

March 16, 2017

NOTICE OF DECISIONS
(Section 53 and 54 of the Planning Act)

PLEASE NOTE:

Application(s) Deferred *sine die*:

- Item 13. – 69 Fishleigh Dr., A0400/16SC

Thursday, March 16, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0067/16SC	Zoning	Residential Detached (RD) & Single Family (S) [Waiver]
Owner(s):	HAIFENG SUN	Ward:	Scarborough Centre (37)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	7 GAYLORD DR	Community:	Wexford Community
Legal Description:	PLAN 4040 LOT 212 PT LOT 211		

Notice was given and the application considered on Thursday, March 16, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two (2) undersized residential lots.

Conveyed - Parts 1 & 2**Address to be assigned**

The proposed lot frontage is 10.67 m and the proposed lot area is 406.9 m². The existing detached dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling with an integral garage and basement walkout, requiring variances to the Zoning By-law, as outlined in Application A0385/16SC.

All existing easements will be maintained.

Retained - Parts 3 & 4**Address to be assigned**

The proposed lot frontage is 10.67 m and the proposed lot area is 406.9 m². The existing detached dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling with an integral garage and basement walkout, requiring variances to the Zoning By-law, as outlined in Application A0384/16SC.

All existing easements will be maintained.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division is premature.
- The proposed land division does not conform to the policies of the official plan.

- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

Attachment 1: Lot Division Plan

PLAN 66R-
RECEIVED AND DEPOSITED

Date _____

REPRESENTATIVE FOR LAND REGISTRAR
FOR THE LAND TITLES DIVISION OF
THE TORONTO REGISTRY OFFICE(No.66)

METRIC
DISTANCES AND COORDINATES SHOWN
IN METERS. DISTANCES CAN BE
CONVERTED TO FEET BY
DIVIDING BY 0.3048

PART	PART OF LOT	REGISTERED PLAN	ALL OF PIN	AREA IN SQ.M.
1	211 AND 212	4040	06327-0197(LT)	363.9
2	211			13.0
3	212			348.9
4				35.0

PARTS 2 AND 4 ARE SUBJECT TO AN EASEMENT AS IN INST. NO.S298579

**PLAN OF SURVEY OF
LOT 212 AND PART OF LOT 211
REGISTERED PLAN 4040
CITY OF TORONTO
(FORMERLY CITY OF SCARBOROUGH)
SCALE 1:200**

VLADIMIR DOSEN SURVEYING, O.L.S.

NOTES AND LEGEND

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT FOUND
- SSRB DENOTES SHORT STANDARD IRON BAR
- BY DENOTES MEASURED
- S DENOTES SENS
- SP1 DENOTES SPAN
- PLAN BY A.S. WINNERS, O.L.S.
- P2 DENOTES REGISTERED PLAN 4040
- D1 DENOTES INSTRUMENT N° S298579
- BF DENOTES BOARD FENCE
- CLF DENOTES CHAIN LINK FENCE
- WF DENOTES WIRE FENCE

NOTE:
BEARING SHOWN HEREON ARE GROUND BEARINGS AND ARE OBTAINED FROM GPS READINGS AND ARE NOT TO BE CONSIDERED AS A BASIS FOR CORRECTING THE PLAN. THE BEARINGS AND DISTANCES SHOWN ON THIS PLAN ARE TO BE CONSIDERED AS A BASIS FOR CORRECTING THE PLAN. THE BEARINGS AND DISTANCES SHOWN ON THIS PLAN ARE TO BE CONSIDERED AS A BASIS FOR CORRECTING THE PLAN.

PARTS ID	NORTHING	EASTING
720055	65041.5	308626.05
720056	65041.5	308626.05

LIST OF CO-ORDINATES

PARTS ID	NORTHING	EASTING
1	64933.252	308424.70
2	64933.252	308424.70
3	64933.252	308424.70
4	64933.252	308424.70

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THE SURVEY AND THE COORDINATES SHOWN ON THIS PLAN ARE IN ACCORDANCE WITH THE SURVEY ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 3rd DAY OF OCTOBER, 2016.

DATE: DECEMBER 12, 2016

VLADIMIR DOSEN, R.S. (REG.)
ONTOARIO LAND SURVEYOR

VLADIMIR DOSEN SURVEYING
ONTARIO LAND SURVEYORS
555 DAVENPORT AVENUE
TORONTO, ONTARIO M4S 1J2
PHONE (416) 466-0440 EMAIL: vlad@vldosen.com

DATE: _____ DRAWN BY: CLAWSON
FILE: 13-1081 CHECKED BY: 10
DATE: _____ DRAWN BY: CLAWSON
FILE: 13-1081 CHECKED BY: 10

REGISTERS PLAN

LOT 274
LOT 275
LOT 276
LOT 277
LOT 278

LOT 214
LOT 213
LOT 212
LOT 211
LOT 210

CAYLOR DRIVE

SIGNATURE PAGE

File Number:	B0067/16SC	Zoning	Residential Detached (RD) & Single Family (S) [Waiver]
Owner(s):	HAIFENG SUN	Ward:	Scarborough Centre (37)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	7 GAYLORD DR	Community:	Wexford Community
Legal Description:	PLAN 4040 LOT 212 PT LOT 211		

David Peacock

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Monday, April 10, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, March 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0384/16SC	Zoning	Residential Detached (RD) & Single Family (S) [Waiver]
Owner(s):	HAIFENG SUN	Ward:	Scarborough Centre (37)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	7 GAYLORD DR – PT 3 & 4	Community:	Wexford Community
Legal Description:	PLAN 4040 LOT 212 PT LOT 211		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral garage and basement walkout on Parts 3 & 4.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed lot frontage is 10.67 m;
Whereas the minimum required lot frontage is the existing lot frontage of 21.34 m.
2. The proposed lot area is 406.9 m²;
Whereas the minimum required lot area is the existing lot area of 812.8 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to NOT approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0384/16SC	Zoning	Residential Detached (RD) & Single Family (S) [Waiver]
Owner:	HAIFENG SUN	Ward:	Scarborough Centre (37)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	7 GAYLORD DR – PT 3 & 4	Community:	Wexford Community
Legal Description:	PLAN 4040 LOT 212 PT LOT 211		

David Peacock

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

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Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, March 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0385/16SC	Zoning	Residential Detached (RD) & Single Family (S) [Waiver]
Owner(s):	HAIFENG SUN	Ward:	Scarborough Centre (37)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	7 GAYLORD DR – PT 1 & 2	Community:	Wexford Community
Legal Description:	PLAN 4040 LOT 212 PT LOT 211		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral garage and basement walkout on Parts 1 & 2.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed lot frontage is 10.67 m;
Whereas the minimum required lot frontage is the existing lot frontage of 21.34 m.
2. The proposed lot area is 406.9 m²;
Whereas the minimum required lot area is the existing lot area of 812.8 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

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- In the opinion of the Committee, the variance(s) is not minor.

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File Number:	A0385/16SC	Zoning	Residential Detached (RD) & Single Family (S) [Waiver]
Owner:	HAIFENG SUN	Ward:	Scarborough Centre (37)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
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Thursday, March 16, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0071/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	TONI DUMBALOVSKI VERA DUMBALOVSKA	Ward:	Scarborough Southwest (36)
Agent:	VERA DUMBALOVSKA	Heritage:	Not Applicable
Property Address:	229 MCINTOSH ST	Community:	Cliffside Community
Legal Description:	PLAN M388 LOT 265		

Notice was given and the application considered on Thursday, March 16, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two (2) undersized residential lots.

Conveyed - Part 2
229 McIntosh Street

The proposed lot frontage is 7.615 m and the proposed lot area is 310.5 m². The existing detached dwelling will be demolished and the property will be redeveloped as the site of a new three-storey detached dwelling with an integral garage, requiring variances to the Zoning By-law, as outlined in Application A0402/16SC.

Retained - Part 1
229A McIntosh Street

The proposed lot frontage is 7.615 m and the proposed lot area is 317.9 m². The existing detached dwelling will be demolished and the property will be redeveloped as the site of a new three-storey detached dwelling with an integral garage, requiring variances to the Zoning By-law, as outlined in Application A0403/16SC.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

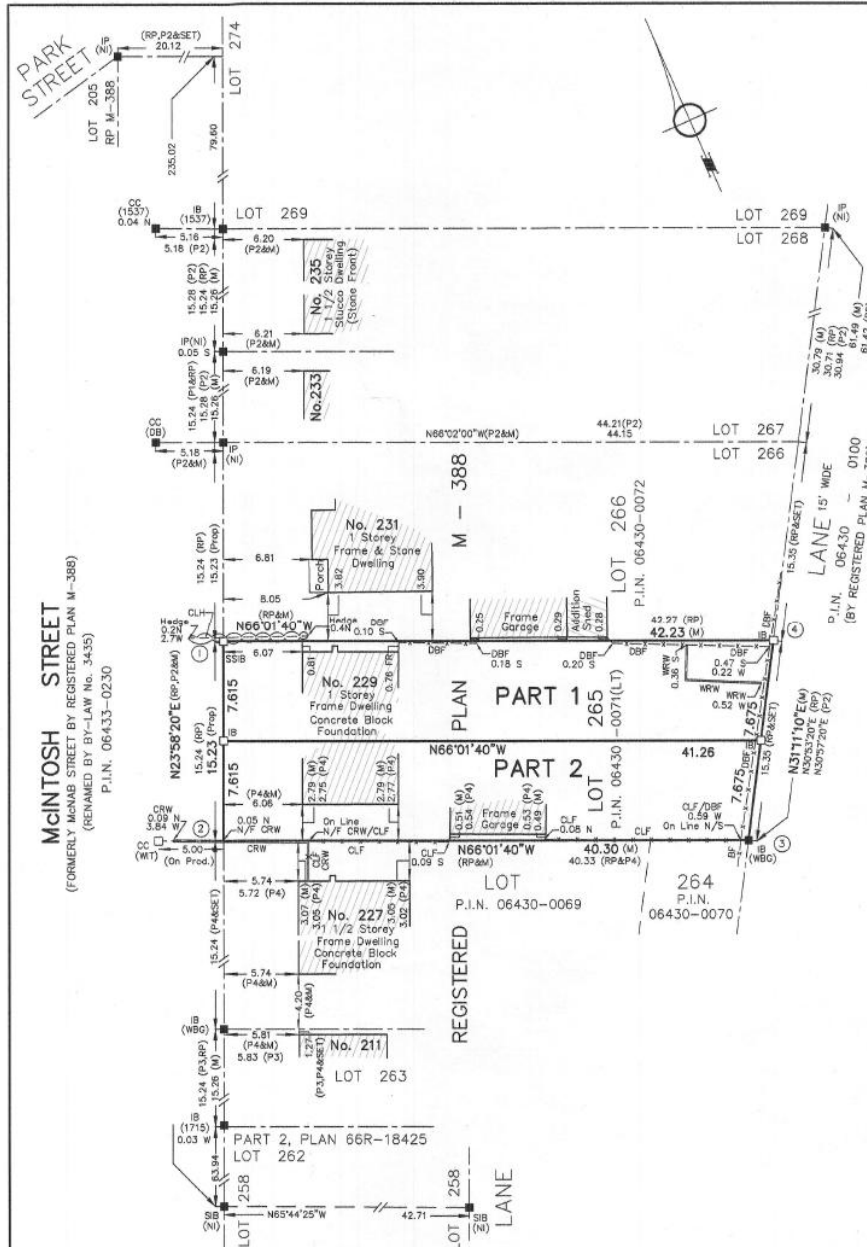
The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to create new lots as shown on the attached lot division plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.

- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca.
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- (5) The following conditions shall be fulfilled to the satisfaction of the Acting Manager, Development Engineering, Engineering & Construction Services, Scarborough District:
- a. Prepare all documents and convey to the City, at nominal cost, (a 0.22 metre lane widening is required along the rear of the property to satisfy the requirement of a 6m wide lane right-of-way, of Sandown Lane) in fee simple, such lands to be free and clear of all physical and title encumbrances, and subject to a right-of-way for access in favour of the Grantor until such time as said lands have dedicated as a public highway, all to the satisfaction to the Executive Director of Engineering and Construction Services and the City Solicitor;
 - b. Submit a draft Reference Plan of Survey to the Executive Director of Engineering and Construction Services, for review and approval, prior to depositing it in the Land Registry Office. The plan should:
 - i) be in metric units and integrated to the 1983 North American Datum (Canadian Spatial Reference System) and the 3 degree Modified Transverse Mercator projection;
 - ii) delineate by separate PARTS the lands to be conveyed to the City, the remainder of the site and any appurtenant rights-of-way and easements; and
 - iii) show the co-ordinate values of the main corners of the subject lands in a schedule on the face of the plan;
 - c. Pay all costs for registration and preparation of reference plan(s).
- (6) Where there are no existing street trees, the applicant shall provide to Urban Forestry a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The number of trees required to be planted is **two (2)** and the current cost of planting each tree is **\$583.00**. Payments shall be made payable to the Treasurer, City of Toronto and sent to Urban Forestry, Scarborough Civic Centre, 150 Borough Drive, 5th floor, Toronto, Ontario, M1P 4N7.
- (7) The Owner shall obtain Final and Binding Decisions on minor variance applications A0402/16SC and A0403/16SC, to the satisfaction of the Deputy Secretary-Treasurer, Committee of Adjustment, Scarborough Panel.
- (8) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

Attachment 1: Lot Division Plan



I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.	PLAN 66R— RECEIVED AND DEPOSITED
DATE	DATE
MICHELE PEARSON ONTARIO LAND SURVEYOR	REPRESENTATIVE OF THE LAND REGISTRAR FOR THE LAND TITLES DIVISION OF THE TORONTO LAND REGISTRY OFFICE (No. 66)

Schedule				
PART	LOT	REGISTERED PLAN	ALL OF PIN	AREA (m ²)
1	265	M-388	06430-0071	317.9
2				310.5

PLAN OF SURVEY OF
LOT 265
REGISTERED PLAN M-388
CITY OF TORONTO
FORMERLY CITY OF SCARBOROUGH
SCALE 1:300
ertl surveyors 2014
Ontario Land Surveyors
Metric
DISTANCES AND COORDINATES ARE IN METRES AND CAN BE
CONVERTED TO FEET BY DIVIDING BY 0.3048.

- Legend**
- DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT SET
 - SB DENOTES STANDARD IRON BAR
 - SSIB DENOTES SHORT STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - IP DENOTES IRON PIPE
 - CC DENOTES CUT CROSS
 - RP DENOTES REGISTERED PLAN M-388
 - P1 DENOTES PLAN 66R-22988
 - P2 DENOTES SURVEY BY TOM CZERWINSKI SURVEYING LTD., O.L.S., DATED MARCH 4, 1987
 - P3 DENOTES PLAN 66R-18425
 - P4 DENOTES SURVEY BY BRODIE & GARDINER, O.L.S. DATED JUNE 8, 1962
 - DB DENOTES D. BLACK, O.L.S.
 - WBG DENOTES BRODIE & GARDINER, O.L.S.
 - 1537 DENOTES TOM CZERWINSKI SURVEYING LTD., O.L.S.
 - 1715 DENOTES ROWAN-STANCIU LTD., O.L.S.
 - NI DENOTES NOT IDENTIFIABLE
 - M DENOTES MEASURED
 - Prod. DENOTES PRODUCTION
 - WRW DENOTES WOOD RETAINING WALL
 - CRW DENOTES CONCRETE RETAINING WALL
 - CLH DENOTES CENTERLINE OF HEDGE
 - CLF DENOTES CHAIN LINK FENCE
 - DBF DENOTES DOUBLE BOARD FENCE
 - FR DENOTES THE SHOWN TO FRAME
 - N/F DENOTES NORTH FACE
 - N,S,E,W DENOTES NORTH, SOUTH, EAST, WEST

Note
SSIB SET TO PREVENT DAMAGE OF UNDERGROUND UTILITIES.

Surveyor's Certificate
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE XX DAY OF XXXXXX 20XX

Integration
BEARINGS HEREON ARE GRID BEARINGS AND ARE DERIVED FROM OBSERVED REFERENCE POINTS (ORP) BY REAL-TIME NETWORK MEASUREMENTS (SOKKIA TOPNET) AND ARE REFERRED TO THE CENTRAL MERIDIAN OF ZONE 10 (LONGITUDE 79° 30' WEST), ONTARIO COORDINATE SYSTEM, 3' MTM NADB3 (CSRS).
FOR BEARING COMPARISONS A ROTATION OF 00°59'40" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON PLANS RP & P2.
DISTANCES SHOWN ON THIS PLAN ARE ADJUSTED GROUND DISTANCES AND CAN BE USED TO COMPUTE GRID DISTANCES BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99999050
COORDINATES CANNOT IN THEMSELVES BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.
COORDINATE VALUES ARE TO URBAN ACCURACY IN ACCORDANCE WITH SEC. 14(2) OF O. REG. 216/10.

