

Thursday, January 12, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0015/16NY	Zoning	R6/RD(f12.0;a370)(ZR)
Owner(s):	SEYED AMIR NAGHAVI	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	215 ELMHURST AVE	Community:	North York
Legal Description:	PLAN M389 E PT LOT 176 W PT LOT 177		

Notice was given and the application considered on Thursday, January 12, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever a portion of land for the purpose of a lot addition to create a new building lot.

RETAINED - Part 4**Address to be assigned**

Part 4 has a lot frontage of 10.16m and a lot area of 364.34m². The lot will be redeveloped with a new detached two-storey residential dwelling requiring variances to the applicable zoning by-law(s) as outlined in application A0272/16NY.

CONVEYED - Part 3**Address to be assigned**

Part 3 has a lot frontage of 5.08m and a lot area of 182.2m². Part 3 will be added to the Part 2 (severed from B0016/16NY) to create a new building lot with a frontage of 10.16m and a lot area of 364.34m². Parts 2 and 3 will be redeveloped with a new detached two-storey residential dwelling requiring variances to the applicable zoning by-law(s) as outlined in A0273/16NY.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND RECEIVED AND DEPOSITED

DATE .2016

DATE .2016

Z. ZENG
ONTARIO LAND SURVEYOR

REPRESENTATIVE OF LAND REGISTRAR FOR THE LAND TITLES DIVISION OF THE TORONTO REGISTRY OFFICE (No. 66)

PLAN 66R--

SCHEDULE

PART	PART OF LOT	REGISTERED PLAN	PART OF PIN	AREA (m ²)
1	175 AND 176	10145-0141(LT)	10145-0141(LT)	364.4
2	176	10145-0141(LT)	10145-0141(LT)	182.2
3	176 AND 177	10145-0142(LT)	10145-0142(LT)	182.2
4	177	10145-0142(LT)	10145-0142(LT)	364.4

PLAN OF SURVEY OF LOT 176 AND PART OF LOTS 175 AND 177 REGISTERED PLAN M-389 CITY OF TORONTO (FORMERLY THE CITY OF NORTH YORK)

SCALE 1:200

MANDARIN SURVEYORS LIMITED, O.L.S. ©

METRIC

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND

- DENOTES MONUMENT SET
- DENOTES IRON BAR
- SB DENOTES STANDARD IRON BAR
- SSB DENOTES SHORT STANDARD IRON BAR
- WT DENOTES WITNESS
- RP DENOTES REGISTERED PLAN M-389
- P1 DENOTES PLAN OF SURVEY BY W.S. GIBSON & SONS, O.L.S., DATED DECEMBER 10, 1953
- P2 DENOTES PLAN 66R-15688 DATED FEBRUARY 2, 1951
- P3 DENOTES PLAN OF SURVEY BY W.S. GIBSON & SONS, O.L.S., DATED FEBRUARY 2, 1951
- BA1 DENOTES PLAN BA-1492
- BA2 DENOTES PLAN BA-1493
- BA3 DENOTES PLAN BA-1493
- N.S.E.W DENOTES NOT IDENTIFIABLE
- N.S.W DENOTES NORTH SOUTH, EAST, WEST
- B.F. DENOTES BOARD FENCE
- W.F. DENOTES WIRE FENCE
- C.L.F. DENOTES CHAIN LINK FENCE
- M DENOTES MEASURED
- SCP DENOTES SPECIFIED CONTROL POINTS

NOTES

BEARINGS ARE M.T.M. GRID DERIVED FROM SPECIFIED CONTROL POINTS 02019710753 AND 02018990003, M.T.M. ZONE 10, NAD83 DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99987224

SURVEYOR'S CERTIFICATE

I CERTIFY THAT

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 17th DAY OF JANUARY, 2016

MARCH 30, 2016

DATE

Z. ZENG
ONTARIO LAND SURVEYOR

MANDARIN SURVEYORS LIMITED

ONTARIO LAND SURVEYOR

CANADA LANDS SURVEYOR

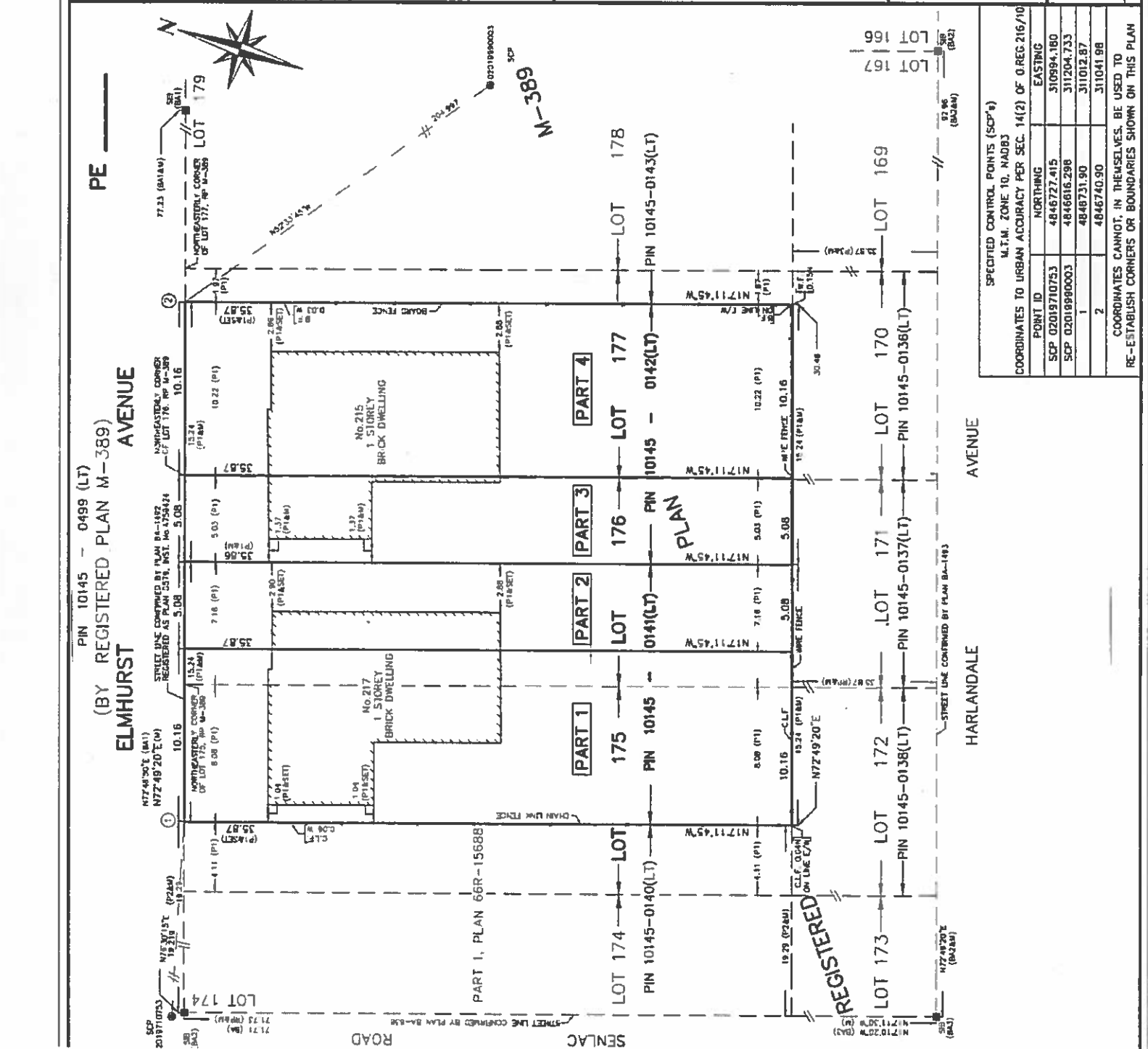
WWW.MANDARINSURVEYOR.COM

40 RAVENCLIFF CRESCENT TORONTO, ONTARIO, M1T 1R8

PHONE: (647) 430-1386 FAX: (647) 799-4066

E-MAIL: MANDARINSURVEYOR@GMAIL.COM

SURVEY BY: S.Z. CAD No: 15-145RPLAN JOB No: 2015-145



SPECIFIED CONTROL POINTS (SCP'S)

M.T.M. ZONE 10, NAD83


POINT ID	NORTHING	EASTING
SCP 02019710753	4846727.415	310994.180
SCP 02018990003	4846616.298	311204.733
1	4846731.90	311012.67
2	4846740.90	311041.98

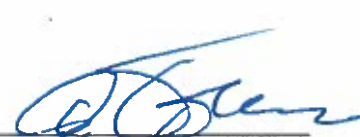
COORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O. REG. 216/10


RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

SIGNATURE PAGE

File Number:	B0015/16NY	Zoning	R6/RD(f12.0;a370)(ZR)
Owner(s):	SEYED AMIR NAGHAVI	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	215 ELMHURST AVE	Community:	North York
Legal Description:	PLAN M389 E PT LOT 176 W PT LOT 177		


Denise Graham (signed)


Giacomo Tonon (signed)



Rick Ross (signed)


Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY


Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.
NOTE: Only individuals, corporations and public agencies may appeal a decision to the Ontario Municipal Board. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, January 12, 2017

**NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)**

File Number:	B0016/16NY	Zoning	R6/RD(f12.0;a370)(ZR)
Owner(s):	POORYA BAYANI	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	217 ELMHURST AVE	Community:	North York
Legal Description:	PLAN M389 W PT LOT 175 E PT LOT 176		

Notice was given and the application considered on Thursday, January 12, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever a portion of land for the purpose of a lot addition to create a new building lot.

RETAINED - Part 1**Address to be assigned**

Part 1 has a lot frontage of 10.16m and a lot area of 364.34m². The lot will be redeveloped with a new two-storey detached residential dwelling requiring variances to the applicable zoning by-law(s) as outlined in application A0274/16NY.

CONVEYED - Part 2**Address to be assigned**

Part 2 has a lot frontage of 5.08m and a lot area of 182.2m². Part 2 will be added to the Part 3 (severed from B0015/16NY) to create a new building lot with a frontage of 10.16m and a lot area of 364.34m². Parts 2 and 3 will be redeveloped with a new two-storey detached residential dwelling requiring variances to the applicable zoning by-law(s) as outline in application A0273/16NY.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

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- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND RECEIVED AND DEPOSITED

DATE .2016

REPRESENTATIVE OF LAND REGISTRAR FOR THE LAND TITLES DIVISION OF THE TORONTO REGISTRY OFFICE (No. 66)

Z. ZENG
ONTARIO LAND SURVEYOR

PLAN 66R -

RECEIVED AND DEPOSITED

DATE .2016

REPRESENTATIVE OF LAND REGISTRAR FOR THE LAND TITLES DIVISION OF THE TORONTO REGISTRY OFFICE (No. 66)

Z. ZENG
ONTARIO LAND SURVEYOR

SCHEDULE

PART	PART OF LOT	REGISTERED PLAN	PART OF PIN	AREA (m ²)
1	175 AND 176	10145-0141(LT)	10145-0141(LT)	364.4
2	176	10145-0141(LT)	10145-0141(LT)	182.2
3	176 AND 177	M-389	10145-0142(LT)	182.2
4	177		10145-0142(LT)	364.4

PLAN OF SURVEY OF LOT 176 AND PART OF LOTS 175 AND 177 REGISTERED PLAN M-389 CITY OF TORONTO (FORMERLY THE CITY OF NORTH YORK)

SCALE 1:200

MANDARIN SURVEYORS LIMITED, O.L.S. ©

METRIC DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND

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- P2 DENOTES PLAN OF SURVEY BY W.S. GIBSON & SONS, O.L.S., DATED FEBRUARY 2, 1951
- P3 DENOTES PLAN BA-1482
- BA1 DENOTES PLAN BA-1482
- BA2 DENOTES PLAN BA-1483
- BA3 DENOTES PLAN BA-636
- N DENOTES NOT IDENTIFIABLE
- N.S.E.W DENOTES NORTH, SOUTH, EAST, WEST
- B.F. DENOTES BOARD FENCE
- W.F. DENOTES WIRE FENCE
- C.L.F. DENOTES CHAIN LINK FENCE
- S.C.P. DENOTES SPECIFIED CONTROL POINTS

NOTES

BEARINGS ARE M.T.M. GRID DERIVED FROM SPECIFIED CONTROL POINTS 02019710753 AND 02019980003, M.T.M. ZONE 10, NAD83 DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.9998724

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM
- THE SURVEY WAS COMPLETED ON THE 17th DAY OF JANUARY, 2016

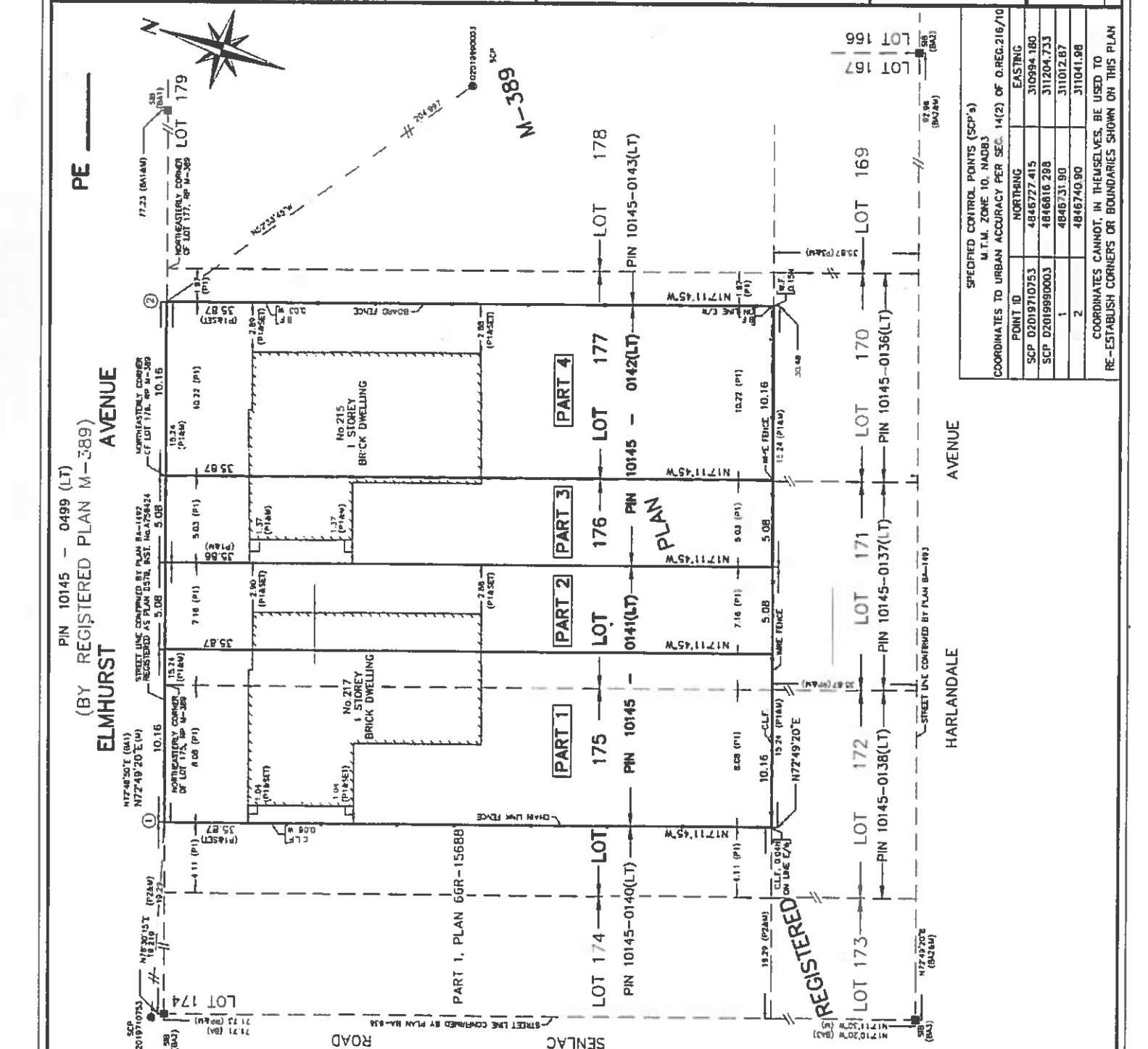
MARCH 30, 2016

DATE

Z. ZENG
ONTARIO LAND SURVEYOR

MANDARIN SURVEYORS LIMITED
ONTARIO LAND SURVEYOR
CANADA LANDS SURVEYOR
WWW.MANDARINSURVEYOR.COM
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PHONE: (847)430-1366 FAX: (847)799-4068
E-MAIL: MANDARINSURVEYOR@GMAIL.COM

CAO No: 15-145RPLAN JOB No: 2015-145



SPECIFIED CONTROL POINTS (SCP's)

M.T.M. ZONE 10, NAD83

COORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O. REG. 216/10

POINT ID	NORTHING	EASTING
SCP 02019710753	4846727.415	310994.180
SCP 02019980003	4846816.298	311204.733
1	4846731.900	311012.87
2	4846740.900	311041.98

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

SIGNATURE PAGE

File Number:	B0016/16NY	Zoning	R6/RD(f12.0;a370)(ZR)
Owner(s):	POORYA BAYANI	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	217 ELMHURST AVE	Community:	North York
Legal Description:	PLAN M389 W PT LOT 175 E PT LOT 176		



Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)



Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY



Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0272/16NY	Zoning	R6/RD(f12.0;a370)(ZR)
Owner(s):	SEYED AMIR NAGHAVI	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	215 ELMHURST AVE (PART 4)	Community:	North York
Legal Description:	PLAN M389 E PT LOT 176 W PT LOT 177		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling with an integral garage. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), Zoning By-law No. 569-2013**
A minimum of 10m² of the First Floor area must be within 4m of the front wall.
There is 4.05m² proposed within 4m of the front wall.
- Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 370m².
The proposed lot area is 364.34m².
- Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 12.0m.
The proposed lot frontage is 10.16m.
- Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
The permitted maximum lot coverage is 30.0 percent of the lot area.
The proposed lot coverage is 32.0 percent of the lot area.
- Chapter 10.20.40.10.(1), Zoning By-law No. 569-2013**
The permitted maximum height of a building or structure is 10.0m.
The proposed height of the building is 10.25m.

