

Thursday, April 6, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0065/16NY	Zoning:	site-specific by-law 1185-2010
Owner(s):	IDOMO HOLDINGS LIMITED IGERNAN LIMITED & IDOMO HOLDINGS LIMITED	Ward:	York West (08)
Agent:	TONY VOLPENTESTA BOUSFIELDS INC.	Heritage:	Not Applicable
Property Address: Legal Description:	20 DE BOERS DR	Community:	North York

Notice was given and the application considered on Thursday, April 6, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two lots and to create/grant easements. The creation and conveyance of the additional lot will facilitate the future development of a new mid-rise residential apartment building as allowed in the underlying site-specific zoning (By-law 1185-2010) fronting onto William R. Allen Road. There are no variances required for the retained lands. This application was previously deferred from the Committee hearing of January 26, 2017.

Conveyed - PART 5

Address to be assigned

Part 5 is irregular in shape and has a frontage of 58.12m and a lot area of 2,184.1m². The lands are subject to site specific By-law 1185-2010 (OMB). The conveyance of the lands will facilitate the future development of a new mid-rise residential apartment building as allowed in the underlying site-specific zoning.

Retained - PARTS 1, 2, 3 and 4

Address to be assigned

Parts 1, 2, 3, and 4 have a frontage of 82.08m and a lot area of 17,995.3m². The existing office complex will remain.

Easement - PART 3

PART 3 measures 845.2m². PART 3 will be subject to an easement in favour of PART 5 (the conveyed lands) for the purpose of reciprocal vehicular and pedestrian access between the retained and conveyed lands, and will facilitate access to and from De Boers Drive.

Easement - PART 4

PART 4 measures 657.5m². PART 4 will be subject to an easement in favour of PART 5 (the conveyed lands) for

the purpose of constructing and maintaining a sanitary connection through the retained lands.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of the this Decision:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division.
2. A draft Certificate of Official, as prescribed in O.Reg. 197/96 as Form 2 or 4, and in a form satisfactory to the Deputy Secretary-Treasurer, that includes a completed and registerable description of the land that is the subject of the consent, shall be submitted to the Deputy Secretary-Treasurer within one year of the date of the giving of notice of this decision.
3. Copies of a deposited Reference Plan of Survey, integrated with the Ontario Co ordinate System, and clearly delineating the parcels of land approved by the Committee of Adjustment. A listing of the PARTS and their respective areas is required.
4. A copy of a letter from the Executive Director of Engineering and Construction Services advising that the applicant has obtained the necessary adjustment to the municipal addressing of the land. Contact Survey and Mapping Services, Engineering and Construction Services at (416) 392-7755. The application for municipal addressing must be accompanied by a copy of the deposited Reference Plan of Survey, integrated with the Ontario Co-ordinate System, and specify the PART numbers that will comprise each of the new parcels.
5. Since this application is requesting the existing property to be severed into two parcels (Parts 1 and 5), we require the necessary engineering details to demonstrate how this parcel of land (Part 5) will be serviced from the municipal road and private lands with the assistance of a private easement as suggested by the applicant. Supportive engineering studies, reports, and drawings will have to be prepared by a professional engineer qualified in municipal engineering according to the City of Toronto standards, By-laws and criteria must be submitted to the City for review and approval for the proposed service connections to service this proposal. Upon acceptance of these drawing by Development Engineering, the owner will be required to make application to the Toronto Water Services Division, and pay for the installation of City service connections for each building from the property line to the City mains and the abandonment of the old service connections. The owner is responsible to provide for the installation of the water and sanitary service connections from each building to City services at the property line.
6. The supportive engineering studies will have to demonstrate how ground water foundation will be handled on this site to be in compliance with the City of Toronto Sewer By Law 6812.
7. A sanitary sewer analysis (drainage plans, flow sheets and hydraulic analysis as necessary) to identify required improvements to the existing sanitary sewer system, up to the Trunk connection point, to provide for peak sanitary flows generated by this development and any extraneous wet weather flow, and any other known developments which are to be served by the same sanitary sewer system.

8. This Decision shall become null and void within 12 months unless the Certificate of the Committee of Adjustment is affixed to the relevant documents.

SIGNATURE PAGE

File Number:	B0065/16NY	Zoning	site-specific by-law 1185-2010
Owner(s):	IDOMO HOLDINGS LIMITED IGERNAN LIMITED & IDOMO HOLDINGS LIMITED	Ward:	York West (08)
Agent:	TONY VOLPENTESTA BOUSFIELDS INC.	Heritage:	Not Applicable
Property Address: Legal Description:	20 DE BOERS DR	Community:	North York

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, May 2, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

NOTE: Only individuals, corporations and public agencies may appeal a decision to the Ontario Municipal Board. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

City Planning Division

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

North York Civic Centre
5100 Yonge Street
North York, Ontario
Canada, M2N 5V7
Tel: (416) 395-7000
Fax: (416) 395-7200

Thursday, April 6, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0090/16NY	Zoning	R3/RD(x872)(ZR)
Owner(s):	HAMID REZA ALMASIAN	Ward:	Don Valley West (25)
Agent:	MAKOW ARCHITECTS ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	30 BAYVIEW RIDGE	Community:	North York
Legal Description:	PLAN 3681 W PT LOT 34		

Notice was given and the application considered on Thursday, April 6, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two residential lots.

Conveyed - Part 2

Address to be assigned

The frontage is 24.29m and the lot area is 937.12m². The property will be redeveloped as the site of a new detached residential dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A1035/16NY.

Retained - Part 1

Address to be assigned

The frontage is 32.55m and the lot area is 1,008.52m². The property will be redeveloped as the site of a new detached residential dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A1034/16NY.

File Numbers B0090/16NY, A1034/16NY (Part 1) and A1035/16NY (Part 2) will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.

- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

SIGNATURE PAGE

File Number:	B0090/16NY	Zoning	R3/RD(x872)(ZR)
Owner(s):	HAMID REZA ALMASIAN	Ward:	Don Valley West (25)
Agent:	MAKOW ARCHITECTS ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	30 BAYVIEW RIDGE	Community:	North York
Legal Description:	PLAN 3681 W PT LOT 34		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, May 2, 2017

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Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1034/16NY	Zoning	R3/RD(x872)(ZR)
Owner(s):	HAMID REZA ALMASIAN	Ward:	Don Valley West (25)
Agent:	MAKOW ARCHITECTS ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	30 BAYVIEW RIDGE (PART 1)	Community:	North York
Legal Description:	PLAN 3681 W PT LOT 34		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey residential dwelling. File Numbers B0090/16NY, A1034/6NY and A1035/16NY will be considered jointly.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter - Exception RD 872 (Site Specific Provisions), Zoning By-law No. 569-2013**
(A) The minimum front yard setback is 11.0 m.
The proposed front yard setback is 8.01m.
- 2. Chapter - Exception RD 872 (Site Specific Provisions), Zoning By-law No. 569-2013**
Site Specific Provisions:
(B) The minimum side yard setback is 1.8 m.
The proposed East side yard setback is 1.2m.
- 3. Chapter 10.20.40.20.(1), Zoning By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0 m.
The proposed building length is 18.92 m to the rear of the one storey extension.
- 4. Chapter 10.20.40.50.(1), Zoning By-law No. 569-2013**
B) The permitted maximum area of each platform at or above the second storey of a detached house is 4.0 m².
The proposed area of each platform at or above the second storey is 7.1 m².

5. Section 12.4(a), Zoning By-law No. 7625

The minimum required front yard setback is 11.0m.

The proposed front yard setback is 8.01m.

6. Section 12.4(b), Zoning By-law No. 7625

The minimum required East side yard setback is 1.8m.

The proposed ground floor East side yard setback is 1.2m., the second floor is 1.8m.

(NOTE: However the by-law only permits a reduced side yard setback of 1.2m for a single storey garage when the whole of the parking space has no habitable space above it. Plans show only the first 0.6m of the parking space with no habitable space above it.)

7. Section 12.7A, Zoning By-law No. 7625

The maximum permitted balcony area is 3.8m².

The proposed balcony area is 7.1m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A1034/16NY	Zoning	R3/RD(x872)(ZR)
Owner:	HAMID REZA ALMASIAN	Ward:	Don Valley West (25)
Agent:	MAKOW ARCHITECTS ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	30 BAYVIEW RIDGE (PART 1)	Community:	North York
Legal Description:	PLAN 3681 W PT LOT 34		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 13, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1035/16NY	Zoning	R3/RD(x872)(ZR)
Owner(s):	HAMID REZA ALMASIAN	Ward:	Don Valley West (25)
Agent:	MAKOW ARCHITECTS ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	30 BAYVIEW RIDGE (PART 2)	Community:	North York
Legal Description:	PLAN 3681 W PT LOT 34		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey residential dwelling. File Numbers B0090/16NY, A1034/6NY and A1035/16NY will be considered jointly.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter - Exception RD 872 (Site Specific Provisions), Zoning By-law No. 569-2013**
(A) The minimum front yard setback is 11.0 m.
The proposed front yard setback is 8.01m.
- 2. Chapter - Exception RD 872 (Site Specific Provisions), Zoning By-law No. 569-2013**
Site Specific Provisions:
(B) The minimum side yard setback is 1.8 m.
The proposed East side yard setback is 1.2m.
- 3. Chapter 10.20.40.20(1), Zoning By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0 m.
The proposed building length is 20.96 m.
- 4. Chapter 10.20.40.30.(1), Zoning By-law No. 569-2013**
The permitted maximum building depth for a detached house is 19.0 m.
The proposed building depth is 19.73 m.
- 5. Chapter 10.20.40.50.(1), Zoning By-law No. 569-2013**
B) The permitted maximum area of each platform at or above the second storey of a detached house is 4.0 m².

The proposed area of each platform at or above the second storey is 7.52 m².

6. **Chapter 10.5.50.10.(1), Zoning By-law No. 569-2013**
(C) A minimum of 60 percent of the front yard must be landscaping: 145.07 m².
The proposed front yard landscaping area is 56.54 percent: 133.47 m².
7. **Chapter 10.20.40.10.(1), Zoning By-law No. 569-2013**
A) The permitted maximum height of a building or structure is 10.0 m.
The proposed height of the building/structure is 10.88 m.
8. **Section 12.4(a), Zoning By-law No. 7625**
The minimum required front yard setback is 11.0m.
The proposed front yard setback is 8.0m.
9. **Section 12.4(b), Zoning By-law No. 7625**
The minimum required East side yard setback is 1.8m.
The proposed East side yard setback is 1.21m.
10. **Section 12.5A, Zoning By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 23.47m.
11. **Section 12.7, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.11m.
12. **Section 12.7A, Zoning By-law No. 7625**
The maximum permitted balcony area is 3.8m².
The proposed balcony area is 7.52m².
13. **Section 7.4A, Zoning By-law No. 7625**
The minimum required landscaping is 60%.
The proposed landscaping is 57.13%.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A1035/16NY	Zoning	R3/RD(x872)(ZR)
Owner:	HAMID REZA ALMASIAN	Ward:	Don Valley West (25)
Agent:	MAKOW ARCHITECTS ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	30 BAYVIEW RIDGE (PART 2)	Community:	North York
Legal Description:	PLAN 3681 W PT LOT 34		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

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Thursday, April 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1125/16NY	Zoning	RD/R4 [WAV]
Owner(s):	LIN WANG YUNFENG ZHANG	Ward:	Willowdale (23)
Agent:	ARCICA INC	Heritage:	Not Applicable
Property Address:	297 HILLCREST AVE	Community:	North York
Legal Description:	PLAN 1609 LOT 388		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **31.52%** of the lot area.
- 2. Chapter 10.20.40.10., By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the pair of side exterior main walls facing a side lot line is 7.62m.
- 3. Chapter 10.20.40.10.(6), By-law No. 569-2013**
The maximum permitted finished first floor height is 1.20m.
The proposed finished first floor height is **1.36m**.
- 4. Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **31.52%** of the lot area.
- 5. Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.10m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1125/16NY	Zoning	RD/R4 [WAV]
Owner:	LIN WANG YUNFENG ZHANG	Ward:	Willowdale (23)
Agent:	ARCICA INC	Heritage:	Not Applicable
Property Address:	297 HILLCREST AVE	Community:	North York
Legal Description:	PLAN 1609 LOT 388		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 13, 2017

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1089/16NY	Zoning	RD/R4 (f15.0; a550)(x5) [ZZC]
Owner(s):	DANIELE CARMEN DUMITRAS FLORIN DUMITRAS	Ward:	Don Valley East (34)
Agent:	HEATHER DUBBELDAM	Heritage:	Not Applicable
Property Address:	3 DUKINFIELD CRES	Community:	North York
Legal Description:	PLAN M812 LOT 393		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a 2 storey front addition on the front as well as a 2nd-storey addition at the rear of the dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.50.10.(1), By-law No. 569-2013**
On a lot with a detached house with a lot frontage of 15.00m or greater, a minimum of 60.00% of the front yard must be landscaping.
The proposed front yard landscaping area is **56.2 %**.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 8.39m.
- 3. Chapter 10.5.40.70.(1), By-law No. 569-2013**
The minimum front yard setback is 7.62m.
The proposed front yard setback is 6.29m.
- 4. Chapter 10.20.40.50.(1), By-law No. 569-2013**
The maximum permitted area of each platform at or above the second storey is 4.00m².
The proposed area of each platform at or above the second storey is 6.23m².
- 5. Section 13.2.3(a), By-law No. 7625**
The minimum required front yard setback is 7.50m.
The proposed front yard setback is 6.29m.