Coordinated Points (ORP)

POINT ID	NORTHING	EASTING
1	4841197.97	3249333.69
2	4841184.05	3249275.50
3	4841167.68	324984.32
4	4841180.81	324972.27

DECEMBER 16, 2014
Date
Michele Pearson
Ontario Land Surveyor
ertl surveyors
Ontario Land Surveyors
1234 REID STREET, UNIT 10, RICHMOND HILL, L4B 1C1
TELEPHONE (905) 731-7834 FAX (905) 731-7852 EMAIL info@ertl-ols.com
DRAWING: McIntosh_229_RP.DWG PROJECT: 14605
CALC. BY D.L., DRAWN BY S.W., CHECKED BY C.L.

SIGNATURE PAGE

File Number:	B0071/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	TONI DUMBALOVSKI VERA DUMBALOVSKA	Ward:	Scarborough Southwest (36)
Agent:	VERA DUMBALOVSKA	Heritage:	Not Applicable
Property Address:	229 MCINTOSH ST	Community:	Cliffside Community
Legal Description:	PLAN M388 LOT 265		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Monday, April 10, 2017

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Thursday, March 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0402/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	TONI DUMBALOVSKI VERA DUMBALOVSKA	Ward:	Scarborough Southwest (36)
Agent:	VERA DUMBALOVSKA	Heritage:	Not Applicable
Property Address:	229 MCINTOSH ST – PART 2	Community:	Cliffside Community
Legal Description:	PLAN M388 LOT 265		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey detached dwelling with an integral garage on Part 2.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013 & No. 9364:

1. The proposed lot frontage is 7.61 m;
Whereas the minimum required lot frontage is 9 m.
2. The proposed lot area is 309.57 m²;
Whereas the minimum required lot area is 325 m².
3. The proposed dwelling will have a floor space index equal to 0.69 times the lot area (213.32 m²);
Whereas the maximum permitted floor space index/floor area is 0.6 times the lot area (190.83 m²).
4. The proposed dwelling will be three (3) storeys in height;
Whereas the maximum permitted number of storeys is two (2).

By-law No. 569-2013:

5. The proposed height of the exterior main walls is 7.76 m;
Whereas the maximum permitted height of pair of main walls is 7 m.
6. The proposed dwelling will have a first floor height of 2.48 m above established grade;
Whereas the maximum permitted height of the first floor above established grade is 1.2 m.

7. A total of 4.5 m² of the first floor is proposed to be within 4 m of the front main wall;
Whereas a minimum of 10 m² of the first floor must be within 4 m of the front main wall.

By-law No. 9364:

8. The proposed dwelling will have a basement height of 2.48 m, as measured from the average grade at the front main wall to the ceiling of the basement;
Whereas the maximum permitted basement height is 1 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

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Owner:	TONI DUMBALOVSKI VERA DUMBALOVSKA	Ward:	Scarborough Southwest (36)
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Scarborough Panel

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Thursday, March 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0403/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	TONI DUMBALOVSKI VERA DUMBALOVSKA	Ward:	Scarborough Southwest (36)
Agent:	VERA DUMBALOVSKA	Heritage:	Not Applicable
Property Address:	229 MCINTOSH ST – PART 1	Community:	Cliffside Community
Legal Description:	PLAN M388 LOT 265		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey detached dwelling with an integral garage on Part 1.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013 & No. 9364:

1. The proposed lot frontage is 7.61 m;
Whereas the minimum required lot frontage is 9 m.
2. The proposed lot area is 318.05 m²;
Whereas the minimum required lot area is 325 m².
3. The proposed dwelling will have a floor space index equal to 0.67 times the lot area (213.32 m²);
Whereas the maximum permitted floor space index/floor area is 0.6 times the lot area (190.83 m²).
4. The proposed dwelling will be three (3) storeys in height;
Whereas the maximum permitted number of storeys is two (2).

By-law No. 569-2013:

5. The proposed height of the exterior main walls is 7.76 m;
Whereas the maximum permitted height of pair of main walls is 7 m.
6. The proposed dwelling will have a first floor height of 2.48 m above established grade;
Whereas the maximum permitted height of the first floor above established grade is 1.2 m.

7. A total of 4.5 m² of the first floor is proposed to be within 4 m of the front main wall;
Whereas a minimum of 10 m² of the first floor must be within 4 m of the front main wall.

By-law No. 9364:

8. The proposed dwelling will have a basement height of 2.48 m, as measured from the average grade at the front main wall to the ceiling of the basement;
Whereas the maximum permitted basement height is 1 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0403/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	TONI DUMBALOVSKI VERA DUMBALOVSKA	Ward:	Scarborough Southwest (36)
Agent:	VERA DUMBALOVSKA	Heritage:	Not Applicable
Property Address:	229 MCINTOSH ST – PART 1	Community:	Cliffside Community
Legal Description:	PLAN M388 LOT 265		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, March 16, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0001/17SC	Zoning	Residential Semi-Detached (RS) & Single Family (S) [ZR]
Owner(s):	SAHIDUZZAMAN BHUIYAN	Ward:	Scarborough Southwest (36)
Agent:	NIA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	6 NATAL AVE	Community:	Cliffside Community
Legal Description:	PLAN M388 S PT LOT 298		

Notice was given and the application considered on Thursday, March 16, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two (2) undersized residential lots.

Conveyed - Part 2**Address to be assigned**

The proposed lot frontage is 7.62 m and the proposed lot area is 282.4 m². The existing detached dwelling will be demolished and the property will be redeveloped as the site of a new two-storey detached dwelling with an integral garage, requiring variances to the Zoning By-law, as outlined in Application A0009/17SC.

Retained - Part 1**Address to be assigned**

The proposed lot frontage is 7.62 m and the proposed lot area is 282.4 m². The existing detached dwelling will be demolished and the property will be redeveloped as the site of a new two-storey detached dwelling with an integral garage, requiring variances to the Zoning By-law, as outlined in Application A0010/17SC.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

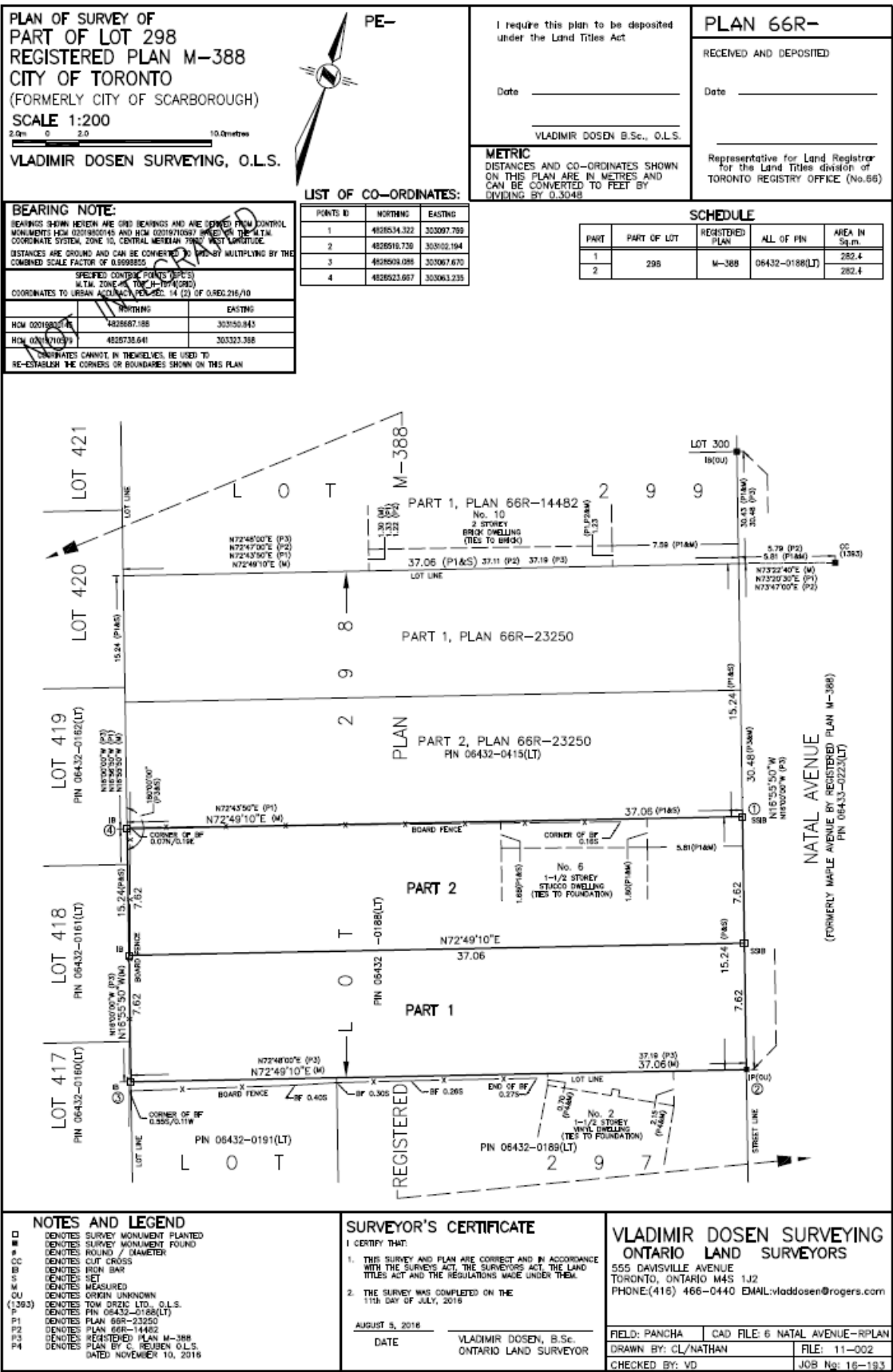
The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to create new lots as shown on the attached lot division plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.

- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca.
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- (5) Where there are no existing street trees, the applicant shall provide to Urban Forestry a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The number of trees required to be planted is **two (2)** and the current cost of planting each tree is **\$583.00**. Payments shall be made payable to the Treasurer, City of Toronto and sent to Urban Forestry, Scarborough Civic Centre, 150 Borough Drive, 5th floor, Toronto, Ontario, M1P 4N7.
- (6) The Owner shall obtain Final and Binding Decisions on minor variance applications A0009/17SC and A0010/17SC, to the satisfaction of the Deputy Secretary-Treasurer, Committee of Adjustment, Scarborough Panel.
- (7) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

Attachment 1: Lot Division Plan



NOTES AND LEGEND

- IDENTIFIER SURVEY MONUMENT PLANTED
- IDENTIFIER SURVEY MONUMENT FOUND
- IDENTIFIER ROUND / DIAMETER
- ✕ IDENTIFIER CUT CROSS
- IDENTIFIER IRON BAR
- S IDENTIFIER SET
- M IDENTIFIER MEASURED
- OU IDENTIFIER OPEN UNKNOWN
- (1303) IDENTIFIER TOW ORIGIN LTD., O.L.S.
- P IDENTIFIER PLAN 66R-23250
- P1 IDENTIFIER PLAN 66R-14482
- P2 IDENTIFIER PLAN 66R-14482
- P3 IDENTIFIER REGISTERED PLAN M-388
- P4 IDENTIFIER PLAN BY C. REUBEN O.L.S. DATED NOVEMBER 10, 2018

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THE SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 11th DAY OF JULY, 2016

AUGUST 5, 2016

DATE VLADIMIR DOSEN, B.Sc.
ONTARIO LAND SURVEYOR

**VLADIMIR DOSEN SURVEYING
ONTARIO LAND SURVEYORS**

555 DAVISVILLE AVENUE
TORONTO, ONTARIO M4S 1J2
PHONE:(416) 466-0440 EMAIL:vladdosen@rogers.com

FIELD: PANCHA CAD FILE: 6 NATAL AVENUE-RPLAN
DRAWN BY: CL/NATHAN FILE: 11-002
CHECKED BY: VD JOB No: 16-193

SIGNATURE PAGE

File Number:	B0001/17SC	Zoning	Residential Semi-Detached (RS) & Single Family (S) [ZR]
Owner(s):	SAHIDUZZAMAN BHUIYAN	Ward:	Scarborough Southwest (36)
Agent:	NIA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	6 NATAL AVE	Community:	Cliffside Community
Legal Description:	PLAN M388 S PT LOT 298		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Monday, April 10, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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NOTE: Only individuals, corporations and public agencies may appeal a decision to the Ontario Municipal Board. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, March 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0009/17SC	Zoning	Residential Semi-Detached (RS) & Single Family (S) [ZR]
Owner(s):	SAHIDUZZAMAN BHUIYAN	Ward:	Scarborough Southwest (36)
Agent:	NIA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	6 NATAL AVE – PART 2	Community:	Cliffside Community
Legal Description:	PLAN M388 S PT LOT 298		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral garage on Part 2.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & No. 9364:

1. The proposed lot frontage is 7.62 m;
Whereas the minimum required lot frontage is 9 m.
2. The proposed lot area is 282.4 m²;
Whereas the minimum required lot area is 325 m².
3. The proposed dwelling will cover 35.4% of the lot area (99.84 m²);
Whereas the maximum permitted coverage is 33% of the lot area (93.2 m²).

By-law No. 569-2013:

4. The proposed dwelling will have a floor space index equal to 0.631 times the lot area (178.47 m²);
Whereas the maximum permitted floor space index is 0.6 times the lot area (169.44 m²).
5. The proposed dwelling will be located 0.6 m from the south side lot line;
Whereas the minimum required side yard setback is 0.9 m.
6. The proposed eaves overhang, including the eavestrough, will be located 0.19 m from the south side lot line;
Whereas the minimum required side yard setback for an eaves overhang is 0.3 m.

7. The parking space within the proposed integral garage will have dimensions of 2.9 m wide by 5.6 m long. Whereas the minimum required dimensions of a parking space are 3.2 m wide by 5.6 m long.

By-law No. 9364:

8. The proposed dwelling will have a total floor area equal to 0.623 times the lot area (176.04 m²); Whereas the maximum permitted floor area is 0.6 times the lot area (169.44 m²).
9. The proposed dwelling will be located 0.6 m from the south side lot line and 1.2 m from the north side lot line;
Whereas the minimum required side yard setback is 0.9 m plus 0.6 m for each additional storey, for a total required side yard setback of 1.5 m.
10. The parking space within the proposed integral garage will have dimensions of 2.9 m wide by 5.6 m long. Whereas the minimum required dimensions of a parking space are 3.3 m wide by 5.6 m long.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0009/17SC	Zoning	Residential Semi-Detached (RS) & Single Family (S) [ZR]
Owner:	SAHIDUZZAMAN BHUIYAN	Ward:	Scarborough Southwest (36)
Agent:	NIA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	6 NATAL AVE – PART 2	Community:	Cliffside Community
Legal Description:	PLAN M388 S PT LOT 298		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, March 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0010/17SC	Zoning	Residential Semi-Detached (RS) & Single Family (S) [ZR]
Owner(s):	SAHIDUZZAMAN BHUIYAN	Ward:	Scarborough Southwest (36)
Agent:	NIA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	6 NATAL AVE – PART 1	Community:	Cliffside Community
Legal Description:	PLAN M388 S PT LOT 298		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral garage on Part 1.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013 & No. 9364:

1. The proposed lot frontage is 7.62 m;
Whereas the minimum required lot frontage is 9 m.
2. The proposed lot area is 282.4 m²;
Whereas the minimum required lot area is 325 m².
3. The proposed dwelling will cover 35.4% of the lot area (99.84 m²);
Whereas the maximum permitted coverage is 33% of the lot area (93.2 m²).

By-law No. 569-2013:

4. The proposed dwelling will have a floor space index equal to 0.631 times the lot area (178.47 m²);
Whereas the maximum permitted floor space index is 0.6 times the lot area (169.44 m²).
5. The proposed dwelling will be located 0.6 m from the north side lot line;
Whereas the minimum required side yard setback is 0.9 m.
6. The proposed eaves overhang, including the eavestrough, will be located 0.19 m from the north side lot line;
Whereas the minimum required side yard setback for an eaves overhang is 0.3 m.

7. The parking space within the proposed integral garage will have dimensions of 2.9 m wide by 5.6 m long. Whereas the minimum required dimensions of a parking space are 3.2 m wide by 5.6 m long.