6. **Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the west side exterior main wall is 8.51m and the proposed height of the east side exterior main wall is 8.51m.
7. **Chapter 10.20.40.10.(6), Zoning By-law No. 569-2013**
The permitted maximum height of the first floor above established grade is 1.2m.
The proposed height of the first floor above established grade is 1.46m.
8. **Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
The required minimum side yard setback is 1.2m where the required minimum lot frontage is 12.0m to less than 15.0m.
The proposed west side yard setback is 0.61m.
9. **Section 14-A(3), Zoning By-law No. 7625**
The minimum required lot area is 371m².
The proposed lot area is 364.34m².
10. **Section 14-A(4), Zoning By-law No. 7625**
The minimum required lot frontage is 12.0m .
The proposed lot frontage is 10.16m.
11. **Section 14-A(5)c, Zoning By-law No. 7625**
The minimum required side yard setback is 1.2m.
The proposed west side yard setback is 0.61m.
12. **Section 14-A(6), Zoning By-law No. 7625**
The maximum permitted lot coverage is 30.0% of the lot area.
The proposed lot coverage is 32.0% of the lot area.
13. **Section 14-A(8), Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.32m.
14. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.68m.
15. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed. The minimum required lot width is 12.0m.
The proposed lot width is 10.16m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

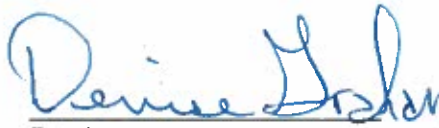
The Minor Variance Application is Refused


It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.


SIGNATURE PAGE

File Number:	A0272/16NY	Zoning	R6/RD(f12.0;a370)(ZR)
Owner:	SEYED AMIR NAGHAVI	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	215 ELMHURST AVE (PART 4)	Community:	North York
Legal Description:	PLAN M389 E PT LOT 176 W PT LOT 177		


Denise Graham (signed)


Giacomo Tonon (signed)

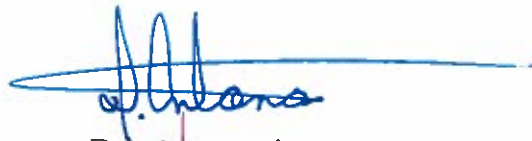

Rick Ross (signed)


Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY


Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0273/16NY	Zoning	R6/RD(f12.0;a370)(ZR)
Owner(s):	POORYA BAYANI	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	217 ELMHURST AVE (PARTS 2 & 3)	Community:	North York
Legal Description:	PLAN M389 W PT LOT 175 E PT LOT 176		

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PURPOSE OF THE APPLICATION:

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- Chapter 10.20.40.10.(1), Zoning By-law No. 569-2013**
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- Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.

The proposed height of the west side exterior main wall is 8.55m and the proposed height of the east side exterior main wall is 8.55m.

7. **Chapter 10.20.40.10.(6), Zoning By-law No. 569-2013**
The permitted maximum height of the first floor above established grade is 1.2m.
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12. **Section 14-A(8), Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.27m.
13. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.63m.
14. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed. The minimum required lot width is 12.0m.
The proposed lot width is 10.16m.

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File Number:	A0273/16NY	Zoning	R6/RD(f12.0;a370)(ZR)
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Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
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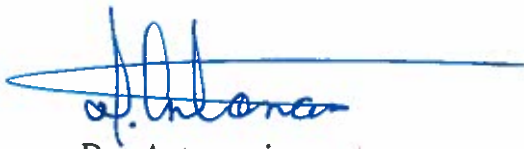


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Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0274/16NY	Zoning	R6/RD(f12.0;a370)(ZR)
Owner(s):	POORYA BAYANI	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	217 ELMHURST AVE (PART 1)	Community:	North York
Legal Description:	PLAN M389 W PT LOT 175 E PT LOT 176		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling with an integral garage. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), Zoning By-law No. 569-2013**
A minimum of 10m² of the First Floor area must be within 4m of the front wall.
There is 4.05m² proposed within 4m of the front wall.
- Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 370m².
The proposed lot area is 364.34m².
- Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 12.0m.
The proposed lot frontage is 10.16m.
- Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
The permitted maximum lot coverage is 30.0 percent of the lot area.
The proposed lot coverage is 32.0 percent of the lot area.
- Chapter 10.20.40.10.(1), Zoning By-law No. 569-2013**
The permitted maximum height of a building or structure is 10.0m.
The proposed height of the building is 10.40m.
- Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.

The proposed height of the west side exterior main wall is 8.66m and the proposed height of the east side exterior main wall is 8.66m.

7. **Chapter 10.20.40.10.(6), Zoning By-law No. 569-2013**
The permitted maximum height of the first floor above established grade is 1.2m.
The proposed height of the first floor above established grade is 1.51m.
8. **Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
The required minimum side yard setback is 1.2m where the required minimum lot frontage is 12.0m to less than 15.0m.
The proposed east side yard setback is 0.61m.
9. **Section 14-A(3), Zoning By-law No. 7625**
The minimum required lot area is 371m².
The proposed lot area is 364.34m².
10. **Section 14-A(4), Zoning By-law No. 7625**
The minimum required lot frontage is 12.0m.
The proposed lot frontage is 10.16m.
11. **Section 14-A(5)c, Zoning By-law No. 7625**
The minimum required side yard setback is 1.2m.
The proposed east side yard setback is 0.61m.
12. **Section 14-A(6), Zoning By-law No. 7625**
The maximum permitted lot coverage is 30.0% of the lot area.
The proposed lot coverage is 32.0% of the lot area.
13. **Section 14-A(8), Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.25m.
14. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.51m.
15. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed. The minimum required lot width is 12.0m.
The proposed lot width is 10.16m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

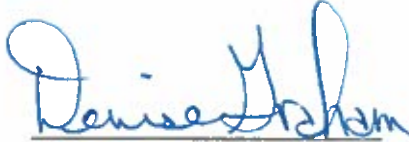
The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0274/16NY	Zoning	R6/RD(f12.0;a370)(ZR)
Owner:	POORYA BAYANI	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	217 ELMHURST AVE (PART 1)	Community:	North York
Legal Description:	PLAN M389 W PT LOT 175 E PT LOT 176		



Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)

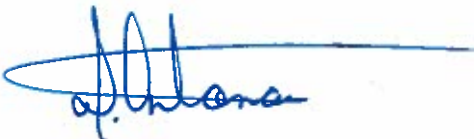


Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY



Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0062/16NY	Zoning	R4(94)/RD (f15.0; a550) (x5)(ZR)
Owner(s):	ALI ARYANA	Ward:	Eglinton-Lawrence (16)
Agent:	NAZANIN MIRAHMADI	Heritage:	Not Applicable
Property Address:	93 GREY RD	Community:	North York
Legal Description:	PLAN 1706 PT LOTS 34 TO 37		

Notice was given and the application considered on Thursday, January 12, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Retained - Part 1**Address to be assigned**

The proposed lot frontage is 7.62m and the proposed lot area is 353.03m². The property will be redeveloped with a new detached two-storey dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A0869/16NY.

Conveyed - Part 2**Address to be assigned**

The proposed lot frontage is 7.62m and the proposed lot area is 353.03m². The property will be redeveloped with a new detached two-storey dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A0873/16NY.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

RECORDED AND EXPEDITED

DATE _____

MAJOR PART, D.L.S.

APPROVED FOR THE REGISTERED PLAN BY THE LAND TITLES DIVISION OF TORONTO ROBBERTY OFFICE (No. 84)

SCHEDULE

PLAN	LOT	PART OF 1918-1920 PLAN	REGISTERED PLAN 1706
1	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37		
2	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37		

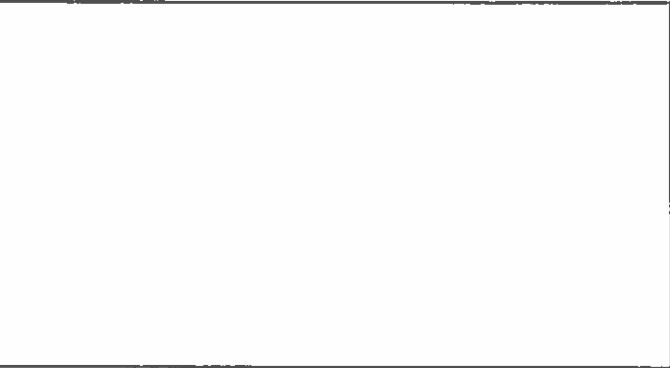
PART 1 AND 2 APPROVED BY THE CITY ENGINEER ON 10/10/2019

PLAN OF STREET OF
**PART OF LOT 34, 35,
 36 & 37.**
 BY THE
REGISTERED PLAN 1706
CITY OF TORONTO
 FORMER CITY OF NORTH YORK

SCALE & NOTES
 SCALE: 1:200

MAJOR PART, D.L.S.

- LEGEND**
- DENOTES EXISTING ROAD
 - DENOTES PROPOSED ROAD
 - DENOTES EXISTING SIDEWALK
 - DENOTES PROPOSED SIDEWALK
 - DENOTES EXISTING CURB
 - DENOTES PROPOSED CURB
 - DENOTES EXISTING GROUND
 - DENOTES PROPOSED GROUND
 - DENOTES EXISTING UTILITY
 - DENOTES PROPOSED UTILITY
 - DENOTES EXISTING LOT LINE
 - DENOTES PROPOSED LOT LINE
 - DENOTES EXISTING STREET
 - DENOTES PROPOSED STREET
 - DENOTES EXISTING TIE LINE
 - DENOTES PROPOSED TIE LINE



DATE _____

MAJOR PART, D.L.S.

REGISTRATION NO. _____

PLAN NO. 15-4378

SURVEYOR'S CERTIFICATE

I, THE SURVEYOR, HAVE EXAMINED THE ABOVE PLAN AND AM SATISFIED THAT THE SAME ACCURATELY REPRESENTS THE LAND AND THE INTERESTS THEREIN AND THAT THE SAME COMPLY WITH THE REQUIREMENTS OF THE SURVEY ACT AND THE REGULATIONS MADE UNDER THE ACT.

I, THE SURVEYOR, WAS COMPLETED ON _____

SIGNATURE PAGE

File Number:	B0062/16NY	Zoning	R4(94)/RD (f15.0; a550) (x5)(ZR)
Owner(s):	ALI ARYANA	Ward:	Eglinton-Lawrence (16)
Agent:	NAZANIN MIRAHMADI	Heritage:	Not Applicable
Property Address:	93 GREY RD	Community:	North York
Legal Description:	PLAN 1706 PT LOTS 34 TO 37		



Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)

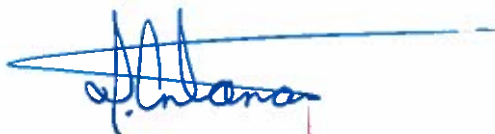


Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 8, 2017

CERTIFIED TRUE COPY



Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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NOTE: Only individuals, corporations and public agencies may appeal a decision to the Ontario Municipal Board. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0869/16NY	Zoning	R4(94)/RD (f15.0; a550) (x5)(ZR)
Owner(s):	ALI ARYANA	Ward:	Eglinton-Lawrence (16)
Agent:	NAZANIN MIRAHMADI	Heritage:	Not Applicable
Property Address:	93 GREY RD (PART 1)	Community:	North York
Legal Description:	PLAN 1706 PT LOTS 34 TO 37		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling with an integral garage. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), Zoning By-law No. 569-2013**
A minimum of 10m² of the first floor area must be within 4m of the front wall.
There is 5.3m² proposed within 4m of the front wall.
- Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
A) The required minimum lot area is 550m².
The proposed lot area is 353.03m².
- Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
A) The required minimum lot frontage is 15m.
The proposed lot frontage is 7.62m.
- Chapter 900.3.10(5) - Exceptions for RD Zone], Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed north side yard setback is 1.2m.
- Chapter 900.3.10(5) - Exceptions for RD Zone], Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed south side yard setback is 0.6m.

6. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15m.
The proposed lot frontage is 7.62 m.
7. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 353.03m²,
8. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed north side yard setback is 1.2m.
9. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed south side yard setback 0.6m.
10. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.
11. **Section 13.2.3(a), Zoning By-law No. 7625**
The minimum required front yard setback is 7.5m.
The proposed front yard setback is 6m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0869/16NY	Zoning	R4(94)/RD (f15.0; a550) (x5)(ZR)
Owner:	ALI ARYANA	Ward:	Eglinton-Lawrence (16)
Agent:	NAZANIN MIRAHMADI	Heritage:	Not Applicable
Property Address:	93 GREY RD (PART 1)	Community:	North York
Legal Description:	PLAN 1706 PT LOTS 34 TO 37		



Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)

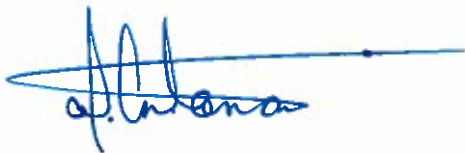


Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

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Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0873/16NY	Zoning	R4(94)/RD (f15.0; a550) (x5)(ZR)
Owner(s):	ALI ARYANA	Ward:	Eglinton-Lawrence (16)
Agent:	NAZANIN MIRAHMADI	Heritage:	Not Applicable
Property Address:	93 GREY RD (PART 2)	Community:	North York
Legal Description:	PLAN 1706 PT LOTS 34 TO 37		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling with an integral garage. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), Zoning By-law No. 569-2013**
A minimum of 10m² of the first floor area must be within 4m of the front wall.
There is 5.3m² proposed within 4m of the front wall.
- Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
A) The required minimum lot area is 550m².
The proposed lot area is 353.03m².
- Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
A) The required minimum lot frontage is 15m.
The proposed lot frontage is 7.62m.
- Chapter 900.3.10(5) - Exceptions for RD Zone], Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed north side yard setback is 0.6m.
- Chapter 900.3.10(5) - Exceptions for RD Zone], Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed south side yard setback is 1.2m.
- Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15m.

The proposed lot frontage is 7.62m.

7. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 353.03m².
8. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed north side yard setback is 0.6m.
9. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed south side yard setback 1.2m.
10. **Section 13.2.5A, Zoning By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 17.55m.
11. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

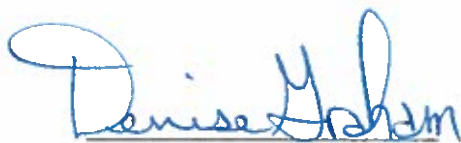
The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0873/16NY	Zoning	R4(94)/RD (f15.0; a550) (x5)(ZR)
Owner:	ALI ARYANA	Ward:	Eglinton-Lawrence (16)
Agent:	NAZANIN MIRAHMADI	Heritage:	Not Applicable
Property Address:	93 GREY RD (PART 2)	Community:	North York
Legal Description:	PLAN 1706 PT LOTS 34 TO 37		



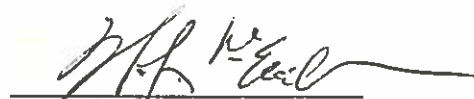
Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)



Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY



Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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FILE COPY

Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1086/16NY	Zoning	R1 Z0.35/RD (f15.0; d0.35) (x1409)[ZONING]
Owner(s):	ANDREW MICHAEL KUSKE	Ward:	Eglinton-Lawrence (16)
Agent:	LORNE ROSE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	110 ALEXANDRA BLVD	Community:	Toronto
Legal Description:	PLAN 1532 LOT 38		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a three-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 10.0m.
The proposed building height is 11.30m.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 7.78m.
- Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0m.
The proposed building length is 20.65m.
- Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.0m.
The proposed building depth is 20.65m.
- Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted Floor Space Index is 0.35 times the area of the lot.
The proposed Floor Space Index is 0.78 times the area of the lot.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.5m
The proposed west side yard setback is 1.2m.

7. **Chapter 10.5.40.60.(3), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2.0m.
The proposed stairs are 4.67m wide.
8. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.5m.
The proposed east side yard setback is 0.9m.
9. **Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted Gross Floor Area is 0.35 times the area of the lot.
The proposed Gross Floor Area is 0.78 times the area of the lot.
10. **Section 6(3)Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback from the side lot line for that portion of the building exceeding 17.0m in depth is 7.5m.
The proposed west side lot line setback is 1.85m.
11. **Section 6(3) Part IV 3(II), By-law No. 438-86**
A below grade garage is not permitted.
The proposed is a below grade garage.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The applicant shall submit an application for permit to injure or remove private trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
- 2) The driveway maintains a positive slope from the street to the entry of the integral garage.

