
**COMMITTEE OF ADJUSTMENT
AGENDA
SCARBOROUGH PANEL**

Hearing Date: January 19, 2017

Time: 9:30 a.m.

Location: Council Chamber - Scarborough Civic Centre - 150 Borough Drive

1. OPENING REMARKS

Declarations of Interest

Confirmation of Minutes from Previous Hearing

2. DEPUTATION ITEMS

The following applications will be heard at 9:30 a.m. or shortly thereafter:

File Number	Owner	Property	Community (Ward)
<u>COMBINED APPLICATIONS</u>			
1. B020/16SC & A096/16SC	ONTARIO CONFERENCE OF THE SEVENTH-DAY ADVENTIST CHURCH	4342-4354 LAWRENCE AVE E	Scarborough East (44)
2. B0052/16SC, A0257/16SC & A0258/16SC	NEXT LEVEL BUILDER & DEVELOPER LTD	579 KENNEDY RD	Scarborough Southwest (35)
3. B0054/16SC, A0280/16SC & A0281/16SC	SHAHID SHAHID	436 PHARMACY AVE	Scarborough Southwest (35)
4. B0058/16SC, A0309/16SC & A0310/16SC	JOHN FULFORD-BROWN	3 HAIG AVE	Scarborough Southwest (36)

5.	B0061/16SC, A0345/16SC & A0346/16SC	MD AJAZ AHMED KHAN	116 POPLAR RD	Scarborough East (43)
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MINOR VARIANCE APPLICATIONS

6.	A112/16SC	IRENE LEE	28 MURRAY AVE	Scarborough-Rouge River (41)
7.	A0201/16SC	AJKMIK LIMITED	2043 EGLINTON AVE E	Scarborough Southwest (35)
8.	A0252/16SC	DAVID BRIAN GARDNER LINDSEY KRISTA GARDNER	10 ROMANA DR	Scarborough Southwest (36)
9.	A0287/16SC	SHILPABEN THAKKAR VIPULKUMAR THAKKAR	696 BRIMORTON DR	Scarborough Centre (38)
10.	A0293/16SC	GULNAZ CHANDIWALA RIZWAN PIPRAWALA	35 TOULON RD	Scarborough Centre (38)
11.	A0294/16SC	NISHAN DERHOVAGIMIAN TALINE DERHOVAGIMIAN	39 ARAGON AVE	Scarborough-Agincourt (40)
12.	A0306/16SC	KAWLRA POONAN JAY KAWLRA	616 PHARMACY AVE	Scarborough Southwest (35)
13.	A0307/16SC	J DARAGH MAVSWORTH	293 BLANTYRE AVE	Scarborough Southwest (36)
14.	A0313/16SC	1359339 ONTARIO INC	4438 SHEPPARD AVE E UNITS 84 TO 111	Scarborough-Rouge River (41)
15.	A0315/16SC	ERIC PHILLIP KETTLE	73 HAREWOOD AVE	Scarborough Southwest (36)
16.	A0318/16SC	CATHERINE GROGAN NIMA DEJPOUR	53 CHINE DR	Scarborough Southwest (36)
17.	A0325/16SC	NISHAMINI RATNALINGAM	43 BUENA VISTA AVE	Scarborough-Agincourt (39)

18.	A0326/16SC	PRABHADEVI SOMASUNDARAM DHAMODHARAN RENGASAMY	938 DANFORTH RD	Scarborough Southwest (35)
19.	A0328/16SC	CHANCHAL RAYMOND GODINO RAYMOND GODINA	2 MACK AVE	Scarborough Southwest (35)
20.	A0332/16SC	JOHN FRANCIS HUGHES TARA CATHERINE HUGHES	70 DORSET RD	Scarborough Southwest (36)
21.	A0334/16SC	HUIYAN WANG	7 REDLAND CRES E	Scarborough Southwest (36)
22.	A0335/16SC	MUHAMMAD ASIM CHOHAN	308 KENNEDY RD	Scarborough Southwest (36)
23.	A0336/16SC	WADIKUMBURE CHANDRALATHA CHANDANA DANAPALA MUDIYANSELAGE	87 SCARDEN AVE	Scarborough-Agincourt (40)
24.	A0337/16SC	JEREMY SMITH	10 HAREWOOD AVE	Scarborough Southwest (36)
25.	A0339/16SC	ANDY ANASTASIS FLOROSZ ALISON ALEXANDRA FLOROSZ	15 BLEDLOW MANOR DR	Scarborough East (43)
26.	A0340/16SC	KIMIKO YAMADA	38 HUNT CLUB DR	Scarborough Southwest (36)
27.	A0341/16SC	KARTHIKA SITHAMPARANATHAN	10 MEADOWCLIFFE DR	Scarborough Southwest (36)
28.	A0344/16SC	SHABNAM RAHMAN SHAFIQR RAHMAN	29 DUNELM ST	Scarborough Southwest (36)
29.	A0350/16SC	SUKHVINDER KAUR SIKAND	30 DELAWANA DR	Scarborough Centre (38)
30.	A0356/16SC	DIMITRIOS GEORGIU	386 KENNEDY RD	Scarborough Southwest (35)
31.	A0357/16SC	DANA TOMAS NORMAN VILLAR	86 BELLAMY RD S	Scarborough Southwest (36)

32. A0358/16SC STEVEN JOHN LEWIS 7 PARKLAND RD Scarborough Southwest (36)
 PELTON
 AMADA HELENE
 PELTON
33. A0359/16SC MICHELE POPYNICK 33 HUNT CLUB DR Scarborough Southwest (36)
 SCOTT BARK

3. OTHER BUSINESS

None.

4. ONTARIO MUNICIPAL BOARD

Appeals:

Appeal arising from December 8, 2016 Hearing:

a. 1 RANSTONE GDNS –
(Committee Refused – Appealed to OMB)

File Number:	A158/16SC	Zoning	Residential Multiple Dwelling (RM) & Multiple-Family Residential (M) Zone [ZR]
Owners:	1044774 ONTARIO INC	Ward:	Scarborough Centre (37)
Agent:	MILENOV ASSOC. ARCHITECTS	Heritage:	Not Applicable
Property Address:	1 RANSTONE GDNS	Community:	Ionview Community
Legal Description:	PLAN 5402 BLK A		

* Website for OMB Orders: <http://www.omb.gov.on.ca/english/eDecisions/eDecisions.html>

5. DATE OF NEXT MEETING: February 16, 2017

6. ADJOURNMENT

* Website for City of Toronto, Committee of Adjustment Agendas and Decisions:
<http://www1.toronto.ca/wps/portal/contentonly?vgnextoid=ed2552cc66061410VgnVCM10000071d60f89RCRD>

The following applications will be heard at 9:30 a.m. or shortly thereafter:

1. 4342-4354 LAWRENCE AVE E

File Number:	B020/16SC & A096/16SC	Zoning	Places of Worship (IPW) & Residential Detached (RD) [Waiver]
Owner(s):	ONTARIO CONFERENCE OF THE SEVENTH-DAY ADVENTIST CHURCH	Ward:	Scarborough East (44)
Agent:	INSOHO DEVELOPMENTS INC	Heritage:	Not Applicable
Property Address:	4342-4354 LAWRENCE AVE E	Community:	West Hill Community
Legal Description:	PLAN 1502 PT LOT 7		

THE CONSENT REQUESTED:

To obtain consent to sever the property into two lots.

Part 1 - Conveyed

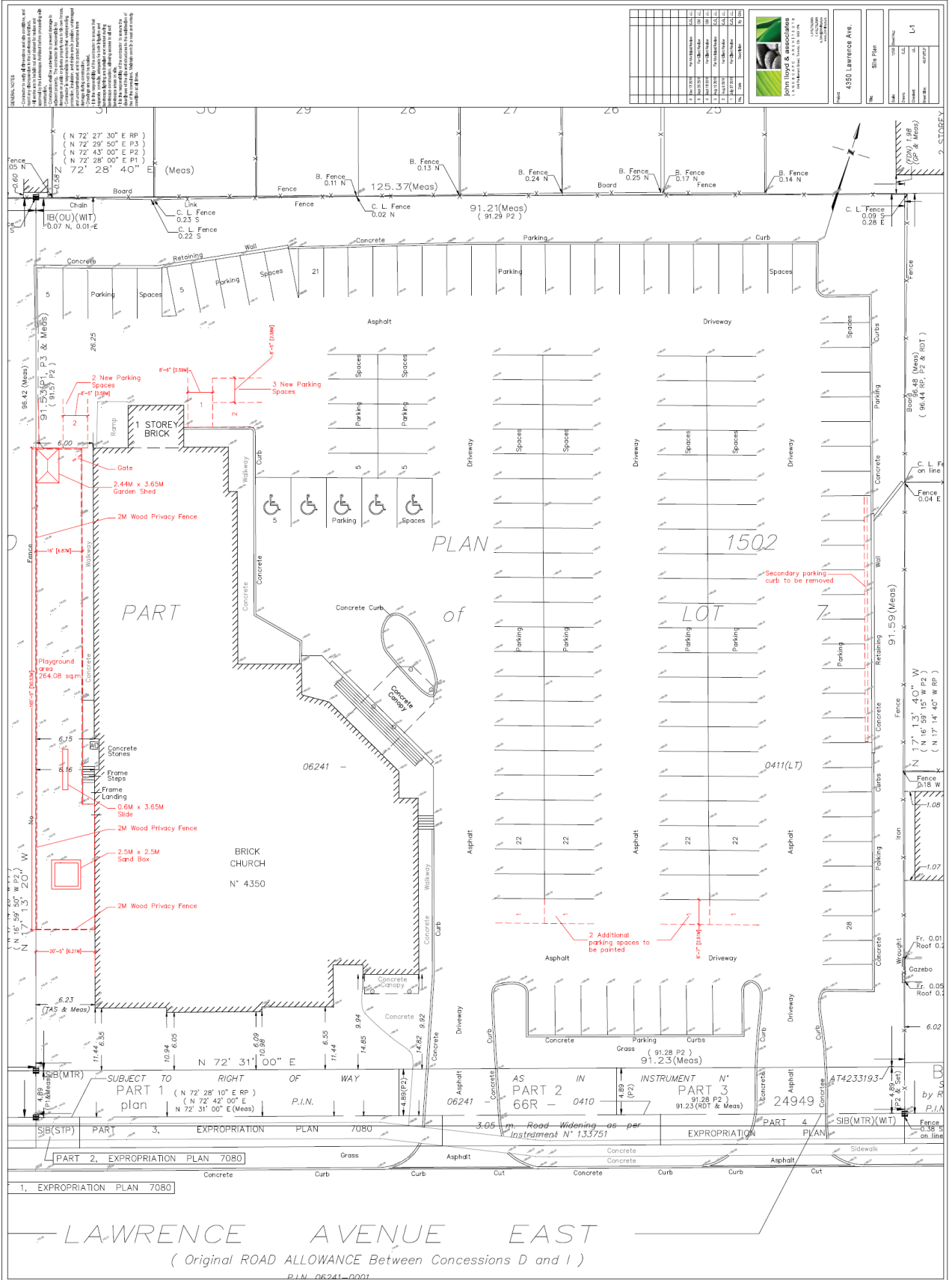
The lot frontage is 36.84 m and the lot area is 3,320 m². The existing dwelling will be demolished for a future residential development and will require no variances from the Zoning By-law.

Part 2 - Retained

The lot frontage is 91.23 m and the lot area is 8,797 m². The existing place of worship will be maintained. Minor alternations to the site layout will eliminate 2 parking spaces, requiring a variance to the Zoning By-law, as outlined in Application A096/16SC. A previous Committee of Adjustment application (A126/09SC) approved a variance to permit 181 parking spaces whereas 187 is required.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

To permit 179 parking spaces, whereas the Zoning By-law requires 187 parking spaces. A previous Committee of Adjustment application (A126/09SC) approved a variance to permit 181 parking spaces.



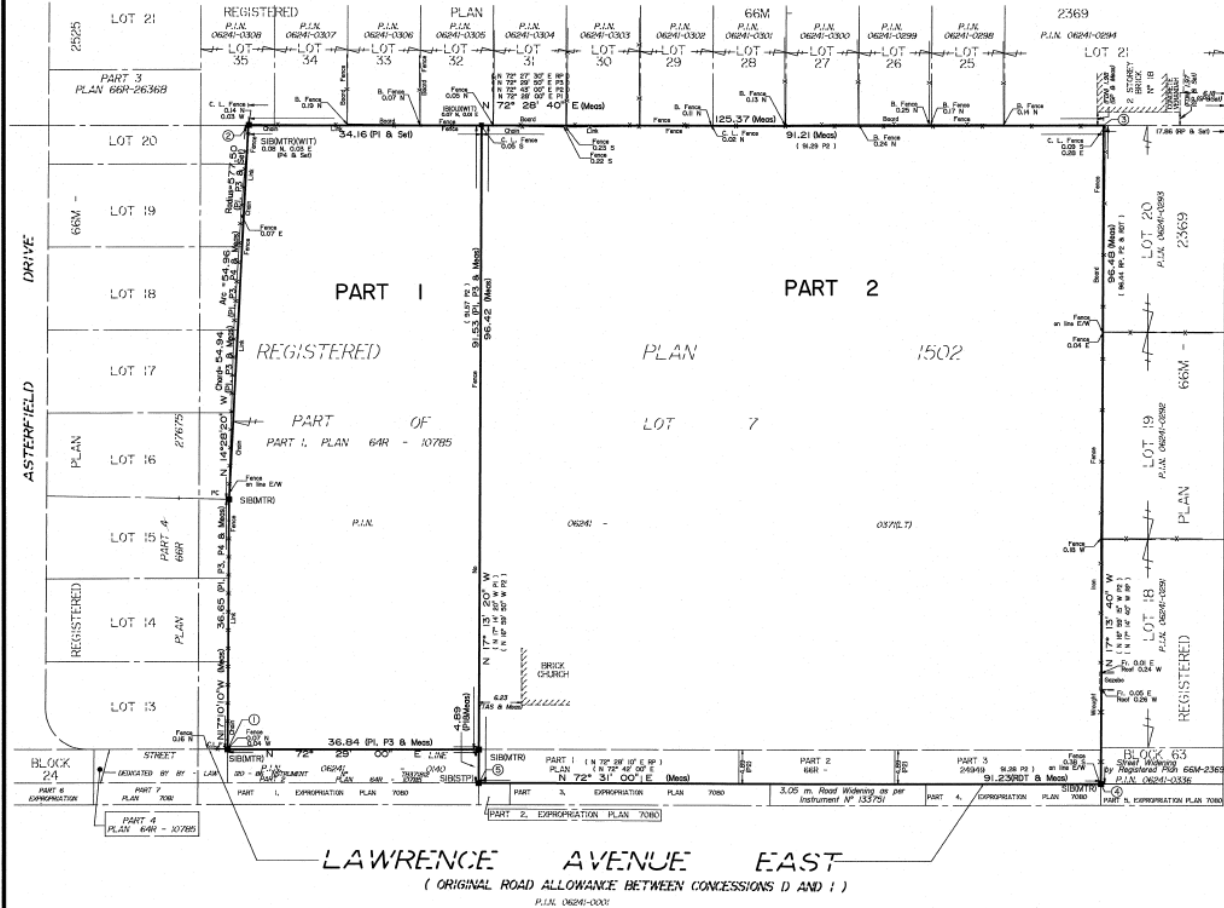
LAWRENCE AVENUE EAST
 (Original ROAD ALLOWANCE Between Concessions D and I)