By-law No. 9364:

8. The proposed dwelling will have a total floor area equal to 0.623 times the lot area (176.04 m²); Whereas the maximum permitted floor area is 0.6 times the lot area (169.44 m²).
9. The proposed dwelling will be located 0.6 m from the north side lot line and 1.2 m from the south side lot line;
Whereas the minimum required side yard setback is 0.9 m plus 0.6 m for each additional storey, for a total required side yard setback of 1.5 m.
10. The parking space within the proposed integral garage will have dimensions of 2.9 m wide by 5.6 m long. Whereas the minimum required dimensions of a parking space are 3.3 m wide by 5.6 m long.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0010/17SC	Zoning	Residential Semi-Detached (RS) & Single Family (S) [ZR]
Owner:	SAHIDUZZAMAN BHUIYAN	Ward:	Scarborough Southwest (36)
Agent:	NIA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	6 NATAL AVE – PART 1	Community:	Cliffside Community
Legal Description:	PLAN M388 S PT LOT 298		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, March 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A124/13SC	Zoning	Industrial (M) Zone [ZR]
Owners:	SRI NAGAPOOSHANI AMBIKA NAGA LINGESWARA SPIRITUAL	Ward:	Scarborough Centre (38)
Agent:	MARILYN YPES		
Property Address:	1830 ELLESMERE RD	Employment District:	Progress Employment District
Legal Description:	CON 2 PT LOT 21 RP 66R11439 PART 1,2 & 5		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

This application is for a variance to reduce the parking requirement for a proposal to convert the existing industrial building into a Place of Worship.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

1. Proposed 3.22 parking spaces per 100 m² of gross floor area for a Place of Worship (80 parking spaces)
WHEREAS the zoning by-law requires a minimum of 7.7 parking spaces per 100 m² of gross floor area for a Place of Worship (192 parking spaces)
2. Proposed drive aisles having a width of 5.2 m
WHEREAS the zoning by-law requires a minimum drive aisle width of 6 m

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to NOT approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A124/13SC	Zoning	Industrial (M) Zone [ZR]
Owners:	SRI NAGAPOOSHANI AMBIKA NAGA LINGESWARA SPIRITUAL	Ward:	Scarborough Centre (38)
Agent:	MARILYN YPES	Employment District:	Progress Employment District
Property Address:	1830 ELLESMERE RD		
Legal Description:	CON 2 PT LOT 21 RP 66R11439 PART 1,2 & 5		

David Peacock

Eden Gajraj

Hena Kabir

Sean Karmali

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, March 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A378/15SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	TISA MARLENE YOUNES	Ward:	Scarborough Centre (37)
Agent:	HSK DESIGN	Heritage:	Not Applicable
Property Address:	50 PRINCEWAY DR	Community:	Maryvale Community
Legal Description:	PLAN M646 LOT 121		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a rear deck with a canopy, and a revised double car garage. Please note that the Committee of Adjustment approved the 7.04 metres rear side yard setback for the garage in December 2014.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 9366

1. To permit the proposed 8.26 metres by 2.42 metres accessory structure (rear canopy), whereas the Zoning By-law permits maximum 7.6 metres by 7.6 metres accessory structure.
2. To permit the proposed 4.34 metres garage height, whereas the Zoning By-law permits maximum 3.7 metres garage height.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.

- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This Approval is Conditional on the Following:

1. The Owner shall build substantially in accordance with the revised Elevations, Drawing No. A3, prepared by HSK Design, dated August 31, 2016 in order to ensure that the proposed sloped roof design of the attached garage is implemented in the final design (see Attachment 1: Elevations).

SIGNATURE PAGE

File Number:	A378/15SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	TISA MARLENE YOUNES	Ward:	Scarborough Centre (37)
Agent:	HSK DESIGN	Heritage:	Not Applicable
Property Address:	50 PRINCEWAY DR	Community:	Maryvale Community
Legal Description:	PLAN M646 LOT 121		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, March 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0283/16SC	Zoning	RS - Residential Semi-Detached/S - Single Family Residential, T - Two Family Residential [ZZC]
Owner(s):	BRADLEY KEILL TAYLOR	Ward:	Scarborough Southwest (36)
Agent:	DAVID R SMITH	Heritage:	Not Applicable
Property Address:	132 AYLESWORTH AVE	Community:	Cliffside Community
Legal Description:	PLAN 2194 LOT 16		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a second floor addition to the existing dwelling, with a two-storey rear addition. Two living units are proposed.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013**

1. To permit 0 parking spaces, whereas the Zoning By-law requires a minimum of 2 parking spaces.
2. To permit the proposed parking space to be located in the front yard and to not lead to a compliant parking space, whereas the Zoning By-law requires a parking space must lead to a compliant parking space.
3. To permit the proposed 39% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
4. To permit the proposed 3 storey dwelling (note: the basement is considered the first storey), whereas the Zoning By-law permits maximum 2 storey dwelling.
5. To permit the proposed 9.7 square metres platform (second floor front balcony), whereas the Zoning By-law permits maximum 4 square metres platform.
6. To permit the proposed 1.5 metres height of the first floor above the established grade, whereas the Zoning By-law permits maximum 1.2 metres height of the first floor above the established grade.
7. To permit the proposed 8.6 metres height for a maximum of 100% of the front main wall and 7.63 metres height for a maximum of 100% of the rear main wall, whereas the Zoning By-law permits maximum 7 metres height above the established grade for no less than 60% of the total width of the front and rear main walls.
8. To permit the proposed 2.6 metres by 4.27 metres parking space, whereas the Zoning By-law requires a minimum 3.2 metres by 5.6 metres parking space.
9. To permit the proposed 290 square metres floor area or 1.04 times the lot area (please note this includes the basement), whereas the Zoning By-law permits maximum 167.2 square metres or 0.6 times the lot area.

By-law No. 9364

10. To permit the proposed second suite, whereas the Zoning By-law does not permit a second suite in new construction dwellings (entire building must be at least 5 years old).
11. To permit the proposed 15.27 metres building setback, whereas the Zoning By-law requires a minimum 16 metres building setback.
12. To permit the proposed 43% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
13. To permit the proposed 3 storey dwelling (note: the basement is considered the first storey), whereas the Zoning By-law permits maximum 2 storey dwelling.
14. To permit the proposed 195 square metres floor area or 0.7 times the lot area, whereas the Zoning By-law permits maximum 167.2 square metres or 0.6 times the lot area.
15. To permit the proposed 2.6 metres by 4.27 metres parking space, whereas the Zoning By-law requires a minimum 3.2 metres by 5.6 metres parking space.
16. To permit 0 parking spaces, whereas the Zoning By-law requires a minimum of 2 parking spaces.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The Owner shall build in accordance with the Site Plan, Drawing No. A01, and the Elevations, Drawing No. A12 through A15, prepared by David Smith Design, dated February 8, 2017 (see Attachment 1: Site Plan). Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

Attachment 1: Site Plan

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF WINDSOR, ONTARIO AND TO OBTAIN THE OWNER'S PERMISSION TO CONDUCT THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND TO OBTAIN THE OWNER'S PERMISSION TO CONDUCT THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND TO OBTAIN THE OWNER'S PERMISSION TO CONDUCT THE WORK.

NO WORK SHALL BE PROCEEDED UNTIL THE CONTRACTOR HAS OBTAINED ALL NECESSARY PERMITS AND TO OBTAIN THE OWNER'S PERMISSION TO CONDUCT THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND TO OBTAIN THE OWNER'S PERMISSION TO CONDUCT THE WORK.

DO NOT SCALE DRAWINGS

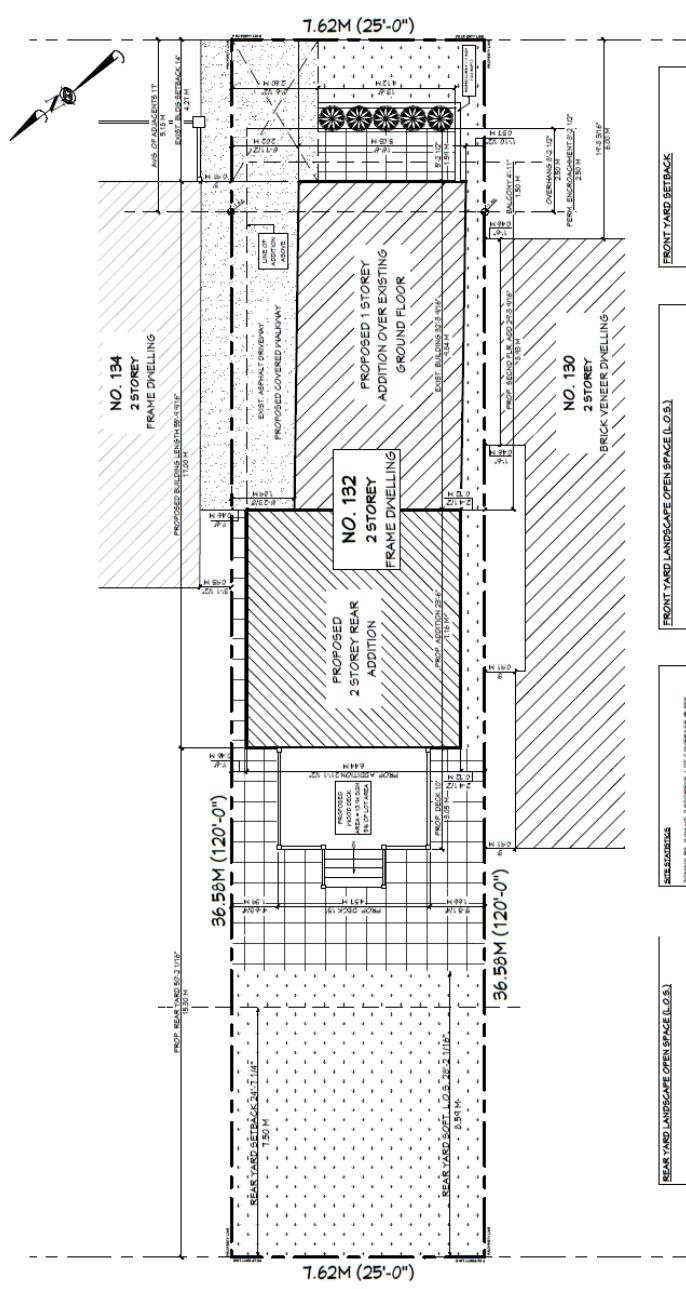
DATE	REVISED FOR
2024.10.10	ISSUE FOR ZONING REVIEW
2024.09.24	ISSUE FOR ADJACENT OWNERS
2024.09.24	ISSUE FOR C.O.P.A.
2024.09.24	ISSUE FOR C.O.P.A.

PROJECT	132 AYLESWORTH AVE. ADDITIONS & ALTERATIONS TO THE EXISTING BUILDING
PROPOSED SITE PLAN	
DRAWN BY	DAVID SMITH
CHECKED BY	DAVID SMITH
SCALE	1:200

PROJECT: 132 AYLESWORTH AVE. ADDITIONS & ALTERATIONS TO THE EXISTING BUILDING
 PROPOSED SITE PLAN
 DRAWN BY: DAVID SMITH
 CHECKED BY: DAVID SMITH
 SCALE: 1:200

CONVOI SITE CONSULTING
 1000 GARDINER ST. #100
 WINDSOR, ONT. N9A 5Y5
 TEL: 519-251-1111
 WWW.CONVOISITE.COM

AYLESWORTH AVENUE



FRONT YARD SETBACK
 FRONT YARD SETBACK DETERMINED BY AVERAGE OF ADJACENT:
 NO. 134 AYLESWORTH AVE. + 4.27M
 NO. 130 AYLESWORTH AVE. + 6.0M
 THEREFORE 5.14M IS THE FRONT YARD SETBACK FOR CONSERVATIVITY.

FRONT YARD LANDSCAPE OPEN SPACE (L.O.S.)
 REQUIRED FRONT YARD L.O.S. + 50% PROPOSED FRONT YARD + 75% FRONT YARD L.O.S. TO BE SOFT L.O.S.
 FRONT YARD LOT AREA + 7.62M X 7.27M = 55.24 SQM
 50% FRONT YARD LOT AREA + 27.62 SQM
 75% OF FRONT YARD L.O.S. + 16.27 SQM
 PROPOSED FRONT YARD L.O.S. (SUBTRACTIVE METHOD)
 FRONT YARD LOT AREA + 55.24 SQM
 PROPOSED PARKING + 4.27M X 2.24M + 9.56 SQM
 PROPOSED BASE CURB + 21.44 X 1.11 = 23.79 SQM
TOTAL + 20.39 SQM
 20.39 SQM + 16.27 SQM = PROPOSED L.O.S. EXCEEDS REQ.
FRONT YARD SOFT LANDSCAPE OPEN SPACE (L.O.S.)
 PROPOSED FRONT YARD SOFT L.O.S. (SUBTRACTIVE METHOD)
 FRONT YARD LOT AREA + 55.24 SQM
 PROPOSED PARKING + 4.27M X 2.24M + 9.56 SQM
 PROPOSED BASE CURB + 21.44 X 1.11 = 23.79 SQM
 PROPOSED WALKWAY + 4.12M X 1.29M + 5.31 SQM
TOTAL + 19.78 SQM
 19.78 SQM + 16.27 SQM = PROPOSED SOFT L.O.S. EXCEEDS REQ.

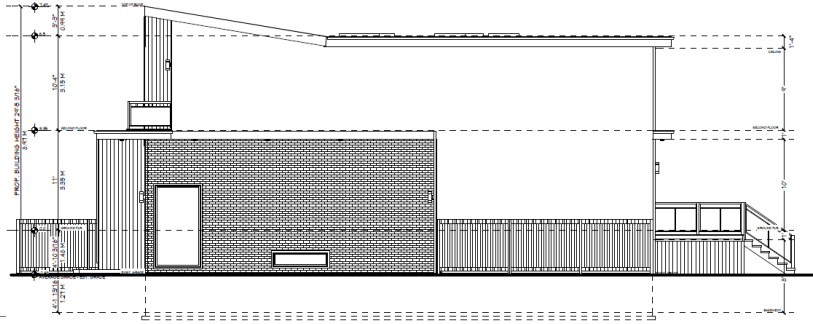
EXISTING DATA
 ZONING NO. URM-FZ 2 STOREY, LOT COVERAGE @ 88%
 EXIST. LOT AREA + 16.64 X 16.64 = 276.14 SQM
 EXIST. LOT FLOOR @ 8%
 EXIST. BALDING + 22.41 SQM
 PROPOSED REAR ADDITION + 4.44 X 1.34 = 5.95 SQM
TOTAL + 6.11 SQM
 16.11 SQM + 16.64 SQM LOT COVERAGE IS NOT EXCEEDED PERMITTED.
 (NOTE: OWNER WILL SEEK A VARIANCE E.C.P.A.)

REAR YARD LANDSCAPE OPEN SPACE (L.O.S.)
 REQUIRED REAR YARD L.O.S. + 15.00 SQM
 PROPOSED REAR YARD L.O.S. + 15.00 SQM
 PROPOSED SOFT L.O.S. + 8.46 SQM
TOTAL + 8.46 SQM
 8.46 SQM + 15.00 SQM = PROPOSED L.O.S. EXCEEDS REQ.

PROPOSED SITE PLAN

GRAND TRUNK RAILWAY

Attachment 2: Elevations



PROPOSED EAST ELEVATION

DO NOT SCALE DRAWINGS

DATE	REVISION / REVISION
11-05-18	ISSUE FOR PERMITS REVIEW
11-05-18	REVISED PER PERMITS REVIEW
11-05-18	ISSUE FOR PERMITS REVIEW
11-05-18	REVISED PER PERMITS REVIEW
11-05-18	ISSUE FOR PERMITS REVIEW

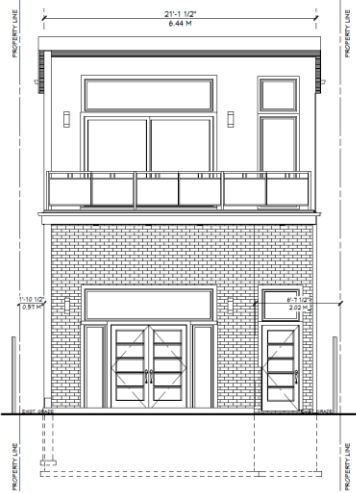
The drawings are prepared and their responsibility for the design and construction of the building is the responsibility of the architect and not the architect's design firm or the architect's design firm's employees.