SIGNATURE PAGE

File Number:	A1086/16NY	Zoning	R1 Z0.35/RD (f15.0; d0.35) (x1409)[ZONING]
Owner:	ANDREW MICHAEL KUSKE	Ward:	Eglinton-Lawrence (16)
Agent:	LORNE ROSE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	110 ALEXANDRA BLVD	Community:	Toronto
Legal Description:	PLAN 1532 LOT 38		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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FILE COPY

Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0917/16NY	Zoning	RA/RD(f60.0; a8000) (x893)(ZR)
Owner(s):	JIAN NING ZHANG	Ward:	Don Valley West (25)
Agent:	Peter Higgins Architect Inc.	Heritage:	Not Applicable
Property Address:	67 PARK LANE CRCL	Community:	North York
Legal Description:	PLAN 2801 PT LOT 23		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey addition at the front (west side) of the house, along with a one-storey addition between the new addition and the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter / Exception RD 893, Zoning By-law No. 569-2013**
The required minimum front yard setback is 30.0m.
The proposed front yard setback is 26.99m.
- Section 9(6)a, Zoning By-law No. 7625**
The minimum required front yard setback is 30.0m.
The proposed front yard setback is 26.99m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**


The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0917/16NY	Zoning	RA/RD(f60.0; a8000) (x893)(ZR)
Owner:	JIAN NING ZHANG	Ward:	Don Valley West (25)
Agent:	Peter Higgins Architect Inc.	Heritage:	Not Applicable
Property Address:	67 PARK LANE CRCL	Community:	North York
Legal Description:	PLAN 2801 PT LOT 23		



Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)



Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY



Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0918/16NY	Zoning:	RD/R1Z0.6 [ZZC]
Owner(s):	MATTHEW LASKIN	Ward:	Eglinton-Lawrence (16)
Agent:	DAVID MOSKAL DESIGN INC	Heritage:	Not Applicable
Property Address:	309 CASTLEFIELD AVE	Community:	Toronto
Legal Description:	PLAN 734 RANGE 3 PT LOT 34		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a basement addition with a new deck, to the rear of the existing two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 25.11m.
- Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.00m.
The proposed building depth is 25.11m.
- Section 6(3) Part VI 1(V), By-law No. 438-86**
The By-law allows additions to the rear of a detached house erected before October 15, 1953, provided the depth of the house including the addition does not exceed 17.00m.
The proposed building depth is 25.11m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

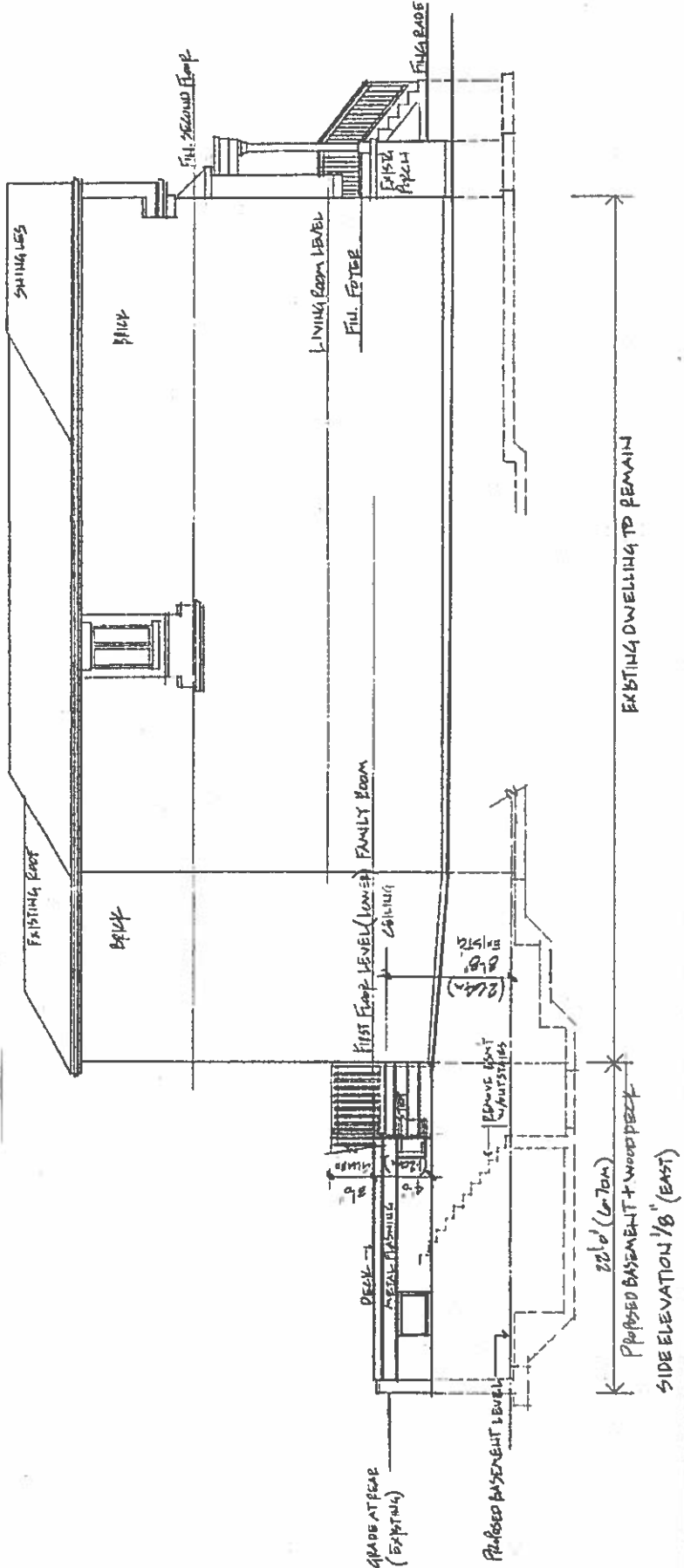
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The property being developed essentially in accordance with the west and east elevations attached to this decision.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



We understand has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 required unless design is exempt under 2.17.5.1 of the building code

NAME: DAVID MOSKAL
 REGISTRATION INFORMATION
 required unless design is exempt under 2.17.5.1 of the building code

NAME: DAVID MOSKAL DESIGN INC.
 REGISTRATION INFORMATION
 required unless design is exempt under 2.17.5.1 of the building code

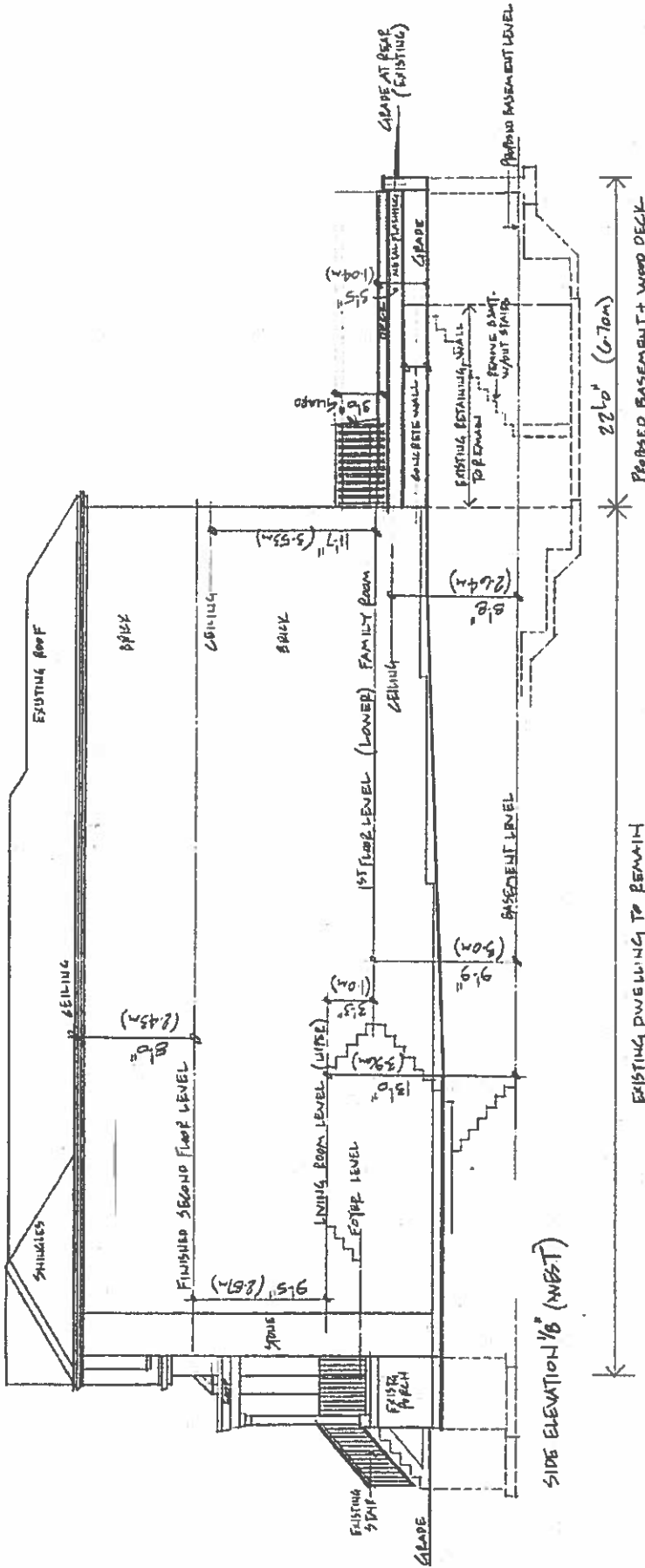
309 CASTLEFIELD AVE
TORONTO, ONTARIO

ADDRESS

TITLE: SIDE ELEVATION (EAST)
 DATE: OCT 26th 16
 SCALE: 1/8" = 1'-0"

8 Clockwork Lane
 Richmond Hill, Ontario
 M9B 4H5
 Tel: (416) 251-0051

DAVID MOSKAL
 DESIGNS



SIDE ELEVATION 1/8" (WEST)

<p>he undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p>	
<p>QUALIFICATION INFORMATION signed unless design is exempt under 2.17.5.1 of the building code</p>	<p>2009/05</p>
<p>NAME: DAVID MOSKAL</p>	<p>BCN: 2009/05</p>
<p>REGISTRATION INFORMATION required unless design is exempt under 2.17.4.1 of the building code</p>	
<p>NAME: DAVID MOSKAL</p>	<p>BCN: 2009/05</p>

<p>DAVID MOSKAL DESIGNS</p>		<p>8 Clarkson Lane Etobicoke, Ontario M9Y 4E5 Tel: (416) 251-0251</p>	<p>TITLE: SIDE ELEVATION DATE: OCT 26 '16 SCALE: 1/8" = 1'-0"</p>	<p>ADDRESS: 309 CASTLEFIELD AVE TORONTO, ONTARIO</p>	<p>AG 16-16</p>
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SIGNATURE PAGE

File Number:	A0918/16NY	Zoning	RD/R1Z0.6 [ZZC]
Owner:	MATTHEW LASKIN	Ward:	Eglinton-Lawrence (16)
Agent:	DAVID MOSKAL DESIGN INC	Heritage:	Not Applicable
Property Address:	309 CASTLEFIELD AVE	Community:	Toronto
Legal Description:	PLAN 734 RANGE 3 PT LOT 34		




Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)

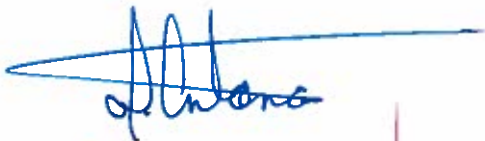


Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

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Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0936/16NY	Zoning:	MO[WAIVER]
Owner(s):	STC INVESTMENTS NOMINEE INC	Ward:	Willowdale (24)
Agent:	BOUSFIELDS INC	Heritage:	Not Applicable
Property Address:	3125 STEELES AVE E	Community:	North York
Legal Description:	CON 4 EYS PT LOT 25 NOW 66R18528 PART 2 PT PART 1		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit a two-storey Data Storage Facility (21,516sq.m) including driveways, parking, loading area and landscaping area on the site. The Data Storage Facility would be located in the southeast quadrant of the property which is currently vacant.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 34(2), By-law No. 7625**
The Information Processing use is not permitted in this zone.
The proposed is an Information Processing use.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

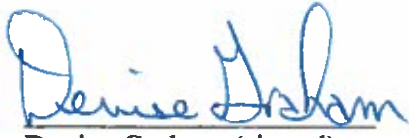
The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0936/16NY	Zoning	MO[WAIVER]
Owner:	STC INVESTMENTS NOMINEE INC	Ward:	Willowdale (24)
Agent:	BOUSFIELDS INC	Heritage:	Not Applicable
Property Address:	3125 STEELES AVE E	Community:	North York
Legal Description:	CON 4 EYS PT LOT 25 NOW 66R18528 PART 2 PT PART 1		



Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)



Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY



Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0942/16NY	Zoning	RD/R6 [ZZC]
Owner(s):	MOHAMMAD NAKHAI POORANDOKHI ATYABI	Ward:	Willowdale (23)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	214 PATRICIA AVE	Community:	North York
Legal Description:	PLAN 1880 W PT LOT 54 PT LOT 55		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 8.45m for 20.00% of the width of the east wall and 27.00% for the west wall.
- Section 14-A(6), By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.15m.
- Section 14-B(9), By-law No. 7625**
The maximum permitted building length is 15.30m.
The proposed building length is 16.31m.
- Section 6(30), By-law No. 7625**
The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 1.54m.

7. **Section 7.4A, By-law No. 7625**
The minimum required landscaping is 50.00%.
The proposed landscaping is 48.46%.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

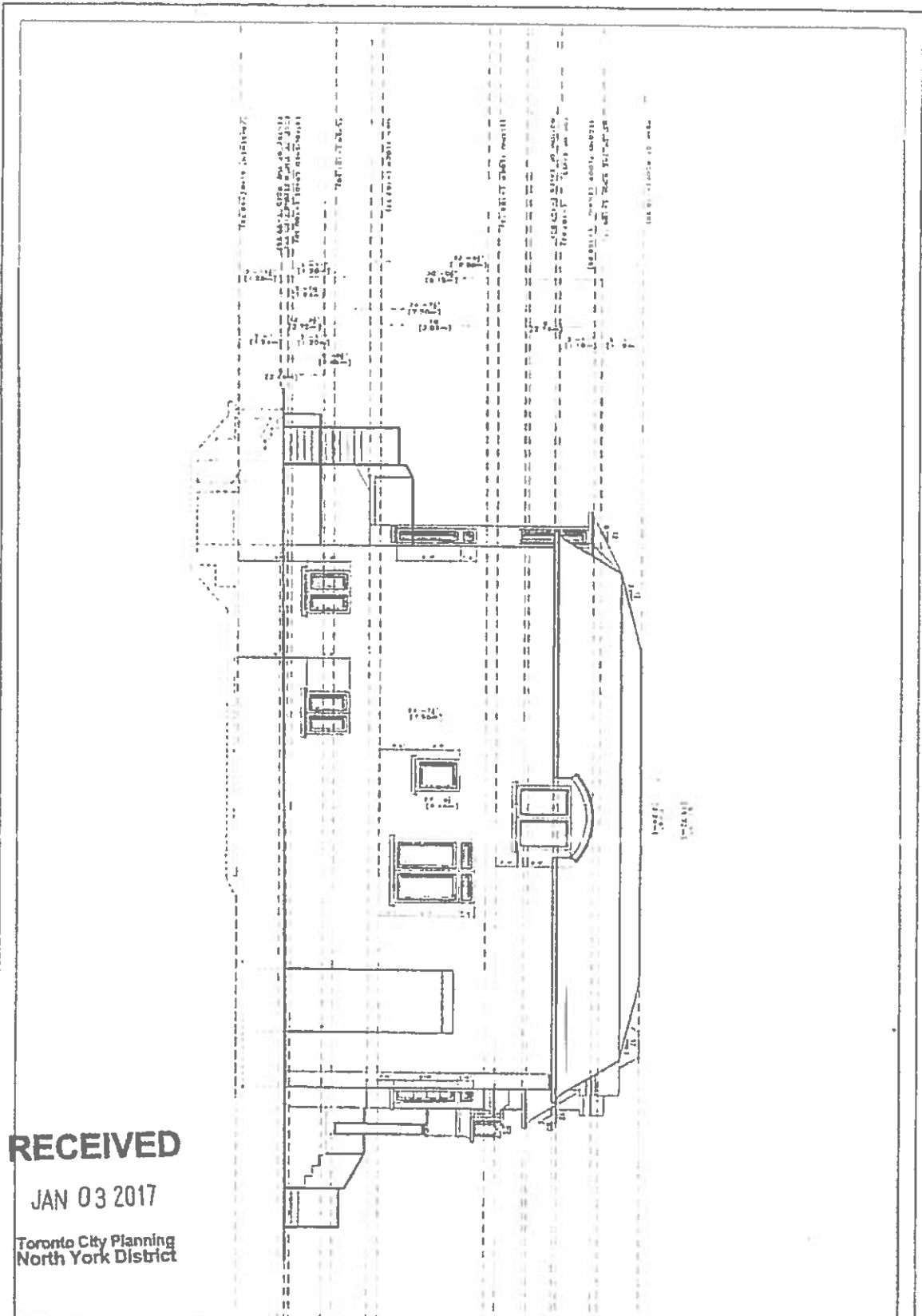
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the Side Elevation (west) and Side Elevation (east) drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, January 3, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.
- 2) The proposed driveway to be constructed of permeable pavers.



