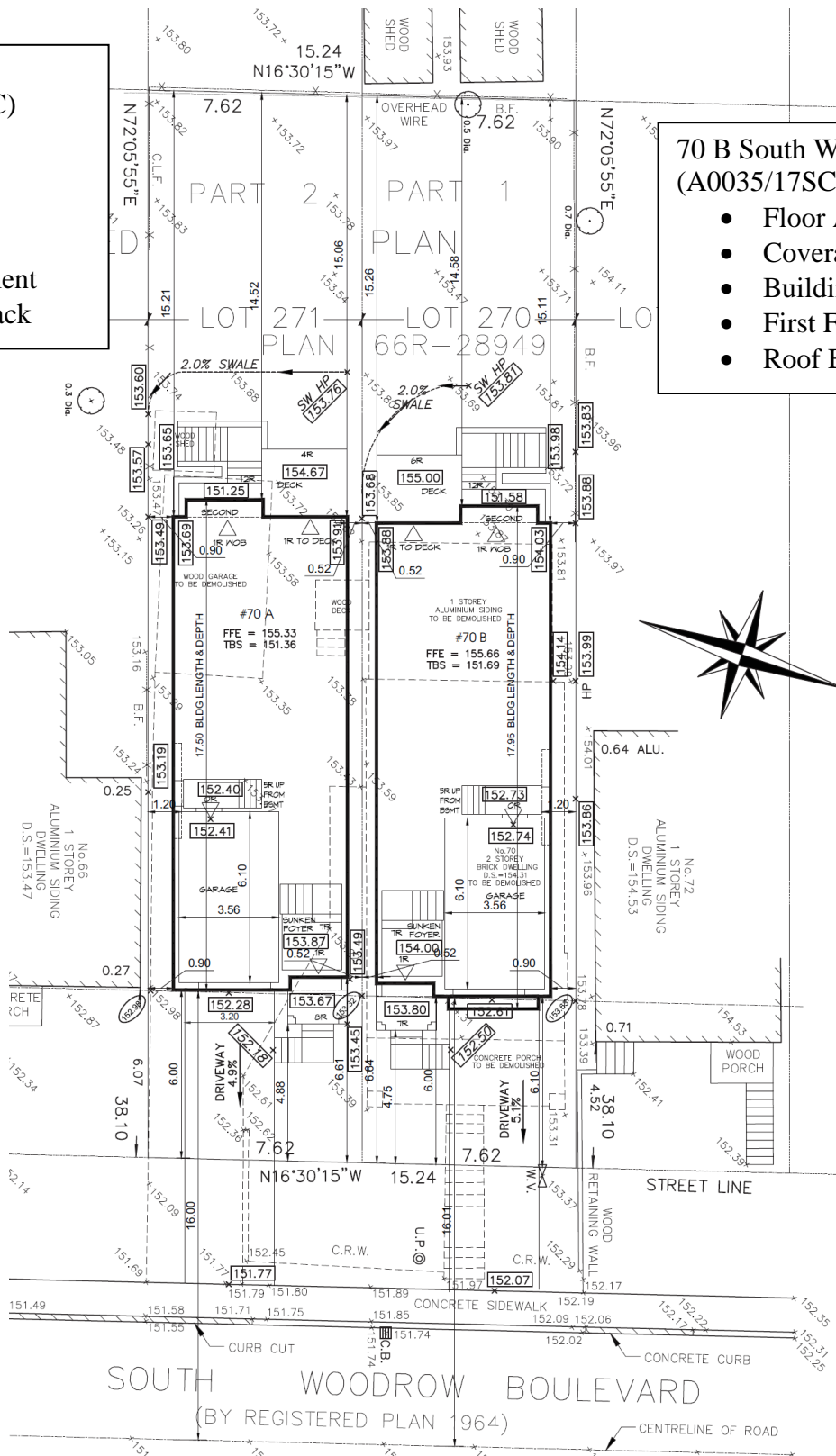
6. To permit the proposed 36% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
7. To permit the proposed 209.1 square metres floor area or 0.72 times the lot area, whereas the Zoning By-law permits maximum 174 square metres floor area or 0.6 times the lot area.

**70 A South Woodrow
Boulevard (A0036/17SC)
Variance:**

- Floor Area
- Coverage
- First Floor
- Roof Encroachment
- Front Yard Setback

**70 B South Woodrow Boulevard
(A0035/17SC) Variance:**

- Floor Area
- Coverage
- Building Height
- First Floor
- Roof Encroachment



17. 104 ZAPH AVE

File Number:	A0042/17SC	Zoning	Residential Detached (RD) & Single Family (S) [Waiver]
Owner(s):	LUXMIEPRIYAA RAJAMOHAN	Ward:	Scarborough East (44)
Agent:	PATRICK MCAULIFFE RESIDENTIAL DRAFTING SERVICES LTD	Heritage:	Not Applicable
Property Address:	104 ZAPH AVE	Community:	Centennial Community
Legal Description:	PLAN 66M-2339 LOT 18		

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

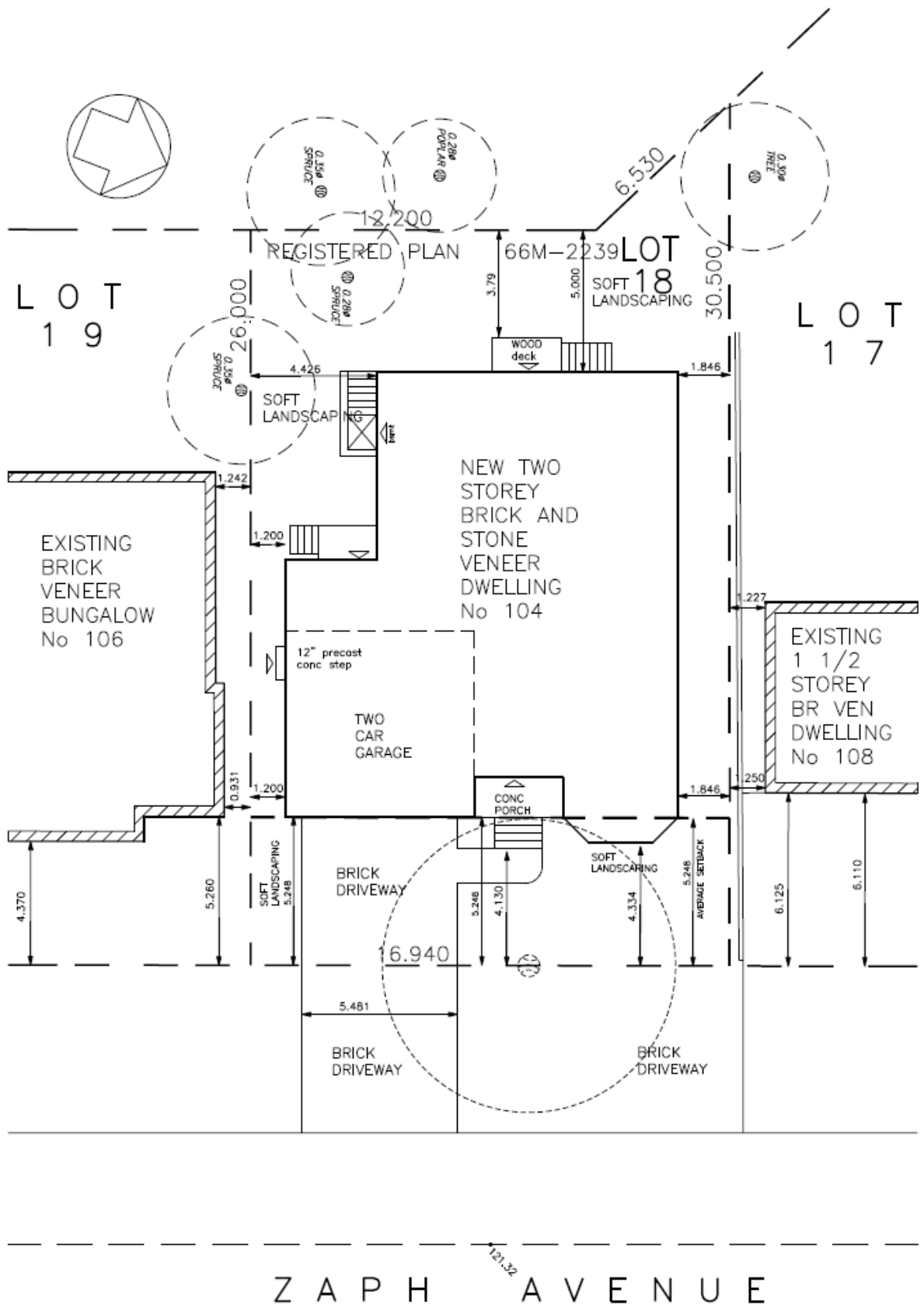
1. The proposed dwelling will cover 43.4% of the lot area (195.74 m²);
Whereas the maximum permitted lot coverage is 40% of the lot area (180.38 m²).
2. The proposed dwelling will be located 4.33 m from the front lot line, as measured to the front porch;
Whereas the minimum required front yard setback is 5.25 m.
3. None of the area of the first floor is proposed to be within 4 m of the front main wall;
Whereas a minimum of 10 m² of the first floor must be located within 4 m of the front main wall.
4. The proposed front canopy will encroach into the front yard setback a distance of 0.52 m beyond the front porch in which it covers;
Whereas a canopy or awning may encroach into a required building setback to the same extent as the platform it covers.