QUALIFICATION INFORMATION
 ARCHITECT: CAROL SMITH ARCHITECTS, INC.
 1100 S. 10TH STREET, SUITE 200
 DENVER, CO 80202
 PHONE: (303) 733-1111
 FAX: (303) 733-1112
 WWW: WWW.CSMITHARCHITECTS.COM

REGISTERED ARCHITECT INFORMATION
 ARCHITECT: CAROL SMITH ARCHITECTS, INC.
 1100 S. 10TH STREET, SUITE 200
 DENVER, CO 80202
 PHONE: (303) 733-1111
 FAX: (303) 733-1112
 WWW: WWW.CSMITHARCHITECTS.COM

PROJECT:
132 AYLESWORTH AVE.
 ADDITIONS & REVISIONS TO THE EXISTING BUILDING
 PROPOSED ELEVATIONS
 DRAWN BY: CAROL SMITH

carol smith architects, inc.
 design, illustration & permit preparation
 1100 S. 10TH STREET, SUITE 200
 DENVER, CO 80202
 PHONE: (303) 733-1111
 FAX: (303) 733-1112
 WWW: WWW.CSMITHARCHITECTS.COM
A14



PROPOSED SOUTH ELEVATION - FRONT

DO NOT SCALE DRAWINGS

DATE	REVISION / REVISION
11-05-18	ISSUE FOR PERMITS REVIEW
11-05-18	REVISED PER PERMITS REVIEW
11-05-18	ISSUE FOR PERMITS REVIEW
11-05-18	REVISED PER PERMITS REVIEW
11-05-18	ISSUE FOR PERMITS REVIEW

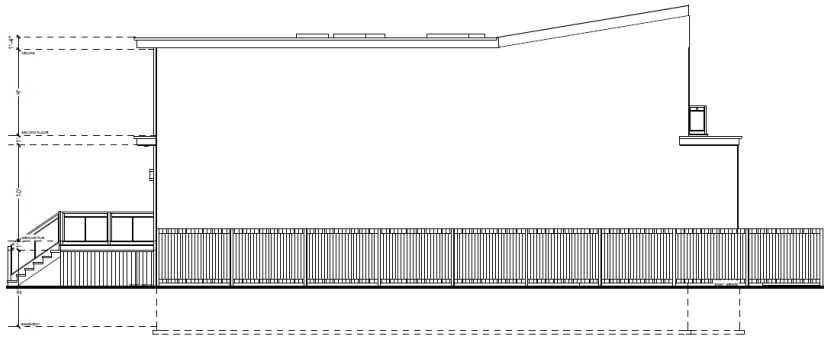
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 PROPOSED ELEVATIONS
 DRAWN BY: CAROL SMITH

carol smith architects, inc.
 design, illustration & permit preparation
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 DENVER, CO 80202
 PHONE: (303) 733-1111
 FAX: (303) 733-1112
 WWW: WWW.CSMITHARCHITECTS.COM
A12



PROPOSED WEST ELEVATION

DO NOT SCALE DRAWINGS

DATE	REVISION / REVISION
11-05-18	ISSUE FOR PERMITS REVIEW
11-05-18	REVISED PER PERMITS REVIEW
11-05-18	ISSUE FOR PERMITS REVIEW
11-05-18	REVISED PER PERMITS REVIEW
11-05-18	ISSUE FOR PERMITS REVIEW

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QUALIFICATION INFORMATION
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 DENVER, CO 80202
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 DENVER, CO 80202
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PROJECT:
132 AYLESWORTH AVE.
 ADDITIONS & REVISIONS TO THE EXISTING BUILDING
 PROPOSED ELEVATIONS
 DRAWN BY: CAROL SMITH

carol smith architects, inc.
 design, illustration & permit preparation
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 DENVER, CO 80202
 PHONE: (303) 733-1111
 FAX: (303) 733-1112
 WWW: WWW.CSMITHARCHITECTS.COM
A15



PROPOSED NORTH ELEVATION - REAR

DO NOT SCALE DRAWINGS

DATE	REVISION / REVISION
11-05-18	ISSUE FOR PERMITS REVIEW
11-05-18	REVISED PER PERMITS REVIEW
11-05-18	ISSUE FOR PERMITS REVIEW
11-05-18	REVISED PER PERMITS REVIEW
11-05-18	ISSUE FOR PERMITS REVIEW

The drawings are prepared and their responsibility for the design and construction of the building is the responsibility of the architect and not the architect's design firm or the architect's design firm's employees.

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 DENVER, CO 80202
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PROJECT:
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 PROPOSED ELEVATIONS
 DRAWN BY: CAROL SMITH

carol smith architects, inc.
 design, illustration & permit preparation
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 DENVER, CO 80202
 PHONE: (303) 733-1111
 FAX: (303) 733-1112
 WWW: WWW.CSMITHARCHITECTS.COM
A13

SIGNATURE PAGE

File Number:	A0283/16SC	Zoning	RS - Residential Semi-Detached/S - Single Family Residential, T - Two Family Residential [ZZC]
Owner:	BRADLEY KEILL TAYLOR	Ward:	Scarborough Southwest (36)
Agent:	DAVID R SMITH	Heritage:	Not Applicable
Property Address:	132 AYLESWORTH AVE	Community:	Cliffside Community
Legal Description:	PLAN 2194 LOT 16		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, March 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0325/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	NISHAMINI RATNALINGAM	Ward:	Scarborough-Agincourt (39)
Agent:	MEMAR ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	43 BUENA VISTA AVE	Community:	Tam O'Shanter Community
Legal Description:	PLAN 4401 LOT 110		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey single family dwelling. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 336.3 square metres floor area, whereas the Zoning By-law permits maximum 279 square metres floor area.
2. To permit the proposed 7.3 metres side main walls height, whereas the Zoning By-law permits maximum 7 metres side main walls height.
3. To permit 0 square metres of the first floor to be within 4 metres of the front main wall, whereas the Zoning By-law requires a minimum of 10 square metres of the first floor to be within 4 metres of the front main wall.
4. To permit the proposed 9.2 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.

By-law No. 12360

5. To permit the proposed 336.3 square metres floor area, whereas the Zoning By-law permits maximum 279 square metres floor area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT**

WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This Approval is Conditional on the Following:

The Owner shall submit a complete application for permit to injure or destroy privately owned tree(s).

SIGNATURE PAGE

File Number:	A0325/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	NISHAMINI RATNALINGAM	Ward:	Scarborough-Agincourt (39)
Agent:	MEMAR ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	43 BUENA VISTA AVE	Community:	Tam O'Shanter Community
Legal Description:	PLAN 4401 LOT 110		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, March 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0343/16SC	Zoning	Office Uses (OU), Apartment Residential (A) & Commercial Residential (CR) Zone [Waiver]
Owner:	CITY OF TORONTO	Ward:	Scarborough-Rouge River (42)
Agent:	DIAMOND CORP	Heritage:	Not Applicable
Property Address:	5131 SHEPPARD AVE E	Community:	Malvern Community
Legal Description:	PLAN 66M2300 BLK 1		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

This application is for variances for a proposed residential development with four 3-storey stacked townhouse buildings and three 6-storey apartment buildings, connected by one level of underground parking on vacant land on the east side of Markham Road, between Sheppard Avenue E. and Orchid Place Drive. The proposed development would include a range of unit sizes, including family-sized units.

This proposed development is also subject to Site Plan Control by the City of Toronto (File No. 16 153771 ESC 42 SA).

REQUESTED VARIANCES TO THE ZONING BY-LAW**By-law No. 569-2013:**

- 1) **Chapter 5.10.40.70 (1) and (2)**
No building setback will be provided for the below-grade portions of buildings.
Whereas the minimum building setback from a lot line abutting a street is 3.0 metres and the minimum building setback to a side lot line that abuts a lot in a Residential Zone category or Residential Apartment Zone category that does not have operable windows is 3.0 m
- 2) **Chapter 40.10.40.70(3)(C)**
No building setback will be provided for the below-grade portions of buildings.
Whereas the main wall of a building without windows or openings must be set back at least 3.0 m from a side lot line abutting a lot in the R or RA zone category.
- 3) **Chapter 900.11.10 (487)(D)**
No building setback will be provided for the below-grade portions of buildings.
Whereas the minimum required building setback from a lot line abutting a street is 3.0 m

- 4) **Chapter 40.10.40.70(3)(D)(ii)**
Buildings A and B will penetrate the 45 degree angular plane along the rear yard setback facing Sheppard Avenue East.
Whereas a 45 degree angular plane is required along the required rear yard setback, at a height of 7.5 m above the average elevation of the ground or more.
- 5) **Chapter 40.10.40.80(2)(A)**
A minimum separation distance of 8.6 m is proposed between the facing walls of Buildings D and E and Buildings F and G (facing pairs of stacked townhouses), at the north and south ends of the buildings, up to a length of 7.2 m
Whereas a minimum above-ground distance of 11.0 m is required between the main wall of a building with windows and another main wall with windows facing it at a 90 degree angle, for the portions of the building with a height equal to or less than the right of way of the abutting street
- 6) **Chapter 40.10.40.10(5)**
A minimum first-storey height of 3.2 m will be provided.
Whereas a minimum first storey height of 4.5 m is required.
- 7) **Chapter 40.10.50.10(3)**
No soft landscaping is proposed adjacent to the eastern property line, a common property line shared with the lands to the east.
Whereas a minimum 1.5 m wide strip of soft landscaping is required along the part of the lot line abutting a lot in the Residential Zone category or Residential Apartment Zone category.
- 8) **Chapter 900.11.10(487)**
A total of 42.0 m² of enclosed recreation floor space will be provided for Phase 1 of the development and at final build-out there will be a minimum of 328 m² of enclosed recreation floor space provided.
Whereas a minimum of 1.0 m² of enclosed recreation floor space is required per dwelling unit, or a total minimum of 328 m² of enclosed recreation floor space is required at total build out and 121 m² of enclosed recreation floor space is required for Phase 1.
- 9) **Chapter 40.10.100.10(C)**
Two vehicle accesses are proposed.
Whereas only one vehicle access is permitted in the CR zone.
- 10) **Chapter 900.11.10(487)**
Parking is proposed on the basis of Policy Area 4 in By-law No. 569-2013:
(i) at a minimum rate of :
a) 0.7 for each bachelor dwelling unit up to 45 square metres and 1.0 for each bachelor dwelling unit greater than 45 square metres;
b) 0.8 for each one bedroom dwelling unit;
c) 0.9 for each two bedroom dwelling unit; and
d) 1.1 for each three or more bedroom dwelling unit; and
(ii) at a maximum rate of:
a) 1.0 for each bachelor dwelling unit up to 45 square metres and 1.3 for each bachelor dwelling unit greater than 45 square metres;
b) 1.2 for each one bedroom dwelling unit;
c) 1.3 for each two bedroom dwelling unit; and
d) 1.6 for each three or more bedroom dwelling unit; and
For a dwelling unit in an Apartment Building, parking spaces for visitors must be provided at a minimum rate of 0.15 for each dwelling unit;
Whereas a minimum of 1.2 residential parking spaces and 0.2 visitor parking spaces per dwelling unit is required (total 1.4 parking spaces per dwelling unit).

By-law No. 14402:

- 11) **CLAUSE VIII – ZONE PROVISIONS, Section 6(a) and CLAUSE V – INTERPRETATION (f)**
For the purposes of this site, the definition of Apartment Building shall be the same as the definition

in By-law No. 569-2013:

"Apartment Building means a building that has five or more dwelling units, with at least one dwelling unit entirely or partially above another, and each dwelling unit has a separate entrance directly from outside or through a common inside area. A building that was originally constructed as a detached house, semi-detached house or townhouse and has one or more secondary suites is not an apartment building."

Whereas in the Malvern Community Zoning By-law No. 14402, the definition of Apartment Building is

"Apartment Building means dwelling units arranged in a building so that five (5) or more dwelling units shall have common external access at grade level to the building."

12) **Performance Standard Chart – Schedule “B” – Item No. 132**

No building setback is proposed for the below-grade portions of buildings.

Whereas a minimum building setback of 3.0 m from streets applies to underground structures on the property.

13) **Performance Standard Chart – Schedule “B” – Item No. 432**

A total of 42.0 m² of enclosed recreation floor space will be provided for Phase 1 of the development and at final build-out there will be a minimum of 328 m² of enclosed recreation floor space provided.

Whereas a minimum of 1.0 m² of enclosed recreation floor space is required per dwelling unit, or a total minimum of 328 m² of enclosed recreation floor space is required at total build out and 121 m² of enclosed recreation floor space is required for Phase 1.

14) **Chapter 900.11.10(487)**

Parking is proposed on the basis of Policy Area 4 in By-law No. 569-2013:

(i) at a minimum rate of :

- a) 0.7 for each bachelor dwelling unit up to 45 square metres and 1.0 for each bachelor dwelling unit greater than 45 square metres;
- b) 0.8 for each one bedroom dwelling unit;
- c) 0.9 for each two bedroom dwelling unit; and
- d) 1.1 for each three or more bedroom dwelling unit; and

(ii) at a maximum rate of:

- a) 1.0 for each bachelor dwelling unit up to 45 square metres and 1.3 for each bachelor dwelling unit greater than 45 square metres;
- b) 1.2 for each one bedroom dwelling unit;
- c) 1.3 for each two bedroom dwelling unit; and
- d) 1.6 for each three or more bedroom dwelling unit; and

For a dwelling unit in an Apartment Building, parking spaces for visitors must be provided at a minimum rate of 0.15 for each dwelling unit;

Whereas a minimum of 1.2 residential parking spaces and 0.2 visitor parking spaces per dwelling unit is required (total 1.4 parking spaces per dwelling unit).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to NOT approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0343/16SC	Zoning	Office Uses (OU), Apartment residential (A) & Commercial Residential (CR) Zone [Waiver]
Owner:	CITY OF TORONTO	Ward:	Scarborough-Rouge River (42)
Agent:	DIAMOND CORP	Heritage:	Not Applicable
Property Address:	5131 SHEPPARD AVE E	Community:	Malvern Community
Legal Description:	PLAN 66M2300 BLK 1		

David Peacock

Eden Gajraj

Hena Kabir

Sean Karmali

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, March 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0369/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	YASMIN ISMAIL MUSTAFIZUR RAHMAN BHUIYAN	Ward:	Scarborough East (43)
Agent:	MUSTAFIZUR RAHMAN BHUIYAN	Heritage:	Not Applicable
Property Address:	43 GUILDCREST DR	Community:	Guildwood Community
Legal Description:	TORONTO CON D PT LOT 15 PLAN 3136 PT BLK A RP 66R649 PART 1		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a second storey addition to the existing one storey dwelling. This application was deferred at the February 16, 2017 hearing to allow the applicant time to post the required sign on the property.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013 & By-law No. 9676**

1. To permit the proposed two storey dwelling, whereas the Zoning By-law permits maximum one storey dwelling.

By-law No. 9676

2. To permit the existing single family dwelling on a part of a lot of the Registered Plan 3136, whereas the Zoning By-law permits maximum one single family dwelling per lot as show on a Registered Plan.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0369/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	YASMIN ISMAIL MUSTAFIZUR RAHMAN BHUIYAN	Ward:	Scarborough East (43)
Agent:	MUSTAFIZUR RAHMAN BHUIYAN	Heritage:	Not Applicable
Property Address:	43 GUILDCREST DR	Community:	Guildwood Community
Legal Description:	TORONTO CON D PT LOT 15 PLAN 3136 PT BLK A RP 66R649 PART 1		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

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Thursday, March 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0375/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [WAIVER]
Owner(s):	GREGORY YHAN	Ward:	Scarborough East (44)
Agent:	JR CONTRACTING	Heritage:	Not Applicable
Property Address:	38 MINNACOTE AVE	Community:	West Hill Community
Legal Description:	PLAN 2441 PT LOT 53		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new roof over the existing side deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 0.98 metres south side yard deck setback, whereas the Zoning By-law requires a minimum 2.1 metres side yard deck setback.

By-law No. 10327

2. To permit the proposed 0.98 metres south side yard deck setback, whereas the Zoning By-law requires a minimum 2.05 metres side yard deck setback.

3. To permit the proposed 3.8 metres by 8.3 metres side deck dimensions, whereas the Zoning By-law permits maximum 7.6 metres by 7.6 metres deck dimensions.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0375/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [WAIVER]
Owner:	GREGORY YHAN	Ward:	Scarborough East (44)
Agent:	JR CONTRACTING	Heritage:	Not Applicable
Property Address:	38 MINNACOTE AVE	Community:	West Hill Community
Legal Description:	PLAN 2441 PT LOT 53		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

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Thursday, March 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0389/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	FRANK DIPIETRO ALEKSANDRA DIPETRO	Ward:	Scarborough East (43)
Agent:	DAVID SMITH	Heritage:	Not Applicable
Property Address:	17 SONNECK SQ	Community:	Guildwood Community
Legal Description:	PLAN M943 LOT 168		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a second floor addition, a two storey rear addition, and a covered front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013**

1. To permit the proposed 8.4 metres wide exterior stairs, whereas the Zoning By-law permits maximum 2 metres wide exterior stairs.
2. To permit the proposed 8.4 metres wide accessory building (front porch), whereas the Zoning By-law permits maximum 7.6 metres width for an accessory building.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.

- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The Owner shall build in accordance with the Site Plan, Drawing No. A01, and the Elevations, Drawing No. A12 through A15, prepared by David Smith Design, dated December 18, 2016 (see Attachment 1: Site Plan). Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

Attachment 1: Site Plan

UNAPPROVED BY THE MUNICIPAL ENGINEER.

- > NO WORK MAY PROCEED UNTIL DRAWINGS APPROVED BY THE MUNICIPAL ENGINEER. APPROVED DRAWINGS ARE TO BE AVAILABLE ON THE WORK SITE.
- > ALL WORK AND MATERIALS MUST CONFORM TO THE BUILDING CODE STANDARDS AND REGULATIONS.
- > ALL EXISTING UTILITIES AND SERVICES TO REMAIN THE PROPERTY OF THE OWNER AND TO BE MAINTAINED BY THE OWNER.
- > DRAWINGS ARE NOT TO BE COPIED OR ALTERED WITHOUT THE WRITTEN PERMISSION OF THE MUNICIPAL ENGINEER.
- > THE PREPARATION OF THESE DRAWINGS DOES NOT CONSTITUTE A PROFESSIONAL ENGINEERING CONSULTING SERVICE PROVIDED BY ANY PROFESSIONAL ENGINEER OR ARCHITECT REGISTERED UNDER THE REGULATION OF THE PROFESSION OF ARCHITECTURE.
- > THESE DRAWINGS HAVE BEEN PREPARED FROM INFORMATION PROVIDED BY THE OWNER AND WITHOUT PUNCTUATING WALL, CEILING OR FLOOR.