P.L.N. 06241-0001

PLAN OF SURVEY OF
PART OF LOT 7
REGISTERED PLAN 1502
 CITY OF TORONTO
 (FORMERLY CITY OF SCARBOROUGH)

SCALE = 1 : 400
 METRIC

DISTANCES AND COORDINATES SHOWN HEREON
 ARE IN METRES AND CAN BE CONVERTED
 TO FEET BY DIVIDING BY 0.3048



I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

PLAN 66R-

RECEIVED & DEPOSITED

DATE : _____ DATE : _____

BRAD K. WARREN
 ONTARIO LAND SURVEYOR

REPRESENTATIVE FOR LAND REGISTRAR
 FOR THE LAND TITLES DIVISION OF THE
 TORONTO REGISTRY OFFICE (N° 66)

SCHEDULE

PART	REGD PLAN	LOTS	PROPERTY IDENTIFIER	AREA (m ²)
1	1502	Pl. of 7	All of 06241-0371(L)	3 320
2				8 797

BEARING NOTE

BEARINGS ARE MTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A & B, BY REAL TIME NETWORK RTN OBSERVATIONS MTM ZONE 10, NAD83 (CSRS) (1997.0)

DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY THE COMBINED SCALE FACTOR WHICH IS 0.9999.

CO-ORDINATE TABLE

OBSERVED REFERENCE POINTS : MTM ZONE 10 NAD83 (CSRS) (1997.0)
 COORDINATES TO URBAN ACCURACY PER SEC 14 (2) OF O.R.G. 216/10

POINT	NORTHING	EASTING
A	-----	-----
B	-----	-----
1	4 847 969.55	331 072.00
2	4 848 077.76	331 047.55
3	4 848 115.20	331 167.00
4	4 848 023.36	331 195.66
5	4 847 995.96	331 108.66

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

- LEGEND**
- DENOTES MONUMENT PLANTED
 - MONUMENT FOUND
 - WT1 WITNESS
 - IB IRON BAR
 - SIB STANDARD IRON BAR
 - OU ORIGIN UNKNOWN
 - RP REGISTERED PLAN 66M-2369
 - P1 PLAN 66R-10785
 - P2 PLAN 66R-24549
 - P3 PLAN 66R-26368
 - P4 PLAN 66R-27675
 - TAS PLAN OF SURVEY BY T. A. SENUIS O.L.S., DATED APRIL 3RD, 2013
 - GP PLAN OF SURVEY BY GUIDO PAPA SURVEYING LTD., O.L.S., DATED AUGUST 2ND, 2001
 - RD1 R. D. TOMLINSON LTD., O.L.S., DATED AUGUST 30TH, 2001
 - STP SCARBOROUGH TOWNSHIP
 - MTR METRO TRANSPORTATION DEPARTMENT
 - PC POINT OF CURVATURE
 - P.I.N. PROPERTY IDENTIFIER NUMBER
 - C.L.F. CHAIN LINK FENCE
 - FDN CONCRETE FOUNDATION WALL

SURVEYOR'S CERTIFICATE

I CERTIFY THAT :

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON NOVEMBER 16TH, 2015.

DATE: 2015.11.16
 BRAD K. WARREN
 Ontario Land Surveyor

LSG LAND SURVEY GROUP
 ONTARIO LAND SURVEYORS

777 THE QUEENSWAY, UNIT 1, TORONTO, ONTARIO, M8Z 1N4
 TEL: 416-252-2511 FAX: 416-467-8023 www.landsurveygroup.com

DRAWN : R. M. RILLERA | CHECKED BY : BRK | PLAN N° : LSG-3105A

2. 579 KENNEDY RD

File Number:	B0052/16SC, A0257/16SC & A0258/16SC	Zoning	Residential Detached (RD) & Single-Family Residential (S) Zone [ZZC]
Owner(s):	NEXT LEVEL BUILDER & DEVELOPER LTD	Ward:	Scarborough Southwest (35)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	579 KENNEDY RD	Community:	Kennedy Park Community
Legal Description:	PLAN 3507 PT LOT 5		

THE CONSENT REQUESTED:

To obtain consent to sever the property into two (2) undersized residential lots.

Retained - Part 1 579B Kennedy Road

The lot will have a frontage of 9.22 m and an area of 386.8 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0257/16SC.

Conveyed - Part 2 579A Kennedy Road

The lot will have a frontage of 9.22 m and an area of 386.8 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0258/16SC.

This application was previously deferred from the November 3, 2016 hearing.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Part 1 – Retained (A0257/16SC)

By-law No. 569-2013 and By-law No. 9276:

1. The proposed lot frontage is 9.22 m and the proposed lot area is 386.8 m²;
Whereas the minimum required lot frontage is 12 m and the minimum required lot area is 464 m².
2. The proposed dwelling will be located 21.74 m from the original centreline of Kennedy Road (6.5 m from the front property line);
Whereas the minimum required front yard setback is 22 m from the original centreline of Kennedy Road (6.76 m from the front property line).
3. The proposed dwelling will be located 0.63 m from the south side lot line;
Whereas the minimum required side yard setback is 0.9 m.

By-law No. 569-2013:

4. The proposed dwelling will have a total length of 17.27 m;
Whereas the maximum permitted dwelling length is 17 m.
5. The eaves overhang, including the eavestrough, of the proposed dwelling will be located 0.2 m from the south side lot line;
Whereas the minimum required side yard setback for an eaves overhang is 0.3 m.
6. The proposed parking space inside the integral garage will be 3.1 m wide;
Whereas the minimum required dimensions of a parking space are 3.2 m wide by 5.6 m long.

By-law No. 9276:

7. The proposed parking space inside the integral garage will be 3.1 m wide;
Whereas the minimum required dimensions of a parking space are 3.3 m wide by 5.6 m long.

Part 2 – Conveyed (A0258/16SC)

By-law No. 569-2013 and By-law No. 9276:

1. The proposed lot frontage is 9.22 m and the proposed lot area is 386.8 m²;
Whereas the minimum required lot frontage is 12 m and the minimum required lot area is 464 m².
2. The proposed dwelling will be located 21.74 m from the original centreline of Kennedy Road (6.5 m from the front property line);
Whereas the minimum required front yard setback is 22 m from the original centreline of Kennedy Road (6.76 m from the front property line).
3. The proposed dwelling will be located 0.62 m from the north side lot line;
Whereas the minimum required side yard setback is 0.9 m.

By-law No. 569-2013:

4. The proposed dwelling will have a total length of 17.27 m;
Whereas the maximum permitted dwelling length is 17 m.
5. The eaves overhang, including the eavestrough, of the proposed dwelling will be located 0.19 m from the north side lot line;
Whereas the minimum required side yard setback for an eaves overhang is 0.3 m.
6. The proposed parking space inside the integral garage will be 3.1 m wide;
Whereas the minimum required dimensions of a parking space are 3.2 m wide by 5.6 m long.

By-law No. 9276:

7. The proposed parking space inside the integral garage will be 3.1 m wide;
Whereas the minimum required dimensions of a parking space are 3.3 m wide by 5.6 m long.

3. 436 PHARMACY AVE

File Number:	B0054/16SC, A0280/16SC & A0281/16SC	Zoning	Single Family Residential (S) & Residential Detached (RD) Zone [ZR]
Owner:	SHAHID SHAHID	Ward:	Scarborough Southwest (35)
Agent:	NADEEM IRFAN ARCHITECT	Heritage:	Not Applicable
Property Address:	436 PHARMACY AVE	Community:	Clairlea Community
Legal Description:	PLAN M463 LOT 279		

THE CONSENT REQUESTED:

This application is for consent to sever the land into two lots for single family houses. The proposed lots would each have a frontage of 7.62 m on Pharmacy Avenue and a lot area of approximately 238 m². The proposed lots are shown as Parts 2 and 3 on the attached Lot Division Plan. The land shown as Parts 1 and 4 would be conveyed to the City for a widening of the Pharmacy Avenue right-of-way.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

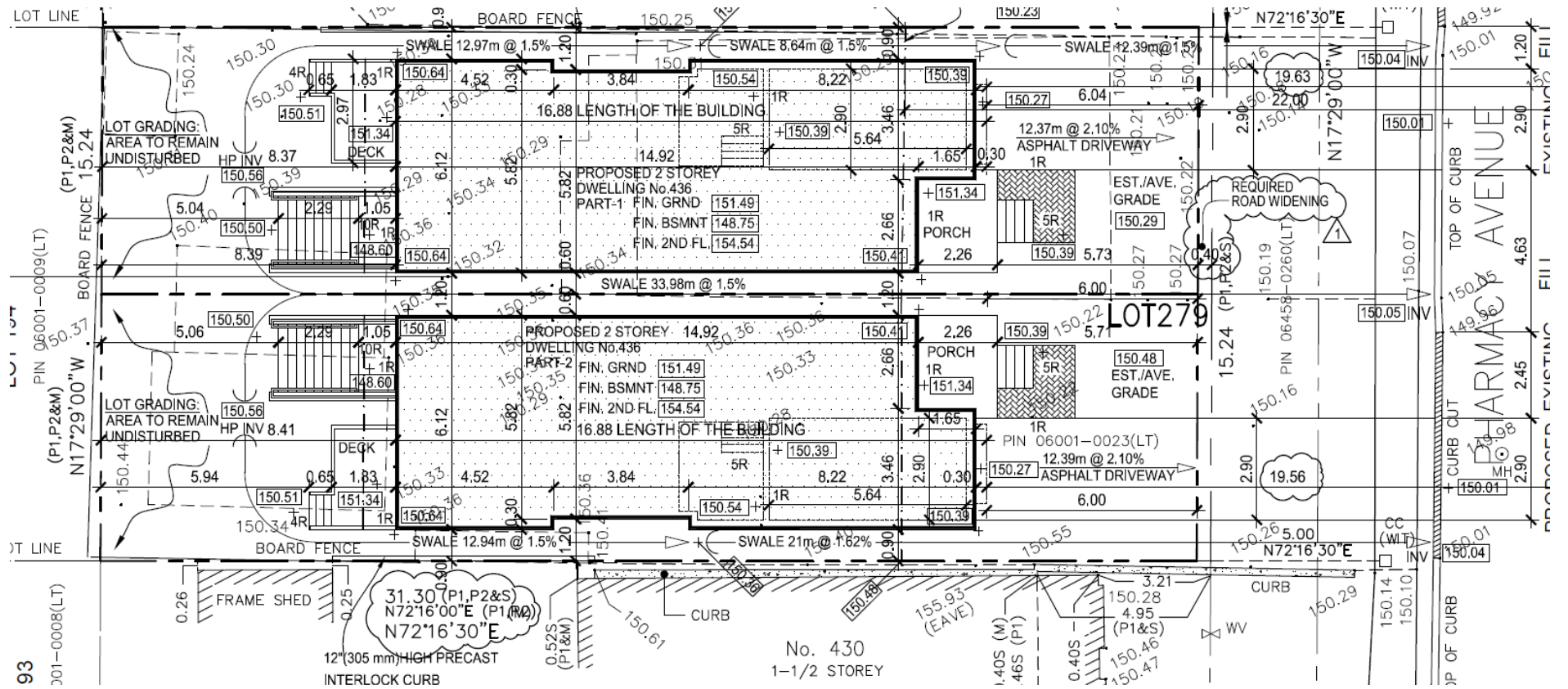
PART 3 (File A281/16SC) & PART 2 (File A280/16SC)

By-law No. 569-2013:

1. The proposed lot frontage is 7.62 m
Whereas the minimum required lot frontage is 12 m
2. The proposed lot area is 238 m²
Whereas the minimum required lot area is 371 m²
3. The proposed side yard setback on the south side is 0.6 m (PART 3)
The proposed side yard setback on the north side is 0.6 m (PART 2)
Whereas the minimum required side yard setback is 0.9 m
4. The proposed front yard setback is 19.5 m measured to the centerline of Pharmacy Avenue
Whereas the minimum required front yard setback is 22 m measured to the centerline of Pharmacy Avenue
5. The proposed parking space width is 2.9 m
Whereas the minimum required parking space width is 3.2 m
6. The proposed coverage is 43%
Whereas the maximum permitted coverage is 33%
7. The proposed roof eave setback is 0.29 m from the south side lot line (PART 3)
The proposed roof eave setback is 0.29 m from the north side lot line (PART 2)
Whereas the eaves of a roof may encroach into a required minimum building setback to a maximum of 0.9 m if they are no closer to a lot line than 0.3 m

By-law No. 8978:

8. The proposed lot frontage is 7.62 m
Whereas the minimum required lot frontage is 12 m
9. The proposed lot area is 238 m²
Whereas the minimum required lot area is 371 m²
10. The proposed side yard setback on the south side is 0.6 m (PART 3)
The proposed side yard setback on the north side is 0.6 m (PART 2)
Whereas the minimum required side yard setback is 0.9 m
11. The proposed front yard setback is 19.5 m measured to the centerline of Pharmacy Avenue
Whereas the minimum required front yard setback is 22 m measured to the centerline of Pharmacy Avenue
12. The proposed ground floor building coverage is 44%
Whereas the maximum permitted ground floor building coverage is 33%
13. The proposed lot coverage is 43%
Whereas the maximum permitted coverage is 33%
14. The proposed parking space width is 2.9 m
Whereas the minimum required parking space width is 3.3 m



4. 3 HAIG AVE

File Number:	B0058/16SC, A0309/16SC & A0310/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	JOHN FULFORD-BROWN	Ward:	Scarborough Southwest (36)
Agent:	HUNTER & ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	3 HAIG AVE	Community:	Cliffcrest Community
Legal Description:	PLAN 914 LOT 45		

THE CONSENT REQUESTED:

To sever the land to create a lot for a new detached dwelling. The proposed lot would have a frontage of 7.57 m on Haig Avenue and a lot area of 213 m², and is shown as Parts 1 and 4 on the attached Lot Division Plan. The existing house would remain on the proposed lot shown as Parts 2 and 3 and would have a frontage of 7.67 m on Haig Avenue and a lot area of 216 m². Parts 3 and 4 are proposed pedestrian access easements to allow access to the rear yards.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

PARTS 1 and 4 (File A0309/16SC)

By-law No. 569-2013:

1. The proposed floor area is 0.783 x lot area (167 m²)
Whereas the maximum permitted floor area is 0.6 x lot area (127.9 m²)
2. The proposed lot area is 213 m²
Whereas the minimum required lot area is 360 m²
3. The proposed lot frontage is 7.5 m
Whereas the minimum required lot frontage is 12 m
4. The proposed lot coverage is 47.2%
Whereas the maximum permitted lot coverage is 33%
5. The area of a proposed second storey platform is 12.1 m²
Whereas the maximum permitted area of each platform at or above the second storey of a detached house is 4.0 m²
6. The proposed parking space dimensions are 3.2 m x 5.3 m
Whereas the minimum required parking space dimensions are 3.2 m x 5.6 m

By-law No. 8786:

7. The proposed front yard setback is 4.3 m
Whereas a minimum front yard setback of 6 m is required

8. The proposed lot coverage is 48.2%
Whereas the maximum permitted lot coverage is 33%
9. The proposed floor area is 0.78 x lot area (165 m²)
Whereas the maximum permitted floor area is 0.6 x lot area (127.9 m²)
10. The proposed parking space dimensions are 3.2 m x 5.3 m
Whereas the minimum required parking space dimensions are 3.3 m x 5.6 m
11. The existing/proposed lot depth is 28.1 m
Whereas the minimum required lot depth is 33 m

PARTS 2 and 3 (File A0310/16SC)

By-law No. 569-2013:

1. The proposed parking space dimensions are 2.6 m x 4.3 m
Whereas the minimum required parking space dimensions are 3.2 m x 5.6 m
2. The proposed lot area is 216 m²
Whereas the minimum required lot area is 360 m²
3. The proposed lot frontage is 7.6 m
Whereas the minimum required lot frontage is 12 m
4. The required parking space is proposed in the front yard
Whereas a parking space may not be located in the front yard

By-law No. 8786:

5. The proposed parking space dimensions are 2.6 m x 4.33 m
Whereas the minimum required parking space dimensions are 3.3 m x 5.6 m
6. The existing/proposed lot depth is 28.1 m
Whereas the minimum required lot depth is 33 m

5. 116 POPLAR RD

File Number:	B0061/16SC, A0345/16SC & A0346/16SC	Zoning	Residential Detached (RD) & Single Family (S)
Owner(s):	MD AJAZ AHMED KHAN	Ward:	Scarborough East (43)
Agent:	CANTAM GROUP LTD.	Heritage:	Not Applicable
Property Address:	116 POPLAR RD	Community:	West Hill Community
Legal Description:	CON D PT LOT 12 RP R2160 PART 2		

THE CONSENT REQUESTED:

To obtain consent to sever the property into two (2) undersized residential lots.

Retained - Part 1

The lot will have a frontage of 8.305 m and an area of 409.1 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0346/16SC.

Conveyed - Part 2

The lot will have a frontage of 8.305 m and an area of 409.1 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0345/16SC.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Part 1 – Retained (A0346/16SC) & Part 2 – Conveyed (A0345/16SC)

By-law No. 569-2013 and No. 10327:

1. The proposed lot will have a frontage of 8.3 m;
Whereas the minimum required lot frontage is 12 m.
2. The proposed lot will have an area of 409.1 m²;
Whereas the minimum required lot area is 464 m².

By-law No. 569-2013:

3. The proposed dwelling will be located 0.82 m from the south side lot line on **Part 1**;
The proposed dwelling will be located 0.82 m from the north side lot line on **Part 2**;
Whereas the minimum required side yard setback is 1.2 m.
4. The proposed dwelling will have a length of 18.44 m;
Whereas the maximum permitted building length is 17 m.

By-law No. 10327:

5. The proposed dwelling will be located 0.82 m from the south side lot line and 1.22 m from the north side lot line on **Part 1**;

The proposed dwelling will be located 0.82 m from the north side lot line and 1.22 m from the south side lot line on **Part 2**;
Whereas the minimum required side yard setback is 1.2 m plus 0.6 m for each additional storey, for a total required side yard setback of 1.8 m.

6. 28 MURRAY AVE

File Number:	A112/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	IRENE LEE	Ward:	Scarborough-Rouge River (41)
Agent:	DANIEL WONG	Heritage:	Not Applicable
Property Address:	28 MURRAY AVE	Community:	Agincourt Community
Legal Description:	PLAN 3932 LOT 43		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey single family dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 370 square metres floor area, whereas the Zoning By-law permits maximum 279 square metres floor area.

By-law No. 10076

2. To permit the proposed 353 square metres floor area, whereas the Zoning By-law permits maximum 279 square metres floor area.

7. 2043 EGLINTON AVE E

File Number:	A0201/16SC	Zoning	MDC- Industrial District Commercial Zone [ZZC]
Owner(s):	AJKMIK LIMITED	Ward:	Scarborough Southwest (35)
Agent:	KEN VARATHA	Heritage:	Not Applicable
Property Address:	2043 EGLINTON AVE E	Community:	
Legal Description:	PLAN 3759 PT LOT 1 RP RS934 PART 3		

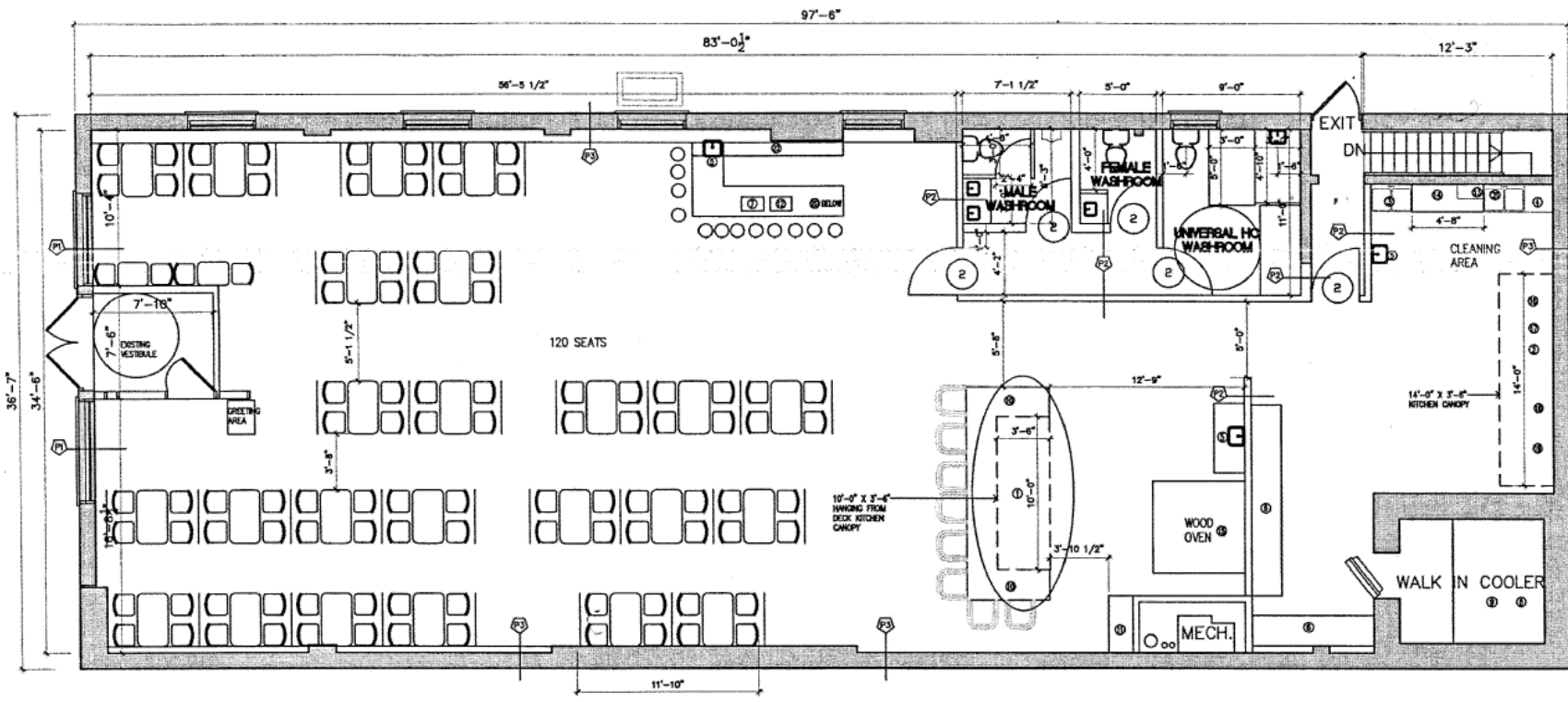
PURPOSE OF THE APPLICATION:

This application was deferred at the December 8th hearing by the agent. The application remains the same. The applicant is seeking relief from the provisions of the Zoning By-law to make interior alterations to the new restaurant and to add a kitchen system.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 24982

1. To permit the proposed 15 parking spaces provided, all partially off the lot, whereas the Zoning By-law requires a minimum 36 parking spaces.
2. To permit 0 parking spaces located on the same lot as the use they serve, whereas the Zoning By-law requires parking spaces to be located on the same lot as the use they serve.



FLOOR PLAN

WALL TYPES

- ① EXISTING GLASS STORE FRONT WALL TO REMAIN AS IT IS.
- ② 3" METAL STUD WITH 1/2" DRYWALL BOTH SIDE TO 10'-0" AFF - PAINT FINISH - NOT USED
- ③ EXISTING EXTERIOR WALL TO BE PAINTED.

DOOR SCHEDULE

DOOR NO.	SIZE	DOOR TYPE	FRAME TYPE	FINISH	
①	3'-2" X 7'-0" X 1 3/4"	METAL	HOLLOW METAL	PREFINISHED	EXISTING
②	3'-2" X 7'-0" X 1 3/4"	WOOD	HOLLOW METAL	PAINT	NEW

ITEMS

① 10' X 3'-6" KITCHEN EXHAUST CANOPY	⑩ STOVE
② 14' X 3'-6" KITCHEN EXHAUST CANOPY	⑪ WOOD OVEN
③ 2 COM. SINK	⑫ DEEP FRYER
④ MOP SINK	⑬ GRILL BRO
⑤ HAND SINK	⑭ GRIDDLE HOT PLATE
⑥ WORK TABLE TOP	⑮ BEER COOLER
⑦ DATA STATION	⑯ VEGETABLE SINK
⑧ FREEZER	⑰ ICE MAKER
⑨ COOLER	
⑪ SALES TOP	
⑫ POP DISPLAY COOLER	
⑬ CASH REGISTER	
⑭ GREASE INCEPTER BELOW CONCRETE FLOOR	
⑮ DISH WASHING UNIT	

8. 10 ROMANA DR

File Number:	A0252/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	DAVID BRIAN GARDNER LINDSEY KRISTA GARDNER	Ward:	Scarborough Southwest (36)
Agent:	DIDULKA, YOUNG AND ASSOCIATES	Heritage:	Not Applicable
Property Address:	10 ROMANA DR	Community:	Cliffcrest Community
Legal Description:	PLAN 4035 LOT 81		

PURPOSE OF THE APPLICATION:

To construct a second-storey addition over the existing garage and solarium in order to accommodate a second suite.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & No. 9364:

1. The proposed addition will include a secondary suite;
Whereas the entire building must have been constructed more than five (5) years prior to the introduction of a secondary suite.
2. The parking space for the secondary suite is proposed in the front yard;
Whereas front yard/street yard parking is not permitted.

By-law No. 9364:

3. The altered dwelling will be located 1.2 m from the west side lot line;
Whereas the minimum required side yard setback is 1.2 m plus 0.6 m for each additional storey, for a total required side yard setback of 1.8 m.

9. 696 BRIMORTON DR

File Number:	A0287/16SC	Zoning	RD - Residential Detached/ S- Single Family Residential [ZZC]
Owner(s):	SHILPABEN THAKKAR VIPULKUMAR THAKKAR	Ward:	Scarborough Centre (38)
Agent:	VIPULKUMAR THAKKAR	Heritage:	Not Applicable
Property Address:	696 BRIMORTON DR	Community:	Woburn Community
Legal Description:	PLAN M750 LOT 859		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a second storey addition to the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed building length of 17.8 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.
2. To permit the proposed 9.1 metres front yard setback, whereas the Zoning By-law requires a minimum 11.03 metres front yard setback.
3. To permit the proposed 3.2 metres south side yard setback, whereas the Zoning By-law requires a minimum 3.6 metres building setback from a side lot line that abuts a street.
4. To permit the proposed 4.5 metres driveway width, whereas the Zoning By-law permits maximum 3.2 metres driveway width.
5. To permit the proposed 33.1% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
6. To permit the proposed 4.3 metres rear yard setback, whereas the Zoning By-law requires a minimum 7.91 metres rear yard setback.