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 JAN 03 2017
 Toronto City Planning
 North York District

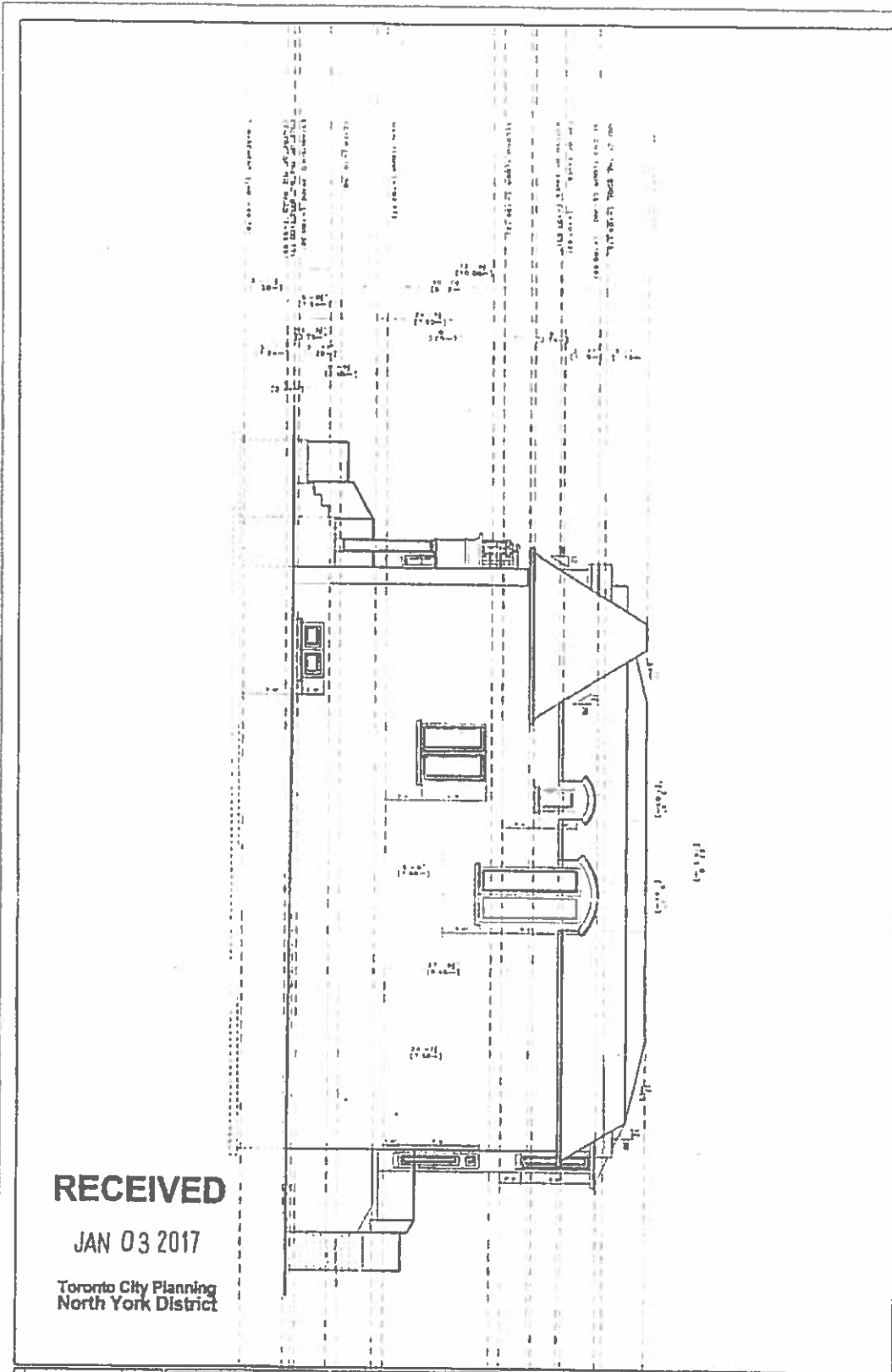
PMP Design Group
 Exclusive Residential Design

Drawing Title
SIDE ELEVATION (WEST)

PROJECT File
 214 PATRICIA AVENUE
 TORONTO
 ONTARIO

Drawn by	CPW 01
Checked by	MLN
Project No	120
Date	2016 SEP 07

A8



RECEIVED

JAN 03 2017

Toronto City Planning
North York District

PMP Design Group
Exclusive Residential Design

Drawing Title
**SIDE ELEVATION
(EAST)**

Project No.
214 PATRICIA AVENUE
TORONTO
ONTARIO

Scale	1/8" = 1'-0"
Drawn by	ALM
Checked by	ML
Reviewed by	ML
Project No.	214
Date	20 8 2014

A9

SIGNATURE PAGE

File Number:	A0942/16NY	Zoning	RD/R6 [ZZC]
Owner:	MOHAMMAD NAKHAI POORANDOKHI ATYABI	Ward:	Willowdale (23)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	214 PATRICIA AVE	Community:	North York
Legal Description:	PLAN 1880 W PT LOT 54 PT LOT 55		



Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)



Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

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North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0943/16NY	Zoning	R2[ZONING]
Owner(s):	XIN WANG HONGSEN ZHU	Ward:	Eglinton-Lawrence (15)
Agent:	HONGSEN ZHU	Heritage:	Not Applicable
Property Address:	111 ALAMEDA AVE	Community:	York
Legal Description:	PLAN 1672 PT LOTS 42 TO 44		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second floor addition above the existing one-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 3.A, By-law No. 1-83**
The minimum required side yard setback is 0.5m.
The existing and proposed west side yard setback is 0.4m.
- Section 3.A, By-law No. 1-83**
The minimum required side yard setback is 1.2m.
The existing and proposed east side yard setback is 0.91m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:


- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0943/16NY	Zoning	R2[ZONING]
Owner:	XIN WANG	Ward:	Eglinton-Lawrence (15)
	HONGSEN ZHU		
Agent:	HONGSEN ZHU	Heritage:	Not Applicable
Property Address:	111 ALAMEDA AVE	Community:	York
Legal Description:	PLAN 1672 PT LOTS 42 TO 44		


Wayne McEachern (signed)


Giacomo Tonon (signed)


Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

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Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0944/16NY	Zoning	R1 Z0.35/RD (f9.0; d0.35) (x1428)(ZR)
Owner(s):	SIEW LING CHOY CRAIG STEPHEN STINCHCOMBE	Ward:	Don Valley West (25)
Agent:	ENDES DESIGN INC	Heritage:	Not Applicable
Property Address:	119 SNOWDON AVE	Community:	Toronto
Legal Description:	PLAN M260 PT LOT 42 RP 66R21685 PART 1		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new one-storey rear addition to the existing two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.40.(1)(A), Zoning By-law No. 569-2013**
The permitted maximum floor space index is 0.35 times the area of the lot: 81.82m².
The proposed floor space index is 0.61 times the area of the lot: 142.02m².
- Chapter 10.20.40.70.(3)(B), Zoning By-law No. 569-2013**
The required minimum side yard setback is 0.9m where the required minimum lot frontage is 6.0m to less than 12.0m.
The proposed side yard setback is 0.33m on the west side.
- Chapter 10.5.50.10.(3)(A), Zoning By-law No. 569-2013**
A lot with a residential building, other than an apartment building, must have a minimum of 50% of the rear yard for soft landscaping: 45.30m².
The proposed rear yard landscaping area is 31.00%.
- Section 6(3) Part I 1, Zoning By-law No. 438-86**
The by-law limits the residential gross floor area in an area zoned R1 Z0.35 to 0.35 times the area of the lot: 81.82m².
The proposed residential gross floor area of the building exceeds the maximum permitted by approximately 60.20m²; 0.61 times.

5. Section 6(3) Part II 3.B(II), Zoning By-law No. 438-86

The by-law requires a detached house in a R1 district to have a minimum side lot line setback of 0.9m for that portion of the building not exceeding 17.0m in depth.

The proposed side lot line setback is 0.33m on the west side

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposed portion of the driveway to be constructed of permeable materials.

SIGNATURE PAGE

File Number:	A0944/16NY	Zoning	R1 Z0.35/RD (f9.0; d0.35) (x1428)(ZR)
Owner:	SIEW LING CHOY CRAIG STEPHEN STINCHCOMBE	Ward:	Dön Valley West (25)
Agent:	ENDES DESIGN INC	Heritage:	Not Applicable
Property Address:	119 SNOWDON AVE	Community:	Toronto
Legal Description:	PLAN M260 PT LOT 42 RP 66R21685 PART 1		



Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)



Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

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Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0946/16NY	Zoning	R1B/RD (f12.0; a370; d0.6)[ZONING]
Owner(s):	FOTINI VELENTZAS GEORGE VELENTZAS	Ward:	Don Valley West (26)
Agent:	TOWN SQUARE DEVELOPMENTS	Heritage:	Not Applicable
Property Address:	4 ROLLAND RD	Community:	East York
Legal Description:	PLAN 2121 PT LOT 537 TO 540PT		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10m² of the first floor must be within 4m of the front wall.
The proposed first floor (Mudroom & Powder Room) is 9.10m² and is 10.05m from the front wall.
- Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0m.
The proposed building length is 18.14m.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.2m.
The proposed east side yard setback is 0.91m.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.2m.
The proposed west side yard setback is 0.93m.
- Chapter 200.5.1.10(2), By-law No. 569-2013**
The minimum required parking space must have a minimum width of 3.2m.
The proposed parking space(s) will have a width of 3.05m.

6. **Section 6.3.3, By-law No. 1916**
The maximum permitted building length is 16.75m.
The proposed building length is 18.14m.

7. **Section 5.40, By-law No. 1916**
The minimum required parking space must have a minimum width of 3.2m.
The proposed parking space will have a width of 3.05m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

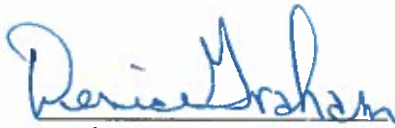
The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0946/16NY	Zoning	R1B/RD (f12.0; a370; d0.6)[ZONING]
Owner:	FOTINI VELENTZAS GEORGE VELENTZAS	Ward:	Don Valley West (26)
Agent:	TOWN SQUARE DEVELOPMENTS	Heritage:	Not Applicable
Property Address:	4 ROLLAND RD	Community:	East York
Legal Description:	PLAN 2121 PT LOT 537 TO 540PT		



Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)



Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY



Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0947/16NY	Zoning	R4/RD (f 15; a 550) (x 5)(ZR)
Owner(s):	FARSHAD PARTOVI	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	21 MOORE PARK AVE	Community:	North York
Legal Description:	PLAN 3788 LOT 15		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling with an integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30 % of the lot area: 183.93m².
The proposed lot coverage is 32 % of the lot area: 196.19m².
- Chapter 1.20.3 (3), Zoning By-law No. 569-2013**
The minimum required side yard setback is 1.8m as per site specific exception (x5).
The proposed east side yard setback is 1.5m.
- Chapter 1.20.3 (3), Zoning By-law No. 569-2013**
The minimum required side yard setback is 1.8m as per site specific exception (x5).
The proposed west side yard setback is 1.5m.
- Chapter 200.5.1.10.(2), Zoning By-law No. 569-2013**
(A) (i) The minimum required parking space must have a minimum width of 2.9m.
The proposed parking space (s) will have a width of 2.8m in width.
- Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.5m.

6. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.5m.
7. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
8. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 8.883m.
9. **Section 6(24), Zoning By-law No. 7625**
Decks greater than 1m in height may not project more than 2.1m from the wall and must be less than 0.5 times the width of the dwelling.
The proposed deck is greater than 1m in height and projects 2.74m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0947/16NY	Zoning	R4/RD (f 15; a 550) (x 5)(ZR)
Owner:	FARSHAD PARTOVI	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	21 MOORE PARK AVE	Community:	North York
Legal Description:	PLAN 3788 LOT 15		



Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)



Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY



Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0948/16NY	Zoning:	RD/R5 [WAV]
Owner(s):	ARIAN SULTAFA ALMA SULTAFA	Ward:	Don Valley East (34)
Agent:	ST ENGINEERING	Heritage:	Not Applicable
Property Address:	7 THORN LANE	Community:	North York
Legal Description:	PLAN 4544 LOT 51		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.70.(2), By-law No. 569-2013**
The minimum required rear yard setback is 8.76m.
The proposed rear yard setback is 7.71m.
- Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.00m.
The proposed building depth is 19.30m.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 25.00% of the lot area.
The proposed lot coverage is 27.86% of the lot area.
- Section 14.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 20.90m.
- Section 14.2.3c, By-law No. 7625**
The minimum required rear yard setback is 8.76m.
The proposed rear yard setback is 7.71m.
- Section 6(30), By-law No. 7625**
The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 1.75m.

7. **Section 14.2.4, By-law No. 7625**
The maximum permitted lot coverage is 25.00% of the lot area.
The proposed lot coverage is 27.86% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.40.70.(2), By-law No. 569-2013**
The minimum required rear yard setback is 8.76m.
The proposed rear yard setback is 7.71m.
2. **Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.00m.
The proposed building depth is 19.30m.
4. **Section 14.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 20.90m.
5. **Section 14.2.3c, By-law No. 7625**
The minimum required rear yard setback is 8.76m.
The proposed rear yard setback is 7.71m.
6. **Section 6(30), By-law No. 7625**
The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 1.75m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

3. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 25.00% of the lot area.
The proposed lot coverage is 27.86% of the lot area.
7. **Section 14.2.4, By-law No. 7625**
The maximum permitted lot coverage is 25.00% of the lot area.
The proposed lot coverage is 27.86% of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.

- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number: A0948/16NY
Owner: ARIAN SULTAFA
ALMA SULTAFA
Agent: ST ENGINEERING
Property Address: 7 THORN LANE
Legal Description: PLAN 4544 LOT 51

Zoning: RD/R5 [WAV]
Ward: Don Valley East (34)
Heritage: Not Applicable
Community: North York



Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)


Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY



Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0949/16NY	Zoning	RM/R2[ZONING]
Owner(s):	ANDERSON FELICIANO DE ANDRADE	Ward:	Eglinton-Lawrence (15)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	517 WESTMOUNT AVE	Community:	York
Legal Description:	PLAN 1398 LOT 112		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second floor addition above the existing one-storey dwelling including a portion of the existing front porch. The applicant is also proposing a two-storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.80.40.10.(4), By-law No. 569-2013**
The maximum permitted finished first floor height is 1.2m.
The proposed finished first floor height is 2.74m.
- Chapter 10.80.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0m.
The proposed building length is 18.29m.
- Chapter 10.80.40.40.(1), By-law No. 569-2013**
The maximum permitted Floor Space Index is 0.8 times the area of the lot.
The proposed Floor Space Index is 0.88 times the area of the lot.
- Section 3. (a), By-law No. 1-83**
The maximum permitted Floor Space Index is 0.8.
The proposed Floor Space Index is 0.88.
- Section 3.(a), By-law No. 1-83**
The minimum required side yard setback is 0.5m.
The existing and proposed north side yard setback is 0.35m.
- Section 3.(a), By-law No. 1-83**
The minimum required side yard setback is 1.2m.
The existing and proposed south side yard setback is 1.17m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0949/16NY	Zoning	RM/R2[ZONING]
Owner:	ANDERSON FELICIANO DE ANDRADE	Ward:	Eglinton-Lawrence (15)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	517 WESTMOUNT AVE	Community:	York
Legal Description:	PLAN 1398 LOT 112		



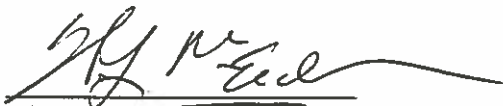
Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)



Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

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North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0891/16NY	Zoning:	RD/R3 [ZZC]
Owner(s):	GLORIA YUEN MEE LEE WONG STEPHEN WONG	Ward:	Don Valley West (25)
Agent:	RICHARD WENGLER ARCHITECT INC	Heritage:	Not Applicable
Property Address:	21 BALDING CRT	Community:	North York
Legal Description:	PLAN M866 LOT 323		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished. Please note this application was previously deferred Thursday, November 24, 2016 to address items that were inadvertently missed and to allow the applicant an opportunity to revise their application.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 37.33% of the lot area.
- Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 19.84m.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.59m.
- Chapter 10.20.40.70.(2), By-law No. 569-2013**
The minimum required rear yard setback is 7.50m.
The proposed rear yard setback is 6.09m.
- Chapter 10.20.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 10.50m.
The proposed front yard setback is 8.00m.