- 6. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.24m.
- 7. Section 7.4A, By-law No.7625**
The minimum required landscaping is 60.00%.
The proposed landscaping is **56.2 %**.
- 8. Section 13.2.6A, By-law No. 7625**
The maximum permitted balcony area is 3.80m².
The proposed balcony area is 6.23m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1089/16NY	Zoning	RD/R4 (f15.0; a550)(x5) [ZZC]
Owner:	DANIELE CARMEN DUMITRAS FLORIN DUMITRAS	Ward:	Don Valley East (34)
Agent:	HEATHER DUBBELDAM	Heritage:	Not Applicable
Property Address:	3 DUKINFIELD CRES	Community:	North York
Legal Description:	PLAN M812 LOT 393		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 13, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0037/17NY	Zoning	RD/R4 [WAV]
Owner(s):	FREDERICK DILLON WINIFRED DILLON	Ward:	Willowdale (23)
Agent:	ELMIRA ZARRABI	Heritage:	Not Applicable
Property Address:	179 MOORE PARK AVE	Community:	North York
Legal Description:	PLAN 2366 LOT 535		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
The maximum permitted lot coverage is 30.0 percent of the lot area.
The proposed lot coverage is 32.0 percent of the lot area.
- 2. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m for 100% of the width of the walls.
The proposed height of the West side exterior main wall is 8.18 m for 12% of the wall.
The proposed height of the East side exterior main wall is 8.18 m for 15% of the wall.
The rest of both side walls are 7.6 m.
- 3. Chapter 10.20.40.70.(3), 900.3.10(5), Zoning By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed west side yard setback is 1.5 m.
- 4. Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30.0% of the lot area.
The proposed lot coverage is 32.0% of the lot area.
- 5. Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed west side yard setback is 1.5 m.

6. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.26 m.
7. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5 m.
The proposed finished first floor height is 1.60 m.
8. **Section 6(9)(b), Zoning By-law No. 7625**
(12)Exterior stairways shall be permitted to project into the minimum front yard or the minimum rear yard setback not more than 2.1 m.
The proposed rear stairs project 3.98 m.
9. **Section 13.2.5A, Zoning By-law No. 7625**
(13)Any exterior stairways projecting 2.1 m or less beyond the front or rear wall of the building shall be excluded in determining the length of the dwelling.
The proposed rear stairs project 3.98 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

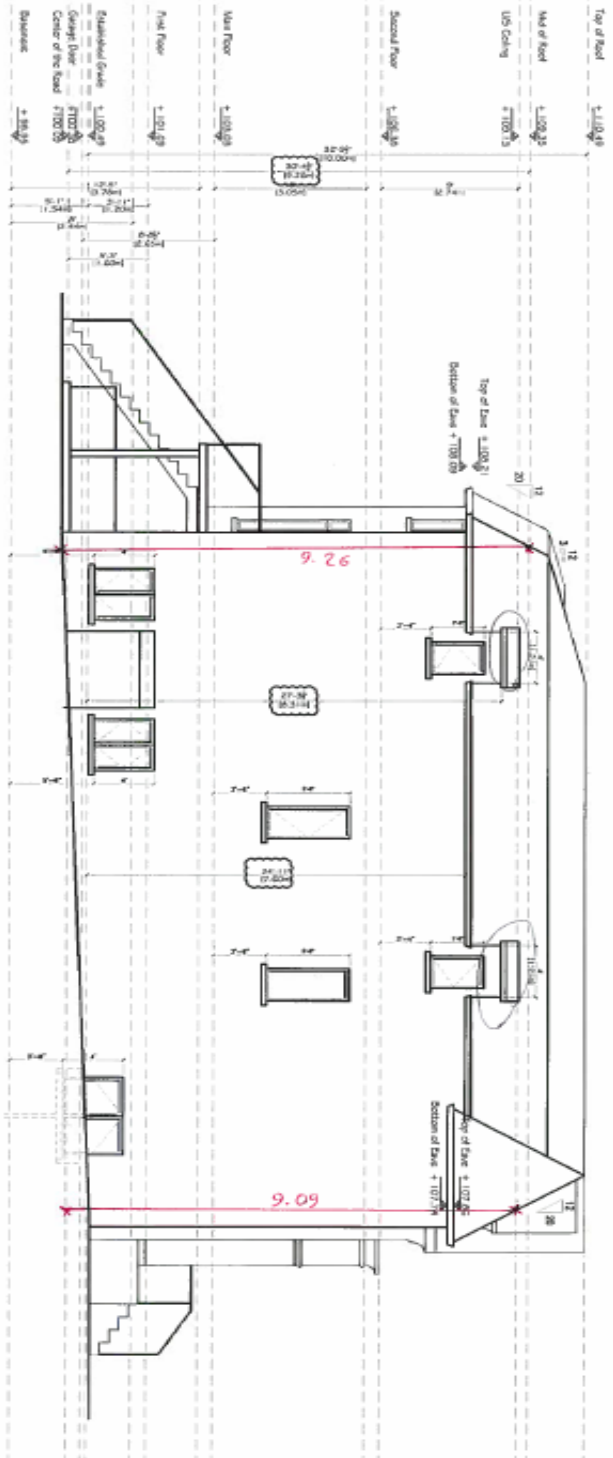
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The property being developed essentially in accordance with the east and west elevation attached to this decision.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



GENERAL NOTES:

1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
2. FINISH FLOOR IS TO BE CONCRETE ON GRADE.
3. ALL EXTERIOR WALLS TO BE 8" CMU WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
4. ALL INTERIOR WALLS TO BE 5/8" GYPSUM BOARD ON BOTH SIDES.
5. ALL CEILING TO BE 5/8" GYPSUM BOARD.
6. ALL FLOORS TO BE 4" CONCRETE ON 4" COMPACTED GRAVEL.
7. ALL ROOFS TO BE 2" POLYSTYRENE INSULATION ON 2" GYPSUM BOARD ON 2" 2X12 RAFTERS.
8. ALL ROOFING TO BE 30 YEAR ASPH/FLT SHINGLES.
9. ALL EXTERIOR ROOFING TO BE 30 YEAR METAL ROOFING.
10. ALL EXTERIOR WALLS TO BE PAINTED.
11. ALL INTERIOR WALLS TO BE PAINTED.
12. ALL CEILING TO BE PAINTED.
13. ALL FLOORS TO BE PAINTED.
14. ALL ROOFS TO BE PAINTED.
15. ALL EXTERIOR ROOFING TO BE PAINTED.

NO.	REVISION	DATE
1	Submittal	04/01/06
2		
3		

PROJECT ADDRESS:
 715 HODGE PARK AVE
 1080810 001148-0

PROJECT NO.: 1101-11
DRAWING TITLE:
EAST SIDE ELEVATION

NO.	REVISION	DATE
1	1101-11	04/01/06
2		
3		

EZDA
ELIUD ZARUBA
REGISTERED ARCHITECT

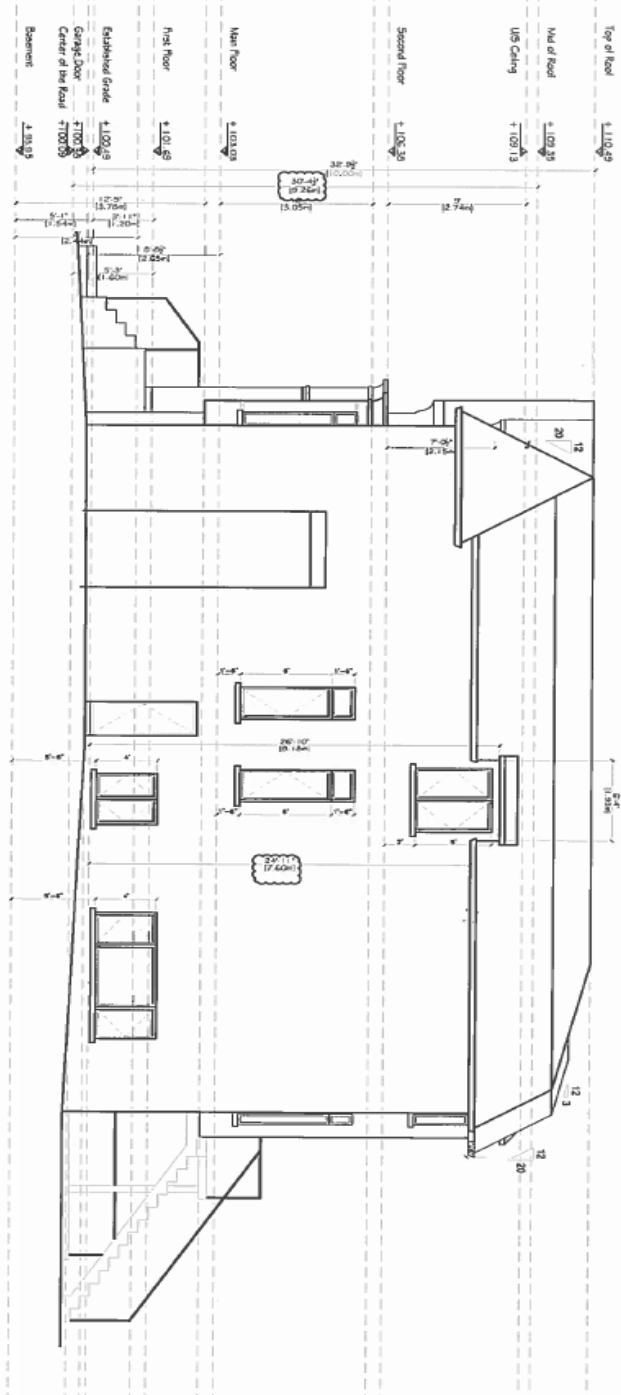
Arch: 1101-11-000
Architect: Eliud Zaruba & Associates
Address: 1101-11-000
City: Portland, OR
State: OR
Zip: 97201

STRUCTURAL ENGINEER:

SCALE	DATE
1/4" = 1'-0"	04/01/06

A8

Apr 1 06
 2017



APR 10 2017

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE (NBC) AND ALL APPLICABLE BY-LAWS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE APPLICABLE AUTHORITIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
7. THE CONTRACTOR SHALL MAINTAIN A RECORD OF ALL CONSTRUCTION ACTIVITIES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING LANDSCAPE AND PLANTING.
9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	APR 10 2017
2	ISSUED FOR PERMIT	APR 10 2017
3	ISSUED FOR PERMIT	APR 10 2017

PROJECT ADDRESS:
179 HOOVER PARK AVE
TORONTO, ONTARIO

PROJECT NO.: 179-11
DRAWING TITLE:
WEST SIDE ELEVATION

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	APR 10 2017
2	ISSUED FOR PERMIT	APR 10 2017
3	ISSUED FOR PERMIT	APR 10 2017

EZDA
ENGINEERING & DESIGN ASSOCIATES
179 HOOPER PARK AVE
TORONTO, ONTARIO M6P 2K6
TEL: (416) 291-1011
WWW.EZDA.COM

STRUCTURAL ENGINEER:
SCALE: 1/8" = 1'-0"
DRAWN BY: [Signature]
DATE: [Date]

A9

SIGNATURE PAGE

File Number:	A0037/17NY	Zoning	RD/R4 [WAV]
Owner:	FREDERICK DILLON WINIFRED DILLON	Ward:	Willowdale (23)
Agent:	ELMIRA ZARRABI	Heritage:	Not Applicable
Property Address:	179 MOORE PARK AVE	Community:	North York
Legal Description:	PLAN 2366 LOT 535		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 13, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0945/16NY	Zoning	RD/R4 [ZZC]
Owner(s):	KARINA BRAVO VINICIO JAVIER SARMIENTO	Ward:	York Centre (09)
Agent:	KBK STUDIOS	Heritage:	Not Applicable
Property Address:	169 DOWNSVIEW AVE	Community:	North York
Legal Description:	PLAN 3649 PT LOT 224		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new second storey addition to the front portion of the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(4), By-law No. 569-2013**
The maximum permitted building height is 7.20m.
The proposed building height is 8.00m.
- 2. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.21m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0945/16NY	Zoning	RD/R4 [ZZC]
Owner:	KARINA BRAVO VINICIO JAVIER SARMIENTO	Ward:	York Centre (09)
Agent:	KBK STUDIOS	Heritage:	Not Applicable
Property Address:	169 DOWNSVIEW AVE	Community:	North York
Legal Description:	PLAN 3649 PT LOT 224		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 13, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0060/17NY	Zoning	RD/R4 (fl5.0; a550) [ZZC]
Owner(s):	SHAWN JAMES STRINGER	Ward:	Eglinton-Lawrence (15)
Agent:	MEHRAN HEYDARI	Heritage:	Not Applicable
Property Address:	311 HILLHURST BLVD	Community:	North York
Legal Description:	PLAN 1462 E PT LOT 20 LOT 21		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached single family dwelling. The existing building would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum side yard setback is 1.80m.
The proposed east side yard setback is 1.52m.
- 2. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum side yard setback is 1.80m.
The proposed west side yard setback is 1.52m.
- 3. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum lot coverage is 35.00% of the lot area.
The proposed lot coverage is 36.90% of the lot area.
- 4. Chapter 10.20.40.10.(4), By-law No. 569-2013**
The maximum permitted building height is 7.20m.
The proposed height is 8.99m.
- 5. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 18.49m.
- 6. Chapter 10.5.40.70.(1), By-law No. 569-2013**
The minimum front yard setback is 13.12m.
The proposed front yard setback is 8.13m.