NO.	REVISION	DATE
1	ISSUED FOR PERMITS	2023.03.10
2	ISSUED FOR PERMITS	2023.03.10
3	ISSUED FOR PERMITS	2023.03.10
4	ISSUED FOR PERMITS	2023.03.10
5	ISSUED FOR PERMITS	2023.03.10
6	ISSUED FOR PERMITS	2023.03.10
7	ISSUED FOR PERMITS	2023.03.10
8	ISSUED FOR PERMITS	2023.03.10
9	ISSUED FOR PERMITS	2023.03.10
10	ISSUED FOR PERMITS	2023.03.10

DO NOT SCALE DRAWINGS

REGISTRATION INFORMATION:
 ENGINEER: [Name]
 ARCHITECT: [Name]
 ADDRESS: [Address]

SONNECK SQUARE

PROPOSED SITE PLAN

REAR YARD LANDSCAPE OPEN SPACE (L.O.S.) & SOFT L.O.S. STATISTICS

REQUIRED REAR YARD L.O.S.	= 50% PROPOSED REAR YARD
PROPOSED REAR YARD	= 271.67/2 = 135.835 SOFT L.O.S.
REAR YARD L.O.S. REQUIRED	= 135.835 SOFT L.O.S. + 135.835 SOFT L.O.S. = 271.67 SOFT L.O.S.
PROPOSED REAR YARD SOFT L.O.S.	= 135.835 SOFT L.O.S. + 135.835 SOFT L.O.S. = 271.67 SOFT L.O.S.
REAR YARD LANDSCAPE OPEN SPACE (L.O.S.)	= 271.67 SOFT L.O.S. + 135.835 SOFT L.O.S. = 407.505 SOFT L.O.S.
REAR YARD LANDSCAPE OPEN SPACE (L.O.S.)	= 407.505 SOFT L.O.S. + 135.835 SOFT L.O.S. = 543.34 SOFT L.O.S.

FRONT YARD LANDSCAPE OPEN SPACE (L.O.S.)

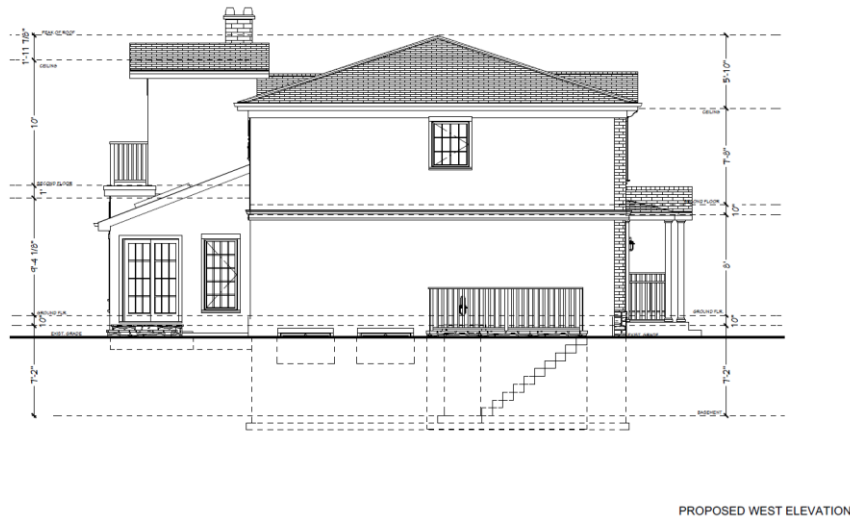
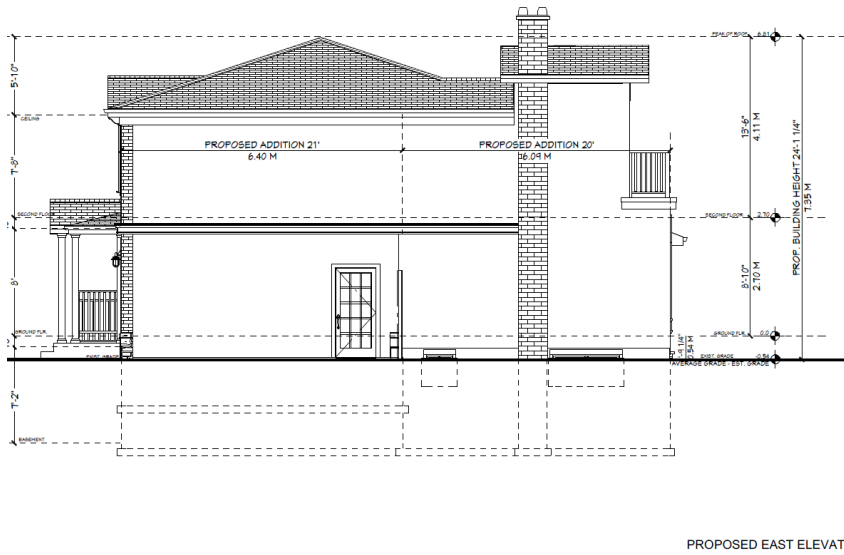
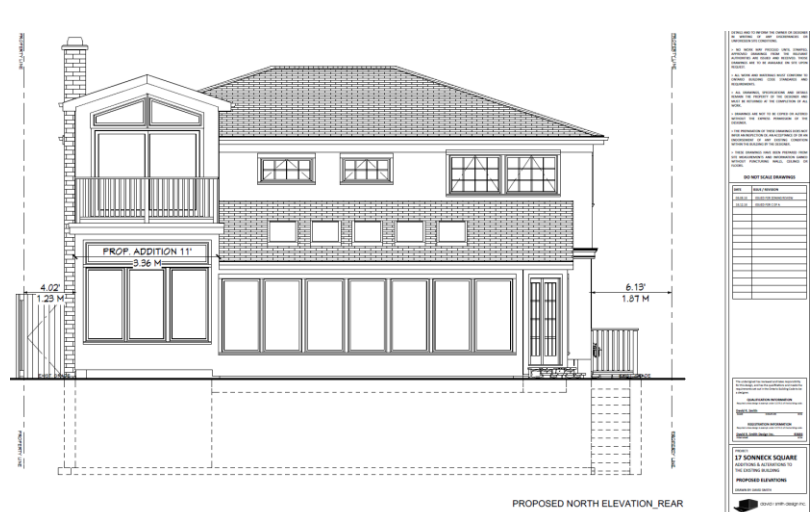
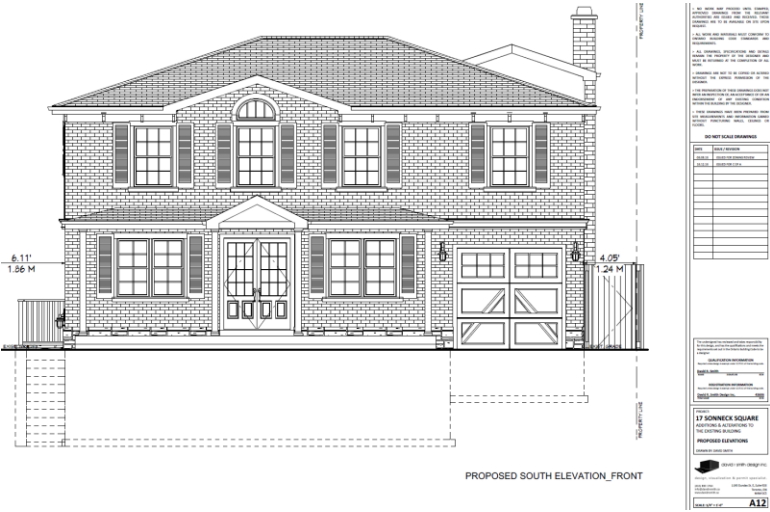
REQUIRED FRONT YARD L.O.S.	= 50% PROPOSED FRONT YARD
PROPOSED FRONT YARD	= 135.835 SOFT L.O.S.
FRONT YARD L.O.S. REQUIRED	= 135.835 SOFT L.O.S.
PROPOSED FRONT YARD SOFT L.O.S.	= 135.835 SOFT L.O.S.
FRONT YARD LANDSCAPE OPEN SPACE (L.O.S.)	= 135.835 SOFT L.O.S. + 135.835 SOFT L.O.S. = 271.67 SOFT L.O.S.
FRONT YARD LANDSCAPE OPEN SPACE (L.O.S.)	= 271.67 SOFT L.O.S. + 135.835 SOFT L.O.S. = 407.505 SOFT L.O.S.

SITE STATISTICS

ZONING	RS-25 (1:1)
EXIST. LOT AREA	= 13.25M X 41.00M = 545.625 SOFT L.O.S.
EXIST. LOT AREA @ 33%	= 181.357 SOFT L.O.S. PERMITTED
EXIST. BUILDING	= 13.25M X 41.00M = 545.625 SOFT L.O.S.
EXIST. REAR ADDITION	= (13.25M X 1.94M) + (1.68M X 3.77M) = 26.42 SOFT L.O.S.
EXIST. GARAGE	= 6.44M X 3.35M = 21.47 SOFT L.O.S.
EXIST. PORCH	= 1.24M X 3.35M = 4.15 SOFT L.O.S.
PROPOSED REAR ADDITION	= 3.35M X 6.11M = 20.44 SOFT L.O.S.
TOTAL	= 181.357 SOFT L.O.S.
167.15 SOFT L.O.S. > 181.357 SOFT L.O.S. COVERAGE IS WITHIN PERMITTED.	



Attachment 2: Elevations



DO NOT SCALE DRAWINGS

1. ALL DRAWING SPECIFICATIONS AND DETAILS SHALL BE SUBJECT TO THE STANDARD AND SHALL BE RETURNED AT THE COMPLETION OF ALL WORK.

2. DRAWINGS ARE NOT TO BE COPIED OR REPRODUCED WITHOUT THE EXPRESS PERMISSION OF THE DESIGNER.

3. THE INFORMATION OF THIS DRAWING SHALL BE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

4. THESE DRAWINGS HAVE BEEN PREPARED FROM THE INFORMATION AND DOCUMENTATION PROVIDED BY THE CLIENT AND WITHOUT CONDUCTING FIELD SURVEY OR VERIFICATION. THE CLIENT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.

**17 SONNECK SQUARE
ADDITIONS & ALTERATIONS TO
THE EXISTING BUILDING
PROPOSED ELEVATIONS
DRAWN BY: DAVID BARTY
DATE: 04/23/2014
SCALE: 3/8" = 1'-0"
A12**

DO NOT SCALE DRAWINGS

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**17 SONNECK SQUARE
ADDITIONS & ALTERATIONS TO
THE EXISTING BUILDING
PROPOSED ELEVATIONS
DRAWN BY: DAVID BARTY
DATE: 04/23/2014
SCALE: 3/8" = 1'-0"
A13**

DO NOT SCALE DRAWINGS

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**17 SONNECK SQUARE
ADDITIONS & ALTERATIONS TO
THE EXISTING BUILDING
PROPOSED ELEVATIONS
DRAWN BY: DAVID BARTY
DATE: 04/23/2014
SCALE: 3/8" = 1'-0"
A14**

DO NOT SCALE DRAWINGS

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**17 SONNECK SQUARE
ADDITIONS & ALTERATIONS TO
THE EXISTING BUILDING
PROPOSED ELEVATIONS
DRAWN BY: DAVID BARTY
DATE: 04/23/2014
SCALE: 3/8" = 1'-0"
A15**

SIGNATURE PAGE

File Number:	A0389/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	FRANK DIPIETRO ALEKSANDRA DIPETRO	Ward:	Scarborough East (43)
Agent:	DAVID SMITH	Heritage:	Not Applicable
Property Address:	17 SONNECK SQ	Community:	Guildwood Community
Legal Description:	PLAN M943 LOT 168		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

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Thursday, March 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0391/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	ABUL MANJOOR RAHMAN FERDOUS ARA BEGUM	Ward:	Scarborough Southwest (36)
Agent:	KUOZUO	Heritage:	Not Applicable
Property Address:	164 HEALE AVE	Community:	Cliffside Community
Legal Description:	PLAN 66M2215 LOT 10		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two storey west and south side addition and a second storey addition over the existing dwelling and integral garage. The proposal also includes alterations to the interior and exterior facade.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & No. 9364:

1. The altered dwelling will have a height of 9.46 m;
Whereas the maximum permitted dwelling height is 9 m.
2. The altered dwelling will be three (3) storeys in height;
Whereas the maximum permitted number of storeys is two (2).

By-law No. 569-2013:

3. The altered dwelling will be located 5.2 m from the rear lot line;
Whereas the minimum required rear yard setback is 8.67 m.
4. The altered dwelling will have a total length of 21.4 m;
Whereas the maximum permitted dwelling length is 17 m.
5. The proposed rear deck will project into the required rear yard setback by 5.48 m;
Whereas the maximum permitted projection into a required rear yard setback is 2.5 m.

By-law No. 9364:

6. The altered dwelling will have a total floor area equal to 0.7 times the lot area (350.7 m²);
Whereas the maximum permitted floor area is 0.5 times the lot area (251.59 m²).

7. The altered dwelling will be located 5.2 m from the rear lot line;
Whereas the minimum required rear yard setback is 7.5 m.
8. The proposed rear deck will project into the required rear yard setback by 4.3 m;
Whereas the maximum permitted projection into a required rear yard setback is 1.55 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0391/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	ABUL MANJOOR RAHMAN FERDOUS ARA BEGUM	Ward:	Scarborough Southwest (36)
Agent:	KUOZUO	Heritage:	Not Applicable
Property Address:	164 HEALE AVE	Community:	Cliffside Community
Legal Description:	PLAN 66M2215 LOT 10		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

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THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

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Thursday, March 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0006/17SC	Zoning	Residential Detached (RD) & Single Family (S) Zone
Owner(s):	SALEEMA WEEDA OSMANI BAKTASH OSMANI	Ward:	Scarborough Southwest (36)
Agent:	SALEEMA WEEDA OSMANI	Heritage:	Not Applicable
Property Address:	95 HOLLIS AVE	Community:	Birchcliff Community
Legal Description:	PLAN 3585 LOT 84		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to permit a reduction in the size of the parking space for a second suite in the basement of the existing detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 8786:

1. The proposed parking space will have dimensions of 2.1 m wide by 5.6 m long;
Whereas the minimum required dimensions of a parking space is 3.3 m wide by 5.6 m long.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0006/17SC	Zoning	Residential Detached (RD) & Single Family (S) Zone
Owner:	SALEEMA WEEDA OSMANI BAKTASH OSMANI	Ward:	Scarborough Southwest (36)
Agent:	SALEEMA WEEDA OSMANI	Heritage:	Not Applicable
Property Address:	95 HOLLIS AVE	Community:	Birchcliff Community
Legal Description:	PLAN 3585 LOT 84		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

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Thursday, March 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0007/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	TRANG THI THUY NGUYEN SIU MING TONG	Ward:	Scarborough-Rouge River (41)
Agent:	SUTHAR KAUSHIK	Heritage:	Not Applicable
Property Address:	48 LAURALYNN CRES	Community:	Agincourt Community
Legal Description:	PLAN 4382 LOT 245		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

This application is for variances for a proposed new two storey house.