6. **Section 12.5(A), By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 20.24m.
7. **Section 12.4(c), By-law No. 7625**
The minimum required rear yard setback is 9.50m.
The proposed rear yard setback is 6.09m.
8. **Section 12.4(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.59m.
9. **Section 12.6, By-law No. 7625**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 37.33% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

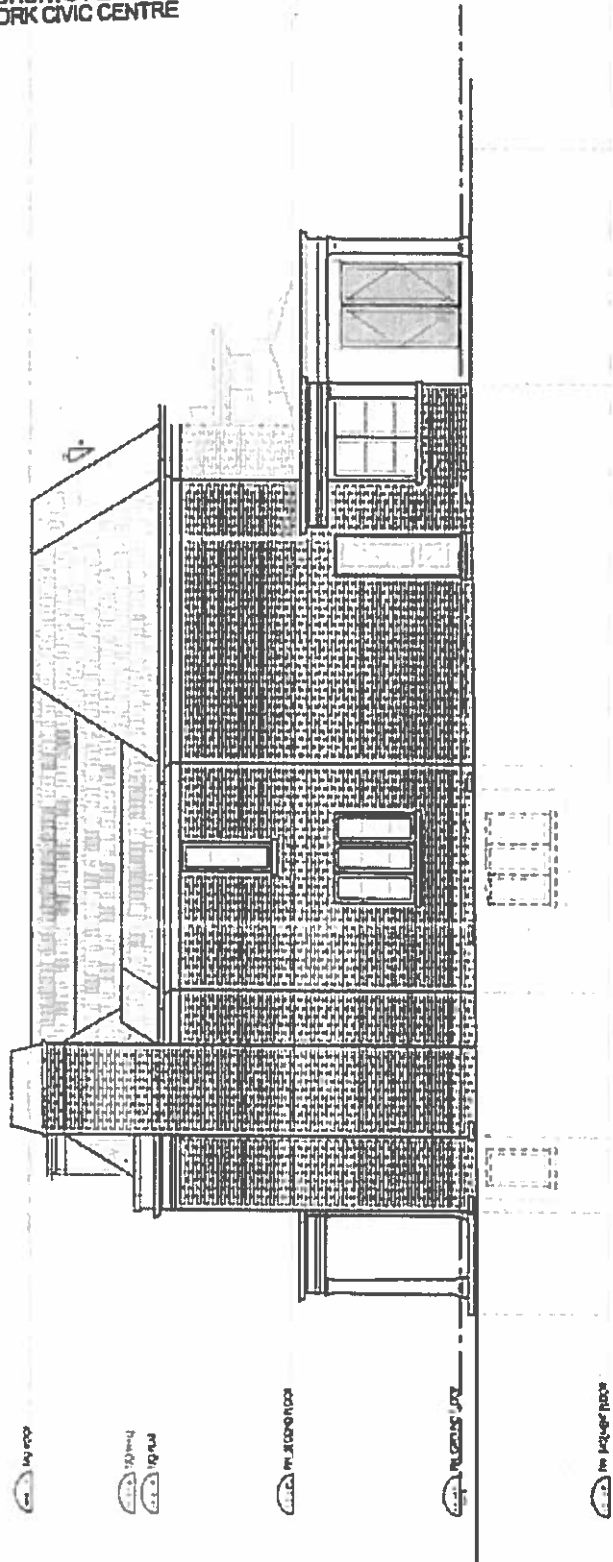
This decision is subject to the following condition(s):

- 1) The proposal be constructed in accordance with the side elevations submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, December 21, 2016.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

RECEIVED

DEC 21 2016

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE



— EAST ELEVATION
SCALE 1/8" = 1'-0"



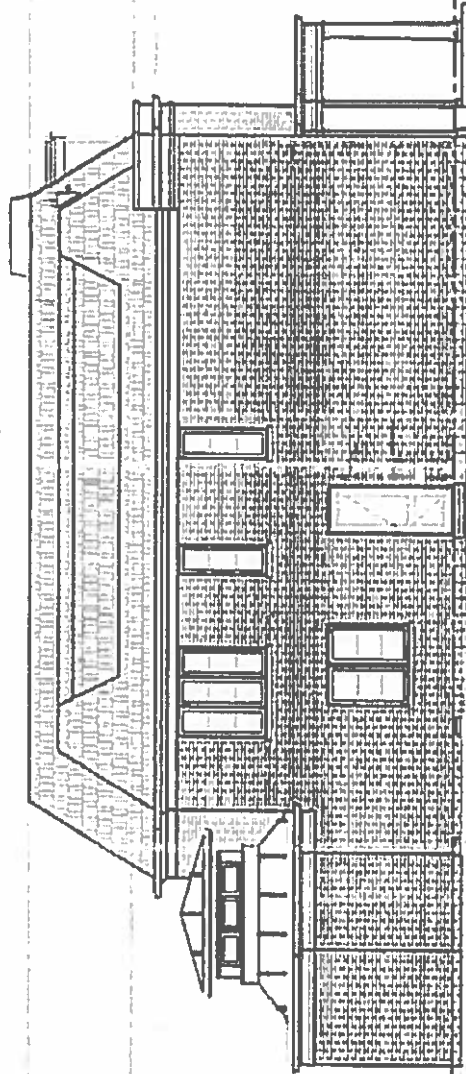
RICHARD WENGLE
ARCHITECT INC.

WONG
21 BALDING COURT
TORONTO, ONTARIO
NOVEMBER 23, 2014
1431

RECEIVED

DEC 21 2016

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE



10'-0"

10'-0"

10'-0"

10'-0"

10'-0"

1 WEST ELEVATION
SCALE 1/8" = 1'-0"



RICHARD WENGLE
ARCHITECT INC.


WONG

21 BALDING COURT
TORONTO, ONTARIO
NOVEMBER 23, 2016

1631

SIGNATURE PAGE

File Number:	A0891/16NY	Zoning	RD/R3 [ZZC]
Owner:	GLORIA YUEN MEE LEE WONG	Ward:	Don Valley West (25)
Agent:	STEPHEN WONG RICHARD WENGLER ARCHITECT INC	Heritage:	Not Applicable
Property Address:	21 BALDING CRT	Community:	North York
Legal Description:	PLAN M866 LOT 323		



Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)

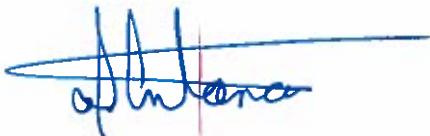


Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

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Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0950/16NY	Zoning:	R1B/RD(f12;a370;d0.60)(Z R)
Owner(s):	ARA HOME IMPROVEMENT INC.	Ward:	Don Valley West (26)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	84 GLENVALE BLVD	Community:	East York
Legal Description:	PLAN 3110 LOT 659 PT LOT 658 PT LOT 660		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey and two-storey addition to the rear of the existing dwelling, a rear deck, along with a second storey addition above the garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), Zoning By-law No. 569-2013**
A minimum of 10m² of the first floor must be within 4 metres of the front wall.
The proposed first floor area (off of garage) is 2.87m² and is 7.16m from the front wall.
- Chapter 10.5.40.60.(7), Zoning By-law No. 569-2013**
Roof eaves may project a maximum of 0.9m provided that they are no closer than 0.30m to a lot line.
The proposed eaves project 0.30m and are 0.13m from the west lot line.
- Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 35% of the lot area: 154.31m².
The proposed lot coverage is 35.40% of the lot area.
- Chapter 10.20.40.10.(1), Zoning By-law No. 569-2013**
A) The permitted maximum height of a building or structure is 8.5m.
The proposed height of the building is 8.8m.
- Chapter 10.20.40.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum floor space index is 0.60 times the area of the lot: 264.53m².
The proposed floor space index is 0.67 times the area of the lot: 293.75m².

6. **Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
C) The required minimum side yard setback is 1.2m where the required minimum lot frontage is 12.0m to less than 15.0m.
The proposed east side yard setback is 0.77m.
7. **Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
C) The required minimum side yard setback is 1.2m where the required minimum lot frontage is 12.0m to less than 15.0m.
The proposed west side yard setback is 0.43m.
8. **Section 6.3.3, Zoning By-law No. 1916**
The maximum permitted building height is 8.5m.
The proposed building height is 8.8m.
9. **Section 6.3.3, Zoning By-law No. 1916**
The maximum permitted building length is 16.75m.
The proposed building length is 17.22m.
10. **Section 6.3.3, Zoning By-law No. 1916**
The permitted maximum floor space index is 0.60 times the area of the lot: 264.53m².
The proposed floor space index is 0.67 times the area of the lot: 293.75m².
11. **Section 6.3.3, Zoning By-law No. 1916**
The permitted maximum lot coverage is 35% of the lot area: 154.31m².
The proposed lot coverage is 35.9% of the lot area: 158.37m².
12. **Section 6.3.3, Zoning By-law No. 1916**
The minimum required side yard setback is 0.90m.
The proposed east side yard setback is 0.77m.
13. **Section 6.3.3, Zoning By-law No. 1916**
The minimum required side yard setback is 0.90m.
The proposed west side yard setback is 0.43m.
14. **Section 5.7, Zoning By-law No. 1916**
Balconies, canopies, unenclosed porches, platforms, and decks which do not exceed 1.25m in height above established grade may project to a maximum of 2.5m from the front or rear wall.
The proposed rear yard deck is 0.99m above established grade and projects 3.00m from the rear wall.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0950/16NY	Zoning	R1B/RD(f12;a370;d0.60)(Z R)
Owner:	ARA HOME IMPROVEMENT INC.	Ward:	Don Valley West (26)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	84 GLENVALE BLVD	Community:	East York
Legal Description:	PLAN 3110 LOT 659 PT LOT 658 PT LOT 660		



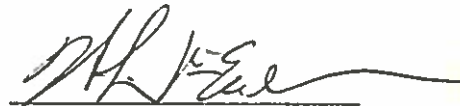
Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)

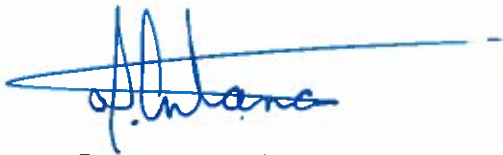


Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

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Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0951/16NY	Zoning	RD/R6(20) [ZZC]
Owner(s):	PANAYIOTA MILLAR	Ward:	Eglinton-Lawrence (16)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	276 JOICEY BLVD	Community:	North York
Legal Description:	PLAN 1669 E PT LOT 28		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 10.00m.
The proposed building height is 10.22m.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the east and west side exterior main walls facing a side lot line is 8.63m for no more than 20.00% of the width of the wall.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 36.00% of the lot area.
- Chapter 10.20.40.10.(6), By-law No. 569-2013**
The maximum permitted finished first floor height is 1.20m.
The proposed finished first floor height is 1.39m.
- Section 14-A(6), By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 36.00% of the lot area.
- Section 14-A(9), By-law No. 7625**
The maximum permitted building length is 15.30m.
The proposed building length is 15.37m.

7. **Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.70m.
8. **Section 6(30), By-law No. 7625**
The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 2.02m.
9. **Section 6(24), By-law No. 7625**
The maximum permitted rear deck projection is 2.10m from the wall, a maximum height of 1.00m and is not to be more than half the width of the dwelling.
The proposed rear deck projects 3.05m from the rear wall, is 2.08m in height.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) Submission of a complete application for permit to injure or remove privately owned trees.

SIGNATURE PAGE

File Number:	A0951/16NY	Zoning	RD/R6(20) [ZZC]
Owner:	PANAYIOTA MILLAR	Ward:	Eglinton-Lawrence (16)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	276 JOICEY BLVD	Community:	North York
Legal Description:	PLAN 1669 E PT LOT 28		



Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)



Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY



Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0952/16NY	Zoning	R3/RD (f18.0; a690)[ZONING]
Owner(s):	AREZOO SABETPEY	Ward:	Don Valley West (25)
Agent:	MANOUSH HAKIMI	Heritage:	Not Applicable
Property Address:	7 MONTRESSOR DR	Community:	North York
Legal Description:	PLAN M866 LOT 372		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35% of the lot area.
The proposed lot coverage is 35.79% of the lot area.
- Section 12.6, By-law No. 7625**
The maximum permitted lot coverage is 35% of the lot area.
The proposed lot coverage is 35.79% of the lot area.
- Section 12.7, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.10m
- Section 12.7, By-law No. 7625**
The maximum permitted finished first floor height is 1.5m.
The proposed finished first floor height is 1.67m.
- Section 12.4(c), By-law No. 7625**
The minimum required rear yard setback is 9.5m.
The proposed rear yard setback is 8.89m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf. Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

SIGNATURE PAGE

File Number:	A0952/16NY	Zoning	R3/RD (f18.0; a690)[ZONING]
Owner:	AREZOO SABETPEY	Ward:	Don Valley West (25)
Agent:	MANOUSH HAKIMI	Heritage:	Not Applicable
Property Address:	7 MONTRESSOR DR	Community:	North York
Legal Description:	PLAN M866 LOT 372		



Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)



Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY



Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0953/16NY	Zoning:	R6/RD (f12.0; a370)(ZR)
Owner(s):	SOHEIL AKHAVAN BING HIM LO	Ward:	Willowdale (23)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	248 BYNG AVE	Community:	North York
Legal Description:	PLAN 2399 PT LOT 141		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling with an integral garage. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10(5), Zoning By-law No. 569-2013**
A minimum of 10m² of the first floor must be within 4m of the main front wall.
A proposed 6.45m² of the first floor is within 4m of the main front wall.
- Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
B)(i) The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the west side exterior main walls facing a side lot line is 7.9m for 25.00% of the width of the wall.
- Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
C) The required minimum side yard setback is 1.2m where the required minimum lot frontage is 12.0m to less than 15.0m.
The proposed east side yard setback is 0.90m.
- Section 14-A(4), Zoning By-law No. 7625**
The minimum required lot frontage is 12m.
The existing lot frontage is 10.34m.
- Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

6. **Section 14-A(5)c, Zoning By-law No. 7625**
The minimum required east side yard setback is 1.2m.
The proposed east side yard setback is **0.90m**.
7. **Section 14-A(8), Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.2m.
8. **Section 14-A(9), Zoning By-law No. 7625**
The maximum permitted building length is 15.3m.
The proposed building length is 16.99m.
9. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.59m.
10. **Section 7.4A, Zoning By-law No. 7625**
The minimum required landscaping is 50 % of the front yard: 38.49m².
The proposed landscaping is 46.19 % of the front yard: 35.56m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposed driveway to be constructed of permeable materials

SIGNATURE PAGE

File Number:	A0953/16NY	Zoning	R6/RD (f12.0; a370)(ZR)
Owner:	SOHEIL AKHAVAN BING HIM LO	Ward:	Willowdale (23)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	248 BYNG AVE	Community:	North York
Legal Description:	PLAN 2399 PT LOT 141		


Denise Graham (signed)


Giacomo Tonon (signed)



Rick Ross (signed)


Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY


Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0954/16NY	Zoning	RD/R4 [ZZC]
Owner(s):	MICHELE STRAZZERI	Ward:	Willowdale (24)
Agent:	BRODKSY DESIGN	Heritage:	Not Applicable
Property Address:	107 OTONABEE AVE	Community:	North York
Legal Description:	PLAN 2560 PT LOT 64 RP 64R3501 PART 1 TO 2		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **32.90%** of the lot area.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all front exterior main walls is 7.50m for no less than 60.00% of the total width of all front main walls.
The proposed height of the front exterior main walls is 7.50m for 57.33% of the total width of all front main walls.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all rear exterior main walls is 7.50m for no less than 60.00% of the total width of all rear main walls.
The proposed height of the rear exterior main walls is 7.50m for 44.73% of the total width of all rear main walls.
- Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550.00m².
The existing lot area is 487.33m².

5. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.90% of the lot area.
6. **Section 13.2.3(c), By-law No. 7625**
The minimum required rear yard setback is 9.50m.
The proposed rear yard setback is 8.45m.
7. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 8.93m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

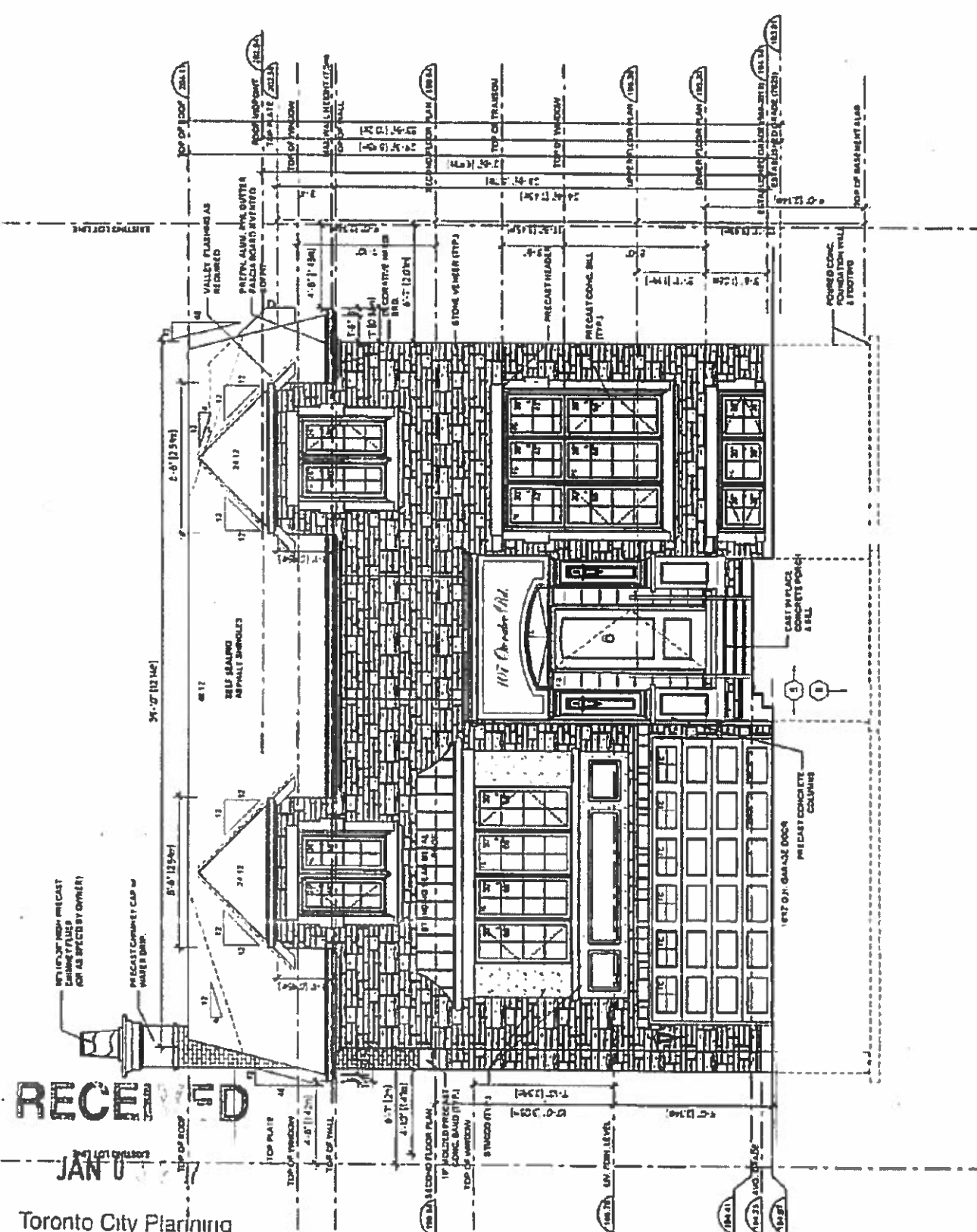
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
- 2) The proposal be developed in accordance with the Front Elevation and Rear Elevation drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, January 3, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