7. **Section 13.2.3(b), By-law No. 7625**
The minimum side yard setback is 1.80m
The proposed east side yard setback is 1.52m.
8. **Section 13.2.3(b), By-law No. 7625**
The minimum side yard setback is 1.80m
The proposed west side yard setback is 1.52m.
9. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 11.21m
10. **Section 13.2.6, By-law No. 7625**
The maximum permitted number of storeys is 2.
The proposed number of storeys is 3.
11. **Section 13.2.6A, By-law No. 7625**
The maximum permitted balcony area is 3.80m².
The proposed front 2nd floor balcony area is 7.32m².
12. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 36.90% of the lot area.
13. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 18.64m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

3. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum lot coverage is 35.00% of the lot area.
The proposed lot coverage is 36.90% of the lot area.
4. **Chapter 10.20.40.10.(4), By-law No. 569-2013**
The maximum permitted building height is 7.20m.
The proposed height is 8.99m.
5. **Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 18.49m.
6. **Chapter 10.5.40.70.(1), By-law No. 569-2013**
The minimum front yard setback is 13.12m.
The proposed front yard setback is 8.13m.

9. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 11.21m
10. **Section 13.2.6, By-law No. 7625**
The maximum permitted number of storeys is 2.
The proposed number of storeys is 3.
11. **Section 13.2.6A, By-law No. 7625**
The maximum permitted balcony area is 3.80m².
The proposed front 2nd floor balcony area is 7.32m².
12. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 36.90% of the lot area.
13. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 18.64m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

1. **Chapter 900.3.10(5), By-law No. 569-2013**
The minimum side yard setback is 1.80m.
The proposed east side yard setback is 1.52m.
2. **Chapter 900.3.10(5), By-law No. 569-2013**
The minimum side yard setback is 1.80m.
The proposed west side yard setback is 1.52m.
7. **Section 13.2.3(b), By-law No. 7625**
The minimum side yard setback is 1.80m
The proposed east side yard setback is 1.52m.
8. **Section 13.2.3(b), By-law No. 7625**
The minimum side yard setback is 1.80m
The proposed west side yard setback is 1.52m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.

- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

1. The applicant is to provide permanent opaque screening or fencing along the eastern edge of the proposed rear platform with a minimum height of 1.5 metres from the floor of the deck.

SIGNATURE PAGE

File Number:	A0060/17NY	Zoning	RD/R4 (f15.0; a550) [ZZC]
Owner:	SHAWN JAMES STRINGER	Ward:	Eglinton-Lawrence (15)
Agent:	MEHRAN HEYDARI	Heritage:	Not Applicable
Property Address:	311 HILLHURST BLVD	Community:	North York
Legal Description:	PLAN 1462 E PT LOT 20 LOT 21		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 13, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0061/17NY	Zoning:	R/R2 Z0.6 [WAV]
Owner(s):	SIYUAN LIU SIYUAN LIU	Ward:	Eglinton-Lawrence (16)
Agent:	SAHAND HOMES INC	Heritage:	Not Applicable
Property Address:	58 UNSWORTH AVE	Community:	North York
Legal Description:	PLAN 601E PT LOTS 24 25		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.
The proposed first floor area is **5.36m²** within 4.00m of the main front wall.
- Chapter 10.5.50.10(1), By-law No. 569-2013**
The minimum required front yard soft landscaping is 75.00%.
The proposed front yard soft landscaping is **60.00%**
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 7.94m.
- Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.60 times the lot area.
The proposed floor space index is **0.80** times the lot area.
- Chapter 10.10.80.40. (1), By-law No. 569-2013**
Vehicle entrances through the front main wall of the building are permitted, provided that the lot has a minimum lot frontage of 7.60m.
The existing lot frontage is 7.52m with a vehicle entrance through the main front wall of the building.

6. **Section 6(3) Part II3(d)i(D), By-law No. 438-86**
The minimum required front yard soft landscaping is 75.00%.
The proposed front yard soft landscaping is **60.00%**
7. **Section 6(3) Part IV, 3 (II), By-law No. 438-86**
Vehicle entrances through the front main wall of the building are permitted, provided that the lot has a minimum lot frontage of 7.60m.
The existing lot frontage is 7.52m with a vehicle entrance through the main front wall of the building.
8. **Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted floor space index is 0.60 times the lot area.
The proposed floor space index is **0.80** times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0061/17NY	Zoning	R/R2 Z0.6 [WAV]
Owner:	SIYUAN LIU SIYUAN LIU	Ward:	Eglinton-Lawrence (16)
Agent:	SAHAND HOMES INC	Heritage:	Not Applicable
Property Address:	58 UNSWORTH AVE	Community:	North York
Legal Description:	PLAN 601E PT LOTS 24 25		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, April 13, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0062/17NY	Zoning	RD & R1 (ZR)
Owner(s):	MITRA SAFA MOHAMMAD AMIR-ZADEH	Ward:	Don Valley West (25)
Agent:	ADSTRUCT LTD	Heritage:	Not Applicable
Property Address:	124 LAWRENCE CRES	Community:	
Legal Description:	PLAN 1534 LOT 147		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.35 times the area of the lot.
The proposed dwelling will have a floor space index of **0.47** times the area of the lot.
- Section 6(3) Part I 1, By-law 438-86**
The maximum permitted floor space index is 0.35 times the area of the lot.
The proposed dwelling will have a floor space index of **0.47** times the area of the lot.
- Chapter 10.20.40.70.(3), By-law 569-2013**
The minimum required side yard setback is 1.5 m.
The proposed dwelling will be located 1.24 m from the east side lot line and **1.24m** from the west side lot line.
- Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side yard setback is 7.5 m for the portion of the dwelling exceeding 17 m in depth, where the side walls contain openings.
The proposed dwelling will be located 3 m from the east side yard and 1.98 m from the west side yard, for the portion of the dwelling exceeding 17 m in depth.
- Chapter 10.20.40.20(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The proposed dwelling will have a length of **18.00m**.

6. Chapter 10.20.40.10.(2), By-law 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed dwelling will have a side exterior main wall height of **8.29m** facing a side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

3. Chapter 10.20.40.70.(3), By-law 569-2013

The minimum required side yard setback is 1.5 m.
The proposed dwelling will be located 1.24 m from the east side lot line and **1.24m** from the west side lot line.

4. Section 6(3) Part II 3.B(II), By-law No. 438-86

The minimum required side yard setback is 7.5 m for the portion of the dwelling exceeding 17 m in depth, where the side walls contain openings.
The proposed dwelling will be located 3 m from the east side yard and 1.98 m from the west side yard, for the portion of the dwelling exceeding 17 m in depth.

5. Chapter 10.20.40.20(1), By-law 569-2013

The maximum permitted dwelling length is 17 m.
The proposed dwelling will have a length of **18.00m**.

6. Chapter 10.20.40.10.(2), By-law 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed dwelling will have a side exterior main wall height of **8.29m** facing a side lot line.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

1. Chapter 10.20.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index is 0.35 times the area of the lot.
The proposed dwelling will have a floor space index of **0.45** times the area of the lot.

2. Section 6(3) Part I 1, By-law 438-86

The maximum permitted floor space index is 0.35 times the area of the lot.
The proposed dwelling will have a floor space index of **0.45** times the area of the lot.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or remove privately owned trees.

SIGNATURE PAGE

File Number:	A0062/17NY	Zoning	RD & R1 (ZR)
Owner:	MITRA SAFA MOHAMMAD AMIR-ZADEH	Ward:	Don Valley West (25)
Agent:	ADSTRUCT LTD	Heritage:	Not Applicable
Property Address:	124 LAWRENCE CRES	Community:	
Legal Description:	PLAN 1534 LOT 147		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 13, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0063/17NY	Zoning	RD/R6 [ZZC]
Owner(s):	LAURA PAULIN DAVID PAULIN	Ward:	York Centre (10)
Agent:	DAVID PAULIN	Heritage:	Not Applicable
Property Address:	68 WESTGATE BLVD	Community:	North York
Legal Description:	PLAN 2044 N PT LOT 1042		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is **20.43m**.
- Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.00m.
The proposed building depth is 20.84m.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **36.7%** of the lot area.
- Chapter 10.20.40.70.(1)(B), By-law No. 569-2013**
The minimum required front yard setback is 6.44m.
The proposed front yard setback is **6.29m**.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.20m.
The proposed south side yard setback is 0.61m.
- Section 14-A(10), By-law No. 7625**
The maximum permitted balcony area is 3.80m².
The proposed balcony area is **4.83m²**.

7. **Section 14-A(5)c, By-law No. 7625**
The minimum required side yard setback is 1.20m.
The proposed south side yard setback is 0.61m.
8. **Section 14-A(6), By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **36.7%** of the lot area.
9. **Section 14-A(9), By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is **20.43m** (including the rear excavated porch).
10. **Section 6(8), By-law No. 7625**
The minimum lot width is not be less than the lot frontage for the zone in which the building is to be constructed; 12.00m.
The existing lot width is 11.96m.
11. **Section 6(24), By-law No. 7625**
The maximum permitted rear deck projection is 2.10m from the wall, a maximum height of 1.00m and is not to be more than half the width of the dwelling.
The proposed rear deck projects 3.10m from the rear wall, is greater that 1.00m in height and is 56.00% of the width of the dwelling.
12. **Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.00m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0063/17NY	Zoning	RD/R6 [ZZC]
Owner:	LAURA PAULIN DAVID PAULIN	Ward:	York Centre (10)
Agent:	DAVID PAULIN	Heritage:	Not Applicable
Property Address:	68 WESTGATE BLVD	Community:	North York
Legal Description:	PLAN 2044 N PT LOT 1042		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 13, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0064/17NY	Zoning:	RD/R5 [WAIVER]
Owner(s):	ADITI QUADROS SACHIN QUADROS	Ward:	Eglinton-Lawrence (15)
Agent:	MEMAR ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	37 BRUCEWOOD CRES	Community:	North York
Legal Description:	PLAN 3826 LOT 265		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey single family dwelling. The existing structure would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40(1), By-law No. 569-2013**
The maximum permitted lot coverage is 0.35 times the area of the lot
The proposed coverage if the lot would be **0.36** times the area of the lot
- Chapter 10.20.30.10, By-law No. 569-2013**
The minimum required lot area is 550.00m².
The existing lot has 501.68m².
- Chapter 10.20.30.20, By-law No. 569-2013**
The minimum required lot frontage is 15.00m.
The existing lot has a frontage of 13.72m.
- Chapter 10.20.40.20(2), By-law No. 569-2013**
The maximum permitted building length for a detached house is 17.00m.
The proposed building length is 17.71m.
- Chapter 10.20.40.70, By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.22m.
- Chapter 10.20.40.70, By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.50m.

7. **Chapter 10.20.40.10(2), By-law No. 569-2013**
The maximum permitted height of all side exterior walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls is 8.23m.
8. **Section 14.2.4, By-law No. 7625**
The maximum permitted lot coverage is 0.35 times the area of the lot
The proposed coverage if the lot would be **0.36** times the area of the lot
9. **Section 6(8), By-law No. 7625**
The minimum width of the lot is not to be less than the lot frontage for the zone in which the building is to be constructed: 15.00m.
The existing lot has a frontage of 13.72m.
10. **Section 14.2.2, By-law No. 7625**
The minimum required lot area is 550.00m².
The existing lot has 501.68m².
11. **Section 14-A(8) By-law No. 7625**
The maximum permitted height for a structure is 8.80m.
The proposed height of the structure would be 9.00m.
12. **Section 14.2.1, By-law No. 7625**
The minimum required lot frontage is 15.00m.
The existing lot has a frontage of 13.72m.
13. **Section 14.2.5A, By-law No. 7625**
The maximum permitted building length for a detached house is 16.80m.
The proposed building length is 17.71m.
14. **Section 14.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.22m.
15. **Section 14.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.50m.
16. **Section 6(24), By-law No. 7625**
The maximum a rear deck may project is 2.10m and a width of 5.50m.
The proposed deck would project 3.86m with a width of 6.36m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0064/17NY	Zoning	RD/R5 [WAIVER]
Owner:	ADITI QUADROS SACHIN QUADROS	Ward:	Eglinton-Lawrence (15)
Agent:	MEMAR ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	37 BRUCEWOOD CRES	Community:	North York
Legal Description:	PLAN 3826 LOT 265		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 13, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0065/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	GRIGOR VASO VERA TAHIRAJ	Ward:	Eglinton-Lawrence (15)
Agent:	ST ENGINEERING	Heritage:	Not Applicable
Property Address:	129 DELL PARK AVE	Community:	North York
Legal Description:	PLAN 2049 E PT LOT 281 E PT LOT 282		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is **36.6%** of the lot area.
- Chapter 10.5.40.60(2), By-law No. 569-2013**
A canopy, awning or similar structure not covering a platform may encroach in a front yard or rear yard, if it is no closer to a side lot line than the minimum required side yard setback of 1.80m.
The proposed front canopy is **1.63m** from the west side lot line and **1.23m** from the east side lot line.
- Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is **1.5m**.
- Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.60m.
- Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550.00m².
The existing lot area is 471.37m².
- Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 35.00% of the lot area.

The proposed lot coverage is **36.6%** of the lot area.