By-law No. 9510

7. To permit the proposed 1.29 metres north side yard setback, whereas the Zoning By-law requires a minimum 1.8 metres side yard setback.
8. To permit the proposed 3.2 metres south side yard setback, whereas the Zoning By-law requires a minimum 3.6 metres building setback from a side lot line that abuts a street.

9. To permit the proposed 9.9 metres wide accessory structure (front porch), whereas the Zoning By-law permits maximum 7.6 metres wide accessory structure.
10. To permit the proposed 4.5 metres driveway width, whereas the Zoning By-law permits maximum 3.2 metres driveway width.
11. To permit the proposed 37% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
12. To permit the proposed 9.9 metres wide accessory structure (front canopy), whereas the Zoning By-law permits maximum 7.6 metres wide accessory structure.

10. 35 TOULON RD

File Number:	A0293/16SC	Zoning	RD - Residential Detached/ S- Single Family Residential [ZZC]
Owner(s):	GULNAZ CHANDIWALA RIZWAN PIPRAWALA	Ward:	Scarborough Centre (38)
Agent:	ROCKIM DESIGN INC	Heritage:	Not Applicable
Property Address:	35 TOULON RD	Community:	Woburn Community
Legal Description:	PLAN 5420 LOT 6		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a two-storey rear and side addition and a second storey addition to the existing one storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & By-law No. 9510

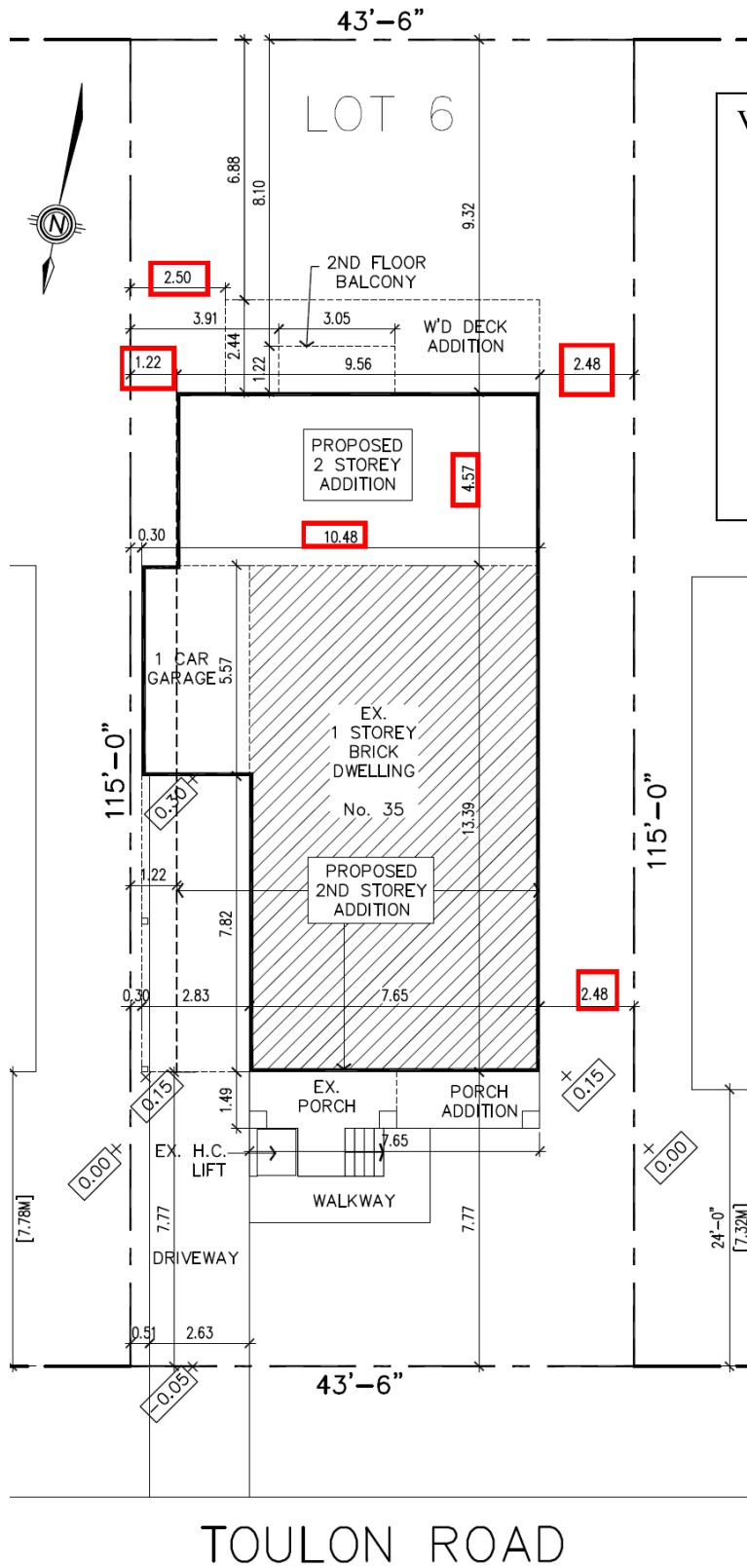
1. To permit the proposed 70.3% front yard soft landscaping, whereas the Zoning By-law requires a minimum 75% front yard soft landscaping.
2. To permit the proposed 5.26 metres by 2.68 metres parking space dimension, whereas the Zoning By-law requires a minimum 5.6 metres by 3.2 metres parking space dimension.

By-law No. 569-2013

3. To permit the proposed 39.6% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
4. To permit the proposed building length of 18 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.
5. To permit the proposed 11.4 square metres second storey platform area, whereas the Zoning By-law permits maximum 4 square metres platform area.

By-law No. 9510

6. To permit the proposed 43% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
7. To permit the proposed 8.3 metres wide accessory structure (rear deck), whereas the Zoning By-law permits a maximum 7.6 metres by 7.6 metres accessory structure dimensions.
8. To permit the proposed 13.4 metres long accessory structure (garage/carport), whereas the Zoning By-law permits a maximum 7.6 metres by 7.6 metres accessory structure dimensions.



- VARIANCE:**
- Front Yard Soft Landscaping
 - Parking Space Dimension
 - Coverage
 - Building Length
 - Platform Area
 - Accessory Structure Dimension

11. 39 ARAGON AVE

File Number:	A0294/16SC	Zoning	Residential Detached (RD) & Single Family Residential (S) Zone [ZR]
Owner(s):	NISHAN DERHOVAGIMIAN TALINE DERHOVAGIMIAN	Ward:	Scarborough-Agincourt (40)
Agent:	NISHAN DERHOVAGIMIAN	Heritage:	Not Applicable
Property Address:	39 ARAGON AVE	Community:	Tam O'Shanter Community
Legal Description:	PLAN 4501 PT LOT 3		

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed dwelling will have a gross floor area equal to 0.46 times the lot area (438.2 m²);
Whereas the maximum permitted gross floor area is 0.4 times the area of the lot (387.5 m²).
2. The proposed dwelling will be located 8.47 m from the front lot line;
Whereas the minimum required front yard setback is 10.86 m.
3. The proposed dwelling will have a height of 10.15 m, as measured from established grade;
Whereas the maximum permitted dwelling height is 9 m.
4. The proposed dwelling will have a total length of 20.78 m;
Whereas the maximum permitted length is 17 m.

By-law No. 12360:

5. The proposed dwelling will be located 1.2 m from the north side lot line;
Whereas the minimum required side yard setback is 1.2 m plus 0.6 m for each additional storey, for a
total required side yard setback of 1.8 m.
6. The proposed dwelling will have a height of 10.22 m, as measured from mean grade;
Whereas the maximum permitted dwelling height is 9 m.
7. The proposed integral garage will have a total floor area of 103.6 m²;
Whereas the maximum permitted floor area of an accessory structure (garage) is 75 m².
8. The proposed integral garage will have dimensions of 9.66 m by 12.32 m;
Whereas the maximum permitted size of an accessory structure (garage) is 7.6 m by 7.6 m.

9. The proposed front porch will have dimensions of 8.39 m by 3.68 m;
Whereas the maximum permitted size of an accessory structure (porch) is 7.6 m by 7.6 m.
10. The proposed garage can accommodate up to four (4) parking spaces;
Whereas a maximum of two (2) parking spaces is permitted within an accessory structure.

12. 616 PHARMACY AVE

File Number:	A0306/16SC	Zoning	Residential Detached (RD) & Single Family Residential (S) Zone [ZR]
Owner(s):	KAWLRA POONAN JAY KAWLRA	Ward:	Scarborough Southwest (35)
Agent:	LEO MASTRANDREA	Heritage:	Not Applicable
Property Address:	616 PHARMACY AVE	Community:	Clairlea Community
Legal Description:	PLAN M463 LOT 243		

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed dwelling will cover 35.43% of the lot area;
Whereas the maximum permitted coverage is 33% of the lot area.
2. The proposed dwelling will be located 21.47 m from the original centreline of Kennedy Road (8.36 m from the front property line);
Whereas the minimum required front yard setback is 22 m from the original centreline of Pharmacy Avenue (8.89 m from the front property line).
3. The proposed dwelling will be located 6.88 m from the rear lot line;
Whereas the minimum required rear yard setback is 7.93 m.
4. The proposed dwelling will have a height of 7.6 m (8.2 m including parapet);
Whereas the maximum permitted height of a dwelling with a flat roof is 7.2 m (7.5 m including parapet).
5. The proposed second storey rear platform (balcony) will have an area of 8.14 m²;
Whereas the maximum permitted area of a platform is 4 m².

By-law No. 8978:

6. The proposed dwelling will cover 39.5% of the lot area;
Whereas the maximum permitted coverage is 33% of the lot area.
7. The proposed dwelling will be located 21.47 m from the original centreline of Kennedy Road (8.36 m from the front property line);
Whereas the minimum required front yard setback is 22 m from the original centreline of Pharmacy Avenue (8.89 m from the front property line).
8. The proposed dwelling will be located 6.88 m from the rear lot line;
Whereas the minimum required rear yard setback is 7.5 m.

13. 293 BLANTYRE AVE

File Number:	A0307/16SC	Zoning	RS - Residential Semi-Detached/T - Two Family Residential [ZZC]
Owner(s):	J DARAGH MAVSWORTH	Ward:	Scarborough Southwest (36)
Agent:	POMEROY ARCHITECTURE INC	Heritage:	Not Applicable
Property Address:	293 BLANTYRE AVE	Community:	Birchcliff Community
Legal Description:	PLAN 3288 LOT 7		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey rear addition to the existing two storey single family dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 36% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
2. To permit the proposed street yard parking as it is located in front of the front main wall of the addition, whereas the Zoning By-law does not permit street yard parking.

14. 4438 SHEPPARD AVE E UNITS 84 TO 111

File Number:	A0313/16SC	Zoning	Industrial District Commercial (MDC) Zone [Waiver]
Owners:	1359339 ONTARIO INC	Ward:	Scarborough-Rouge River (41)
Agent:	DORIS CHEUNG	Heritage:	Not Applicable
Property Address:	4438 SHEPPARD AVE E UNITS 84 TO 111	Employment District:	Marshalling Yard Employment District
Legal Description:	TORONTO CONDO PLAN 1644 LEVEL 3 UNIT 103		

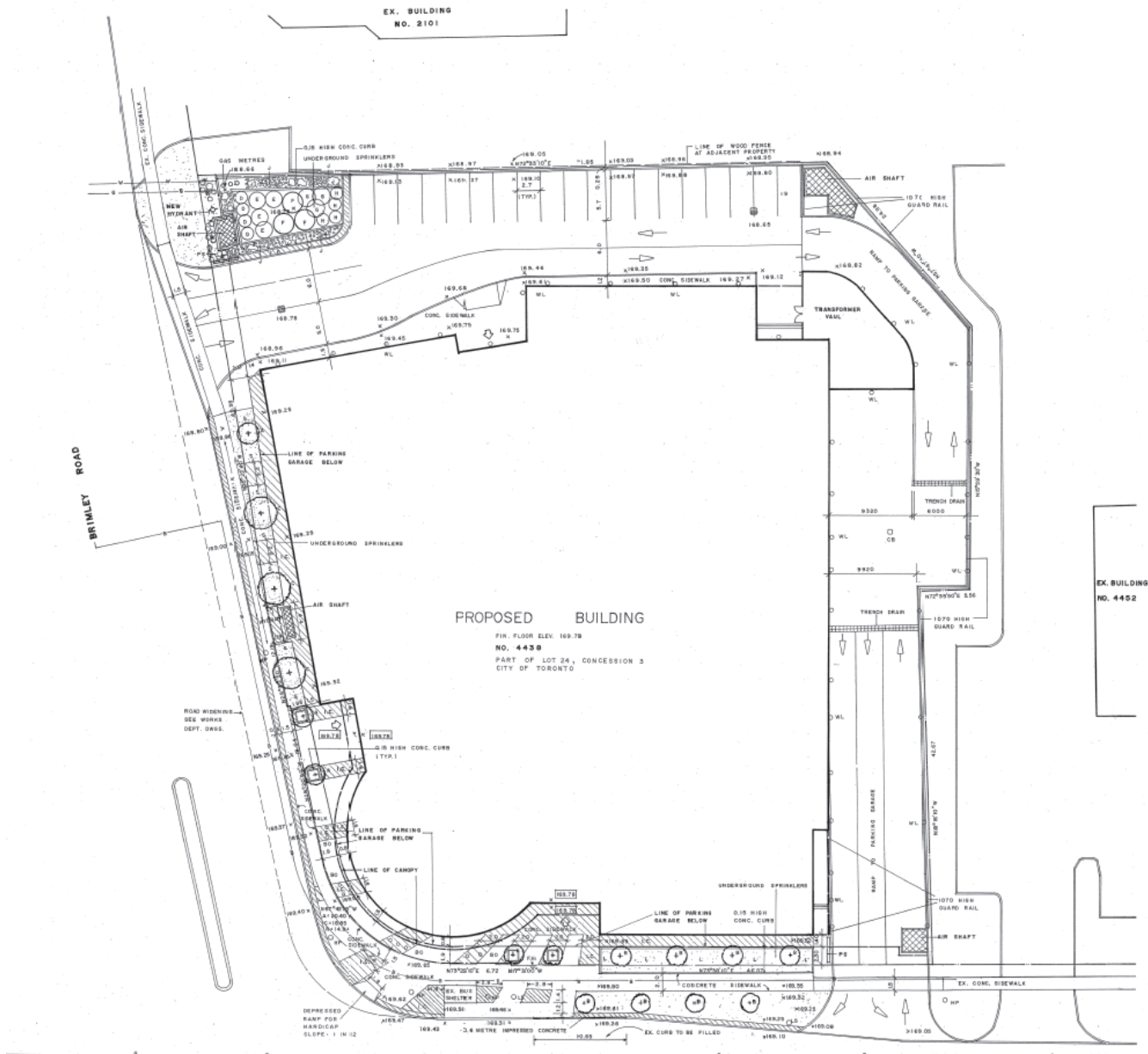
PURPOSE OF THE APPLICATION:

This application is for a variance to permit CCM Centre to provide programs for children and youth in its existing educational and training facility. In 2013, the Committee of Adjustment approved a variance to permit an adult educational and vocational training school. The CCM Centre is now proposing to expand its programs to include activities for children and youth.