RECEIVED
 JAN 10 2011
 Toronto City Planning
 North York District

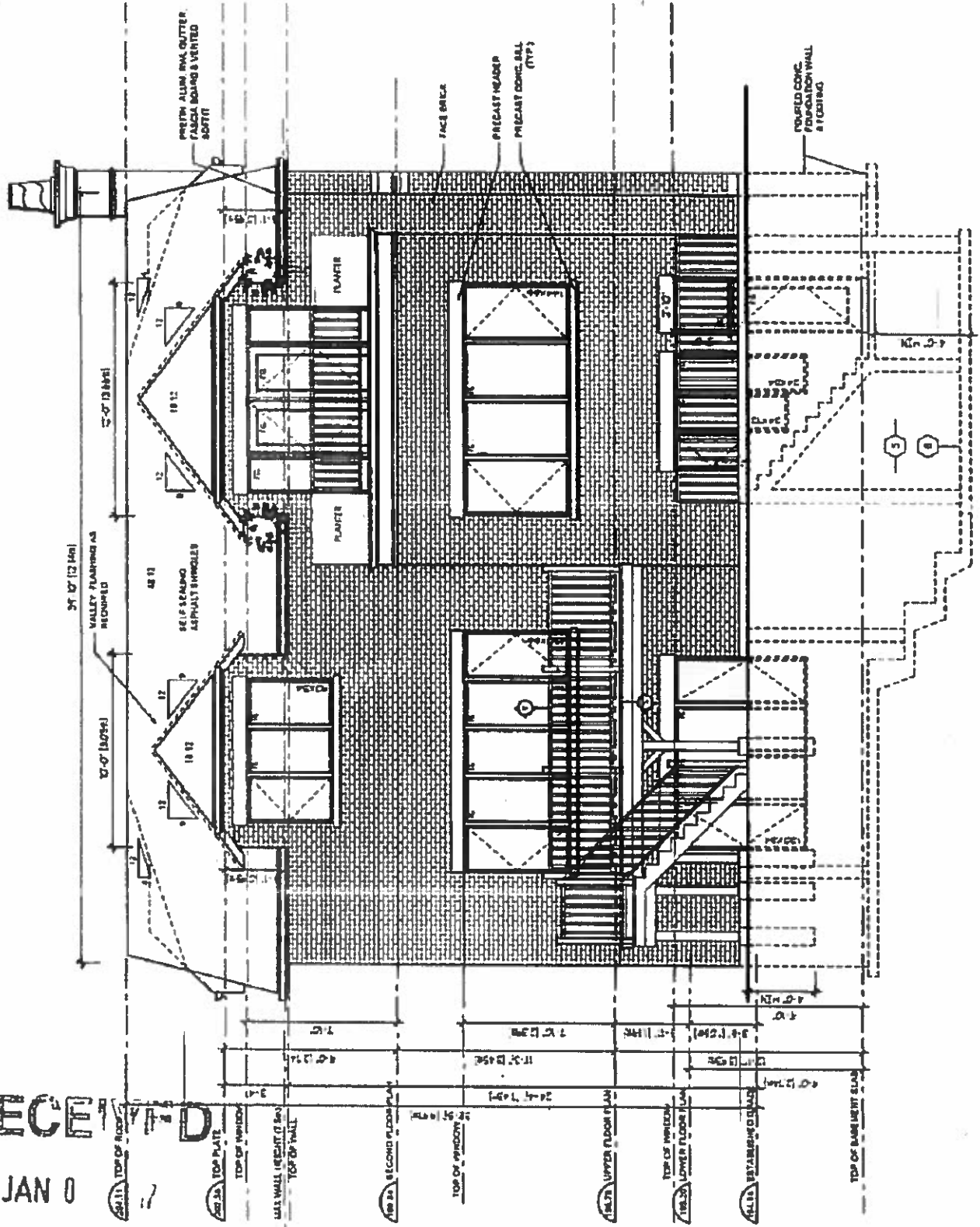
B.N.A. O.C. INC. ACTING AS
B DESIGN
 TEL: (416) 837-1211
 bdesign@bdesign.com

Model: _____
 Client: _____
107 OTONABEE
TORONTO, ONTARIO
 Date: _____

No.	Description	Date	By
1	REVISED AS PER COMMENTS	DEC 14	CB
2	REVISED AS PER COMMENTS	NOV 18	CB
3	REVISED AS PER COMMENTS	NOV 18	CB
4	REVISED FOR PPS	AA 7 11	CB

Qualified Designer: *JE*
 Title: *ARCHITECT*
 Date: *2011*

Sheet Title:
FRONT ELEVATION
 Project No: **10-005-02**
 Scale: **3/16" = 1'-0"**
 Date: **JULY 15**
 Drawn by: *JE*
 Checked by: *CB*
A5



RECEIVED

JAN 0

Toronto City Planning
North York District

QUAL. ENGINEERING AS

DB DESIGN

TEL: (416) 617-6121
torontodbg@gmail.com

Client: **107 OTONABEE TORONTO ONTARIO**

17

1	AS WITH APPRO COMMENTS	DB	08
2	REVISED AS PER COMMENTS 1	DB	08
3	REVISED AS PER COMMENTS 2	DB	08
4	REVISED AS PER COMMENTS 3	DB	08
5	CHECKED FOR PERM	AA	08
6	DATE	BY	
Qualified Designer & CDR: [Signature]		Date: [Date]	
Drawn by: [Signature]		Date: [Date]	

Sheet Title: **REAR ELEVATION**

Project No: **10-005-02**

Scale: **3/16" = 1'-0"**

Date: **JULY 18'**

Drawn by: **JE**

Checked by: **DB**

Sheet No: **A8**

SIGNATURE PAGE

File Number:	A0954/16NY	Zoning	RD/R4 [ZZC]
Owner:	MICHELE STRAZZERI	Ward:	Willowdale (24)
Agent:	BRODKSY DESIGN	Heritage:	Not Applicable
Property Address:	107 OTONABEE AVE	Community:	North York
Legal Description:	PLAN 2560 PT LOT 64 RP 64R3501 PART 1 TO 2		


Denise Graham (signed)


Giacomo Tonon (signed)

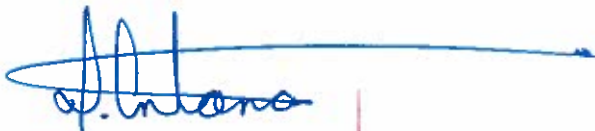

Rick Ross (signed)


Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY


Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0959/16NY	Zoning	RD/R4[ZONING]
Owner(s):	NAVID AZIZI	Ward:	Don Valley East (34)
Agent:	NAVID AZIZI	Heritage:	Not Applicable
Property Address:	6 CAMWOOD CRES	Community:	North York
Legal Description:	PLAN 5542 L 84		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second floor addition above the existing one-storey dwelling and a two-storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 30.9% of the lot area.
- Chapter 900, By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed south side yard setback is 1.588m.
- Section 13.2.3c, By-law No. 7625**
The minimum required rear yard setback is 9.5m.
The proposed rear yard setback is 8.614m.
- Section 13.2.3c, By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.588m.
- Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 30.9% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number: A0959/16NY
Owner: NAVID AZIZI
Agent: NAVID AZIZI
Property Address: **6 CAMWOOD CRES**
Legal Description: PLAN 5542 L 84

Zoning: RD/R4[ZONING]
Ward: Don Valley East (34)
Heritage: Not Applicable
Community: North York




Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)



Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY



Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0960/16NY	Zoning	R4/RD (f15.0; a550) (x5)(waiver)
Owner(s):	WEILU WANG HUANZHI NING	Ward:	Willowdale (23)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	120 BYNG AVE	Community:	North York
Legal Description:	PLAN 2282 LOT 191		

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling with an integral garage. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the west side exterior main wall facing a side lot line is 8.05m for 33.00% of the width of the wall.
- Chapter 10.20.40.20(1), Zoning By-law No. 569-2013**
In the RD zone with a minimum required lot frontage of 18.0m or less, the permitted maximum building length for a detached house is 17.0m.
The proposed building length is 19.63m.
- Chapter 10.20.40.30.(1), Zoning By-law No. 569-2013**
The permitted maximum building depth for a detached house is 19.0m.
The proposed building depth is 19.63m.
- Chapter 10.20.40.50.(1), Zoning By-law No. 569-2013**
The permitted maximum area of each platform at or above the second storey of a detached house is 4.0m².
The proposed area of the rear platform at or above the second storey is 5.0m².
- Chapter 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed west side yard setback is 1.5m.

6. **Chapter 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed east side yard setback is 1.5m.
7. **Section 13.2.3(b), Zoning By-law No. 7625**
The required minimum side yard setbacks are 1.8 metres each side.
The proposed west side yard setback is 1.5m.
8. **Section 13.2.3(b), Zoning By-law No. 7625**
The required minimum side yard setbacks are 1.8 metres each side.
The proposed east side yard setback is 1.5m.
9. **Section 13.2.5A, Zoning By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 20.24m.
10. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height 9.20m.
11. **Section 13.2.6A, Zoning By-law No. 7625**
The maximum permitted balcony area is 3.8m².
The proposed rear balcony area is 5.0m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the west side exterior main wall facing a side lot line is 8.05m for 33.00% of the width of the wall.
2. **Chapter 10.20.40.20(1), Zoning By-law No. 569-2013**
In the RD zone with a minimum required lot frontage of 18.0m or less, the permitted maximum building length for a detached house is 17.0m.
The proposed building length is 19.63m.
3. **Chapter 10.20.40.30.(1), Zoning By-law No. 569-2013**
The permitted maximum building depth for a detached house is 19.0m.
The proposed building depth is 19.63m.
4. **Chapter 10.20.40.50.(1), Zoning By-law No. 569-2013**
The permitted maximum area of each platform at or above the second storey of a detached house is 4.0m².
The proposed area of the rear platform at or above the second storey is 5.0m².

9. **Section 13.2.5A, Zoning By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 20.24m.
10. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height 9.20m.
11. **Section 13.2.6A, Zoning By-law No. 7625**
The maximum permitted balcony area is 3.8m².
The proposed rear balcony area is 5.0m².

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

5. **Chapter 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed west side yard setback is 1.5m.
6. **Chapter 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed east side yard setback is 1.5m.
7. **Section 13.2.3(b), Zoning By-law No. 7625**
The required minimum side yard setbacks are 1.8 metres each side.
The proposed west side yard setback is 1.5m.
8. **Section 13.2.3(b), Zoning By-law No. 7625**
The required minimum side yard setbacks are 1.8 metres each side.
The proposed east side yard setback is 1.5m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0960/16NY	Zoning	R4/RD (f15.0; a550) (x5)(waiver)
Owner:	WEILU WANG HUANZHI NING	Ward:	Willowdale (23)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	120 BYNG AVE	Community:	North York
Legal Description:	PLAN 2282 LOT 191		



Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)

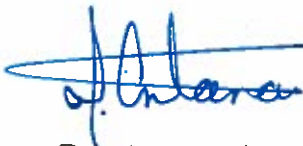


Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY



Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0961/16NY	Zoning	RD/R1 Z0.35 [ZZC]
Owner(s):	JENNIFER DAWN MAJER SHAUN JASON MAJER	Ward:	Eglinton-Lawrence (16)
Agent:	EWA PAZDIOR	Heritage:	Not Applicable
Property Address:	197 COLDSTREAM AVE	Community:	Toronto
Legal Description:	PLAN M87 LOT 252		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new accessory structure.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.60.40.(2), By-law No. 569-2013**
The maximum permitted height of an ancillary building or structure is 4.00m.
The proposed height of the ancillary structure is 4.88m
- Section 6(3) Part II 7(I), By-law No. 438-86**
The minimum required lot line setback is 3.00m from all lot lines for an accessory structure.
The proposed lot line setback is 0.61m from the east lot line.
- Section 4(2)d, By-law No. 438-86**
The maximum permitted height of an accessory structure is 4.00m.
The proposed height of the accessory structure is 4.88m

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

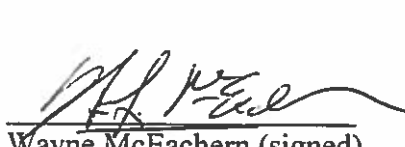
It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0961/16NY	Zoning	RD/R1 Z0.35 [ZZC]
Owner:	JENNIFER DAWN MAJER SHAUN JASON MAJER	Ward:	Eglinton-Lawrence (16)
Agent:	EWA PAZDIOR	Heritage:	Not Applicable
Property Address:	197 COLDSTREAM AVE	Community:	Toronto
Legal Description:	PLAN M87 LOT 252		


Denise Graham (signed)


Wayne McEachern (signed)


Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY



Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0962/16NY	Zoning	R1 Z0.35/RD(f15.0; d0.35)(x1427)[ZONING]
Owner(s):	MITKO TASKOV	Ward:	Don Valley West (25)
Agent:	PAUL MARQUES ARCHITECT	Heritage:	Not Applicable
Property Address:	30 GLEN ECHO RD	Community:	Toronto
Legal Description:	PLAN 1578 PT LOT 5		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted Floor Space Index is 0.35 times the area of the lot.
The proposed Floor Space Index is 0.79 times the area of the lot.
- Chapter 10.20.40.10.(2)(B)(ii), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 7.86m.
- Chapter 10.20.40.70.(3)(D), By-law No. 569-2013**
The minimum required side yard setback is 1.5m.
The proposed west side yard setback is 0.9m.
- Chapter 10.20.40.70.(3)(D), By-law No. 569-2013**
The minimum required side yard setback is 1.5m.
The proposed west side yard setback is 0.47m.
- Chapter 10.5.40.60.(1)(A)(i), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.3m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required front yard setback up to 2.32m if it is no closer to a side lot line than 1.5m from the side lot lines.
The proposed platform is 0.9m from the west side lot line.

6. **Chapter 10.5.40.60.(1)(C), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.3m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.5m if it is no closer to a side lot line than 2.24m.
The proposed deck at the rear will be 0.83m from the east side lot line.
7. **Section 6(3) Part I1, By-law No. 438-86**
The maximum permitted Gross Floor Area is 0.35 times the area of the lot.
The proposed Gross Floor Area is 0.78 times the area of the lot.
8. **Section 6(3)Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback for that portion of the building exceeding 17.0 m in depth is 7.5m.
The proposed west side yard setback is 3.3m.
9. **Section 6(3)Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback for that portion of the building exceeding 17.0 m in depth is 7.5m.
The proposed east side yard setback is 0.83m.
10. **Section 6(3)Part II4, By-law No. 438-86**
The minimum required rear yard setback is 7.5m.
The proposed rear yard setback is 4.77m.
11. **Section 6(3) Part II 8D(I), By-law No. 438-86**
The maximum permitted uncovered platform is 1.2m above grade.
The proposed ground floor platform height is 1.36m above grade.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

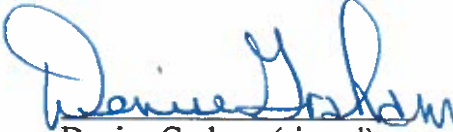
The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0962/16NY	Zoning	R1 Z0.35/RD(f15.0; d0.35)(x1427)[ZONING]
Owner:	MITKO TASKOV	Ward:	Don Valley West (25)
Agent:	PAUL MARQUES ARCHITECT	Heritage:	Not Applicable
Property Address:	30 GLEN ECHO RD	Community:	Toronto
Legal Description:	PLAN 1578 PT LOT 5		


Denise Graham (signed)


Giacomo Tonon (signed)

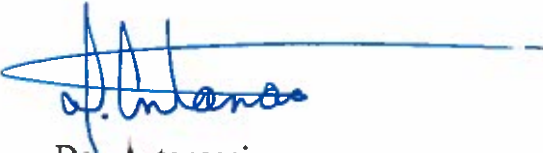

Rick Ross (signed)


Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

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Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0963/16NY	Zoning	RD/R4 [WAV]
Owner(s):	JAFAR HEIDARY	Ward:	Don Valley West (25)
Agent:	JAFAR HEIDARY	Heritage:	Not Applicable
Property Address:	196 FENN AVE	Community:	North York
Legal Description:	PLAN M866 LOT 246 RR		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 6(30), By-law No. 7625**
The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 1.70m.
- Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.10m.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m for 100% of the width of the wall.
The proposed west side exterior main wall facing a side lot line is 8.50m for 10.00% of the width of the wall.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m for 100% of the width of the wall.
The proposed east side exterior main wall facing a side lot line is 8.50m for 20.00% of the width of the wall.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number: A0963/16NY
Owner: JAFAR HEIDARY
Agent: JAFAR HEIDARY
Property Address: 196 FENN AVE
Legal Description: PLAN M866 LOT 246 RR

Zoning: RD/R4 [WAV]
Ward: Don Valley West (25)
Heritage: Not Applicable
Community: North York



Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)



Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

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Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0965/16NY	Zoning	RD/R2/O1[WAV]
Owner(s):	ANASTASIOS DRACOPOULOS GEORGIA DRACOPOULOS	Ward:	Don Valley East (34)
Agent:	BILL ROSS	Heritage:	Not Applicable
Property Address:	79 LAURENTIDE DR	Community:	North York
Legal Description:	PLAN 5112 LOT 36 PLAN 5112 PT BLK D RP 64R10656 PARTS 4 & 5		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit a rear deck and the relocation of the driveway.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.80.40.(3), By-law No. 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking is not from the flanking street.
- Chapter 10.5.100.1.(1), By-law No. 569-2013**
The maximum permitted driveway width is 6.00m.
The proposed driveway width is 7.00m.
- Section 6A(5)(a)(ii)(C), By-law No. 7625**
The maximum permitted driveway width is 6.00m.
The proposed driveway width is 7.00m.
- Section 6(24), By-law No. 7625**
The maximum permitted rear deck projection is 2.10m from the wall and a maximum height of 1.00m.
The proposed rear deck projects 3.65m from the rear wall.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf. Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.
- 2) That the applicant shall submit Tree Protection Guarantee (\$8,558.00) for one (1) City-owned 63cm Norway maple tree.