REQUESTED VARIANCES TO THE ZONING BY-LAW:By-law No. 569-2013:

- 1) The proposed rear yard setback is 8.0 metres (as shown on the attached Site Plan)
Whereas the minimum required rear yard setback is 10.95 metres.
- 2) The proposed building height is 9.8 m
Whereas the maximum permitted building height is 9 m

By-law No. 10076:

- 3) The proposed building height is 9.8 m
Whereas the maximum permitted building height is 9 m
- 4) The proposed rear yard setback is 8.0 metres (as shown on the attached Site Plan)
Whereas the minimum required rear yard setback is 12.7 metres.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

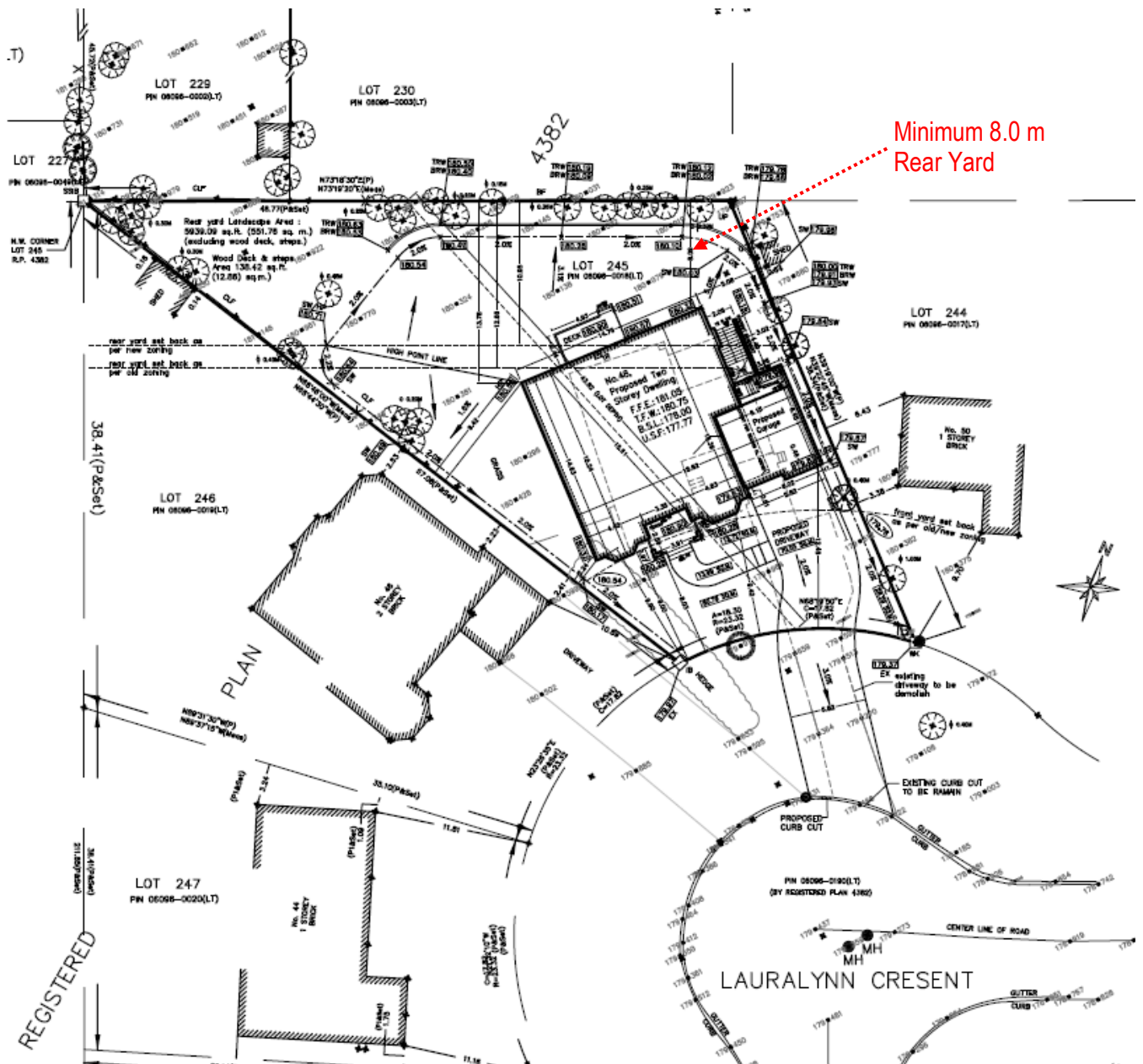
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.

- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This approval is conditional on the following:

1. The Owner shall submit a complete application for permit to injure or destroy privately owned tree(s).
2. The Owner shall submit a complete application for permit to injure or destroy City-owned tree(s).
A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf
3. The Owner shall submit a tree protection guarantee security deposit of \$ \$4979.00 to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry.



Site Plan

48 Lauralynn Crescent

Applicant's Submitted Drawing
Not to Scale

File # A007/17SC

16/03/2017

Attachment 1

SIGNATURE PAGE

File Number:	A0007/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	TRANG THI THUY NGUYEN SIU MING TONG	Ward:	Scarborough-Rouge River (41)
Agent:	SUTHAR KAUSHIK	Heritage:	Not Applicable
Property Address:	48 LAURALYNN CRES	Community:	Agincourt Community
Legal Description:	PLAN 4382 LOT 245		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, March 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0008/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [WAIVER]
Owner(s):	BALAKUMARAN THIRAVIAM	Ward:	Scarborough East (44)
Agent:	CANTAM GROUP	Heritage:	Not Applicable
Property Address:	63 SCARBORO AVE	Community:	Highland Creek Community
Legal Description:	PLAN 2098 PT LOT 24		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two-storey single family dwelling. The existing dwelling would be demolished. This application was deferred at the February 16, 2017 hearing to allow the applicant time to post the required sign on the property.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013**

1. To permit the proposed 380 square metres floor area or 0.54 times the area of the lot, whereas the Zoning By-law permits maximum 285 square metres floor area or 0.4 times the area of the lot.
2. To permit the proposed 3.8 metres rear yard setback (to the walkout), whereas the Zoning By-law requires a minimum 8.38 metres rear yard setback.

By-law No. 10827

3. To permit the proposed 380 square metres floor area or 0.54 times the area of the lot, whereas the Zoning By-law permits maximum 285 square metres floor area or 0.4 times the area of the lot.
4. To permit the proposed 3.8 metres rear yard setback (to the walkout), whereas the Zoning By-law requires a minimum 7.51 metres rear yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This Approval is Conditional on the Following:

1. The Owner shall build in accordance with the Site Plan, Drawing No. A1, prepared by Cantam Group LLP, dated December 15, 2016, and revised to January 5, 2017, as it relates to the rear basement walkout (see Attachment 1: Site Plan). Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
2. The owner shall provide payment of \$583 per tree for 1 tree to be planted on the City road allowance, (one for each of the sites involved in the application) as per City Council direction.

Attachment 1: Site Plan



SURVEYOR'S REAL PROPERTY REPORT OF PART 1:
 PLAN OF PART OF LOT 24
 REGISTERED PLAN 2098
 CITY OF TORONTO
 (FORMERLY THE CITY OF SCARBOROUGH)

MITSCHE & AZIZ INC., O.L.S.

METRIC DIMENSIONS SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

ON CERTIFICATE 2017, ALL USES OF THIS REPORT IN WHOLE OR IN PART WITHOUT THE EXPRESS PERMISSION OF MITSCHE & AZIZ INC., O.L.S. IS STRICTLY PROHIBITED.

- LEGEND:
 - █ SETBACKS
 - █ SURVEY MONUMENT FOUND
 - █ BOUNDARIES
 - █ ADJACENT PROPERTY
 - █ EXISTING STRUCTURE
 - █ PROPOSED STRUCTURE
 - █ PROPERTY LINE
 - █ EASEMENT
 - █ UTILITIES
 - █ LOT 24
 - █ LOT 24 PROPOSED
 - █ LOT 24 REGISTERED
 - █ LOT 24 CONVEYANCE
- NOTES:
 - 1. THIS REPORT WAS PREPARED FOR LOT 24 AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.
 - 2. THIS REPORT WAS PREPARED FOR LOT 24 AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.
 - 3. THIS REPORT WAS PREPARED FOR LOT 24 AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.
 - 4. THIS REPORT WAS PREPARED FOR LOT 24 AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.
 - 5. THIS REPORT WAS PREPARED FOR LOT 24 AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.
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 - 7. THIS REPORT WAS PREPARED FOR LOT 24 AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.
 - 8. THIS REPORT WAS PREPARED FOR LOT 24 AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.
 - 9. THIS REPORT WAS PREPARED FOR LOT 24 AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.
 - 10. THIS REPORT WAS PREPARED FOR LOT 24 AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.



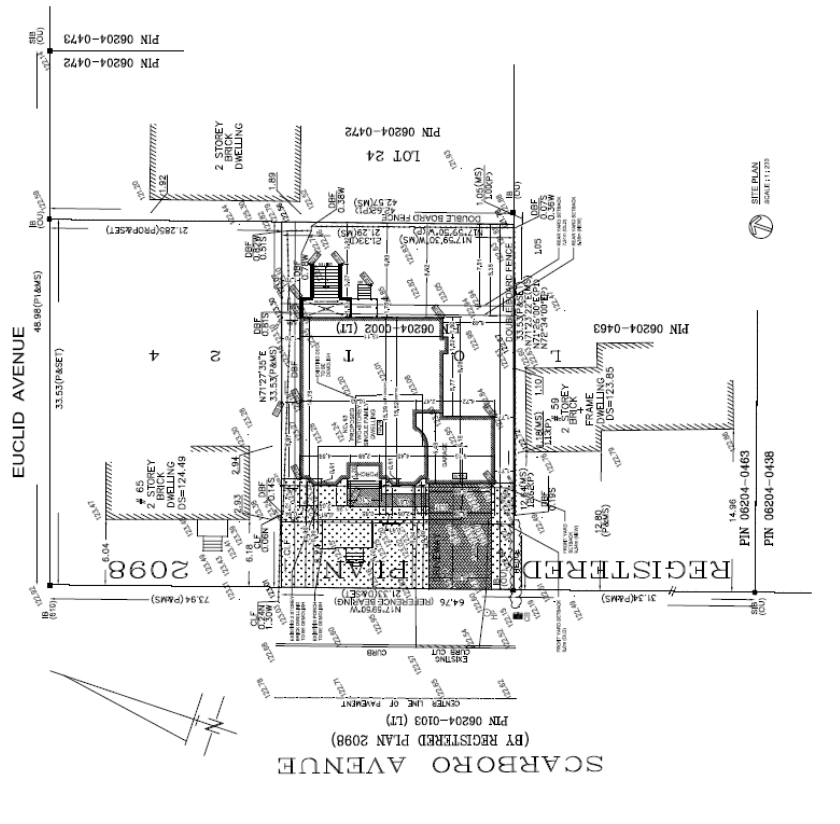
NO.	REVISIONS	DATE
1.	ISSUED FOR ZONING CERTIFICATE	JAN. 01

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND ADJACENT PROPERTIES PRIOR TO CONSTRUCTION. THE SURVEYOR DOES NOT WARRANT THE ACCURACY OF ANY DIMENSIONS OR LOCATIONS OF UTILITIES OR ADJACENT PROPERTIES SHOWN HEREON. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS USED IN CONJUNCTION WITH THE SURVEYOR'S REPORT AND AS APPROVED BY THE ARCHITECT. THIS DRAWING IS NOT A SCALE DRAWING.

CANTAM Group Ltd.
 PROJECT COORDINATOR:
 PLANNING & BUILDING CONSULTANTS
 550 TAPSOTT RD. UNIT # 51 TORONTO ON M4K 1M4
 TEL 416-355-3853 • FAX 416-355-1957 • CELL 416-654-74

PROPOSED TWO-STORY
 SINGLE FAMILY DWELLING
 AT 63 SCARBORO AVENUE
 SCARBOROUGH, ONTARIO

DRAWING NO.
 SCALE: AS NOTED
 DATE: 11 FEBRUARY 2018
 DRAWING NO. **A1**



NO.	REVISIONS	DATE
1.	ISSUED FOR ZONING CERTIFICATE	JAN. 01

LANDSCAPE LEGEND
 [Symbol] EXISTING LANDSCAPE
 [Symbol] PROPOSED LANDSCAPE

NO.	REVISIONS	DATE
1.	ISSUED FOR ZONING CERTIFICATE	JAN. 01

NO.	REVISIONS	DATE
1.	ISSUED FOR ZONING CERTIFICATE	JAN. 01

SIGNATURE PAGE

File Number:	A0008/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [WAIVER]
Owner:	BALAKUMARAN THIRAVIAM	Ward:	Scarborough East (44)
Agent:	CANTAM GROUP	Heritage:	Not Applicable
Property Address:	63 SCARBORO AVE	Community:	Highland Creek Community
Legal Description:	PLAN 2098 PT LOT 24		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, March 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0026/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	ROZI LIAQAT KHADEEJA ALI	Ward:	Scarborough Centre (37)
Agent:	NADEEM IRFAN ARCHITECT	Heritage:	Not Applicable
Property Address:	12 KILPATRICK PL	Community:	Wexford Community
Legal Description:	PLAN 4822 LOT 5		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey detached single family dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013**

1. To permit the proposed 35.2% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
2. To permit the proposed 5.4 metres rear yard setback, whereas the Zoning By-law requires a minimum 7.5 metres rear yard setback.
3. To permit the proposed 5.1 metres platform encroachment into the 7.5 metres rear yard setback, whereas the Zoning By-law permits a maximum 2.5 metres platform encroachment into the required rear yard setback.

By-law No. 8786

4. To permit the proposed 36% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
5. To permit the proposed 71% front yard soft landscaping, whereas the Zoning By-law requires a minimum of 75% front yard soft landscaping.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This Approval is Conditional on the Following:

1. The Owner shall submit a complete application for permit to injure or destroy privately owned tree(s).
2. The Owner shall build substantially in accordance with the Site Plan, Drawing No. SP1, prepared by NIA Architects Inc, dated October 28, 2016 in order to permit a maximum rear deck encroachment of 3.05 m from the main rear wall (see Attachment 1: Site Plan).

Attachment 1: Site Plan

NO.	REVISION	DATE

GENERAL NOTES

1. THIS SITE PLAN IS THE PROPERTY OF THE ARCHITECT AND SHALL REMAIN HIS/HERS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR OTHERWISE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

2. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT EXTEND TO THE CONSTRUCTION OF THE PROJECT OR TO THE PERFORMANCE OF THE WORK BY OTHERS. ALL OPERATIONS SHALL BE ACCORDING TO THE CITY OF TORONTO'S REGULATIONS AND BY-LAWS.

3. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF ANY STRUCTURE OR EQUIPMENT TO BE INSTALLED OR FOR THE PERFORMANCE OF ANY TRADE OR PROFESSIONAL SERVICE TO BE PROVIDED BY THE ARCHITECT.

NIA Architects Inc.
 10 MILLIKEN AVENUE, SUITE 101
 TORONTO, ONTARIO M3J 3L6
 TEL: (416) 291-1111
 FAX: (416) 291-1112
 E: info@niaarch.com
 P: 416-291-1111

PROPOSED RESIDENCE

PROJECT: 12 MILDEN PLACE, SCARBOROUGH, ONTARIO

DRAWING: SITE PLAN, SITE STAIRS, LOT GRADING PLAN

DRAWN BY: GLEN JAR	PROJECT NO: 2014-17
PROJECT STARTED: 2014-17	FILE NAME: [REDACTED]
DATE: SEP. 19, 2014	DRAWING NO: [REDACTED]
DATE: OCT. 24, 2014	CHECKED BY: [REDACTED]
DATE: [REDACTED]	CHECKED BY: [REDACTED]

SP1

SITE SUMMARY PART 1 AND PART 2

PROPOSED LOT AREA	37.24 SQ. M (9,000 SQ. FT.)
EXISTING LOT AREA	37.24 SQ. M (9,000 SQ. FT.)
PROPOSED FRONT YARD LANDSCAPE AREA	37.24 SQ. M (9,000 SQ. FT.)
EXISTING FRONT YARD LANDSCAPE AREA	37.24 SQ. M (9,000 SQ. FT.)
PROPOSED ASPHALT DRIVEWAY AREA	37.24 SQ. M (9,000 SQ. FT.)
EXISTING ASPHALT DRIVEWAY AREA	37.24 SQ. M (9,000 SQ. FT.)
PROPOSED FRONT YARD LANDSCAPE AREA	37.24 SQ. M (9,000 SQ. FT.)
EXISTING FRONT YARD LANDSCAPE AREA	37.24 SQ. M (9,000 SQ. FT.)
PROPOSED FRONT YARD LANDSCAPE AREA	37.24 SQ. M (9,000 SQ. FT.)
EXISTING FRONT YARD LANDSCAPE AREA	37.24 SQ. M (9,000 SQ. FT.)

KILPATRICK PLACE
 (BY E.I.T.E. PLAN 4822)
 P.N. 06335-0377(LT)

*Note: 3.05 m deck encroachment from main rear wall

FRONT YARD LANDSCAPE SUMMARY

PROVIDED ASPHALT DRIVEWAY AREA	37.24 SQ. M (9,000 SQ. FT.)
PROVIDED FRONT YARD LANDSCAPE AREA	37.24 SQ. M (9,000 SQ. FT.)
PROVIDED SOFT LANDSCAPE AREA	37.24 SQ. M (9,000 SQ. FT.)
PROVIDED PAVED AREA	37.24 SQ. M (9,000 SQ. FT.)

SIGNATURE PAGE

File Number:	A0026/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	ROZI LIAQAT KHADEEJA ALI	Ward:	Scarborough Centre (37)
Agent:	NADEEM IRFAN ARCHITECT	Heritage:	Not Applicable
Property Address:	12 KILPATRICK PL	Community:	Wexford Community
Legal Description:	PLAN 4822 LOT 5		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, March 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0286/16SC	Zoning	Residential Detached (RD) & Single-Family Residential (S) Zone [ZR]
Owner(s):	XUE ZHI NA	Ward:	Scarborough-Agincourt (39)
Agent:	ALLERA ENGINEERING AND CONSTRUCTION INC	Heritage:	Not Applicable
Property Address:	1 NORCAP AVE	Community:	L'Amoreaux Community
Legal Description:	PLAN 4827 LOT 32		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage. The existing detached dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013:

1. The proposed dwelling will have a floor space index equal to 0.45 times the lot area (320 m²);
Whereas the maximum permitted floor space index is 0.4 times the lot area (283.57 m²).
2. The proposed dwelling will be located 4.94 m from the west side lot line;
Whereas the minimum required setback from a side lot line that abuts a street is 5.7 m.
3. The proposed dwelling will have a height of 9.2 m;
Whereas the maximum permitted height of a dwelling is 9 m.
4. The proposed dwelling will have a length of 17.5 m;
Whereas the maximum permitted dwelling length is 17 m.
5. The proposed dwelling will have a length of 19.36 m, as measured from the required front yard setback to the furthest portion of the buildings main rear wall.
Whereas the maximum permitted building depth is 19 m.
6. The proposed west side porch will encroach into the required minimum side yard setback by 1.75 m;
Whereas the maximum permitted encroachment into the required minimum side yard setback is 1.5 m.