7. Section 13.2.3(a), By-law No. 7625

The minimum required front yard setback is 6.50m.
The proposed front yard setback is 5.46m.

8. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.60m.

9. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.
The proposed building height is 8.97m.

10. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed east side yard setback is **1.5m**.

11. Section 6(9)(f), By-law No. 7625

Canopies shall be permitted to project into the minimum front yard setback not more than 2.10m but no closer to a side lot line than the minimum side yard setback for the main building; 1.80m.
The proposed canopy is **1.63m** from the west side lot line and **1.23m** from east side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
2. Transportation Services notes that the proposed parking space is substandard, encumbering a standard sized vehicle. In this instance, the minimum dimensions supported by Transportation Services is 2.9 metres in width due to the obstructed nature of the integral parking space

SIGNATURE PAGE

File Number:	A0065/17NY	Zoning	RD/R4 [ZZC]
Owner:	GRIGOR VASO VERA TAHIRAJ	Ward:	Eglinton-Lawrence (15)
Agent:	ST ENGINEERING	Heritage:	Not Applicable
Property Address:	129 DELL PARK AVE	Community:	North York
Legal Description:	PLAN 2049 E PT LOT 281 E PT LOT 282		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 13, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

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North York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0066/17NY	Zoning	R / R1S Z0.6 (ZR)
Owner(s):	ANDRZEJ GOLEC	Ward:	Eglinton-Lawrence (16)
Agent:	GERVAIS DESIGN-BUILD LTD	Heritage:	Not Applicable
Property Address:	202 ALBERTUS AVE	Community:	
Legal Description:	PLAN M53 PT LOT 56		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new dwelling with attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.2.10.(949)A, By-law No. 569-2013**
The maximum permitted dwelling depth is 14.0 m.
The proposed dwelling will have a depth of 14.74 m.
- 2. Chapter 10.5.50.10.(1), By-law No. 569-2013**
A minimum of 75% of the front yard shall be maintained as landscaping.
A total of 73.6% of the front yard will be maintained as landscaping.
- 3. Chapter 10.10.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.6 times the area of the lot.
The proposed dwelling will have a floor space index equal to 0.72 times the area of the lot.
- 4. Chapter 10.5.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 4.74 m.
The proposed dwelling will be located **4.16m** from the front lot line.
- 5. Chapter 10.10.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed dwelling's side exterior main walls facing a side lot line will be 9.32 m.
- 6. Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted gross floor area is 0.6 times the area of the lot.
The proposed dwelling will have a gross floor area of .072 times the area

7. **Section 6(3) Part II 2 (II), By-law No. 438-86**
The minimum permitted front lot line setback for a building on an inside lot is 4.74 m.
The proposed dwelling will have a front lot line set back of **4.16m**.
8. **Section 6(3) Part II 3. B(II), By-law No. 438-86**
The minimum required side yard setback is 0.9 m for the portion of the dwelling not exceeding 17.00 m in depth, where the side walls contain no openings.
The proposed east side yard setback is 0.61 m. The proposed west side yard setback is 0.75 m.
9. **Section 12(2)112, By-law No. 438-86**
The maximum permitted building depth is 14.0 m.
The proposed building depth is 15.44 m.
10. **Section 6(3) Part III 3(d)i(D), By-law No. 438-86**
The minimum required front yard soft landscaping is 75.00%.
The proposed front yard soft landscaping is 73.6%.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 900.2.10.(949)A, By-law No. 569-2013**
The maximum permitted dwelling depth is 14.0 m.
The proposed dwelling will have a depth of 14.74 m.
2. **Chapter 10.5.50.10.(1), By-law No. 569-2013**
A minimum of 75% of the front yard shall be maintained as landscaping.
A total of 73.6% of the front yard will be maintained as landscaping.
3. **Chapter 10.10.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.6 times the area of the lot.
The proposed dwelling will have a floor space index equal of 0.72 times the area of the lot.
5. **Chapter 10.10.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed dwelling's side exterior main walls facing a side lot line will be 9.32 m.
6. **Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted gross floor area is 0.6 times the area of the lot.
The proposed dwelling will have a gross floor area of .072 times the area
9. **Section 12(2)112, By-law No. 438-86**
The maximum permitted building depth is 14.0 m.
The proposed building depth is 15.44 m.
10. **Section 6(3) Part III 3(d)i(D), By-law No. 438-86**
The minimum required front yard soft landscaping is 75.00%.
The proposed front yard soft landscaping is 73.6%.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

4. Chapter 10.5.40.70.(1), By-law No. 569-2013

The minimum required front yard setback is 4.74 m.

The proposed dwelling will be located **4.16m** from the front lot line.

7. Section 6(3) Part II 2 (II), By-law No. 438-86

The minimum permitted front lot line setback for a building on an inside lot is 4.74 m.

The proposed dwelling will have a front lot line set back of **4.16m**.

8. Section 6(3) Part II 3. B(II), By-law No. 438-86

The minimum required side yard setback is 0.9 m for the portion of the dwelling not exceeding 17.00 m in depth, where the side walls contain no openings.

The proposed east side yard setback is 0.61 m. The proposed west side yard setback is 0.75 m.

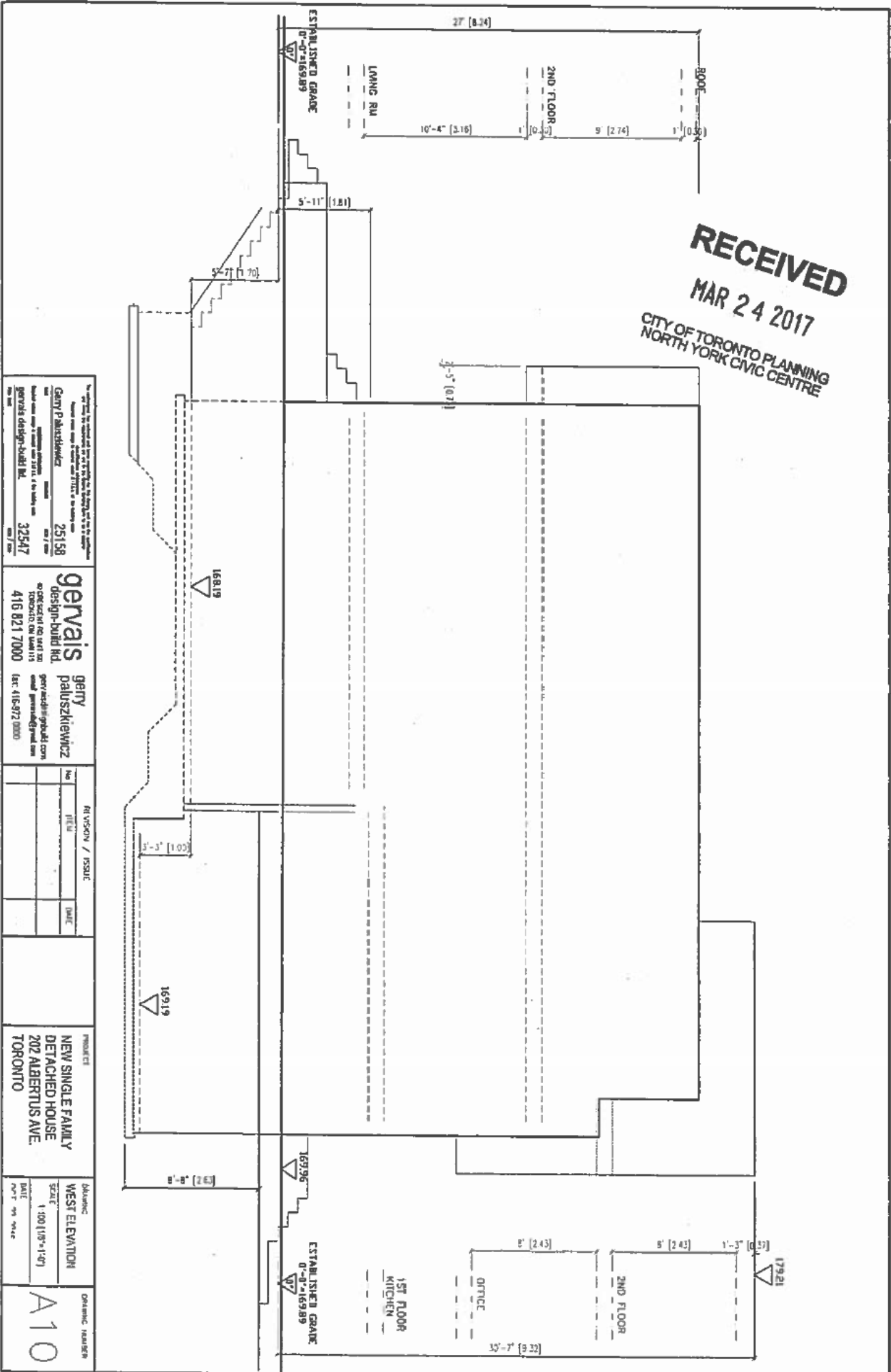
For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or remove privately owned trees.
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
3. The proposal be developed substantially in accordance with the side elevation submitted to the Committee of Adjustment date stamped received by the City of Toronto Planning Division on March 24, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*

RECEIVED
MAR 24 2017
 CITY OF TORONTO PLANNING
 NORTH YORK CIVIC CENTRE



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 Gary Paluszkiwicz
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 paluszkiwicz
 gervaisdesign-build.com
 416-972-0000

REVISION / ISSUE	
NO.	DATE

PROJECT
 NEW SINGLE FAMILY
 DETACHED HOUSE
 202 ALBERTUS AVE.
 TORONTO

DATE: 11/07/14
 SCALE: 1/80 (1/8"=1'-0")
 WEST ELEVATION

DATE: 11/07/14
 SCALE: 1/80 (1/8"=1'-0")
 WEST ELEVATION

A10

SIGNATURE PAGE

File Number:	A0066/17NY	Zoning	R / R1S Z0.6 (ZR)
Owner:	ANDRZEJ GOLEC	Ward:	Eglinton-Lawrence (16)
Agent:	GERVAIS DESIGN-BUILD LTD	Heritage:	Not Applicable
Property Address:	202 ALBERTUS AVE	Community:	
Legal Description:	PLAN M53 PT LOT 56		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 13, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0068/17NY	Zoning	RD/R4 [BLD]
Owner(s):	OMAYA ELGUINDI HOSSAM KHATTAB	Ward:	Don Valley West (25)
Agent:	JILLIAN AIMIS	Heritage:	Not Applicable
Property Address:	22 GRANGEMILL CRES	Community:	North York
Legal Description:	PLAN 4758 LOT 315		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition, over a portion of the existing one-storey dwelling, in conjunction with other interior and exterior alterations.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013**
The minimum required front yard setback is 11.53m.
The proposed front yard setback is 9.91m.
- 2. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.50m.
The existing north side yard setback (to the existing shed) is 0.85m.
- 3. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The existing north side yard setback (to the existing shed) is 0.85m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.

- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the site plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division. March 28, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0068/17NY	Zoning	RD/R4 [BLD]
Owner:	OMAYA ELGUINDI HOSSAM KHATTAB	Ward:	Don Valley West (25)
Agent:	JILLIAN AIMIS	Heritage:	Not Applicable
Property Address:	22 GRANGEMILL CRES	Community:	North York
Legal Description:	PLAN 4758 LOT 315		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 13, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0069/17NY	Zoning	RD/R6 (f12;a370) [ZR]
Owner(s):	MEHDI MOZAYAN	Ward:	Willowdale (23)
Agent:	GORD PAHLBOD	Heritage:	Not Applicable
Property Address:	205 BURNDALE AVE	Community:	North York
Legal Description:	PLAN M407 E PT LOT 302 WPT 303		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached single family dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10(5), By-law No. 569-2013**
A minimum of 10.00m² of the first floor must be within 4.00m of the front main wall.
The proposed entrance would be 3.14m².
- 2. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted height of a building or structure is 10.00m.
The proposed height of the structure is 10.32m.
- 3. Chapter 10.20.40.10.(2)B(i), By-law No. 569-2013**
The maximum permitted height of side exterior main walls facing a side lot line is 7.50m.
The proposed height of the west side exterior main wall is 7.70m.
- 4. Chapter 10.20.40.10.(2)B(i), By-law No. 569-2013**
The maximum permitted height of side exterior main walls facing a side lot line is 7.50m.
The proposed height of the east side exterior main wall is 7.70m.
- 5. Chapter 10.20.40.10.(6), By-law No. 569-2013**
The maximum permitted height of the first floor above established grade is 1.20m.
The proposed height of the first floor is 1.36m.
- 6. Chapter 10.20.30.40.(1)A By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area: 136.62m².
The proposed lot coverage is 32.00% of the lot area: 145.7m².