By-law No. 10827:

5. The proposed dwelling will cover 44.4% of the lot area (200.2 m²);
Whereas the maximum permitted lot coverage is 40% of the lot area (180.38 m²).
6. The proposed dwelling will be located 5.24 m from the front lot line, as measured to the garage;
Whereas the minimum required front yard setback is 6 m.
7. The proposed dwelling will be located 5 m from the rear lot line;
Whereas the minimum required rear yard setback is 7.5 m.

By-law No. 569-2013 & No. 10827:

8. The eaves of the proposed dwelling will encroach into the required side yard building setback by 0.52 m at the main roof and front canopy and by 0.1 m at the garage side stair;
Whereas the minimum building setback from a side lot line is 1.0 m and nothing may encroach into a required side yard.



18. 89 EASTVILLE AVE

File Number:	A0043/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	MIRJANA CIRIC IGOR CIRIC	Ward:	Scarborough Southwest (36)
Agent:	IGOR CIRIC	Heritage:	Not Applicable
Property Address:	89 EASTVILLE AVE	Community:	Cliffcrest Community
Legal Description:	PLAN M475 PT LOT 43 PT LOT 44		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a second storey addition to the existing one storey dwelling.

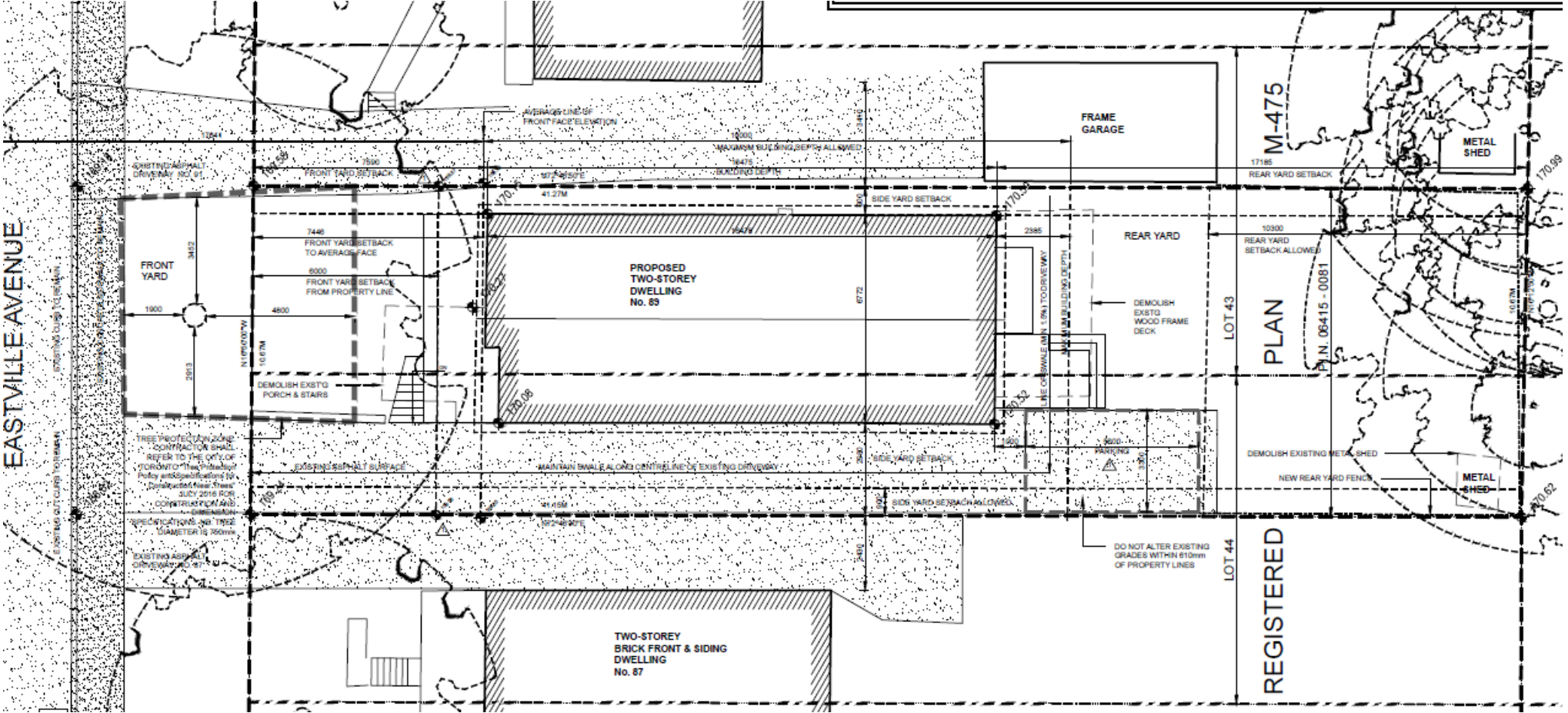
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 9396

1. To permit the proposed 221 square metres floor area or 0.502 times the lot area, whereas the Zoning By-law permits maximum 175.6 square metres floor area or 0.4 times the lot area.

VARIANCE:

- Floor Area



19. 24 BLANTYRE AVE

File Number:	A0044/17SC	Zoning	Residential Semi-Detached (RS) & Two-Family Residential (T) Zone [ZR]
Owner(s):	JOANNE MARINOS CHRISTOPHER MARINOS	Ward:	Scarborough Southwest (36)
Agent:	KBK STUDIOS INC	Heritage:	Not Applicable
Property Address:	24 BLANTYRE AVE	Community:	Birchcliff Community
Legal Description:	PLAN 619 PT LOT 23 BLOCK C		

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition and a second storey addition over the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The altered dwelling will have a floor space index equal to 0.73 times the lot area (337.15 m²); Whereas the maximum permitted floor space index is 0.5 times the lot area (232.25 m²).
Note: the basement level is considered the first floor and is therefore included in the FSI.
2. The altered dwelling will be three storeys in height; Whereas a maximum of two storeys is permitted.
Note: the basement level is considered the first floor.
3. The altered dwelling will have a total height of 7.3 m; Whereas the maximum permitted dwelling height is 7 m.
4. The altered front porch will encroach 3.45 m into the required front yard setback; Whereas the maximum permitted platform encroachment is 1.5 m.

By-law No. 8786:

5. The altered dwelling will have a total floor area equal to 0.73 times the lot area (338.5 m²); Whereas the maximum permitted floor area is 0.5 times the lot area (232.25 m²).
Note: the basement level is considered the first floor and is therefore included in the floor area.
6. The altered dwelling will be three storeys in height; Whereas a maximum of two storeys is permitted.
Note: the basement level is considered the first floor.

SCOPE

ADDITION TO EXISTING, RENOVATION, BASEMENT ALTERATIONS.

GENERAL NOTES

1. CONTRACTOR MUST VISIT SITE TO FAMILIARIZE WITH EXISTING CONDITIONS BEFORE QUOTING FOR THE JOB.
2. VERIFY ALL EXISTING MEMBER SIZES, ELEVATIONS, AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS.
3. REPORT ANY DISCREPANCIES TO ENGINEER IMMEDIATELY FOR ADVISE.
4. CONTRACTOR TO SUBMIT DETAIL SHOP DRAWINGS PRIOR TO FABRICATION.
5. REFER TO NOTES AND SCHEDULES FOR SPECIFICATIONS & GENERAL NOTES. DIMENSIONS MARKED ON STRUCTURAL DRAWINGS ARE FOR DESIGN ONLY. CONTRACTOR IS REQUIRED TO FOLLOW MEASURE ALL DIMENSIONS, LEVELS & CONDITIONS ON-SITE. DISCREPANCY BETWEEN STRUCTURAL & ON-SITE CONDITIONS MUST BE BROUGHT TO THE ATTENTION OF ENGINEER & OWNER PRIOR TO COMMENCING ANY CONSTRUCTION AND FABRICATION.
6. THESE NOTES AND ALL NOTES ARE PART OF THE WHOLE APPLICATION. CONTRACTOR(S) MUST GO THROUGH NOTES AND TREAT ALL DRAWINGS AS PART OF ONE APPLICATION.