REQUESTED VARIANCE TO THE ZONING BY-LAW:

By-law No. 24982:

1. To permit a 1,025 m² Educational and Training Facility to provide programs for adults, youth and children on the third floor of the building,
WHEREAS the Zoning By-law does not permit Educational and Training Facilities.



PROPOSED BUILDING
 FIN. FLOOR ELEV. 169.78
NO. 4438
 PART OF LOT 24, CONCESSION 3
 CITY OF TORONTO

Sheppard Avenue East



15. 73 HAREWOOD AVE

File Number:	A0315/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [Waiver]
Owner(s):	ERIC PHILLIP KETTLE	Ward:	Scarborough Southwest (36)
Agent:	KAM SEDANI	Heritage:	Not Applicable
Property Address:	73 HAREWOOD AVE	Community:	Cliffcrest Community
Legal Description:	PLAN 2347 LOT 273		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey single family dwelling. The existing dwelling will be demolished.

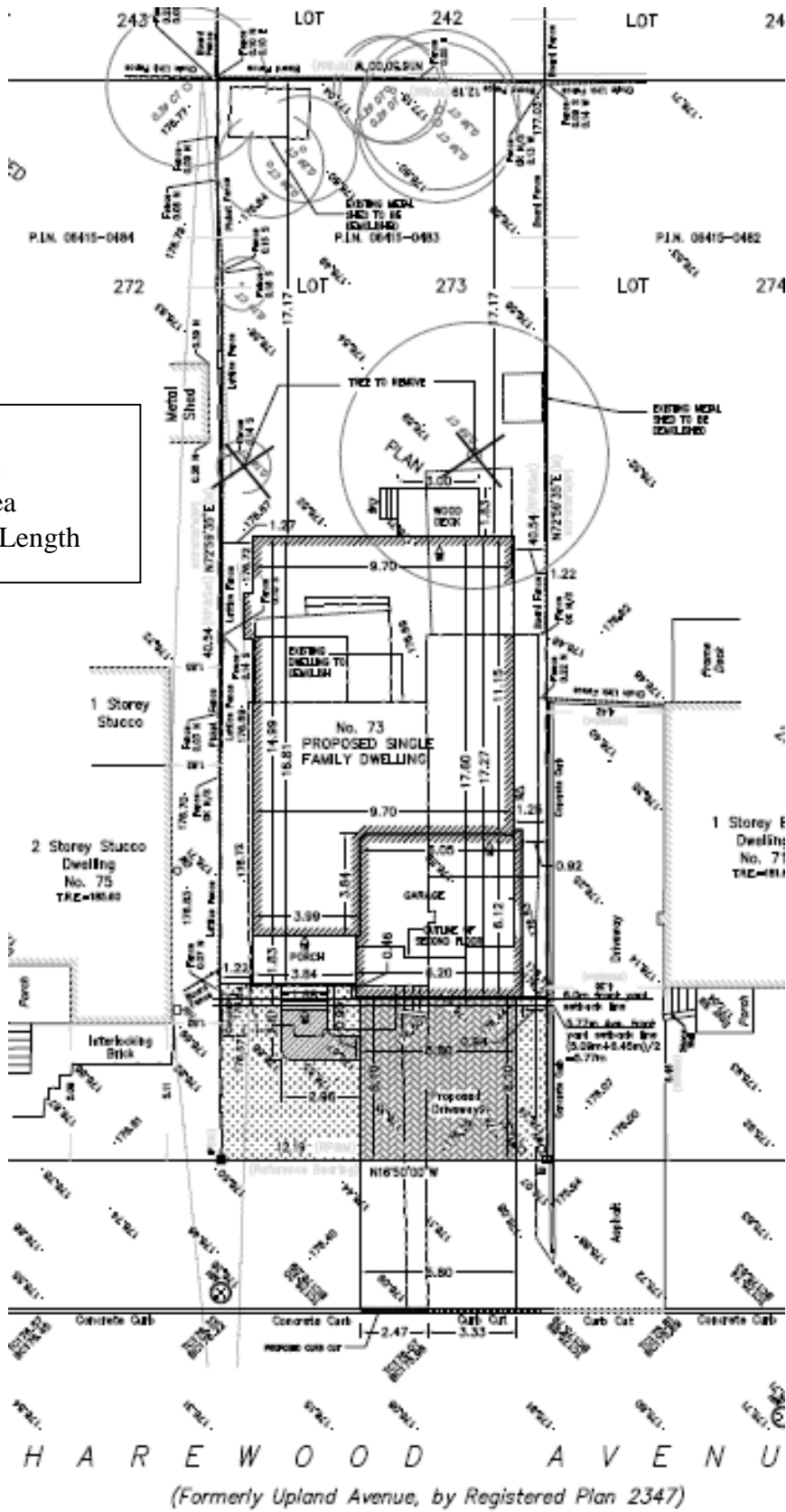
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & By-law No. 9676

1. To permit the proposed 34.2% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
2. To permit the proposed 277.8 square metres floor area or 0.57 times the lot area, whereas the Zoning By-law permits maximum 247 square metres or 0.5 time the lot area.

By-law No. 569-2013

3. To permit the proposed building length of 17.3 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.



VARIANCE:

- Coverage
- Floor Area
- Building Length

16. 53 CHINE DR

File Number:	A0318/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	CATHERINE GROGAN NIMA DEJPOUR	Ward:	Scarborough Southwest (36)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	53 CHINE DR	Community:	Cliffside Community
Legal Description:	PLAN 1566 LOT 442		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey single family dwelling. The existing dwelling will be demolished.

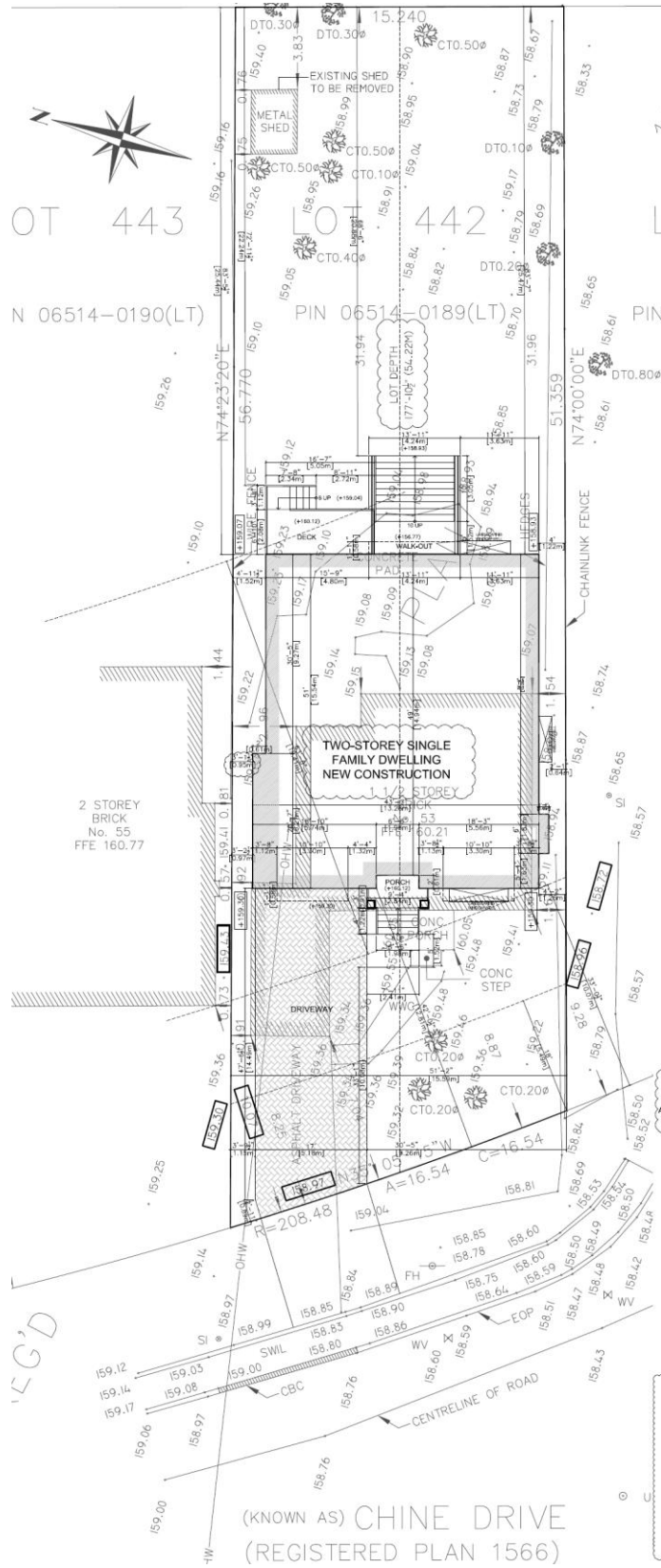
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 400 square metres floor area or 0.48 times the lot area, whereas the Zoning By-law permits maximum 334 square metres floor area or 0.4 time the lot area.
2. To permit the proposed 10 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
3. To permit the proposed 100% of side main walls to be above 7 metres, whereas the Zoning By-law requires 100% of side main walls to be below 7 metres.

By-law No. 9364

4. To permit the proposed 0.9 metres north and 1.22 metres south side yard setback, whereas the Zoning By-law requires a minimum 1.5 metres side yard setback.
5. To permit the proposed 9.84 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
6. To permit the proposed 400 square metres floor area or 0.48 times the lot area, whereas the Zoning By-law permits maximum 334 square metres or 0.4 time the lot area.



- VARIANCE:**
- Side Yard Setbacks
 - Floor Area
 - Building Height
 - Side Main Wall

17. 43 BUENA VISTA AVE

File Number:	A0325/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	NISHAMINI RATNALINGAM	Ward:	Scarborough-Agincourt (39)
Agent:	MEMAR ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	43 BUENA VISTA AVE	Community:	Tam O'Shanter Community
Legal Description:	PLAN 4401 LOT 110		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey single family dwelling. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 346 square metres floor area, whereas the Zoning By-law permits maximum 279 square metres floor area.
2. To permit the proposed 7.3 metres side main walls height, whereas the Zoning By-law permits maximum 7 metres side main walls height.
3. To permit 0 square metres of the first floor to be within 4 metres of the front main wall, whereas the Zoning By-law requires a minimum of 10 square metres of the first floor to be within 4 metres of the front main wall.
4. To permit the proposed 9.3 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.

By-law No. 12360

5. To permit the proposed 346 square metres floor area, whereas the Zoning By-law permits maximum 279 square metres floor area.