7. **Chapter 10.5.40.60.(3)(A)(iii), By-law No. 569-2013**
Exterior stairs may encroach into a required setback provided they are no closer than 0.60m to a lot line.
The proposed side stairs are 0.30m from the west lot line.
8. **Section 14-A(6), By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the area.
The proposed lot coverage is 32.00% of the area.
9. **Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.25m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.5.40.10(5), By-law No. 569-2013**
A minimum of 10.00m² of the first floor must be within 4.00m of the front main wall.
The proposed entrance would be 3.14m².
3. **Chapter 10.20.40.10.(2)B(i), By-law No. 569-2013**
The maximum permitted height of side exterior main walls facing a side lot line is 7.50m.
The proposed height of the west side exterior main wall is 7.70m.
4. **Chapter 10.20.40.10.(2)B(i), By-law No. 569-2013**
The maximum permitted height of side exterior main walls facing a side lot line is 7.50m.
The proposed height of the east side exterior main wall is 7.70m.
6. **Chapter 10.20.30.40.(1)A By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area: 136.62m².
The proposed lot coverage is 32.00% of the lot area: 145.7m².
7. **Chapter 10.5.40.60.(3)(A)(iii), By-law No. 569-2013**
Exterior stairs may encroach into a required setback provided they are no closer than 0.60m to a lot line.
The proposed side stairs are 0.30m from the west lot line.
8. **Section 14-A(6), By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the area.
The proposed lot coverage is 32.00% of the area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

2. **Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted height of a building or structure is 10.00m.
The proposed height of the structure is 10.32m.
5. **Chapter 10.20.40.10.(6), By-law No. 569-2013**
The maximum permitted height of the first floor above established grade is 1.20m.
The proposed height of the first floor is 1.36m.
9. **Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.25m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

- 1) The applicant shall submit an application for permit to injure or remove city-owned trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.

SIGNATURE PAGE

File Number:	A0069/17NY	Zoning	RD/R6 (f12;a370) [ZR]
Owner:	MEHDI MOZAYAN	Ward:	Willowdale (23)
Agent:	GORD PAHLBOD	Heritage:	Not Applicable
Property Address:	205 BURNDALE AVE	Community:	North York
Legal Description:	PLAN M407 E PT LOT 302 WPT 303		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 13, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, April 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0072/17NY	Zoning	RD/R5 [ZZC]
Owner(s):	MICHAEL MALLINOS	Ward:	Don Valley East (34)
Agent:	JOHN ROBERT CARLEY, ARCHITECT	Heritage:	Not Applicable
Property Address:	31 PLATEAU CRES	Community:	North York
Legal Description:	PLAN 4566 LOT 589		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. Please note that more than 50% of the exterior walls of the existing dwelling are to be removed. As such, this proposal is deemed to be a new dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 25.00% of the lot area.
The proposed lot coverage is 27.20% of the lot area.
- 2. Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.20m.
- 3. Section 14.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.20m.
- 4. Section 14.2.4, By-law No. 7625**
The maximum permitted lot coverage is 25.00% of the lot area.
The proposed lot coverage is 27.20% of the lot area.
- 5. Section 14.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 18.15m.

6. Section 6(9), By-law No. 7625

The maximum permitted projection for eaves into a required yard setback is 0.50m.

The proposed eaves project 0.85m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

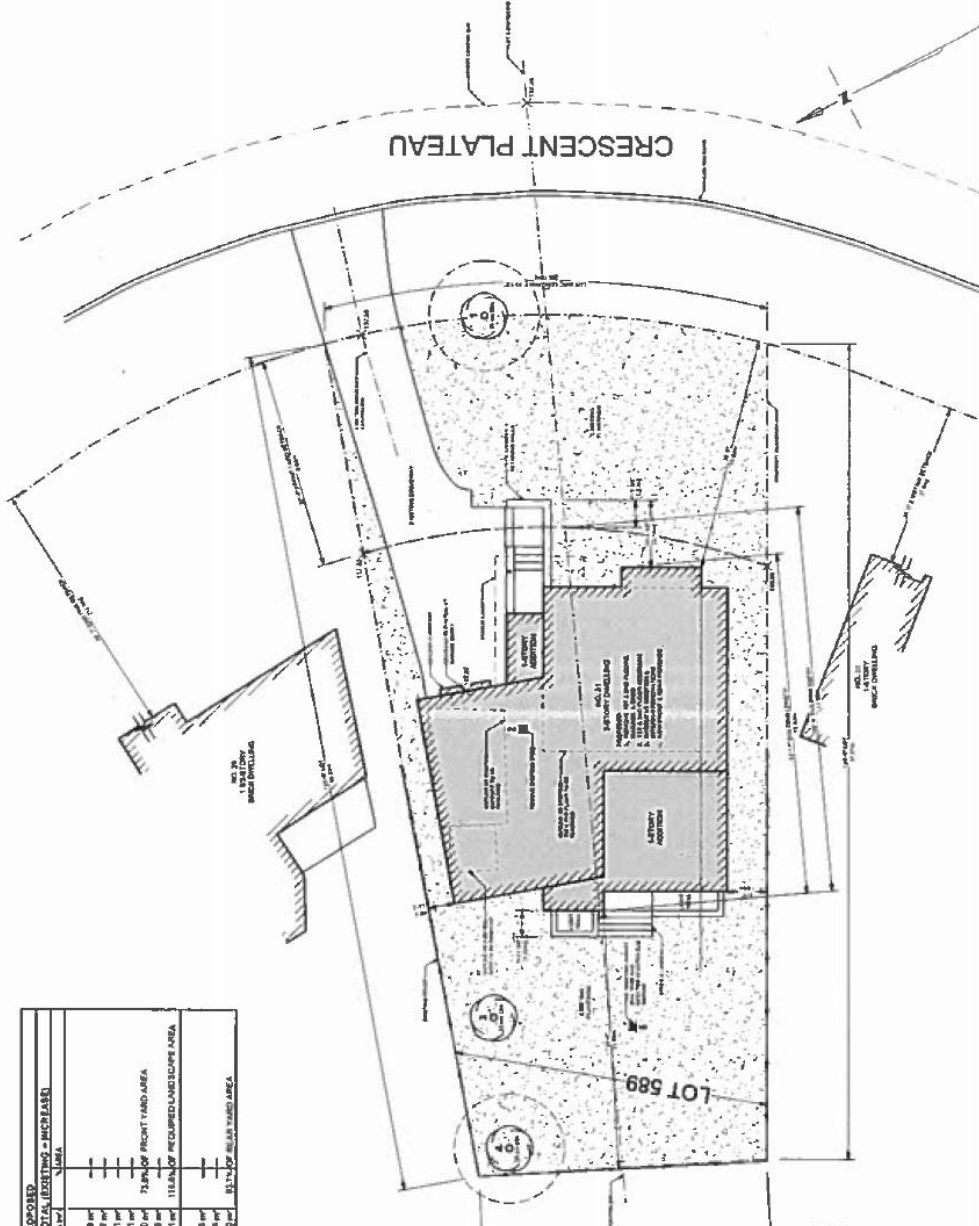
This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the site plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, March 28, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

LANDSCAPING STATISTICS	EXISTING		INCREASE		PROPOSED	
	AREA (sq. ft.)	%	AREA (sq. ft.)	%	AREA (sq. ft.)	TOTAL (EXISTING + INCREASE)
FRONT YARD LANDSCAPING	3,820	24.34	241	2.4	2,058	2,058
A. CROSS FRONT YARD AREA	8	0.05	29	0.27	21	21
B. PERMITTED ENCROACHMENT AREA	8,779	55.6	212	2.1	2,511	2,511
C. NET FRONT YARD AREA (A + B)	12,600	79.95	241	2.4	1,282	1,282
D. LANDSCAPING AREA (C - D)	1,811	11.5	228	2.2	1,583	1,583
E. HARD SURFACE LANDSCAPING AREA	119	0.75	43	0.43	76	76
F. SOFT SURFACE LANDSCAPING AREA (E - F)	1,092	6.75	185	1.8	1,007	1,007
REAR YARD LANDSCAPING	2,795	17.5	479	4.7	1,816	1,816
A. REAR YARD AREA	6,949	44.1	488	4.8	1,261	1,261
B. HARD SURFACE LANDSCAPING AREA	2,100	13.3	254	2.5	1,846	1,846
C. SOFT SURFACE LANDSCAPING AREA (A - B)	4,849	30.8	234	2.3	3,005	3,005
TOTAL	15,615	100.0	1,000	10.0	7,723	7,723



COSELEULLI
 SURVEY INFORMATION ON THIS SITE PLAN HAS BEEN TAKEN BY GROUND SURVEY FROM SURVEYOR'S REAL PROPERTY REPORT
 LOT 589
 REGISTERED PLAN 4566
 CITY OF TORONTO
 (FORMERLY CITY OF NORTH YORK)
 BY LAND SURVEYOR CAROL ANN COSELEULLI
 271 THE OBSERVATORY LANE 1TH
 TORONTO, ONTARIO M6E 1H4
 DATED: 22 JUNE 2018

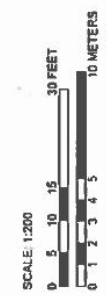


MALLINOS RESIDENCE: ADDITIONS & RENOVATIONS

31 PLYATEAU CRES., TORONTO

SITE PLAN

JOHN ROBERT CARLEY, ARCHITECT INCORPORATED
 224 EGLINTON AVENUE EAST, SUITE 504, TORONTO, ONTARIO M4P 1K5
 27 JANUARY 2017



MAR 28 2017

CITY OF TORONTO PLANNING
 NORTH YORK CIVIC CENTRE

SIGNATURE PAGE

File Number:	A0072/17NY	Zoning	RD/R5 [ZZC]
Owner:	MICHAEL MALLINOS	Ward:	Don Valley East (34)
Agent:	JOHN ROBERT CARLEY, ARCHITECT	Heritage:	Not Applicable
Property Address:	31 PLATEAU CRES	Community:	North York
Legal Description:	PLAN 4566 LOT 589		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 13, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0075/17NY	Zoning	R/R2 (f7.5; d0.6) x604 [ZR]
Owner(s):	MORTEZA LAMEI RAMANDI	Ward:	Eglinton-Lawrence (16)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	22 ROE AVE	Community:	North York
Legal Description:	PLAN 496E PT LOT 44		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

Proposal to construct a new two-storey single family dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.50.10.(1), By-law No. 569-2013**
On a lot with a detached house, a minimum of 75.00% of the front yard area must be soft landscaping.
The proposed front yard soft landscaping area is **72.5%**.
- 2. Chapter 10.10.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 8.14m.
- 3. Chapter 10.10.40.30.(1), By-law No. 569-2013**
The maximum permitted depth of a building is 17.00m.
The proposed building depth is 18.84m.
- 4. Chapter 10.10.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.60 times the area of the lot: 215.41m².
The proposed floor space index is **0.76** times the area of the lot.
- 5. Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted gross floor area is 0.60 times the lot area: 215.41m².
The proposed gross floor area of the building exceeds the maximum permitted by **56.05m²**.
- 6. Section 6(3) Part II 3.B(II), By-law No. 438-86**
A minimum side lot line setback of 7.50m is required for a building deeper than 17.00m.

The proposed east side lot line setback is 0.91m.

7. Section 6(3) Part II 3.B(II), By-law No. 438-86

A minimum side lot line setback of 7.50m is required for a building deeper than 17.00m.

The proposed west side lot line setback is 0.91m.

8. Section 6(3) Part III 3(d)i(D), By-law No. 438-86

The minimum required front yard soft landscaping is 75.00%.

The front yard soft landscaping is **72.5%**

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0075/17NY	Zoning	R/R2 (f7.5; d0.6) x604 [ZR]
Owner:	MORTEZA LAMEI RAMANDI	Ward:	Eglinton-Lawrence (16)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	22 ROE AVE	Community:	North York
Legal Description:	PLAN 496E PT LOT 44		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 13, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

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Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0076/17NY	Zoning	RM/R2 [ZR]
Owner(s):	PETER MONTICCILO	Ward:	Eglinton-Lawrence (15)
Agent:	GIUSEPPE DI MARCO	Heritage:	Not Applicable
Property Address:	593 OAKWOOD AVE	Community:	York
Legal Description:	PLAN 1687 LOT 56 AND PT LOT 57		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit the construction of a new three-storey mixed use building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.80.20.10.(1), By-law No. 569-2013**
The proposed Mixed Use building is not permitted in the RM Residential Zone.
- 2. Chapter 10.80.30.10.(1), By-law No. 569-2013**
The minimum required lot area is 720.00m².
The existing lot area is 286.14m².
- 3. Chapter 10.80.30.20.(1), By-law No. 569-2013**
The minimum required lot frontage is 24.00m.
The existing lot frontage is 8.53m.
- 4. Chapter 10.80.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 12.00m.
The proposed building height is 12.58m.
- 5. Chapter 10.80.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.80 times the lot area.
The proposed floor space index is 0.99 times the lot area.
- 6. Chapter 10.80.40.70.(2), By-law No. 569-2013**
The minimum required rear yard setback is 8.30m.
The proposed rear yard setback is 8.17m.