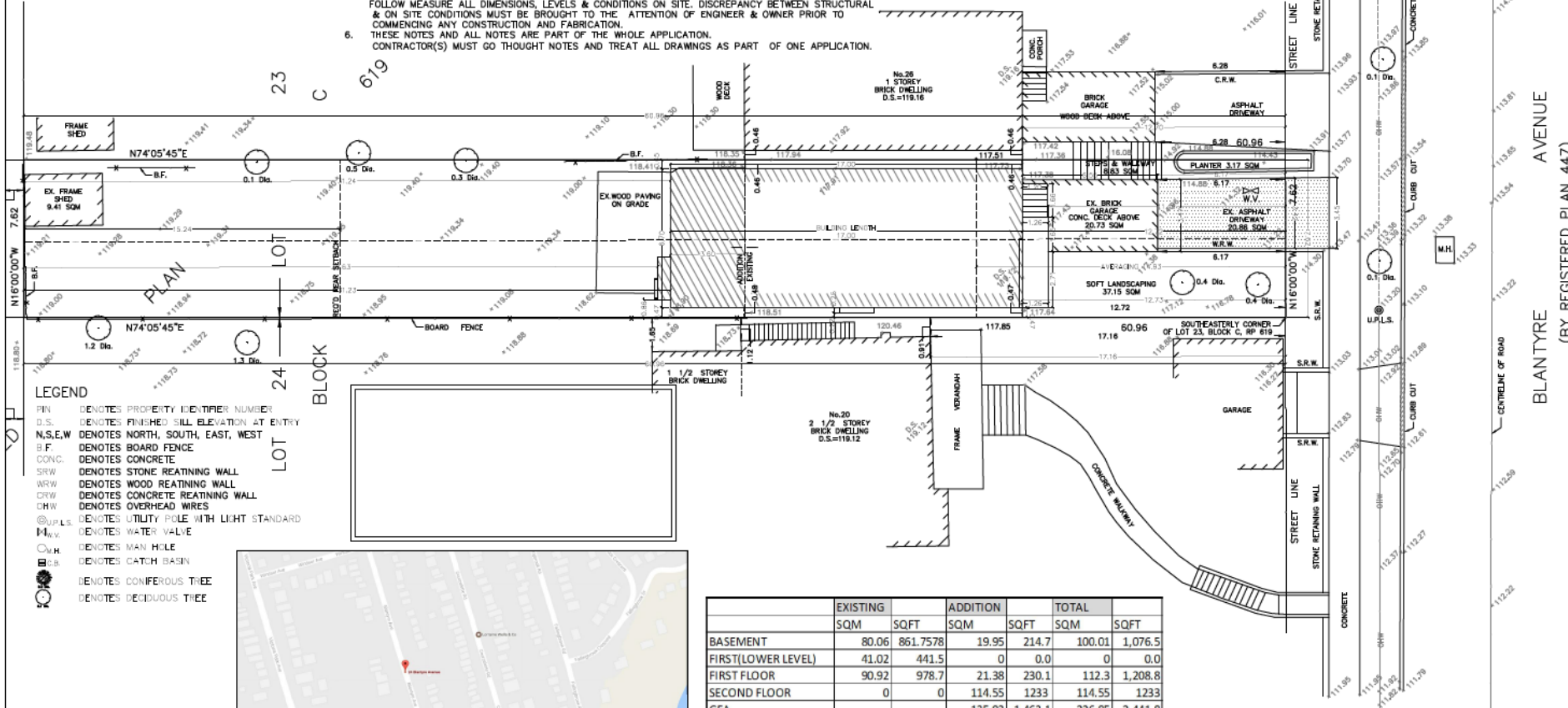
24 BLANTYRE AVE.

TORONTO, ON

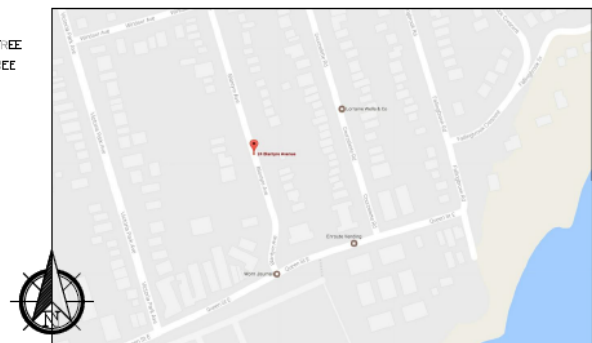
KBK STUDIOS

T: (647) -867-3210 | 800-203-7010

INFO@KBKSTUDIOS.CA



- ### LEGEND
- PIN DENOTES PROPERTY IDENTIFIER NUMBER
 - D.S. DENOTES FINISHED SILL ELEVATION AT ENTRY
 - N,S,E,W DENOTES NORTH, SOUTH, EAST, WEST
 - B.F. DENOTES BOARD FENCE
 - CONC. DENOTES CONCRETE
 - SRW DENOTES STONE RETAINING WALL
 - WRW DENOTES WOOD RETAINING WALL
 - CRW DENOTES CONCRETE RETAINING WALL
 - OHW DENOTES OVERHEAD WIRES
 - @U.P.L.S. DENOTES UTILITY POLE WITH LIGHT STANDARD
 - W.V. DENOTES WATER VALVE
 - M.H. DENOTES MAN HOLE
 - C.B. DENOTES CATCH BASIN
 - C.T. DENOTES CONIFEROUS TREE
 - D.T. DENOTES DECIDUOUS TREE



KEYMAP

	EXISTING		ADDITION		TOTAL	
	SQM	SQFT	SQM	SQFT	SQM	SQFT
BASEMENT	80.06	861.7578	19.95	214.7	100.01	1,076.5
FIRST(LOWER LEVEL)	41.02	441.5	0	0.0	0	0.0
FIRST FLOOR	90.92	978.7	21.38	230.1	112.3	1,208.8
SECOND FLOOR	0	0	114.55	1233	114.55	1233
GFA			135.93	1,463.1	226.85	2,441.8
TOTAL	212	2,281.9	155.88	1,677.9	326.86	3,518.3
LOT AREA	464.5	4,999.4				
FSI					0.488	
COVERAGE					24.8%	

20. 1810 MARKHAM RD

File Number:	A0045/17SC	Zoning	Highway Commercial (HC) Zone [Waiver]
Owners:	SCARBOROUGH TRUCK CENTRE INC 1240060 ONTARIO LTD	Ward:	Scarborough-Rouge River (41)
Agent:	TORONTO TRANSIT COMMISSION	Heritage:	Not Applicable
Property Address:	1810 MARKHAM RD	Employment District:	Marshalling Yard Employment District
Legal Description:	CON 3 PT LOT 19		

PURPOSE OF THE APPLICATION:

To permit the existing building to be used by TTC for the maintenance and storage of public transit vehicles.

REQUESTED VARIANCE TO THE ZONING BY-LAW:

By-law No. 24982:

1. To permit the a garage for the maintenance and storage of public transit vehicles
Whereas a garage for the maintenance and storage of public transit vehicles is not a permitted use.

21. 44 MUIR DR

File Number:	A0046/17SC	Zoning	Residential Detached (RD) & Single Family (S) Zone [Waiver]
Owner(s):	SABRI ALLARAJ	Ward:	Scarborough Southwest (36)
Agent:	MARIN ZABZUNI	Heritage:	Not Applicable
Property Address:	44 MUIR DR	Community:	Scarborough Village Community
Legal Description:	PLAN 2235 PT LOT 29		

PURPOSE OF THE APPLICATION:

To construct a two-storey rear and north side addition and a second storey addition over the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & 10010:

1. The altered dwelling will have a height of 9.26 m;
Whereas the maximum permitted dwelling height is 9 m.

By-law No. 569-2013:

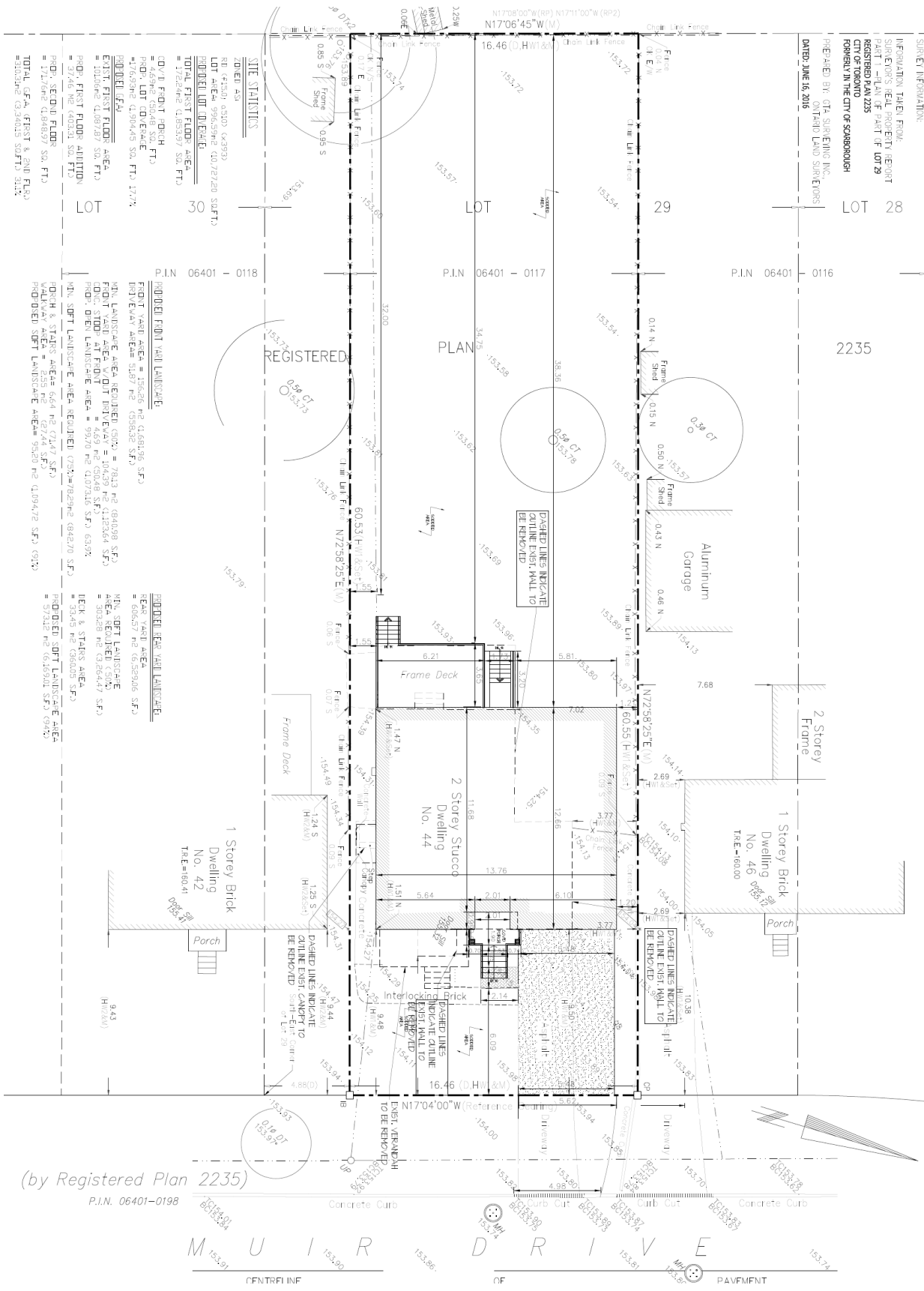
2. The altered dwelling will have a first floor height of 1.59 m above established grade
Whereas the maximum permitted height above established grade is 1.2 m.

By-law No. 10010:

3. The altered dwelling will have a basement height of 1.35 m, as measured from the average grade at the front main wall to the ceiling of the basement;
Whereas the maximum permitted basement height is 1 m.

SURVEY INFORMATION:

INFORMATION TAKEN FROM
 SURVEYOR'S REAL PROPERTY REPORT
 PART 1 - PLAN OF PART OF LOT 29
 REGISTERED PLAN 2235
 CITY OF TORONTO
 FORMERLY IN THE CITY OF SCARBOROUGH
 PREPARED BY: GTA SURVEYING INC.
 ONTARIO LAND SURVEYORS
 DATED: JUNE 16, 2016



(by Registered Plan 2235)

P.I.N. 06401-0198

M U I R D R I V E
 OF PAVEMENT

22. 50 CRITTENDEN SQ

File Number:	A0050/17SC	Zoning	Single Family (S) & residential Detached (RD) Zone [ZR]
Owners:	SANTHARUPAN BALAKRISHNARAJAH	Ward:	Scarborough-Rouge River (42)
Agent:	KEN VARATHA	Heritage:	Not Applicable
Property Address:	50 CRITTENDEN SQ	Community:	Malvern Community
Legal Description:	PLAN M1667 LOT 63		

PURPOSE OF THE APPLICATION:

Proposed new one-storey attached garage addition on the south side of the house, and the covered porch at the front of the house.

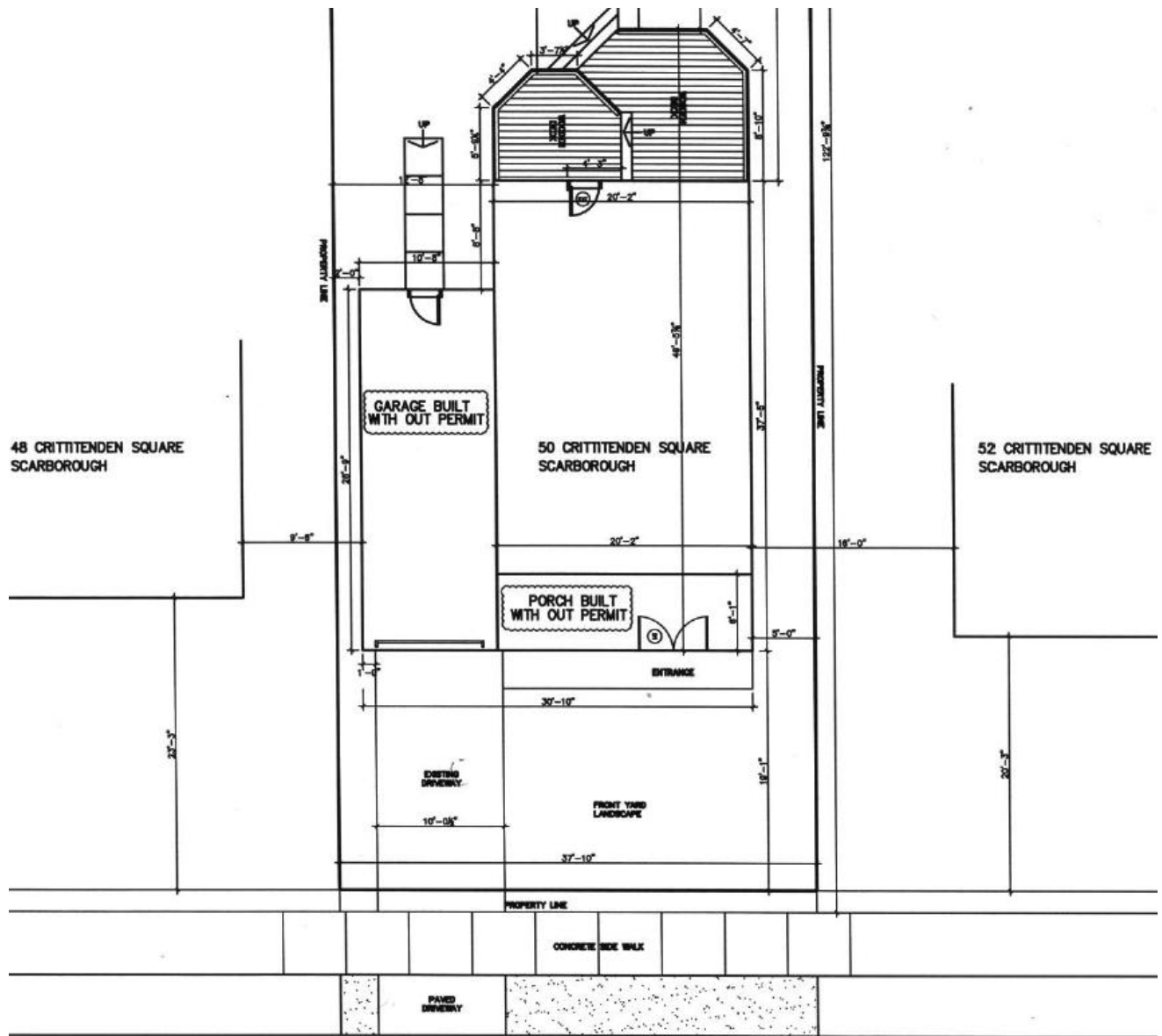
REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The existing/proposed front yard setback is 5.8 m
Whereas the minimum required front yard setback is 7.1 m

By-law No. 14402:

2. The existing/proposed front yard setback is 5.8 m
Whereas the minimum required front yard setback is 7.1 m
3. The proposed exterior garage length is 8.8 m
Whereas the maximum permitted garage length is 7.6 m
4. The proposed garage width is 3.0 m
Whereas the minimum required garage width is 3.3 m



Crittenden Square

CENTRE LINE OF THE ROAD

23. 94 WESTCROFT DR

File Number:	A0054/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	ALICIA ABANADOR RODOLFO ABANADOR	Ward:	Scarborough East (43)
Agent:	NURUN NABI DESIGNS	Heritage:	Not Applicable
Property Address:	94 WESTCROFT DR	Community:	West Hill Community
Legal Description:	PLAN 2160 PT LOT 26 RP 64R7470 PART 2		

PURPOSE OF THE APPLICATION:

To construct a one-storey sunroom and deck addition to rear of the existing detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