By-law No. 12466:

7. **The proposed dwelling will have a total floor area equal to 0.49 times the lot area (347.24 m²);**
Whereas the maximum permitted floor area is 0.4 times the lot area (283.57 m²).
8. The proposed dwelling will be located 4.94 m from the west side lot line;
Whereas the minimum required setback from a side lot line on a corner lot is 5.7 m.
9. The proposed dwelling will have a height of 9.2 m;
Whereas the maximum permitted dwelling height is 9 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to NOT approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0286/16SC	Zoning	Residential Detached (RD) & Single-Family Residential (S) Zone [ZR]
Owner:	XUE ZHI NA	Ward:	Scarborough-Agincourt (39)
Agent:	ALLERA ENGINEERING AND CONSTRUCTION INC	Heritage:	Not Applicable
Property Address:	1 NORCAP AVE	Community:	L'Amoreaux Community
Legal Description:	PLAN 4827 LOT 32		

David Peacock

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, March 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0397/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	JAN BLASKO	Ward:	Scarborough East (44)
Agent:	DANIEL ALLAN	Heritage:	Not Applicable
Property Address:	52 HOMESTEAD RD	Community:	West Hill Community
Legal Description:	PLAN 3006 LOT 29		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral garage and rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law 569-2013:

1. The proposed dwelling will have a gross floor area of 383.64 m²;
Whereas the maximum permitted gross floor area is 279 m².
2. The proposed dwelling will have a height of 9.66 m, as measured from established grade;
Whereas the maximum permitted dwelling height is 9 m.
3. The proposed dwelling will have a total length of 17.91 m;
Whereas the maximum permitted length is 17 m.

By-law No. 10327:

4. The proposed dwelling will have a total floor area of 374.02 m²;
Whereas the maximum permitted gross floor area is 279 m².
5. The proposed dwelling will have a height of 9.92 m, as measured from mean grade;
Whereas the maximum permitted dwelling height is 9 m.
6. The proposed rear deck will have a width of 7.66 m;
Whereas the maximum permitted area of an accessory structure (deck) is 7.6 m by 7.6 m.
7. The proposed dwelling will have a basement height of 1.05 m, as measured from the average grade at the front main wall to the ceiling of the basement;
Whereas the maximum permitted basement height is 1 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The Owner shall submit a complete application for permit to injure or remove privately owned tree(s).
2. The Owner shall submit a complete application for a permit to injure or destroy City-owned tree(s). *A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.*
3. The Owner shall submit a tree protection guarantee security deposit of **\$9,748** to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry.

SIGNATURE PAGE

File Number:	A0397/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	JAN BLASKO	Ward:	Scarborough East (44)
Agent:	DANIEL ALLAN	Heritage:	Not Applicable
Property Address:	52 HOMESTEAD RD	Community:	West Hill Community
Legal Description:	PLAN 3006 LOT 29		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, March 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0011/17SC	Zoning	RD - Residential Detached/ S- Single Family Residential [ZZC]
Owner(s):	RANDY BEHARRY RANIA KHUNAYSIR	Ward:	Scarborough Centre (37)
Agent:	RANDY BEHARRY	Heritage:	Not Applicable
Property Address:	16 HANCOCK CRES	Community:	Wexford Community
Legal Description:	PLAN 4963 LOT 24		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey side addition with a second storey over the existing one storey single family dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 9511**

1. To permit the proposed 1.2 metres north side yard setback, whereas the Zoning By-law requires a minimum 1.8 metres side yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

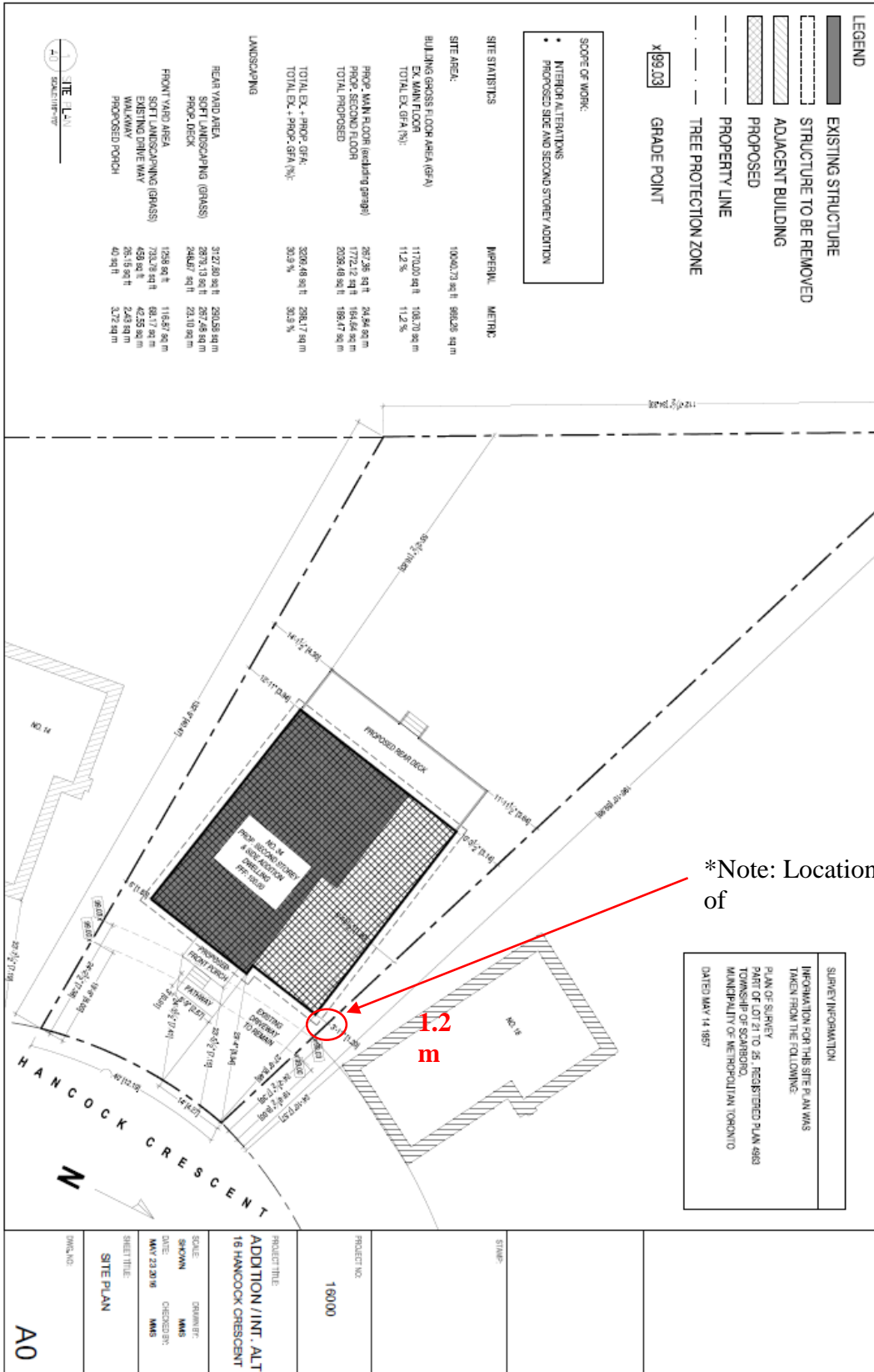
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance is minor.

This Approval is Conditional on the Following:

1. The Owner shall build substantially in accordance with the Site Plan, Drawing No. A0, dated May 23, 2016, in order to ensure the 1.2 m north side yard setback applies only to the northeast corner of the dwelling. (see Attachment 1: Site Plan).

Attachment 1: Site Plan



SIGNATURE PAGE

File Number:	A0011/17SC	Zoning	RD - Residential Detached/ S- Single Family Residential [ZZC]
Owner:	RANDY BEHARRY RANIA KHUNAYSIR	Ward:	Scarborough Centre (37)
Agent:	RANDY BEHARRY	Heritage:	Not Applicable
Property Address:	16 HANCOCK CRES	Community:	Wexford Community
Legal Description:	PLAN 4963 LOT 24		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, March 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0013/17SC	Zoning	Commercial Residential (CR) Zone [Waiver]
Owners:	GALLOWAY DEVELOPMENTS	Ward:	Scarborough East (43)
Agent:	ALEX BOROS DESIGN INC.	Heritage:	Not Applicable
Property Address:	201 GALLOWAY RD	Community:	West Hill Community
Legal Description:	PLAN M600 PT LOT 1		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

This application is for variances for a proposal to convert the existing bungalow into a temporary sales office for a proposed residential townhouse development.

REQUESTED VARIANCE TO THE ZONING BY-LAW:

By-law No. 569-2013 & By-law No. 10327:

- 1) The proposed use is a sales office (retail and office use)
Whereas a sales office (retail and office use) is not a permitted use

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance is minor.

This Variance is conditional on the following:

- 1) This decision to permit the use of the property for a sales office shall expire five (5) years from the date this decision becomes final and binding.

- 2) As a result of the site having [allegedly] changed ownership in March 2017, the applicant shall submit a new Application to Injure or Remove Trees to Urban Forestry (tree permits are owner-specific).
- 3) The applicant shall provide a Tree Preservation/Protection Plan regarding the sales centre project. The plan must demonstrate to Urban Forestry's satisfaction that the sales centre will not have any greater effect on tree nos. 31-33 than has already been permitted through the Site Plan Control application for this site.
- 4) The owner shall submit a **Tree Security Deposit (aka tree protection guarantee)** in the amount of \$11,165.00, by a letter of credit or other form acceptable to the General Manager (Parks Forestry & Recreation), to guarantee the protection of City-owned trees nos. 31-33 according to the Tree Protection Policy and specifications for Construction Near Trees or as otherwise approved by Urban Forestry.
- 5) This variance shall expire five (5) years from the date this decision becomes final and binding.

SIGNATURE PAGE

File Number:	A0013/17SC	Zoning	Commercial Residential (CR) Zone [Waiver]
Owner:	GALLOWAY DEVELOPMENTS	Ward:	Scarborough East (43)
Agent:	ALEX BOROS DESIGN INC.	Heritage:	Not Applicable
Property Address:	201 GALLOWAY RD	Community:	West Hill Community
Legal Description:	PLAN M600 PT LOT 1		

David Peacock

Eden Gajraj

Hena Kabir

Sean Karmali

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, March 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0015/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	KRISTA PHILBRICK JEFF BLAST GRAHAM WRIGHT	Ward:	Scarborough Southwest (36)
Agent:	SOL ARCH	Heritage:	Not Applicable
Property Address:	20 NORTH DR	Community:	Birchcliff Community
Legal Description:	PLAN 3856 LOT 17		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral garage and rear covered deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013:

1. The proposed dwelling will have a floor space index equal to 0.61 times the lot area (270.68 m²);
Whereas the maximum permitted floor space index is 0.5 times the lot area (223.22 m²).

By-law No. 8786:

2. The proposed dwelling will cover 39% of the lot area (172 m²);
Whereas the maximum permitted lot coverage is 33% of the lot area (147.3 m²).
3. The proposed dwelling will have a total floor area equal to 0.59 times the lot area (263.83 m²);
Whereas the maximum permitted floor area is 0.5 times the lot area (223.22 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. As directed by City Council, upon completion of construction, a new city owned and maintained street tree shall be planted on the City road allowance abutting each property involved in the application, except where a satisfactory street tree already exists. The payment required for each new tree to be planted is \$583. Urban Forestry staff have determined that **1 tree** is required under this application, therefore the total payment required is **\$583**.

Payments shall be made payable to the **Treasurer, City of Toronto** and sent to the attention of Supervisor Urban Forestry, Tree Protection & Plan Review, at 150 Borough Drive, 5th Floor, Toronto, Ontario, M1P 4N7. Accepted methods of payment may be in the form of a Letter of Credit, certified cheque, bank draft, money order, or pay in person by credit card or debit card.

A Letter of Clearance will be issued once the required conditions are fulfilled. Applicants may contact our office at 416-338-5566 or by email at tppreast@toronto.ca for additional information.

SIGNATURE PAGE

File Number:	A0015/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	KRISTA PHILBRICK JEFF BLAST GRAHAM WRIGHT	Ward:	Scarborough Southwest (36)
Agent:	SOL ARCH	Heritage:	Not Applicable
Property Address:	20 NORTH DR	Community:	Birchcliff Community
Legal Description:	PLAN 3856 LOT 17		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, March 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0016/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	ANGELO DRAGO GIUSEPPINA DRAGO	Ward:	Scarborough Southwest (36)
Agent:	GREGORY DESIGN GROUP	Heritage:	Not Applicable
Property Address:	43 ST QUENTIN AVE	Community:	Cliffcrest Community
Legal Description:	PLAN M350 LOT 81		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & No. 9396:

1. The proposed dwelling will cover 36.79% of the lot area (224.91 m²);
Whereas the maximum permitted lot coverage is 33% of the lot area (201.73 m²).

By-law No. 569-2013:

2. The proposed dwelling will have a gross floor area of 359.54 m²;
Whereas the maximum permitted gross floor area is 279 m².
3. The proposed dwelling will be located 5.48 m from the front lot line;
Whereas the minimum required front yard setback is 6.23 m.
4. The proposed dwelling will have a total length of 18.06 m;
Whereas the maximum permitted dwelling length is 17 m.
5. The proposed dwelling has an architectural feature that projects 0.61 m into the required front yard setback;
Whereas the maximum permitted encroachment for an architectural feature is 0.6 m.
6. The proposed front stairs are 2.56 m wide;
Whereas exterior stairs may encroach into a required minimum building setback if the stairs are no wider than 2 m.

7. A total of 22.8% of the required rear yard landscaping will be maintained as soft landscaping (60.1 m²); Whereas a minimum of 50% of the required **rear** yard landscaping shall be maintained as soft landscaping (131.79 m²).

By-law No. 9396:

8. The proposed dwelling will have a total floor area of 342.59 m²; Whereas the maximum permitted total floor area is 232 m².
9. The proposed dwelling will be located 5.48 m from the street line; Whereas the minimum required front yard setback is 6 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The Owner shall submit a complete application for permit to injure or remove privately owned tree(s).
2. As directed by City Council, upon completion of construction, a new city owned and maintained street tree shall be planted on the City road allowance abutting each property involved in the application, except where a satisfactory street tree already exists. The payment required for each new tree to be planted is \$583. Urban Forestry staff have determined that **1 tree** is required under this application, therefore the total payment required is **\$583**.

Payments shall be made payable to the **Treasurer, City of Toronto** and sent to the attention of Supervisor Urban Forestry, Tree Protection & Plan Review, at 150 Borough Drive, 5th Floor, Toronto, Ontario, M1P 4N7. Accepted methods of payment may be in the form of a Letter of Credit, certified cheque, bank draft, money order, or pay in person by credit card or debit card.

A Letter of Clearance will be issued once the required conditions are fulfilled. Applicants may contact our office at 416-338-5566 or by email at tpprest@toronto.ca for additional information.

SIGNATURE PAGE

File Number:	A0016/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	ANGELO DRAGO GIUSEPPINA DRAGO	Ward:	Scarborough Southwest (36)
Agent:	GREGORY DESIGN GROUP	Heritage:	Not Applicable
Property Address:	43 ST QUENTIN AVE	Community:	Cliffcrest Community
Legal Description:	PLAN M350 LOT 81		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, March 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0022/17SC	Zoning	Residential Semi-Detached (RS) & Semi-Detached (SD) Zone [ZR]
Owner(s):	JAMES THOMAS YOUNG RAMONA NADIA YOUNG	Ward:	Scarborough-Agincourt (39)
Agent:	JOHN ROBERT CARLEY ARCHITECT INCORP	Heritage:	Not Applicable
Property Address:	62 BELINDA SQ	Community:	Steeles Community
Legal Description:	PLAN M1930 PT LOT 213 RP 66R11915 PART 1		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear and north-side addition to the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The altered dwelling will be located 7.4 m from the rear lot line;
Whereas the minimum required rear yard setback is 9.79 m.
2. The altered dwelling will have a total length of 21.73 m;
Whereas the maximum permitted dwelling length is 17 m.
3. The altered dwelling will have a total depth of 21.73 m;
Whereas the maximum permitted building depth, as measured from the minimum front yard setback line, is 19 m.