7. **Chapter 10.80.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 2.40m.
The proposed north side yard setback is 0.30m.
8. **Chapter 10.80.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 2.40m.
The proposed south side yard setback is 1.22m.
9. **Chapter 200.5.10.1.(1), By-law No. 569-2013**
The minimum required number of parking spaces is five (5).
The proposed number of parking spaces is two (2).
10. **Section 3.(a), By-law No. 1-83**
The minimum required side yard setback is 6.29m.
The proposed north side yard setback is 0.30m.
11. **Section 3.(a), By-law No. 1-83**
The minimum required side yard setback is 6.29m.
The proposed south side yard setback is 1.22m.
12. **Section 3.(a), By-law No. 1-83**
The maximum permitted floor space index is 0.80 times the lot area.
The proposed floor space index is 0.99 times the lot area.
13. **Section 8.2, By-law No. 1-83**
The minimum required lot frontage is 12.00m.
The existing lot frontage is 8.53m.
14. **Section 3.2, By-law No. 1-83**
The minimum required number of parking spaces is seven (7).
The proposed number of parking spaces is two (2).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0076/17NY	Zoning	RM/R2 [ZR]
Owner:	PETER MONTICCIOLO	Ward:	Eglinton-Lawrence (15)
Agent:	GIUSEPPE DI MARCO	Heritage:	Not Applicable
Property Address:	593 OAKWOOD AVE	Community:	York
Legal Description:	PLAN 1687 LOT 56 AND PT LOT 57		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 13, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

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Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0077/17NY	Zoning	RD / R4 (ZR)
Owner(s):	YU LIN YU LIN	Ward:	Willowdale (24)
Agent:	S S ENGINEERING INC	Heritage:	Not Applicable
Property Address:	80 PEMBERTON AVE	Community:	North York
Legal Description:	PLAN 2233 PT LOT 93		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a detached dwelling with attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. By-law No. 1676-2013**
The minimum permitted vestibule size is 10 m².
The proposed vestibule size is 6.3 m².
- 2. Chapter 10.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is **30.4%** of the lot area.
- 3. Chapter 10.20.40.10.(2) B(ii), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the side exterior main walls facing a side lot line is 8.15 m.
- 4. Chapter 10.20.40.20.(1), By-law No. 569-2013**
In the RD zone with a minimum required lot frontage of 18.0 m or less, the permitted maximum building length for a detached house is 17.0 m
The proposed building length is **17.98 m**
- 5. Chapter 10.20.40.70.(4), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m where the required minimum frontage is 12.0 m or less than 18.0 m.
The proposed west side yard setback is 1.22 m.

6. **Chapter 10.20.40.70.(4), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m where the required minimum frontage is 12.0 m or less than 18.0 m.
The proposed east side yard setback is **0.66m**.
7. **Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550 m².
The proposed lot area is 343.73 m².
8. **Section 13.2.1, By-law No. 7625**
The minimum required lot frontage is 15 m.
The proposed lot frontage is 7.62 m.
9. **Section 6(8), By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.
10. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is **30.4%** of the lot area.
11. **Section 13.2.5.A, By-law No. 7625**
The maximum permitted building length is 16.8 m
The proposed building length is **17.98m**.
12. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.02 m
13. **Section 13.2.3(B), By-law No. 7625**
The minimum required west side yard setback is 1.5 m.
The proposed west side yard setback is 1.21 m.
14. **Section 13.2.3(b), By-law No. 7625**
The minimum required east side yard setback is 1.5 m
The proposed east side yard setback is **0.66m**

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the west elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, March 27, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*

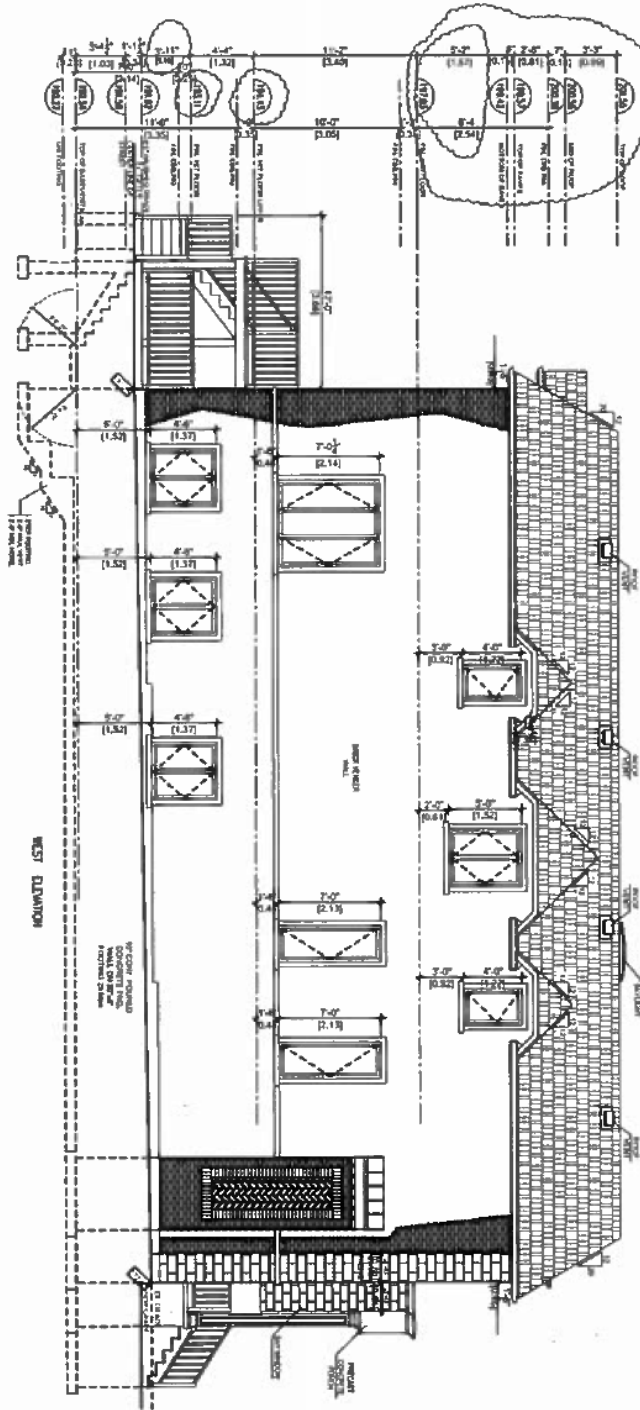
2. The proposal be developed in accordance with the east elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, April 6, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*

TORONTO PLANNING
YORK QTR CENTRE

JAN 27 2017

RECEIVED

WEST ELEVATION
SCALE: 1/8" = 1'-0"



- NOTES:**
1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE BUILDING DEPARTMENT FOR APPROVAL.
 2. THE CONTRACTOR IS RESPONSIBLE FOR TEMPORARY BRACING AND BRACING DURING CONSTRUCTION.
 3. CHECK ALL BRACINGS AND CONNECTIONS WITH OTHER DRAWINGS PRIOR TO CONSTRUCTION.
 4. DETAILING WALL, GUTTER, FLOOR JOISTS AND BEAMS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
 5. USE 4" SQUARE TYP. BRACK. W/ 3/4" BEARING TYP. FLOOR JOISTS, MIN. 3" BEARINGS TYP. STEEL LINTLS.
 6. ASSUMING FLOOR BEAMS AND JOISTS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

JANUARY, 16/ 2017

S.S. ENGINEERING INC.
Building Structure Solutions
46-118 Sun 1312 (Tel: 416 940 1261)
4600 Yonge Street/4th Fl. (Civic Building) 4th

PROJECT NAME:
80 PEMBERTON AVE

DRAWING TITLE:
WEST ELEVATION

DATE: MARCH 23/2017

PROJECT NORTH

DRAWING No.: A-009

SIGNATURE PAGE

File Number:	A0077/17NY	Zoning	RD / R4 (ZR)
Owner:	YU LIN	Ward:	Willowdale (24)
	YU LIN		
Agent:	S S ENGINEERING INC	Heritage:	Not Applicable
Property Address:	80 PEMBERTON AVE	Community:	
Legal Description:	PLAN 2233 PT LOT 93		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 13, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, April 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0079/17NY	Zoning	RD(fl2.0;a370)/ R6 [ZZC]
Owner(s):	HOOSHANG YAZDANI- BOROUJENI MANZAR YAZDANI	Ward:	Willowdale (24)
Agent:	ORANG YAZDANI	Heritage:	Not Applicable
Property Address:	75 OTONABEE AVE	Community:	North York
Legal Description:	PLAN 2385 LOT 271		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey single family dwelling. The existing structure would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1) A), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area: 136.55m².
The proposed lot coverage is 32.00% of the lot area: 145.67m².
- 2. Chapter 10.20.40.70.(3) C), By-law No. 569-2013**
The minimum required side yard setback is 1.20m.
The proposed east side yard setback is 0.90m.
- 3. Chapter 10.20.40.10.(2) B)(ii), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the east side exterior main wall is 8.24m.
- 4. Section 14-A(5)c, By-law No. 7625**
The minimum required side yard setback is 1.20m.
The proposed east side yard setback is 0.90m.
- 5. Section 14-A(6), By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area: 136.55m².
The proposed lot coverage is 32.00% of the lot area: 145.67m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.30.40.(1) A), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area: 136.55m².
The proposed lot coverage is 32.00% of the lot area: 145.67m².
3. **Chapter 10.20.40.10.(2) B)(ii), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the east side exterior main wall is 8.24m.
5. **Section 14-A(6), By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area: 136.55m².
The proposed lot coverage is 32.00% of the lot area: 145.67m².

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

2. **Chapter 10.20.40.70.(3) C), By-law No. 569-2013**
The minimum required side yard setback is 1.20m.
The proposed east side yard setback is 0.90m.
4. **Section 14-A(5)c, By-law No. 7625**
The minimum required side yard setback is 1.20m.
The proposed east side yard setback is 0.90m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

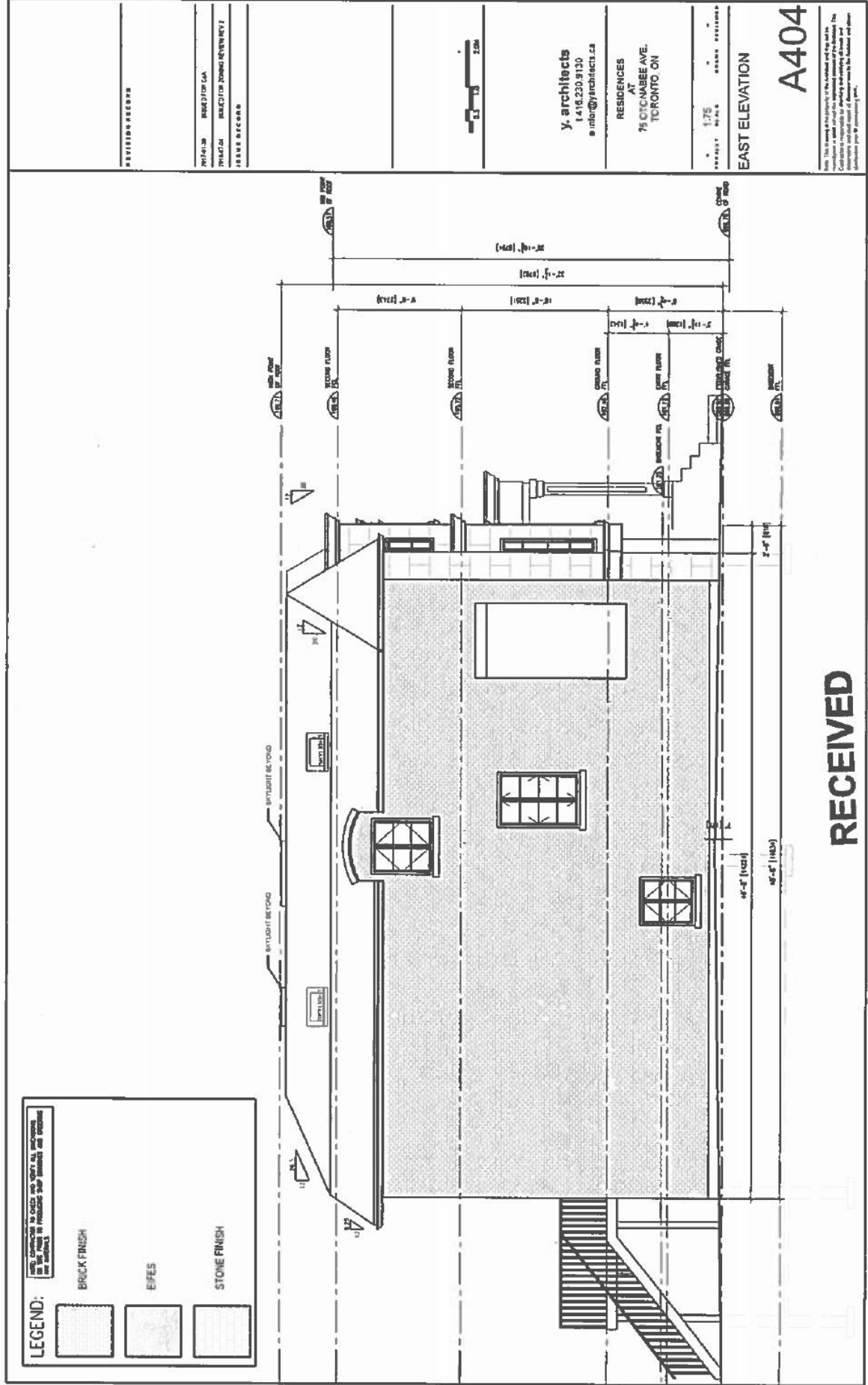
This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the east elevation drawing submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, March 27, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*

LEGEND:

NOTE: CHANGES TO COLOR AND TEXT ARE APPROVED BY THE ARCHITECT.

	BRICK FINISH
	EAVES
	STONE FINISH



REVISION RECORD

PROJECT NO. 18002 D10P 04A
 PROJECT NAME: RESIDENCES AT 75 CECILIA STREET
 ISSUE RECORD

Y. architects
 4 416.230.9130
 y.architects.ca

RESIDENCES
 AT
 75 CECILIA AVE.
 TORONTO ON

SCALE: 1/8" = 1'-0"
 DATE: 03/27/2017

EAST ELEVATION

A404

THIS DRAWING IS THE PROPERTY OF Y. ARCHITECTS AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. THE ARCHITECT ASSUMES NO LIABILITY FOR DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DRAWING FOR ANY PURPOSES OTHER THAN THAT AUTHORIZED BY THE ARCHITECT.