18. 938 DANFORTH RD

File Number:	A0326/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	PRABHADEVI SOMASUNDARAM DHAMODHARAN RENGASAMY	Ward:	Scarborough Southwest (35)
Agent:	ROSA DESIGNS LTD.	Heritage:	Not Applicable
Property Address:	938 DANFORTH RD	Community:	Eglinton Community
Legal Description:	PLAN 4298 LOT 81		

PURPOSE OF THE APPLICATION:

To maintain the two-storey detached house under construction on the property.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The house is 9.7 m in height
Whereas the maximum permitted building height is 9 m
2. The proposed building length is 17.3 m
Whereas the maximum permitted building length is 17 m measured between the portion of the front main wall closest to the front lot line and the portion of the rear main wall closest to the rear lot line.
3. The proposed deck area at the second floor level is 5.8 m²
Whereas the maximum permitted area of each platform is 4.0 m²
4. The proposed driveway width in the rear yard, leading to the rear yard parking spaces, is 5.53 m
Whereas the maximum permitted driveway width in the rear yard is 2.6 m

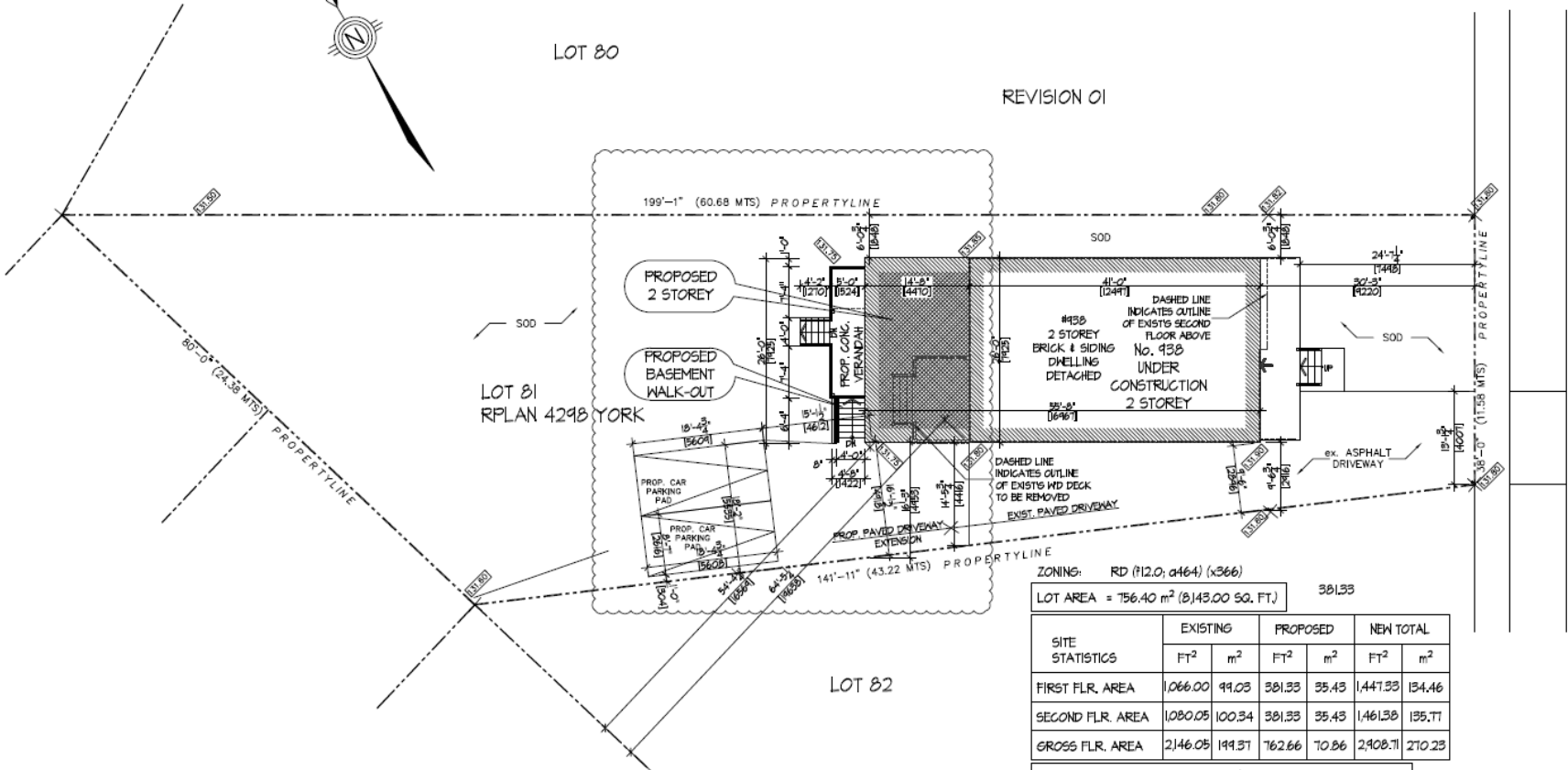
By-law No. 10048:

5. The house is 9.7 m in height
Whereas the maximum permitted building height is 9 m
6. The proposed rear yard setback is 16.5
Whereas the required rear yard setback is 16.7 m.
7. The proposed driveway width in the rear yard, leading to the rear yard parking spaces, is 5.53 m
Whereas the maximum permitted driveway width in the rear yard is 2.6 m



LOT 80

REVISION 01



ZONING: RD (R12.0, a164) (x366) 38133

LOT AREA = 756.40 m² (8,143.00 SQ. FT.)

SITE STATISTICS	EXISTING		PROPOSED		NEW TOTAL	
	FT ²	m ²	FT ²	m ²	FT ²	m ²
FIRST FLR. AREA	1,066.00	99.03	381.33	35.43	1,447.33	134.46
SECOND FLR. AREA	1,080.05	100.34	381.33	35.43	1,461.38	135.77
GROSS FLR. AREA	2,146.05	199.37	762.66	70.86	2,908.71	270.23

MAX. COVERAGE (33%) = 249.64 m ² (2,687.14 SQ. FT.)
EXIST'G COVERAGE (13.09%) = 99.03 m ²
PROP. COVERAGE (17.77%) = 134.46 m ²

DANFORTH ROAD

19. 2 MACK AVE

File Number:	A0328/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	CHANCHAL RAYMOND GODINO RAYMOND GODINA	Ward:	Scarborough Southwest (35)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	2 MACK AVE	Community:	Oakridge Community
Legal Description:	PLAN 1992 LOT 5		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey single family dwelling. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 0.2 metres setback from the property line to the eavestrough, whereas the Zoning By-law requires a minimum 0.3 metres setback from the property line to the eavestrough.
2. To permit the proposed 9.2 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
3. To permit the proposed 1.31 metres height of the first floor, whereas the Zoning By-law permits maximum 1.2 metres height of the first floor above established grade.
4. To permit the proposed building length of 19.2 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.
5. To permit the proposed building depth of 19.2 metres measured from the front yard setback requirement on a lot to the rear wall, whereas the Zoning By-law permits maximum building depth of 19 metres.

By-law No. 9812

6. To permit the proposed 9.2 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.

20. 70 DORSET RD

File Number:	A0332/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	JOHN FRANCIS HUGHES TARA CATHERINE HUGHES	Ward:	Scarborough Southwest (36)
Agent:	RESIDENTIAL DRAFTING SERVICE LTD	Heritage:	Not Applicable
Property Address:	70 DORSET RD	Community:	Cliffcrest Community
Legal Description:	PLAN 2347 LOT 135		

PURPOSE OF THE APPLICATION:

This application is for variances for a new two-storey house under construction on the property.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The propose building height is 9.4 m
Whereas the maximum permitted building height is 9 m
2. The house would have three storeys
Whereas a maximum of two storeys is permitted
3. The side walls would be 7.31 m in height
Whereas the maximum permitted wall height is 7 m
4. The propose first floor height is 1.44 m
Whereas the maximum permitted first floor height is 1.2 m above established grade
5. The proposed rear deck area is 19 m² at the second floor level
Whereas the maximum permitted area is 4.0 m²
6. The proposed front yard setback is 5.18 m measured to the front wall of the cold cellar
Whereas the minimum required front yard setback is 6 m
7. The proposed floor area, including the floor below grade, is 0.86 x the area of the lot (372 m² floor area)
Whereas the maximum permitted floor area is 0.5 x the area of the lot (216 m² floor area)

By-law No. 9396:

8. The propose building height is 9.4 m
Whereas the maximum permitted building height is 9 m
9. The basement height is 1.14 m
Whereas the maximum permitted basement height is 1.0 m

21. 7 REDLAND CRES E

File Number:	A0334/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	HUIYAN WANG	Ward:	Scarborough Southwest (36)
Agent:	NEXT PROJECT	Heritage:	Not Applicable
Property Address:	7 REDLAND CRES E	Community:	Cliffcrest Community
Legal Description:	PLAN M350 PT BLK H		

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed building length is 27.2 m
Whereas the maximum permitted building length is 17 m measured between the portion of the front main wall closest to the front lot line and the portion of the rear main wall closest to the rear lot line.
2. The proposed building depth is 27.2 m
Whereas the maximum permitted building length is 19 m measured between the front yard setback required on the lot and the portion of the rear main wall furthest from the required front yard setback

By-law No. 9396:

3. The proposed dwelling would be located 28 m from the top of the bluff
Whereas the extent of Major Open Space (O) is within 76 m of the top of bluff.
(In the Major Open Spaces zone, the erection, structural alteration and/or maintenance of buildings, other than public recreational buildings, is prohibited.)

22. 308 KENNEDY RD

File Number:	A0335/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	MUHAMMAD ASIM CHOHAN	Ward:	Scarborough Southwest (36)
Agent:	LEO MASTRANDREA	Heritage:	Not Applicable
Property Address:	308 KENNEDY RD	Community:	Cliffside Community
Legal Description:	PLAN M409 LOT 271		

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 and No. 9364:

1. The proposed dwelling will be located 15.2 m from the original centreline of Kennedy Road; Whereas the minimum required front yard setback is 22 m from the centreline of the original road allowance of Kennedy Road.
2. A total of 60% of the required front yard will be maintained as soft landscaping (172.77 m²); Whereas a minimum of 75% of the required front yard landscaping shall be maintained as soft landscaping (215.39 m²).

By-law No. 569-2013:

3. The proposed dwelling will have a length of 18.6 m; Whereas the maximum permitted dwelling length is 17 m.
4. The eaves overhang, including the eavestrough, will be located 0.21 m from the south side lot line; Whereas the minimum required side yard setback for an eaves overhang is 0.3 m.

23. 87 SCARDEN AVE

File Number:	A0336/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	WADIKUMBURE CHANDRALATHA CHANDANA DANAPALA MUDIYANSELAGE	Ward:	Scarborough-Agincourt (40)
Agent:	LEO MASTRANDREA	Heritage:	Not Applicable
Property Address:	87 SCARDEN AVE	Community:	Tam O'Shanter Community
Legal Description:	PLAN M792 LOT 50		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new second storey addition with a two-storey rear addition to the existing one storey single family dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 275 square metres floor area, whereas the Zoning By-law permits maximum 240 square metres floor area.
2. To permit 5.5 square metres of the first floor to be within 4 metres of the front main wall, whereas the Zoning By-law requires a minimum of 10 square metres of the first floor to be within 4 metres of the front main wall.

By-law No. 12360

3. To permit the proposed 1.57 metres west and 1.53 metres east side yard setback, whereas the Zoning By-law requires a minimum 1.8 metres side yard setback.

24. 10 HAREWOOD AVE

File Number:	A0337/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	JEREMY SMITH	Ward:	Scarborough Southwest (36)
Agent:	JEREMY SMITH	Heritage:	Not Applicable
Property Address:	10 HAREWOOD AVE	Community:	Cliffcrest Community
Legal Description:	PLAN 2347 LOT 307		

PURPOSE OF THE APPLICATION:

To construct a new two storey detached house.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed floor area is 0.51 x lot area (252 m²)
Whereas the maximum permitted floor area is 0.5 x lot area (247 m²)
2. None of the first floor area is within 4 m of the front main wall
Whereas a minimum of 10 m² of the first floor must be located within 4 m of the front main wall.

25. 15 BLEDLow MANOR DR

File Number:	A0339/16SC	Zoning	Residential Detached (RD) & Single Family (S) Zone [Waiver]
Owner(s):	ANDY ANASTASIS FLOROSZ ALISON ALEXANDRA FLOROSZ	Ward:	Scarborough East (43)
Agent:	ALISON ALEXANDRA FLOROSZ	Heritage:	Not Applicable
Property Address:	15 BLEDLow MANOR DR	Community:	Guildwood Community
Legal Description:	PLAN M943 LOT 43		

PURPOSE OF THE APPLICATION:

To construct a second storey addition over the existing garage and to construct a new covered front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

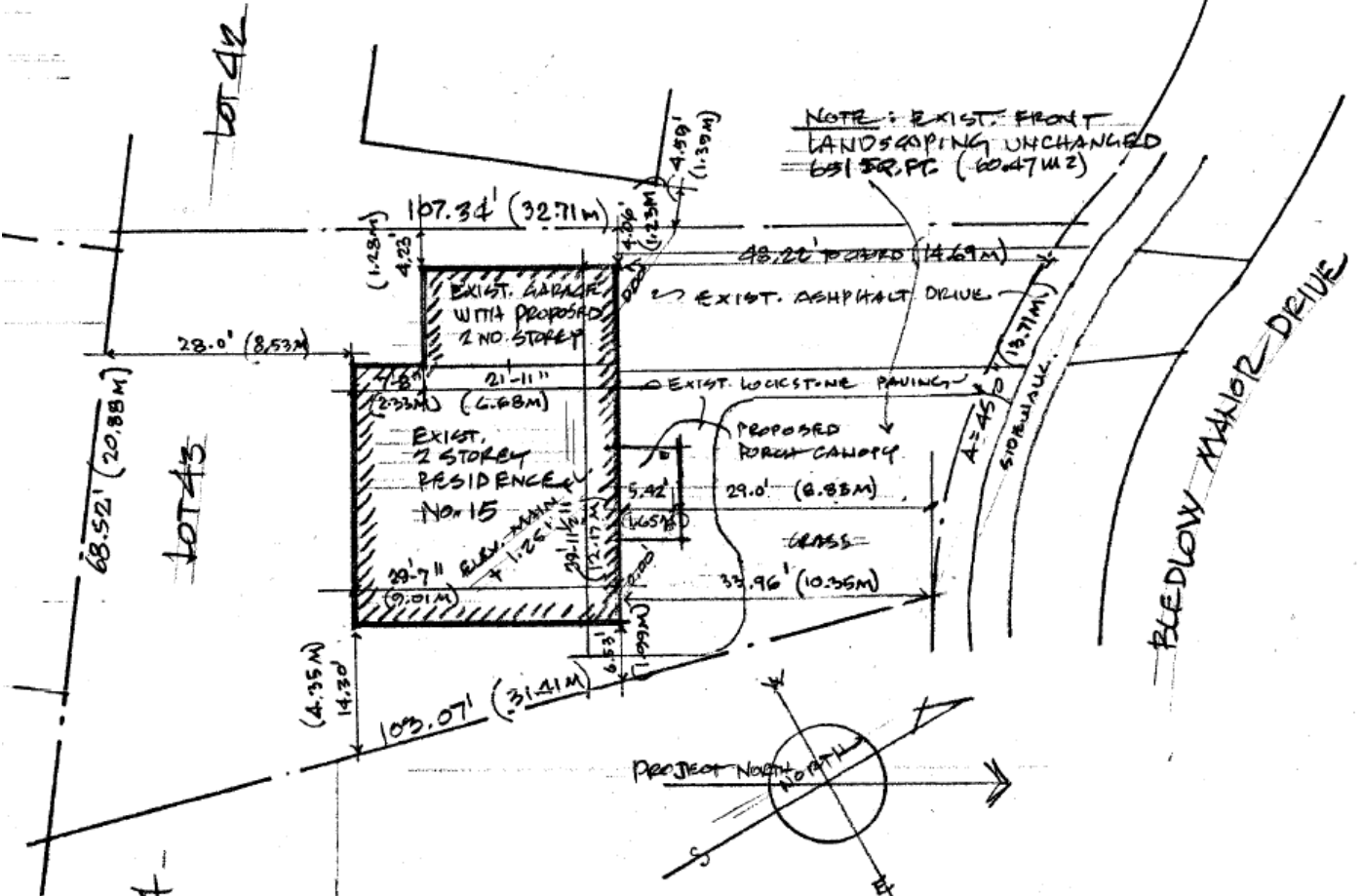
By-law No. 9676:

The proposed second storey addition will be located 1.23 m from the west side lot line;
Whereas the minimum required side yard setback is 1.2 m plus 0.6 m for each additional storey, for a total required side yard setback of 1.8 m.