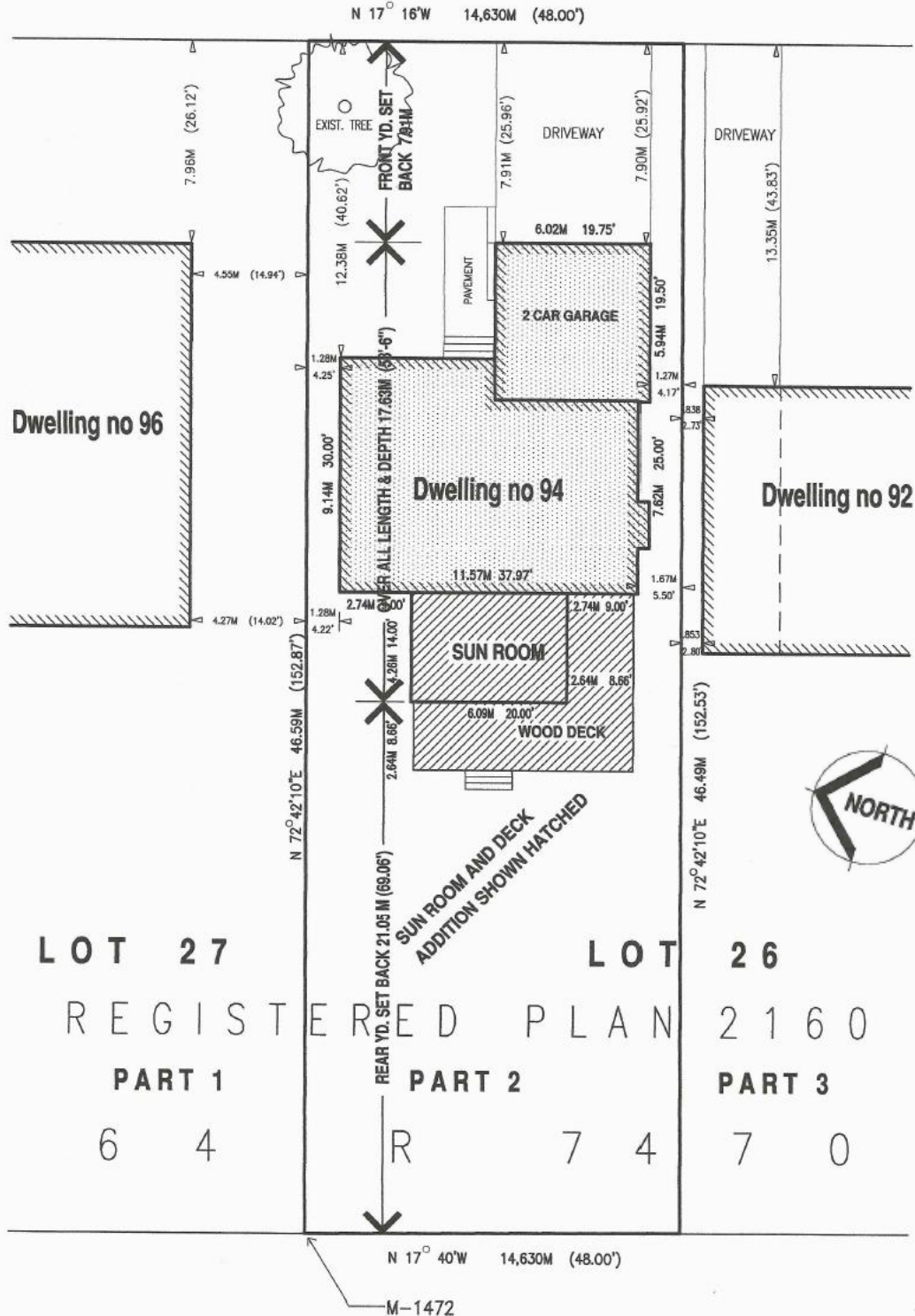
By-law No. 569-2013:

1. The existing dwelling, including the proposed sunroom, will have a total length of 17.83 m;
Whereas the maximum permitted dwelling length is 17 m.

By-law No. 10327:

2. The proposed rear deck will be 8.74 m wide;
Whereas the maximum permitted dimensions for an accessory structure (deck) is 7.6 m.

WESTCROFT DRIVE



24. 187 RANDALL CRES

File Number:	A0056/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	RUMANA SYEDA ASHRAF RABIUL MOHAMMED ASHRAF	Ward:	Scarborough Southwest (36)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	187 RANDALL CRES	Community:	Cliffside Community
Legal Description:	PLAN 2541 LOT 405 PT LOT 404 PT LOT 406		

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

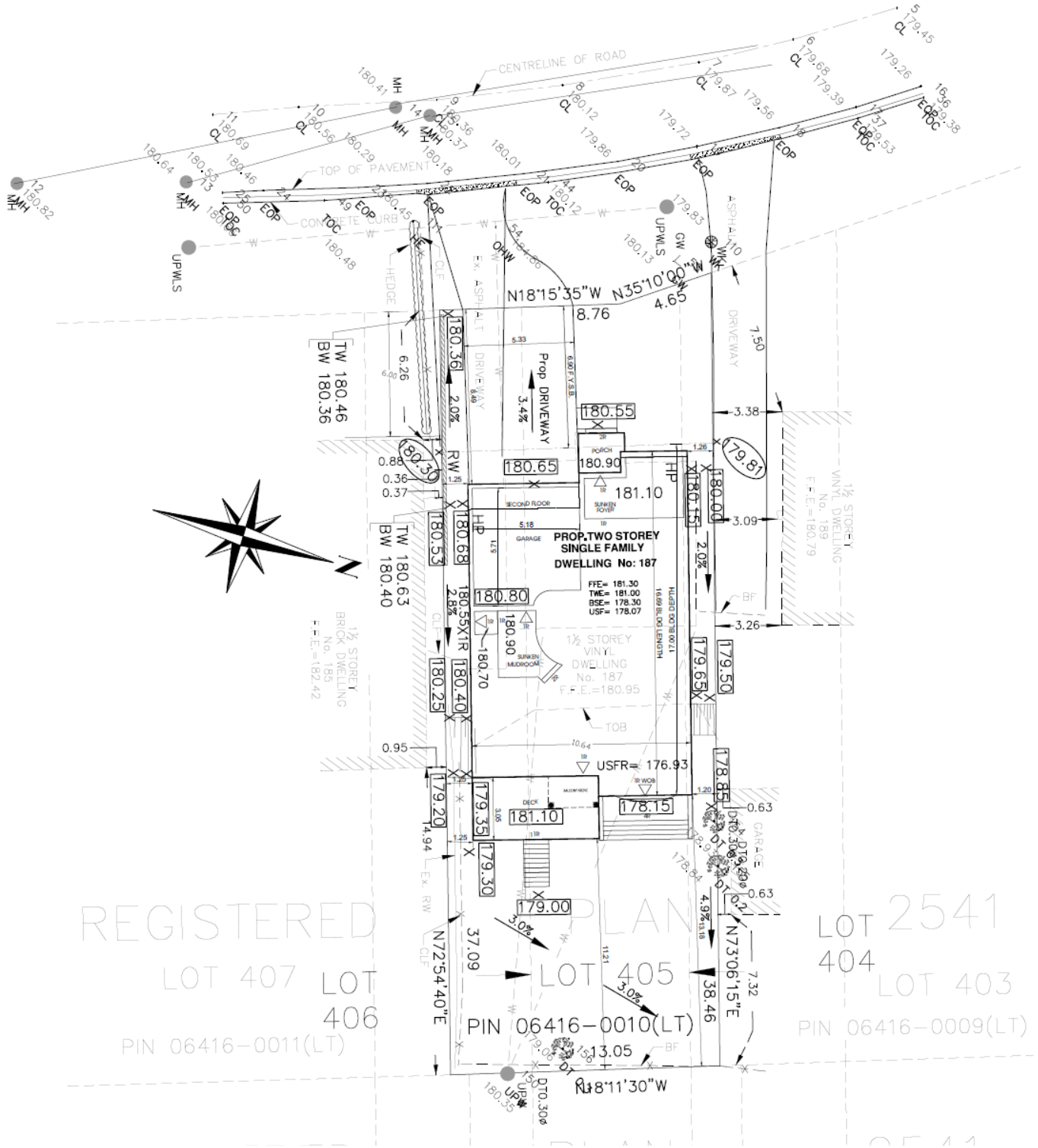
By-law No. 569-2013:

1. The proposed dwelling will have a floor space index equal to 0.6 times the lot area (293.35 m²);
Whereas the maximum permitted floor space index is 0.5 times the lot area (244.68 m²).
2. The proposed dwelling will have a height of 9.3 m above established grade;
Whereas the maximum permitted height is 9 m.
3. The proposed west facing platform (front balcony) will have an area of 5.6 m²;
Whereas the maximum permitted area of a platform at or above the second storey is 4 m².
4. None of the area of the first floor is proposed to be within 4 m of the front main wall;
Whereas a minimum of 10 m² of the first floor must be located within 4 m of the front main wall.