RECEIVED

MAR 27 2017

Toronto City Planning
 North York District

SIGNATURE PAGE

File Number:	A0079/17NY	Zoning	RD(fl2.0;a370)/ R6 [ZZC]
Owner:	HOOSHANG YAZDANI- BOROUJENI MANZAR YAZDANI	Ward:	Willowdale (24)
Agent:	ORANG YAZDANI	Heritage:	Not Applicable
Property Address:	75 OTONABEE AVE	Community:	North York
Legal Description:	PLAN 2385 LOT 271		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 13, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0080/17NY	Zoning	RD/R4 [BLD]
Owner(s):	NEHME DAGHER FERIAL DAGHER	Ward:	Willowdale (23)
Agent:	CHAMPION FINE HOMES	Heritage:	Not Applicable
Property Address:	129 GOULDING AVE	Community:	North York
Legal Description:	PLAN 2366 L 226		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new one-storey addition to the rear of the existing one-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 20.90m.
- 2. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.00m.
The proposed building depth is 22.25m.
- 3. Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 20.90m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.

- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0080/17NY	Zoning	RD/R4 [BLD]
Owner:	NEHME DAGHER FERIAL DAGHER	Ward:	Willowdale (23)
Agent:	CHAMPION FINE HOMES	Heritage:	Not Applicable
Property Address:	129 GOULDING AVE	Community:	North York
Legal Description:	PLAN 2366 L 226		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, April 13, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

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North York Panel

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Thursday, April 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0084/17NY	Zoning	RD / R6 (ZR)
Owner(s):	LAURA JONES OBADIAH GEORGE	Ward:	Willowdale (23)
Agent:	OBADIAH GEORGE	Heritage:	Not Applicable
Property Address:	119 PARK HOME AVE	Community:	
Legal Description:	PLAN 3924 L 73		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new rear yard deck on the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.60.(1), By-law No. 569-2013**
The maximum rear deck projection is 2.5 m.
The proposed rear deck projection is 3.19 m.
- 2. Section 6(24), By-law No. 7625**
The maximum rear deck projection is 2.1 m and a width of 4.88 m.
The proposed rear deck projection is 3.19 m and a width of 6.54 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0084/17NY	Zoning	RD / R6 (ZR)
Owner:	LAURA JONES OBADIAH GEORGE	Ward:	Willowdale (23)
Agent:	OBADIAH GEORGE	Heritage:	Not Applicable
Property Address:	119 PARK HOME AVE	Community:	
Legal Description:	PLAN 3924 L 73		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 13, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

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Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, April 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0087/17NY	Zoning	RD (f12.0; d0.35)x411/R1 Z0.35 [ZZC]
Owner(s):	FRANCESCO MADURI	Ward:	Eglinton-Lawrence (16)
Agent:	FIRST STEP DESIGN	Heritage:	Not Applicable
Property Address:	53 CHERITAN AVE	Community:	North York
Legal Description:	PLAN 605E PT LOT 156		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To renovate the interior and add a rear second storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.40.(1), By-law No. 569-2013

The maximum permitted floor space index is 0.35 times the area of the lot: 161.75m².

The proposed floor space index is 0.47 times the area of the lot: 215.51m².

2. Section 6(3) Part I 1, By-law No. 438-86

The permitted gross floor area is 0.35 times the area of the lot: 161.75m².

The proposed gross floor area of the building exceeds the maximum by approximately 53.76m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0087/17NY	Zoning	RD (f12.0; d0.35)x411/R1 Z0.35 [ZZC]
Owner:	FRANCESCO MADURI	Ward:	Eglinton-Lawrence (16)
Agent:	FIRST STEP DESIGN	Heritage:	Not Applicable
Property Address:	53 CHERITAN AVE	Community:	North York
Legal Description:	PLAN 605E PT LOT 156		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 13, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, April 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0091/17NY	Zoning	Rd / R4 (Waiver)
Owner(s):	NEGIN SHAHBAZIAN	Ward:	Willowdale (23)
Agent:	MANOUSH HAKIMI	Heritage:	Not Applicable
Property Address:	24 MOORE PARK AVE	Community:	
Legal Description:	PLAN 3788 LOT 6		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with attached garage. The existing dwelling and detached accessory structure will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(I), By-law No. 569-2013**
The maximum lot coverage shall be 30%.
The proposed lot coverage is 31.92%.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum side yard setback shall be 1.80 m.
The proposed west side yard setback is 1.52 m.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum side yard setback shall be 1.80 m.
The proposed east side yard setback is 1.52 m.
- Chapter 10.20.40.20.(2), By-law No. 569-2013**
The permitted maximum height of the one story rear extension is 5.0 m.
The proposed one story rear extension will be 5.87 m.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of all side exterior main walls facing a side lot line is 8.26 m.
- Section 13.2.4.(a), By-law No. 7625**
The maximum lot coverage shall be 30%.
The proposed lot coverage is 31.92%.

7. **Section 13.2.6, By-law No. 7625**
The maximum building height shall be 8.80 m to the midpoint of the roof.
The proposed building height shall be 9.10 m to the midpoint of the roof.
8. **Section 13.2.3.(b), By-law No. 7625**
The minimum side yard setback shall be 1.80 m.
The proposed west side yard setback is 1.52 m.
9. **Section 13.2.3.(b), By-law No. 7625**
The minimum side yard setback shall be 1.80 m.
The proposed east side yard setback is 1.52 m.
10. **Section 13.2.5.A.(3).(c), By-law No. 7625**
The maximum height of a one storey rear extension is 5.0 m.
The proposed one storey rear yard extension height is 6.14 m.
11. **Section 6.(9).(n), By-law No. 7625**
Windows may project up to 0.30 m from the front or rear wall if glazed on only one side.
The proposed bay windows in the front wall project 0.61 m and are not glazed on side.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.30.40.(I), By-law No. 569-2013**
The maximum lot coverage shall be 30%.
The proposed lot coverage is 31.92%.
4. **Chapter 10.20.40.20.(2), By-law No. 569-2013**
The permitted maximum height of the one story rear extension is 5.0 m.
The proposed one story rear extension will be 5.87 m.
5. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of all side exterior main walls facing a side lot line is 8.26 m.
6. **Section 13.2.4.(a), By-law No. 7625**
The maximum lot coverage shall be 30%.
The proposed lot coverage is 31.92%.
7. **Section 13.2.6, By-law No. 7625**
The maximum building height shall be 8.80 m to the midpoint of the roof.
The proposed building height shall be 9.10 m to the midpoint of the roof.
10. **Section 13.2.5.A.(3).(c), By-law No. 7625**
The maximum height of a one storey rear extension is 5.0 m.
The proposed one storey rear yard extension height is 6.14 m.

11. Section 6.(9).(n), By-law No. 7625

Windows may project up to 0.30 m from the front or rear wall if glazed on only one side.
The proposed bay windows in the front wall project 0.61 m and are not glazed on side.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

2. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum side yard setback shall be 1.80 m.
The proposed west side yard setback is 1.52 m.

3. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum side yard setback shall be 1.80 m.
The proposed east side yard setback is 1.52 m.

8. Section 13.2.3.(b), By-law No. 7625

The minimum side yard setback shall be 1.80 m.
The proposed west side yard setback is 1.52 m.

9. Section 13.2.3.(b), By-law No. 7625

The minimum side yard setback shall be 1.80 m.
The proposed east side yard setback is 1.52 m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number: A0091/17NY
Owner: NEGIN SHAHBAZIAN
Agent: MANOUSH HAKIMI
Property Address: **24 MOORE PARK AVE**
Legal Description: PLAN 3788 LOT 6

Zoning: Rd / R4 (Waiver)
Ward: Willowdale (23)
Heritage: Not Applicable
Community:

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, April 13, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, April 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0092/17NY	Zoning	RD/R4 [WAIVER]
Owner(s):	AZIN KHALILI AZIN KHALILI	Ward:	Willowdale (24)
Agent:	MANOUSH HAKIMI	Heritage:	Not Applicable
Property Address:	9 MILLGATE CRES	Community:	North York
Legal Description:	PLAN 4847 LOT 2		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey single family dwelling. The existing building would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage of total lot area is 30.00% (174.88m²).
The proposed lot coverage of total lot area is 31.93% (186.11m²).
- 2. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum permitted side yard setback is 1.80m.
The proposed south side yard setback is 1.55m.
- 3. Chapter 10.20.40.20.(2), By-law No. 569-2013**
The maximum permitted height for a one-storey rear extension is 5.00m.
The proposed one-storey rear extension height is 5.62m.
- 4. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of side exterior main walls facing a side lot line is 7.50m.
The proposed height of side exterior main walls facing a side lot line is 8.01m
- 5. Section 13.2.4.(a), By-law No. 7625**
The maximum lot coverage shall be 30.00%: 174.88m².
The proposed lot coverage is 31.93%: 186.11m².
- 6. Section 13.2.6, By-law No. 7625**
The maximum building height is 8.80m.

The proposed building height is 9.10m.

7. Section 13.2.3.(b), By-law No. 7625

The minimum permitted side yard setback is 1.80m.

The proposed south side yard setback is 1.55m.

8. Section 6.(30)a, By-law No. 7625

The maximum permitted finished first floor height is 1.50m.

The proposed first floor height is 1.67m.

9. Section 13.2.5.A.3(3).(c), By-law No. 7625

The maximum permitted height of a one-storey rear extension is 5.00m.

The proposed one-storey rear extension is 6.15m.

10. Section 6.(9).(n), By-law No. 7625

The maximum permitted projection of a window on the front or rear wall that is glazed on only one side is 0.30m.

The proposed window with glazing on only one side on the front wall projects 0.61m.

11. Section 12.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length is 19.07m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

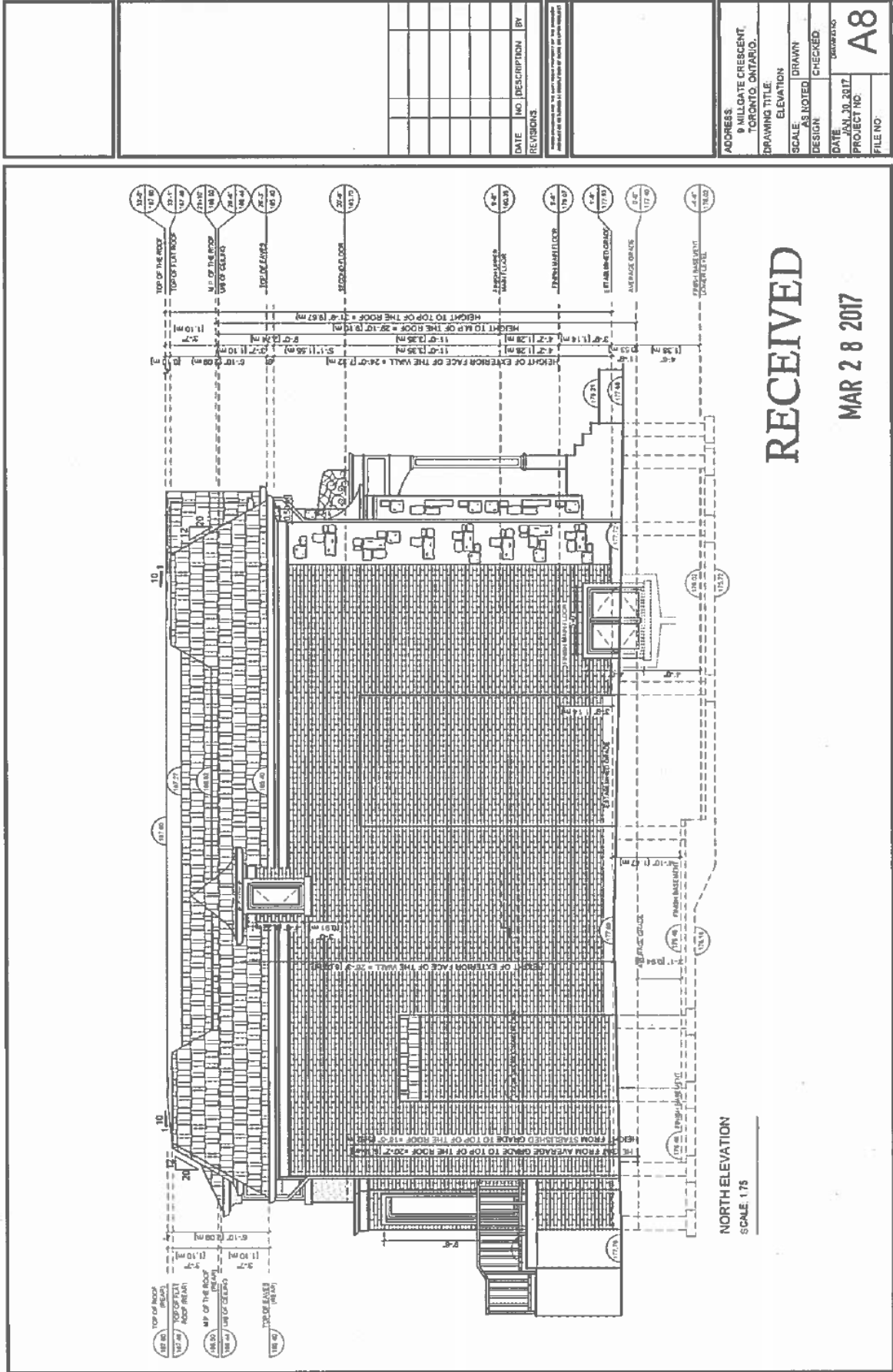
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the South Elevation and North Elevation drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, March 28, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