By-law No. 16762:

4. The altered dwelling will be located 7.4 m from the rear lot line;
Whereas the minimum required rear yard setback is 7.5 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0022/17SC	Zoning	Residential Semi-Detached (RS) & Semi-Detached (SD) Zone [ZR]
Owner:	JAMES THOMAS YOUNG RAMONA NADIA YOUNG	Ward:	Scarborough-Agincourt (39)
Agent:	JOHN ROBERT CARLEY ARCHITECT INCORP	Heritage:	Not Applicable
Property Address:	62 BELINDA SQ	Community:	Steeles Community
Legal Description:	PLAN M1930 PT LOT 213 RP 66R11915 PART 1		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

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Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, March 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0023/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	SUMATHY RAMANATHAN RAGHAVAN RAMANATHAN	Ward:	Scarborough Southwest (36)
Agent:	PAMELA PAN	Heritage:	Not Applicable
Property Address:	14 PARKVIEW HTS	Community:	Birchcliff Community
Legal Description:	PLAN 3288 LOT 39		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a second floor addition to the existing one-storey dwelling, with a two-storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013**

1. To permit the proposed 2.71 metres wide exterior front stairs, whereas the Zoning By-law permits maximum 2 metres wide exterior stairs that encroach into a required minimum building setback.
2. To permit the eaves of the roof encroach into the north side yard setback by 0.07 metres, whereas the Zoning By-law permits 0.0 metres for the eaves of a roof to encroach into a required minimum building setback.
3. To permit the proposed 40% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
4. To permit the proposed 9.34 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
5. To permit the proposed 7.05 metres front and rear exterior main walls, whereas the Zoning By-law permits maximum 7 metres front, side and rear exterior main walls.
6. To permit the proposed 264 square metres floor area or 0.705 times the lot area, whereas the Zoning By-law permits maximum 224 square metres floor area or 0.6 times the lot area.
7. To permit the proposed 0.15 metres north side yard setback, whereas the Zoning By-law requires a minimum 0.45 metres side yard setback.

By-law No. 8786

8. To permit the proposed 5.48 metres front yard setback, whereas the Zoning By-law requires a minimum 6 metres front yard setback.

9. To permit the proposed 40% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
10. To permit the proposed 9.34 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
11. To permit the proposed 267 square metres floor area or 0.713 times the lot area, whereas the Zoning By-law permits maximum 224 square metres floor area or 0.6 times the lot area.
12. To permit the proposed 0.152 metres north side yard setback, whereas the Zoning By-law requires a minimum 0.45 metres side yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0023/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	SUMATHY RAMANATHAN RAGHAVAN RAMANATHAN	Ward:	Scarborough Southwest (36)
Agent:	PAMELA PAN	Heritage:	Not Applicable
Property Address:	14 PARKVIEW HTS	Community:	Birchcliff Community
Legal Description:	PLAN 3288 LOT 39		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

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Thursday, March 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0024/17SC	Zoning	Residential Detached (RD) & Single Family (S) Zone [ZR]
Owner(s):	PATEL FIROJABANU FAROOQUE PATEL	Ward:	Scarborough East (43)
Agent:	FAROOQUE PATEL	Heritage:	Not Applicable
Property Address:	189 CONFEDERATION DR	Community:	Woburn Community
Legal Description:	PLAN 8076 LOT 70		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition over the existing 1-1/2 storey split level dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013:

1. The altered dwelling will be located 6.17 m from the front lot line;
Whereas the minimum required front yard setback is 7.03 m.
Note: this is an existing condition.
2. The proposed second floor balcony will encroach 1.57 m into the required front yard setback;
Whereas the maximum permitted encroachment for a platform is 1.5 m.
3. The altered dwelling will be located 7.84 m from the rear lot line;
Whereas the minimum required rear yard setback is 7.9 m.
Note: this is an existing condition.
4. The altered dwelling will have a height of 9.3 m;
Whereas the maximum permitted dwelling height is 9 m.
5. The altered dwelling will have a total length of 17.4 m;
Whereas the maximum permitted dwelling length is 17 m.
Note: this is an existing condition.
6. The proposed south side platform (front balcony) will have an area of 6 m²;
Whereas the maximum permitted area of a platform at or above the second storey is 4 m².

By-law No. 9510:

7. The proposed dwelling will be located 1.68 m from the west side lot line and 1.75 m from the east side lot line;
Whereas the minimum required side yard setback is 1.2 m plus 0.6 m for each additional storey, for a total required side yard setback of 1.8 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0024/17SC	Zoning	Residential Detached (RD) & Single Family (S) Zone [ZR]
Owner:	PATEL FIROJABANU FAROOQUE PATEL	Ward:	Scarborough East (43)
Agent:	FAROOQUE PATEL	Heritage:	Not Applicable
Property Address:	189 CONFEDERATION DR	Community:	Woburn Community
Legal Description:	PLAN 8076 LOT 70		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, March 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0028/17SC	Zoning	Single Family Residential (S) & Residential Detached (RD) Zone [ZR]
Owner:	RICHARD JOHN MONTGOMERY	Ward:	Scarborough Southwest (36)
Agent:	STUDIO 64 DESIGNS INC	Heritage:	Not Applicable
Property Address:	55 FALLINGBROOK RD	Community:	Birchcliff Community
Legal Description:	PLAN 2836 LOT 14		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

Proposal for a second storey addition at the front of the existing house.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013 & By-law No. 8786:

- 1) The proposed floor area is 0.64 x the area of the lot (203 m²)
Whereas the maximum permitted floor area is 0.6 x the area of the lot (189 m²)

By-law No. 8786:

- 2) The existing/proposed front yard setback is 5.2 m
Whereas the minimum required front yard setback is 6 m

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0028/17SC	Zoning	Single Family Residential (S) & Residential Detached (RD) Zone [ZR]
Owner:	RICHARD JOHN MONTGOMERY	Ward:	Scarborough Southwest (36)
Agent:	STUDIO 64 DESIGNS INC	Heritage:	Not Applicable
Property Address:	55 FALLINGBROOK RD	Community:	Birchcliff Community
Legal Description:	PLAN 2836 LOT 14		

David Peacock Eden Gajraj Hena Kabir

Sean Karmali

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, March 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0029/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	SOMMERWELL DEVELOPMENT CORPORATION	Ward:	Scarborough Southwest (36)
Agent:	SOMMERWELL DEVELOPMENT CORP	Heritage:	Not Applicable
Property Address:	45 VALHALLA BLVD	Community:	Birchcliff Community
Legal Description:	PLAN 1902 LOT 106		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two storey front and rear addition and a second storey addition over the existing detached dwelling. The proposal includes a new front porch, new rear deck and interior alterations.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The altered dwelling will have a floor space index equal to 0.62 times the lot area (224.2 m²); Whereas the maximum permitted floor space index is the lesser of 204 m² or 0.6 times the lot area (217.51 m²).
2. The altered dwelling will have a total height of 9.69 m; Whereas the maximum permitted dwelling height is 9 m.
3. The altered dwelling will have a total length of 17.46 m; Whereas the maximum permitted dwelling length is 17 m.
4. The eaves of the altered dwelling will encroach 0.46 m into the required north side yard setback; Whereas the maximum permitted eaves encroachment into a side yard setback is 0.16 m.

By-law No. 8786:

5. The altered dwelling will have a total floor area equal to 0.62 times the lot area (225.24 m²); Whereas the maximum permitted floor area is the lesser of 204 m² or 0.6 times the lot area (217.51 m²).
6. The altered dwelling will have a total height of 9.69 m; Whereas the maximum permitted dwelling height is 9 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0029/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	SOMMERWELL DEVELOPMENT CORPORATION	Ward:	Scarborough Southwest (36)
Agent:	SOMMERWELL DEVELOPMENT CORP	Heritage:	Not Applicable
Property Address:	45 VALHALLA BLVD	Community:	Birchcliff Community
Legal Description:	PLAN 1902 LOT 106		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, March 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0030/17SC	Zoning	Residential Detached (RD) & Single Family (S) [Waiver]
Owner(s):	YUFAN WANG	Ward:	Scarborough-Rouge River (41)
Agent:	HEYDAY FINE HOMES	Heritage:	Not Applicable
Property Address:	62 MARYDON CRES	Community:	Agincourt Community
Legal Description:	PLAN 4382 LOT 176		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013 & No. 10076:

1. The proposed dwelling will have a floor space index equal to 0.46 times the lot area;
Whereas the maximum permitted floor space index/floor area is 0.4 times the lot area.
2. The proposed dwelling will have a height of 9.65 m;
Whereas the maximum permitted dwelling height is 9 m.

By-law No. 569-2013:

3. The proposed dwelling will have a total length of 18.5 m;
Whereas the maximum permitted dwelling length is 17 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.

- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The Owner shall submit a complete application for permit to injure or remove privately owned tree(s).
2. The Owner shall submit a complete application for a permit to injure or destroy City-owned tree(s). *A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.*
3. The Owner shall submit a tree protection guarantee security deposit of **\$23,064** to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry.
4. The following conditions shall be fulfilled to the satisfaction of the Supervisor, Heritage Preservation Services:

Prior to the issuance of any Building Permit, including (but not limited to) a permit for demolition, excavation and/or shoring:

- a. The applicant shall retain a consultant archaeologist, licensed by the Ministry of Tourism, Culture and Sport under the provisions of the Ontario Heritage Act (R.S.O 1990 as amended) to carry out a Stage 1-2 archaeological assessment of the entire property and follow through on recommendations to mitigate, through preservation or resource removal and documentation, adverse impacts to any significant archaeological resources found. The assessment is to be completed in accordance with the 2011 Standards and Guidelines for Consulting Archaeologists, Ministry of Tourism, Culture and Sport.
- b. Should the archaeological assessment process continue beyond a Stage 1-2 assessment, any recommendations for Stage 3 - 4 mitigation strategies must be reviewed and approved by Heritage Preservation Services prior to commencement of the site mitigation.
- c. The consultant archaeologist shall submit a copy of the relevant assessment report(s) to the Heritage Preservation Services Unit in both hard copy format and as an Acrobat PDF file on compact disk. All archaeological assessment reports will be submitted to the City of Toronto for approval concurrent with their submission to the Ministry of Tourism, Culture and Sport.
- d. No demolition, construction, grading or other soil disturbances shall take place on the subject property prior to the City's Planning Division (Heritage Preservation Services Unit) and the Ministry of Tourism, Culture and Sport (Heritage Operations Unit) confirming in writing that all archaeological licensing and technical review requirements have been satisfied.

SIGNATURE PAGE

File Number:	A0030/17SC	Zoning	Residential Detached (RD) & Single Family (S) [Waiver]
Owner:	YUFAN WANG	Ward:	Scarborough-Rouge River (41)
Agent:	HEYDAY FINE HOMES	Heritage:	Not Applicable
Property Address:	62 MARYDON CRES	Community:	Agincourt Community
Legal Description:	PLAN 4382 LOT 176		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, March 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0031/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	JESSICA LYNNE COCKBURN JEFFERY JONATHAN P MOORE	Ward:	Scarborough Southwest (36)
Agent:	G AND S DESIGNS AND ASSOCIATES	Heritage:	Not Applicable
Property Address:	179 HAREWOOD AVE	Community:	Cliffcrest Community
Legal Description:	PLAN 2541 LOT 247 LOT 248		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a wood canopy over the existing front entry.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 9396:

1. The proposed canopy will project 1.83 m from the front main wall;
Whereas the maximum permitted roof overhang is 1 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0031/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	JESSICA LYNNE COCKBURN JEFFERY JONATHAN P MOORE	Ward:	Scarborough Southwest (36)
Agent:	G AND S DESIGNS AND ASSOCIATES	Heritage:	Not Applicable
Property Address:	179 HAREWOOD AVE	Community:	Cliffcrest Community
Legal Description:	PLAN 2541 LOT 247 LOT 248		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, March 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0032/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	DIANA NEOS KONSTANTINOS NEOS	Ward:	Scarborough Southwest (36)
Agent:	DIANA NEOS	Heritage:	Not Applicable
Property Address:	35 THATCHER AVE	Community:	Cliffcrest Community
Legal Description:	PLAN M350 PT LOT 36 UNREG		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a two-storey single family dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 9.6 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
2. To permit the proposed 295 square metres floor area or 0.59 times the lot area, whereas the Zoning By-law permits maximum 250 square metres floor area or 0.4 times the lot area.

By-law No. 9396

3. To permit the proposed 9.6 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
4. To permit the proposed 295 square metres floor area, whereas the Zoning By-law permits maximum 232 square metres floor area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0032/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	DIANA NEOS KONSTANTINOS NEOS	Ward:	Scarborough Southwest (36)
Agent:	DIANA NEOS	Heritage:	Not Applicable
Property Address:	35 THATCHER AVE	Community:	Cliffcrest Community
Legal Description:	PLAN M350 PT LOT 36 UNREG		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, March 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0047/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	MOKOL AKTER MOHD FOYEZ PAPON	Ward:	Scarborough Southwest (36)
Agent:	CANTAM GROUP	Heritage:	Not Applicable
Property Address:	18 ST QUENTIN AVE	Community:	Cliffcrest Community
Legal Description:	PLAN M350 LOT 64		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

Proposal to construct a new two storey single family dwelling.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013:

- 1) The proposed floor area (as calculated under this by-law) is 300 m² (0.48 x the area of the lot)
Whereas the maximum permitted floor area is 0.5 x the area of the lot to a maximum of 279 m²

By-law No. 9396:

- 2) The proposed floor area (as calculated under this by-law) is 252 m² (0.41 x the area of the lot)
Whereas the maximum permitted floor area is 250.6 m² (0.4 x the area of the lot)

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This approval is conditional on the following:

- 1) The owner shall provide payment of \$583 for one (1) tree to be planted on the City road allowance, as per City Council direction.

SIGNATURE PAGE

File Number:	A0047/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	MOKOL AKTER MOHD FOYEZ PAPON	Ward:	Scarborough Southwest (36)
Agent:	CANTAM GROUP	Heritage:	Not Applicable
Property Address:	18 ST QUENTIN AVE	Community:	Cliffcrest Community
Legal Description:	PLAN M350 LOT 64		

David Peacock

Eden Gajraj

Hena Kabir

Sean Karmali

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, March 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0048/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	MENEZES JOA MARGARET PAUL CYRIL QUITERIO	Ward:	Scarborough Southwest (36)
Agent:	PAUL CYRIL QUITERIO	Heritage:	Not Applicable
Property Address:	12 FAIRCROFT BLVD	Community:	Cliffcrest Community
Legal Description:	PLAN 3849 LOT 8		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

This application is for a proposal to demolish the existing garage and construct a second storey addition over the existing house, a two-storey addition to the rear and the north and south sides of the house, and a new front porch.

REQUESTED VARIANCES TO THE ZONING BY-LAW:By-law No. 569-2013:

- 1) The proposed front yard setback is 7.6 m
Whereas the minimum required front yard setback is the average of the front yard setbacks of the two adjacent houses, in this case 8.7 m
- 2) The proposed front porch encroachment is 3.9 m
Whereas the maximum permitted porch encroachment is 2.5 m

By-law No. 9396:

- 3) The proposed front porch would encroach 2.2 m into the required front yard
Whereas the maximum permitted porch encroachment into the required front yard is 1.55 m

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.

- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0048/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	MENEZES JOA MARGARET PAUL CYRIL QUITERIO	Ward:	Scarborough Southwest (36)
Agent:	PAUL CYRIL QUITERIO	Heritage:	Not Applicable
Property Address:	12 FAIRCROFT BLVD	Community:	Cliffcrest Community
Legal Description:	PLAN 3849 LOT 8		

David Peacock

Eden Gajraj

Hena Kabir

Sean Karmali

DATE DECISION MAILED ON: Monday, March 21, 2016

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, March 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0049/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone
Owner:	JEANNE LAVEROCK	Ward:	Scarborough East (44)
Agent:	RESIDENTIAL DRAFTING SERVICES LTD	Heritage:	Not Applicable
Property Address:	76 CHARLOTTETOWN BLVD	Community:	Centennial Community
Legal Description:	PLAN 8658 LOT 305		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

This application is for a variance for a proposed partial second storey addition to the existing house.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013 & By-law No. 12077:

- 1) The existing and proposed south side yard setback is 1.22 m
Whereas the minimum required side yard setback is 1.8 m for a two- storey dwelling

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance is minor.

SIGNATURE PAGE

File Number:	A0049/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone
Owner:	JEANNE LAVEROCK	Ward:	Scarborough East (44)
Agent:	RESIDENTIAL DRAFTING SERVICES LTD	Heritage:	Not Applicable
Property Address:	76 CHARLOTTETOWN BLVD	Community:	Centennial Community
Legal Description:	PLAN 8658 LOT 305		

David Peacock

Eden Gajraj

Hena Kabir

Sean Karmali

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, March 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0051/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	HUGO MCINTOSH	Ward:	Scarborough Centre (37)
Agent:	ACADIA DRAFTING	Heritage:	Not Applicable
Property Address:	20 IVORWOOD CRES	Community:	Maryvale Community
Legal Description:	PLAN M646 LOT 193		

Notice was given and a Public Hearing was held on Thursday, March 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

Proposal to construct a rear deck enclosure.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013:

- 1) The proposed rear yard setback is 6.8 m
Whereas the minimum required rear yard setback is 8.2 m

By-law No. 569-2013 & By-law No. 9366:

- 2) The proposed lot coverage is 37%
Whereas the maximum permitted lot coverage is 33%

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0051/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	HUGO MCINTOSH	Ward:	Scarborough Centre (37)
Agent:	ACADIA DRAFTING	Heritage:	Not Applicable
Property Address:	20 IVORWOOD CRES	Community:	Maryvale Community
Legal Description:	PLAN M646 LOT 193		

David Peacock

Eden Gajraj

Hena Kabir

Sean Karmali

DATE DECISION MAILED ON: Tuesday, March 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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