Note: the side yard setback on the ground floor is an existing condition.

SITE PLAN INFO TAKEN FROM - PLAN OF SURVEY OF
 LOTS 42 AND 43, PLAN M-943
 LAND TITLES OFFICE, TORONTO, TOWNSHIP OF SCARBOROUGH
 BY JOHN M. SKIMMING OLS. DATED JULY 10/63.

3'0" W100



• SITE PLAN - SCALE 1" = 20'-0" (METRIC 1:200)

SITE STATISTICS:

LOT AREA	5469 SQ. FT. (508.07 M ²)
MAX. ALLOWABLE COVERAGE 33%	1804.7 SQ. FT. (167.6 M ²)
EXISTING COVERAGE	1097.7 SQ. FT. (101.97 M ²)
PROPOSED COVERAGE (EXIST. + PORCH)	1142.7 SQ. FT. (106.16 M ²)
	(1097.7 FT + 45.0 FT)
MAX. SQ. FT. ALLOWED	2734.5 SQ. FT. (254.03 M ²)
MAX. SQ. FT. PROPOSED (FIRST FLOOR, SECOND FLOOR + ADDITION)	1967.5 SQ. FT. (192.78 M ²)

26. 38 HUNT CLUB DR

File Number:	A0340/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	KIMIKO YAMADA	Ward:	Scarborough Southwest (36)
Agent:	NORSEMAN CONSTRUCTION	Heritage:	Not Applicable
Property Address:	38 HUNT CLUB DR	Community:	Birchcliff Community
Legal Description:	PLAN 3153 PT LOT 51 PT LOT 52		

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition, a two-storey south side addition with integral garage, a one-storey rear addition and a second storey over the existing dwelling. The proposal also includes interior and exterior renovations, a new rear deck and new front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 and No. 8786:

1. The altered dwelling will cover 38.35% of the lot area (136.47 m²);
Whereas the maximum permitted coverage is 33% of the lot area (117.42 m²).
2. The altered dwelling will be located 0.3 m from the south side lot line;
Whereas the minimum required side yard setback is 0.45 m.

By-law No. 569-2013:

3. The altered dwelling will have a floor space index equal to 0.66 times the lot area (233.27 m²);
Whereas the maximum permitted floor space index is 0.6 times the lot area (213.49 m²).

By-law No. 8786:

4. The altered dwelling will have a floor space index equal to 0.65 times the lot area (229.63 m²);
Whereas the maximum permitted floor space index is 0.6 times the lot area (213.49 m²).
5. The altered dwelling will be located 5.9 m from the front lot line;
Whereas the minimum required front yard setback is 6 m.

27. 10 MEADOWCLIFFE DR

File Number:	A0341/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	KARTHIKA SITHAMPARANATHAN	Ward:	Scarborough Southwest (36)
Agent:	LUC BOULIANE ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	10 MEADOWCLIFFE DR	Community:	Cliffcrest Community
Legal Description:	PLAN M440 PT LOT 160 RP 66R25107 PART 23		

PURPOSE OF THE APPLICATION:

Proposal is to demolish the existing one-storey dwelling and construct a new three-storey detached dwelling and integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

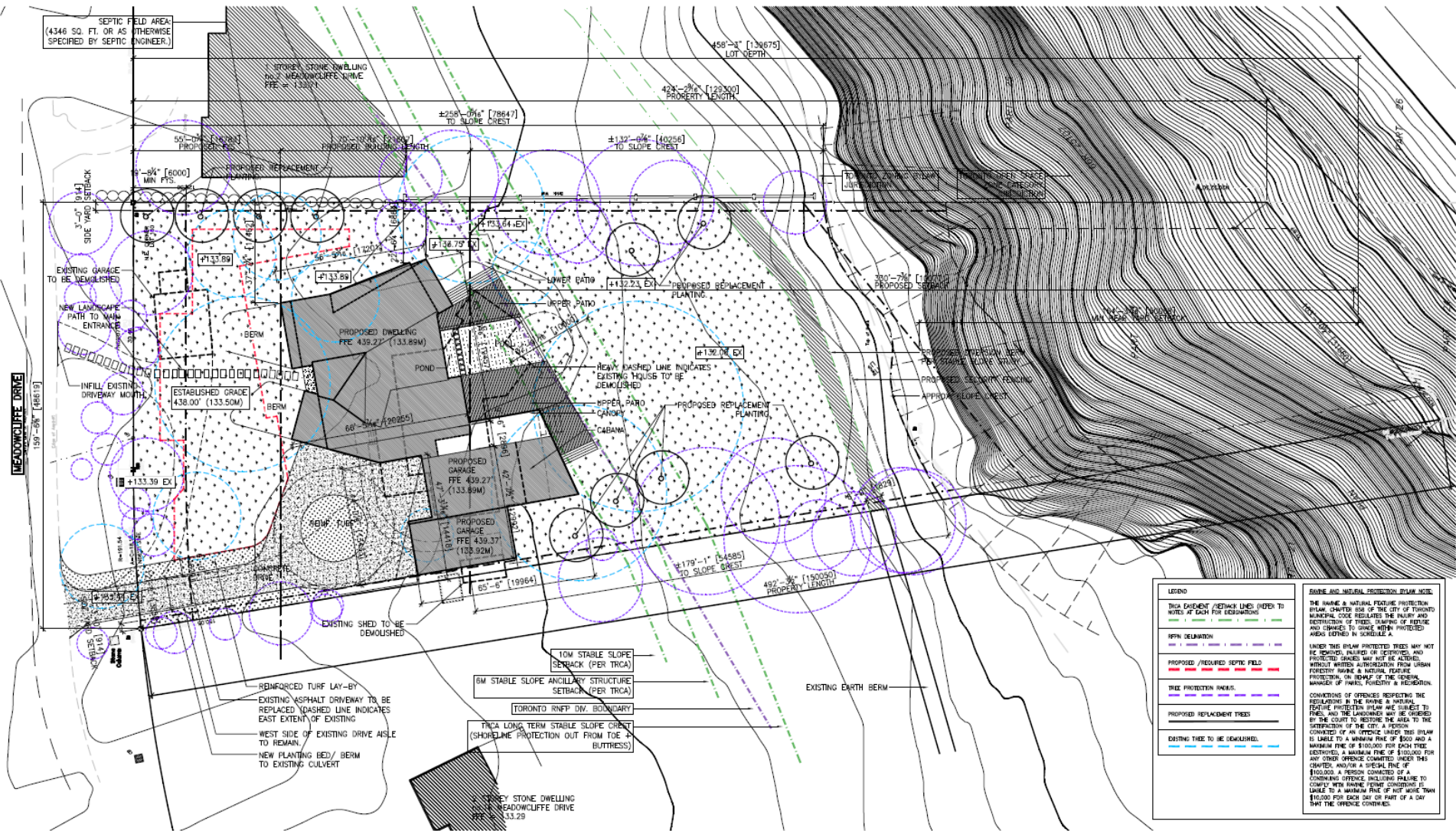
By-law No. 569-2013:

1. The proposed dwelling will have a height of 10.74 m;
Whereas the maximum permitted height of a dwelling with a flat roof is 7.2 m.
2. The proposed dwelling will be three (3) storeys in height;
Whereas the maximum permitted number of storeys is two (2).
3. The proposed dwelling will have two (2) third-storey platforms on the rear elevation;
Whereas the maximum permitted number of platforms at or above the second storey is one (1) per side.
4. The proposed third-storey platforms will have an area of 52.18 m² (terrace west) and 61.31 m² (terrace east);
Whereas the maximum permitted area of each platform at or above the second storey is 4 m².
5. The proposed driveway will be 13.4 m wide;
Whereas the maximum permitted driveway width is 9 m.

By-law No. 9396:

6. The proposed dwelling will be located 37 m from the top of the bluff;
Whereas the extent of major open space is within 76 m of the top of the bluff.
Note: In the Major Open Spaces (O) zone, the erection, structural alteration and/or maintenance of buildings, other than public recreational buildings, is prohibited.
7. The proposed dwelling will have a height of 10.74 m;
Whereas the maximum permitted dwelling height is 9 m.

8. The proposed dwelling will be three (3) storeys in height;
Whereas the maximum permitted number of storeys is two (2).
9. The proposed integral garage will have a height of 3.95 m, as measured to the underside of the roof joists;
Whereas the maximum permitted height of a garage is 3.7 m.
10. The proposed integral garage will have a total floor area of 141.26 m²;
Whereas the maximum permitted area of a garage is 75 m².
11. The proposed integral garage will have dimensions of 13.79 m by 12.97 m;
Whereas the maximum permitted dimensions of a garage/accessory structure are 7.6 m by 7.6 m.
12. The proposed number of parking spaces is four (4);
Whereas the maximum permitted number of parking spaces within a private garage is two (2).
13. The proposed driveway will be 13.4 m wide;
Whereas the maximum permitted driveway width is 9 m.



LEGEND	SETBACK AND NATURAL PROTECTION BYLAW NOTE
TRCA EASEMENT / SETBACK LINES (REFER TO NOTES AT EACH FOR EXPLANATIONS)	THE NAME & NATURAL FEATURE PROTECTION BYLAW, CHAPTER 508 OF THE CITY OF TORONTO MUNICIPAL CODE REGULATES THE PLANTING AND REMOVAL OF TREES, SHRUBS OR BUSHES AND CHANGES TO GRADE WITH PROTECTED AREAS DEFINED IN SCHEDULE 1.
RFPN DELINEATION	UNLESS THIS DRAWING INDICATES TREES MAY NOT BE REMOVED, INJURED OR DESTROYED, AND PROTECTED AREAS MAY NOT BE ALTERED WITHOUT WRITTEN AUTHORIZATION FROM URBAN FORESTRY SERVICES & NATURAL FEATURES PROTECTION, ON BEHALF OF THE GENERAL MANAGER OF PARKS, FORESTRY & RECREATION.
PROPOSED / REQUIRED SEPTIC FIELD	CONVICTION OF OFFENCES RESPECTING THE PROTECTION OF TREES AND NATURAL FEATURES PROTECTION BYLAW ARE SUBJECT TO FINES, AND THE LANDSCAPE MAY BE ORDERED BY THE COURT TO RESTORE THE AREA TO THE SATISFACTION OF THE CITY. A PERSON CONVICTED OF AN OFFENCE UNDER THIS BYLAW IS LIABLE TO A MINIMUM FINE OF \$500 AND A MAXIMUM FINE OF \$10,000 FOR EACH TREE DESTROYED, A MINIMUM FINE OF \$10,000 FOR ANY OTHER OFFENCE COMMITTED UNDER THIS BYLAW, AND/OR A SPECIAL FINE OF \$10,000. A PERSON CONVICTED OF A CONTINUING OFFENCE INCLUDING FAILURE TO COMPLY WITH ANY FINE COMMITTED IS LIABLE TO A MAXIMUM FINE OF NOT MORE THAN \$10,000 FOR EACH DAY OR PART OF A DAY THAT THE OFFENCE CONTINUES.
TREE PROTECTION INDICES	
PROPOSED REPLACEMENT TREES	
EXISTING TREE TO BE DEMOLISHED	

- 10M STABLE SLOPE SETBACK (PER TRCA)
- 6M STABLE SLOPE ANCILLARY STRUCTURE SETBACK (PER TRCA)
- TORONTO RFPN DIV. BOUNDARY
- TRCA LONG TERM STABLE SLOPE CREST (SHORELINE PROTECTION OUT FROM TOE & BUTTRESS)

REINFORCED TURF LAY-BY EXISTING ASPHALT DRIVEWAY TO BE REPLACED (DASHED LINE INDICATES EAST EXTENT OF EXISTING WEST SIDE OF EXISTING DRIVE AISLE TO REMAIN) NEW PLANTING BED / BERM TO EXISTING CULVERT

1 STORY STONE DWELLING 133.29 MEADOWCLIFFE DRIVE FFE 133.29

28. 29 DUNELM ST

File Number:	A0344/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [WAIVER]
Owner(s):	SHABNAM RAHMAN SHAFIQUR RAHMAN	Ward:	Scarborough Southwest (36)
Agent:	CANTAM GROUP	Heritage:	Not Applicable
Property Address:	29 DUNELM ST	Community:	Scarborough Village Community
Legal Description:	PLAN M1642 LOT 1		

REVISED-VariANCES 7, 8 and 9 added

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new one storey addition over the front of the existing single family dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