SIGNATURE PAGE

File Number:	A0965/16NY	Zoning	RD/R2/O1[WAV]
Owner:	ANASTASIOS DRACOPOULOS GEORGIA DRACOPOULOS	Ward:	Don Valley East (34)
Agent:	BILL ROSS	Heritage:	Not Applicable
Property Address:	79 LAURENTIDE DR	Community:	North York
Legal Description:	PLAN 5112 LOT 36 PLAN 5112 PT BLK D RP 64R10656 PARTS 4 & 5		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0967/16NY	Zoning	RD/R3(19) [ZCC]
Owner(s):	TIBOR LESLIE OLAH MARIA T OLAH	Ward:	Eglinton-Lawrence (16)
Agent:	MICHAEL COGAN ARCHITECT	Heritage:	Not Applicable
Property Address:	104 YONGE BLVD	Community:	North York
Legal Description:	PLAN 1965 LOT 255		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 18.32m.
- Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.00m.
The proposed building depth is 19.15m.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.22m.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.22m.
- Chapter 10.5.80.40.(3), By-law No. 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking is not from the flanking street.
- Chapter 10.5.40.60.(3)(A)(iii), By-law No. 569-2013**
Exterior stairs may encroach into a required setback provided they are no closer than 0.60m to a lot line.
The proposed side stairs are 0.00m from the east lot line.

7. **Section 12.7, By-law No. 7625**
The maximum permitted building height is 8.00m.
The proposed building height is 9.15m.
8. **Section 12.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 18.93m.
9. **Section 12.4(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.22m.
10. **Section 12.4(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.22m.
11. **Section 6(30), By-law No. 7625**
The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 1.58m.
12. **Section 12.7A, By-law No. 7625**
The maximum permitted balcony area is 3.80m².
The proposed balcony area is 4.00m².
13. **Section 6(24), By-law No. 7625**
The maximum permitted rear deck projection is 2.10m from the wall, a maximum height of 1.00m and is not to be more than half the width of the dwelling.
The proposed deck projects 2.25m from the rear wall, is 1.80m in height.
14. **Section 6(9)(a), By-law No. 7625**
Eaves shall be permitted to project into any minimum yard setback not more than 0.50m.
The proposed eaves project 0.61m.
15. **Section 6(9)(c), By-law No. 7625**
Exterior stairways, porches and decks 2.30m² or less in area, shall be permitted to project into one minimum side yard setback only, not more than 1.60m but no closer than 0.60m from any side lot line.
The proposed side porch and stairs are 5.34m² and are 0.00m from the side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

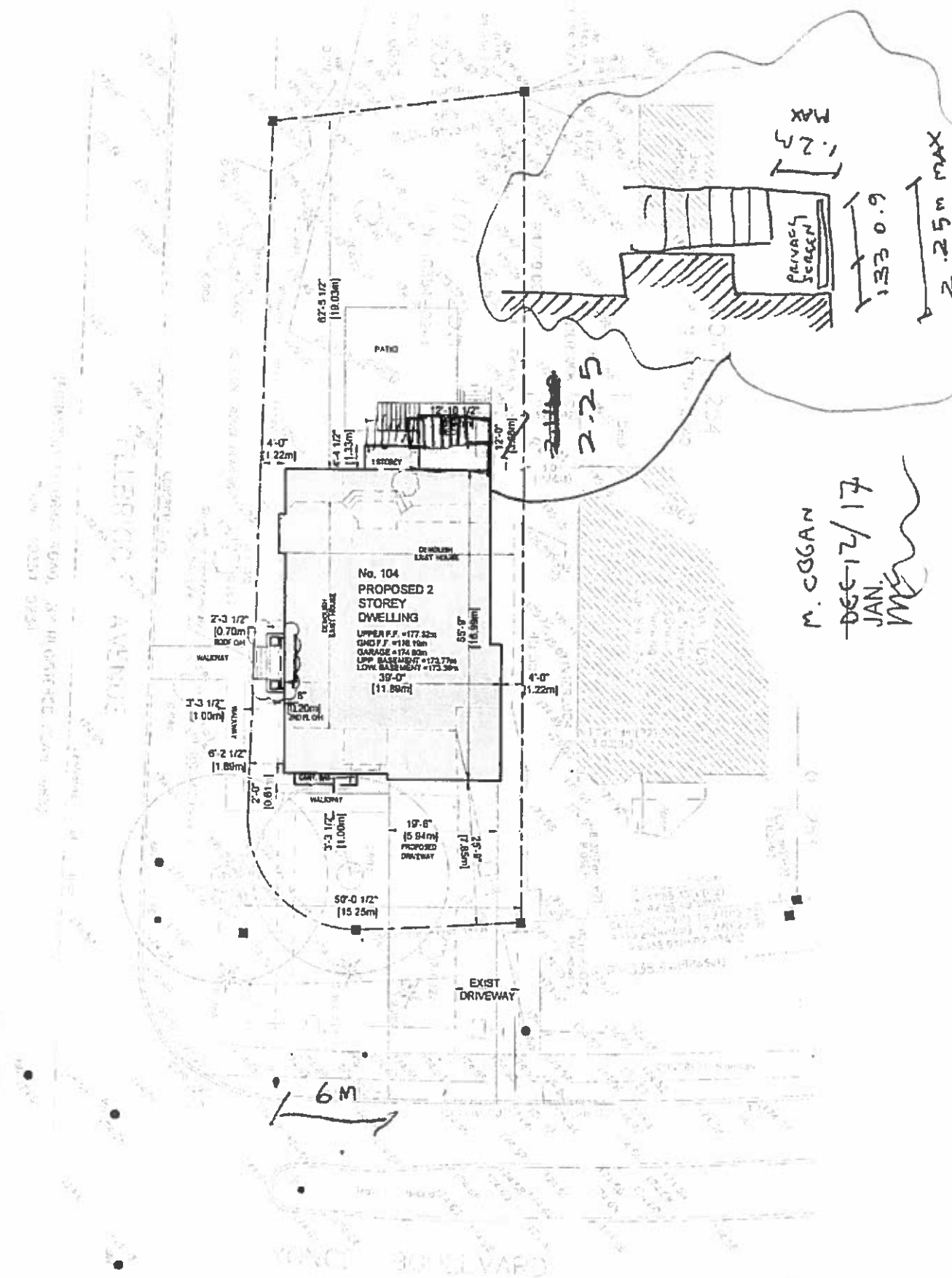
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The property being developed essentially in accordance with the site plan attached to this decision, signed and dated January 12, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



104 YONGE BLVD.
SITE PLAN

SCALE: 1:200 DECEMBER 15, 2016
1816




michael cogan architect

3671a Bathurst Street
Toronto, ON M6A 2E6
Tel. (416) 787-2502
Fax (416) 781-7596

SIGNATURE PAGE

File Number:	A0967/16NY	Zoning	RD/R3(19) [ZZC]
Owner:	TIBOR LESLIE OLAH MARIA T OLAH	Ward:	Eglinton-Lawrence (16)
Agent:	MICHAEL COGAN ARCHITECT	Heritage:	Not Applicable
Property Address:	104 YONGE BLVD	Community:	North York
Legal Description:	PLAN 1965 LOT 255		



Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)

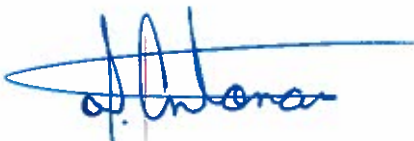


Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

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Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0968/16NY	Zoning	R4/RD[ZONING]
Owner(s):	REENA COHEN URIEL GORODZINSKY	Ward:	Eglinton-Lawrence (15)
Agent:	SARAH IFRAH ARCHITECT INC	Heritage:	Not Applicable
Property Address:	20 FAIRHOLME AVE	Community:	North York
Legal Description:	PLAN 3203 LOT 78		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition to the existing two-storey dwelling. The existing one-storey dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of the front exterior main wall is 7.5m.
The proposed height of the front exterior main walls is 7.52m.
- Chapter 10.20.30.10.(1), By-law No. 569-2013**
The minimum required lot area is 550m².
The proposed lot area is 478.3m².
- Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.09m.
- Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 478.3m².
- Section 6(24)(c)(ii), By-law No. 7625**
The maximum permitted rear deck projection is 2.1m having an above height of 1m above grade and a width no greater than half the width of the dwelling.
The proposed rear deck projection is 3.66m with a height of 1.84m above grade and a width greater than half the width of the dwelling (59%)

6. Section 6(24)(c), By-law No. 7625

The maximum permitted side deck height is 1m above grade.

The proposed side deck height is 1.61m above grade.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

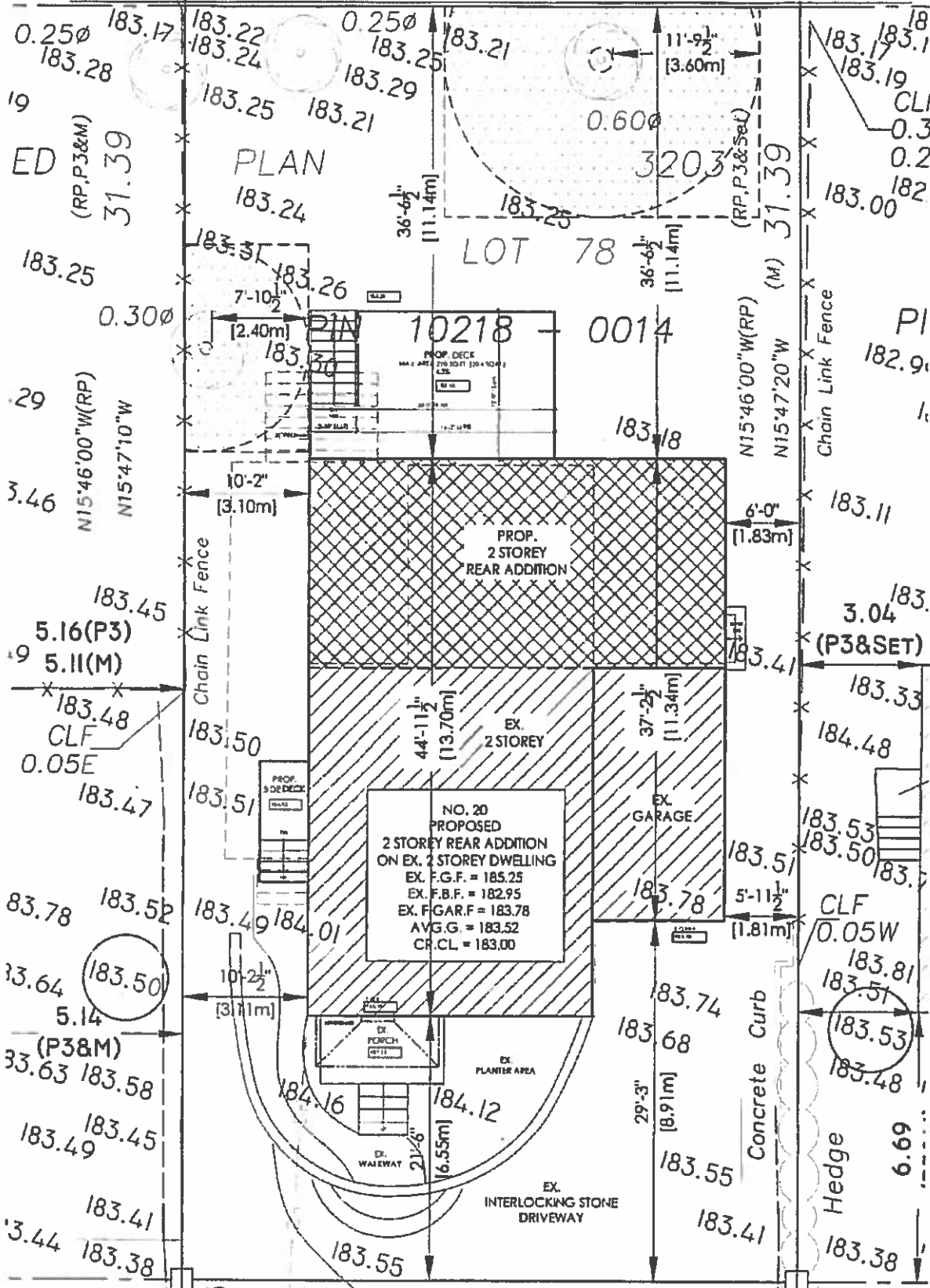
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

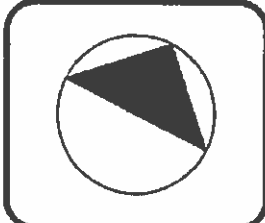
This decision is subject to the following condition(s):

- 1) The property being developed essentially in accordance with the site plan attached to this decision, dated December 14, 2016.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.
- 2) The applicant is to provide permanent opaque screening or fencing along the western edge of the proposed rear deck with a minimum height of 1.50 metres from the floor of the deck.



1 SITE PLAN-DETAIL
A1a SCALE: 1/8"=1'-0"

Project Name and Address
RESIDENCE
 20 FAIRHOLME AVENUE
 NORTH YORK, ONTARIO



sarahifrah
 ARCHITECT INC
 75 Dufferin Road B30A, Toronto, ONTARIO M6H 4T7
 416 794 8787

Project	16.12	Sheet	A1a
Date	DEC.14.18		
Notes	AS NOTED		

SIGNATURE PAGE

File Number:	A0968/16NY	Zoning	R4/RD[ZONING]
Owner:	REENA COHEN URIEL GORODZINSKY	Ward:	Eglinton-Lawrence (15)
Agent:	SARAH IFRAH ARCHITECT INC	Heritage:	Not Applicable
Property Address:	20 FAIRHOLME AVE	Community:	North York
Legal Description:	PLAN 3203 LOT 78		



Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)

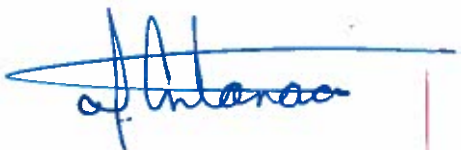


Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY



Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0969/16NY	Zoning	RD/R6 [ZZC]
Owner(s):	FRANK ENG SUSAN ENG	Ward:	Eglinton-Lawrence (15)
Agent:	SAHAND HOMES INC	Heritage:	Not Applicable
Property Address:	136 GLEN PARK AVE	Community:	North York
Legal Description:	PLAN 1911 E PT LOT 447 W PT LOT 448		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 10.00m.
The proposed building height is 10.49m.
- Chapter 10.20.40.70.(1)(B), By-law No. 569-2013**
The minimum required front yard setback is 9.27m.
The proposed front yard setback is 6.63m.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 8.20m.
- Section 14-A(9), By-law No. 7625**
The maximum permitted building length is 15.30m and may be increased to 17.40m by means of a one-storey rear extension.
The proposed building length is 16.76m and 18.90m including the one-storey rear extension.
- Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.30m.
- Section 14-A(8), By-law No. 7625**
The maximum number of storeys permitted is two (2).
The proposed number of storeys is three (3).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0969/16NY	Zoning	RD/R6 [ZZC]
Owner:	FRANK ENG SUSAN ENG	Ward:	Eglinton-Lawrence (15)
Agent:	SAHAND HOMES INC	Heritage:	Not Applicable
Property Address:	136 GLEN PARK AVE	Community:	North York
Legal Description:	PLAN 1911 E PT LOT 447 W PT LOT 448		



Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)



Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY



Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0970/16NY	Zoning	R4/RD (f15.0; a550)(x5)[ZONING]
Owner(s):	HOSSEIN YARMOHAMMADI MARYAM SHARIFI	Ward:	Willowdale (24)
Agent:	IN ROADS CONSULTANTS	Heritage:	Not Applicable
Property Address:	142 NORTHWOOD DR	Community:	North York
Legal Description:	PLAN 3344 W PT LOT 34		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10m² of the First Floor area must be within 4m of the front wall.
There is 6.2m² proposed within 4m of the front wall.
- Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0m.
The proposed building length is 18.9m.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of the front and rear exterior main wall is 7.5m.
The proposed height of the front and rear exterior main wall is 7.8m.
- Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.21m.
- Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.21m.
- Section 13.2.1 and 6(8), By-law No. 7625**
The minimum required lot frontage and width is 15m.
The existing lot frontage and width is 12.5m.

7. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.21m.
8. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.21m.
9. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 20.12m.
10. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.1m.
11. **Section 6(30)a, By-law No. 7625**
The maximum permitted finished first floor height is 1.5m.
The proposed finished first floor height is 1.59m.
12. **Section 6(24), By-law No. 7625**
The maximum width of an unexcavated deck in the rear that projects less than 2.1m from the wall and is greater than 1m above all points of the adjacent ground is 50% of the width of the dwelling.
The proposed deck is 74% of the width of the dwelling.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0970/16NY	Zoning	R4/RD (f15.0; a550)(x5)[ZONING]
Owner:	HOSSEIN YARMOHAMMADI MARYAM SHARIFI	Ward:	Willowdale (24)
Agent:	IN ROADS CONSULTANTS	Heritage:	Not Applicable
Property Address:	142 NORTHWOOD DR	Community:	North York
Legal Description:	PLAN 3344 W PT LOT 34		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0971/16NY	Zoning	R/R2 Z0.6 [ZZC]
Owner(s):	HAMIDREZA MORSHEDI	Ward:	Don Valley West (25)
Agent:	RICHARD LIBRACH ARCHITECT	Heritage:	Not Applicable
Property Address:	59 BRAESIDE RD	Community:	Toronto
Legal Description:	PLAN 1707 PT LOTS 196 & 197		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.60 times the lot area.
The proposed floor space index is 0.77 times the lot area.
- Chapter 10.10.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 0.90m.
The proposed east side yard setback is 0.60m.
- Chapter 10.5.100.1.(1), By-law No. 569-2013**
The maximum permitted driveway width is 3.34m.
The proposed driveway width is 3.50m.
- Chapter 10.10.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 0.90m.
The proposed west side yard setback is 0.71m.
- Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted gross floor area is 0.60 times the lot area.
The proposed gross floor area is 0.77 times the lot area.
- Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side yard setback is 0.90m.
The proposed east side yard setback is 0.60m.

7. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side yard setback is 0.90m.
The proposed west side yard setback is 0.71m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0971/16NY	Zoning	R/R2 Z0.6 [ZZC]
Owner:	HAMIDREZA MORSHEDI	Ward:	Don Valley West (25)
Agent:	RICHARD LIBRACH ARCHITECT	Heritage:	Not Applicable
Property Address:	59 BRAESIDE RD	Community:	Toronto
Legal Description:	PLAN 1707 PT LOTS 196 & 197		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

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Dan Antonacci
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North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0972/16NY	Zoning	R6/RD (f12.0; a370)[ZONING]
Owner(s):	JOANNE LEWTAS	Ward:	Eglinton-Lawrence (16)
Agent:	Stacey Ragotte	Heritage:	Not Applicable
Property Address:	19 BELGRAVE AVE	Community:	North York
Legal Description:	PLAN 2571 PT LOTS 608 & 609		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second floor addition at the south east corner above the existing one-storey portion of the dwelling and garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0m.
The existing and proposed building length is 18.58m.
- Chapter 10.20.40.70.(2), By-law No. 569-2013**
The minimum required rear yard setback is 8.96m.
The existing and proposed rear yard setback is 8.53m.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.2m.
The existing and proposed east side yard setback is 0.95m.
- Chapter 200.5.1.10(2), By-law No. 569-2013**
The minimum required parking space must have a minimum length of 5.6m.
The existing parking space has a length of 4.7m.
- Section 14-A(5)(b), By-law No. 7625**
The minimum required rear yard setback is 8.96m.
The existing and proposed rear yard setback is 8.53m.
- Section 14-A(9), By-law No. 7625**
The maximum permitted building length is 15.3m.
The existing and proposed building length is 19.06m.

7. Section 6A(3), By-law No. 7625

The minimum required parking space size is 5.6m x 3.2m.

The existing parking space size is 4.7m x 3.22m

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0972/16NY	Zoning	R6/RD (f12.0; a370)[ZONING]
Owner:	JOANNE LEWTAS	Ward:	Eglinton-Lawrence (16)
Agent:	Stacey Ragotte	Heritage:	Not Applicable
Property Address:	19 BELGRAVE AVE	Community:	North York
Legal Description:	PLAN 2571 PT LOTS 608 & 609		



Denise Graham (signed)



Giacomo Tohon (signed)



Rick Ross (signed)

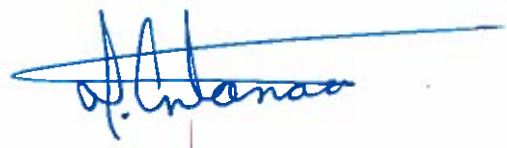


Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

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Dan Antonacci
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North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0973/16NY	Zoning:	RD/R1 Z0.35 [ZZC]
Owner(s):	SHANNON KELLY CROWDER GRAHAM JAROD CROWDER	Ward:	Don Valley West (25)
Agent:	STEPHEN CANJAR	Heritage:	Not Applicable
Property Address:	3 GEORGIAN CRT	Community:	Toronto
Legal Description:	PLAN 1622 PT LOT 8 RP 63R226 PART 13		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition over the existing attached garage, in conjunction with a new two-storey addition to the south east portion of the existing two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.35 times the lot area.
The proposed floor space index is 0.52 times the lot area.
- Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted gross floor area is 0.35 times the lot area.
The proposed gross floor area is 0.52 times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0973/16NY	Zoning	RD/R1 Z0.35 [ZZC]
Owner:	SHANNON KELLY CROWDER GRAHAM JAROD CROWDER	Ward:	Don Valley West (25)
Agent:	STEPHEN CANJAR	Heritage:	Not Applicable
Property Address:	3 GEORGIAN CRT	Community:	Toronto
Legal Description:	PLAN 1622 PT LOT 8 RP 63R226 PART 13		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0974/16NY	Zoning	R4/RD[WAIVER]
Owner(s):	JAEIM PARK MYUNGHO PARK	Ward:	Willowdale (23)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	385 PRINCESS AVE	Community:	North York
Legal Description:	PLAN 1609 LOT 127		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 8.14m **for 33.00% of the width of the east wall.**
- Chapter 900.3.10.(5), By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m.
The proposed west side yard setback is 1.5m **for the front 6.70m portion of the dwelling only.**
- Chapter 900.3.10.(5), By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m.
The proposed east side yard setback is 1.5m **for the front 5.46m portion of the dwelling only.**
- Section 13.2.4, By-law No. 7625**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
- Section 13.2.3(b), By-law No. 7625**
The required minimum side yard setbacks are 1.8m.
The proposed west side yard setback is 1.5m **for the front 6.70m portion of the dwelling only.**

7. **Section 13.2.3(b), By-law No. 7625**
The required minimum side yard setbacks are 1.8m.
The proposed east side yard setback is 1.5m for the front 5.46m portion of the dwelling only.
8. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height 9.12m.
9. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 19.15m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

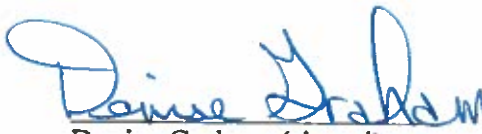
The Minor Variance Application is Refused


It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0974/16NY	Zoning	R4/RD[WAIVER]
Owner:	JAEIM PARK MYUNGHO PARK	Ward:	Willowdale (23)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	385 PRINCESS AVE	Community:	North York
Legal Description:	PLAN 1609 LOT 127		


Denise Graham (signed)


Giacomo Tonon (signed)



Rick Ross (signed)


Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

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Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0975/16NY	Zoning	RD/R6 [ZZC]
Owner(s):	SABEEN SOHAIL	Ward:	Eglinton-Lawrence (15)
Agent:	NADEEM IRFAN ARCHITECT	Heritage:	Not Applicable
Property Address:	354 RANEE AVE	Community:	North York
Legal Description:	PLAN 3240 LOT 9		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.
The proposed first floor area is 5.88m² within 4.00m of the main front wall.
- Section 14-A(9), By-law No. 7625**
The maximum permitted building length is 15.30m.
The proposed building length is 18.73m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

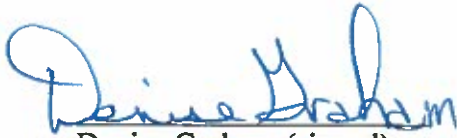
The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0975/16NY	Zoning	RD/R6 [ZZC]
Owner:	SABEEN SOHAIL	Ward:	Eglinton-Lawrence (15)
Agent:	NADEEM IRFAN ARCHITECT	Heritage:	Not Applicable
Property Address:	354 RANEE AVE	Community:	North York
Legal Description:	PLAN 3240 LOT 9		



Denise Graham (signed)



Giacomo Tonon (signed)

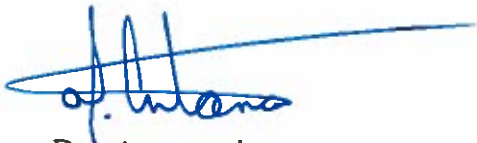


Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY



Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0976/16NY	Zoning	R4/RD(f15;a550)(x5)[ZONING]
Owner(s):	THI MINH TAM NGUYEN	Ward:	Willowdale (23)
Agent:	EDDIE PARES	Heritage:	Not Applicable
Property Address:	28 MOORE PARK AVE	Community:	North York
Legal Description:	PLAN 3788 LOT 4		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and to maintain the existing three-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.10.(3), By-law No. 569-2013**
The maximum permitted number of storeys is 2.
The proposed number of storeys is 3.
- Section 13.2.6, By-law No. 7625**
The maximum permitted number of storeys is 2.
The proposed number of storeys is 3.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

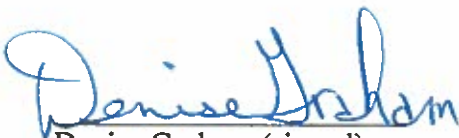
The Minor Variance Application is Refused

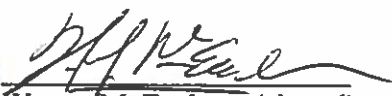
It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:


- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0976/16NY	Zoning	R4/RD(f15;a550)(x5)[ZONING]
Owner:	THI MINH TAM NGUYEN	Ward:	Willowdale (23)
Agent:	EDDIE PARES	Heritage:	Not Applicable
Property Address:	28 MOORE PARK AVE	Community:	North York
Legal Description:	PLAN 3788 LOT 4		


Denise Graham (signed)

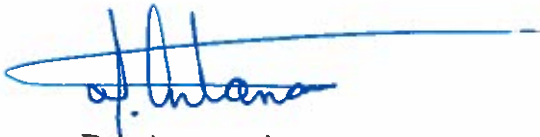

Wayne McEachern (signed)


Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY



Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0980/16NY	Zoning	RD/R4[ZONING]
Owner(s):	PAUL ELLIOT	Ward:	York Centre (10)
Agent:	SARAH IFRAH ARCHITECT	Heritage:	Not Applicable
Property Address:	9 DORCHESTER DR	Community:	North York
Legal Description:	PLAN 2713 LOT 65 PT LOT 66		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second floor addition on the south portion of the existing two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.50.(2), By-law No. 569-2013**
A platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.3m of a building, must comply with the required minimum building setbacks of 1.8m.
The proposed south side yard setback for the rear yard deck is 1.21m.
- 2. Chapter 900.3.10(5), By-law No. 569-2013**
The required minimum south side yard setback is 1.8m.
The proposed side yard setback is 1.21m.
- 3. Section 6(24), By-law No. 7625**
Decks greater than 1m in height may not project more than 2.1m from the wall and must be less than half the width of the dwelling.
The proposed deck is 1.54m in height and projects 3.87m from the wall and is less than half the width of the dwelling.
- 4. Section 13.2.3(b), By-law 7625**
The required minimum south side yard setback is 1.8m.
The proposed side yard setback is 1.21m.
- 5. Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 17.13m

6. Section 6(24), By-law No. 7625

The minimum side yard setback for the unexcavated deck in the rear yard is 1.8m.

The proposed south side yard setback for the unexcavated deck in the rear yard is 1.21m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0980/16NY	Zoning	RD/R4[ZONING]
Owner:	PAUL ELLIOT	Ward:	York Centre (10)
Agent:	SARAH IFRAH ARCHITECT	Heritage:	Not Applicable
Property Address:	9 DORCHESTER DR	Community:	North York
Legal Description:	PLAN 2713 LOT 65 PT LOT 66		



Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)

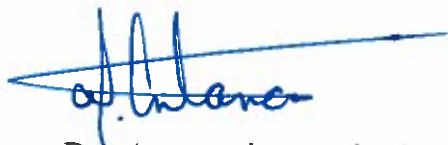


Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

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Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0981/16NY	Zoning:	RM/RM4 [WAV]
Owner(s):	LING LI PAN RULIN WANG	Ward:	York Centre (10)
Agent:	D R DESIGN GROUP INC	Heritage:	Not Applicable
Property Address:	27 ALMINGTON ST	Community:	North York
Legal Description:	PLAN 4376 LOT 19		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey addition to the rear of the existing dwelling, in conjunction with a second storey addition over the existing one-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.80.40.70.(1)(B), By-law No. 569-2013**
The minimum required front yard setback is 9.58m.
The proposed front yard setback is 7.92m.
- Chapter 10.80.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.20m.
The proposed north side yard setback is 1.12m.
- Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.12m.
- Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 17.22m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**


The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0981/16NY	Zoning	RM/RM4 [WAV]
Owner:	LING LI PAN RULIN WANG	Ward:	York Centre (10)
Agent:	D R DESIGN GROUP INC	Heritage:	Not Applicable
Property Address:	27 ALMINGTON ST	Community:	North York
Legal Description:	PLAN 4376 LOT 19		


Denise Graham (signed)


Giacomo Tonon (signed)


Rick Ross (signed)


Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

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Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0982/16NY	Zoning:	R2A/RM (d0.6)(x236)[ZONING]
Owner(s):	MEITONG LI ZHENGGUO CHEN	Ward:	Don Valley West (26)
Agent:	D R DESIGN GROUP INC	Heritage:	Not Applicable
Property Address:	285 SUTHERLAND DR	Community:	East York
Legal Description:	PLAN 2120 LOT 381		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition to the existing two-storey dwelling. The applicant is also proposing a basement walkout and detached garage at the rear of the property. The existing garage would be converted to living space.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.80.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35% of the lot area.
The proposed lot coverage is 37.7% of the lot area.
- Chapter 10.80.30.40.(1), By-law No. 569-2013**
The maximum permitted Floor Space Index is 0.6 times the area of the lot.
The proposed Floor Space Index is 0.63 times the area of the lot.
- Section 6.4.3, By-law No. 1916**
The maximum permitted Floor Space Index is 0.6 times the area of the lot.
The proposed Floor Space Index is 0.63 times the area of the lot.
- Section 6.4.3, By-law No. 1916**
The maximum permitted lot coverage is 35% of the lot area.
The proposed lot coverage is 37.7% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

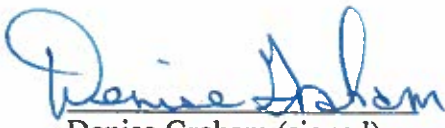
The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0982/16NY	Zoning	R2A/RM (d0.6)(x236)[ZONING]
Owner:	MEITONG LI ZHENGGUO CHEN	Ward:	Don Valley West (26)
Agent:	D R DESIGN GROUP INC	Heritage:	Not Applicable
Property Address:	285 SUTHERLAND DR	Community:	East York
Legal Description:	PLAN 2120 LOT 381		



Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)

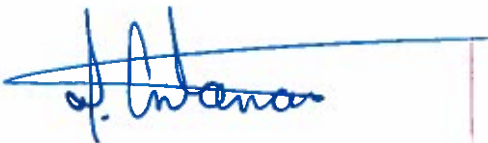


Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

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Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0984/16NY	Zoning:	RD (x5)/R5[ZONING]
Owner(s):	HIEN NGUYEN THANH TU LUU	Ward:	Eglinton-Lawrence (15)
Agent:	EDDIE PARES	Heritage:	Not Applicable
Property Address:	47 MARCIA AVE	Community:	North York
Legal Description:	PLAN 3184 LOT 61		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 7.58m.
The proposed front yard setback is 6.78m.
- Chapter 10.5.100.1.(1), By-law No. 569-2013**
For a detached house, semi-detached house, or duplex, and for an individual townhouse dwelling unit if an individual private driveway leads directly to the dwelling unit, a driveway that is located in or passes through the front yard may be a maximum of 2.6m wide.
The proposed driveway located in the front yard is 3.06m wide.
- Section 14.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 17.02m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.

- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposed driveway be constructed with permeable pavers.

SIGNATURE PAGE

File Number: A0984/16NY
Owner: HIEN NGUYEN
THANH TU LUU
Agent: EDDIE PARES
Property Address: 47 MARCIA AVE
Legal Description: PLAN 3184 LOT 61

Zoning: RD (x5)/R5[ZONING]
Ward: Eglinton-Lawrence (15)
Heritage: Not Applicable
Community: North York


Denise Graham (signed)


Giacomo Tonon (signed)

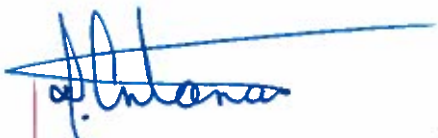

Rick Ross (signed)


Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

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Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0997/16NY	Zoning	R4/RD[WAIVER]
Owner(s):	IRENE POWER	Ward:	Don Valley East (33)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	34 ALLVIEW CRES	Community:	North York
Legal Description:	PLAN M789 LOT 42		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40, By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is **31.85%** of the lot area.
- Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is **31.85%** of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number: A0997/16NY
Owner: IRENE POWER
Agent: ALI SHAKERI
Property Address: 34 ALLVIEW CRES
Legal Description: PLAN M789 LOT 42

Zoning: R4/RD[WAIVER]
Ward: Don Valley East (33)
Heritage: Not Applicable
Community: North York


Denise Graham (signed)


Giacomo Tonon (signed)

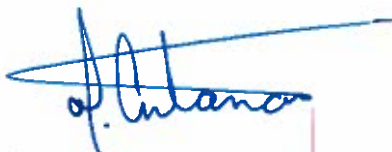

Rick Ross (signed)


Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY


Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, January 12, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0609/16NY	Zoning	RD (f15.0; a550) (x5) / R4 [ZZC]
Owner(s):	YUE SHI	Ward:	Don Valley West (25)
Agent:	SORIN RUSU	Heritage:	Not Applicable
Property Address:	7 BERKINSHAW CRES	Community:	North York
Legal Description:	PLAN 4332 LOT 327		

Notice was given and a Public Hearing was held on Thursday, January 12, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.10.(3), By-law No. 569-2013**
The maximum permitted lot coverage is 25.00% of the lot area.
The proposed lot coverage is 28.00% of the lot area.
- Section 14.2.6, By-law No. 7625**
The maximum permitted lot coverage is 25.00% of the lot area.
The proposed lot coverage is 28.00% of the lot area.
- Section 14.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.00m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0609/16NY	Zoning	RD (f15.0; a550) (x5) / R4 [ZZC]
Owner:	YUE SHI	Ward:	Don Valley West (25)
Agent:	SORIN RUSU	Heritage:	Not Applicable
Property Address:	7 BERKINSHAW CRES	Community:	North York
Legal Description:	PLAN 4332 LOT 327		



Denise Graham (signed)



Giacomo Tonon (signed)



Rick Ross (signed)




Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, January 19, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 1, 2017

CERTIFIED TRUE COPY



Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.