By-law No. 9364:

5. The proposed dwelling will cover 35% of the lot area (169.37 m²);
Whereas the maximum permitted lot coverage is 33% of the lot area (161.49 m²).
6. The proposed dwelling will have a total floor area equal to 0.58 times the lot area (285.52 m²);
Whereas the maximum permitted floor area is 0.5 times the lot area (244.68 m²).
7. The proposed dwelling will have a height of 9.3 m above mean grade;
Whereas the maximum permitted height is 9 m.

(KNOWN AS) RANDALL CRESCENT
 (FORMERLY BROOKLAWN AVENUE BY REGISTERED PLAN 2541)
 PIN 06416-0103(LT)



25. 1 KINGSBURY CRES

File Number:	A0058/17SC	Zoning	Residential Detached (RD), Open Space Natural (ON) & Single Family (S) Zone [ZR]
Owner(s):	MELANIE PHILIP ERNIE PHILIP	Ward:	Scarborough Southwest (36)
Agent:	KAPRIELIAN VERHIEL ARCHITECTS	Heritage:	Not Applicable
Property Address:	1 KINGSBURY CRES	Community:	Birchcliff Community
Legal Description:	PLAN 1538 PT BLK E NOW RP 64R13449 PART 1		

PURPOSE OF THE APPLICATION:

To construct a two-storey side and rear addition and a partial third-storey addition to the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

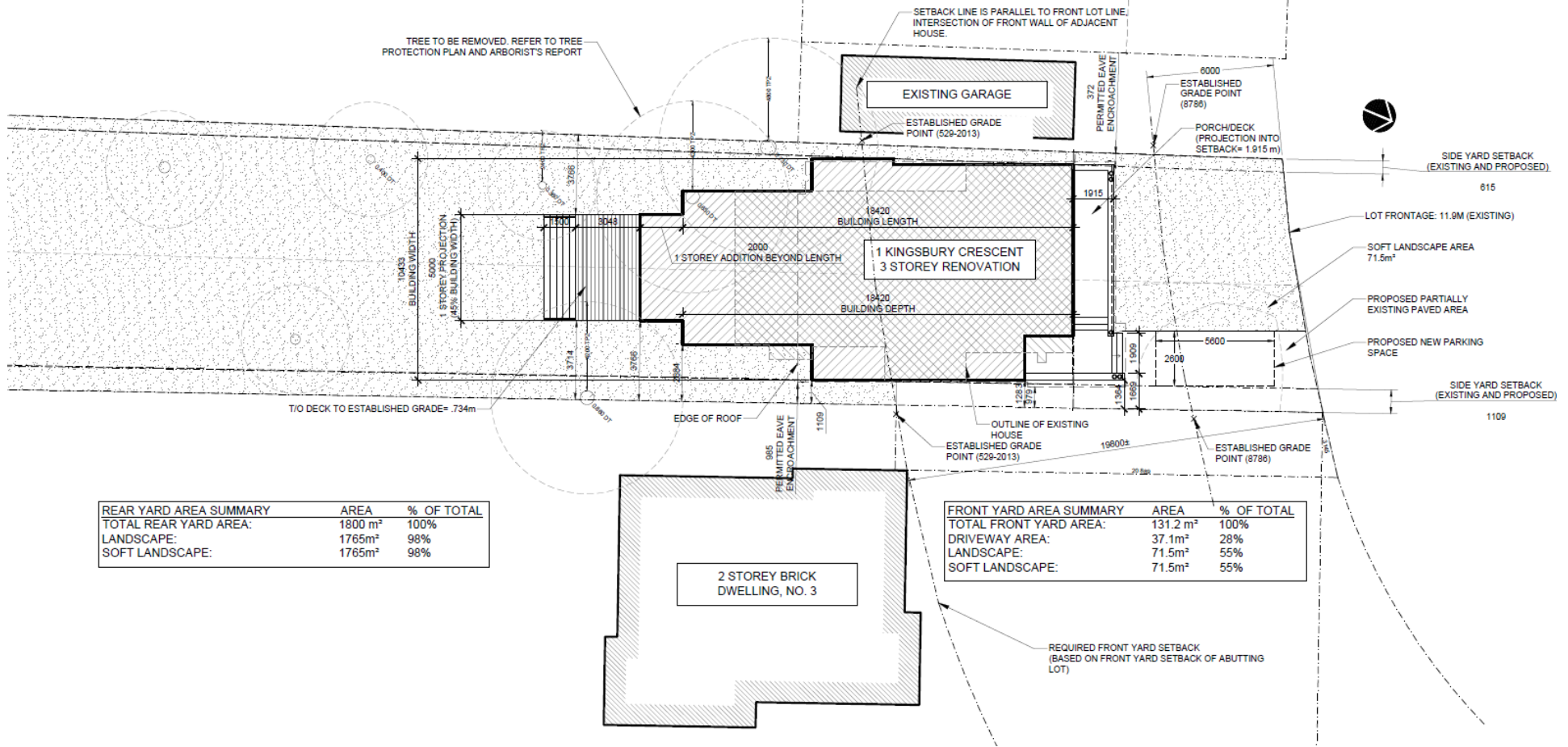
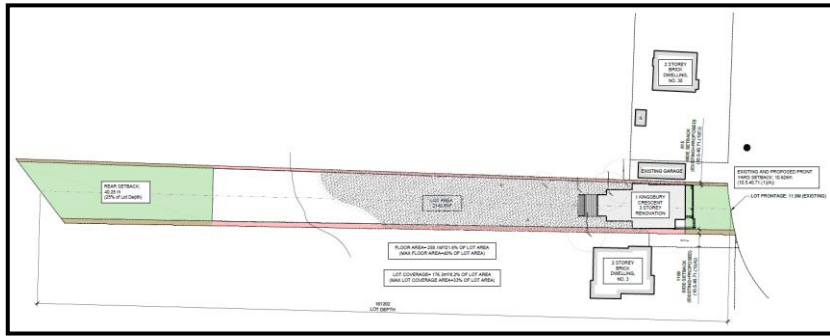
By-law No. 569-2013:

1. The altered dwelling will be located 10.63 m from the front lot line;
Whereas the minimum required front yard setback is 19.69 m.
2. The altered dwelling will be located 0.6 m from the west side lot line and 1.1 m from the east side lot line;
Whereas the minimum required side yard setback is 1.2 m.
3. The altered dwelling will have a total length of 18.42 m;
Whereas the maximum permitted dwelling length is 17 m.
4. The altered dwelling will be three (3) stories in height;
Whereas the maximum permitted number of storeys is two (2).
5. The proposed second storey rear balcony will have an area of 9.81 m² and the proposed third- storey rear balcony will have an area of 40 m²;
Whereas only one (1) balcony per side is permitted and the maximum permitted area of a platform at or above the second storey is 4 m².
6. The proposed parking space will be in the front yard;
Whereas front yard parking is not permitted.

By-law No. 8786:

7. The altered dwelling will be located 0.6 m from the west side lot line and 1.1 m from the east side lot line;
Whereas the minimum required side yard setback is 1.2 m.

8. The altered dwelling will have a height of 10.88 m above mean grade;
Whereas the maximum permitted dwelling height is 9 m.
9. The altered dwelling will be three (3) stories in height;
Whereas the maximum permitted number of storeys is two (2).



TREE TO BE REMOVED. REFER TO TREE PROTECTION PLAN AND ARBORIST'S REPORT

SETBACK LINE IS PARALLEL TO FRONT LOT LINE, INTERSECTION OF FRONT WALL OF ADJACENT HOUSE.

T/O DECK TO ESTABLISHED GRADE = 734m

REQUIRED FRONT YARD SETBACK (BASED ON FRONT YARD SETBACK OF ABUTTING LOT)

REAR YARD AREA SUMMARY	AREA	% OF TOTAL
TOTAL REAR YARD AREA:	1800 m ²	100%
LANDSCAPE:	1765 m ²	98%
SOFT LANDSCAPE:	1765 m ²	98%

FRONT YARD AREA SUMMARY	AREA	% OF TOTAL
TOTAL FRONT YARD AREA:	131.2 m ²	100%
DRIVEWAY AREA:	37.1 m ²	28%
LANDSCAPE:	71.5 m ²	55%
SOFT LANDSCAPE:	71.5 m ²	55%

26. 50 BELLEFONTAINE ST

File Number:	A0060/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [Waiver]
Owner(s):	YI YING YU	Ward:	Scarborough-Agincourt (39)
Agent:	AND ARCHITECTURE INC	Heritage:	Not Applicable
Property Address:	50 BELLEFONTAINE ST	Community:	Tam O'Shanter Community
Legal Description:	PLAN 4401 LOT 138		