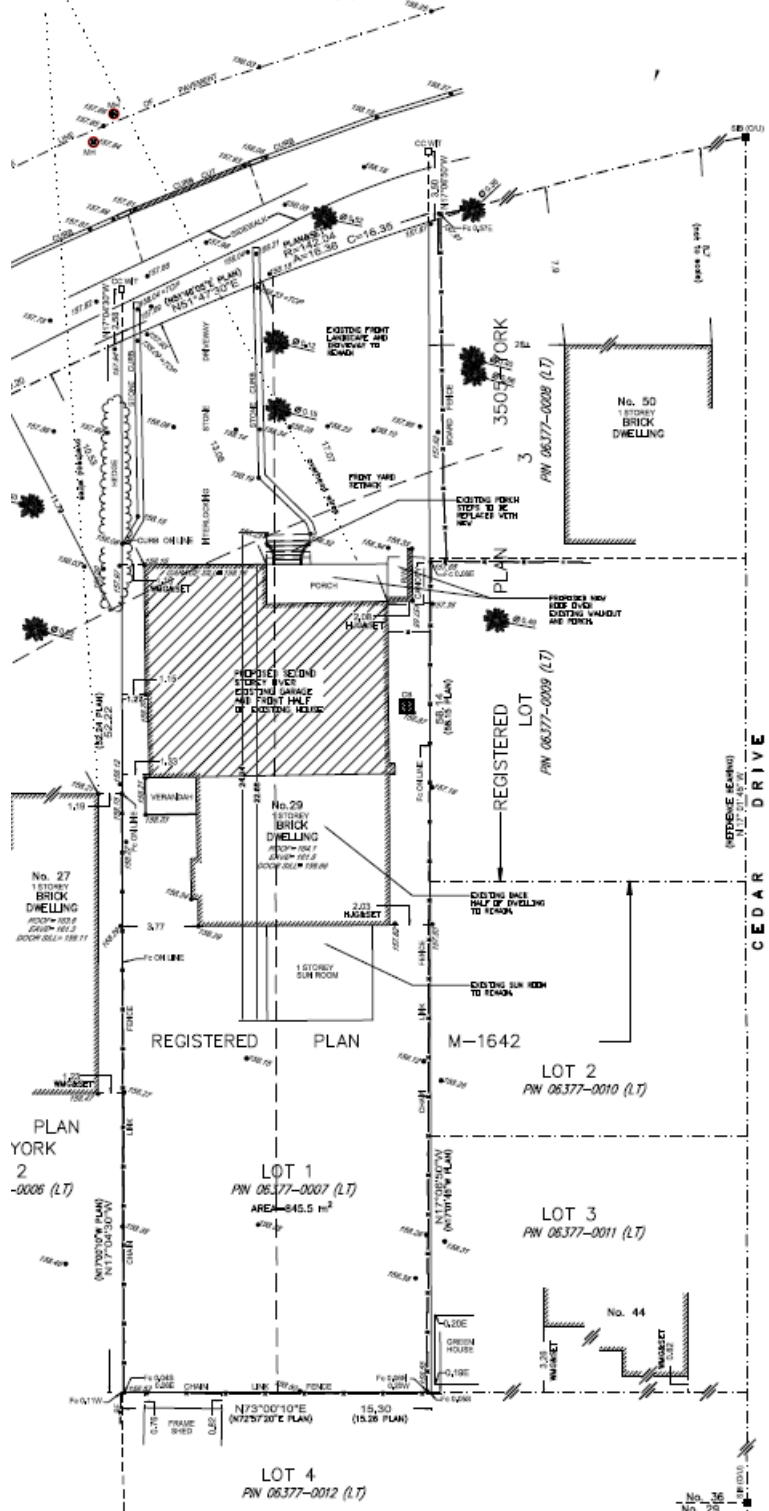
1. To permit the proposed 9.5 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
2. To permit the proposed 7.35 metres height of the exterior main walls, whereas the Zoning By-law permits maximum 7 metres height of the exterior main walls.
3. To permit the proposed floor space index of 0.45 times the lot area, whereas the Zoning By-law permits maximum floor space index of 0.4 times to the lot area.
4. To permit the proposed 1.1 metres west side yard setback, whereas the Zoning By-law requires a minimum 1.2 metres side yard setback.

By-law No. 10010

5. To permit the proposed 9.5 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
6. To permit the proposed floor space index of 0.45 times the lot area, whereas the Zoning By-law permits maximum floor space index of 0.4 times to the lot area.
7. To permit the proposed floor space index of 0.45 times the lot area, whereas the Zoning By-law permits maximum floor space index of 0.4 times to the lot area.

8. To permit the proposed 1.16 metres basement height, whereas the Zoning By-law permits maximum 1 metres basement height.
9. To permit the proposed 1.1 metres side yard setback, whereas the Zoning By-law requires a minimum 1.8 metres side yard setback.

DUNELM STREET
 FORMERLY ELM STREET
 BY REGISTERED PLAN 3505-YORK
 PIN 06478-0119 (L.T.)



- VARIANCE:**
- Building Height
 - Main Wall Height
 - Floor Space Index
 - West Side Yard Setback

29. 30 DELAWANA DR

File Number:	A0350/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	SUKHVINDER KAUR SIKAND	Ward:	Scarborough Centre (38)
Agent:	DTECHLINE INTERNATIONAL	Heritage:	Not Applicable
Property Address:	30 DELAWANA DR	Community:	Woburn Community
Legal Description:	PLAN M740 LOT 524		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to permit the existing carport, greenhouse and the new side deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 0.85 metres east side yard setback, whereas the Zoning By-law requires a minimum 1.2 metres side yard setback.
2. To permit the proposed 7.3 metres rear yard setback, whereas the Zoning By-law requires a minimum 7.5 metres rear yard setback.

By-law No. 9510

3. To permit the proposed 11.5 metres by 3.68 metres dimensions of the carport and greenhouse, whereas the Zoning By-law permits maximum 7.6 metres by 7.6 metres dimensions for an accessory structure.
4. To permit the proposed 0.85 metres east side yard setback, whereas the Zoning By-law requires a minimum 1.2 metres side yard setback.

30. 386 KENNEDY RD

File Number:	A0356/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	DIMITRIOS GEORGIU	Ward:	Scarborough Southwest (35)
Agent:	LEMCAD CONSULTANTS	Heritage:	Not Applicable
Property Address:	386 KENNEDY RD	Community:	Birchmount Park Community
Legal Description:	PLAN 2050 LOT 310		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey single family dwelling with a detached two-car garage. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 2.3 metres building setback from a side lot line that abuts Kennedy Road, whereas the Zoning By-law requires a minimum 5.7 metres building setback from a side lot line that abuts a street.
2. To permit the proposed 36% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
3. To permit the proposed 4.7 square metres platform (second floor terrace), whereas the Zoning By-law permits maximum 4 square metres platforms at or above the second storey.
4. To permit the proposed ground floor porch and second floor terrace to encroach into the required side yard setback 4.01 metres, whereas the Zoning By-law permits a maximum 1.5 metres encroachment into the required minimum side yard setback if the side yard abuts a street.
5. To permit the proposed 2.7 metres wide exterior stairs of the main porch to encroach into the required minimum building setback, whereas the Zoning By-law permits exterior stairs to encroach into a required minimum building setback if no wider than 2 metres.

By-law No. 9174

6. To permit the proposed 14.7 metres building setback from the centre line of the original road allowance, whereas the Zoning By-law requires a minimum 16 metres building setback from the centre line of the original road allowance.

7. To permit the proposed 2.3 metres east side yard setback, whereas the Zoning By-law requires a minimum 3.6 metres side yard setback abutting a side street.
8. To permit the proposed 36% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
9. To permit the proposed 7.62 metres driveway width, whereas the Zoning By-law permits maximum 6 metres driveway width.

31. 86 BELLAMY RD S

File Number:	A0357/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	DANA TOMAS NORMAN VILLAR	Ward:	Scarborough Southwest (36)
Agent:	LIRO STUDIO	Heritage:	Not Applicable
Property Address:	86 BELLAMY RD S	Community:	Cliffcrest Community
Legal Description:	PLAN 4338 LOT 38		

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed dwelling will have a floor space index equal to 0.53 times the lot area (367.59 m²);
Whereas the maximum permitted floor space index 279 m².

By-law No. 9396:

2. The proposed dwelling will have a total floor area equal to 0.52 times the lot area (362.94 m²);
Whereas the maximum permitted floor area is 279 m².

32. 7 PARKLAND RD

File Number:	A0358/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	STEVEN JOHN LEWIS PELTON AMADA HELENE PELTON	Ward:	Scarborough Southwest (36)
Agent:	AMADA HELENE PELTON	Heritage:	Not Applicable
Property Address:	7 PARKLAND RD	Community:	Birchcliff Community
Legal Description:	PLAN 3288 LOT 44		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to convert the garage to living space. The Committee of Adjustment approved variances for a second floor addition in April 2014.

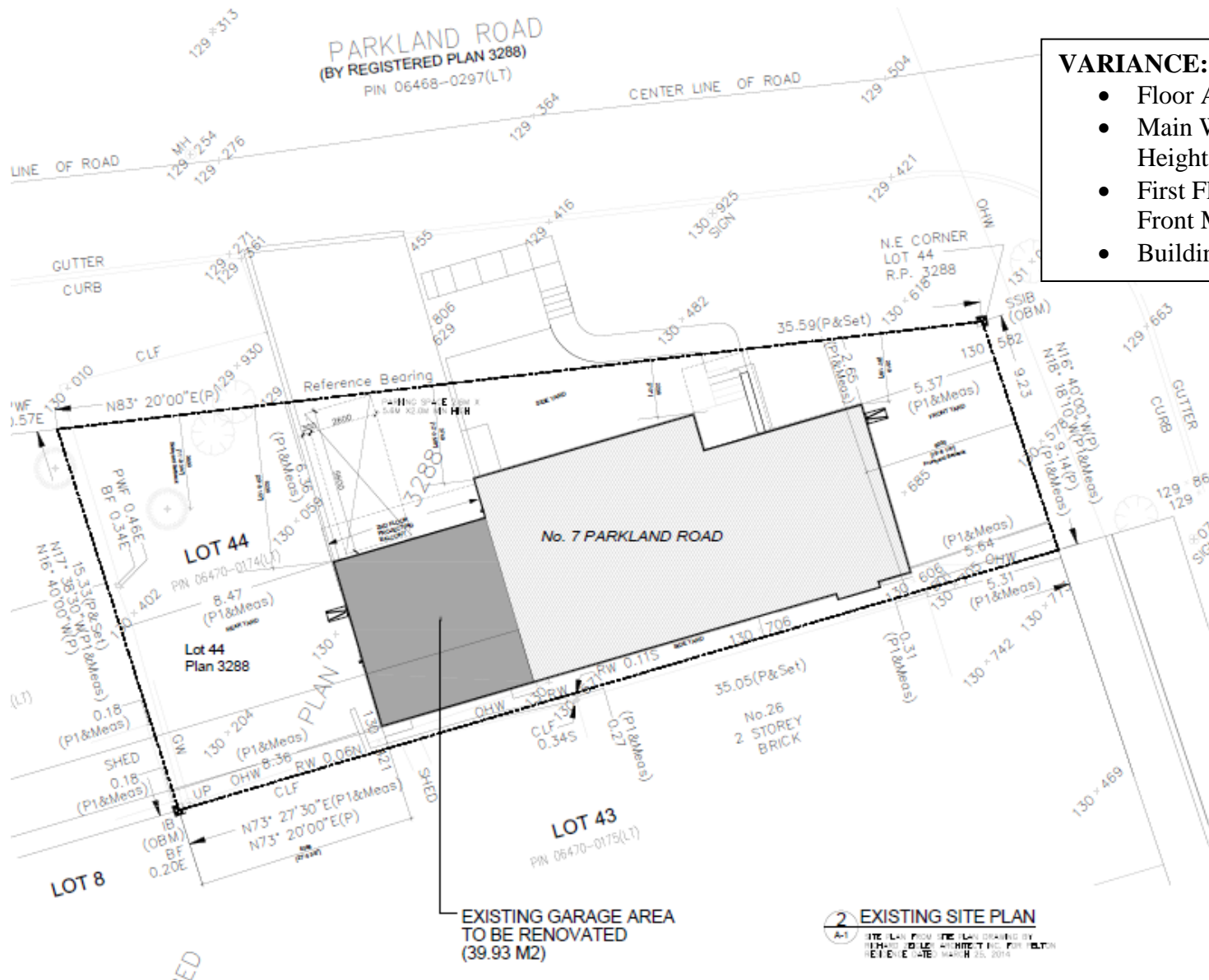
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed floor area of 294.01 square metres or 0.68 times the lot area, whereas the Zoning By-law permits maximum floor area of 215.21 or 0.5 times the lot area.

By-law No. 8786

2. To permit the proposed floor area of 294.01 square metres or 0.68 times the lot area, whereas the Zoning By-law permits maximum floor area of 215.21 or 0.5 times the lot area. *Note: The Committee of Adjustment approved floor area of 249.3 square metres or 0.58 times the lot area (A048/14SC).*



VARIANCE:

- Floor Area
- Main Walls Height
- First Floor within Front Main Wall
- Building Height

33. 33 HUNT CLUB DR

File Number:	A0359/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	MICHELE POPYNICK SCOTT BARK	Ward:	Scarborough Southwest (36)
Agent:	NORSEMAN CONSTRUCTION	Heritage:	Not Applicable
Property Address:	33 HUNT CLUB DR	Community:	Birchcliff Community
Legal Description:	PLAN 3153 LOT 8		

PURPOSE OF THE APPLICATION:

To construct a two-storey rear and south side addition, a second storey addition over the existing dwelling, a front covered porch and an integral garage. The proposal includes renovations to the interior and to the exterior facade.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 and No. 8786:

1. The altered dwelling will cover 40.5% of the lot area (144.41 m²);
Whereas the maximum permitted coverage is 33% of the lot area (117.63 m²).

By-law No. 569-2013:

2. The altered dwelling will have a floor space index equal to 0.72 times the lot area (256.15 m²);
Whereas the maximum permitted floor space index is 204 m².
3. The altered dwelling will be located 0.3 m from the south side lot line;
Whereas the minimum required side yard setback is 0.45 m.
4. The proposed eaves, including the eavestrough, will project into the required minimum building setback on both the north and south sides by 0.152 m;
Whereas the maximum permitted eaves encroachment is 0 m.

By-law No. 8786:

5. The altered dwelling will have a total floor area equal to 0.71 times the lot area (253.16 m²);
Whereas the maximum permitted floor area is 204 m².
6. The altered dwelling will be located 0.26 m from the north side lot line and 0.3 m from the south side lot line;
Whereas the minimum required side yard setback is 0.45 m.