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MAR 28 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

NORTH ELEVATION
SCALE: 1/75

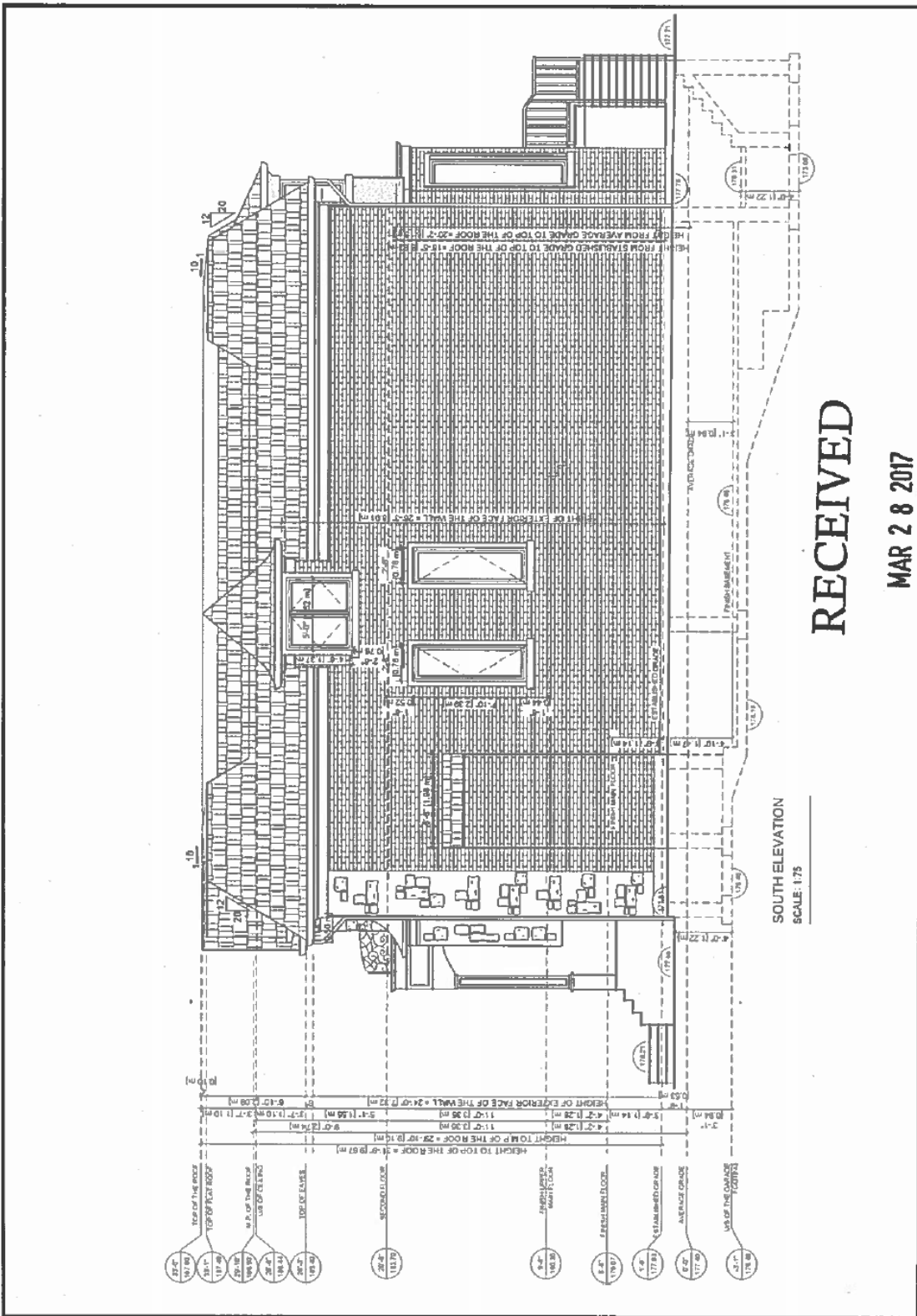
ADDRESS	9 MILGATE CRESCENT, TORONTO, ONTARIO.
DRAWING TITLE	ELEVATION
SCALE	AS NOTED
DESIGNER	DRAWN
DATE	CHECKED
PROJECT NO.	DATE
FILE NO.	DATE

A8

DATE	NO.	DESCRIPTION	BY

REVISIONS

DATE		NO DESCRIPTION		BY	
<small>Approved for the City of Toronto by the City Engineer and the City Architect <small>Approved for the City of Toronto by the City Engineer and the City Architect</small> </small>					
ADDRESS:		9 MILLGATE CRESCENT, TORONTO, ONTARIO.			
DRAWING TITLE:		ELEVATION			
SCALE:		AS NOTED			
DESIGNER:		DRAWN:			
CHECKED:		DATE:			
PROJECT NO.:		MAR 30, 2017			
FILE NO.:		A9			



RECEIVED

MAR 28 2017

SOUTHELEVATION
SCALE: 1/75

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

SIGNATURE PAGE

File Number:	A0092/17NY	Zoning	RD/R4 [WAIVER]
Owner:	AZIN KHALILI AZIN KHALILI	Ward:	Willowdale (24)
Agent:	MANOUSH HAKIMI	Heritage:	Not Applicable
Property Address:	9 MILLGATE CRES	Community:	North York
Legal Description:	PLAN 4847 LOT 2		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 13, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1013/16NY	Zoning	RD/R4 [WAV]
Owner(s):	GITEL SAMUEL ZEV SAMUEL	Ward:	Eglinton-Lawrence (15)
Agent:	MARILYN YPES ARCHITECT INC	Heritage:	Not Applicable
Property Address:	138 SHELBORNE AVE	Community:	North York
Legal Description:	PLAN 4746 LOT 32		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition over the existing one-storey dwelling, in conjunction with other interior and exterior alterations. Please note, this application was previously deferred Thursday, January 26, 2017, in order to allow the applicant an opportunity to revise their application.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 14-A(5)c, By-law No. 7625

An addition to a dwelling having a side yard setback less than the minimum required may be built with a reduced side yard setback provided that the side walls of the addition are a continuation of the side walls of the dwelling on the lot, the addition has a minimum side yard setback is 0.60m and the aggregate side yard setbacks for the addition shall be a minimum of 2.40.

The proposed addition is 1.188m from the west side lot line and 1.163m from the east side lot line for an aggregate of 2.351m.

2. Section 14-A(8), By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 8.856m.

3. Section 14-A(9), By-law No. 7625

The length of a dwelling may be increased from 16.80m to 18.90m by a 2.10m one-storey extension to the rear of the dwelling if the extension is no wider than half the width of the dwelling and does not exceed 5.00m in height.

The proposed building length is 19.836m.

4. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.163m.
5. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.219m.
6. **Chapter 10.20.40.20.(2), By-law No. 569-2013**
The maximum permitted building length is 19.00m including a rear one-storey extension..
The proposed building length is 19.836m including the rear one-storey extension.
7. **Chapter 10.20.40.70.(2), By-law No. 569-2013**
The minimum required rear yard setback is 10.50m.
The proposed rear yard setback is 9.819m.
8. **Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.163m.
9. **Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.219m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

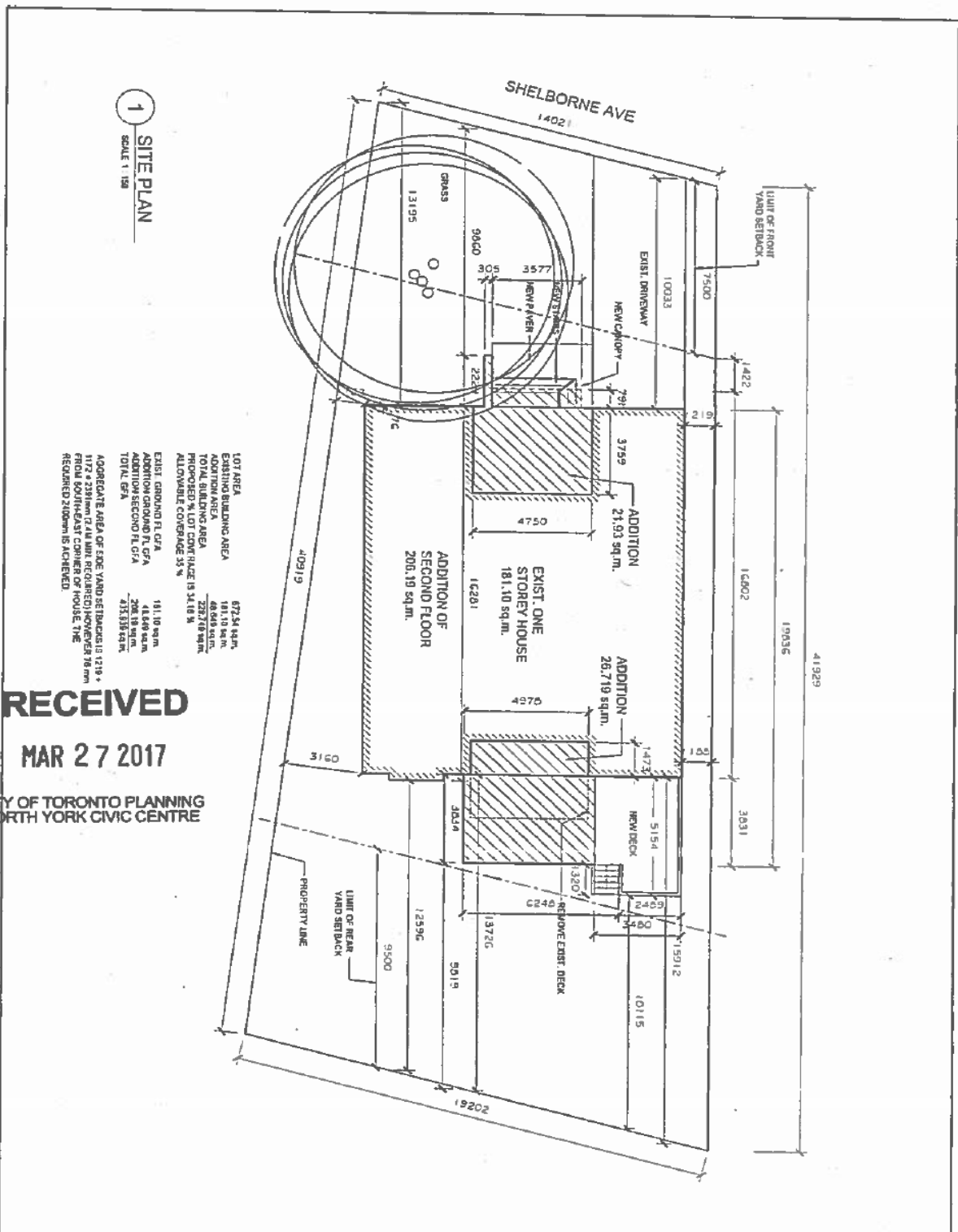
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed substantially in accordance with the site plan submitted to the Committee of Adjustment, date stamped received by the City Planning Division on March 27, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



1 SITE PLAN
SCALE 1:150

LOT AREA 672.54 sq.m.
EXISTING BUILDING AREA 181.10 sq.m.
ADDITION AREA 48.64 sq.m.
TOTAL BUILDING AREA 229.74 sq.m.
PROPOSED % LOT COVERAGE IS 34.16 %
ALLOWABLE COVERAGE 35 %

EXIST. GRADING FL. G.F.A. 181.10 sq.m.
ADDITION GRADING FL. G.F.A. 48.64 sq.m.
ADDITION SECOND FL. G.F.A. 206.19 sq.m.
TOTAL G.F.A. 435.93 sq.m.

APPROPRIATE AREA OF EXIST. YARD SETBACKS IS 1219 +
1172 + 2311mm (2.4 M) MIN. REQUIRED HOWEVER 76 mm
MINIMUM SETBACK IS REQUIRED FOR HOUSE THE
REQUIRED 2100mm IS ACHIEVED.

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MAR 27 2017
CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

<p>WALL TYPE LEGEND:</p> <p>TO BE REMOVED</p> <p>EXISTING WALL</p> <p>TO REMAIN</p> <p>NEW WALL</p>		
<p>Marilyn Yees Architect Inc. 1318 SHELBORNE AVE TORONTO, ONTARIO M6H 1S4 M 416-233-8200 or 416-233-8201</p>		
<p>ONTARIO ASSOCIATION OF ARCHITECTS Marilyn Yees LICENCE 3289</p>		
<p>FOR ADDITION TO 138 SHELBORNE AVE TORONTO, ON</p>		
<p>DATE: 1:150 PROJECT NO: 2016-45 DRAWN: JANUARY 2017 SCALE: L.C. SHEET NO: 1 ORIGIN: M.V.</p>		

SIGNATURE PAGE

File Number:	A1013/16NY	Zoning	RD/R4 [WAV]
Owner:	GITEL SAMUEL ZEV SAMUEL	Ward:	Eglinton-Lawrence (15)
Agent:	MARILYN YPES ARCHITECT INC	Heritage:	Not Applicable
Property Address:	138 SHELBORNE AVE	Community:	North York
Legal Description:	PLAN 4746 LOT 32		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, April 13, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.