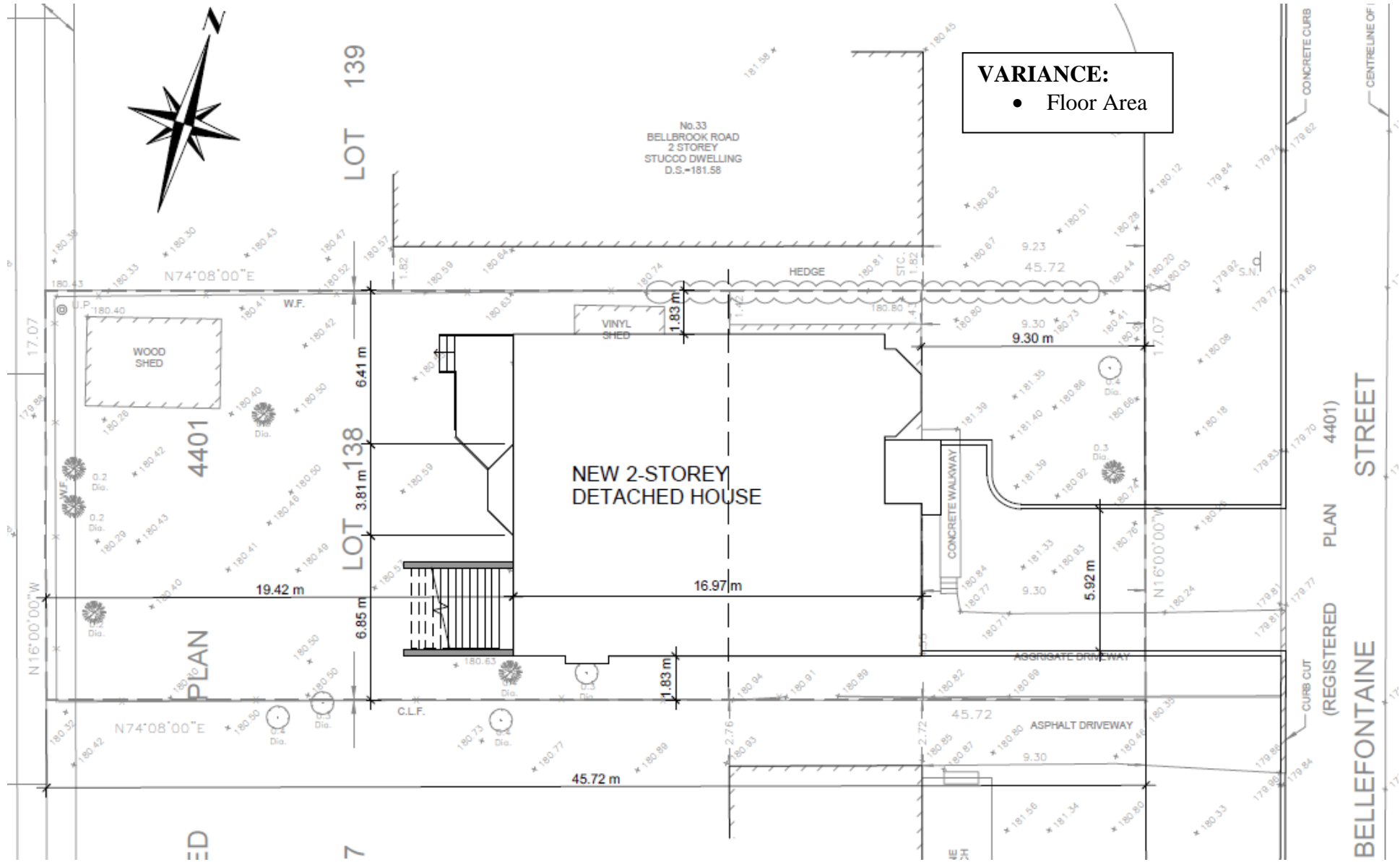
PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a two-storey single family dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & By-law No. 12360

1. To permit the proposed 372.9 square metres floor area or 0.48 times the lot area, whereas the Zoning By-law permits maximum 312.1 square metres floor area or 0.4 times the lot area.



27. 7 PARKLAND RD

File Number:	A0062/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	STEVEN JOHN LEWIS PELTON AMANDA HELENE PELTON	Ward:	Scarborough Southwest (36)
Agent:	AMANDA HELENE PELTON	Heritage:	Not Applicable
Property Address:	7 PARKLAND RD	Community:	Birchcliff Community
Legal Description:	PLAN 3288 LOT 44		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to allow vehicle parking on the existing driveway. The Committee of Adjustment approved variance to convert the garage to living space in January 2017. The Committee of Adjustment approved variances for a second floor addition in April 2014.

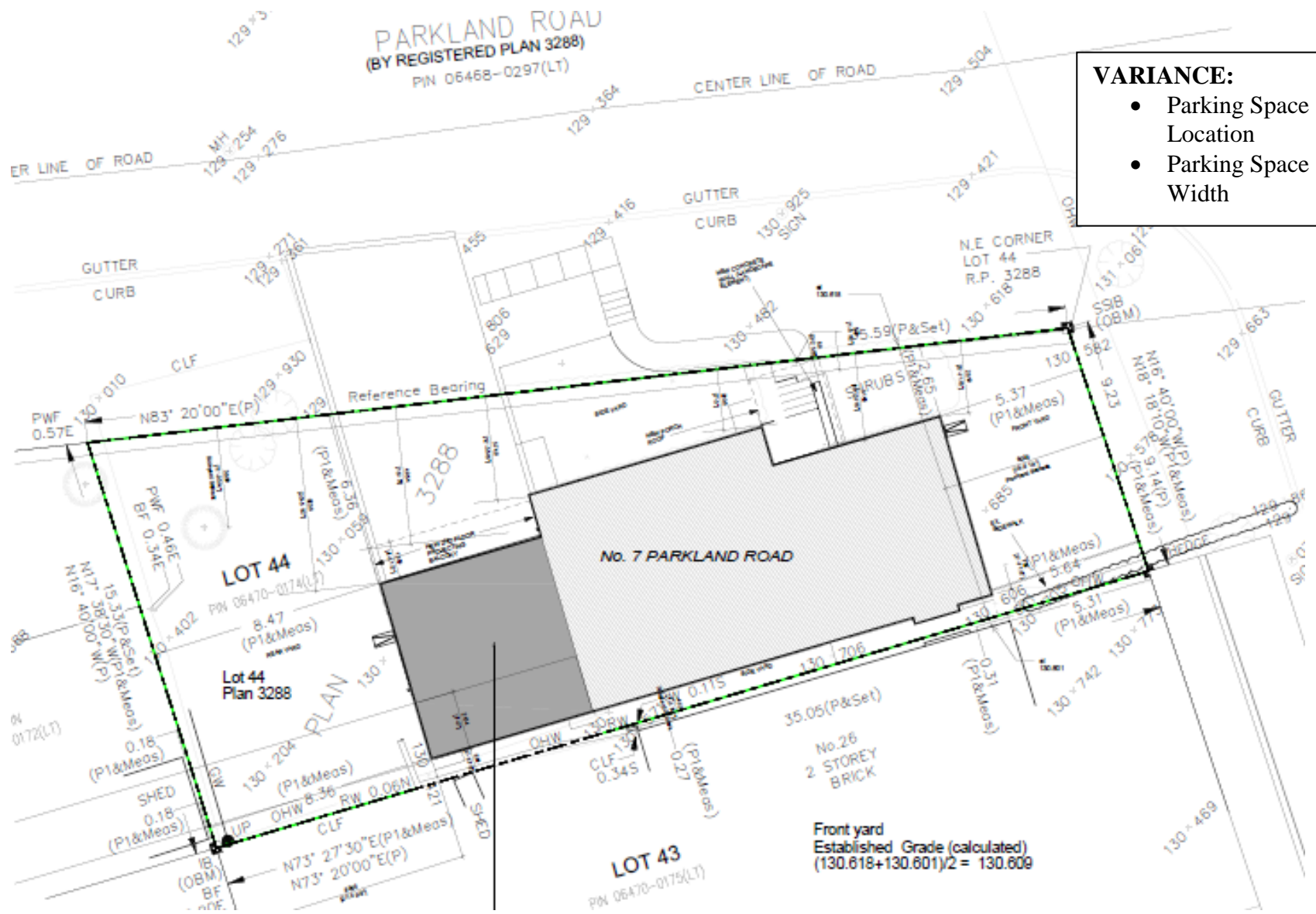
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed the proposed parking space located in the side yard that abuts a street, whereas the Zoning By-law requires a parking space to be in a building or structure.

By-law No. 8786

2. To permit the proposed 5.86 metres wide parking space located in the street yard, whereas the Zoning By-law permits maximum 3 metres wide parking space located in the street yard.



28. 148 BENJAMIN BLVD

File Number:	A0063/17SC	Zoning	Residential Detached (RD) & Two-Family Residential (T) [ZR]
Owner(s):	LYNDON PETERSON MARY MORRIS-EDEY WILLIS MORRIS	Ward:	Scarborough Southwest (35)
Agent:	ALEX RUBB	Heritage:	Not Applicable
Property Address:	148 BENJAMIN BLVD	Community:	Kennedy Park Community
Legal Description:	PLAN M729 PT LOT 35 NOW RP R126 PART 4		

PURPOSE OF THE APPLICATION:

To construct a two-storey west side addition to the existing semi-detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & No. 9276:

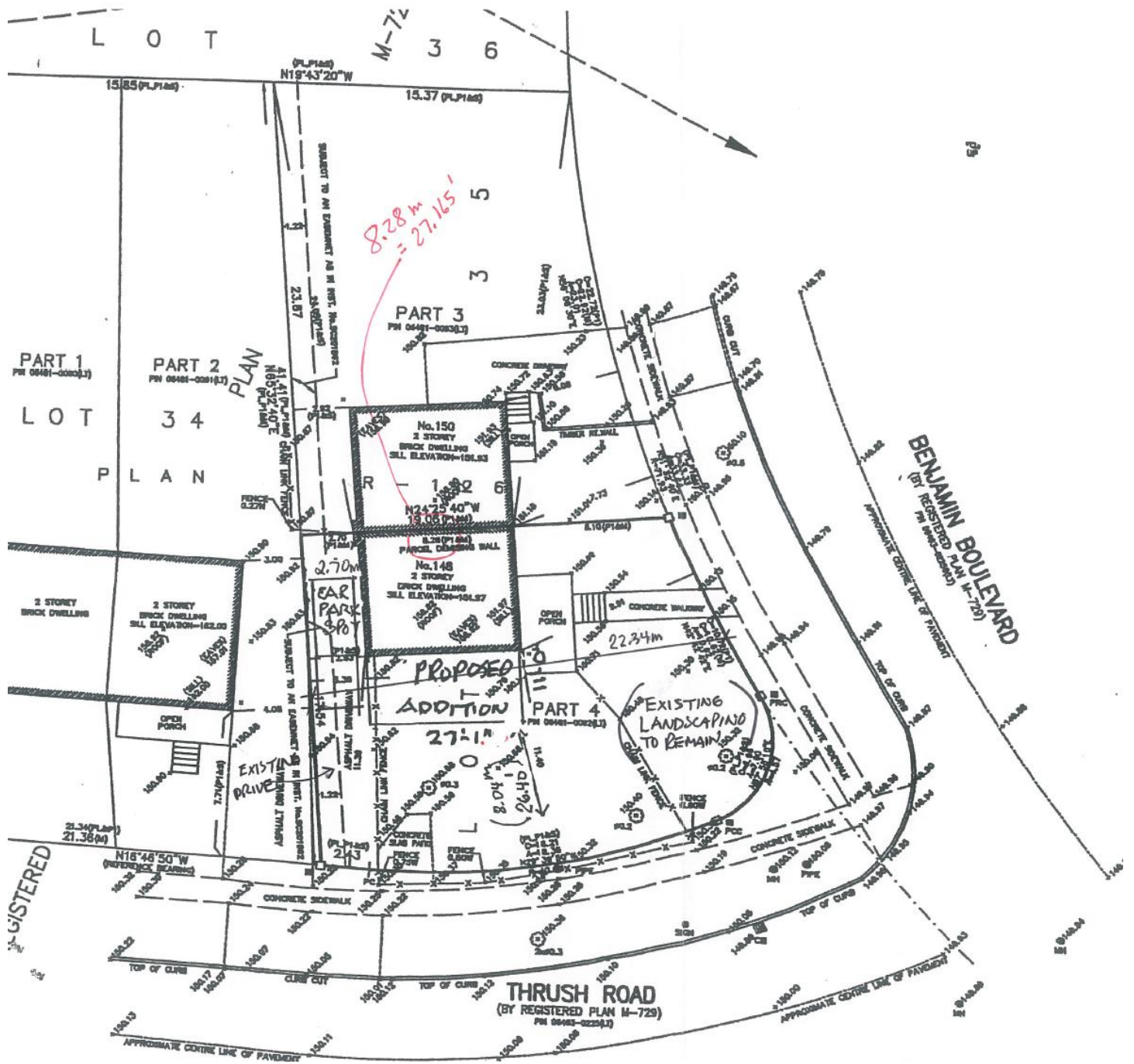
1. The altered dwelling will be located 2.7 m from the rear lot line;
Whereas the minimum required rear yard setback is 7.5 m.
Note: this is an existing condition.

By-law No. 569-2013:

2. The proposed rear yard parking space will be 2.7 m wide;
Whereas the minimum required width of a parking space is 3.2 m.

By-law No. 9276:

3. The proposed rear yard parking space will be 2.7 m wide;
Whereas the minimum required width of a parking space is 3.3 m.



29. 89 LILIAN DR

File Number:	A0072/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	MURRON JACQUES	Ward:	Scarborough Centre (37)
Agent:	30 FORENSIC ENGINEERING	Heritage:	Not Applicable
Property Address:	89 LILIAN DR	Community:	Wexford Community
Legal Description:	PLAN 4168 LOT 320		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a wood carport on the south side of the existing dwelling.

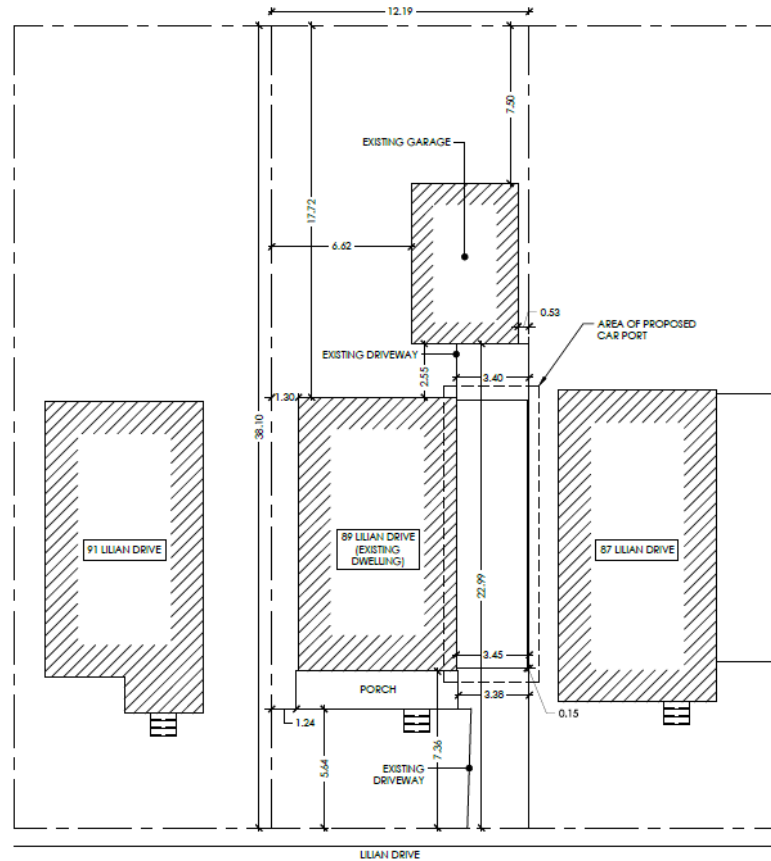
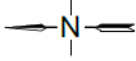
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 0.15 metres south side yard setback, whereas the Zoning By-law requires a minimum 0.45 metres side yard setback.
2. To permit the proposed 12.5 metres by 3 metres parking space, whereas the Zoning By-law requires a minimum 5.6 metres by 3.2 metres parking space.
3. To permit the proposed 40% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.

By-law No. 9511

4. To permit the proposed 0.15 metres south side yard setback and is 1.46 metres from the dwelling on the adjoining lot, whereas the Zoning By-law requires a minimum 0.45 metres side yard setback and a minimum of 1.5 metres away from the dwelling on the adjoining lot.
5. To permit the proposed 12.5 metres by 3 metres parking space, whereas the Zoning By-law requires a minimum 5.6 metres by 3.3 metres parking space.
6. To permit the proposed 12.5 metres carport length, whereas the Zoning By-law permits maximum 7.6 metres carport length.
7. To permit the proposed 40% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
8. To permit the proposed 91.5 square metres combined total floor area of all structures on the lot, whereas the Zoning By-law permits maximum 75 square metres combined total floor area of all structures on the lot.



SITE STATISTICS:	
LOT AREA	= 464.515 m ²
EXISTING HOUSE	= 97.531 m ²
PORCH	= 19.686 m ²
EXISTING GARAGE	= 37.296 m ²
PROPOSED CAR-PORT	= 41.583 m ²

VARIANCE:

- Side Yard Setback
- Parking Space
- Coverage
- Carport Length
- Combined Total Floor Area

1 SITE PLAN - FOR REFERENCE (SEE OLS PLAN)
SK.2 1:200

LEGEND:	
	BUILDING OUTLINE

Site Plan

Applicant's Submitted Drawing
Not to Scale

03/24/2017 - PB

89 Lilian Drive

File # A0072/17SC

Attachment 2